



LEVEL 2

# Your survey & valuation report

Property Address

[REDACTED]

Client's name

[REDACTED]

Inspection date

[REDACTED]

Surveyor's RICS number

0804620

2

# Contents

<b>A</b>	About the inspection and report
<b>B</b>	Overall opinion
<b>C</b>	About the property
<b>D</b>	Outside the property
<b>E</b>	Inside the property
<b>F</b>	Services
<b>G</b>	Grounds
<b>H</b>	Issues for your legal advisers
<b>I</b>	Risks
<b>J</b>	Property valuation
<b>K</b>	Surveyor's declaration
<b>L</b>	What to do now
<b>M</b>	Description of the RICS Home Survey – Level 2 (survey and valuation) service and terms of engagement
<b>N</b>	Typical house diagram
	RICS disclaimer

The RICS Home Survey Level 2 Survey and valuation is reproduced with the permission of the Royal Institution of Chartered Surveyors, which owns the copyright. © 2023 RICS

# A

## About the inspection and report

This Home Survey – Level 2 (survey and valuation) service has been produced by a surveyor, who is a member of the RICS Valuer Registration scheme.

The surveyor has written this report for you to use. If you decide not to act on the advice in this report, you do so at your own risk

# A

## About the inspection and report

### As agreed, this report will contain the following:

- a physical inspection of the property (see *The inspection* in section M) and
- a report based on the inspection (see *The report* in section M).

### About the report

#### We aim to give you professional advice to:

- make a reasoned and informed decision on whether to go ahead with buying the property
- make an informed decision on what is a reasonable price to pay for the property
- take into account any significant repairs or replacements the property needs, and
- consider what further advice you should take before committing to purchasing the property.

Any extra services we provide that are not covered by the terms and conditions of this report must be covered by a separate contract.

### About the inspection

- We only carry out a visual inspection. Also, we do not remove secured panels or undo electrical fittings.
- We inspect roofs, chimneys and other surfaces on the outside of the building from ground level and, if necessary, from neighbouring public property and with the help of binoculars.
- We inspect the roof structure from inside the roof space if there is access (although we do not move or lift insulation material, stored goods or other contents). We examine floor surfaces and under-floor spaces so far as there is safe access to these (although we do not move or lift furniture, floor coverings or other contents). We do not remove the contents of cupboards. We are not able to assess the condition of the inside of any chimney, boiler or other flues. Also, we do not remove secured panels or undo electrical fittings.
- We note in our report if we are not able to check any parts of the property that the inspection would normally cover. If we are concerned about these parts, the report will tell you about any further investigations that are needed.
- We do not report on the cost of any work to put right defects or make recommendations on how these repairs should be carried out. Some maintenance and repairs we suggest may be expensive.
- We inspect the inside and outside of the main building and all permanent outbuildings, but we do not force or open up the fabric of the building. We also inspect the parts of the electricity, gas/oil, water, heating and drainage services that can be seen, but we do not test them.
- To help describe the condition of the home, we give condition ratings to the main parts (the 'elements') of the building, garage and some parts outside. Some elements can be made up of several different parts.

- In the element boxes in sections D, E, F and G, we describe the part that has the worst condition rating first and then briefly outline the condition of the other parts. The condition ratings are described in section B of this report. The report covers matters that, in the surveyor's opinion, need to be dealt with or may affect the value of the property.

 **Reminder**

Please refer to your **Terms and Conditions** report received on the 12-03-2026 for a full list of exclusions.



## About the inspection

**Surveyor's name**

Phillip Hayden AssocRICS

**Surveyor's RICS number**

0804620

**Company name**

Haydens Residential Surveying

**Date of the inspection**

28-03-2026

**Report reference number**

123856

**Related party disclosure**

I can confirm we have had no prior involvement with either the client, the property or indeed have no connection to this property transaction.

**Full address and postcode of the property**

[REDACTED]

**Weather conditions when the inspection took place**

At the time of inspection, it was overcast but dry

**Status of the property when the inspection took place**

The property was unoccupied and unfurnished. The floors were fully covered.

# B

## Overall opinion

This section provides our overall opinion of the property, and summarises the condition ratings of the different elements of the property. Individual elements of the property have been rated to indicate any defects, and have been grouped by the urgency of any required maintenance.

If an element is made up of a number of different parts (for example, a pitched roof to the main building and a flat roof to an extension), only the part in the worst condition is shown here.

### **Important note**

To get a balanced impression of the property, we strongly recommend that you read all sections of the report, in particular section L, *What to do now*, and discuss this with us if required

# B

## Summary of condition ratings

### Overall opinion of property

The property is considered to be a reasonable purchase although there are a number of defects/issues which require attention and will require some expenditure at the outset. We would not expect any particular difficulty on resale in normal market conditions, provided that the necessary works are carried out to a satisfactory standard. You should investigate the cost of these works prior to a commitment to purchase.

It is very important that you read this report as a whole. In the main body of the report, we will notify you of the actions that will be required prior to the exchange of contracts and in this respect, we particularly refer you to the section at the end of the report entitled 'What to do now'. You must make sure that you have all of the repairs and improvements investigated by reputable contractors so that you are fully aware of their scope and financial implications before you purchase the property. If you are unsure about any of the items identified for improvement, you should refer back to the surveyor for further guidance and advice as we will be happy to discuss further with you.

This report should be construed as a comment upon the overall condition of the property and is not an inventory of every single defect. The report is based on the condition of the property at the time of our inspection and no liability can be accepted for any deterioration in its condition after that date.

# B

## Condition ratings

To determine the condition of the property, we assess the main parts (the 'elements') of the building, garage and some outside areas. These elements are rated on the urgency of maintenance needed, ranging from 'very urgent' to 'no issues recorded'.



### Documents we may suggest you request before you sign contracts

There are documents associated with the following elements. Check these documents have been supplied by your solicitor before exchanging contracts.

Element no.	Name	Received
1	N/A	



### Elements that require urgent attention

These elements have defects that are serious and/or need to be repaired, replaced or investigated urgently. Failure to do so could risk serious safety issues or severe long-term damage to your property.

Element No.	Element Name
-------------	--------------



### Elements that require attention but are not serious or urgent

These elements have defects that need repairing or replacing, but are not considered to be either serious or urgent. These elements must also be maintained in the normal way.

Element No.	Element Name
D2	Roof coverings
D3	Rainwater pipes & gutters
D4	Main walls
D5	Windows
D6	Outside doors (including patio doors)
D8	Other joinery and finishes
E1	Roof structure
E2	Ceilings
E3	Walls and partitions

E4	Floors
E5	Fireplaces, chimney breasts and flues
E6	Built-in fittings (built-in kitchen and other fittings, not including appliances)
E7	Woodwork (for example, staircase joinery)
E8	Bathroom fittings
F1	Electricity
F2	Gas/oil
F6	Drainage
G2	Permanent outbuildings and other structures
G3	Grounds - Other



### Elements with no current issues

No repair is currently needed. The elements listed here must be maintained in the normal way.

Element No.	Element Name
D1	Chimney stacks
D9	External - Other
F4	Heating



### Elements not inspected

We carry out a visual inspection, so a number of elements may not have been inspected. These are listed here.

Element No.	Element Name
F3	Water



### Elements not applicable

Elements that have not been inspected that do not form part of the property.

Element No.	Element Name
D7	Conservatory and porches
E9	Internal - Other
F5	Water heating
F7	Common services

G1	Garage
----	--------

# C

## About the property

**This section includes:**

- About the property
- Energy efficiency
- Location and facilities



## About the property

### Type of property

The property comprises a two storey three bedroom mid-terrace house.

### Approximate year the property was built

The property would appear to have been built circa 1950 to 1960.

### Approximate year the property was extended

N/A

### Approximate year the property was converted

N/A

### Information relevant to flats and maisonettes

N/A

### Construction

The walls are of cavity masonry construction.

Windows and doors are of plastic and metal construction, incorporating double glazed units.

The floors are a mixture of solid and timber construction.

The main roof is pitched covered with tiles.

### Accommodation

Floor	Living Rooms	Bedrooms	Bath	Toilet	Kitchen	Utility Room	Conservatory	Other
Ground	1				1			
First		3	1					

# C

## Energy efficiency

We are advised that the property's current energy performance, as recorded in the EPC, is as stated below.

We have checked for any obvious discrepancies between the EPC and the subject property, and the implications are explained to you.

### Energy efficiency rating

The EPC energy efficiency rating for the property is C. This is as expected for a property of this type.

### Issues relating to the energy efficiency rating

N/A

### Mains services

A marked box shows that the relevant mains service is present.

Yes

Gas

Yes

Electric

Yes

Water

Yes

Drainage

### Central heating

Yes

Gas

N/A

Electric

N/A

Solid fuel

N/A

Oil

N/A

None

### Other services or energy sources (including feed-in tariffs)

N/A

### Other energy matters

Being an older building, this property will not be as thermally efficient when compared to modern-day buildings. As a result, running costs will be higher. Further regard should be had to the matters raised within the energy performance certificate when obtained.

# C

## Location and facilities

### Grounds

The property occupies an average size plot with gardens to the front and rear.

### Location

The property is located within a residential area, conveniently situated for the usual amenities/facilities.

### Facilities

There is no off-road parking to the property.

There is no garage to the property.

The property has the benefit of an outbuilding to the rear.

### Local environment

N/A

**D**

**Outside the property**

# D

## Full detail of elements inspected

### Limitations on the inspection

The external inspection of the building was limited to those parts that could be seen from ground level, within the boundaries of the property and from accessible public areas only.

### D1 Chimney stacks

1

The chimney stack is of masonry construction above the roof-line with lead flashing's to prevent damp penetration occurring internally.

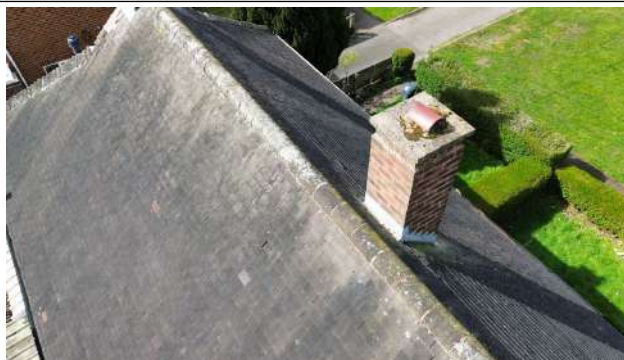
The stack appears to be in generally satisfactory condition, well-formed and with no significant defects noted. Normal maintenance will be required.

The condition and integrity of any flues and their layout within the chimney stack could not be verified and further upgrading and improvement in this regard may be necessary. Flues should be tested at the same time as any gas or solid fuel appliance testing is undertaken.

When the remedial work is done it would be prudent to check the condition of all hidden parts to ensure no other disrepair has taken place. Further disrepair may be discovered which could increase costs. Until the work is carried out, regular checks should be made internally for any possible water leakage.

As the stack is redundant, you should consider removing it and making good the roof covering. If the masonry is retained, the flues that are redundant should be ventilated at the top either with air bricks or special chimney pots which allow ventilation and at the same time prevent rain penetration.

It should be borne in mind that if works are required on the chimney stack to the building, scaffolding or other means of access will be required to undertake this work which can significantly increase the cost of the initial repair.





## D2 Roof coverings

2

The main roof is of pitched construction and is covered with plain tiles laid over battens on a timber frame.

The roof covering appeared to be generally serviceable at the time of inspection, although cracked and slipped tiles were noted together with limited ventilation provision. Localised repairs and routine maintenance should be undertaken to keep the roof weathertight and reduce the risk of water ingress.

A roof covering of this type and age should be expected to require ongoing maintenance, and some repairs may be more difficult because of the likely fragile nature of the original materials. While more extensive renewal may become a sensible consideration for an incoming owner in the longer term, this does not appear to be an immediate requirement. You should, however, allow for future expenditure as part of your planned maintenance budget.

Roofing felt commonly becomes brittle with age, particularly where it is exposed to sunlight, rainwater and wind at the eaves and roof edges. Where deterioration has occurred, there is an increased risk of concealed decay to adjacent timbers, especially near the eaves. Confirmation of the condition of these concealed areas would only be possible through opening up, which falls outside the scope of this inspection. Greater certainty can be obtained by further investigation from a roofing contractor before purchase if required. The roof covering should be kept under regular review and any deterioration to the felt addressed as part of future repair works.

Current practice is to provide adequate ventilation to roof spaces in order to reduce the risk of condensation, particularly where loft insulation has been increased to improve energy efficiency. Ventilation can be improved by measures such as eaves ventilation, gable air vents or proprietary roof ventilators. This is an upgrade that should be considered in due course, and quotations can be obtained from a reputable roofing contractor for budgeting purposes.

Moss growth was noted and should be managed on a routine basis, as excessive build-up can impede the proper run-off of rainwater, contribute to deterioration of the roof covering and increase the risk of blockages to the rainwater goods. Once removed, some localised repairs to the roof covering may also prove necessary.

It should also be borne in mind that any future works to the roof are likely to require scaffolding or other suitable access equipment, which may add significantly to the overall cost of repairs or replacement.



### D3 Rainwater pipes and gutters

2

The rainwater goods are of a plastic type, being fixed to fascia's and perimeter walls.

The rainwater goods were found to be generally functional but we noted some defects such as soiled, stained sections, defective fixings and debris in gutters. Repair and maintenance works are now required.

It was not raining at the time of inspection and, therefore, it was not possible to confirm whether the rainwater goods are watertight. It is therefore recommended that the system is water tested soon after occupation or observed during rainfall to ensure they are functioning correctly. Some repair and renewal works may be necessary.

Leaking rainwater disposal systems can lead to penetrating dampness and deterioration of the building. Rainwater goods should be kept clean and free of any standing debris and moss at, all times, to ensure the free flow of surface water runoff from roofs. Regular inspections should, therefore, be undertaken moving forward. Shortly after taking up occupation, you should arrange for the gutters to be cleaned, removing any moss, leaves and general debris.

Any repair and maintenance work to high-level rainwater pipes and gutters usually incurs additional

costs due to the necessity to provide scaffolding or other safe means of access. This usually exceeds the cost of a minor repair and therefore any other works to high-level elements should also be carried out at this time.





#### D4 Main walls

2

The walls are of cavity masonry construction, approximately 280 mm thick.

The overall condition of the walls were found to be adequate but some defects were noted, such as weathered pointing, minor cracking and weathered finishes. Repair and maintenance works will be required in due course.

There are a number of minor cracks in the external walls, probably due to nominal thermal moisture changes, installation work and settlement. Whilst not structurally serious, cracks should be filled to prevent water penetration.

Properties of this age are unlikely to have full lintel support above the openings. As slight settlement was noted above some of the openings, you should consider upgrading the support in order to prevent problems with frames and openings. You should therefore budget accordingly.

You should ensure that a buildings insurance policy is maintained that specifically covers the risk of ground-related structural movement.

#### DAMP PROOF COURSE:

A damp proof course (DPC) is a horizontal barrier of impermeable material placed in the base of a wall to prevent groundwater from rising up into the interior of the property, into a building. Older buildings often lacked any form of a damp-proof course. A wide variety of materials has been used over time to form DPC's. Rising dampness is generally regarded as being the result of a failure or absence of a damp-proof course. This may lead to perished plaster, damp staining, fungal growth, decay in skirting boards, floors and other timbers.

Although largely concealed, the horizontal DPC to the base of the main walls appears to comprise engineering brick.

Properties of this age are at risk of cavity wall tie failure. The property at present shows no obvious signs of damage, however, the degradation of wall ties is progressive and may, in the long term, lead to structural weakness. The only way to assess the condition of the cavity wall ties is to carry out a specialist borescope inspection or expose the wall ties by removing bricks, neither of which we undertook during our survey.

There is evidence that cavity wall insulation has been installed. Your legal adviser should make enquiries to verify the type of insulation and the existence of valid guarantees. In some circumstances, cavity insulation can cause damp penetration and/or result in accelerated corrosion of wall ties that will require remedial treatment.

A satellite dish is attached to the main walls. At the moment the dish and fixings appear satisfactory but they should be checked every 6 months for signs of deterioration.





## D5 Windows

2

The windows are of plastic construction, incorporating double glazed units.

The installation appeared to be functional overall but defects were noted, such as dated units, stiff openers, loose handles, worn rubber seals, worn mastic seals, failed double glazed units, worn fixtures and fittings. Repair, maintenance and improvement works are now required.

The external mastic around the window frames is deteriorating in parts. This can allow water to penetrate, with a risk of dampness and decay to timbers and internal plaster. Raking out and replacement with a flexible mastic is recommended. The mastic, however, must be of a type suitable for this specific purpose, and normally should not be applied along the top edge of the frame as this can increase the risk of water retention. If there is any doubt, specialist advice would be prudent.

Whilst the window installation is generally functional, these are older style units that may be approaching the end of their design life. It is thought prudent to budget for replacement in the medium term as part of the normal planned maintenance of the building. Given the cost implications of a full replacement, you may find it desirable to obtain quotations for such works before legal commitment to purchase.

The quality of sealed unit double-glazed windows varies and no assurances can be given concerning long-term durability.

The junction between the window frames and the surrounding wall is frequently a source of water

penetration, particularly during severe weather conditions. It is important that the sealing material that protects these joints is regularly checked and maintained in good condition.

Windows should ideally be provided with trickle vents in order to comply with current Building Regulations with regard to background ventilation for habitable rooms. It would be prudent to seek further advice from a window and door specialist, prior to the exchange of contract.

Properties of this age may not have lintels to support the masonry above the openings. Lintels may need installing or replacing when renewing windows.

Ongoing maintenance should always be anticipated to window joinery in the form of regular attention to items such as hinges, latches, locking mechanisms, framework, sills and glazing seal edges, etc. This is something all homeowners should anticipate and budget for.





## D6 Outside doors (including patio doors)

2

The doors are of plastic and aluminium construction, incorporating double glazed units.

The doors appeared to be functional overall but defects were noted, such as dated units, worn fixtures, fittings, weathered finishes and worn mastic seals. Repair and maintenance and improvement works are now required.

The external mastic around the door frames is deteriorating in places. This can allow water to penetrate, with a risk of dampness and decay to timbers and internal plaster. Raking out and replacement with a

flexible mastic is recommended. The mastic, however, must be of a type suitable for this specific purpose, and normally should not be applied along the top edge of the frame as this can increase the risk of water retention. If there is any doubt, specialist advice would be prudent.

