

# FUTURE HOME OF THE DARRAGH FAMILY

PERMIT PLAN SET: 11/19/2016



700 NATURES HAMMOCK ROAD W  
SAINT JOHNS, FL 32259  
LOT 1, NATURES HAMMOCK  
R/E #: 000130-0010

BUILT BY:



1170 WESTWOOD DRIVE  
SAINT JOHNS, FL 32259  
CBC040840  
904-591-0998

COVER PAGE

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PLAN # 4020	
CLIENT APPROVAL SIGNATURE	DATE
MICHAEL J. DARRAGH	
DIANE E. DARRAGH	
Design Drawings provided by: DESIGNS FOR LIVING, LLC RESIDENTIAL DESIGN BUILT 1989 904-730-7135	
PROJECT DESCRIPTION: FUTURE HOME OF THE DARRAGH FAMILY LOT 1, NATURES HAMMOCK R/E #: 000130-0010 700 NATURES HAMMOCK ROAD W SAINT JOHNS, FL 32259	
BUILT BY:	
TRIBUTE HOMES by Rick Lentz 1170 WESTWOOD DRIVE CBC040840 SAINT JOHNS, FL 32259 904-591-0998	
DATE:	
11/19/2016	
SCALE:	
N.T.S.	
SHEET:	
A-1	



[illegible]

## ST. JOHNS RIVER

PER BARTRAM TRAIL  
SURVEYING, INC. MEAN HIGH  
WATER LINE  
EDGE OF WATER (ALL  
LOCATED 3/2/15) NGVD 1929

X-X-X-X-X = SILT FENCE  
WHICH WILL BE USED ON SITE  
TO PREVENT IMPACTS TO  
SURROUNDING PROPERTIES

FLOOD ZONE: AE-6  
FEMA CERTIFICATES REQUIRED  
ALL EQUIPMENT MUST BE AT OR ABOVE 7.0'  
ELEVATION REQUIRED BY ST. JOHNS COUNTY.  
CONFIRM ELEVATIONS WITH THE BUILDER

WIND DESIGN CRITERIA:  
WIND SPEED: 130 MPH  
EXPOSURE CATEGORY: "D"  
BUILDING TYPE: ENCLOSED  
BUILDING CATEGORY: II  
IMPORTANCE FACTOR: 1.0  
TOPOGRAPHY: FLAT  
MEAN ROOF HEIGHT: 20 FT  
BUILDING CODE: 2014 FBC-R

**ST. JOHNS RIVER**

NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

NG: RS-1  
BACKS:  
NT = 30'  
S = 10'  
R = 15'

BACKS ARE TO THE BODY OF THE STRUCTURES

PER BARTRAM TRAIL SURVEYING, INC. MEAN HIGH WATER LINE  
EDGE OF WATER (ALL LOCATED 3/2/15) NGVD 1929

EXISTING WOOD DOCK

X-X-X-X-X = SILT FENCE WHICH WILL BE USED ON SITE TO PREVENT IMPACTS TO SURROUNDING PROPERTIES

THERE ARE NO WELLS WITHIN 75 FEET OF THE NORTH PROPERTY LINE OF LOT 1

FINISH FLOOR SET NOTE: CONFIRM WITH THE BUILDER ON THE FINAL FINISH FLOOR OF EACH STRUCTURE

HVAC PAD LOCATION-A MINIMUM 5 FOOT FROM THE PROPERTY LINE SHALL BE MAINTAINED

THE APPLICANT/OWNER/CONTRACTOR SHALL IMMEDIATELY CONTACT ST. JOHNS COUNTY LOT GRADING STAFF SHOULD MODIFICATIONS TO THE DRAINAGE PLAN BE REQUIRED DURING SITE DEVELOPMENT, BASED ON ACTUAL FIELD CONDITIONS.

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH	DELTA
C1(P)(M)	101.15	42.09	N16°56'28"E	41.77	23°50'33"
C2(P)(M)	105.00	40.65	N43°57'05"W	40.41	22°11'02"

LINE TABLE

LINE	DIRECTION	LENGTH
L1(P)(M)	N4°42'42"W	80.93

LOT 2

THERE ARE NO WELLS WITHIN 75 FEET OF THE SOUTH PROPERTY LINE OF LOT 1

PER THE LDC THE WIDTH OF THE DRIVEWAY AT THE PROPERTY LINE IS 18'-0" MAX

BENCHMARK ELEV = 13.14'  
SET NAIL NO I.D.


NATURE'S HAMMOCK ROAD WEST (50' R/W)  
(PER NATURE'S HAMMOCK M.B. 12, PAGE 82))

700 NATURES HAMMOCK ROAD W.

CLEARANCE SHEET R2016-001230

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Design Drawings  
provided by:

904-730-7135

PROJECT DESCRIPTION:

**FUTURE HOME OF THE DARRAGH  
FAMILY**

LOT 1, NATURES HAMMOCK R/E #/: 000130-0010  
700 NATURES HAMMOCK RD W  
SAINT JOHNS, FL 32259

BUILT BY:

**TRIBUTE HOMES**  
*by Rick Lentz*

1170 WESTWOOD DRIVE CBC040840  
SAINT JOHNS, FL 33226  
904-591-0998

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drawings and is subject to copyright protection as such.  
shall be restricted to the original file for which they were  
drawings, or their purchase constitutes prima facie  
shall verify all dimensions, details, & specifications

DATE:
11/19/2016
SCALE:
1" = 20'-0"
SHEET:
<b>A-2</b>

NOTE: 6" OFFSET  
IS INTENTIONAL

HVAC PAD

NOTE: ALWAYS WORK  
FROM THE APPROVED  
PERMITTED SET OF PLANS!

4" STEP DOWN @ PORCH  
& SLOPE SLAB 1/4"/FOOT  
FOR DRAINAGE

NOTE: PORCH GET 1.5"  
CANTILEVERED/  
EXTENDED EDGE PAST  
THE CMU TO ALLOW FOR  
STONE ACCENTS

NOTE: 6" OFFSET  
IS INTENTIONAL

4" STEP DOWN @ PORCH  
& SLOPE SLAB 1/4"/FOOT  
FOR DRAINAGE

NOTE: PORCH GET 1.5" CANTILEVERED/  
EXTENDED EDGE PAST THE CMU TO  
ALLOW FOR STONE ACCENTS

1. MONOLITHIC FOOTER & SLAB AT THE GARAGE -CONFIRM WITH BUILDER AS HE MAY GO TO CMU
2. INTERIOR BEARING TO BE CONFIRMED
3. SHOWERS TO BE RECESSED 6 INCHES
4. CONCRETE STOOPS PER PLAN
5. TWO HVAC PADS
6. STRUCTURAL ENGINEERS DRAWINGS TAKE PRECEDENCE
7. 2,500 PSI MINIMUM CONCRETE
8. FIBERMIX REINFORCING PER CODE
9. MAIN HOUSE SLAB IS THREE CMU BLOCKS HIGH

# FOUNDATION PLAN

PLAN #  
4020

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1000

**TABLE 1**

provided by:

 **DESIGNS *for* LIVING** INC.  
RESIDENTIAL DESIGN SINCE 1969

904-730-7135

**FUTURE HOME OF THE DARRAGH  
FAMILY**  
LOT 1, NATURES HAMMOCK R/E #: 000130-0010  
700 NATURES HAMMOCK ROAD W  
SAINT JOHNS, FL 32259

**TRIBUTE HOMES**  
*by Rick Lentz*  
1170 WESTWOOD DRIVE CBC040840  
SAINT JOHNS, FL 322259 904-591-0998

DATE:

DATE:

1/19/2016

SCALE:

