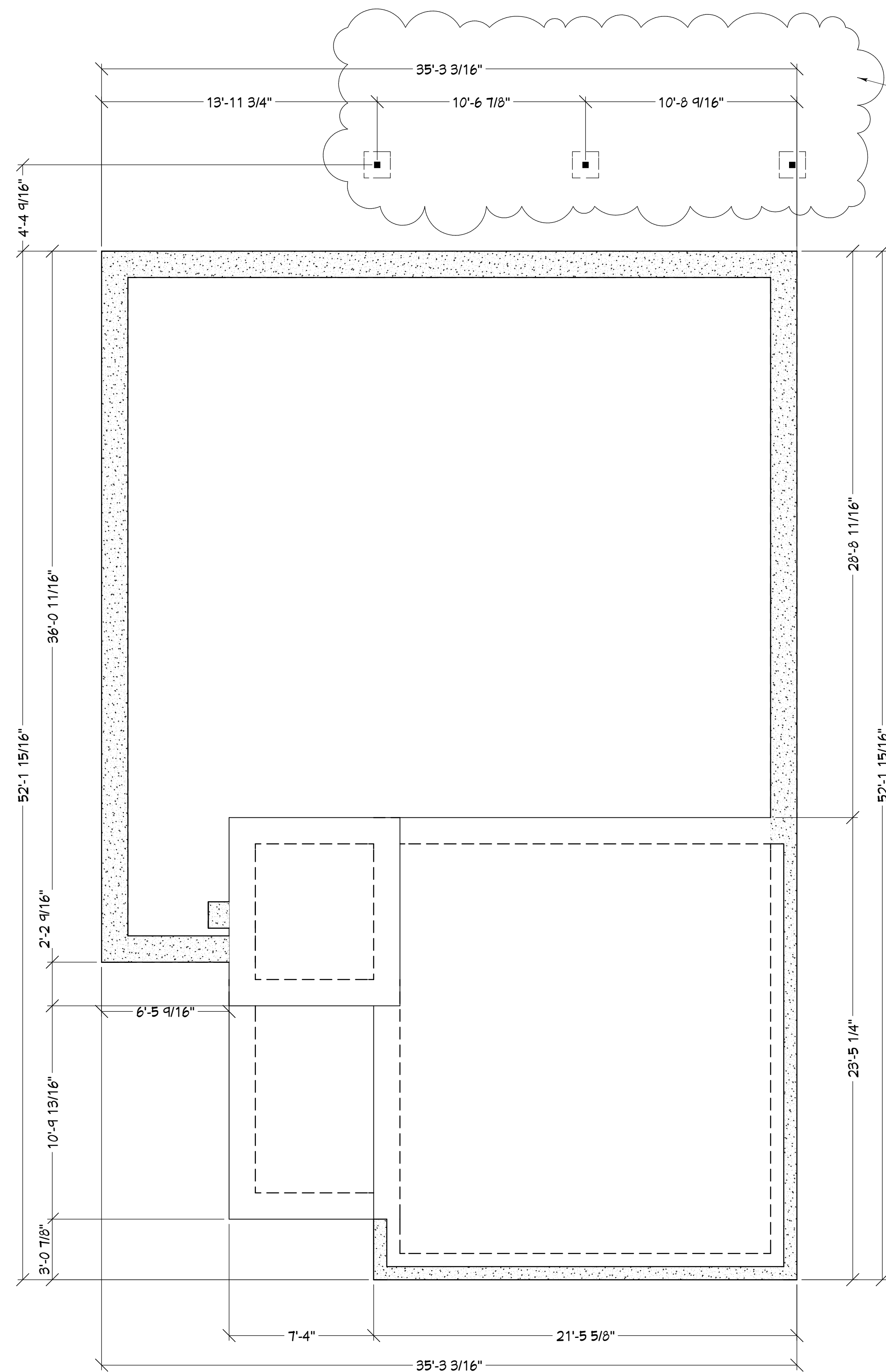
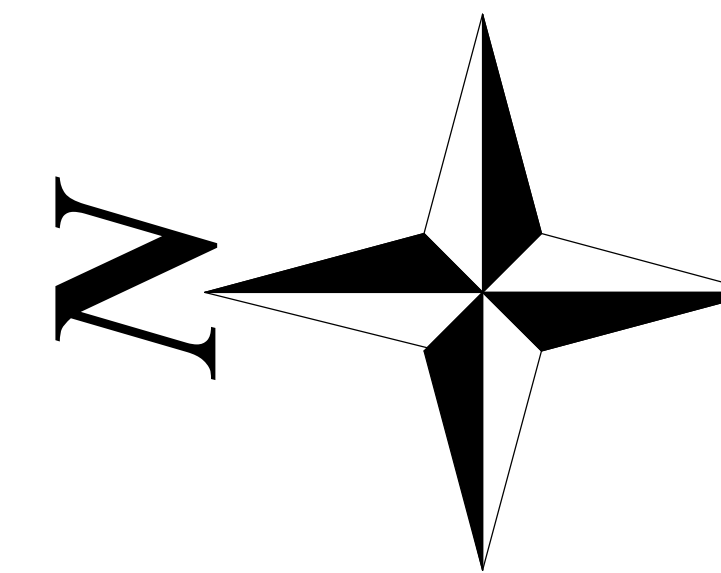


NEW FOUNDATION 1S MONOLITHIC WITH 12"X20" INTEGRATED FOOTERS WITH 2-#5 RODS CONTINUOUS ON CHAIRS (U.O.N.)



NOTE: THE BALLOONED AREA IS THE ONLY PROPOSED FOUNDATION WORK WHICH CONSISTES OF HELICAL PILES WITH PILE CAPS SUPPORTING THE DECK ABOVE



CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

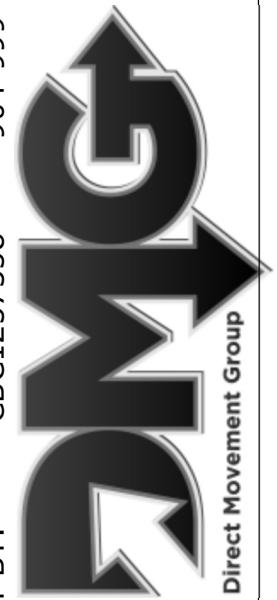

ENGINEER'S DETAILS TAKE PRECEDENCE OVER THESE DRAWINGS

TERMITE TREATMENT IS THE OWNER'S RESPONSIBILITY DUE TO THE EXISTING SERVICE PROVIDER ON THE CURRENT HOME

PROPOSED FOUNDATION PLAN

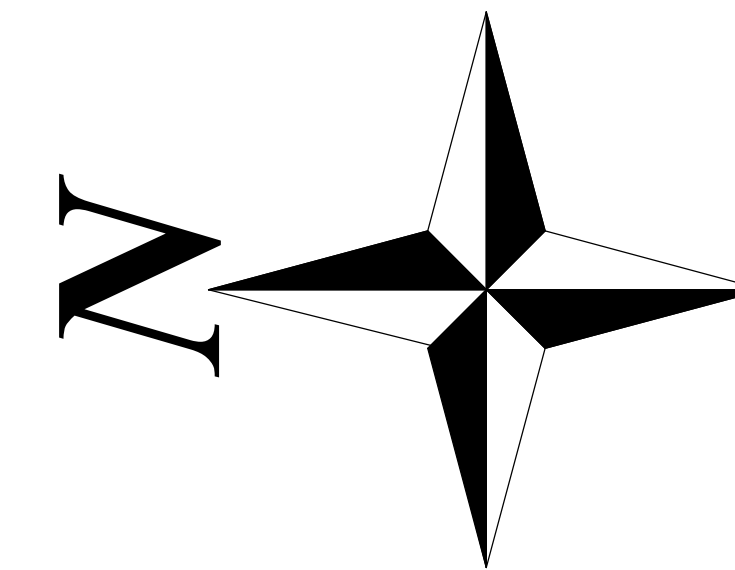
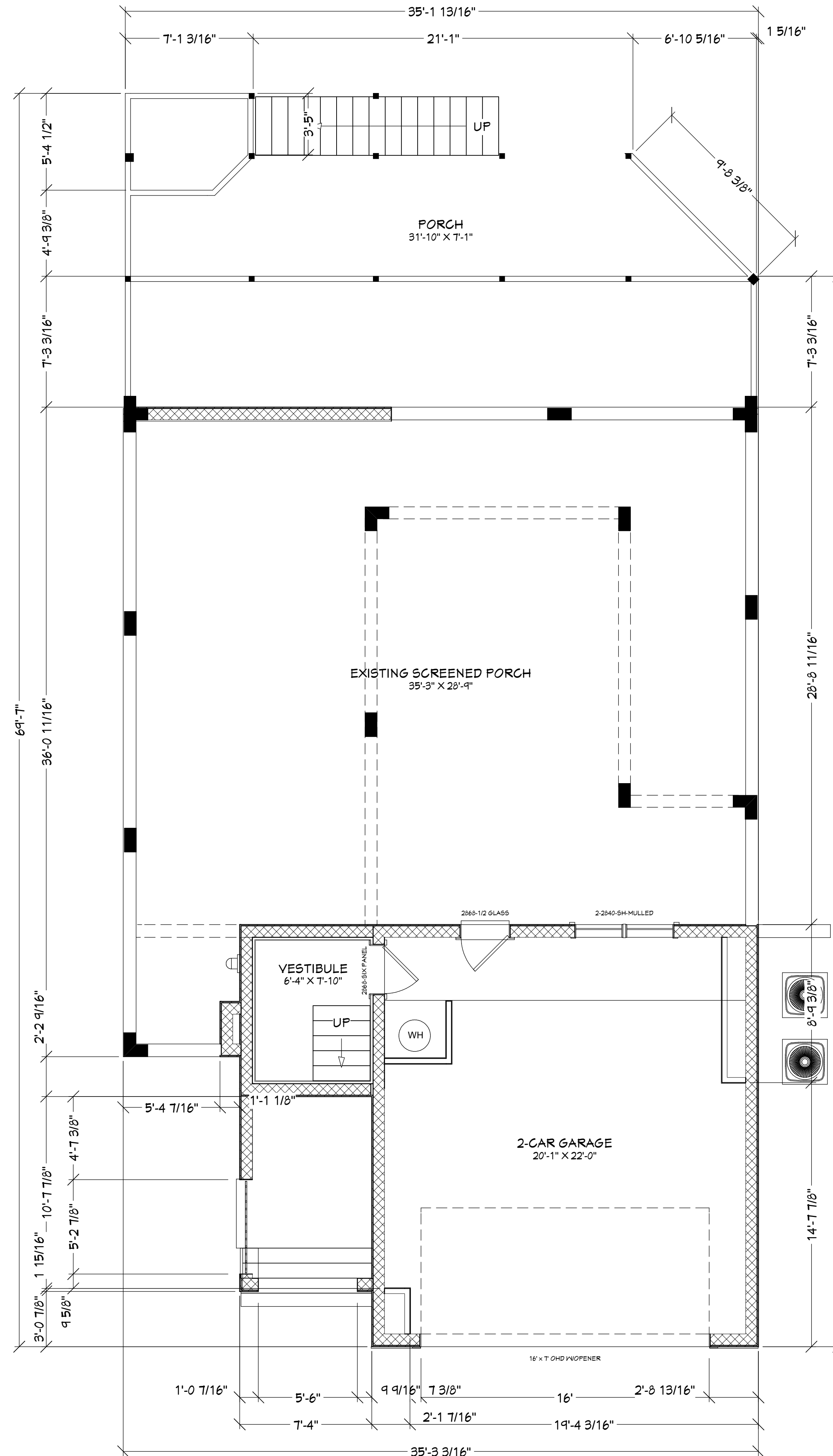
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PLAN # 2467	
CLIENT APPROVAL SIGNATURE RICHARD JAY WRIGHT, JR. ELONA RUKA-WRIGHT	DATE
BUILT BY: CBC1257358 904-999-0999 	PROJECT DESCRIPTION: RENOVATIONS FOR THE WRIGHT FAMILY 48 SEA VISTA DRIVE PALM COAST, FLORIDA 32137 R/E #: 20-10-31-5365-00010-3400
Design Drawings provided by:  904-730-7135	DATE: 7/16/2017
SHEET: A-3	SCALE: 1/4" = 1'-0"

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.