Your legal adviser should confirm that a FENSA Certificate or a suitable alternative is available otherwise the installation may not comply with the Building Regulations.

Whilst the doors are generally functional, there are some older-style units that may be approaching the end of their design life. It is thought prudent to budget for replacement in the medium term as part of the normal planned maintenance of the building. Given the cost implications of a full replacement, you may find it desirable to obtain quotations for such works before legal commitment to purchase.

The quality of sealed unit double-glazed doors varies and no assurances can be given concerning long-term durability.

The junction between the door frames and surrounding masonry is frequently a source of water penetration, particularly during severe weather conditions. It is important that the sealing material that protects these joints is regularly checked and maintained in good condition.

Doors should ideally be provided with trickle vents in order to comply with current Building Regulations with regard to background ventilation for habitable rooms. It would be prudent to seek further advice from a window and door specialist, prior to the exchange of contract.

Properties of this age may not have lintels to support the masonry above the openings. Lintels may need installing or replacing when renewing doors.

Ongoing maintenance should always be anticipated to door joinery in the form of regular attention to items such as: hinges, latches, locking mechanisms, framework, weatherboard threshold strips and glazing seal edges, etc. This is something all homeowners should anticipate and budget for.







## D7 Conservatory and porches

NA

N/A

## D8 Other joinery and finishes

2

External joinery, such as fascias, soffits and barge-boards, are formed in timber.

The joinery appears to be in generally satisfactory condition for its age and with no significant defects noted. Subject to normal ongoing maintenance the joinery should remain serviceable for some years.

External decorations are deteriorating in some areas. The affected sections should be thoroughly prepared and redecorated in the near future.

It is now standard practice to insulate lofts in order to conserve energy and reduce heating costs. With the increase in insulation, it has become necessary to reduce the risk of condensation problems by ventilating roof spaces. This can be achieved in a variety of ways, including the provision of ventilation grilles in eaves and airbricks in gable walls, as well as roof ventilators in the slopes. A reputable roofing contractor will be able to undertake this work, and it is recommended that quotations should be obtained prior to a legal commitment to purchase.

The external woodwork will need regular redecoration, typically on a 3 - 5 yearly cycle depending on the quality of paint or stain coatings, exposure factors, and condition of the surfaces beneath.





## D9 Other

1

The maintenance and upkeep of the right of way and the side tunnel should be investigated by your legal adviser.





# E

**Inside the property**

## Inside the property

### Limitations on the inspection

We have endeavoured to inspect all parts of the property internally, but where a property is occupied, we do not move furniture, household items, lift floor coverings or floorboards.

### E1 Roof structure

2

The roof structure is formed of traditional timber construction.

From the limited inspection available we saw no signs of significant deflection or movement.

It is essential for insulated roof voids to be adequately ventilated to reduce the risk of condensation and consequent decay to roof timbers. This is usually achieved by providing vents in the eaves and or vented roof tiles. The requirement to ventilate roof spaces is relatively recent so many traditional houses lack such provision. The roof void does not appear to be sufficiently ventilated. Fixed air vents should now be installed to ensure a good flow of ventilation.

Insufficient insulation is provided to parts of the roof void. You should ensure that insulation is provided to current standards (300 mm) and does not interfere with eaves ventilation.

There are small openings in the party firebreak walls. All openings should be sealed with a fire retardant material in order to reduce the risk of fire-spread between dwellings.

Roofing felt can become brittle with age, particularly when exposed to sunlight, rainwater and wind action. Deterioration often occurs at the bottom of the roof and at the edges where the lining is more exposed. Coverings should be kept in good condition at all times. The felt should be replaced as soon as any deterioration is seen. A closer inspection of the eaves over-lap areas is advised and you may also want to consider installing PVC liners to provide greater protection against damp penetration whilst also improving ventilation.

You should ensure that your electrician checks the electrics within the loft area as part of the overall system inspection.







## E2 Ceilings

2

The ceilings are of plasterboard construction with various finishes.

The ceilings are in a serviceable condition, however, localised areas of hairline shrinkage cracking were noted, which is a result of thermal changes in the building materials and is considered cosmetic in nature. These can be attended to during normal routine re-decoration periodically. These types of cracks are very common in a property of this age and type of construction and do not give cause for concern.

A textured finish has been applied to some ceilings. It is now known that such finishes may contain low levels of asbestos. These appear to be in satisfactory condition at present and should present no health risk if undisturbed. However, they should not be cut or worked in any way and specialist advice must be sought if they are to be removed as this could be costly.

Some of the ceilings within the property are concealed by linings. There may be concealed problems that will only be revealed once the lining is removed. Whilst serviceable at present, should you remove the lining it is possible that areas of plaster will become detached and that localised repairs or even replacement will then be required.

Modern ceiling finishes of plasterboard can crack at the joints between the boards and small areas of plaster can be dislodged by the nail fixings. These can be attended to under normal routine maintenance.

Some of the ceilings may be made of a material that contains asbestos. If these are disturbed, they could be a safety hazard. They should not be cut or worked in any way and specialist advice must be sought if they are to be removed as this could prove costly. Further advice is available from the Health & Safety Executive - <https://www.gov.uk/search?q=asbestos>. The presence of asbestos is a serious concern to many people and could adversely affect the future value of the property. As a result, you may wish to give serious consideration to removing the material now.





### E3 Walls and partitions

2

Internal walls and partitions are of solid and lightweight construction with various finishes.

The walls are in a serviceable condition with no significant defects evident at the time of the inspection. Normal maintenance should be anticipated.

A potentially load-bearing wall has been removed from within the ground-floor accommodation. The loads from above should have been provided with some form of support, although this is now concealed within the fabric of the building and we are unable to confirm either its' adequacy or existence. Whilst we saw no signs of distress during the inspection, your legal adviser should contact the local authority Building Control department to confirm that the works were undertaken with their knowledge and consent.

We found no signs of significant dampness to the internal walls.

Occurrences of mould growth were noted to the window reveals in the property. This is a symptom of condensation and is not considered to be a building defect.

Condensation mould growth is not an unusual problem and may be reduced or eliminated by improving ventilation and raising room temperature. Unchecked condensation can cause potentially toxic mould which is harmful to health. This often begins as black spot mould which invariably signifies a condensation issue as opposed to rising or penetrating dampness.

Maintaining a reasonable balance between heating, ventilation and insulation can reduce excessive condensation although a review of the lifestyle and occupation of the property is often necessary. Attention should be paid to activities such as cooking and washing and drying clothes indoors, which cause considerable amounts of condensation.

Modern wall finishes of plasterboard can crack at the joints between the boards and small areas of plaster can be dislodged by the nail fixings. These can be attended to under normal routine maintenance.

Many of the walls are concealed by paper linings. Should you remove the lining, it is possible that areas of plaster will become detached and that localised or more extensive repairs will then be required.





## E4 Floors

2

The ground floor is of solid construction and the upper floors are of suspended timber construction.

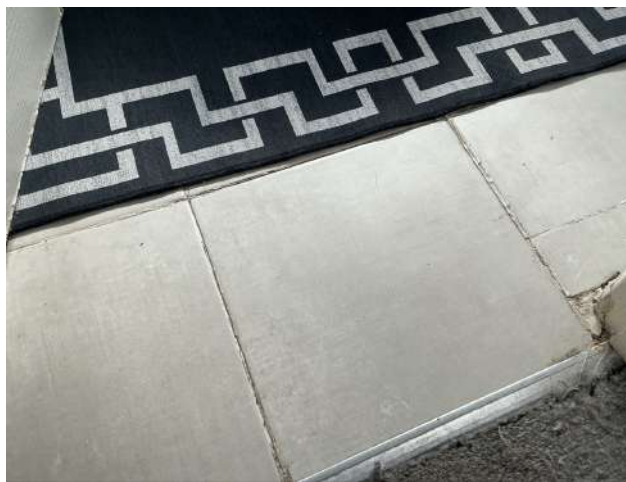
The floors appeared generally serviceable at the time of inspection, with no signs of significant distortion or deflection noted. However, in a property of this age, solid ground floors may not incorporate a conventional damp-proof membrane and, as a result, there is a risk that dampness could occur. Appropriate remedial works, where necessary, can be disruptive and may involve re-laying the floor to incorporate a damp-proof membrane.

The floors are concealed by floor coverings and finishes and could not be inspected in detail. As such, concealed defects may become apparent when existing finishes are lifted or replaced.

The suspended timber floors felt generally firm underfoot, although some localised creaking was noted. This is not uncommon in properties of this type and age, but repairs may be required in due course if the movement or noise becomes more pronounced.

Floor finishes are generally worn and may require replacement or upgrading to suit your needs. We also noted that a later floor covering appears to have been laid over the original tiled finish with an additional underlay, which has slightly raised the floor level. As a result, the covering is catching on the back door and preventing it from opening freely. Improvements are required. These may include lifting and removing the later lino covering, or making more isolated adjustments to achieve adequate clearance and allow the door to operate properly.

Ceramic floor tiles are present in parts of the property. Some of the grouting and finishes were poor and require improvement as necessary. It should be borne in mind that ceramic tiles are inherently brittle and, where laid on suspended timber floors, can be prone to cracking because of the natural movement and slight springiness of the structure beneath.





## E5 Fireplaces, chimney breasts and flues

2

The property has a redundant chimney breast that appears to have been covered over. This should be ventilated to prevent the build-up of moisture that could create damp problems.

Any unused flues should be capped externally while maintaining airflow and ventilated at the site of the original fireplace to prevent condensation from forming.

The chimney sites appear to be largely redundant and disused. If you propose to use the fireplaces in the future, we recommend that the flues are checked and swept before use. It is also possible that flue linings will need to be fitted/flue linings have deteriorated and may need to be renewed. Background ventilation levels should also be checked and these may need to be upgraded. You should obtain further advice from a HETAS-registered contractor.

There is a possibility of migration of salts and sulphates from the flues into the plasterwork. These salts are hygroscopic and attract atmospheric moisture which can give the appearance of dampness. Should this occur in the future then these areas will need to be replastered after the brickwork behind has been sealed to prevent further salt migration.





## E6 Built-in fittings (built-in kitchen and other fittings, not including appliances)

2

The kitchen units appear to be adequately presented and serviceable if subject to general wear and tear. No doubt you have already assessed the adequacy of these, and other built-in fittings, for your own purposes.

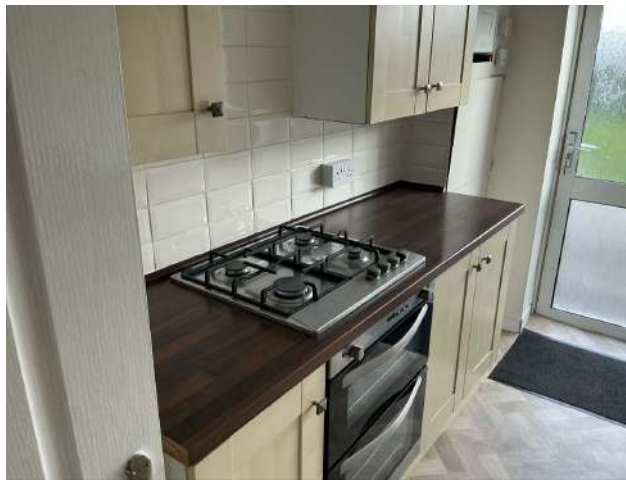
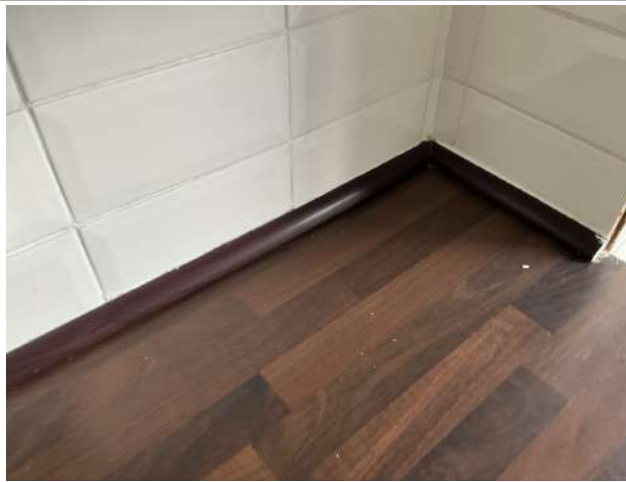
The flexible sealant around the units is worn and should be renewed. Defects may be present in concealed areas and we recommend that you inspect these as a precaution.

There is insufficient ventilation in the kitchen. We recommend modern mains mechanical extraction or environment control units are installed to prevent condensation and related defects. We refer you to our comments within Section Heating & Ventilation later in this report.

Built-in fittings can sometimes conceal defects and signs of dampness/condensation and mould in the structure behind, which will only become apparent when they are removed. We are unable to identify defects hidden within the structure or fabric of the building.

Adequate ventilation must be maintained within the kitchen. This will be achieved by periodically servicing any mechanical ventilation systems, operating or installing trickle vents in windows, and maintaining a 10mm gap below doors.

A mastic seal should be applied along the back edges of the kitchen worktops to prevent water penetration behind the units. The carcassing to these units is made of chipboard which deteriorates when it becomes wet. It is therefore necessary to protect the chipboard by maintaining seals and laminated coverings in good condition.





## E7 Woodwork (for example, staircase joinery)

2

The internal woodwork comprises doors, stairs, frames, architraving and skirting boards with various finishes.

The internal woodwork/joinery is consistent with its age and was noted to be in a serviceable condition, if subject to general wear and tear. However, large gaps in the balustrade (safety risk) and worn finishes was noted. Improvement works are now required.

The gaps in the balustrade are wider than the recommended maximum of 100mm. Additional spindles or rails should be installed to protect small children and animals.

The internal decorations are generally in a dated condition and soiled in areas, and redecoration is recommended. You should allow for some making good as part of the preparation works. Some further marking and dis-colouration are likely to become apparent when furnishings are removed.

The staircase is of dated timber construction and rather too steep to comply with current regulations but in keeping with the house. Additional care should be taken when using it because of the associated increased risks of tripping or falling.

Over time, the wood to staircases can shrink and split loosening the various joints, causing the stairs to creak when used. Repair and maintenance will be required from time to time.





## E8 Bathroom fittings

2

The sanitary fittings are functional but are becoming somewhat dated and require a general clean and overhaul.

The flexible sealant and grouting around the bath and fittings is suspect and moulding and should be renewed. Defects may be present in concealed areas and we recommend that you inspect these, prior to legal commitment to purchase.

There is insufficient ventilation in the bathroom. We recommend modern mains mechanical extraction or environment control units are installed to prevent condensation and related defects. We refer you to our comments within Section Heating & Ventilation later in this report.

Flexible sealants around the sanitary fittings are a source of water penetration and should be checked regularly and renewed as necessary. Damage may allow water penetration to enclosed areas beneath, which can cause rot and decay.

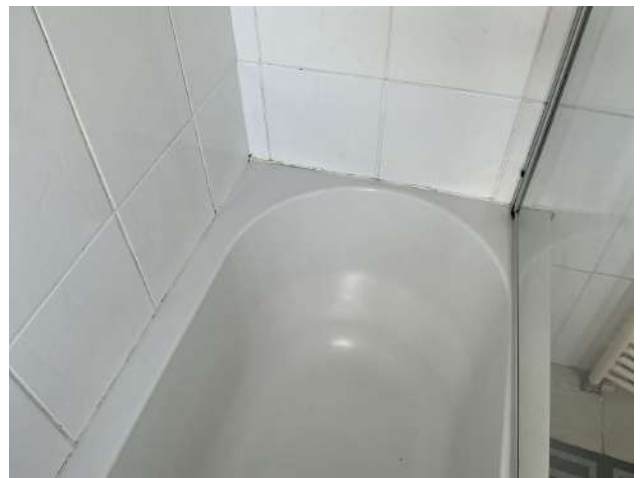
Tiled walls in showers are commonly a source of water penetration which can lead to damage to services and finishes as well as timber decay. While no problems were seen, regular maintenance should be undertaken along with prompt repair in response to any defects that become apparent.

The flooring beneath the fixtures and fittings could not be inspected as this would involve damaging investigations which are beyond the scope of a normal survey. If there has been leakage, such as from concealed pipework, grouting, seals or through gaps in the wall tiles, the dampness may have caused some rot in the floor.

However, we found no evidence of any decay or damp staining at the time of the inspection.

With respect to showers generally, they should be regularly cleaned, including the heads, to prevent the harbouring of bacteria such as Legionella.

The shower installation was not operated and this should be tested and checked before purchase. Only formal investigation and testing can confirm the adequate operation and efficiency of such installations and we refer you to our comments within the section titled 'Water Heating', as detailed below.





## E9 Other

NA

In a property of this age asbestos-based components are likely to have been used, some of which are hidden within the structure. This should be borne in mind when undertaking any works to the property. Should asbestos-based materials be found then they may need to be dealt with by specialist contractors and this could prove expensive. Further advice is available from the Health & Safety Executive - <https://www.gov.uk/search?q=asbestos>.

# F

## Services

Services are generally hidden within the construction of the property. This means that we can only inspect the visible parts of the available services, and we do not carry out specialist tests. The visual inspection cannot assess the services to make sure they work efficiently and safely, and meet modern standards.

## Services

### Limitations on the inspection

In view of the above limitations to our inspection, and having regard to the safety implications, services must be tested prior to purchase.

### F1 Electricity

**Safety warning:** *The Electrical Safety Council recommends that you should get a registered electrician to check the property and its electrical fittings at least every ten years, or on change of occupancy. All electrical installation work undertaken after 1 January 2005 should have appropriate certification. For more advice, contact the Electrical Safety Council*

2

#### SAFETY WARNING:

You should have your electrical installations inspected and tested regularly to protect your home from damage and to avoid putting your safety at risk. Guidance published by the Institution of Electrical Engineers recommends that electrical installations should be inspected and tested at least every 10 years and when the occupiers of the property change. This should include (but not limited to), where applicable, showers, hot taps, electric underfloor heating, macerators, cooker hoods, ovens and all other associated fixtures and fittings. All electrical work carried out after 1 January 2005 should be recorded on an Electrical Installation Certificate.

It is impossible to fully assess the condition of an electrical installation on the basis of a visual inspection only. There are many factors relating to the adequacy of electrical installations which can only be identified by a test which covers matters relating to resistance, impedance and current, etc.