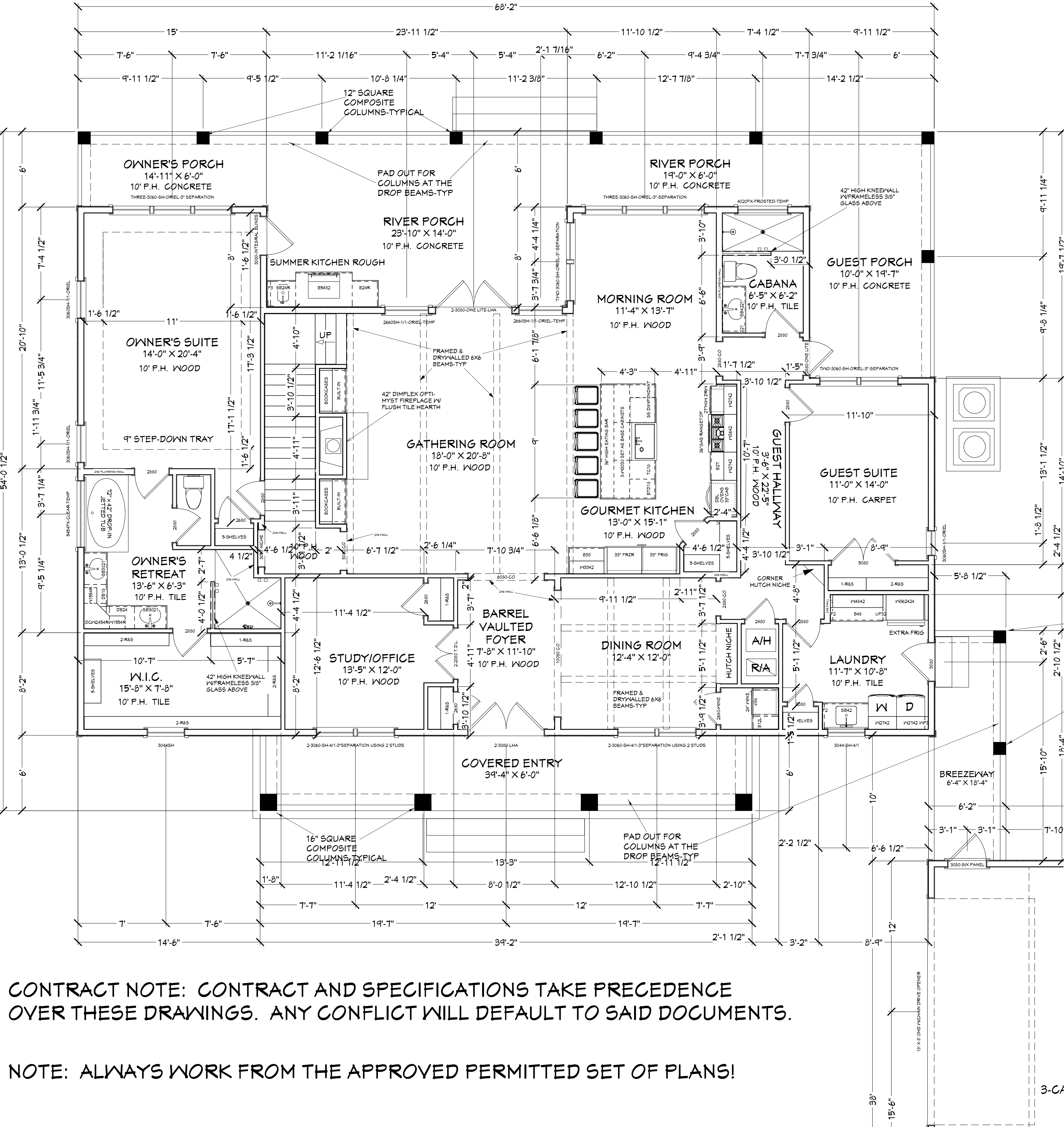
$$1/16'' = 1'-0''$$

SHEET:

**A-3**

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CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

NOTE: ALWAYS WORK FROM THE APPROVED PERMITTED SET OF PLANS!

- HOUSE NOTES:
1. ALL 1ST FLOOR ROOMS WOOD EXCEPT BATHS WHICH ARE TILE AND THE GUEST SUITE WHICH IS CARPET
  2. 1ST FLOOR PLATE HEIGHT IS 10'-1&1/8"
  3. 2ND FLOOR CEILING HEIGHT IS 9'-1&1/8"
  4. ALL 2ND FLOOR ROOMS WOOD EXCEPT BEDROOMS WHICH ARE CARPET AND THE BATH WHICH IS TILE
  5. THE MARINERS WALK IS TREX OR EQUAL
  6. THE HANDRAIL IS PAINTED ALUMINUM

FOOTAGES (A.N.S.I.):	
1ST FLOOR HEATED:	2,538.58
2ND FLOOR HEATED:	1,640.42
TOTAL HEATED:	4,179.00
FRONT ENTRY:	235.02
ROCKING PORCH:	115.50
GUEST PORCH:	195.43
RIVER PORCH:	335.42
OWNER'S PORCH:	90.00
MARINER'S WALK:	319.69
BREEZEWAY:	87.36
3-CAR GARAGE:	1,064.00
HYAC PAD(CONFIRM):	32.00
SLAB EXTENSIONS:	73.18
SLAB AREA:	4,647.13
UNDER ROOF:	6,534.06

# 1ST FLOOR PLAN

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PLAN #  
4020

CLIENT APPROVAL SIGNATURE DATE  
MICHAEL J. DARRAGH  
DIANE E. DARRAGH

Designs for Living, LLC  
DESIGNS FOR LIVING, LLC  
RESIDENTIAL DESIGN BUILT 1989  
904-730-7135

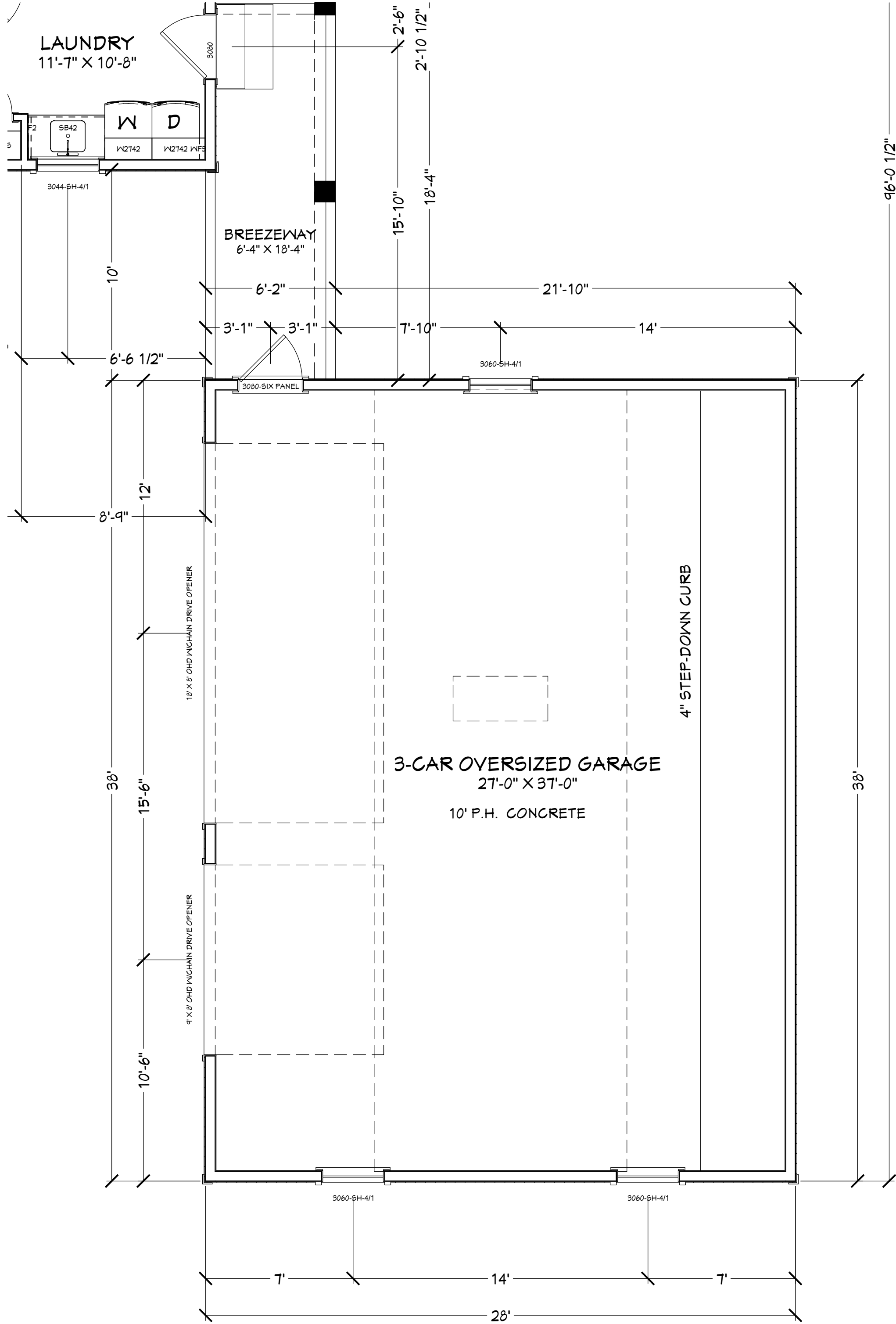
PROJECT DESCRIPTION:  
FUTURE HOME OF THE DARRAGH FAMILY  
LOT 1, NATURES HAMMOCK R/E # 000130-0010  
700 NATURES HAMMOCK ROAD W  
SAINT JOHNS, FL 32259