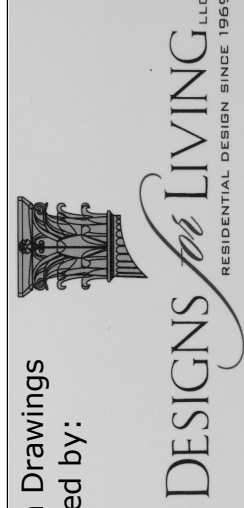
EXISTING FOOTAGES (A.N.S.I.):	
1ST FLR SCREEN PORCH:	1,055.18
2ND FLR SCREEN PORCH:	198.10
GARAGE:	490.93
1ST FLOOR HEATED:	75.05
2ND FLOOR HEATED:	1,299.57
3RD FLOOR HEATED:	598.59
TOTAL HEATED:	1,973.21
SOLARIUM:	107.58
2ND FLR BALCONY:	461.44
ENTRY:	45.23
3RD FLR BALCONY:	228.63
SLAB AREA:	611.21
TOTAL UNDER ROOF:	3,870.23



AS-BUILT 1ST FLOOR PLAN

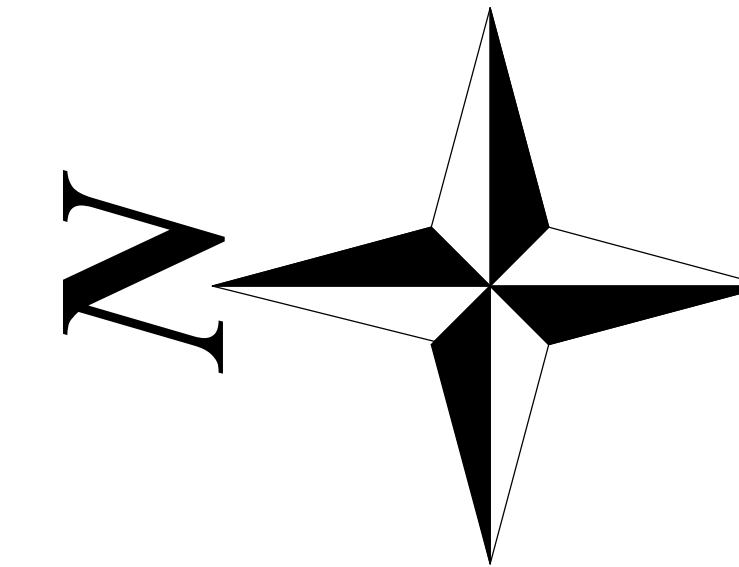
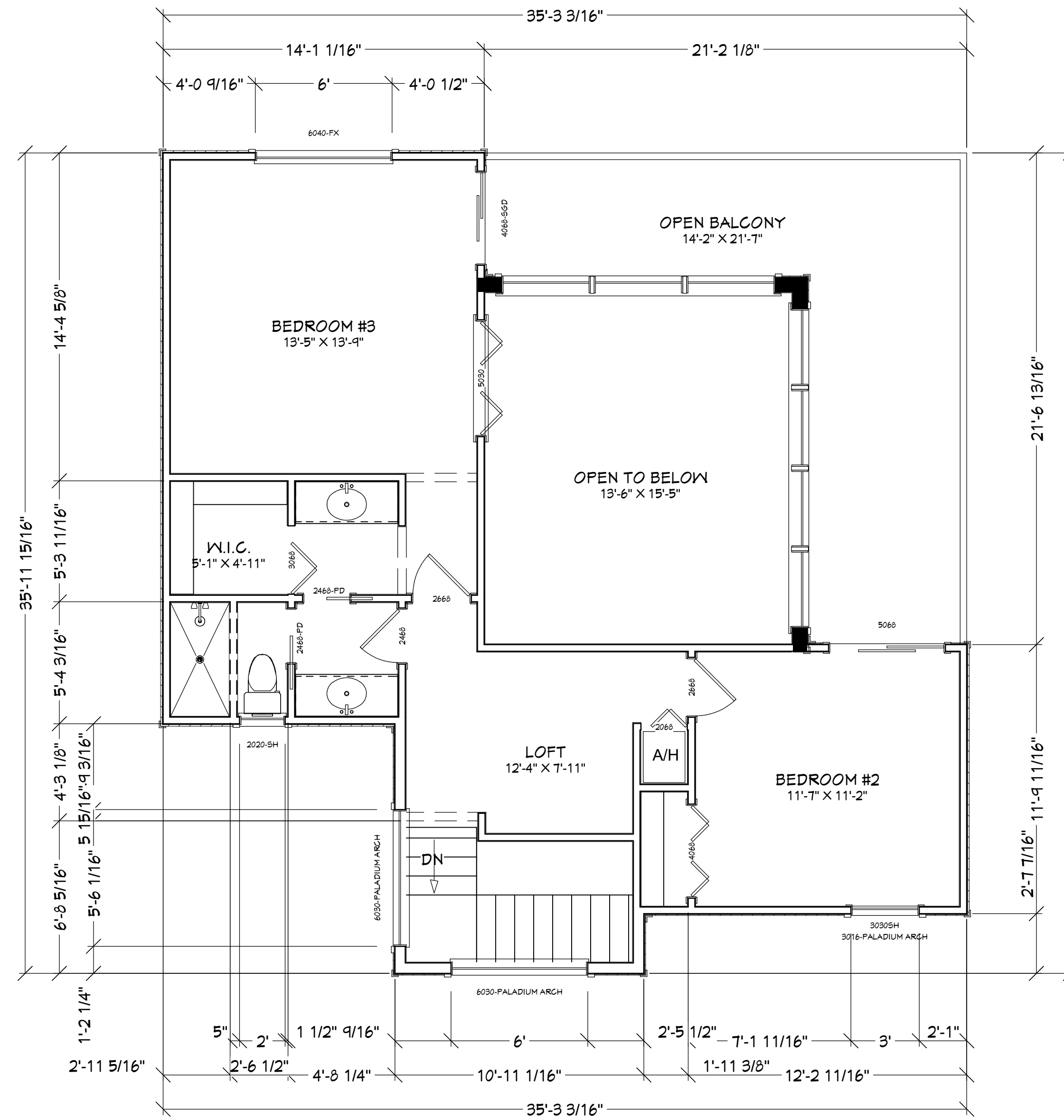
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PROJECT DESCRIPTION: RENOVATIONS FOR THE WRIGHT FAMILY 48 SEA VISTA DRIVE PALM COAST, FLORIDA 32137 R/E #: 20-10-31-5365-00010-3400	
Design Drawings provided by:  904-730-7135	
DATE: 7/16/2017	
SCALE: 1/4" = 1'-0"	
SHEET: A-4	

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

EXISTING FOOTAGES (A.N.S.I.):	
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2ND FLR SCREEN PORCH:	198.10
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1ST FLOOR HEATED:	75.05
2ND FLOOR HEATED:	1,299.57
3RD FLOOR HEATED:	598.59
TOTAL HEATED:	1,973.21
SOLARIUM:	107.58
2ND FLR BALCONY:	461.44
ENTRY:	45.23
3RD FLR BALCONY:	228.63
SLAB AREA:	611.21
TOTAL UNDER ROOF:	3,870.23

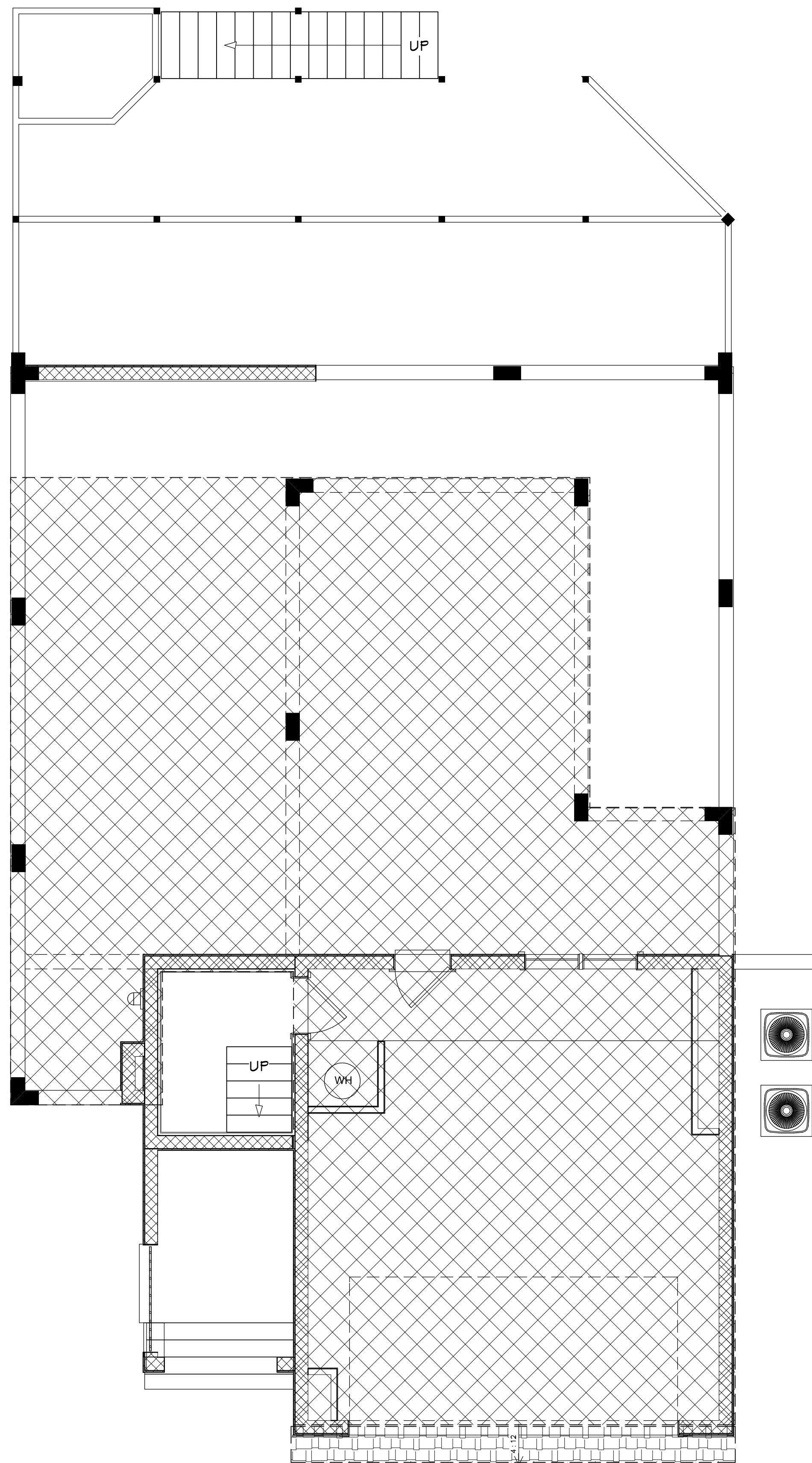


PLANS NOT RELEASED FOR CONSTRUCTION

AS-BUILT 3RD FLOOR PLAN

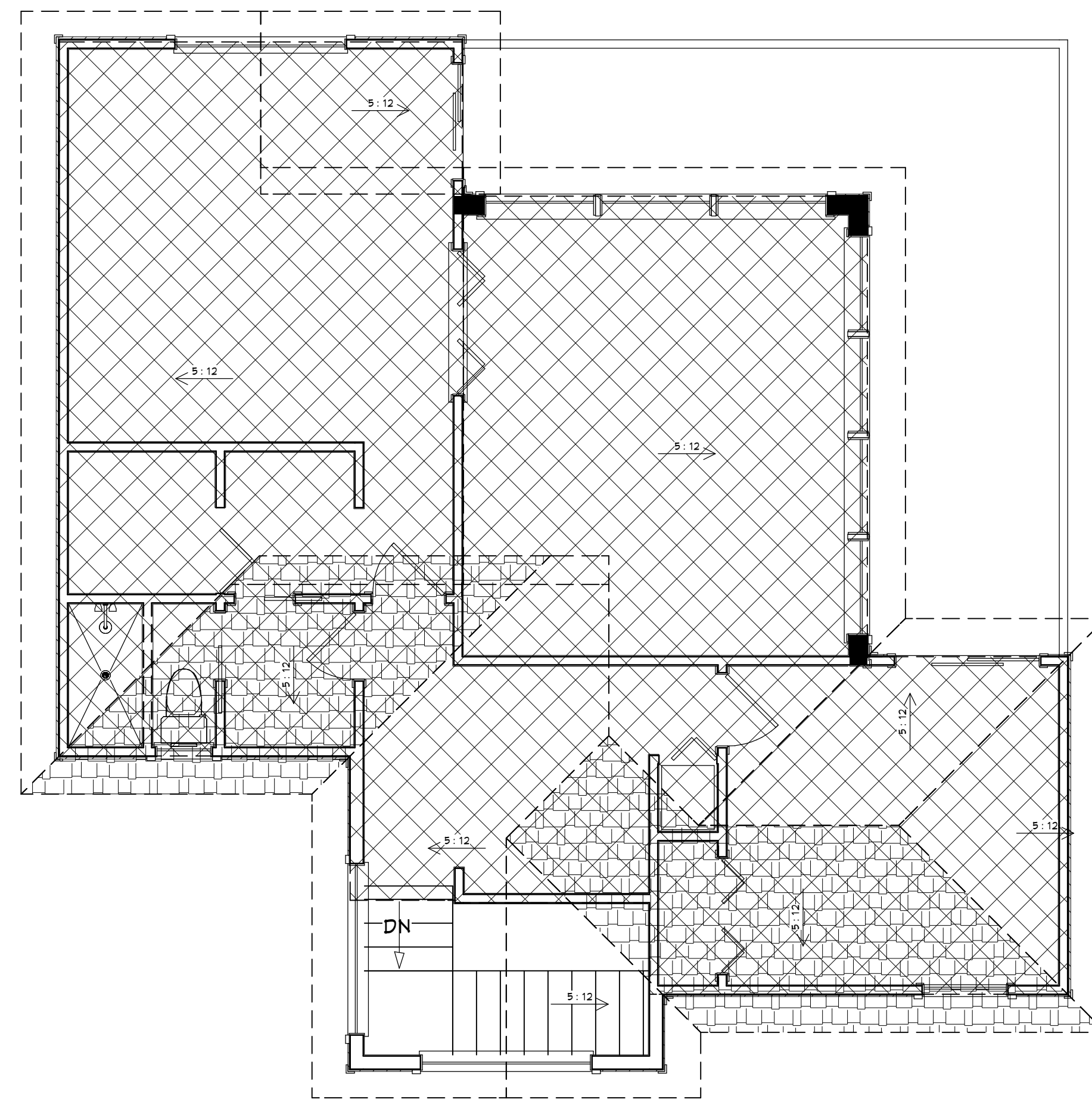
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		CLIENT APPROVAL SIGNATURE RICHARD JAY WRIGHT, JR. ELONA RUKA-WRIGHT	DATE
BUILT BY: CBC1257358 904-999-0999		PROJECT DESCRIPTION: RENOVATIONS FOR THE WRIGHT FAMILY 48 SEA VISTA DRIVE PALM COAST, FLORIDA 32137 R/E #: 20-10-31-5365-00010-3400	
DESIGNS FOR LIVING <small>RESIDENTIAL DESIGN SINCE 1989</small> 904-730-7135		DATE: 7/16/2017	
		SCALE: 1/4" = 1'-0"	
		SHEET: A-6	