Mains electricity is connected, with the meter and consumer unit located in the under stairs cupboard.

Our visual inspection revealed that the installation appeared to be functional. However, in view of the guidance given above relating to the change of occupancy, we recommend that the installation should now be checked by an appropriate specialist registered with either the NICEIC or a similar approved body prior to the exchange of contracts.



### F2 Gas/oil

**Safety warning:** All gas and oil appliances and equipment should be regularly inspected, tested, maintained and serviced by a registered 'competent person' in line with the manufacturer's instructions. This is important to make sure that the equipment is working correctly, to limit the risk of fire and carbon monoxide poisoning, and to prevent carbon dioxide and other greenhouse gases from leaking into the air. For more advice, contact the Gas Safe Register for gas installations, and OFTEC for oil installations

2

**SAFETY WARNING:**

All gas and oil appliances and equipment should regularly be inspected, tested, maintained and serviced by a registered 'competent person' and in line with the manufacturer's instructions. This is important to make sure that the equipment is working correctly, to limit the risk of fire and carbon monoxide poisoning, and to prevent carbon dioxide and other greenhouse gases from leaking into the air. For more advice, contact the Gas Safe Register for gas installations, and OFTEC for oil installations.

Mains gas supply is connected, with a meter located in the under stairs cupboard.

In view of the guidance above and as a matter of safety, you should now arrange for the installation and all gas appliances to be inspected and tested by a Gas Safe engineer prior to the exchange of contracts.



### F3 Water

(NI)

We must stress that whilst every effort is made to identify any obvious deficiencies or signs of problematic areas, our inspection, is a visual, surface-level only and no tests are carried out. Much of the plumbing installation is often hidden away within sub-structures such as floors, walls and ceilings, etc. A further, more detailed, review and test of the plumbing installation is advised so, as to avoid any problems after taking up occupation.

Mains water is supplied. The external stop valve could not be located and you should make enquiries of the local water company to ascertain its location.

The internal stop valve is located in the kitchen.

We cannot confirm whether the property has a water meter.

There are no cold water storage tanks in the property. Please be aware that the lack of a cold water storage system means that you will have no stored water should the supply be temporarily interrupted.



## F4 Heating

1

### HEATING:

The property has a conventional gas-fired central heating system with a boiler which feeds a series of radiators in the various rooms. Whilst apparently serviceable, you should now arrange for a Gas Safe engineer to check and test the system prior to the exchange of contracts as a matter of safety.

### VENTILATION:

Properties suffer from condensation when the heating and ventilation are not balanced effectively. This factor is very much dependent on the number of occupants and how a property is used. If either heating or ventilation is deficient then condensation will occur. This could eventually result in black staining and mould on colder surfaces such as those found around windows and doors, behind furniture and in cupboards and rooms where there is poor heating. The situation can be exacerbated by the amount of normal day-to-day activities which produce excessive amounts of water into the atmosphere.

Seasonal climate conditions and periods when the property is left unoccupied will also increase the likelihood of condensation. To reduce this risk you should ensure that there is sufficient heating and ventilation at all times and that both are carefully monitored and balanced appropriately. Condensation and its causes are multi-factorial and sometimes nothing less than significant upgrading of the heating and ventilation together with improving the fabric of the building will stop condensation and mould from occurring.

There is insufficient ventilation in the kitchen and bathroom. Additional mechanical extraction should now be considered.

Current Building Regulations state that all habitable rooms should be provided with adequate background ventilation. This is normally provided via trickle ventilation to the head of windows and doors. We, therefore, recommend you instruct a window/door specialist to undertake a full assessment of all existing windows and doors with all appropriate recommendations to be undertaken. This should ideally be undertaken, prior to the exchange of contracts, so that you are fully aware of what work are required and associated costs.



## F5 Water heating

NA

Hot water is provided by the main combination boiler. See our comments below, Heating & Ventilation.

## F6 Drainage

2

The property is believed to be connected to the mains drainage system. In older properties, both foul and surface water goes into the same pipes while newer properties keep the two in separate pipes. The subject property is believed to be connected to a combined system.

### ABOVE GROUND:

The property has a combination of PVC and cast iron waste pipes.

The visible system was generally functional but we noted corroded sections in parts, inadequately supported pipes in parts and lack of cover. Repairs and improvements should be carried out soon after occupation.

As stated above, partial corrosion was evident to the cast-iron soil pipe. Repairs can be carried out to prolong the units but deterioration is likely to be ongoing. If they are to be retained, frequent maintenance should be expected with increased costs. You should anticipate and budget for the renewal with modern equivalents in the short to medium term.

A bird guard should be fitted to the summit of the stack to prevent blockages and associated defects.

A hopper head is connected to the waste pipe system. Whilst these were commonly installed around the time the property was constructed they are prone to failure and as an open receptacle can become blocked by leaves and debris. Periodic maintenance should be undertaken until such time as it is replaced.

The property would benefit from the installation of drainage channels at the base of the main walls. Over time rainwater deteriorates masonry, particularly at ground level, and this increases the likelihood of dampness to the interior. We recommend you obtain estimates for the installation of French drains or suitable equivalent before the exchange of contracts.

#### BELOW GROUND:

No drain covers or access points were identified/accessed within the boundary of the property and the system must, therefore, be expressly excluded from the scope of this report. If the drains become blocked, solving the problem may be disruptive and in some cases costly. As a precaution, you should have the installation checked and tested prior to the exchange of contracts.

It was not possible to lift inspection chamber covers within the site curtilage, therefore, the system must be expressly excluded from the scope of this report. There may be hidden defects requiring investigation and repair. As a precaution, you should have the installation checked and tested prior to the exchange of contracts.

Inspection chambers and gullies should be maintained to a good standard. Therefore, they should be checked and jet-washed/cleaned annually. Periodic repairs may be required from time to time.





**F7 Common services**

NA

N/A

# G

**Grounds**

**(Including shared areas for flats)**

# G

## Grounds (including shared areas for flats)

### Limitations on the inspection

The inspection of the grounds was limited to those parts that could be readily accessible or seen within the curtilage of the property.

### G1 Garage

NA

N/A

### G2 Permanent outbuildings and other structures

2

The property has an outbuilding to the rear.

This appears generally satisfactory and fit for purpose but is of basic construction and will be more prone to damp and decay. Ongoing maintenance will be required that may be more frequent in the future.

Parts of the outbuilding are made out of material that may contain asbestos. These appear to be in satisfactory condition at present and should present no health risk if undisturbed. However, they should not be cut or worked in any way and specialist advice must be sought prior to being removed as this will prove costly.

Should you wish to store items inside be advised that this space will likely be subject to ongoing water penetration and/or condensation.

The electrical components within the garage should be checked and tested as part of the wider electrical installation inspection.





It is not possible to categorically confirm the subject property, or neighbouring properties are free from invasive plant species such as Japanese Knotweed, Bamboo, Himalayan Balsam, etc. You are, therefore, advised to procure a specialist 'Invasive Plants and Weeds Survey' prior to purchase, if you require assurances both the subject property and neighbouring gardens/land are free from such invasive plants.

The external areas appeared generally maintainable but we noted some defects/issues that will require repair or renewal including deterioration of the timber fencing and deterioration of the gate. Repairs and improvements are now required in order to prevent issues from arising in the future.

Periodic maintenance of the decking will be required to prevent deterioration and the build-up of algae/grime which can cause the surface to become slippery when wet.

There are various trees and shrubs within the proximity of the building. Trees and shrubs can cause damage to buildings and services but none were seen. Arrangements should be made for the trees and shrubs to be kept regularly pruned to prevent them from increasing in size.





# H

## Issues for your legal advisers

We do not act as a legal adviser and will not comment on any legal documents. However, if, during the inspection, we identify issues that your legal advisers may need to investigate further, we may refer to these in the report (for example, to state you should check whether there is a warranty covering replacement windows). You should show your legal advisers this section of the report.

# Issues for your legal advisers

## H1 Regulation

Access to the property is via both pedestrian and vehicular to the front. Your legal adviser should confirm that all legal arrangements are in order.

The presence of any rights of way across the property to the side and rear should be confirmed.

A tunnel entry which is shared with the neighbouring property, affords direct access to the rear garden. Your Legal Adviser should confirm the arrangements and implications.

Access to the property is by roads and footpaths, which are made up and are assumed to be adopted by the Local Authority. Confirmation should be obtained by your Legal Adviser.

We understand that the property is held on a Freehold Title. You should ask your legal adviser to confirm this and explain the implications.

The existence of any Chancel Repair Liability should be ascertained.

## H2 Guarantees

Your legal adviser should check that valid guarantees exist for the double glazing and alterations to the services and that these can be assigned to you on purchase.

Your legal adviser should establish whether there are any service agreements or engineer's certificates.

Confirmation should be obtained that the property is connected to mains drainage.

A Gas and Electrical Inspection Certificate for the property should be obtained.

You should access and consider the Energy Performance Certificate (EPC) for the building. Please also refer to the Energy Efficiency and Carbon Footprint section of this report for further general advice.

## H3 Other matters

Your legal adviser should confirm and verify the extent and ownership of the various boundaries surrounding the property so that you can better understand and budget for your financial and any potential legal liabilities in respect of such. This is so, as to avoid any doubt or potential disputes with neighbouring property owners at a later stage.



## Risks

This section summarises defects and issues that present a risk to the building or grounds, or a safety risk to people. These may have been reported and condition-rated against more than one part of the property, or may be of a more general nature. They may have existed for some time and not be reasonably changed.

# Risks

## I1 Risks to the building

Potential defects arising from services including all gas installations, electric, water and drainage. Full inspections of these services should be carried out before purchase.

Given the age of the property, the potential for hidden asbestos to be present within its construction is considered to be above average and you must therefore accept and budget accordingly.

There is no burglar alarm fitted and this should be considered upon occupation as the installation of such a system can help deter intruders and can possibly lower insurance premiums.

It is important that all external doors and windows provide a proper level of security to prevent unwanted entry. You should make sure at the very least that the standards required by your buildings insurance policy are satisfied. Good advice can also be obtained from the local Crime Prevention Officer.

## I2 Risks to the grounds

N/A

## I3 Risks to people

The following issues have been identified as being potentially hazardous to the occupants. You should consider these issues, investigate and carry out improvements as deemed necessary. Quotations should be gained prior to purchase for any works deemed necessary.

Ventilation is necessary to provide a healthy and comfortable internal environment for the building occupants. The main purpose of ventilation is to remove polluted indoor air from a building and replace it with 'Fresh' outside air. It is important that you review the natural background, mechanical and trickle ventilation and carry out upgrading where feasible and practical to do so.

We recommend that mains connected smoke and carbon monoxide detectors are fitted and tested, prior to occupation.

## I4 Other risks or hazards

N/A

# J

## Property valuation

## Property valuation

This valuation has been undertaken in accordance with *RICS Valuation – Global Standards* (Red Book Global Standards), which includes the *International Valuation Standards*.

**In my opinion the market values on 28-03-2026 as inspected was:**

£240000

Two Hundred and Forty Thousand

**In my opinion the current reinstatement cost of the property (see note below) is:**

£164000

One Hundred and Sixty Four Thousand

**Tenure**

Freehold

**Area of property (sq m)**

76m2

### **! Arriving at my valuation, I made the following assumptions:**

**Regarding the materials, construction, services, fixtures and fittings, etc., I have assumed that:**

- an inspection of the parts that I could not inspect would not identify significant defects or a cause to alter the valuation
- no dangerous or damaging materials or building techniques have been used in the property
- there is no contamination in or from the ground, and the ground has not been used as landfill
- the property is connected to, and has the right to use, the mains services mentioned in the report and
- the valuation does not take into account any furnishings, removable fittings or sales incentives.

Regarding legal matters, I have assumed that:

- the property is sold with 'vacant possession' (your legal advisers can give you more information on this term)
- the condition of the property, or the purpose the property is or will be used for, does not break any laws
- no particularly troublesome or unusual restrictions apply to the property, the property is not affected by problems that would be revealed by the usual legal inquiries, and all necessary planning permissions and Building Regulations consents (including consents for alterations) have been obtained and complied with, and
- the property has the right to use the mains services on normal terms, and that the sewers, mains services and roads giving access to the property have been 'adopted' (that is, they are

**!** **Reminder**

Your legal advisers, and other people who carry out property conveyancing, should be familiar with these assumptions and are responsible for checking assumptions concerning legal matters.

**Any additional assumptions relating to the valuation**

N/A

My opinion of the market value shown could be affected by the outcome of the enquiries by your legal advisers (section H) and/or any further investigations and quotations for repairs or replacements. The valuation assumes that your legal advisers will receive satisfactory replies to their enquiries about any assumptions in the report

**Other considerations affecting value**

N/A

**Note:** You can find information about the assumptions I have made in calculating this reinstatement cost in the *Description of the RICS Home Survey – Level 2 (survey and valuation) service* provided in section M.

The reinstatement cost is the cost of rebuilding an average home of the type and style inspected to its existing standard, using modern materials and techniques, and by acting in line with current Building Regulations and other legal requirements. This will help you decide on the amount of buildings insurance cover you will need for the property.

# K

## Surveyor's declaration



## Surveyor's declaration

### Surveyor's details

Phillip Hayden AssocRICS  
RICS number:0804620

### Phone number

01215170227

### Company

Haydens Residential Surveying

### Address

1310 Solihull Parkway, Solihull Birmingham, West Midlands B37 7YB

### Email

hello@haydens-surveying.co.uk

### Website

www.haydens-surveying.co.uk

### Property address

[REDACTED]

### Client's name

[REDACTED]

### Date this report was produced

29-03-2026

I confirm that I have inspected the property and prepared this report.

**L**

**What to do now**



## Further investigations and getting quotes

We have provided advice below on what to do next, now that you have an overview of any work to be carried out on the property. We recommend you make a note of any quotations you receive.

### Getting quotations

The cost of repairs may influence the amount you are prepared to pay for the property. Before you make a legal commitment to buy the property, you should get reports and quotations for all the repairs and further investigations the surveyor may have identified. You should get at least two quotations from experienced contractors who are properly insured.

You should also:

- ask them for references from people they have worked for
- describe in writing exactly what you will want them to do and
- get them to put their quotations in writing.

Some repairs will need contractors who have specialist skills and who are members of regulated organisations (for example, electricians, gas engineers, plumbers and so on). You may also need to get Building Regulations permission or planning permission from your local authority for some work.

### Further investigations and what they involve

If we are concerned about the condition of a hidden part of the building, could only see part of a defect or do not have the specialist knowledge to assess part of the property fully, we may have recommended that further investigations should be carried out to discover the true extent of the problem.

This will depend on the type of problem, but to do this properly, parts of the home may have to be disturbed, so you should discuss this matter with the current owner. In some cases, the cost of investigation may be high.

When a further investigation is recommended, the following will be included in your report:

- a description of the affected element and why a further investigation is required
- when a further investigation should be carried out and
- a broad indication of who should carry out the further investigation.

### Who you should use for further investigations

You should ask an appropriately qualified person, although it is not possible to tell you which one. Specialists belonging to different types of organisations will be able to do this. For example, qualified electricians can belong to five different government-approved schemes. If you want further advice, please contact the surveyor.

# M

**Description of the RICS Home Survey –  
Level 2 (survey and valuation) service and  
terms of engagement**



# Description of the RICS Home Survey – Level 2 (survey and valuation) service and terms of engagement

## The service

The RICS Home Survey – Level 2 (survey and valuation) service includes:

- a physical **inspection** of the property (see *The inspection* below)
- a **report** based on the inspection (see *The report* below) and
- a **valuation**, which is part of the report (see *The valuation* below).

The surveyor who provides the RICS Home Survey – Level 2 (survey and valuation) service aims to give you professional advice to help you to:

- make an informed decision on whether to go ahead with buying the property
- make an informed decision on what is a reasonable price to pay for the property
- take into account any repairs or replacements the property needs, and
- consider what further advice you should take before committing to purchasing the property.

Any extra services provided that are not covered by the terms and conditions of this service must be covered by a separate contract.

## The inspection

The surveyor inspects the inside and outside of the main building and all permanent outbuildings, recording the construction and significant visible defects that are evident. This inspection is intended to cover as much of the property as is physically accessible. Where this is not possible, an explanation is provided in the 'Limitations on the inspection' box in the relevant section of the report.

The surveyor does not force or open up the fabric of the building. This includes taking up fitted carpets, fitted floor coverings or floorboards; moving heavy furniture; removing the contents of cupboards, roof spaces, etc.; removing secured panels and/or hatches; or undoing electrical fittings.

If necessary, the surveyor carries out parts of the inspection when standing at ground level, from adjoining public property where accessible. This means the extent of the inspection will depend on a range of individual circumstances at the time of inspection, and the surveyor judges each case on an individual basis.

The surveyor uses equipment such as a damp meter, binoculars and torch, and uses a ladder for flat roofs and for hatches no more than 3m above level ground (outside) or floor surfaces (inside) if it is safe to do so.

If it is safe and reasonable to do so, the surveyor will enter the roof space and visually inspect the roof structure with attention paid to those parts vulnerable to deterioration and damage. Although

the surveyor does not move or lift insulation material, stored goods or other contents.

The surveyor also carries out a desk-top study and makes oral enquiries for information about matters affecting the property.

### **Services to the property**

Services are generally hidden within the construction of the property. This means that only the visible parts of the available services can be inspected, and the surveyor does not carry out specialist tests. The visual inspection cannot assess the efficiency or safety of electrical, gas or other energy sources; plumbing, heating or drainage installations (or whether they meet current regulations); or the inside condition of any chimney, boiler or other flue.

### **Outside the property**

The surveyor inspects the condition of boundary walls, fences, permanent outbuildings and areas in common (shared) use. To inspect these areas, the surveyor walks around the grounds and any neighbouring public property where access can be obtained. Where there are restrictions to access (e.g. a creeper plant prevents closer inspection), these are reported and advice is given on any potential underlying risks that may require further investigation.

Buildings with swimming pools and sports facilities are also treated as permanent outbuildings and are therefore inspected, but the surveyor does not report on the leisure facilities, such as the pool itself and its equipment internally or externally, landscaping and other facilities (for example, tennis courts and temporary outbuildings).

### **Flats**

When inspecting flats, the surveyor assesses the general condition of the outside surfaces of the building, as well as its access areas (for example, shared hallways and staircases that lead directly to the subject flat) and roof spaces, but only if they are accessible from within and owned by the subject flat. The surveyor does not inspect drains, lifts, fire alarms and security systems.