BUILT BY:  
TRIBUTE HOMES  
by Rick Lenz  
1170 WESTWOOD DRIVE CBC040840  
SAINT JOHNS, FL 32229 904-591-0998

DATE:  
11/19/2016

SCALE:  
1/4" = 1'-0"

SHEET:  
A-4



HOUSE NOTES:

1. ALL 1ST FLOOR ROOMS WOOD EXCEPT BATHS WHICH ARE TILE AND THE GUEST SUITE WHICH IS CARPET
2. 1ST FLOOR PLATE HEIGHT IS 10'-1&1/8"
3. 2ND FLOOR CEILING HEIGHT IS 9'-1&1/8"
4. ALL 2ND FLOOR ROOMS WOOD EXCEPT BEDROOMS WHICH ARE CARPET AND THE BATH WHICH IS TILE
5. THE MARINERS WALK IS TREX OR EQUAL
6. THE HANDRAIL IS PAINTED ALUMINUM

GARAGE NOTES:

1. GARAGE IS TO BE DRYWALLED, TRIMMED AND PAINTED
2. PLATE HEIGHT IS 10'-1&1/8"
3. ATTIC FRAME TRUSSES WITH 12' WIDE STORAGE AREA AS ALLOWED BY ENGINEERING AND DECKED WITH 3/4" T&G DECKING

SECTION R310  
EMERGENCY ESCAPE AND RESCUE OPENINGS

**R310.1** Emergency escape and rescue required. Basements, habitable attics and every sleeping room shall have at least one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, emergency egress and rescue openings shall be required in each sleeping room. Where emergency escape and rescue openings are provided they shall have a sill height of not more than 44 inches (1118 mm) above the floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with Section R310.3. The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. Emergency escape and rescue openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with Section R310.2. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.

Exceptions:

1. Basements used only to house mechanical equipment and not exceeding total floor area of 200 square feet (18.58 m2).
2. The emergency escape and rescue opening shall be permitted to open into a screen enclosure, open to the atmosphere, where a screen door is provided leading away from the residence.

**R310.1.1** Minimum opening area.

All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m2).

Exception:

Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465 m2).

**R310.1.2** Minimum opening height.

The minimum net clear opening height shall be 24 inches (610 mm).

**R310.1.3** Minimum opening width.

The minimum net clear opening width shall be 20 inches (508 mm).

**R310.1.4** Operational constraints.

Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys, tools or special knowledge.

**R302.11** Fireblocking.

In combustible construction, fireblocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space. Fireblocking shall be provided in wood-frame construction in the following locations:

1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:
  - 1.1. Vertically at the ceiling and floor levels.
  - 1.2. Horizontally at intervals not exceeding 10 feet (3048 mm).
2. At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
3. In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7.
4. At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion. The material filling this annular space shall not be required to meet the ASTM E 136 requirements.
5. For the fireblocking of chimneys and fireplaces, see Section R1003.19.
6. Fireblocking of cornices of a two-family dwelling is required at the line of dwelling unit separation.

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

**R302.12 Draftstopping.** In combustible construction where there is usable space both above and below the concealed space of a floor/ceiling assembly, draftstops shall be installed so that the area of the concealed space does not exceed 1,000 square feet (92.9 m2). Draftstopping shall divide the concealed space into approximately equal areas. Where the assembly is enclosed by a floor membrane above and a ceiling membrane below, draftstopping shall be provided in floor/ceiling assemblies under the following circumstances:

1. Ceiling is suspended under the floor framing.
2. Floor framing is constructed of truss-type open-web or perforated members.

**R302.12.1 Materials.** Draftstopping materials shall not be less than 1/2-inch (12.7 mm) gypsum board, 3/8-inch (9.5 mm) wood structural panels or other approved materials adequately supported. Draftstopping shall be installed parallel to the floor framing members unless otherwise approved by the building official. The integrity of the draftstops shall be maintained

NOTE: ALWAYS WORK FROM THE APPROVED PERMITTED SET OF PLANS!

GARAGE PLAN

PLAN #  
4020

CLIENT APPROVAL SIGNATURE	DATE
MICHAEL J. DARRAGH	
DIANE E. DARRAGH	

Design Drawings provided by:

**DESIGNS FOR LIVING, LLC**  
RESIDENTIAL DESIGN PARTNERS

904-730-7135

PROJECT DESCRIPTION:  
FUTURE HOME OF THE DARRAGH FAMILY

LOT 1, NATURES HAMMOCK R/E #1: 000130-0010  
700 NATURES HAMMOCK ROAD W  
SAINT JOHNS, FL 32259

BUILT BY:

**TRIBUTE HOMES**  
by Rick Lenz

1170 WESTWOOD DRIVE CBC040840  
SAINT JOHNS, FL 32229 904-591-0998

DATE:
11/19/2016
SCALE:
1/4" = 1'-0"
SHEET:
A-5

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2. At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.  
3. In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7.  
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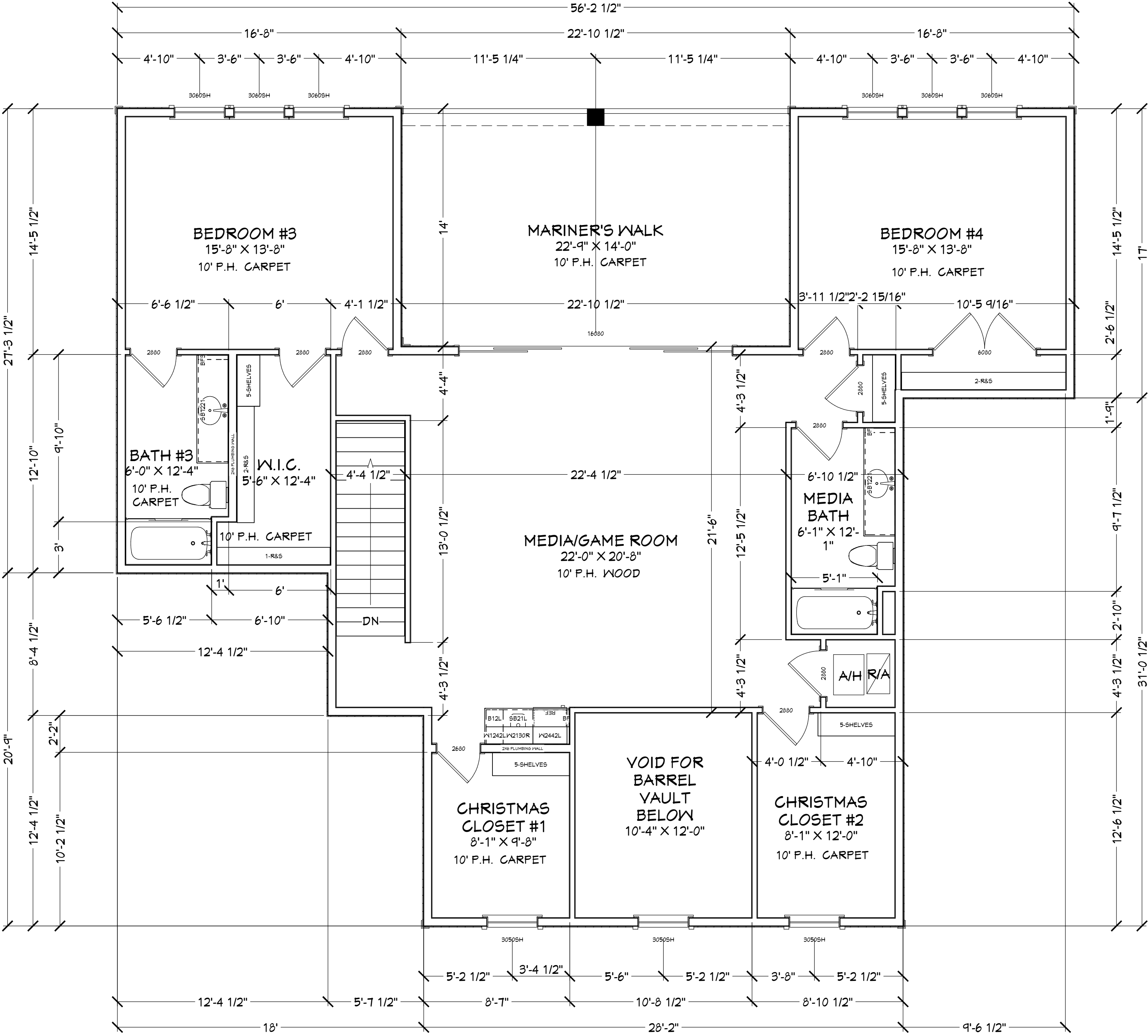
NOTE: ALWAYS WORK FROM THE APPROVED PERMITTED SET OF PLANS!

**R302.7 Under-stair protection.** Enclosed accessible space under stairs shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2-inch (12.7 mm) gypsum board.

**SECTION R310  
EMERGENCY ESCAPE AND RESCUE OPENINGS**

**R310.1** Emergency escape and rescue required. Basements, habitable attics and every sleeping room shall have at least one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, emergency egress and rescue openings shall be required in each sleeping room. Where emergency escape and rescue openings are provided they shall have a sill height of not more than 44 inches (1118 mm) above the floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with Section R310.3. The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. Emergency escape and rescue openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with Section R310.2. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.

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**Exception:**  
Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465 m2).  
**R310.1.2** Minimum opening height.  
The minimum net clear opening height shall be 24 inches (610 mm).  
**R310.1.3** Minimum opening width.  
The minimum net clear opening width shall be 20 inches (508 mm).  
**R310.1.4** Operational constraints.  
Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys, tools or special knowledge.



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2ND FLOOR PLAN

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PLAN #  
4020

CLIENT APPROVAL SIGNATURE

DATE

MICHAEL J. DARRAGH

DIANE E. DARRAGH

Design Drawings  
provided by:

DESIGNS FOR LIVING, LLC

RESIDENTIAL DESIGN WANTS 1949

904-730-7135

PROJECT DESCRIPTION:

FUTURE HOME OF THE DARRAGH FAMILY

LOT 1, NATURES HAMMOCK R/E #1: 000130-0010  
700 NATURES HAMMOCK ROAD W  
SAINT JOHNS, FL 32259

BUILT BY:

TRIBUTE HOMES  
by Rick Lenz

1170 WESTWOOD DRIVE CBC040840  
SAINT JOHNS, FL 322239 904-591-0998

DATE:

11/19/2016

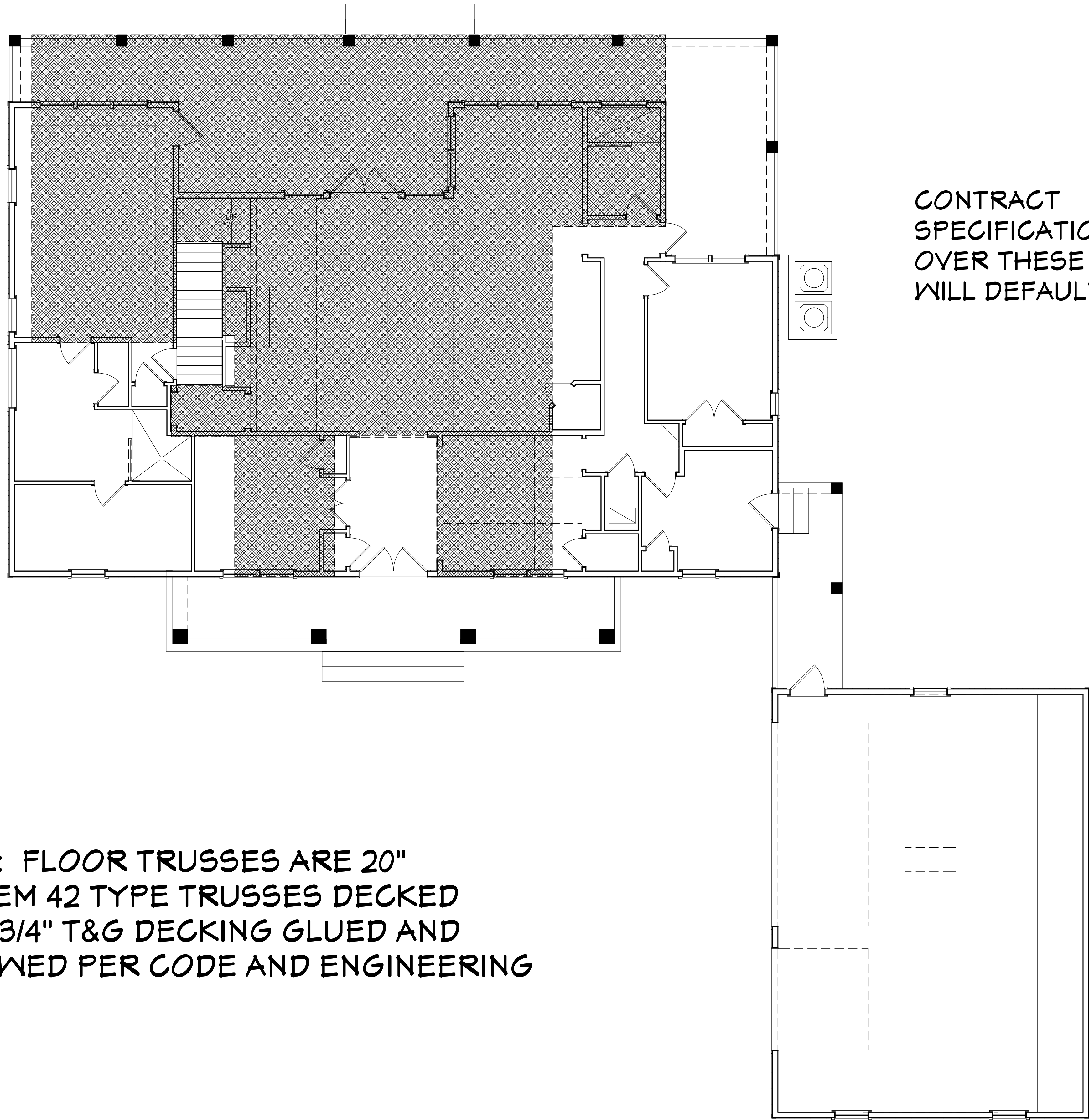
SCALE:

1/4" = 1'-0"

SHEET:

A-6

NOTE: FLOOR TRUSSES ARE 20" SYSTEM 42 TYPE TRUSSES DECKED WITH 3/4" T&G DECKING GLUED AND SCREWED PER CODE AND ENGINEERING



CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

FLOOR TRUSS PLAN

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BUILT BY:  
**TRIBUTE HOMES**  
*by Rick Lenz*  
1170 WESTWOOD DRIVE CBC040840  
SAINT JOHNS, FL 32229 904-591-0998

DATE:  
11/19/2016

SCALE:  
3/16" = 1'-0"

SHEET:  
**A-7**

PROJECT DESCRIPTION:  
**FUTURE HOME OF THE DARRAGH FAMILY**  
LOT 1, NATURES HAMMOCK R/E #: 000130-0010  
700 NATURES HAMMOCK ROAD W  
SAINT JOHNS, FL 32259

Design Drawings  
provided by:  
**DESIGNS FOR LIVING, LLC**  
RESIDENTIAL DESIGN PARTNERS  
904-730-7135

CLIENT APPROVAL SIGNATURE	DATE
MICHAEL J. DARRAGH	
DIANE E. DARRAGH	

PLAN #  
**4020**



10' 1-1/8"

20' 11"

.

.

.

General Notes:

- Per ANSI/TPI 1-2002 all " Truss to Wall" connections are the responsibility of the Building Designer, not the Truss Manufacturer.
- Use Manufacturer's specifications for all hanger connections unless noted otherwise.
- Trusses are to be 24" o.c. U.N.O.
- All hangers are to be Simpson or equivalent U.N.O.
- Use 10d x 1 1/2" Nails in hanger connections to single ply girder trusses.
- Trusses are not designed to support brick U.N.O.
- Dimensions are Feet-Inches' Sixteenths

Notes:

No back charges will be accepted by Builders FirstSource unless approved in writing first.

ACQ lumber is corrosive to truss plates. Any ACQ lumber that comes in contact with truss plates (i.e. scabbed on tails) must have an approved barrier applied first.

Refer to BCSI-B1 Summary Sheet-Guide for handling, Installing and Bracing of Metal Plate Connected Wood Truss prior to and during truss installation.

It is the responsibility of the Contractor to ensure of the proper orientation of the truss placement plans as to the construction documents and field conditions of the structure orientation. If a reversed or flipped layout is required, it will be supplied at no extra cost by Builders FirstSource.

It is the responsibility of the Contractor to make sure the placement of trusses are adjusted for plumbing drops, can lights, ect.... so the trusses do not interfere with these type of items.

All common framed roof or floor systems must be designed as to NOT impose any loads on the floor trusses below. The floor trusses have not been designed to carry any additional loads from above.

This truss placement plan was not created by an engineer, but rather by the Builders FirstSource staff and is solely to be used as an installation guide and does not require a seal. Complete truss engineering and analysis can be found on the truss design drawings which may be sealed by the truss design engineer.

Gable end trusses require continuous bottom chord bearing. Refer to local codes for wall framing requirements.

Although all attempts have been made to do so, trusses may not be designed symmetrically. Please refer to the individual truss drawings and truss placement plans for proper orientation and placement.

Builders

FirstSource

Freeport

PHONE: 850-835-4541

FAX: 850-835-4532

Jacksonville

PHONE: 904-772-6100

FAX: 904-772-1973

Tampa

PHONE: 813-621-9831

FAX: 813-628-8956

Builder:

Tribute Homes by Rick Lentz

Legal Address:

Lot 1 Natures Hammock

Model:

Darragh Residence

Date:

8/29/16

Drawn By:

JAS

Original Ref #:

860389

Floor 1 Job #:

875252

Floor 2 Job #:

N/A

Roof Job #:

860389

The diagram is a detailed floor truss and entry layout plan for a building. It shows the arrangement of various trusses (T19 through T33) and their dimensions. The plan is oriented with a north arrow pointing towards the top-left. Key dimensions include a total width of 56'-01" and a total depth of 48'-00". The layout includes a central section with trusses T21 through T28, and side sections with trusses T31 through T33. The plan also shows the placement of gable end trusses (T23, T24) and the entry area (T19, T20, T21, T22). The trusses are labeled with their respective dimensions, such as 2'-00" for most trusses, and 1'-11" for the entry area. The plan is surrounded by a border with dimensions: 16'-07" on the top and bottom, 22'-11" on the top, and 16'-07" on the bottom. The left side has dimensions of 12'-04" and 5'-08", and the right side has dimensions of 10'-00" and 28'-01". The plan is also labeled with 'MITEK PLATE APPROVAL#' and 'WEYERHAUSER PRODUCT#'. A note at the bottom right states: 'Note: Exterior walls held back 1/2" for sheathing'.

MITEK PLATE APPROVAL#'S2197.2-2197.4,  
WEYERHAUSER PRODUCT#'S1630.2-1630.10

Note: Exterior walls held back 1/2" for sheathing

# FLOOR TRUSS & ENTRY LAYOUT PLAN

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PLAN #

4020

CLIENT APPROVAL SIGNATURE

DATE

MICHAEL J. DARRAGH

DJANE E. DARRAGH

Design Drawings

provided by:

DESIGNS FOR LIVING, LLC

RESIDENTIAL DESIGN PARTNERS

904-730-7135

PROJECT DESCRIPTION:

FUTURE HOME OF THE DARRAGH FAMILY

LOT 1, NATURES HAMMOCK R/E #1: 000130-0010

700 NATURES HAMMOCK ROAD W

SAINT JOHNS, FL 32259

BUILT BY:

TRIBUTE HOMES

by Rick Lentz

1170 WESTWOOD DRIVE CBC040840

SAINT JOHNS, FL 322239 904-591-0998

DATE:

11/19/2016

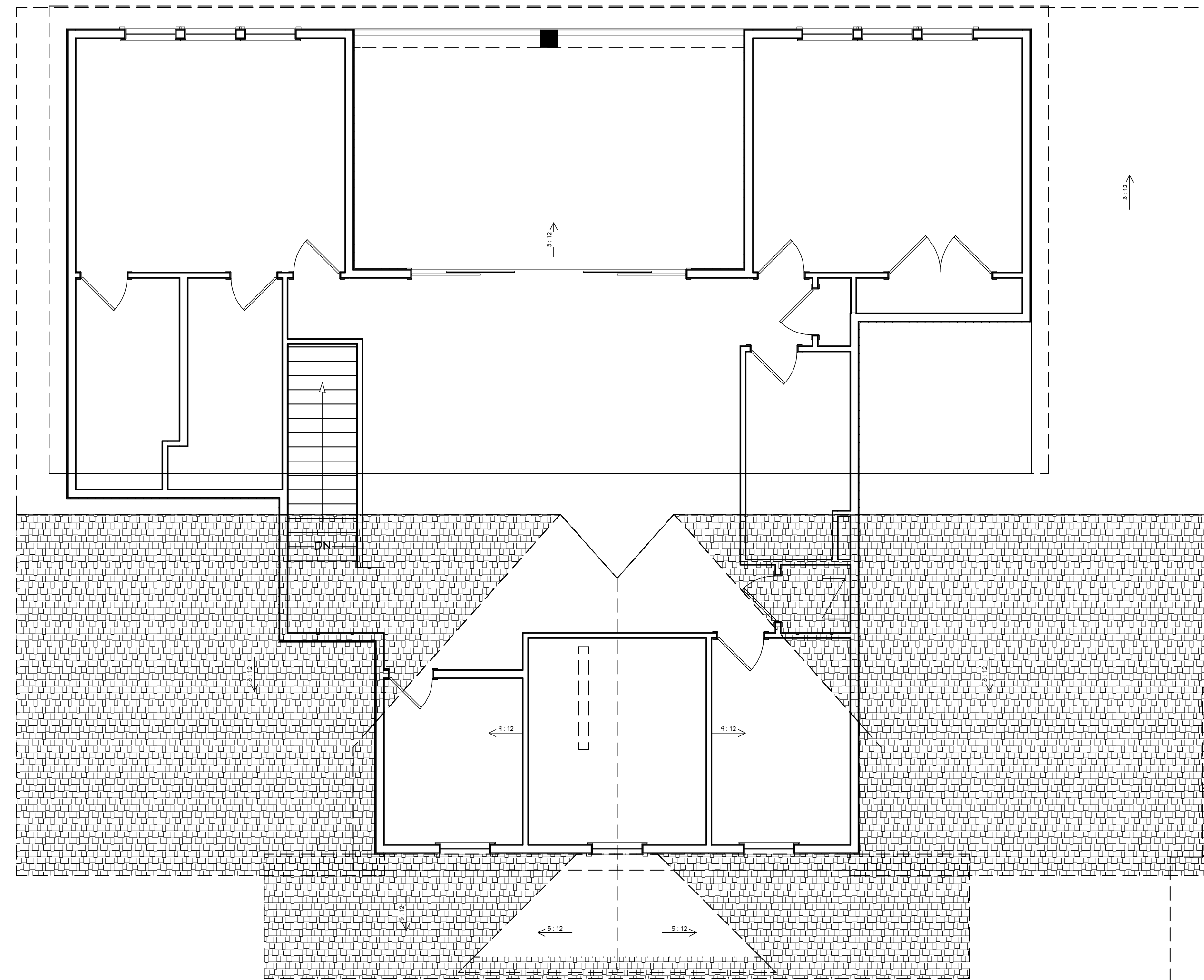
SCALE:

1/4" = 1'-0"

SHEET:

A-8





CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

GARAGE HAS LIGHT STORAGE  
TRUSSES DECKED WITH 3/4" T&  
G OSB WITH AN OVERSIZED  
(25.5"X54") PULL DOWN STAIRS

ROOF NOTES:

PITCH: 3/12, 5/12, 8/12 & 9/12 PER PLAN

UNDERLAYMENT: SYNTHETIC FELT (U.O.N.)

## ROOFING: LIFETIME ARCHITECTURAL SHINGLES

EAVE OVERHANG: 16"

GABLE OVERHANG: 12"

SOFFITS: RACKED ON PITCH-STANDARD WHITE VENTED VINYL

FASCIA: PLUMB CUT WITH 1X2 P.T. DRIP-CPVC COATED ALUMINUM

## CONVENTIONAL & TRUSSED PER PLAN

FLOOR TRUSSES: 20" SYSTEM 42 TYPE

FLOOR DECKING: 3/4" T&G GLUED & SCREWED

## ROOF VENTS: CONTINUOUS RIDGE TYPE

# ROOF TRUSS PLAN

PLAN #  
4020

--	--

MICHAEL J. DARRAGH

DIANE E. DARRAGH

provided by:

DESIGNS *for* LIVING  
RESIDENTIAL DESIGN SINCE 1965  
904-730-7135

FUTURE HOME

**FUTURE HOME OF THE DARRAGH  
FAMILY**  
LOT 1, NATURES HAMMOCK R/E #: 000130-0010  
700 NATURES HAMMOCK ROAD W  
SAINT JOHNS, FL 32259

1

**TRIBUTE HOMES**  
*by Rick Lentz*  
1170 WESTWOOD DRIVE CBC040840  
SAINT JOHNS, FL 322259 904-591-0998

DATE:

1/19/2016

SCALE:

$$16'' = 1'-0''$$

SHEET:

A-9

HATCH LEGEND

10' 1-1/8"

20' 11"

.

.

.

General Notes:

- Per ANSI/TPI 1-2002 all " Truss to Wall" connections are the responsibility of the Building Designer, not the Truss Manufacturer.

- Use Manufacturer's specifications for all hanger connections unless noted otherwise.

- Trusses are to be 24" o.c. U.N.O.

- All hangers are to be Simpson or equivalent U.N.O.

- Use 10d x 1 1/2" Nails in hanger connections to single ply girder trusses.

- Trusses are not designed to support brick U.N.O.

- Dimensions are Feet-Inches Sixteenths

Notes:

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Refer to BCSI-B1 Summary Sheet-Guide for handling, Installing and Bracing of Metal Plate Connected Wood Truss prior to and during truss installation.

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It is the responsibility of the Contractor to make sure the placement of trusses are adjusted for plumbing drops, can lights, ect..., so the trusses do not interfere with these type of items.

All common framed roof or floor systems must be designed as to NOT impose any loads on the floor trusses below. The floor trusses have not been designed to carry any additional loads from above.

This truss placement plan was not created by an engineer, but rather by the Builders FirstSource staff and is solely to be used as an installation guide and does not require a seal. Complete truss engineering and analysis can be found on the truss design drawings which may be sealed by the truss design engineer.

Gable end trusses require continuous bottom chord bearing. Refer to local codes for wall framing requirements.

Although all attempts have been made to do so, trusses may not be designed symmetrically. Please refer to the individual truss drawings and truss placement plans for proper orientation and placement.

Builders FirstSource

Freeport

PHONE: 850-835-4541

FAX: 850-835-4532

Jacksonville

PHONE: 904-772-6100

FAX: 904-772-1973

Tampa

PHONE: 813-621-9831

FAX: 813-628-8956

Builder:

Tribute Homes by Rick Lentz

Legal Address:

Lot 1 Natures Hammock

Model:

Darragh Residence

Date:

8/29/16

Drawn By:

JAS

Original Ref #:

860389

Floor 1 Job #:

875252

Floor 2 Job #:

N/A

Roof Job #:

860389

The drawing is a detailed 2nd floor truss layout plan. It shows a rectangular building footprint with various truss types and sizes indicated by labels and dimensions. Key features include:

- Truss Labels:** T11, T12, T13, T14, T15, T16, T17, T18, T19, T20, T21, T22, T23, T24, T25, T26, T27, T28, T29, T30, T31, T32, T33, T34, T35, T36, T37, T38, T39, T40, T41, T42, T43, T44, T45, T46, T47, T48, T49, T50, T51, T52, T53, T54, T55, T56, T57, T58, T59, T60, T61, T62, T63, T64, T65, T66, T67, T68, T69, T70, T71, T72, T73, T74, T75, T76, T77, T78, T79, T80, T81, T82, T83, T84, T85, T86, T87, T88, T89, T90, T91, T92, T93, T94, T95, T96, T97, T98, T99, T100.
- Dimensions:** Overall dimensions are 68'-01" by 95'-07" (approx. 68' x 95'). Individual truss spacing and lengths are specified throughout the plan.
- Notes:** A large note in the center states: "MITEK PLATE APPROVAL #'S2197.2-2197.4, WEYERHAUSER PRODUCT #'S1630.2-1630.10". Another note at the bottom right says: "Note: Exterior walls held back 1/2" for sheathing".
- Orientation:** The plan is oriented with North at the top.
- Scale:** The scale is 3/16" = 1'-0".