1ST FLOOR ROOF PLAN

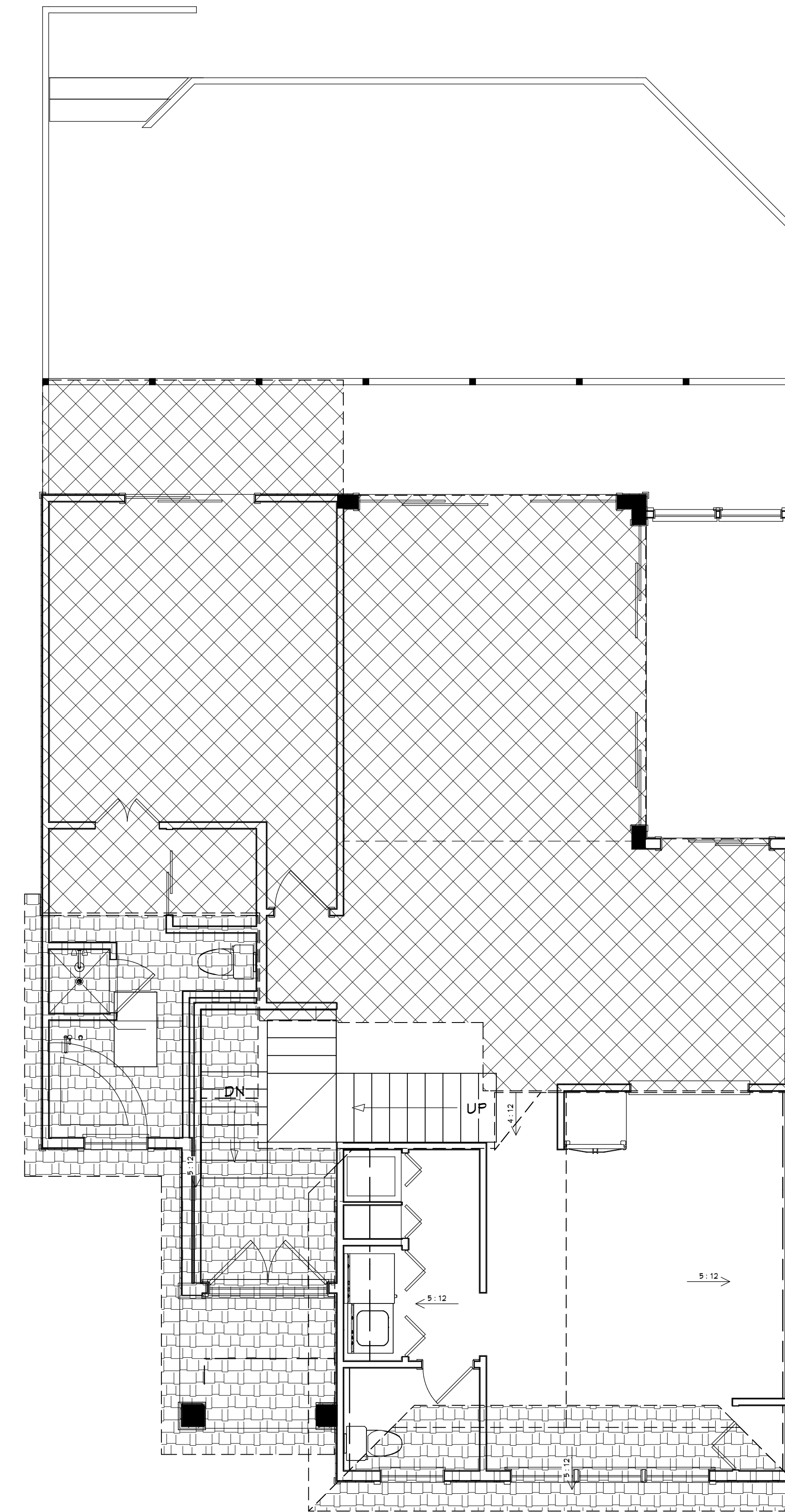
CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



3RD FLOOR ROOF PLAN

NOTE: CROSS SHADING DENOTES FLOOR ABOVE

ROOF (EXISTING) NOTES:
 FASCIA: 2X6 WITH 1X2 P.T. DRIP PLUMB CUT COVERED WITH CPVC COATED ALUMINUM
 EAVE OVERHANG: 16"
 SOFFITS: STANDARD VENTED VINYL
 ROOFING: LIFETIME ARCHITECTURAL SHINGLES
 ROOF PITCH: 5/12 -FIELD CONFIRM
 TRUSS HEELS: STANDARD
 ROOF VENTS: CONTINUOUS RIDGE VENTS
 SOFFIT VENTS: PERFERATED
 FLOOR TRUSSES: 16" SYSTEM 42 TYPE DECKED WITH 3/4" T&G
 PORCH JOISTS: 2X12 #2 P.T. DECKED WITH COMPOSITE RAILING
 ROOF SHEATHING: 1/2" OSB
 FELT: TIGERPAW OR EQUAL SYNTHETIC FELT





2ND FLOOR ROOF PLAN

AS-BUILT ROOF PLANS

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DESIGN DRAWINGS PROVIDED BY:  904-730-7135		PROJECT DESCRIPTION: RENOVATIONS FOR THE WRIGHT FAMILY 48 SEA VISTA DRIVE PALM COAST, FLORIDA 32137 R/E #: 20-10-31-5365-00010-3400		BUILT BY: CBC1257358 904-999-0999  Direct Movement Group		CLIENT APPROVAL SIGNATURE DATE RICHARD JAY WRIGHT, JR. ELONA RUKA-WRIGHT		PLAN # 2467	
DATE:		7/16/2017		SCALE:		1/4" = 1'-0"		SHEET:	
								A-7	

EXTERIOR NOTES:

1. SKIP TROWEL PAINTED STUCCO
2. STUCCO TRIMS PER PLAN
3. SOFFITS: STANDARD VENTED VINYL
4. SHINGLES ARCHITECTURAL FIBERGLASS
5. WINDOW MUNTINS PER PLAN
6. CPVC COATED ALUMINUM PLUMB CUT FASCIA
7. 2X6 ROUGH FASCIA WITH 1X2 P.T. DRIP
8. VINYL LAP SIDING



LEFT (NORTH) ELEVATION



RIGHT (SOUTH) ELEVATION

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

AS-BUILT SIDE ELEVATIONS

PLANS NOT RELEASED FOR CONSTRUCTION

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PLAN #
2467

CLIENT APPROVAL SIGNATURE **DATE**
RICHARD JAY WRIGHT, JR.
ELONA RUKA-WRIGHT

BUILT BY: CBC1257358 904-999-0999
DMG
Direct Movement Group

PROJECT DESCRIPTION:
RENOVATIONS FOR THE WRIGHT FAMILY
48 SEA VISTA DRIVE
PALM COAST, FLORIDA 32137
R/E #: 20-10-31-5365-00010-3400

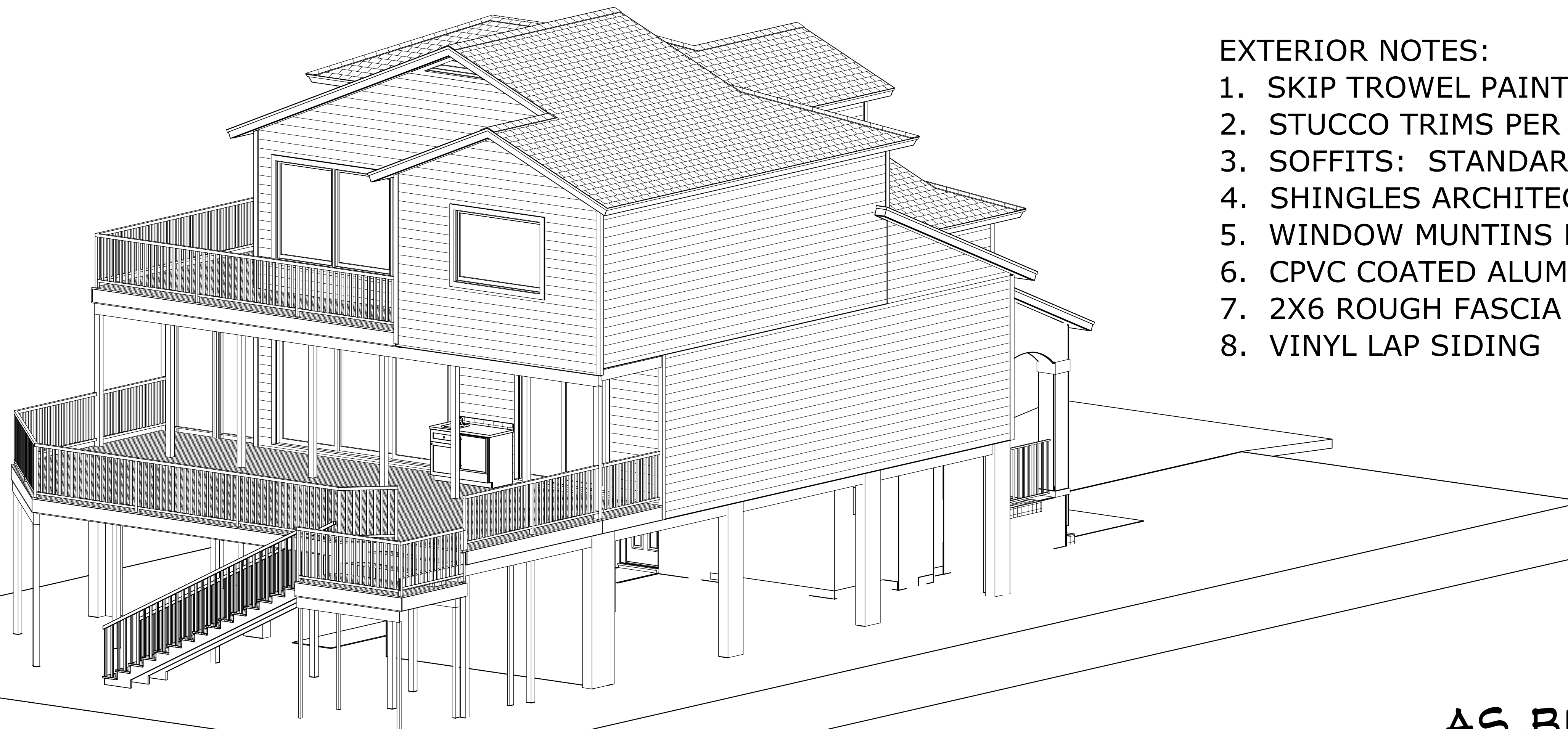
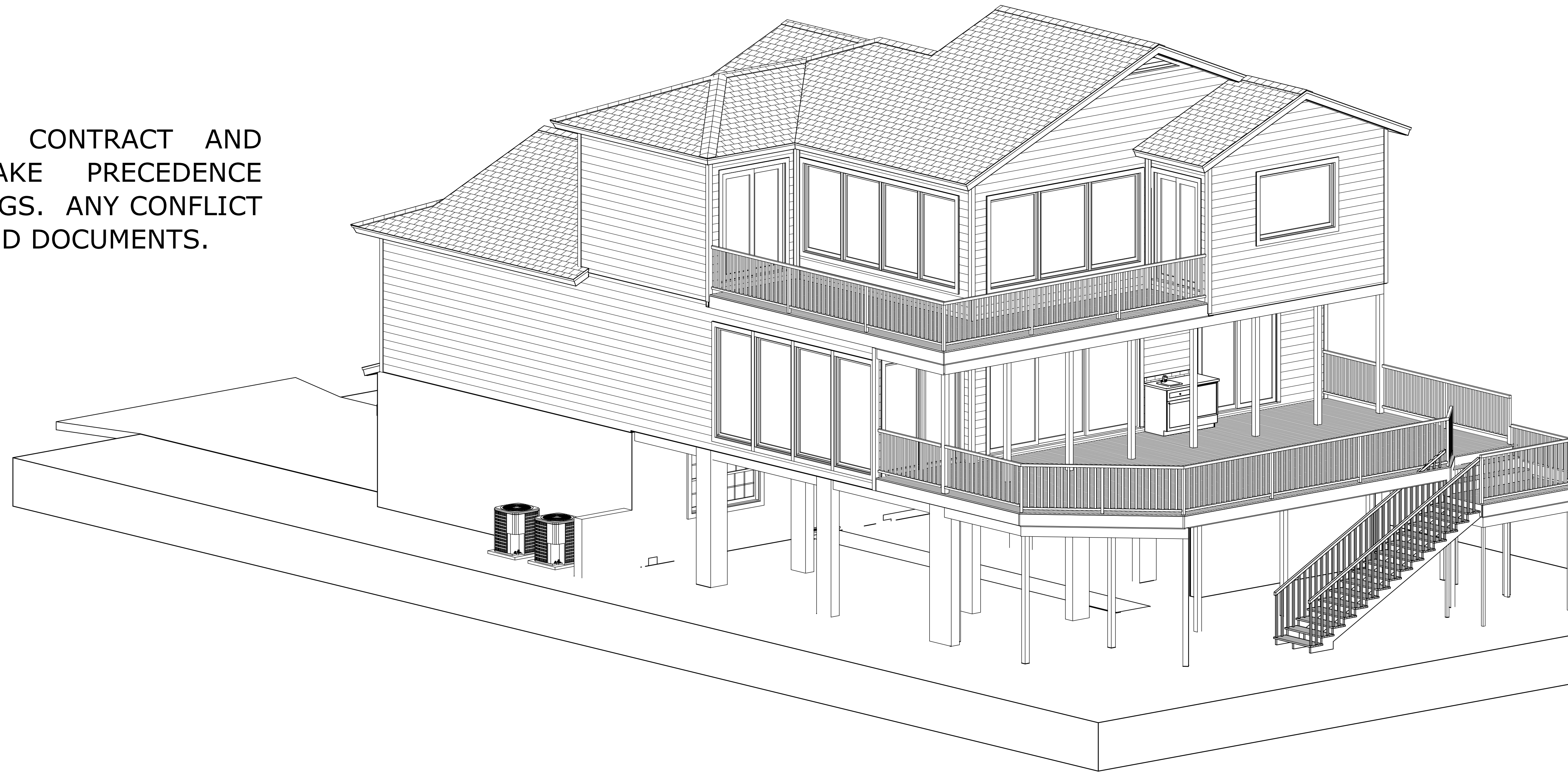
Design Drawings provided by:
DESIGNS FOR LIVING
RESIDENTIAL DESIGN STUDIO 1999
904-730-7135