External wall systems are not inspected. If the surveyor has specific concerns about these items, further investigation will be recommended before making a legal commitment to purchase. Until these investigations are completed, the surveyor may not be able to provide you with a market valuation figure.

### **Dangerous materials, contamination and environmental issues**

The surveyor does not make any enquiries about contamination or other environmental dangers. However, if the surveyor suspects a problem, they should recommend further investigation.

The surveyor may assume that no harmful or dangerous materials have been used in the construction, and does not have a duty to justify making this assumption. However, if the inspection shows that such materials have been used, the surveyor must report this and ask for further instructions.

The surveyor does not carry out an asbestos inspection and does not act as an asbestos inspector when inspecting properties that may fall within *The Control of Asbestos Regulations 2012* ('CAR 2012'). However, the report should properly emphasise the suspected presence of asbestos containing materials if the inspection identifies that possibility. With flats, the surveyor assumes that there is a 'dutyholder' (as defined in CAR 2012), and that there is an asbestos register and an effective management plan in place, which does not present a significant risk to health or need any immediate payment. The surveyor does not consult the dutyholder.

### The report

The surveyor produces a report of the inspection results for you to use, but cannot accept any liability if it is used by anyone else. If you decide not to act on the advice in the report, you do this at your own risk. The report focuses on matters that, in the surveyor's opinion, may affect the value of the property if they are not addressed. The report objectively describes the condition of the elements and provides an assessment of the relative importance of the defects/problems. Although it is concise, the RICS Home Survey – Level 2 (survey and valuation) report does include advice about repairs or any ongoing maintenance issues. Where the surveyor is unable to reach a conclusion with reasonable confidence, a recommendation for further investigation should be made.

### Condition ratings

The surveyor gives condition ratings to the main parts (the 'elements') of the main building, garage and some outside elements. The condition ratings are described as follows:

- **R** – Documents we may suggest you request before you sign contracts.
- **Condition rating 3** – Defects that are serious and/or need to be repaired, replaced or investigated urgently. Failure to do so could risk serious safety issues or severe long-term damage to your property. Written quotations for repairs should be obtained prior to legal commitment to purchase.
- **Condition rating 2** – Defects that need repairing or replacing but are not considered to be either serious or urgent. The property must be maintained in the normal way.
- **Condition rating 1** – No repair is currently needed. The property must be maintained in the normal way.
- **NI** – Elements not inspected.

The surveyor notes in the report if it was not possible to check any parts of the property that the inspection would normally cover. If the surveyor is concerned about these parts, the report tells you about any further investigations that are needed.

### Energy

The surveyor has not prepared the Energy Performance Certificate (EPC) as part of the RICS Home Survey – Level 2 (survey and valuation) service for the property. Where the EPC has not been made available by others, the most recent certificate will be obtained from the appropriate central registry where practicable. If the surveyor has seen the current EPC, they will review and state the relevant energy efficiency rating in this report. In addition, as part of the RICS Home Survey – Level 2 (survey and valuation) service, checks are made for any obvious discrepancies between the EPC and the

subject property, and the implications are explained to you.

### **Issues for legal advisers**

The surveyor does not act as a legal adviser and does not comment on any legal documents. If, during the inspection, the surveyor identifies issues that your legal advisers may need to investigate further, the surveyor may refer to these in the report (for example, to state you should check whether there is a warranty covering replacement windows).

This report has been prepared by a surveyor merely in their capacity as an employee or agent of a firm, company or other business entity ('the Company'). The report is the product of the Company, not of the individual surveyor. All of the statements and opinions contained in this report are expressed entirely on behalf of the Company, which accepts sole responsibility for them. For their part, the individual surveyor assumes no personal financial responsibility or liability in respect of the report, and no reliance or inference to the contrary should be drawn.

In the case of sole practitioners, the surveyor may sign the report in their own name, unless the surveyor operates as a sole trader limited liability company.

Nothing in this report excludes or limits liability for death or personal injury (including disease and impairment of mental condition) resulting from negligence.

### **Risks**

This section summarises significant defects and issues that present a risk to the building or grounds, or a safety risk to people. These may have been reported and condition rated against more than one part of the property, or may be of a more general nature. They may have existed for some time and cannot be reasonably changed. If the property is leasehold, the surveyor gives you general advice and details of questions you should ask your legal advisers. The RICS Home Survey – Level 2 (survey and valuation) report will identify and list the risks, and explain the nature of these problems.

### **The valuation**

The surveyor gives an opinion on both the market value of the property and the reinstatement cost at the time of the inspection (see *Reinstatement cost* below).

#### **Market value**

Market value is the estimated amount for which an asset or liability should exchange on the valuation date between a willing buyer and a willing seller in an arm's length transaction, after proper marketing wherein the parties had each acted knowledgeably, prudently and without compulsion.

When deciding on the market value, the surveyor also makes the following assumptions.

#### **The materials, construction, services, fixtures and fittings, and so on**

The surveyor assumes that:

- an inspection of those parts that have not yet been inspected would not identify significant defects

- no dangerous or damaging materials or building techniques have been used in the property
- there is no contamination in or from the ground, and the ground has not been used as landfill
- the property is connected to, and has the right to use, the mains services mentioned in the report and
- the valuation does not take into account any furnishings, removable fittings and sales incentives of any description.

### **Legal matters**

The surveyor assumes that:

- the property is sold with 'vacant possession' (your legal advisers can give you more information on this term)
- the condition of the property, or the purpose that the property is or will be used for, does not break any laws
- no particularly troublesome or unusual restrictions apply to the property, the property is not affected by problems that would be revealed by the usual legal enquiries, and all necessary planning and Building Regulations permissions (including permission to make alterations) have been obtained and any works undertaken comply with such permissions, and
- the property has the right to use the mains services on normal terms, and the sewers, mains services and roads giving access to the property have been 'adopted' (that is, they are under local authority, not private, control).

The surveyor reports any more assumptions that have been made or found not to apply. If the property is leasehold, the general advice referred to earlier explains what other assumptions the surveyor has made.

### **Reinstatement cost**

Reinstatement cost is the cost of rebuilding an average home of the type and style inspected to its existing standard, using modern materials and techniques, and by acting in line with current Building Regulations and other legal requirements.

This includes the cost of rebuilding any garage, boundary or retaining walls and permanent outbuildings, and clearing the site. It also includes professional fees, but does not include VAT (except on fees).

The reinstatement cost helps you decide on the amount of buildings insurance cover you will need for the property.

## **Standard terms of engagement**

**1 The service** – The surveyor provides the standard RICS Home Survey – Level 2 (survey and valuation) service described in this section, unless you agree with the surveyor in writing before the inspection that the surveyor will provide extra services. Any extra service will require separate terms of engagement to be entered into with the surveyor. Examples of extra services include:

- costing of repairs

- schedules of works
- supervision of works
- re-inspection
- detailed specific issue reports and
- market valuation (after repairs).

**2 The surveyor** – The service will be provided by an AssocRICS, MRICS or FRICS member of the Royal Institution of Chartered Surveyors (RICS) who has the skills, knowledge and experience to survey and report on the property. Where the surveyor is also providing a valuation of the property, they have the skills, knowledge and experience to provide such a valuation, and are a member of the RICS Valuer Registration scheme.

**3 Before the inspection** – Before the inspection, you should tell us if there is already an agreed or proposed price for the property, and if you have any particular concerns about the property (such as a crack noted above the bathroom window or any plans for extension).

**4 Terms of payment** – You agree to pay the surveyor's fee and any other charges agreed in writing.

**5 Cancelling this contract** – You should seek advice on your obligations under *The Consumer Contracts (Information, Cancellation and Additional Charges) Regulations 2013* ('the Regulations') and/or the *Consumer Rights Act 2015*, in accordance with section 2.6 of the current edition of the *Home survey standard* RICS professional statement.

**6 Liability** – The report is provided for your use, and the surveyor cannot accept responsibility if it is used, or relied upon, by anyone else.

**Note:** These terms form part of the contract between you and the surveyor.

This report is for use in the UK.

### **Complaints handling procedure**

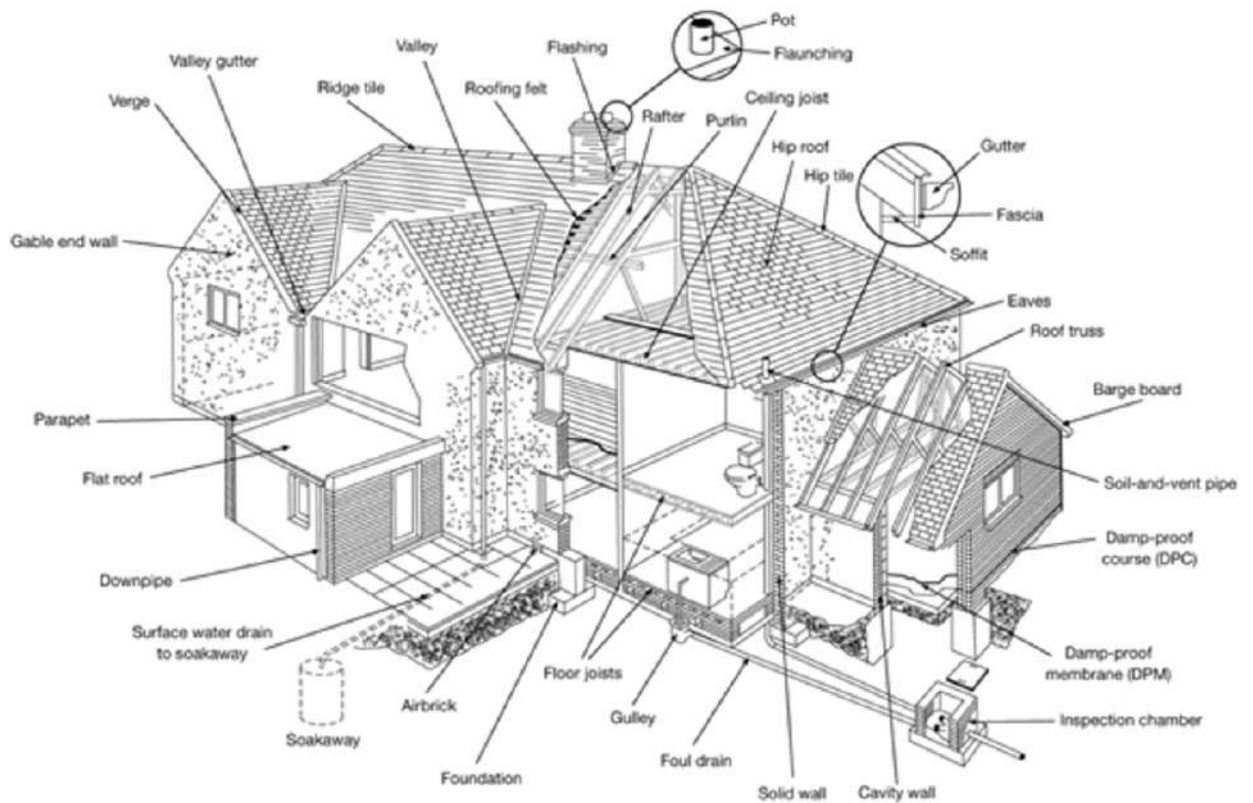
The surveyor will have a complaints handling procedure and will give you a copy if you ask for it. The surveyor is required to provide you with contact details, in writing, for their complaints department or the person responsible for dealing with client complaints. Where the surveyor is party to a redress scheme, those details should also be provided. If any of this information is not provided, please notify the surveyor and ask for it to be supplied.

# N

**Typical house diagram**

## Typical house diagram

This diagram illustrates where you may find some of the building elements referred to in the report.



## RICS disclaimer

### You should know...

This report has been prepared by a surveyor merely in their capacity as an employee or agent of a firm, company or other business entity ('the Company'). The report is the product of the Company, not of the individual surveyor. All of the statements and opinions contained in this report are expressed entirely on behalf of the Company, which accepts sole responsibility for them. For their part, the individual surveyor assumes no personal financial responsibility or liability in respect of the report, and no reliance or inference to the contrary should be drawn.

In the case of sole practitioners, the surveyor may sign the report in their own name, unless the surveyor operates as a sole trader limited liability company.

Nothing in this report excludes or limits liability for death or personal injury (including disease and impairment of mental condition) resulting from negligence.

This document is issued in blank form by the Royal Institution of Chartered Surveyors (RICS) and is available only to parties who have signed a licence agreement with RICS.

RICS gives no representations or warranties, express or implied, and no responsibility or liability is accepted for the accuracy or completeness of the information inserted into the document, or any other written or oral information given to any interested party or its advisers. Any such liability is expressly disclaimed.

ReinstatementCalculator\_40ee3228286bc7b4f78925ee7104a556  
.pdf

---

### PROPERTY LOCATION

---

**Post code:** B92 8HG

---

### PROPERTY DETAILS

---

**Type:** Terraced 2-storey with 3 bedrooms

**Age:** 1946-1979

**Quality:** Basic

**Floor area:** 76m<sup>2</sup> (Gross external floor area)

---

### PRICE LEVEL

---

**Model:** January 2025 (473.8)

**Assessment date:** 29-Mar-2026

**Adjusted to:** March 2026 (493.8)

**Location:** Solihull ( 96; sample 43 )

---

### COST

---

Basic cost	Variable	Rate	Cost
Model cost	76m <sup>2</sup>	x £2,055/m <sup>2</sup>	£156,196
Model size adjustment	76m <sup>2</sup>	x £52/m <sup>2</sup>	£3,915
Base Model Formula: $((76 - 84) / (120 - 84)) * (1823 - 2055)$			

Basic cost	Variable	Rate	Cost
Sub total			£160,111

Features and adjustments	Variable	Rate	Adjustment cost
Access to drains	1Nr	£2,220/ea	£2,200
Cloakroom	1.00 by default - subtract 1.00	£6,198 each	£-6,200
Decking	15m <sup>2</sup>	£220/m <sup>2</sup>	£3,300
Drains	2m of drains	£181/m	£400
Fencing	12m of fencing	£123/m	£1,476
Paving	16m <sup>2</sup> of paved area	£166/m <sup>2</sup>	£2,656
Sub total			£3,832

Total	£164,000
-------	----------





See More Online

# DRR: Desktop Research Report

The key facts about this property & the local market  
**Sunday 29th March 2026 - 22:37**



## Haydens Residential Surveying

1310 Solihull Parkway, Birmingham Business Park, Birmingham, B37 7YB

0121 517 0227

hello@haydens-surveying.co.uk

www.haydens-surveying.co.uk



## Property

<b>Type:</b>	Semi-Detached	<b>Last Sold Date:</b>	23/03/2016
<b>Bedrooms:</b>	3	<b>Last Sold Price:</b>	£145,000
<b>TUFA(GIA):</b>	818 ft <sup>2</sup> / 76 m <sup>2</sup>	<b>Last Sold £/ft<sup>2</sup>:</b>	£182
<b>Plot Area:</b>	0.05 acres	<b>Tenure:</b>	Freehold
<b>Year Built :</b>	1950-1966		
<b>Council Tax :</b>	Band B		
<b>Annual Estimate:</b>	£1,624		
<b>Title Number:</b>	WM350984		
<b>UPRN:</b>	100070981819		
<b>Restrictive Covenants:</b>	Yes		

## Local Area

<b>Local Authority:</b>	Solihull
<b>Conservation Area:</b>	No
<b>Flood Risk:</b>	
● Rivers & Seas	Very low
● Surface Water	Very low

### Estimated Broadband Speeds (Standard - Superfast - Ultrafast)

<b>17</b> mb/s	<b>80</b> mb/s	<b>1800</b> mb/s

### Mobile Coverage: (based on calls indoors)



### Satellite/Fibre TV Availability:









# Gallery Floorplan



8 Campden Green, B92 8HG

Energy rating

**C**

Valid until 27.05.2035

Score	Energy rating	Current	Potential
92+	<b>A</b>		
81-91	<b>B</b>		87   <b>B</b>
69-80	<b>C</b>	72   <b>c</b>	
55-68	<b>D</b>		
39-54	<b>E</b>		
21-38	<b>F</b>		
1-20	<b>G</b>		

## Additional EPC Data





---

<b>Property Type:</b>	House
<b>Build Form:</b>	Mid-Terrace
<b>Transaction Type:</b>	Marketed sale
<b>Energy Tariff:</b>	Unknown
<b>Main Fuel:</b>	Mains gas (not community)
<b>Main Gas:</b>	Yes
<b>Flat Top Storey:</b>	No
<b>Top Storey:</b>	0
<b>Glazing Type:</b>	Double glazing, unknown install date
<b>Previous Extension:</b>	0
<b>Open Fireplace:</b>	0
<b>Ventilation:</b>	Natural
<b>Walls:</b>	Cavity wall, filled cavity
<b>Walls Energy:</b>	Average
<b>Roof:</b>	Pitched, 250 mm loft insulation
<b>Roof Energy:</b>	Good
<b>Main Heating:</b>	Boiler and radiators, mains gas
<b>Main Heating Controls:</b>	Programmer, room thermostat and TRVs
<b>Hot Water System:</b>	From main system
<b>Hot Water Energy Efficiency:</b>	Good
<b>Lighting:</b>	Low energy lighting in 63% of fixed outlets
<b>Floors:</b>	Solid, no insulation (assumed)
<b>Total Floor Area:</b>	76 m <sup>2</sup>

# Comparables

## Sold in your area



	<p><b>12, Colesbourne Road, Solihull, B92 8LE</b></p>	<p><b>Sold (25/11/2025)</b> Freehold</p>	<p>📍 £265,000    🏠 Terraced    🛏️ 3 beds            📏 807.29 ft<sup>2</sup>    🏠 £328 /ft<sup>2</sup>    📍 0.29 mi</p>
	<p><b>45, Coverdale Road, Solihull, B92 7NU</b></p>	<p><b>Sold (31/07/2025)</b> Freehold</p>	<p>📍 £280,000    🏠 Terraced    🛏️ 3 beds            📏 1,054.86 ft<sup>2</sup>    🏠 £265 /ft<sup>2</sup>    📍 0.18 mi</p>
	<p><b>53, Melton Avenue, Solihull, B92 8HF</b></p>	<p><b>Sold (09/07/2025)</b> Freehold</p>	<p>📍 £300,000    🏠 Terraced    🛏️ 3 beds            📏 936.46 ft<sup>2</sup>    🏠 £320 /ft<sup>2</sup>    📍 0.18 mi</p>
	<p><b>44, Shalford Road, Solihull, B92 7NF</b></p>	<p><b>Sold (01/09/2025)</b> Freehold</p>	<p>📍 £222,500    🏠 Terraced    🛏️ 3 beds            📏 818.06 ft<sup>2</sup>    🏠 £272 /ft<sup>2</sup>    📍 0.49 mi</p>