# 2ND FLOOR TRUSS LAYOUT PLAN

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PLAN #  
4020

CLIENT APPROVAL SIGNATURE	DATE
MICHAEL J. DARRAGH	
DIANE E. DARRAGH	

Design Drawings provided by:

DESIGNS FOR LIVING, LLC

RESIDENTIAL DESIGN PARTNERS

904-730-7135

PROJECT DESCRIPTION:  
FUTURE HOME OF THE DARRAGH FAMILY  
LOT 1, NATURES HAMMOCK R/E #.: 000130-0010  
700 NATURES HAMMOCK ROAD W  
SAINT JOHNS, FL 32259

TRIBUTE HOMES

by Rick Lentz

1170 WESTWOOD DRIVE CBC040840  
SAINT JOHNS, FL 322259 904-591-0998

DATE:  
11/19/2016

SCALE:  
3/16" = 1'-0"

SHEET:  
A-10



CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



REAR (WEST) ELEVATION

24" X 24" FIXED GLASS 4-LITE DECORATIVE WINDOW THAT IS BLACKENED ON THE BACKSIDE



FRONT (EAST) ELEVATION



FRONT/REAR ELEVATIONS

EXTERIOR NOTES:  
WALLS: HARDIE LAP SIDING  
RAKED SOFFITS: BUILDER GRADE WHITE VENTED VINYL  
PORCH CEILINGS: 1X6 CLEAR V-GROVE PINE STAINED WITH 3&5/8" PAINTED CLEAR CROWN MOULDING  
FASCIA: 1X6 OVER 2X6 SUB-FASCIA WITH 1X2 PT DRIP COVERED WITH CPVC COATED ALUMINUM  
ROOFING: LIFETIME ARCHITECHURAL FIBERGLASS SHINGLES  
ROOF VENTS: CONTINUOUS RIDGE VENTS  
FOUNDATION: CMU, NATURAL FINISH (U.O.N.)  
CORNER BOARDS: 5.5" STEALTH CORNER BY VERSATEC  
STEPS: BRICK (U.O.N.)  
WALKS & DRIVES: CONCRETE (U.O.N.)  
COLUMNS: SQUARE COMPOSITE  
RAILINGS: PAINTED ALUMINUM  
WINDOWS: EAGLEVIEW WHITE VINYL, LOW-E WITH APPLIED MUTTONS (U.O.N.)

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PLAN #  
4020

CLIENT APPROVAL SIGNATURE DATE

MICHAEL J. DARRAGH

DJANE E. DARRAGH

Design Drawings  
provided by:

DESIGNS FOR LIVING, LLC  
RESIDENTIAL DESIGN PARTNERS

904-730-7135

PROJECT DESCRIPTION:

FUTURE HOME OF THE DARRAGH  
FAMILY

LOT 1, NATURES HAMMOCK R/E #1: 000130-0010  
700 NATURES HAMMOCK ROAD W  
SAINT JOHNS, FL 32259

BUILT BY:

TRIBUTE HOMES  
by Rick Lenz

1170 WESTWOOD DRIVE CBC040840  
SAINT JOHNS, FL 32229 904-591-0998

DATE:

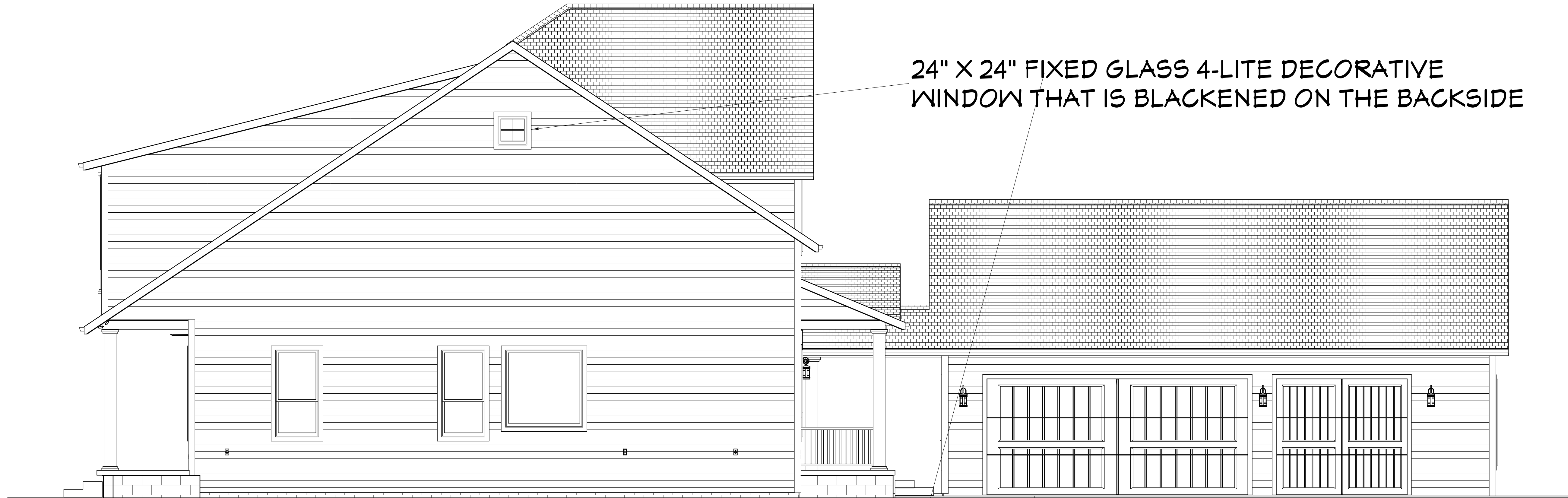
11/19/2016

SCALE:

1/4" = 1'-0"

SHEET:

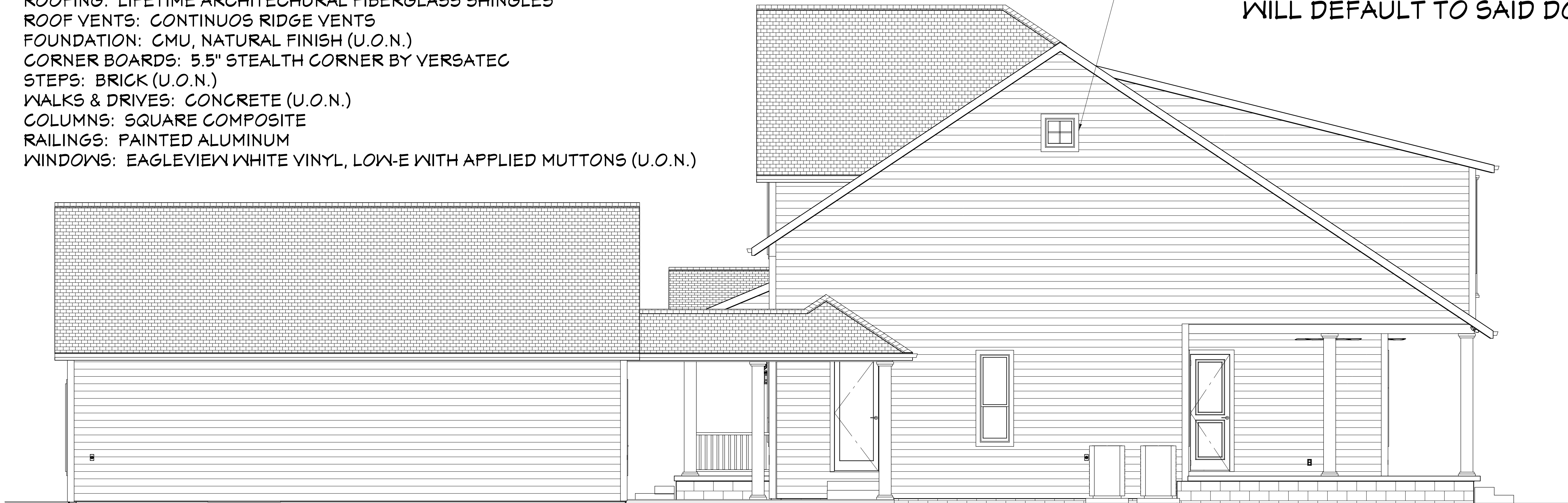
A-11



LEFT (SOUTH) ELEVATION

EXTERIOR NOTES:  
WALLS: HARDIE LAP SIDING  
RAKED SOFFITS: BUILDER GRADE WHITE VENTED VINYL  
PORCH CEILINGS: 1X6 CLEAR V-GROVE PINE STAINED WITH 3&5/8" PAINTED CLEAR CROWN MOULDING  
FASCIA: 1X6 OVER 2X6 SUB-FASCIA WITH 1X2 PT DRIP COVERED WITH CPVC COATED ALUMINUM  
ROOFING: LIFETIME ARCHITECHURAL FIBERGLASS SHINGLES  
ROOF VENTS: CONTINUOS RIDGE VENTS  
FOUNDATION: CMU, NATURAL FINISH (U.O.N.)  
CORNER BOARDS: 5.5" STEALTH CORNER BY VERSATEC  
STEPS: BRICK (U.O.N.)  
WALKS & DRIVES: CONCRETE (U.O.N.)  
COLUMNS: SQUARE COMPOSITE  
RAILINGS: PAINTED ALUMINUM  
WINDOWS: EAGLEVIEW WHITE VINYL, LOW-E WITH APPLIED MUTTONS (U.O.N.)