DATE:
7/16/2017

SCALE:
1/4" = 1'-0"

SHEET:
A-9

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



EXTERIOR NOTES:

1. SKIP TROWEL PAINTED STUCCO
2. STUCCO TRIMS PER PLAN
3. SOFFITS: STANDARD VENTED VINYL
4. SHINGLES ARCHITECTURAL FIBERGLASS
5. WINDOW MUNTINS PER PLAN
6. CPVC COATED ALUMINUM PLUMB CUT FASCIA
7. 2X6 ROUGH FASCIA WITH 1X2 P.T. DRIP
8. VINYL LAP SIDING

AS-BUILT ISOMETRICS

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<p>DESIGN DRAWINGS PROVIDED BY:</p> <p>DESIGNS FOR LIVING, LLC. <small>RESIDENTIAL DESIGNER SINCE 1999</small></p> <p>904-730-7135</p>		<p>PROJECT DESCRIPTION:</p> <p>RENOVATIONS FOR THE WRIGHT FAMILY 48 SEA VISTA DRIVE PALM COAST, FLORIDA 32137 R/E #: 20-10-31-5365-00010-3400</p>	<p>BUILT BY:</p> <p>CBC1257358 904-999-0999</p> <p>DMG <small>Direct Movement Group</small></p>	<p>CLIENT APPROVAL SIGNATURE DATE</p> <p>RICHARD JAY WRIGHT, JR. ELONA RUKA-WRIGHT</p>	<p>PLAN #</p> <p>2467</p>
<p>DATE:</p> <p>7/16/2017</p>		<p>SCALE:</p> <p>N.T.S.</p>		<p>SHEET:</p> <p>A-10</p>	

R302.11 Fireblocking.

In combustible construction, fireblocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective

fire barrier between stories, and between a top story and the roof space.

Fireblocking shall be provided in wood-frame construction in the following locations:

1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:
 - 1.1. Vertically at the ceiling and floor levels.
 - 1.2. Horizontally at intervals not exceeding 10 feet (3048 mm).
2. At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
3. In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7.
4. At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion. The material filling this annular space shall not be required to meet the ASTM E 136 requirements.
5. For the fireblocking of chimneys and fireplaces, see Section R1003.19.
6. Fireblocking of cornices of a two-family dwelling is required at the line of dwelling unit separation.

SECTION R310

EMERGENCY ESCAPE AND RESCUE OPENINGS

R310.1 Emergency escape and rescue required. Basements, habitable attics and every sleeping room shall have at least one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, emergency egress and rescue openings shall be required in each sleeping room. Where emergency escape and rescue openings are provided they shall have a sill height of not more than 44 inches (1118 mm) above the floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with Section R310.3. The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. Emergency escape and rescue openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with Section R310.2. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.

Exceptions:

1. Basements used only to house mechanical equipment and not exceeding total floor area of 200 square feet (18.58 m2).
2. The emergency escape and rescue opening shall be permitted to open into a screen enclosure, open to the atmosphere, where a screen door is provided leading away from the residence.

R310.1.1 Minimum opening area.

All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m2).

Exception:

Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465 m2).

R310.1.2 Minimum opening height.

The minimum net clear opening height shall be 24 inches (610 mm).

R310.1.3 Minimum opening width.

The minimum net clear opening width shall be 20 inches (508 mm).

R310.1.4 Operational constraints.

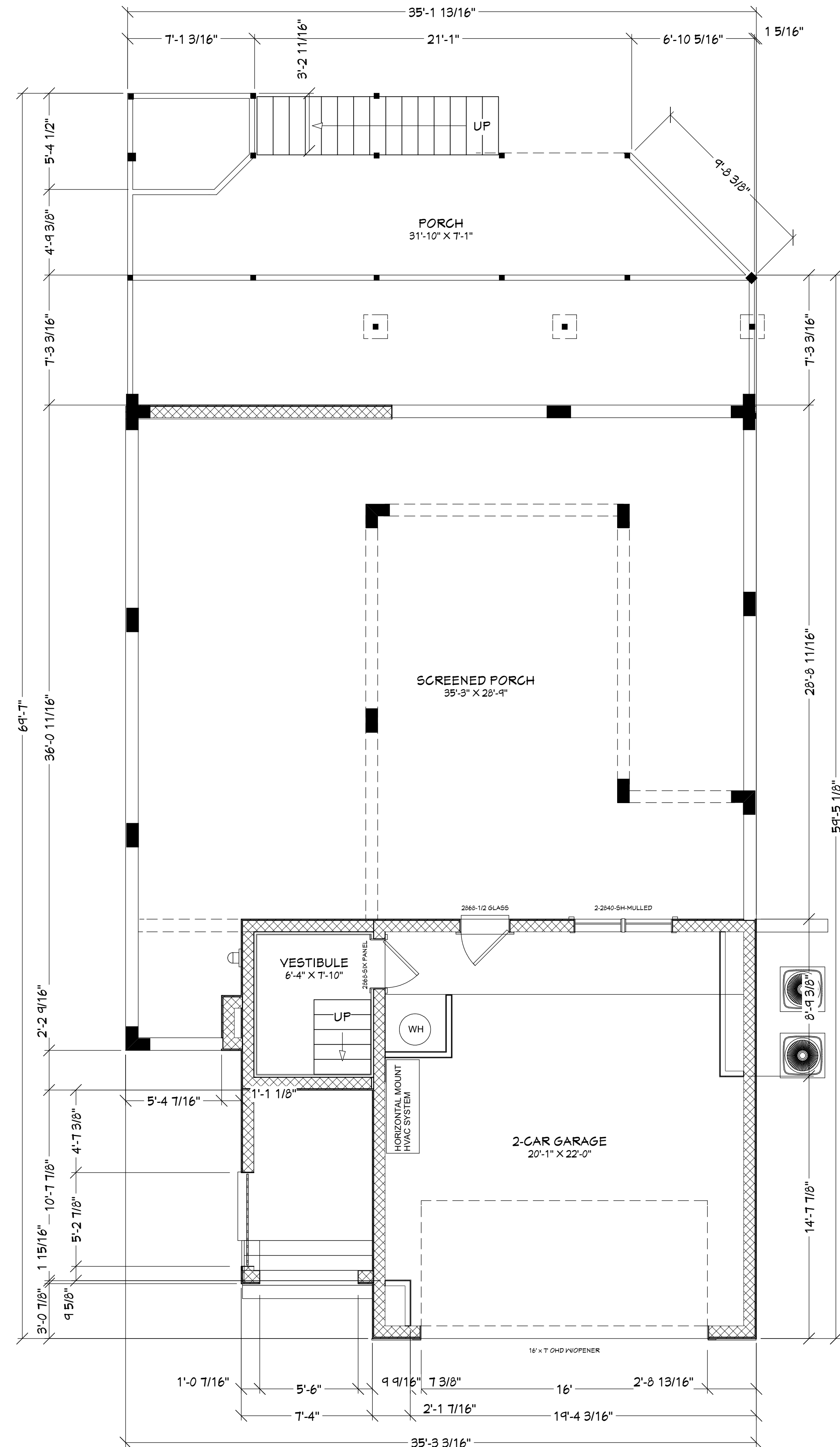
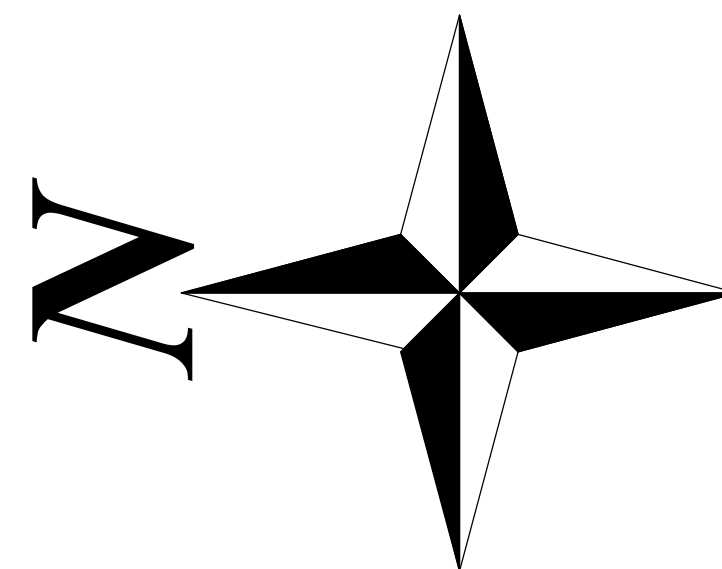
Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys, tools or special knowledge.

R302.12 Draftstopping. In combustible construction where there is usable space both above and below the concealed space of a floor/ceiling assembly, draftstops shall be installed so that the area of the concealed space does not exceed 1,000 square feet (92.9 m2). Draftstopping shall divide the concealed space into approximately equal areas. Where the assembly is enclosed by a floor membrane above and a ceiling membrane below, draftstopping shall be provided in floor/ceiling assemblies under the following circumstances:

1. Ceiling is suspended under the floor framing.
2. Floor framing is constructed of truss-type open-web or perforated members.

R302.12.1 Materials. Draftstopping materials shall not be less than 1/2-inch (12.7 mm) gypsum board, 3/8-inch (9.5 mm) wood structural panels or other approved materials adequately supported. Draftstopping shall be installed parallel to the floor framing members unless otherwise approved by the building official. The integrity of the draftstops shall be maintained

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



PROPOSED 1ST FLOOR PLAN

PLANS NOT RELEASED FOR CONSTRUCTION

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PLAN # 2467

CLIENT APPROVAL SIGNATURE	DATE
RICHARD JAY WRIGHT, JR.	
ELONA RUKA-WRIGHT	

BUILT BY: CBC1257358 904-999-0999

PROJECT DESCRIPTION:
 RENOVATIONS FOR THE WRIGHT FAMILY
 48 SEA VISTA DRIVE
 PALM COAST, FLORIDA 32137
 R/E #: 20-10-31-5365-00010-3400

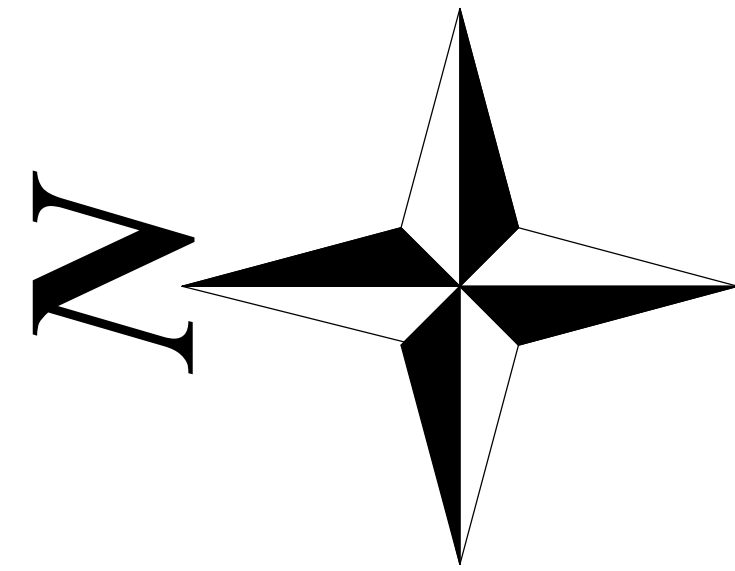
Design Drawings provided by:

904-730-7135

DATE:	7/16/2017
SCALE:	1/4" = 1'-0"
SHEET:	A-11

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

R302.7 Under-stair protection. Enclosed accessible space under stairs shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2-inch (12.7 mm) gypsum board.