<b>22, Campden Green, Solihull, B92 8HG</b>	Semi-detached House		
Last Sold Date:	28/02/2023		
Last Sold Price:	£238,000		
<b>102, Campden Green, Solihull, B92 8HG</b>	Semi-detached House		
Last Sold Date:	08/07/2022	20/12/2017	
Last Sold Price:	£317,000	£265,000	
<b>42, Campden Green, Solihull, B92 8HG</b>	Semi-detached House		
Last Sold Date:	30/06/2022	07/06/2005	14/06/1996
Last Sold Price:	£257,000	£160,000	£48,000
<b>24, Campden Green, Solihull, B92 8HG</b>	Terraced House		
Last Sold Date:	28/04/2022	29/09/2000	
Last Sold Price:	£100,000	£82,500	
<b>48, Campden Green, Solihull, B92 8HG</b>	Semi-detached House		
Last Sold Date:	30/09/2021	04/04/2003	
Last Sold Price:	£255,000	£136,500	
<b>72, Campden Green, Solihull, B92 8HG</b>	Flat-maisonette House		
Last Sold Date:	28/09/2021	07/12/2007	
Last Sold Price:	£142,750	£104,950	
<b>10, Campden Green, Solihull, B92 8HG</b>	Terraced House		
Last Sold Date:	28/02/2020	17/06/2011	
Last Sold Price:	£225,000	£52,000	
<b>38, Campden Green, Solihull, B92 8HG</b>	Semi-detached House		
Last Sold Date:	09/09/2019	10/01/1997	
Last Sold Price:	£221,000	£54,500	
<b>26, Campden Green, Solihull, B92 8HG</b>	Semi-detached House		
Last Sold Date:	29/10/2018	07/11/1998	
Last Sold Price:	£265,000	£69,000	
<b>16, Campden Green, Solihull, B92 8HG</b>	Semi-detached House		
Last Sold Date:	01/12/2016	02/08/2010	07/10/2002
Last Sold Price:	£235,000	£177,500	£124,950
<b>4, Campden Green, Solihull, B92 8HG</b>	Terraced House		
Last Sold Date:	24/06/2016		
Last Sold Price:	£169,000		
<b>8, Campden Green, Solihull, B92 8HG</b>	Terraced House		
Last Sold Date:	23/03/2016	28/10/2005	19/05/2003
Last Sold Price:	£145,000	£144,000	£97,000

**NOTE:** In this list we display up to 6 most recent sales records per property, since 1995.

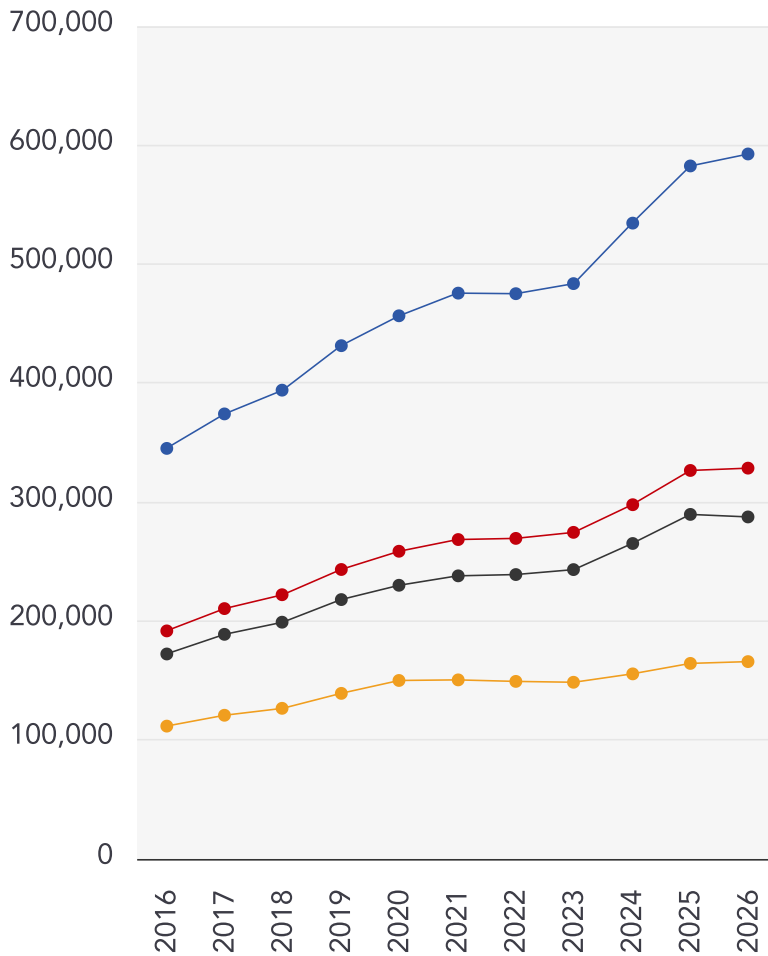
<b>14, Campden Green, Solihull, B92 8HG</b>	Semi-detached House
Last Sold Date: 19/06/2014	
Last Sold Price: £149,950	
<b>36, Campden Green, Solihull, B92 8HG</b>	Flat-maisonette House
Last Sold Date: 21/03/2014	
Last Sold Price: £132,000	
<b>62, Campden Green, Solihull, B92 8HG</b>	Semi-detached House
Last Sold Date: 24/08/2012	
Last Sold Price: £175,000	
<b>82, Campden Green, Solihull, B92 8HG</b>	Flat-maisonette House
Last Sold Date: 23/01/2012	
Last Sold Price: £85,000	
<b>18, Campden Green, Solihull, B92 8HG</b>	Semi-detached House
Last Sold Date: 27/04/2011	
Last Sold Price: £158,000	
<b>60, Campden Green, Solihull, B92 8HG</b>	Semi-detached House
Last Sold Date: 28/06/2010	
Last Sold Price: £148,000	
<b>54, Campden Green, Solihull, B92 8HG</b>	Semi-detached House
Last Sold Date: 18/03/2010   04/08/2000	
Last Sold Price: £152,000   £74,950	
<b>92, Campden Green, Solihull, B92 8HG</b>	Terraced House
Last Sold Date: 12/09/2007	
Last Sold Price: £181,950	
<b>46, Campden Green, Solihull, B92 8HG</b>	Semi-detached House
Last Sold Date: 27/07/2007	
Last Sold Price: £174,950	
<b>30, Campden Green, Solihull, B92 8HG</b>	Semi-detached House
Last Sold Date: 20/01/2006	
Last Sold Price: £140,000	
<b>50, Campden Green, Solihull, B92 8HG</b>	Semi-detached House
Last Sold Date: 19/07/2002	
Last Sold Price: £109,950	
<b>96, Campden Green, Solihull, B92 8HG</b>	Semi-detached House
Last Sold Date: 23/01/1998	
Last Sold Price: £67,000	

**NOTE:** In this list we display up to 6 most recent sales records per property, since 1995.

# Market House Price Statistics



### 10 Year History of Average House Prices by Property Type in B92



Detached

**+71.71%**

Semi-Detached

**+71.36%**

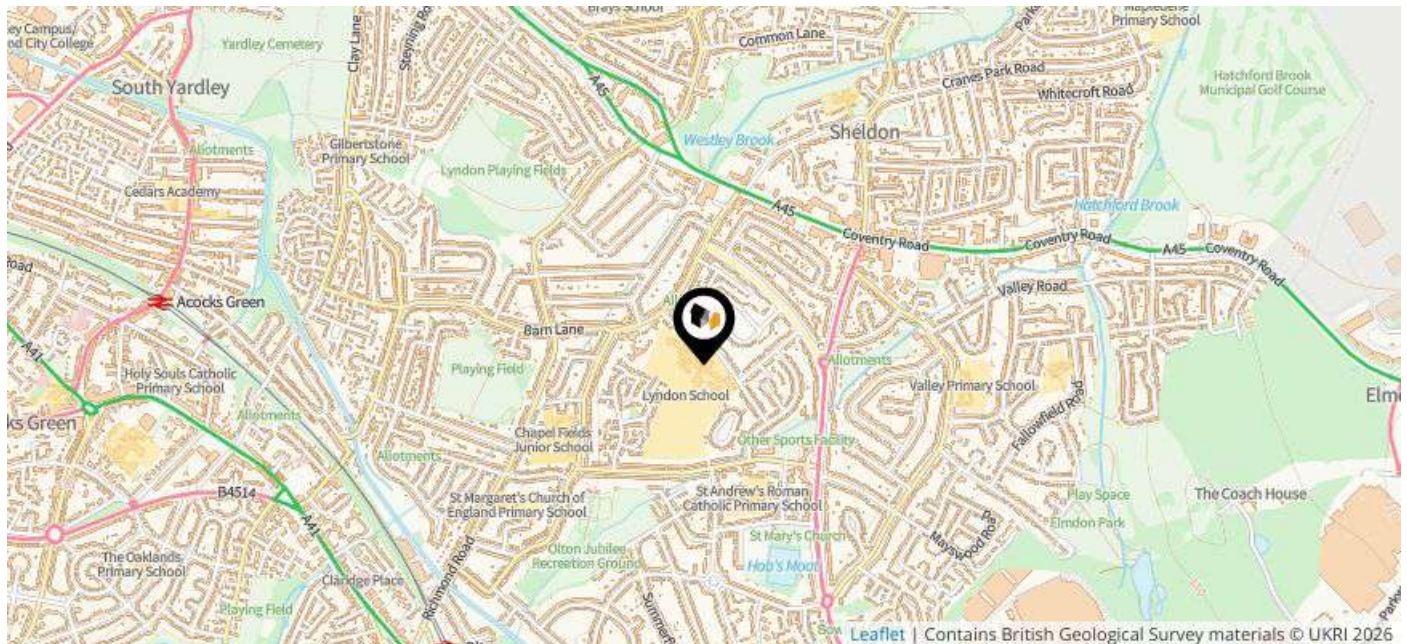
Terraced

**+66.85%**

Flat

**+48.55%**

This map displays nearby coal mine entrances and their classifications.



## Mine Entry

- ✕ Adit
- ✕ Gutter Pit
- ✕ Shaft

The Coal Authority has records of over 175,000 mine entries within the UK captured in the National Coal Mining database, derived from sources including abandonment plans, geological and topographical plans.

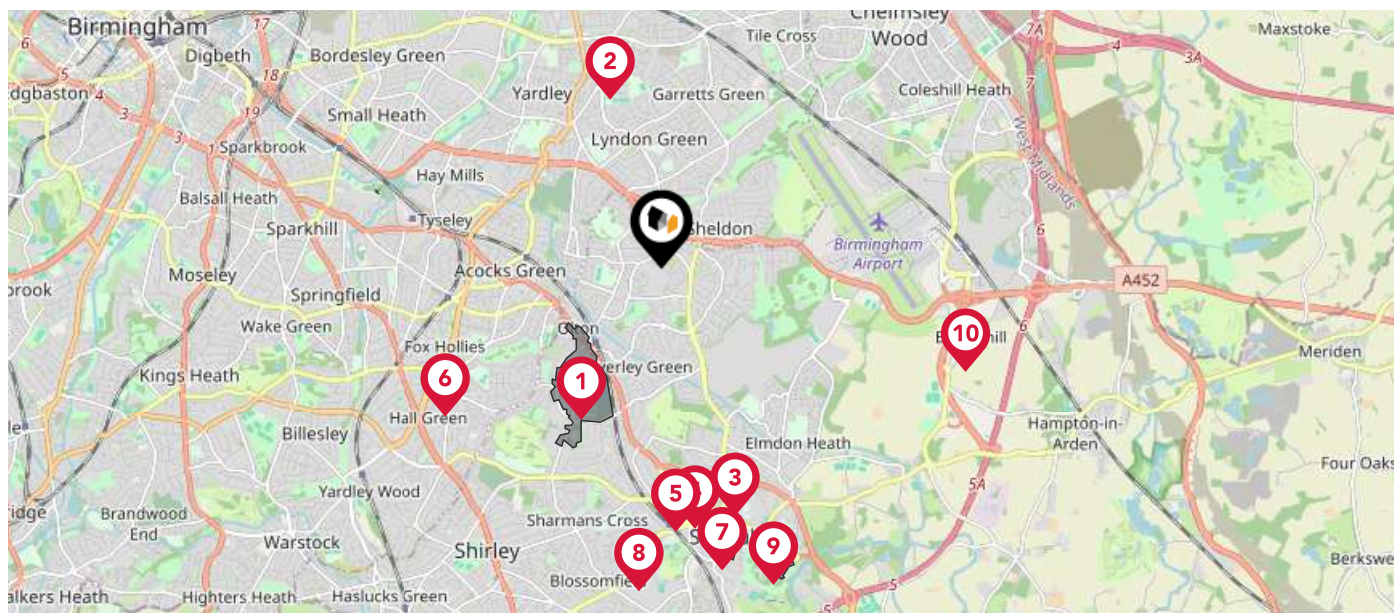
Coal mining activity is recorded as far back as the 13th century, but prior to 1872 there was no requirement to deposit abandonment plans. It is therefore believed there may be many unrecorded mine entries of which the Authority has no information or knowledge. These entries do not, therefore, appear within the Authority's national dataset as shown on this map.

# Maps

## Conservation Areas



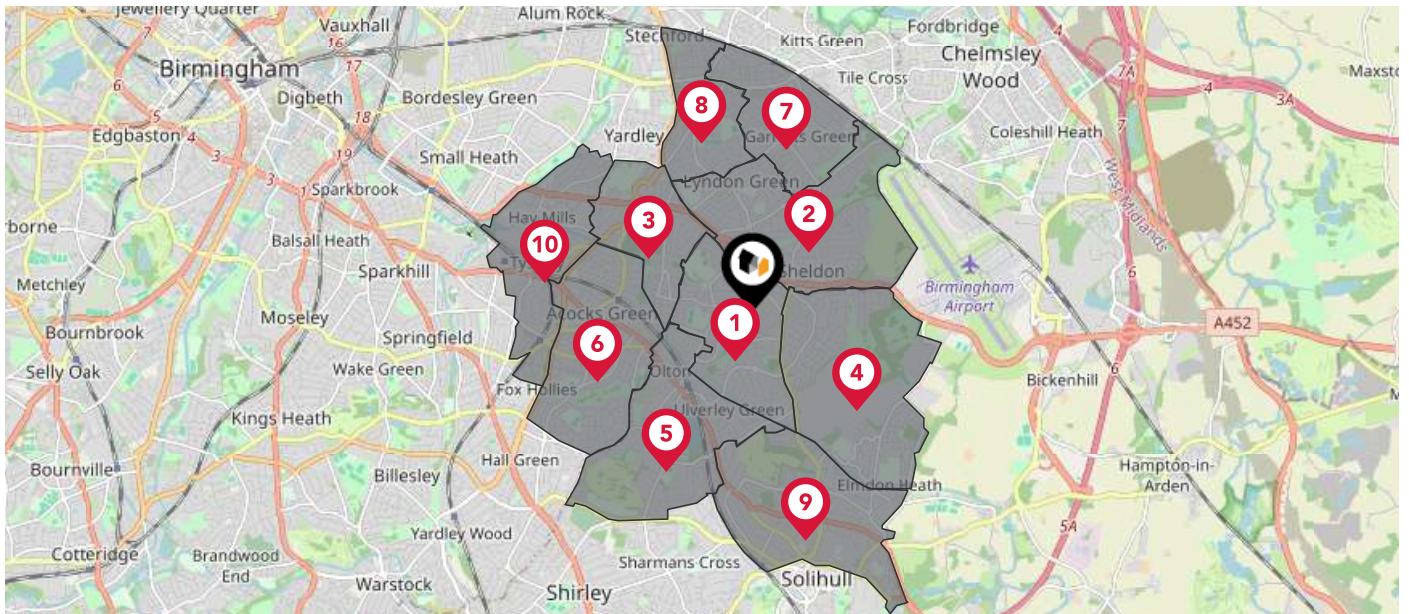
This map displays nearby official conservation areas. Every local authority in England has at least one conservation area. Most are designated by the Council as the local planning authority, though Historic England and the Secretary of State also have the power to create them.













### Nearby Conservation Areas

- 1 Conservation Area - Olton
- 2 Old Yardley
- 3 Conservation Area - Grove Avenue, Solihull
- 4 Conservation Area - Warwick Road, Solihull
- 5 Conservation Area - Ashleigh Road, Solihull
- 6 School Road
- 7 Conservation Area - Solihull
- 8 Conservation Area - White House Way/White House Green
- 9 Conservation Area - Malvern Hall And Brueton Avenue
- 10 Conservation Area - Bickenhill

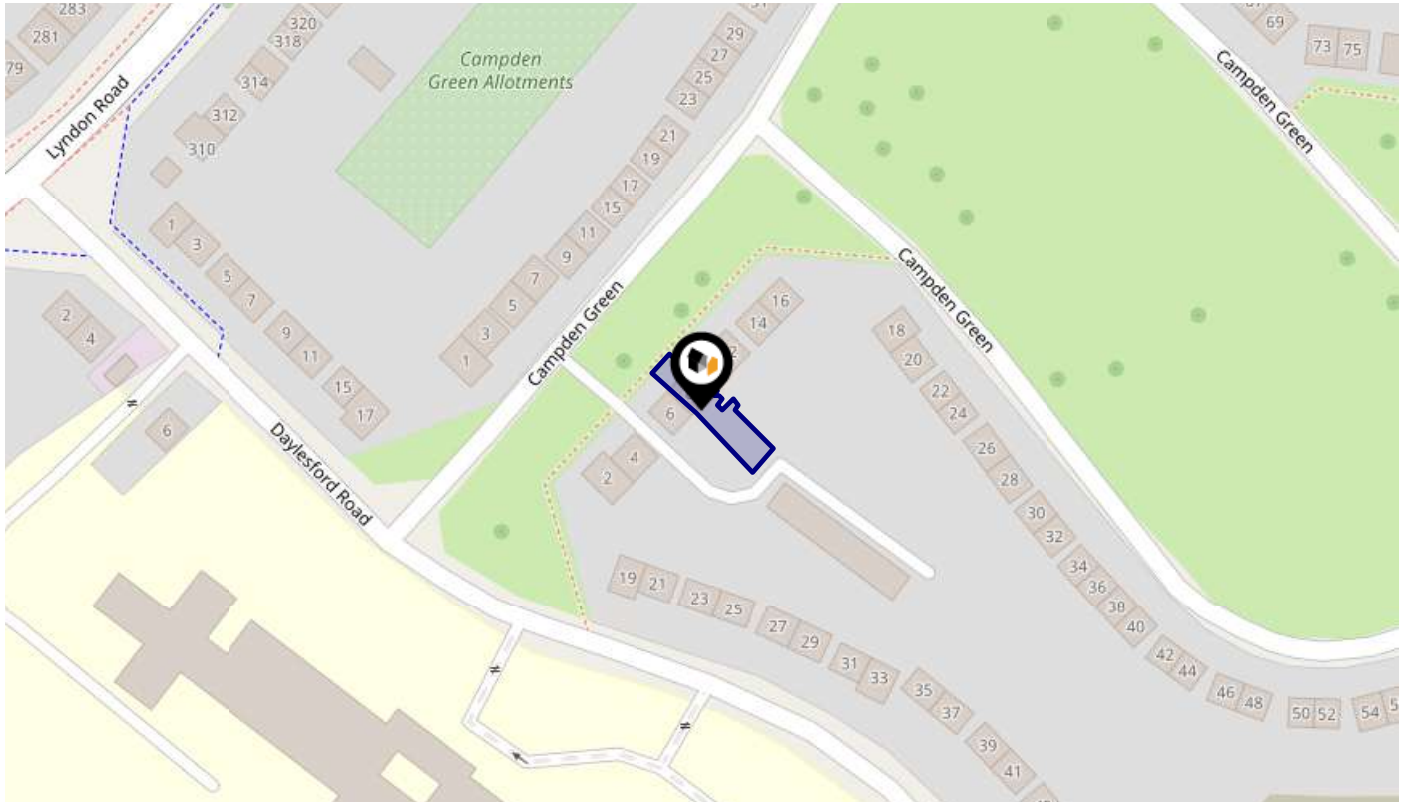
The UK is divided into wards that are used for local elections to elect local government councillors. Sometimes these are known as 'electoral divisions'. Population counts can vary substantially between wards, but the national average is about 5,500



### Nearby Council Wards

-  Lyndon Ward
-  Sheldon Ward
-  South Yardley Ward
-  Elmdon Ward
-  Olton Ward
-  Acocks Green Ward
-  Garretts Green Ward
-  Yardley East Ward
-  Silhill Ward
-  Tyseley & Hay Mills Ward

This map displays the noise levels from nearby network rail and HS1 railway routes that affect this property...



### Rail Noise Data

This data indicates the level of noise according to the strategic noise mapping of rail sources within areas with a population of at least 100,000 people (agglomerations) and along Network Rail and HS1 traffic routes.

The data indicates the annual average noise levels for the 16-hour period between 0700 - 2300.

Noise levels are modelled on a 10m grid at a receptor height of 4m above ground, polygons are then produced by merging neighbouring cells within the following noise classes:

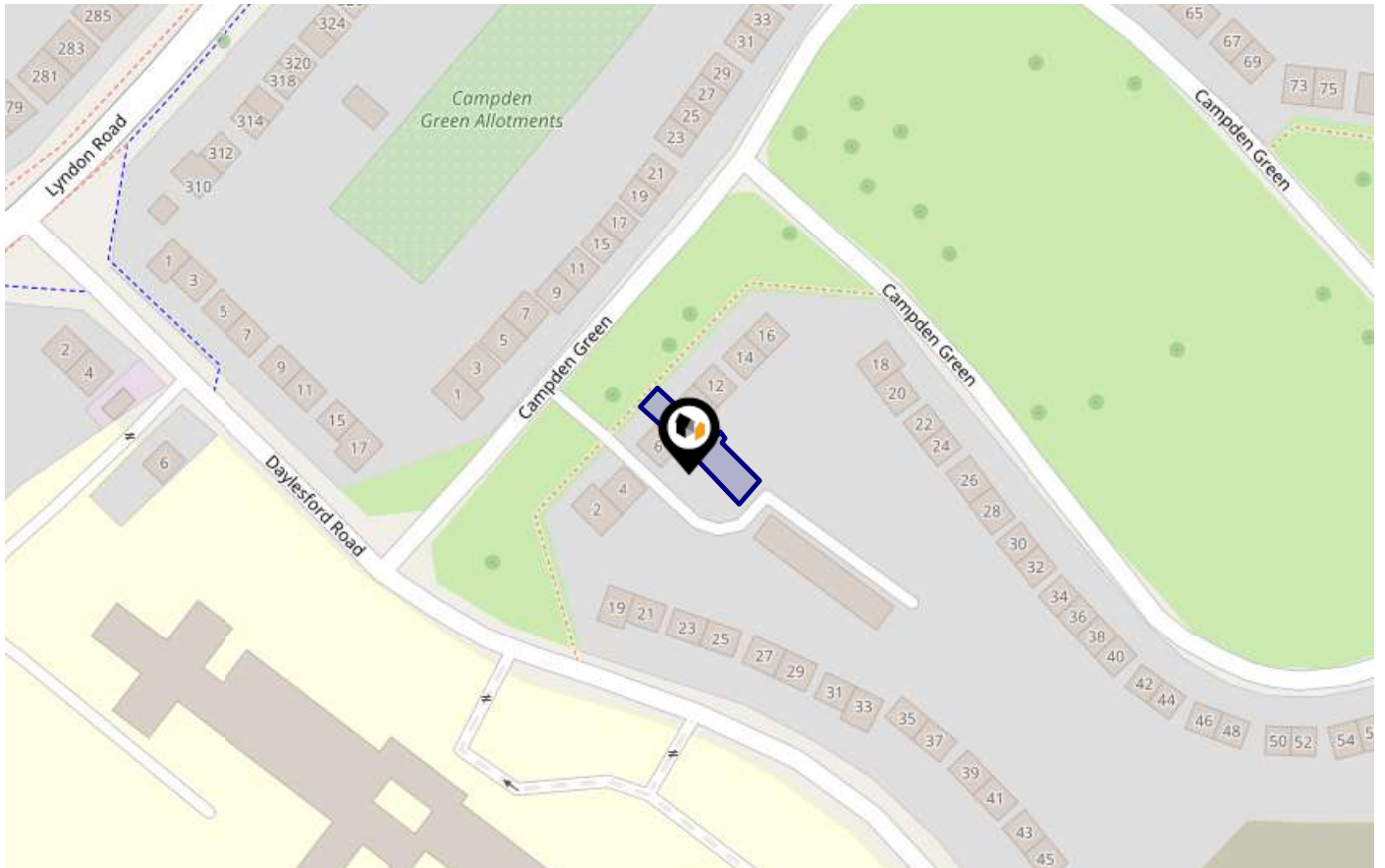
5		75.0+ dB	
4		70.0-74.9 dB	
3		65.0-69.9 dB	
2		60.0-64.9 dB	
1		55.0-59.9 dB	

# Flood Risk

## Rivers & Seas - Flood Risk



This map shows the chance of flooding from rivers and / or the sea, taking into account flood defences and their condition.



**Risk Rating: Very low**

The map does not contain sufficient information for it to be used to determine flood risk to individual properties, but it does give you an indication of whether your area may be affected by surface water flooding at this risk level.

- **High Risk** - an area which has a chance of flooding of greater than 1 in 30 (3.3%) in any one year.
- **Medium Risk** - an area which has a chance of flooding of greater than 1 in 100 (1.0%) in any one year.
- **Low Risk** - an area which has a chance of flooding of greater than 1 in 1000 (0.1%) in any one year.
- **Very Low Risk** - an area in which the risk is below 1 in 1000 (0.1%) in any one year.

Chance of flooding to the following depths at this property:

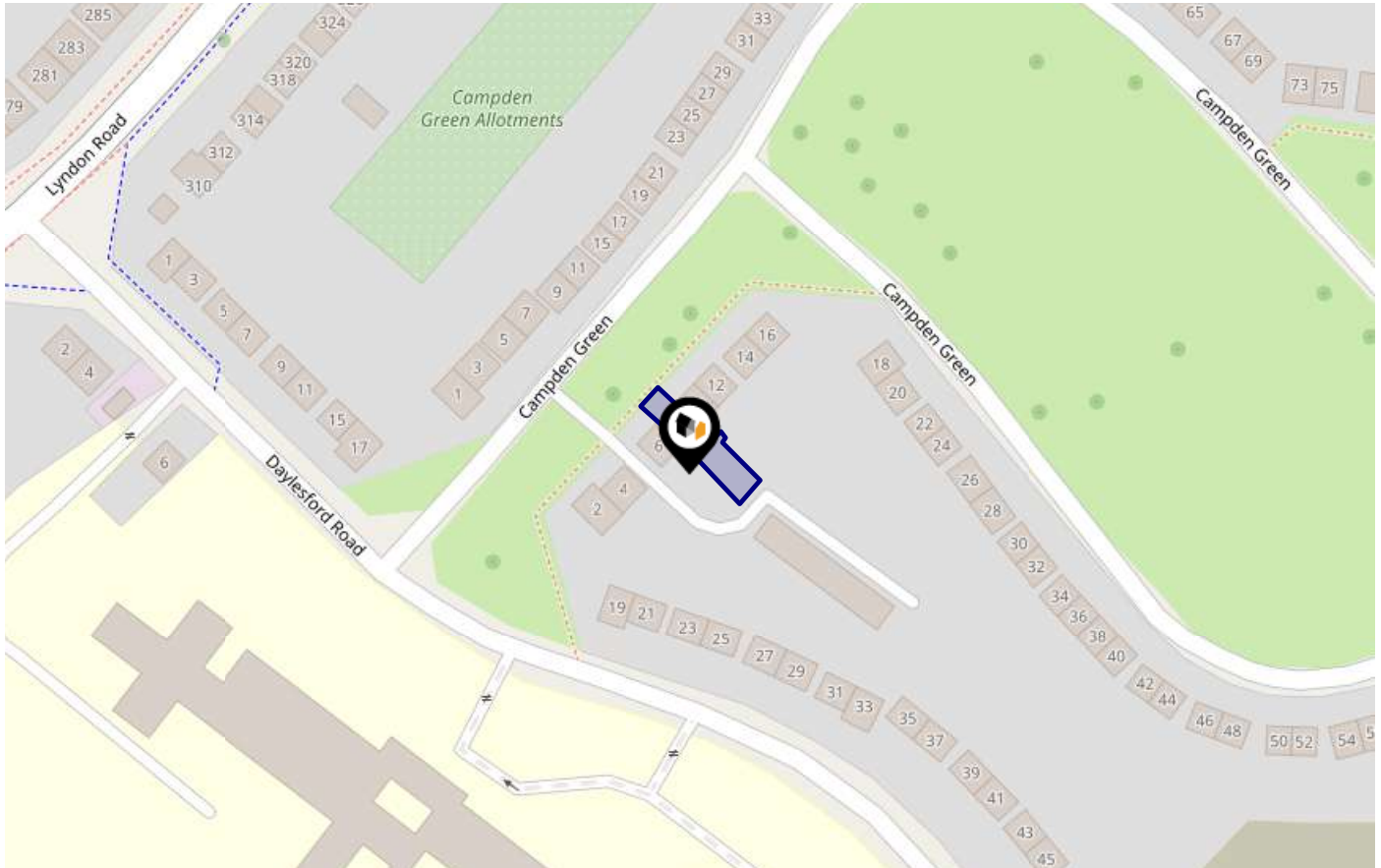


# Flood Risk

## Rivers & Seas - Climate Change



This map shows the future chance of flooding from rivers and / or the sea **between 2036 and 2069**, taking into account flood defences and their condition. The government climate change models cannot predict exactly when the chance of flooding will go up. It could happen at any time during the time period.



**Risk Rating: Very low**

The map does not contain sufficient information for it to be used to determine flood risk to individual properties, but it does give you an indication of whether your area may be affected by surface water flooding at this risk level.

- High Risk** - an area which has a chance of flooding of greater than 1 in 30 (3.3%) in any one year.
- Medium Risk** - an area which has a chance of flooding of greater than 1 in 100 (1.0%) in any one year.
- Low Risk** - an area which has a chance of flooding of greater than 1 in 1000 (0.1%) in any one year.
- Very Low Risk** - an area in which the risk is below 1 in 1000 (0.1%) in any one year.

Chance of flooding to the following depths at this property:

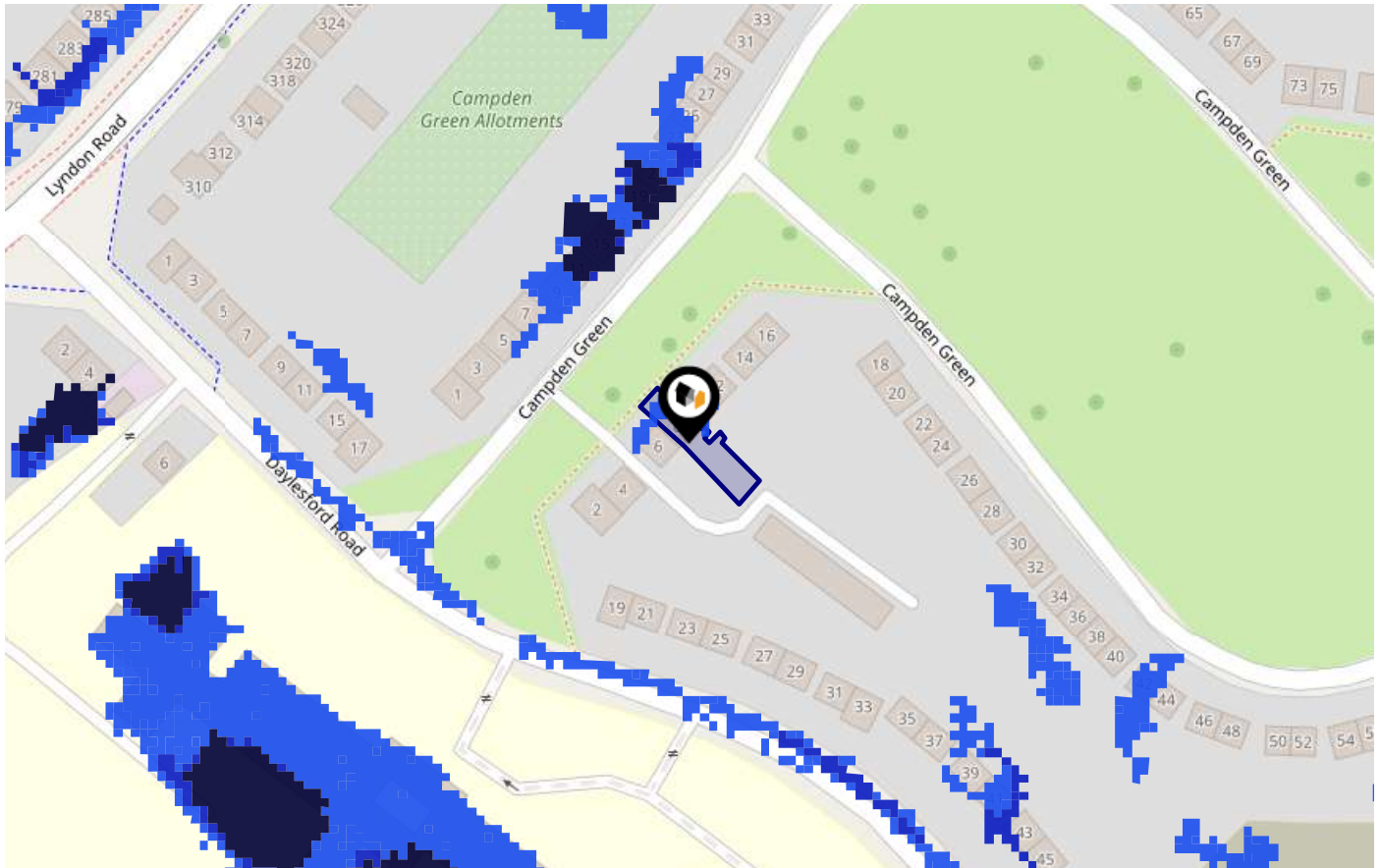


# Flood Risk

## Surface Water - Flood Risk



This map shows the chance of flooding where rainwater has nowhere to drain. This kind of flooding can occur far from rivers or seas.



Risk Rating: Very low

The map does not contain sufficient information for it to be used to determine flood risk to individual properties, but it does give you an indication of whether your area may be affected by surface water flooding at this risk level.

- High Risk** - an area which has a chance of flooding of greater than 1 in 30 (3.3%) in any one year.
- Medium Risk** - an area which has a chance of flooding of greater than 1 in 100 (1.0%) in any one year.
- Low Risk** - an area which has a chance of flooding of greater than 1 in 1000 (0.1%) in any one year.
- Very Low Risk** - an area in which the risk is below 1 in 1000 (0.1%) in any one year.