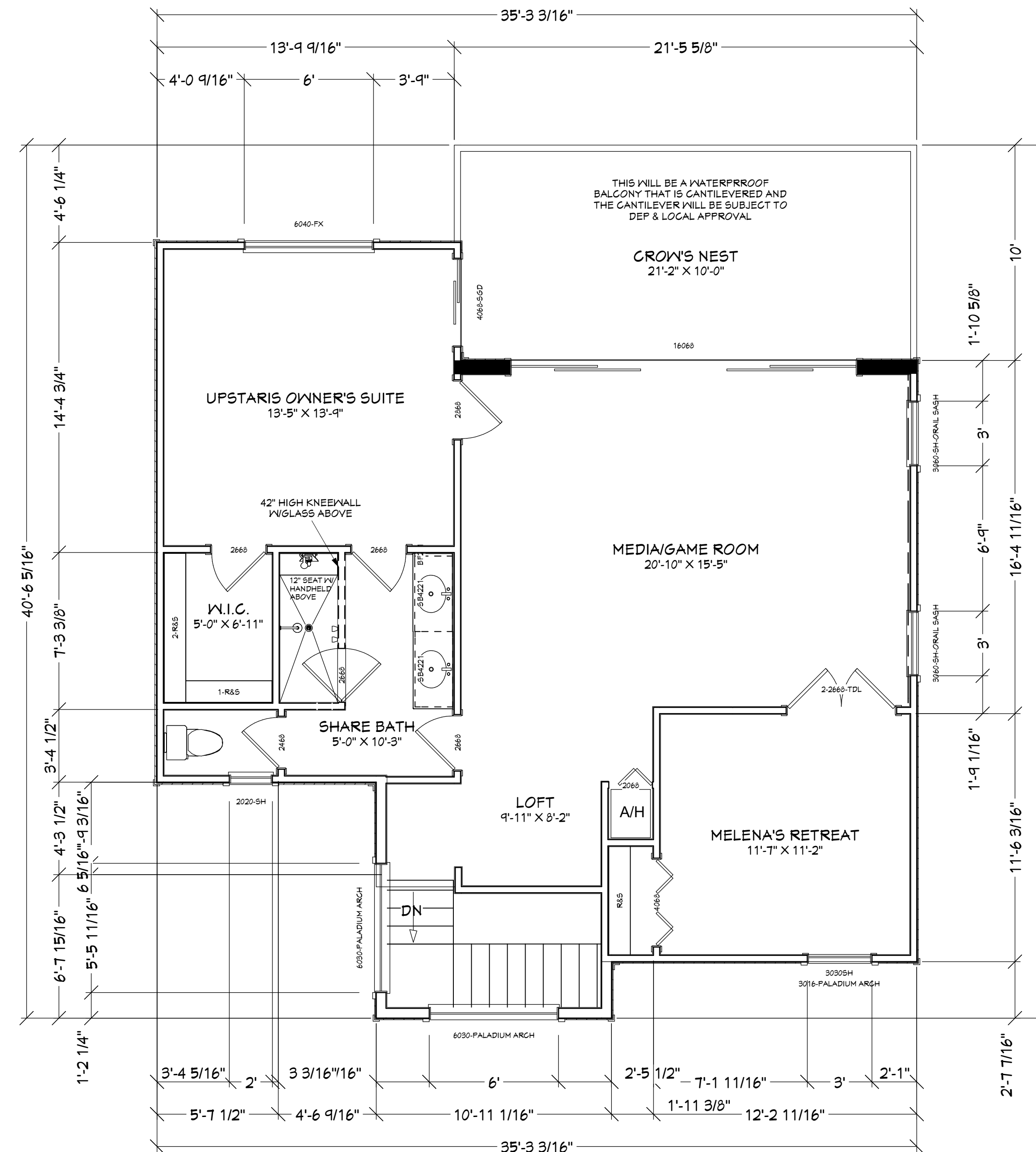


R302.5.1 Opening protection. Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and residence shall be equipped with solid wood doors not less than 1 3/8 inches (35 mm) in thickness, solid or honeycomb core steel doors not less than 1 3/8 inches (35 mm) thick, or 20-minute fire-rated doors. *NOTE: DOOR TO BE SELF-CLOSING*

EXISTING FOOTAGES (A.N.S.I.):	
1ST FLR SCREEN PORCH:	1,055.18
2ND FLR SCREEN PORCH:	212.92
GARAGE:	490.93
1ST FLOOR HEATED:	75.05
2ND FLOOR HEATED:	1,449.89
3RD FLOOR HEATED:	942.56
TOTAL HEATED:	2,467.50
MARINER'S WALK:	387.63
ENTRY:	45.23
CROW'S NEST:	213.06
SLAB AREA:	611.21
TOTAL UNDER ROOF:	4,271.76

INSULATION NOTES:
 WALLS: R-19 FIBERGLASS BATTS
 KNEEWALLS: R-19 FIBERGLASS BATTS
 CEILING: R-38 FIBERGLASS BATTS
 FLOORS: R-19 FIBERGLASS BATTS

R302.6 Dwelling/garage fire separation. The garage shall be separated as required by Table R302.6. Openings in garage walls shall comply with Section R302.5. This provision does not apply to garage walls that are perpendicular to the adjacent dwelling unit wall.



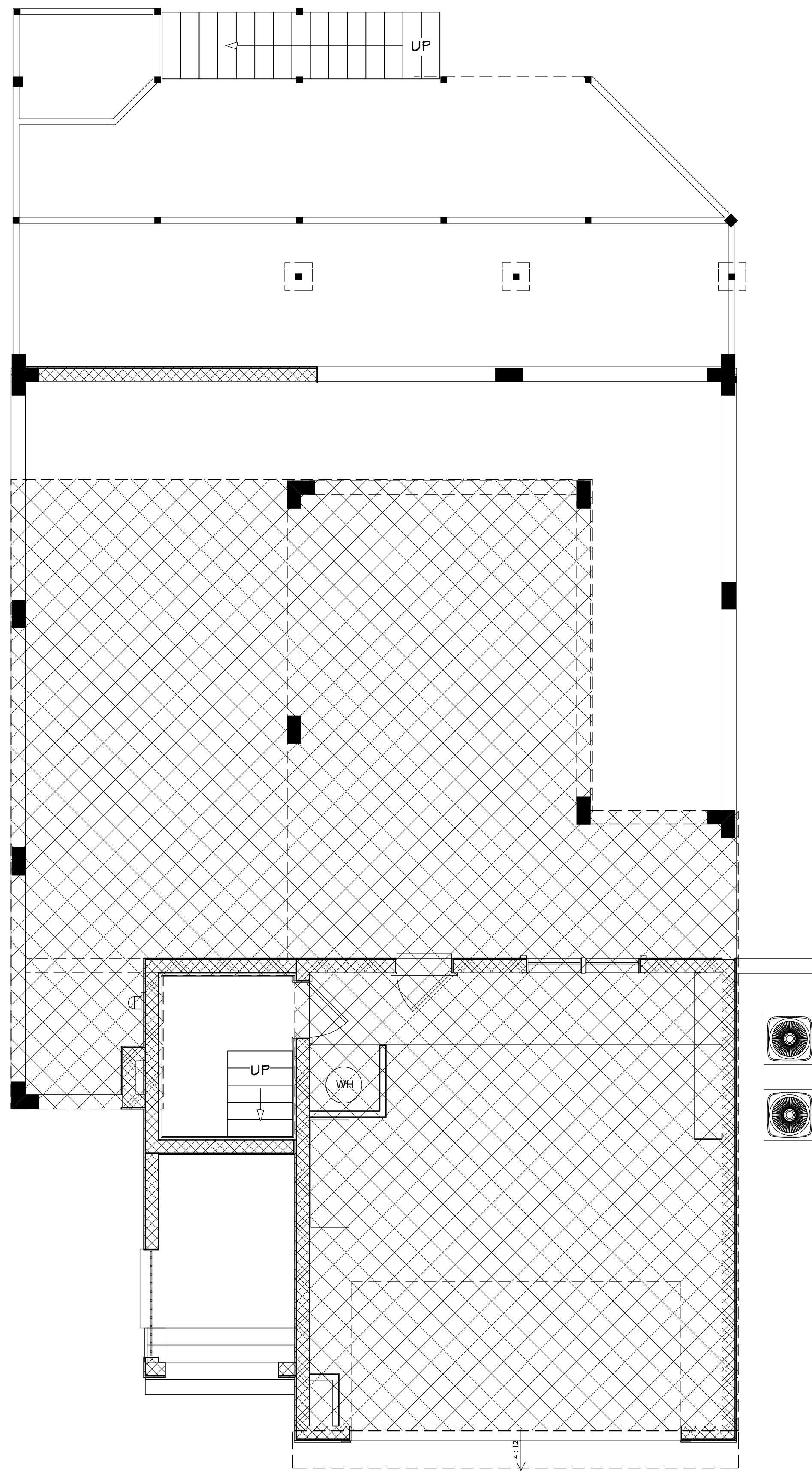
PROPOSED 3RD FLOOR PLAN

PLANS NOT RELEASED FOR CONSTRUCTION

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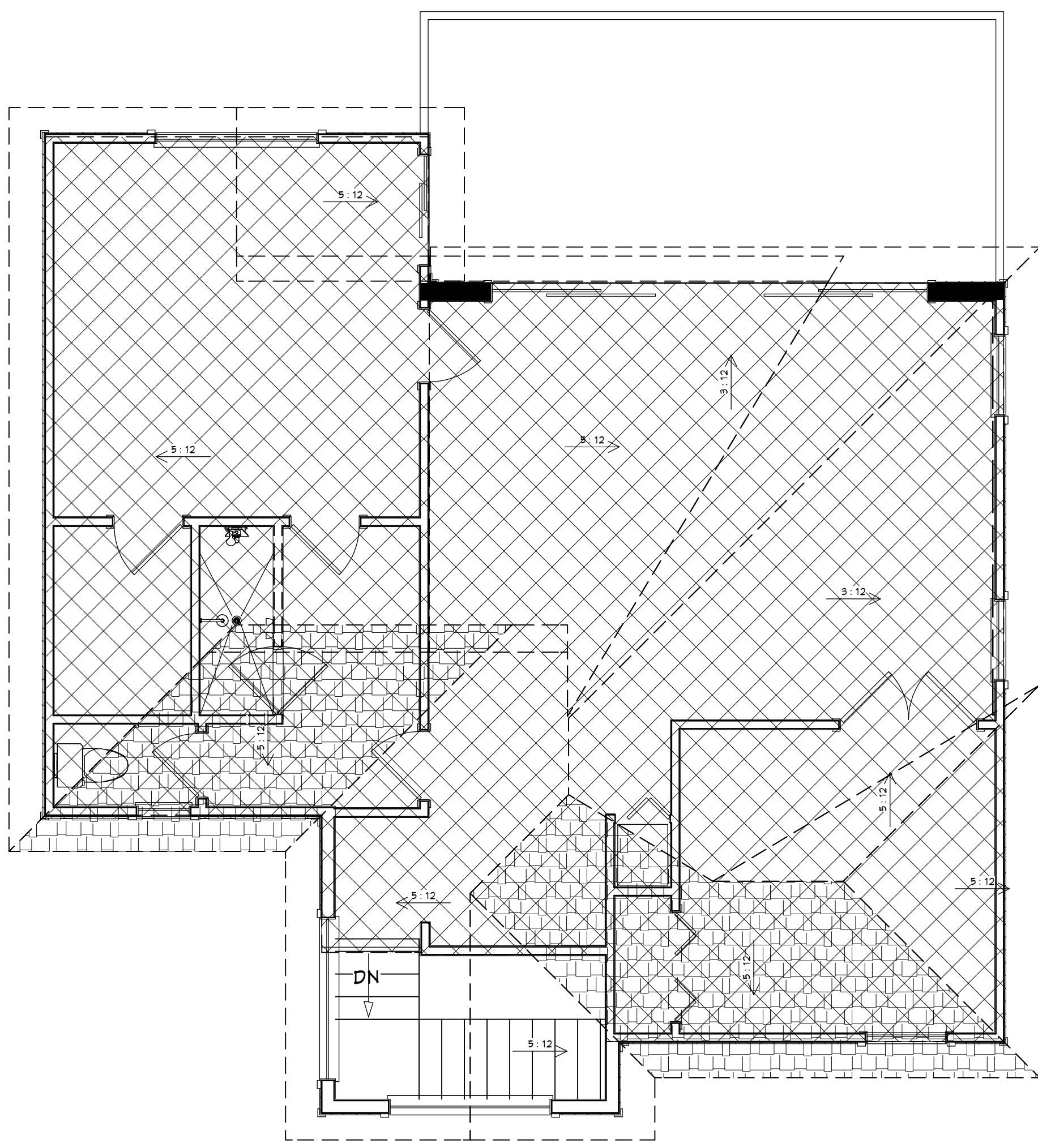
PLAN #	2467
CLIENT APPROVAL SIGNATURE	RICHARD JAY WRIGHT, JR.
DATE	
BUILT BY:	CBC1257358 904-999-0999
PROJECT DESCRIPTION:	RENOVATIONS FOR THE WRIGHT FAMILY 48 SEA VISTA DRIVE PALM COAST, FLORIDA 32137 R/E #: 20-10-31-5365-00010-3400
DESIGN DRAWINGS PROVIDED BY:	DESIGNS FOR LIVING, LLC RESIDENTIAL DESIGN & PLANNING SINCE 1989 904-730-7135
DATE:	7/16/2017
SCALE:	1/4" = 1'-0"
SHEET:	A-13





1ST FLOOR ROOF PLAN

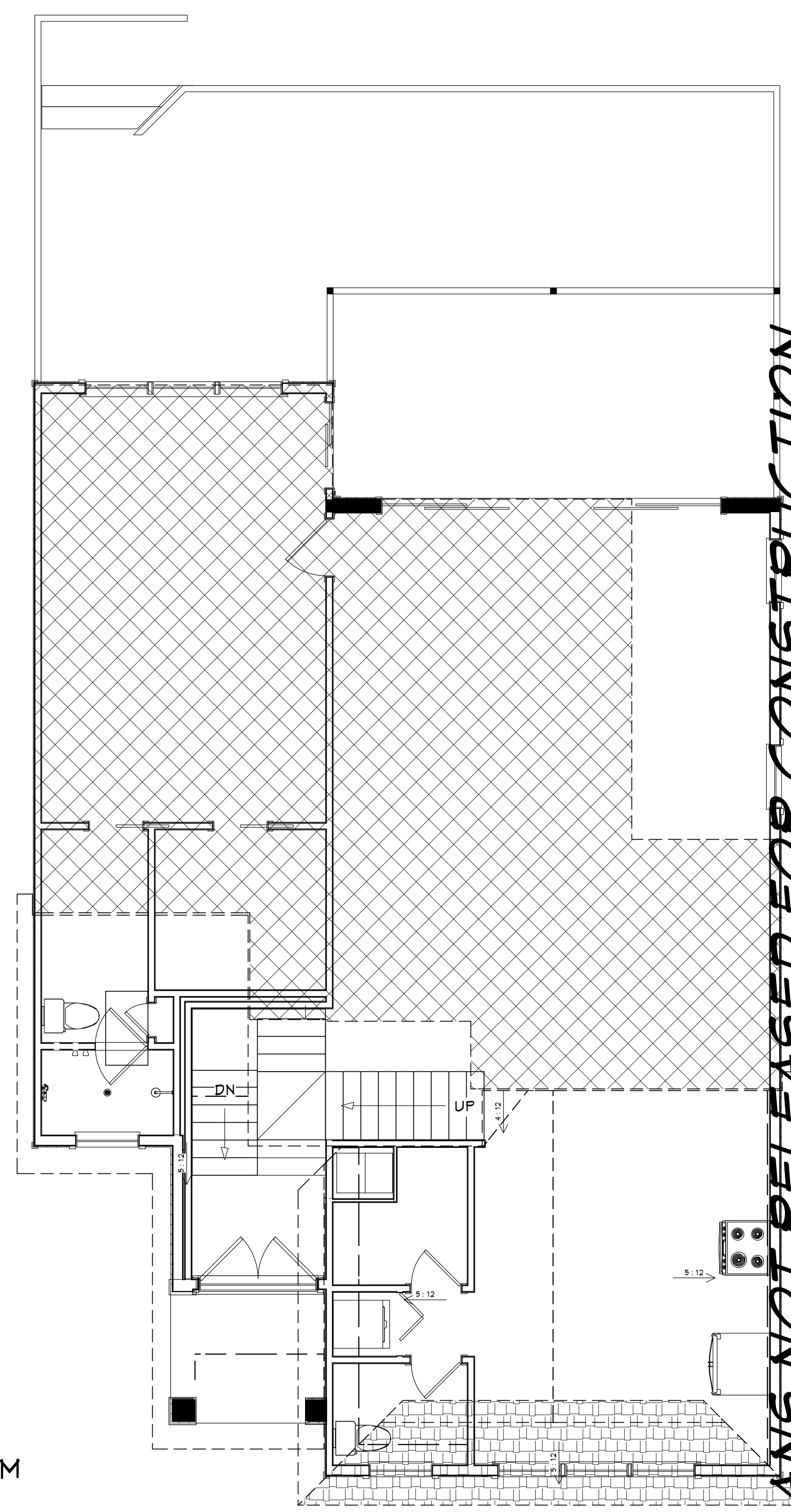
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3RD FLOOR ROOF PLAN

NOTE: CROSS SHADING DENOTES FLOOR ABOVE

ROOF (PROPOSED) NOTES:
 FASCIA: 2X6 WITH 1X2 P.T. DRIP PLUMB CUT COVERED WITH CPVC COATED ALUMINUM
 EAVE OVERHANG: 16" -FIELD CONFIRM
 SOFFITS: STANDARD VENTED VINYL
 ROOFING: LIFETIME ARCHITECTURAL SHINGLES -FIELD CONFIRM
 ROOF PITCH: 5/12 -FIELD CONFIRM & 3/12
 TRUSS HEELS: STANDARD
 ROOF VENTS: CONTINUOUS RIDGE VENTS
 SOFFIT VENTS: PERFERATED
 FLOOR TRUSSES: 16" SYSTEM 42 TYPE DECKED WITH 3/4" T&G
 PORCH JOISTS: 2X12 #2 P.T. DECKED WITH COMPOSITE RAILING (U.O.N.)
 ROOF SHEATHING: 1/2" OSB
 FELT: TIGERPAW OR EQUAL SYNTHETIC FELT
 NEW ROOF IS CONVENTIONALL FRAMED AT A 3/12 PITCH
 FIELD CONFIRM EVERYTHING

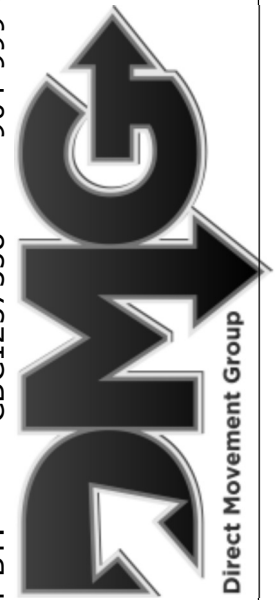



2ND FLOOR ROOF PLAN

PROPOSED ROOF PLANS

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PLAN # 2467	
BUILT BY: CBC1257358 	CLIENT APPROVAL SIGNATURE DATE RICHARD JAY WRIGHT, JR. ELONA RUKA-WRIGHT
PROJECT DESCRIPTION: RENOVATIONS FOR THE WRIGHT FAMILY 48 SEA VISTA DRIVE PALM COAST, FLORIDA 32137 R/E #: 20-10-31-5365-00010-3400	
Design Drawings provided by:  904-730-7135	
DATE: 7/16/2017	SHEET: A-14
SCALE: 1/4" = 1'-0"	DATE: 7/16/2017

EXTERIOR NOTES:

1. SKIP TROWEL PAINTED STUCCO
2. STUCCO TRIMS PER PLAN
3. SOFFITS: STANDARD VENTED VINYL
4. SHINGLES ARCHITECTURAL FIBERGLASS
5. WINDOW MUNTINS PER PLAN
6. CPVC COATED ALUMINUM PLUMB CUT FASCIA
7. 2X6 ROUGH FASCIA WITH 1X2 P.T. DRIP
8. VINYL LAP SIDING



REAR (EAST) ELEVATION



FRONT (WEST) ELEVATION

INSULATION NOTES:

- WALLS: R-19 FIBERGLASS BATTS
 KNEEWALLS: R-19 FIBERGLASS BATTS
 CEILINGS: R-38 FIBERGLASS BATTS
 FLOORS: R-19 FIBERGLASS BATTS

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PROPOSED FRONT/REAR ELEVATIONS

PLANS NOT RELEASED FOR CONSTRUCTION

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PLAN # 2467	
CLIENT APPROVAL SIGNATURE	DATE
RICHARD JAY WRIGHT, JR.	
ELONA RUKA-WRIGHT	
BUILT BY: CBC1257358 904-999-0999	DMG Direct Movement Group
PROJECT DESCRIPTION: RENOVATIONS FOR THE WRIGHT FAMILY 48 SEA VISTA DRIVE PALM COAST, FLORIDA 32137 R/E #: 20-10-31-5365-00010-3400	
Design Drawings provided by: DESIGNS FOR LIVING, LLC RESIDENTIAL DESIGN & ARCHITECTURE 904-730-7135	
DATE:	7/16/2017
SCALE:	1/4" = 1'-0"
SHEET:	A-15

NOTE: IGNORE THIS PROJECTION AS IT IS AN ANOMOLY IN THE CADD PROGRAM AND I CAN'T GET IT TO GO AWAY



LEFT (NORTH) ELEVATION

EXTERIOR NOTES:

1. SKIP TROWEL PAINTED STUCCO
2. STUCCO TRIMS PER PLAN
3. SOFFITS: STANDARD VENTED VINYL
4. SHINGLES ARCHITECTURAL FIBERGLASS
5. WINDOW MUNTINS PER PLAN
6. CPVC COATED ALUMINUM PLUMB CUT FASCIA
7. 2X6 ROUGH FASCIA WITH 1X2 P.T. DRIP
8. VINYL LAP SIDING



RIGHT (SOUTH) ELEVATION

INSULATION NOTES:
 WALLS: R-19 FIBERGLASS BATTS
 KNEEWALLS: R-19 FIBERGLASS BATTS
 CEILINGS: R-38 FIBERGLASS BATTS
 FLOORS: R-19 FIBERGLASS BATTS

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

PROPOSED SIDE ELEVATIONS

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Design Drawings provided by: DESIGNS FOR LIVING, LLC RESIDENTIAL DESIGN & BUILD SINCE 1989 904-730-7135	
DATE:	7/16/2017
SCALE:	1/4" = 1'-0"
SHEET:	A-16

EXTERIOR NOTES:

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2. STUCCO TRIMS PER PLAN
3. SOFFITS: STANDARD VENTED VINYL
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5. WINDOW MUNTINS PER PLAN
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PLANS NOT RELEASED FOR CONSTRUCTION

PROPOSED ISOMETRICS

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<p>Design Drawings provided by:</p> <p>DESIGNS FOR LIVING, LLC <small>RESIDENTIAL DESIGN & ARCHITECTURE</small></p> <p>904-730-7135</p>	
<p>PROJECT DESCRIPTION:</p> <p>RENOVATIONS FOR THE WRIGHT FAMILY 48 SEA VISTA DRIVE PALM COAST, FLORIDA 32137 R/E #: 20-10-31-5365-00010-3400</p>	<p>BUILT BY:</p> <p>CBC1257358 904-999-0999</p>
<p>CLIENT APPROVAL SIGNATURE</p> <p>RICHARD JAY WRIGHT, JR.</p>	<p>DATE</p> <p>7/16/2017</p>
<p>ELONA RUKA-WRIGHT</p>	<p>SCALE:</p> <p>N.T.S.</p>
<p>SHEET:</p> <p>A-17</p>	<p>DATE:</p> <p>7/16/2017</p>



PLAN # 2467

PER FBC-R-E3901.7, NEC 210, E3901.7 & E3902.3 GFCI PROTECTION REQUIRED Bathrooms, garages, boathouses & accessory structures not intended as habitable rooms and limited to storage, work & similar uses. Outdoors, crawl spaces, unfinished basements, kitchen countertops. Outlets within 6 feet of laundry, utility or wet sinks. Balcony, deck or porch greater than 20 s.f. One at the front and back of the dwelling and at the condenser units.

PER FBC-R-E3902.12 AFCI PROTECTION REQUIRED Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed AFCI, combination type.

EFFICACY NOTE: THE NEW FBC-R FBC EC R404.1 & R202 BUILDING CODE REQUIRES ALL INSIDE & OUTSIDE LIGHT FIXTURES WILL USE CFL OR LED LIGHT BULBS.

SEA TURTLE PROTECTION: CODE REF-ENVIRONMENTAL PROTECTION STANDARDS RELATING TO THE PROTECTION OF SEA TURTLES: STATE STATUTE 50-241 ET-SEQ/.

SEC. 1201: PURPOSE AND INTENT: THE PURPOSE OF THIS ARTICLE IS TO PROTECT THE THREATENED & ENDANGERED SEA TURTLES WHICH NEST ALONG THE BEACHES OF VOLUSIA COUNTY, FLORIDA AND TO ENCOURAGE SEA TURTLE NESTING ON VOLUSIA COUNTY BEACHES BY MINIMIZING THE ARTIFICIAL LIGHT ON BEACHES (ORD #90-22 STATE STATUTE 5-11-90.

SEC. 1202: SEA TURTLE NESTING AREA 8: SEA TURTLES NEST OR ARE LIKELY TO NEST IN AN AREA OF THE BEACH FROM THE VOLUSIA/FLAGLER COUNTY LINE SOUTH TO THE BREVARD COUNTY LINE.

SEC 1203: (a) IT IS THE POLICY OF THE COUNTY TO MINIMIZE ARTIFICIAL LIGHT ILLUMINATING THE ENTIRE COASTAL BEACH OF THE COUNTY, AND SAID LIGHTING FOR NEW DEVELOPMENT SHALL BE REGULATED AS PROVIDED IN THIS SECTION. TO MEET THIS INTENT, BUILDING AND ELECTRICAL PLANS AND THE CONSTRUCTION OF SINGLE STORY OR MULTI STORY BUILDINGS OR STRUCTURES, SIGNS, COMMERCIAL OR OTHER STRUCTURES INCLUDING ELECTRICAL PLANS ASSOCIATED WITH PARKING LOTS, DUNE WALKOVERS OR OTHER ARTIFICIAL LIGHTING FOR REAL PROPERTY WITHIN THE INCORPORATED AND UNINCORPORATED REGULATED BOUNDARIES SHALL BE IN COMPLIANCE WITH THE FOLLOWING:

(1) LIGHT FIXTURES SHALL BE DESIGNED, POSITIONED, SHIELDED, OR OTHERWISE MODIFIED SUCH THAT THE SOURCE OF LIGHT AND ANY REFLECTIVE SURFACES OF THE FIXTURE SHALL BE DIRECTLY VISIBLE BY A PERSON WHO IS IN A STANDARD POSITION ON THE BEACH

(2) LIGHT SHALL NOT DIRECTLY ILLUMINATE THE BEACH DURING THE SEA TURTLE NESTING SEASON.

(ref) NESTING SEASON: THE PERIOD FROM MAY 1ST THROUGH OCT. 31 OF EACH YEAR.