Chance of flooding to the following depths at this property:

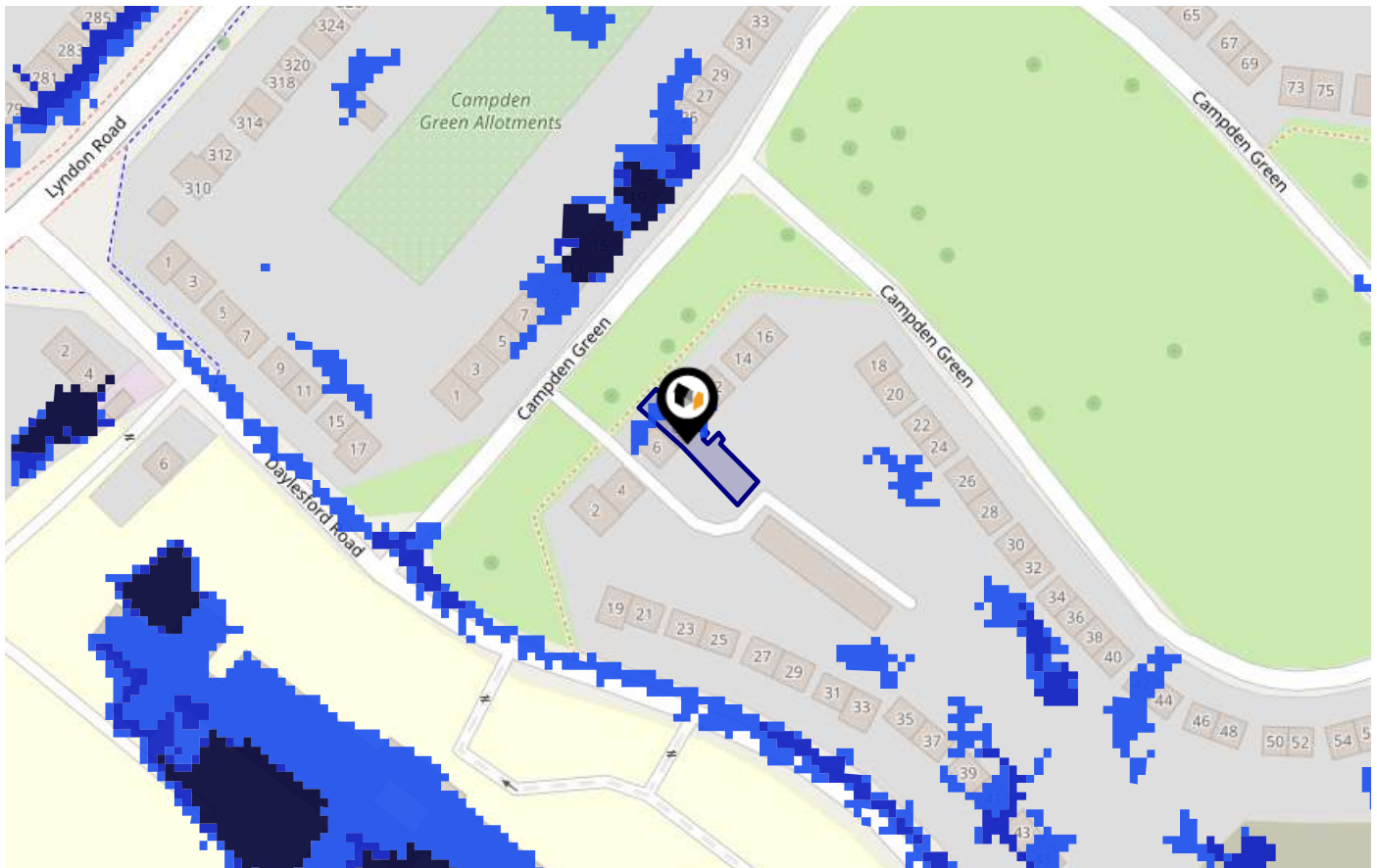


# Flood Risk

## Surface Water - Climate Change



This map shows the future chance of flooding **between 2040 and 2060** where rainwater has nowhere to drain. This kind of flooding can occur far from rivers or seas. The government climate change models cannot predict exactly when the chance of flooding will go up. It could happen at any time during the time period.



Risk Rating: Very low

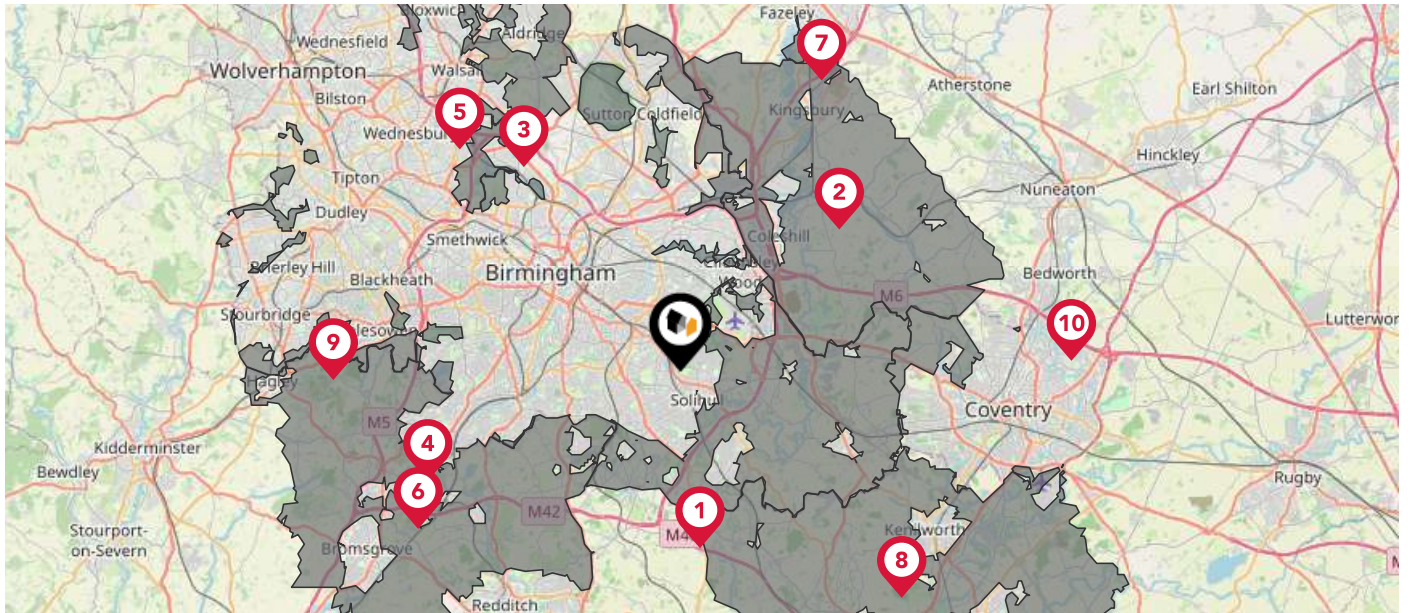
The map does not contain sufficient information for it to be used to determine flood risk to individual properties, but it does give you an indication of whether your area may be affected by surface water flooding at this risk level.

- High Risk** - an area which has a chance of flooding of greater than 1 in 30 (3.3%) in any one year.
- Medium Risk** - an area which has a chance of flooding of greater than 1 in 100 (1.0%) in any one year.
- Low Risk** - an area which has a chance of flooding of greater than 1 in 1000 (0.1%) in any one year.
- Very Low Risk** - an area in which the risk is below 1 in 1000 (0.1%) in any one year.











Chance of flooding to the following depths at this property:



This map displays nearby areas that have been designated as Green Belt...



## Nearby Green Belt Land

-  Birmingham Green Belt - Solihull
-  Birmingham Green Belt - North Warwickshire
-  Birmingham Green Belt - Sandwell
-  Birmingham Green Belt - Birmingham
-  Birmingham Green Belt - Walsall
-  Birmingham Green Belt - Bromsgrove
-  Birmingham Green Belt - Tamworth
-  Birmingham Green Belt - Warwick
-  Birmingham Green Belt - Dudley
-  Birmingham Green Belt - Coventry

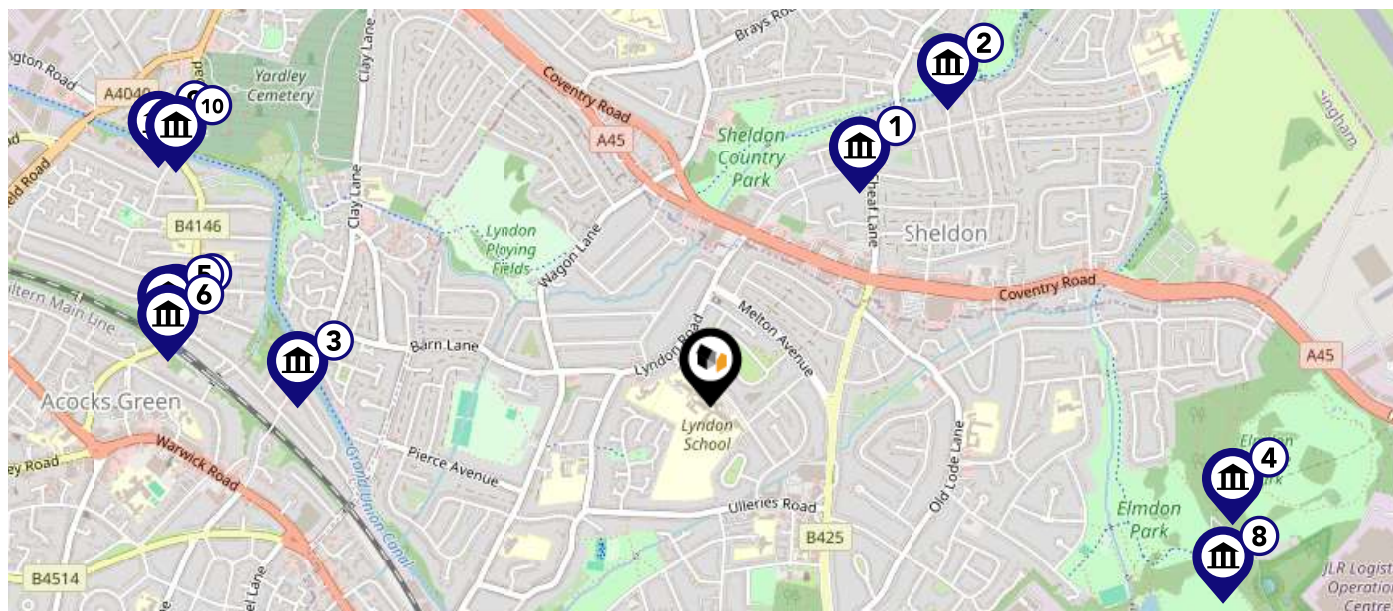
This map displays the location of known landfill sites. Historic sites are where there is no environmental permit in force. Active sites are currently authorised by the Environment Agency under Environmental Permitting Regulations.













### Nearby Landfill Sites

<b>1</b>	Sheldon Recreation Ground-Coventry Road, Sheldon, Birmingham, West Midlands	Historic Landfill
<b>2</b>	Clay Lane Landfill Site-Clay Lane, Yardley, Birmingham, West Midlands	Historic Landfill
<b>3</b>	Clay Lane-Birmingham, West Midlands	Historic Landfill
<b>4</b>	Former Land Rover Works Landfill Site-Woodcock Lane North, Acocks Green, Birmingham, West Midlands	Historic Landfill
<b>5</b>	Clay Lane Cottages Landfill Site-Clay Lane, Acocks Green, Birmingham, West Midlands	Historic Landfill
<b>6</b>	EA/EPR/UP3096FL/A001	Active Landfill
<b>7</b>	Damson Lane-Old Brickworks, Damson Lane, Elmdon Heath, Solihull, West Midlands	Historic Landfill
<b>8</b>	Speedwell Road, Hay Mills-Former Bayliss Brickworks, Speedwell Road, Hay Mills, Birmingham, West Midlands	Historic Landfill
<b>9</b>	Castle Hills Farm (Opposite Hargrave Cottages)- Coventry Road, Brownhill, Birmingham, West Midlands	Historic Landfill
<b>10</b>	Low Brook-Coventry Road, Bickenhill, Birmingham	Historic Landfill

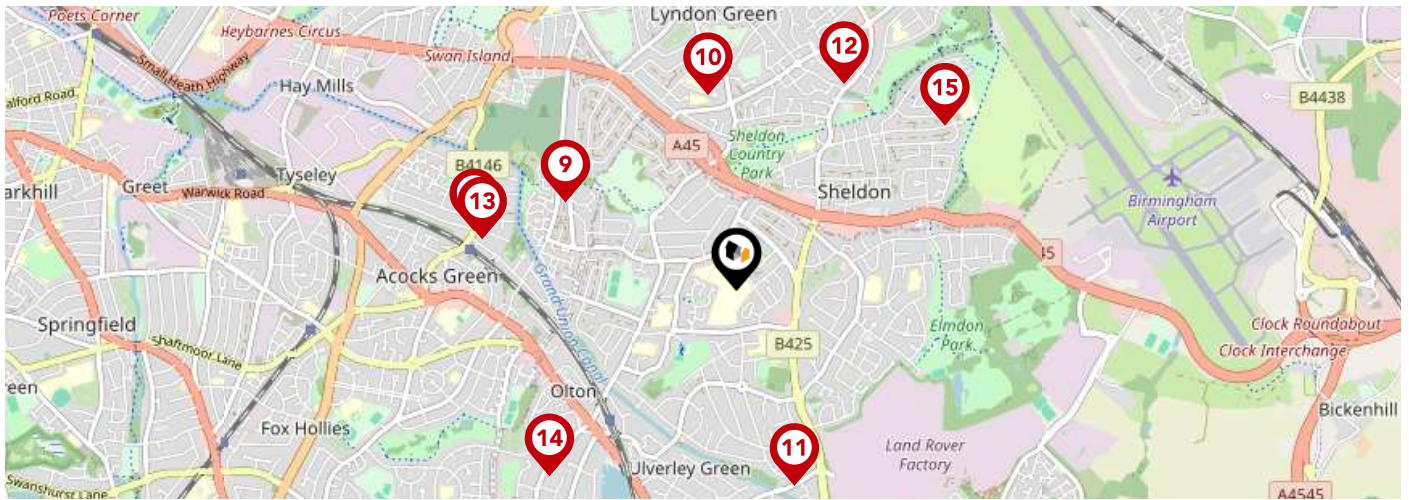
This map displays nearby listed buildings and protected structures, as well as their listed tier and distance from the target property...



Listed Buildings in the local district	Grade	Distance
 1410131 - Roman Catholic Church Of St Thomas More	Grade II	0.6 miles
 1290777 - Old Rectory	Grade II	0.9 miles
 1393190 - Bridge No.86	Grade II	0.9 miles
 1076751 - The Grange	Grade II	1.2 miles
 1276115 - Baptist Church Hall	Grade II	1.2 miles
 1459333 - Acocks Green Police Station And Former Courthouse	Grade II	1.2 miles
 1234473 - Baptist Church	Grade II	1.2 miles
 1031384 - Church Of St Nicholas	Grade II	1.3 miles
 1076256 - Yardley Tools/leonard's Garage Limited	Grade II	1.3 miles
 1076070 - Yardley Cemetery And Crematorium Lodge	Grade II	1.3 miles

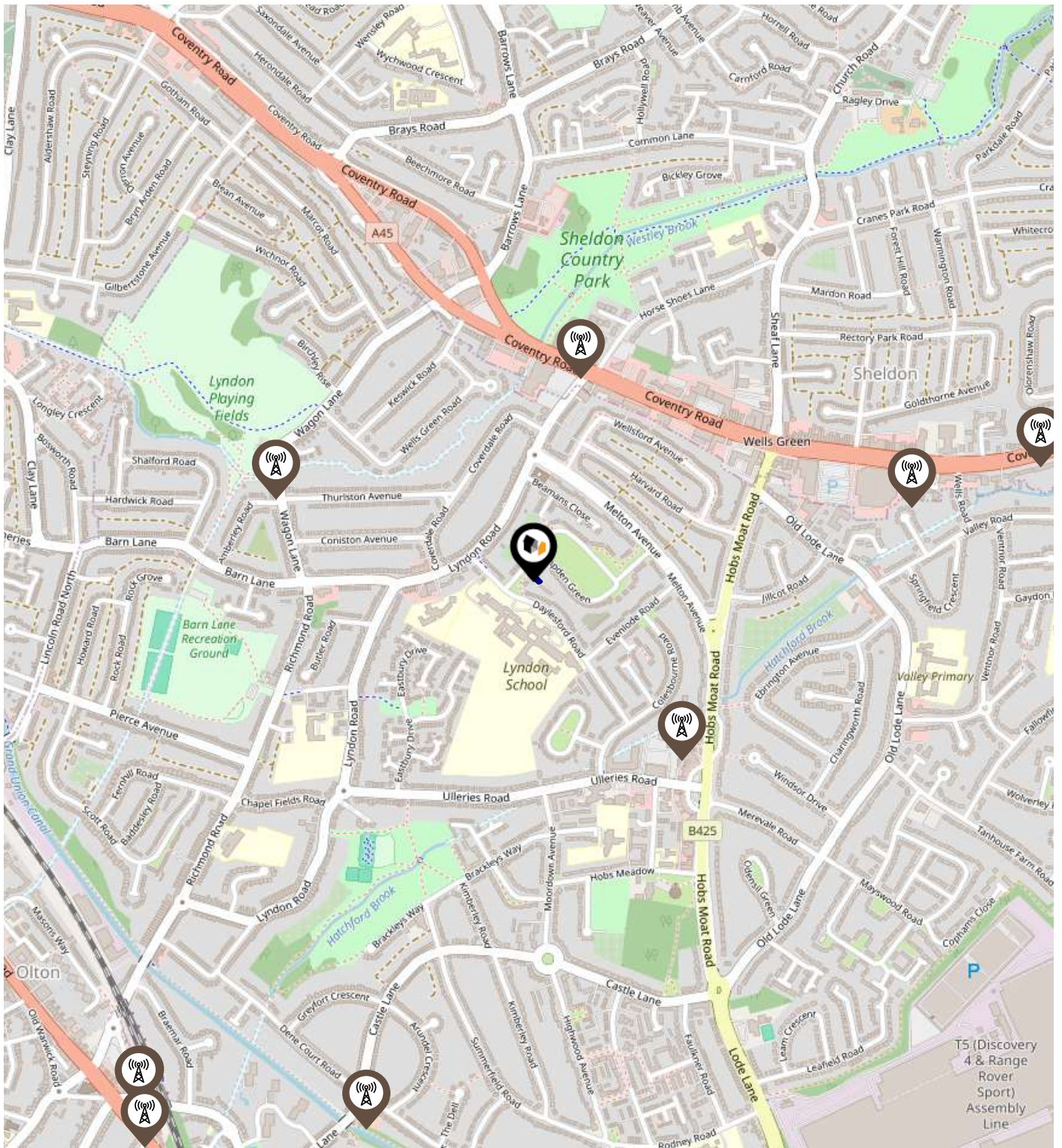


		Nursery	Primary	Secondary	College	Private
<b>1</b>	<b>Lyndon School</b> Ofsted Rating: Good   Pupils: 1166   Distance:0.06	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>2</b>	<b>Olton Primary School</b> Ofsted Rating: Good   Pupils: 648   Distance:0.37	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>3</b>	<b>St Andrew's Catholic Primary School</b> Ofsted Rating: Good   Pupils: 230   Distance:0.4	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4</b>	<b>St Thomas More Catholic Primary School</b> Ofsted Rating: Good   Pupils: 350   Distance:0.55	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>5</b>	<b>Valley Primary</b> Ofsted Rating: Good   Pupils: 610   Distance:0.58	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>6</b>	<b>St Margaret's Church of England Primary School</b> Ofsted Rating: Good   Pupils: 234   Distance:0.65	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>7</b>	<b>Brays School</b> Ofsted Rating: Outstanding   Pupils: 106   Distance:0.71	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>8</b>	<b>Lyndon Green Infant School</b> Ofsted Rating: Good   Pupils: 264   Distance:0.85	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>