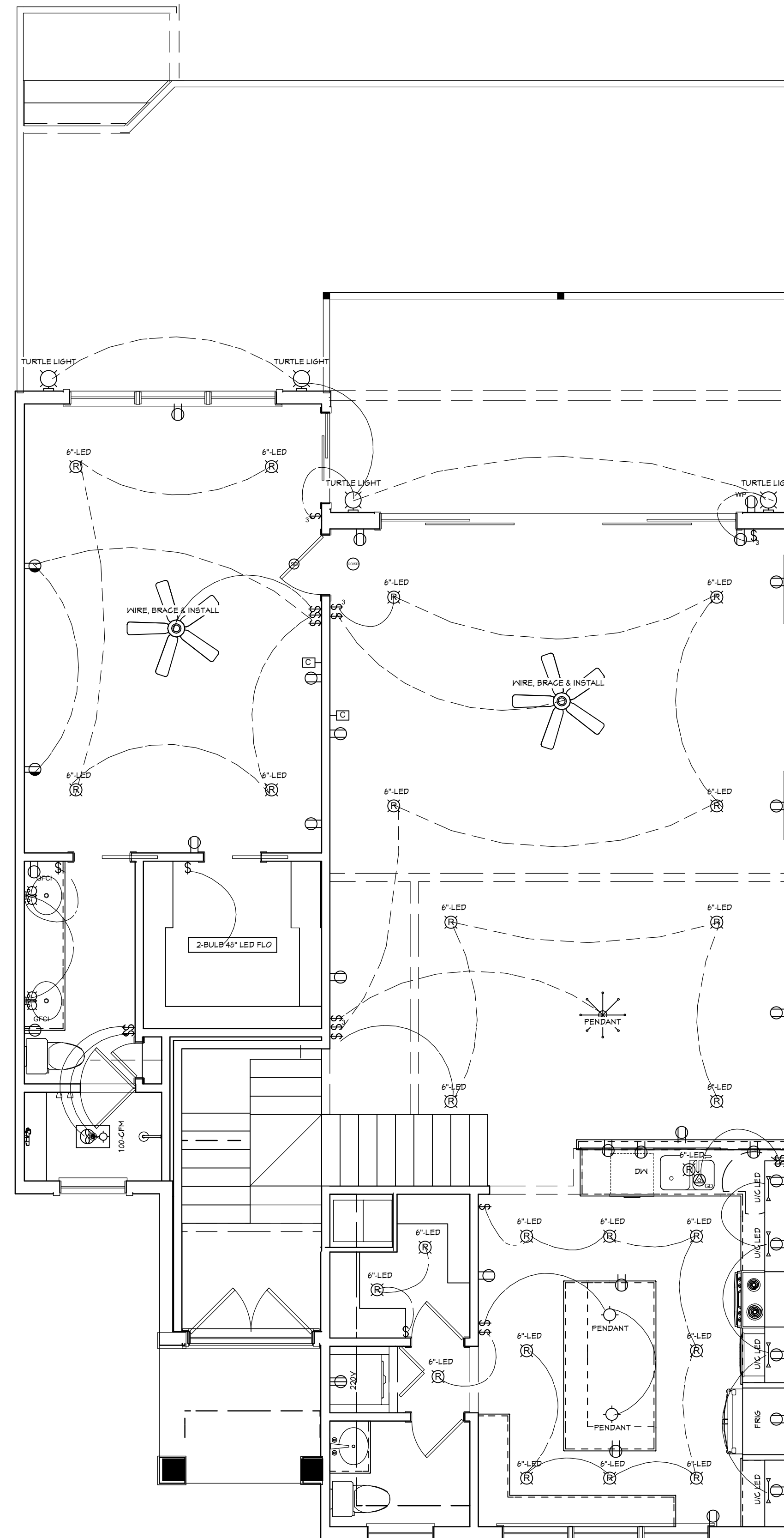
(3) TINTED GLASS, OR ANY WINDOW FILM APPLIED TO THE WINDOW GLASS WHICH MEET THE SHADING CRITERIA FOR TINTED GLASS, SHALL BE INSTALLED ON ALL WINDOWS OF SINGLE OR MULTI-STORY BUILDINGS OR STRUCTURES WITHIN LINE OF SIGHT OF THE BEACH IN THE REGULATED B OUNDARIES.

(ref) MEANS ANY GLASS TREATED TO ACHIEVE AN INDUSTRY APPROVED, INSIDE-TO-OUTSIDE LIGHT TRANSMITTANCE VALUE OF 45 PERCENT OR LESS. SUCH TRANSMITTANCE IS LIMITED TO THE VISIBLE SPECTRUM (400 TO 700 NANOMETERS) AND IS MEASURED AS THE PERCENTAGE OF LIGHT THAT IS TRANSMITTED THROUGH THE GLASS.

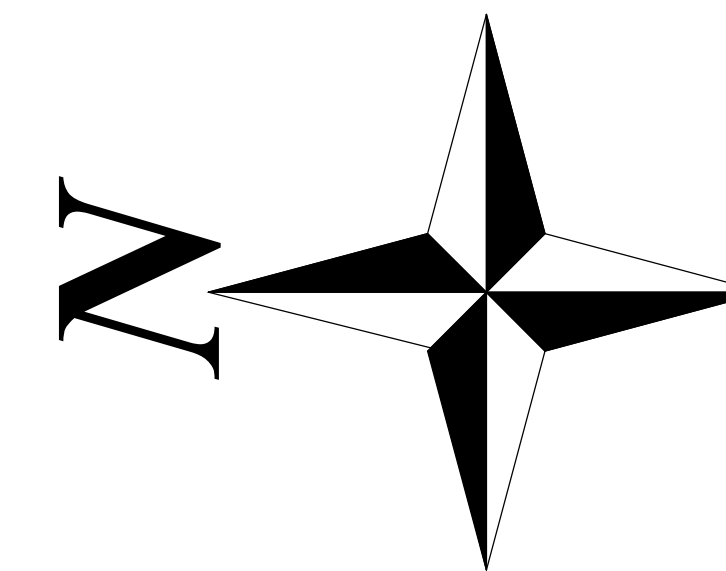
(4) LIGHTS ILLUMINATING SIGNS SHALL BE SHIELDED OR SCREENED SUCH THAT THEY DO NOT ILLUMINATE THE BEACH AND THE SOURCE OF THE LIGHT SHALL NOT BE VISIBLE BY A PERSON WHO IS IN A STANDING POSITION ON THE BEACH.

(5) THE PROVISIONS OF THIS SECTION, AS AMENDED, SHALL NOT APPLY TO ANY STRUCTURES FOR WHICH A BUILDING PERMIT HAS BEEN ISSUED PRIOR TO ADOPTION OF THIS ORDINANCE. OTHERWISE, EXISTING DEVELOPMENT SHALL COMPLY WITH SECTION 1204.

NOTE: LIGHTING CONTRACTOR TO SELECT COMPLIANT FIXTURES. SUBMIT MFGR'S SPECS AND CUT SHEETS. FIXTURES MUST SHOW COMPLIANCE WITH SEA TURTLE ORDINANCE LOC 6.05.00, FBC SEC 104.2.1.



ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel



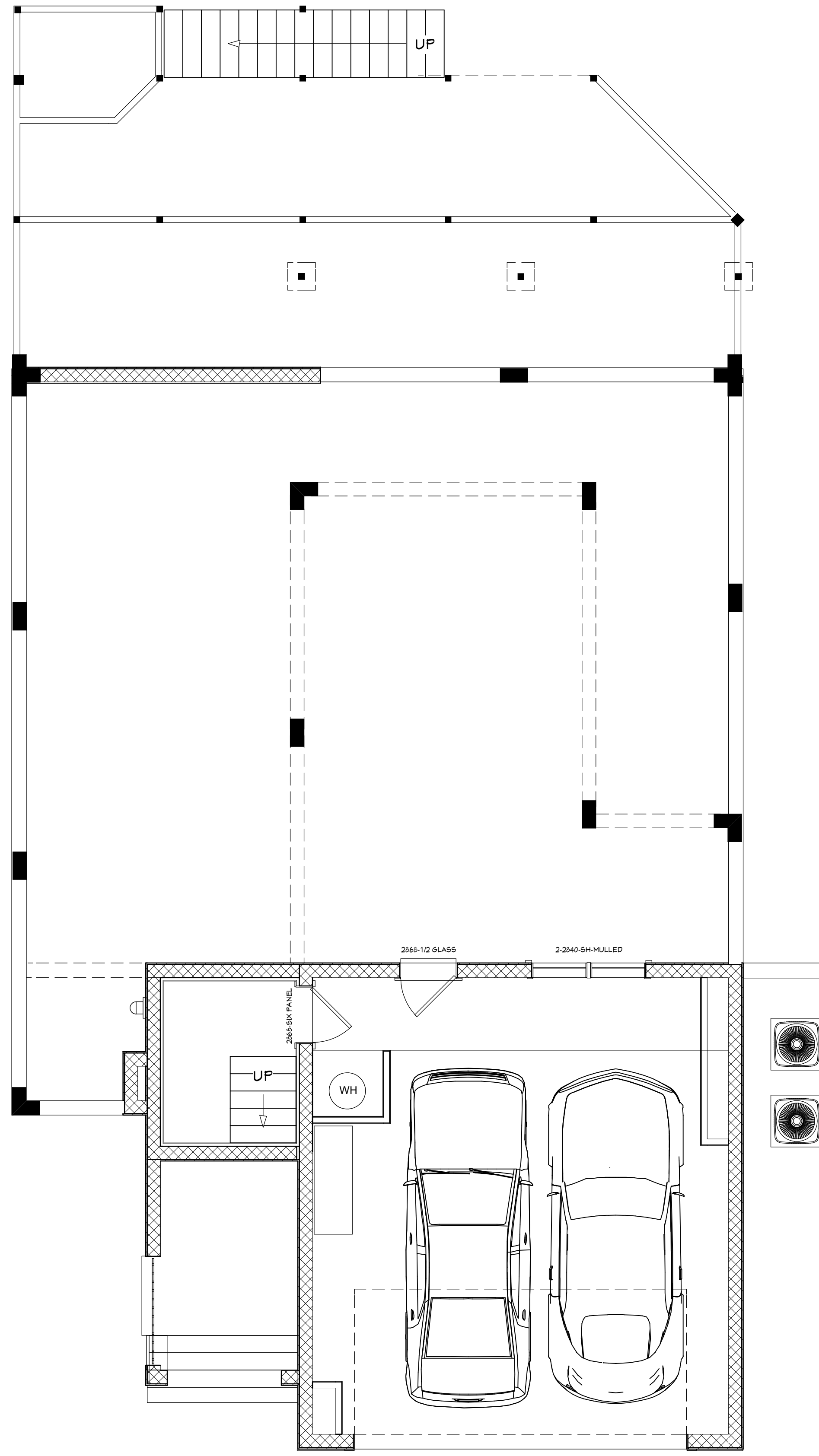
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2ND FLOOR ELEC PLAN

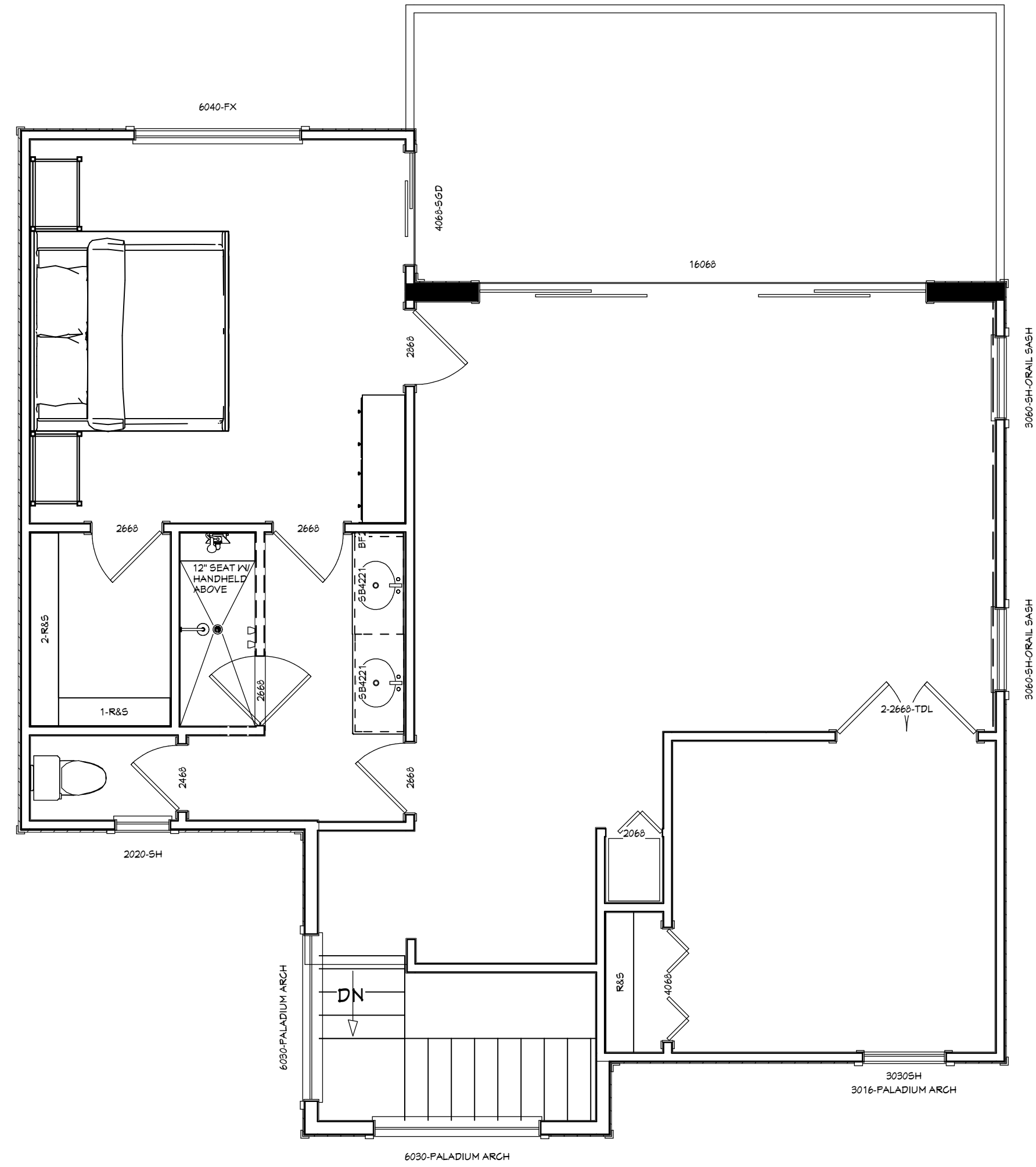
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RICHARD JAY WRIGHT, JR.	
ELONA RUKA-WRIGHT	
BUILT BY: CBC1257358	904-999-0999
PROJECT DESCRIPTION: RENOVATIONS FOR THE WRIGHT FAMILY 48 SEA VISTA DRIVE PALM COAST, FLORIDA 32137 R/E #: 20-10-31-5365-00010-3400	
Design Drawings provided by:	DESIGNS FOR LIVING, LLC 904-730-7135
DATE:	7/16/2017
SCALE:	1/4" = 1'-0"
SHEET:	A-19

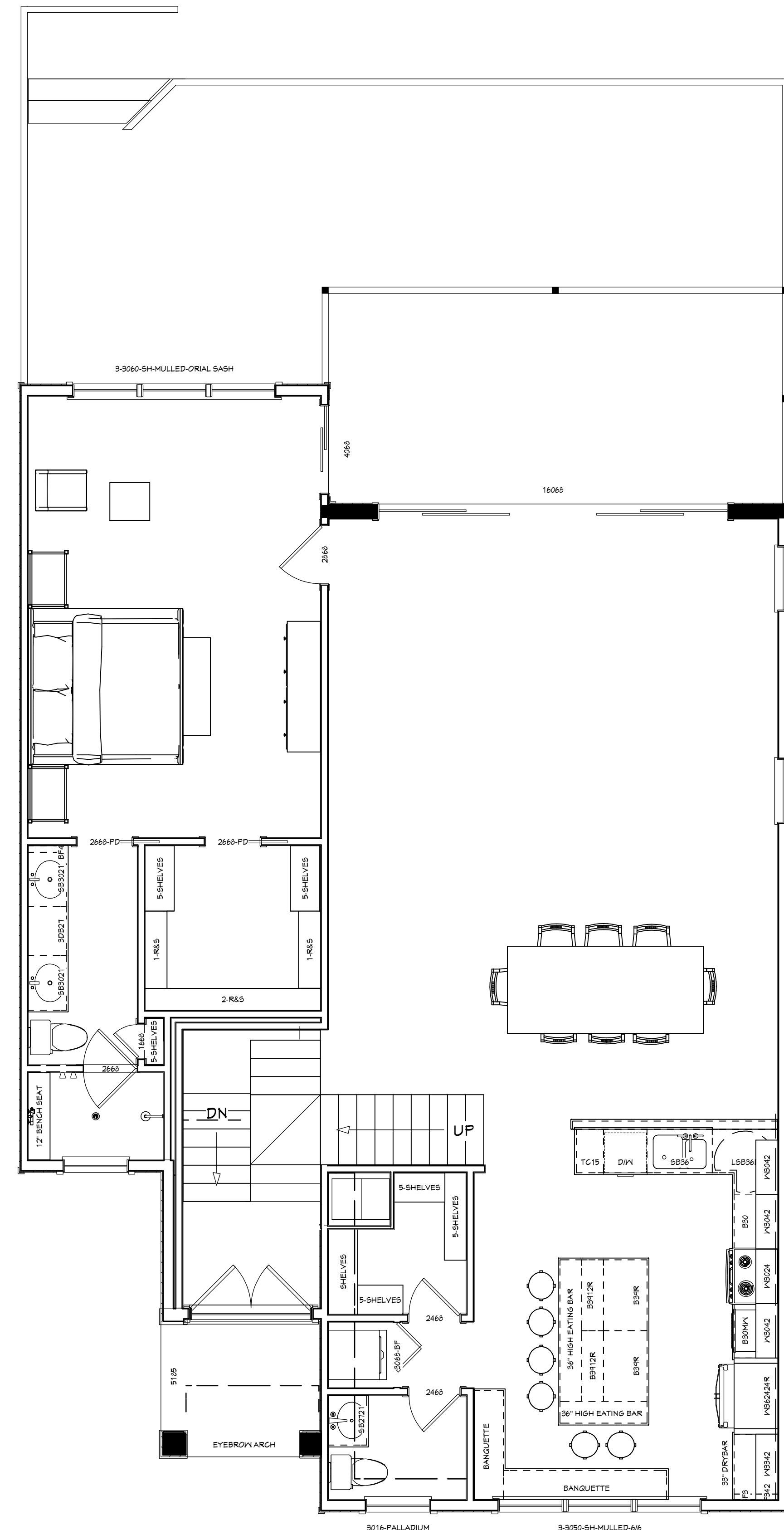


1ST FLOOR PLAN



3RD FLOOR PLAN

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



2ND FLOOR PLAN

FURNITURE PLAN

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<p>Design Drawings provided by:</p> <p>904-730-7135</p>	<p>PROJECT DESCRIPTION:</p> <p>RENOVATIONS FOR THE WRIGHT FAMILY 48 SEA VISTA DRIVE PALM COAST, FLORIDA 32137 R/E #: 20-10-31-5365-00010-3400</p>	<p>BUILT BY:</p> <p>CBC1257358 904-999-0999</p> <p>Direct Movement Group</p>	<p>CLIENT APPROVAL SIGNATURE DATE</p> <p>RICHARD JAY WRIGHT, JR. ELONA RUKA-WRIGHT</p>	<p>PLAN #</p> <p>2467</p>
<p>DATE:</p> <p>7/16/2017</p>	<p>SCALE:</p> <p>N.T.S.</p>	<p>SHEET:</p> <p>A-21</p>		

Sealoflex® Waterproofing Systems	Issue Date	Revised	Detail Number
	January 2000	April 2010	FL-3A

Wall Flashing Detail for Decks

NOTE: * "Traffic Finish" Options: 2 coats Wearcoat OR Coraflex with 2 coats Wearcoat Clear

Labels: Wall Finish, 2 Layers of Sealoflex Finish Coat, Sealoflex Pink "Saturation" Coat, Sealoflex Fabric, Sealoflex Pink "Base" Coat, Hardwearing "Traffic Finish" (see NOTE* above), Sealoflex Primer (See Sealoflex Primer Chart), 3/8" x 3/8" Single Part Polyurethane Caulk Fillet, Space Exaggerated to show layer distinction

General Notes

- Approved for all Sealoflex warranties.
- Follow steps for any necessary priming as outlined in specifications manual.
- Follow steps for application as outlined in specifications manual.
- All Sealoflex fabric to overlap a minimum of 3" when 2 pieces come together.
- All Sealoflex fabric to overlap a minimum of 3" when there is a change in plane.
- Use two separate pieces of Sealoflex fabric at edges and penetrations.

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Sealoflex® Waterproofing Systems	Issue Date	Revised	Detail Number
	December 2003	September 2006	DP-1

Trafficable Surface over Plywood Deck

NOTE: * "Traffic Finish" Options: 2 coats Wearcoat OR Coraflex with 2 coats Wearcoat Clear

Labels: Hardwearing "Traffic Finish" (see NOTE* above), 2 Layers of Sealoflex Finish Coat, Sealoflex Pink "Saturation" Coat, Sealoflex Deck Fabric, Sealoflex Pink "Base" Coat, 3/4" T&G Plywood, Sealoflex Primer (Refer to Sealoflex Primer Chart), Adhere Drip Edge into position with Single Part Polyurethane Caulk, Sealoflex Buttergrade, Ensure Application Allows Positive Slope, 6" band of Sealoflex Pink "Base"/Fabric/"Saturation"

General Notes

- Approved for all Sealoflex warranties.
- Follow steps for any necessary priming as outlined in specifications manual.
- Follow steps for application as outlined in specifications manual.
- All Sealoflex fabric to overlap a minimum of 3" when 2 pieces come together.
- All Sealoflex fabric to overlap a minimum of 3" when there is a change in plane.
- Use two separate pieces of Sealoflex fabric at edges and penetrations.

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NOTE: ARCHITECTS DETAILS TAKE PRECEDENCE AND THE MATERIALS MAY CHANGE BASED ON THE BUILDERS DISCRETION

Sealoflex® Waterproofing Systems	Issue Date	Revised	Detail Number
	January 2000	April 2010	DE-1

Roof Detail for Drip Edge

Labels: 2 Layers of Sealoflex Finish Coat, Sealoflex Pink "Saturation" Coat, Sealoflex Fabric (Refer to Fabric Chart), Sealoflex Pink "Base" Coat, Adhere Drip Edge with Single Part Polyurethane Caulk, Drip Edge, Sealoflex Pink "Saturation" Coat, Sealoflex Fabric, Sealoflex Pink "Base" Coat, Roof Deck

General Notes

- Approved for all Sealoflex warranties.
- Follow steps for any necessary priming as outlined in specifications manual.
- Follow steps for application as outlined in specifications manual.
- All Sealoflex fabric to overlap a minimum of 3" when 2 pieces come together.
- All Sealoflex fabric to overlap a minimum of 3" when there is a change in plane.
- Use two separate pieces of Sealoflex fabric at edges and penetrations.

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Sealoflex® Waterproofing Systems	Issue Date	Revised	Detail Number
	May 2003	April 2010	DE-2

Deck Edge Detail

NOTE: * "Traffic Finish" Options: 2 coats Wearcoat OR Coraflex with 2 coats Wearcoat Clear

Labels: Hardwearing "Traffic Finish", 2 Layers of Sealoflex Finish Coat, Sealoflex Pink "Saturation" Coat, Sealoflex Deck Fabric, Sealoflex Pink "Base" Coat, Sealoflex Buttergrade, Ensure Application Allows Positive Slope, 6" band of Sealoflex Pink "Base"/Fabric/"Saturation", 3/4" x 3/4" T&G Plywood Decking, Sealoflex Primer (Refer to Sealoflex Primer Chart), Adhere Drip Edge into position with Single Part Polyurethane Caulk, Fascia, Metal Drip Edge

General Notes

- Approved for all Sealoflex warranties.
- Follow steps for any necessary priming as outlined in specifications manual.
- Follow steps for application as outlined in specifications manual.
- All Sealoflex fabric to overlap a minimum of 3" when 2 pieces come together.
- All Sealoflex fabric to overlap a minimum of 3" when there is a change in plane.
- Use two separate pieces of Sealoflex fabric at edges and penetrations.

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CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

Sealoflex® Waterproofing Systems	Issue Date	Revised	Detail Number
	April 2008	April 2010	DT-1

Door Threshold Detail

NOTE: Pre-drill holes for mechanical fasteners and fill with single part polyurethane caulk immediately before fixing with fasteners.

Labels: Sealoflex CT System Required Under Door, Sealoflex CT System or Sealoflex Waterbased System, Door Threshold, 1" x 1" Angle Metal, Single Part Polyurethane Caulk

General Notes

- Approved for all Sealoflex warranties.
- Follow steps for any necessary priming as outlined in specifications manual.
- Follow steps for application as outlined in specifications manual.
- All Sealoflex fabric to overlap a minimum of 3" when 2 pieces come together.
- All Sealoflex fabric to overlap a minimum of 3" when there is a change in plane.
- Use two separate pieces of Sealoflex fabric at edges and penetrations.

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Sealoflex® Waterproofing Systems	Issue Date	Revised	Detail Number
	May 2003	September 2006	C-1

Coping Detail

Labels: Prime Top and Underside of Drip Edge with Sealoflex Metal Etch Primer, 2 Layers of Sealoflex Finish Coat, Sealoflex Pink "Saturation" Coat, Sealoflex Fabric, Sealoflex Pink "Base" Coat, Adhere Drip Edge with Single Part Polyurethane Caulk, Metal Drip Edge, Building Facade, Space Exaggerated to show layer distinction

NOTE: Drip Edge is optional. If coping top slopes away from the facade, no drip edge is necessary.

General Notes

- Approved for all Sealoflex warranties.
- Follow steps for any necessary priming as outlined in specifications manual.
- Follow steps for application as outlined in specifications manual.
- All Sealoflex fabric to overlap a minimum of 3" when 2 pieces come together.
- All Sealoflex fabric to overlap a minimum of 3" when there is a change in plane.
- Use two separate pieces of Sealoflex fabric at edges and penetrations.

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BALCONY WATERPROOFING DETAILS

PLANS NOT RELEASED FOR CONSTRUCTION

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PLAN # 2467	
CLIENT APPROVAL SIGNATURE	DATE
RICHARD JAY WRIGHT, JR.	
ELONA RUKA-WRIGHT	
BUILT BY: CBC1257358	904-999-0999
DMG Direct Movement Group	
PROJECT DESCRIPTION: RENOVATIONS FOR THE WRIGHT FAMILY 48 SEA VISTA DRIVE PALM COAST, FLORIDA 32137 R/E #: 20-10-31-5365-00010-3400	
Design Drawings provided by:	904-730-7135
DATE:	7/16/2017
SCALE:	N.T.S.
SHEET:	A-22