		Nursery	Primary	Secondary	College	Private
	<b>Gilbertstone Primary School</b> Ofsted Rating: Good   Pupils: 419   Distance:0.87	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<b>Lyndon Green Junior School</b> Ofsted Rating: Good   Pupils: 367   Distance:0.89	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<b>Ulverley School</b> Ofsted Rating: Good   Pupils: 468   Distance:0.92	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<b>Stanville Primary School</b> Ofsted Rating: Good   Pupils: 230   Distance:1.05	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<b>Cottesbrooke Infant and Nursery School</b> Ofsted Rating: Good   Pupils: 296   Distance:1.17	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<b>Kineton Green Primary School</b> Ofsted Rating: Good   Pupils:0   Distance:1.19	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<b>Mapledene Primary School</b> Ofsted Rating: Good   Pupils: 329   Distance:1.2	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<b>Kimichi School</b> Ofsted Rating: Requires improvement   Pupils: 58   Distance:1.22	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

# Local Area Masts & Pylons

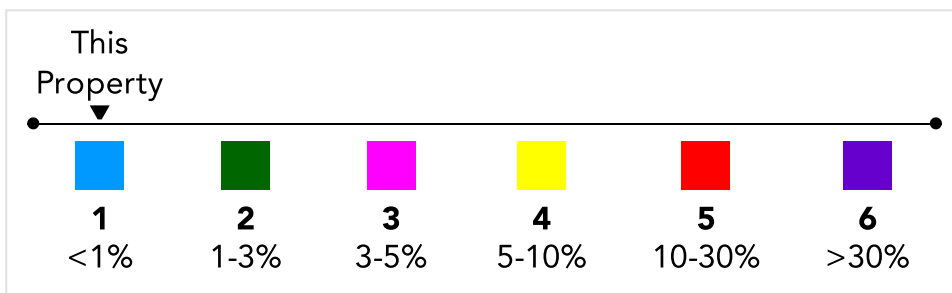
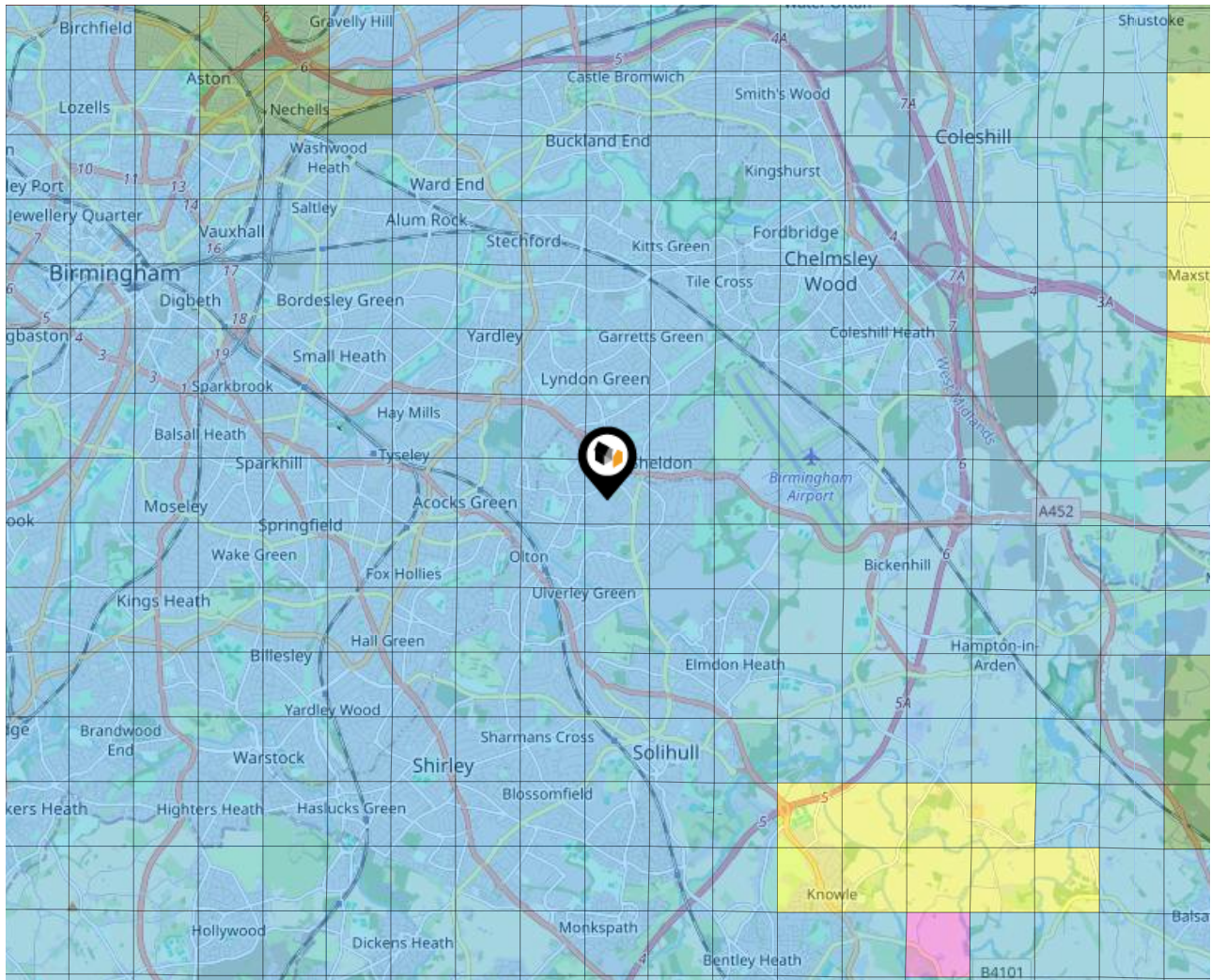


**Key:**

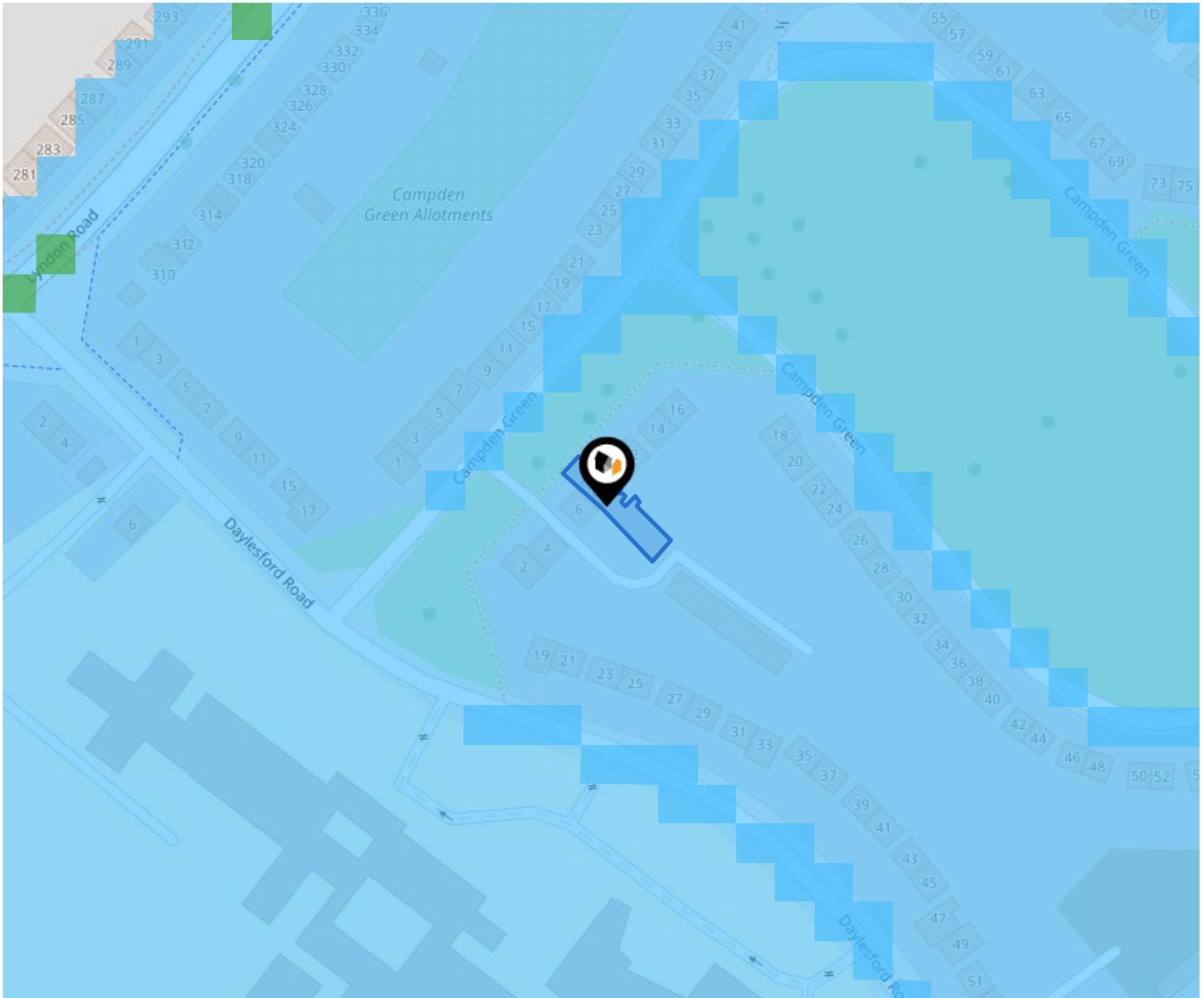
-  Power Pylons
-  Communication Masts

## What is Radon?

Radon is a natural radioactive gas, which enters buildings from the ground. Exposure to high concentrations increases the risk of lung cancer. The UK Health Security Agency (UKHSA) recommends that radon levels should be reduced in homes where the annual average is at or above 200 becquerels per cubic metre (200 Bq/m<sup>3</sup>).



# Local Area Road Noise

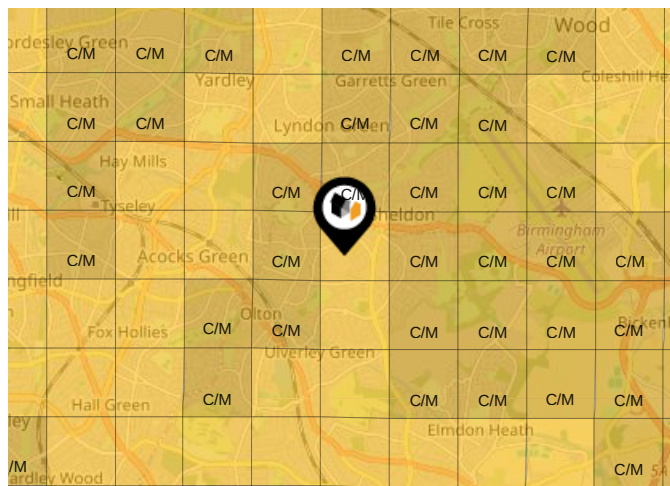


The data indicates the level of noise according to strategic noise sources across all traffic routes. This indicates a 25 house annual average noise level with separate weightings for the evening and the night periods.

- 75.0+ dB
- 70.0-74.9 dB
- 65.0-69.9 dB
- 60.0-64.9 dB
- 55.0-59.9 dB

## Ground Composition for this Address (Surrounding square kilometer zone around property)

<b>Carbon Content:</b>	VARIABLE(LOW)	<b>Soil Texture:</b>	LOAM TO CLAYEY LOAM
<b>Parent Material Grain:</b>	MIXED (ARGILLIC- RUDACEOUS)	<b>Soil Depth:</b>	DEEP
<b>Soil Group:</b>	MEDIUM TO LIGHT(SILTY) TO HEAVY		



## Primary Classifications (Most Common Clay Types)

<b>C/M</b>	Claystone / Mudstone
<b>FPC,S</b>	Floodplain Clay, Sand / Gravel
<b>FC,S</b>	Fluvial Clays & Silts
<b>FC,S,G</b>	Fluvial Clays, Silts, Sands & Gravel
<b>PM/EC</b>	Prequaternary Marine / Estuarine Clay / Silt
<b>QM/EC</b>	Quaternary Marine / Estuarine Clay / Silt
<b>RC</b>	Residual Clay
<b>RC/LL</b>	Residual Clay & Loamy Loess
<b>RC,S</b>	River Clay & Silt
<b>RC,FS</b>	Riverine Clay & Floodplain Sands and Gravel
<b>RC,FL</b>	Riverine Clay & Fluvial Sands and Gravel
<b>TC</b>	Terrace Clay
<b>TC/LL</b>	Terrace Clay & Loamy Loess



## National Rail Stations

Pin	Name	Distance
1	Olton Rail Station	0.92 miles
2	Acocks Green Rail Station	1.2 miles
3	Acocks Green Rail Station	1.23 miles



## Trunk Roads/Motorways

Pin	Name	Distance
1	M42 J5	3.48 miles
2	M6 J5	4.17 miles
3	M42 J4	4.81 miles
4	M6 J4A	4.64 miles
5	M42 J6	3.42 miles

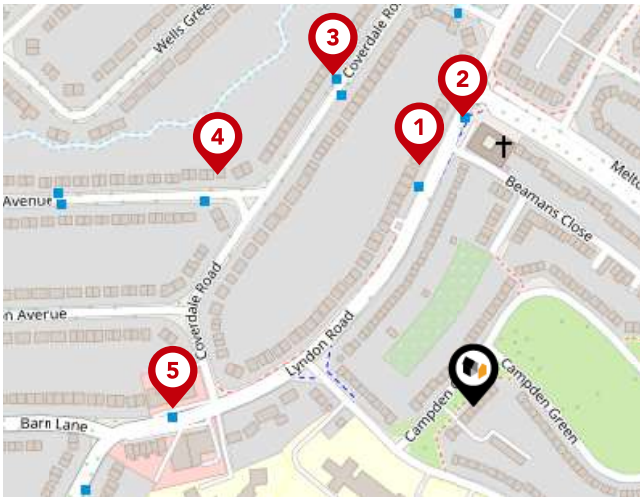


## Airports/Helipads

Pin	Name	Distance
1	Birmingham Airport	2.52 miles
2	Baginton	14.45 miles
3	East Mids Airport	32.5 miles
4	Staverton	41.5 miles

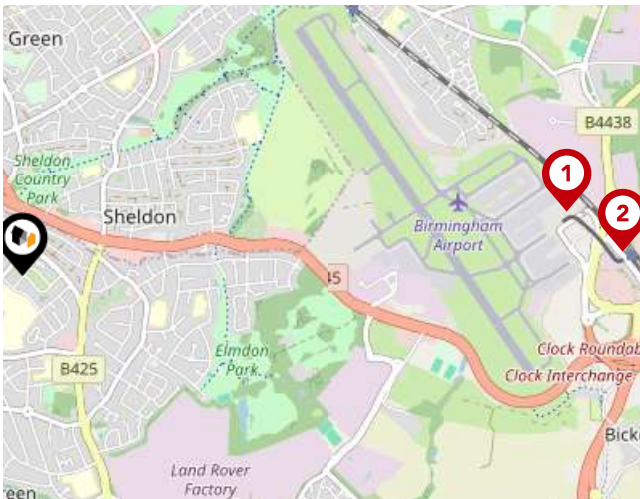
# Area

## Transport (Local)



### Bus Stops/Stations

Pin	Name	Distance
1	Melton Ave	0.14 miles
2	Melton Ave	0.16 miles
3	number	0.2 miles
4	Coverdale Rd	0.2 miles
5	Daylesford Infant School	0.17 miles



### Local Connections

Pin	Name	Distance
1	Birmingham International Airport (Air-Rail link)	2.47 miles
2	Birmingham Intl Rail Station (Air-Rail Link)	2.72 miles
3	Corporation Street (Midland Metro Stop)	4.98 miles



### Haydens Residential Surveying

---

Haydens Residential Surveying Ltd is a fully licensed RICS Regulated Surveying firm based in Birmingham, proudly serving clients across the West Midlands, Warwickshire, and surrounding areas with a primary focus on providing expert services in these regions.



### Phil Hayden Assoc RICS MRPSA - Director

---

At Haydens Surveying, we believe in treating our clients' properties as if they were our own. We are committed to providing exceptional service and maintaining open lines of communication at all times

With over 16 years experience working in the Residential Property Sector I am confident that I can provide practical advice to home movers in a friendly and approachable manner'

# Haydens Residential Surveying Data Quality

We are committed to comprehensive property data being made available upfront to make the home buying and selling process quicker, easier and cheaper. This is why we have partnered with Sprift, the UK's leading supplier of property-specific data.



## Contains public sector information licensed under the Open Government License v3.0

The information contained within this report is for general information purposes only.

Sprift Technologies Ltd aggregate this data from a wide variety of sources and while we endeavour to keep the information up to date and correct, we make no representations or warranties of any kind, express or implied, about the completeness, accuracy, reliability, of the information or related graphics contained within this report for any purpose.

Any reliance you place on such information is therefore strictly at your own risk. In no event will we be liable for any loss or damage including without limitation, indirect or consequential loss or damage, or any loss or damage whatsoever arising from loss of data or profits arising out of, or in connection with, the use of this report.



### Haydens Residential Surveying

1310 Solihull Parkway, Birmingham  
Business Park, Birmingham, B37 7YB  
0121 517 0227  
hello@haydens-surveying.co.uk  
www.haydens-surveying.co.uk



[Redacted]

[Redacted]	[Redacted]
[Redacted]	[Redacted]
[Redacted]	[Redacted]

[Redacted]

[Redacted]	[Redacted]
[Redacted]	
[Redacted]	[Redacted]
[Redacted]	[Redacted]

[Redacted]

[Redacted]

[Redacted]

[Redacted]

[Redacted]

[Redacted]

[Redacted]	[Redacted]
[Redacted]	[Redacted]
[Redacted]	[Redacted]
[Redacted]	