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



RIGHT (NORTH) ELEVATION

SIDE ELEVATIONS

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PLAN #  
4020

CLIENT APPROVAL SIGNATURE	DATE
MICHAEL J. DARRAGH	
DJANE E. DARRAGH	

Design Drawings  
provided by:



904-730-7135

PROJECT DESCRIPTION:  
FUTURE HOME OF THE DARRAGH FAMILY  
LOT 1, NATURES HAMMOCK R/E #: 000130-0010  
700 NATURES HAMMOCK ROAD W  
SAINT JOHNS, FL 32259

BUILT BY:  
  
1170 WESTWOOD DRIVE CBC040840  
SAINT JOHNS, FL 32229 904-591-0998

DATE:
11/19/2016
SCALE:
1/4" = 1'-0"
SHEET:
A-12

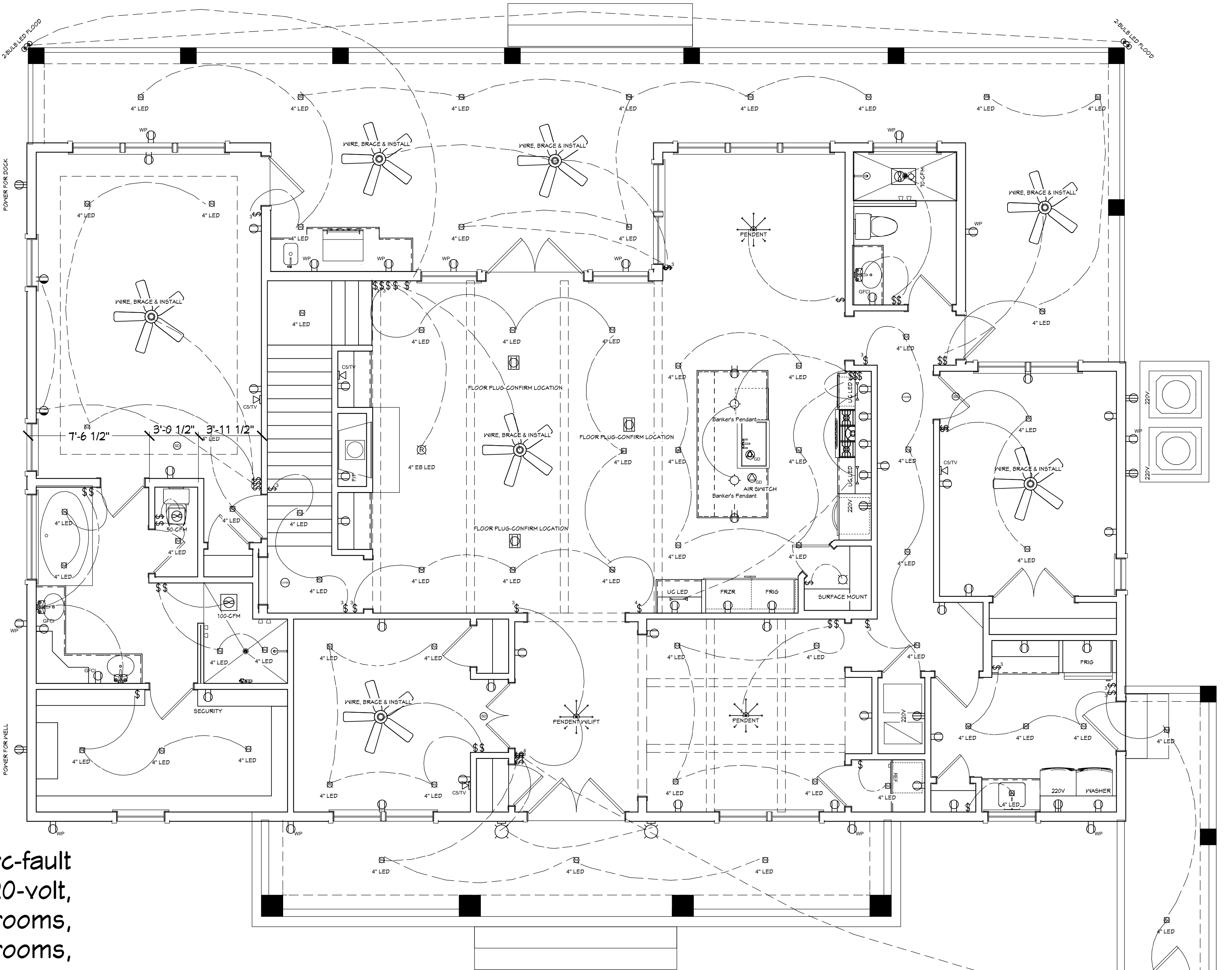


ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

PER FBC-R-E3902.12 AFCI PROTECTION REQUIRED Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed AFCI, combination type.

EFFICACY NOTE: THE NEW FBC-R FBC EC R404.1 & R202 BUILDING CODE REQUIRES ALL INSIDE & OUTSIDE LIGHT FIXTURES WILL USE CFL OR LED LIGHT BULBS.

PER FBC-R-E3901.7, NEC 210, E3901.7 & E3902.3 GFCI PROTECTION REQUIRED Bathrooms, garages, boathouses & accessory structures not intended as habitable rooms and limited to storage, work & similar uses. Outdoors, crawl spaces, unfinished basements, kitchen countertops. Outlets within 6 feet of laundry, utility or wet sinks. Balcony, deck or porch greater than 20 s.f. One at the front and back of the dwelling and at the condenser units.



HOME TO BE PIPED FOR LP GAS AS FOLLOWS:  
RANGETOP, GRILL STUB, FIRE PIT, LOG LIGHTERS &  
DRYER-CONFIRM ALL WITH OWNER. ALSO, THERE WILL  
BE A BURIED L.P. GAS TANK 250-300 GALLON-CONFIRM

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS  
TAKE PRECEDENCE OVER THESE DRAWINGS. ANY  
CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

# 1ST FLOOR ELECTRICAL PLAN

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PLAN #  
4020

CLIENT APPROVAL SIGNATURE	DATE
MICHAEL J. DARRAGH	
DIANE E. DARRAGH	

Design Drawings  
provided by:

DESIGNS FOR LIVING, LLC  
RESIDENTIAL DESIGN BUILT 1989  
904-730-7135

PROJECT DESCRIPTION:  
FUTURE HOME OF THE DARRAGH  
FAMILY  
LOT 1, NATURES HAMMOCK R/E #1: 000130-0010  
700 NATURES HAMMOCK ROAD W  
SAINT JOHNS, FL 32259

BUILT BY:  
  
1170 WESTWOOD DRIVE CBC040840  
SAINT JOHNS, FL 32229 904-591-0998

DATE:
11/19/2016
SCALE:
1/4" = 1'-0"
SHEET:
A-13



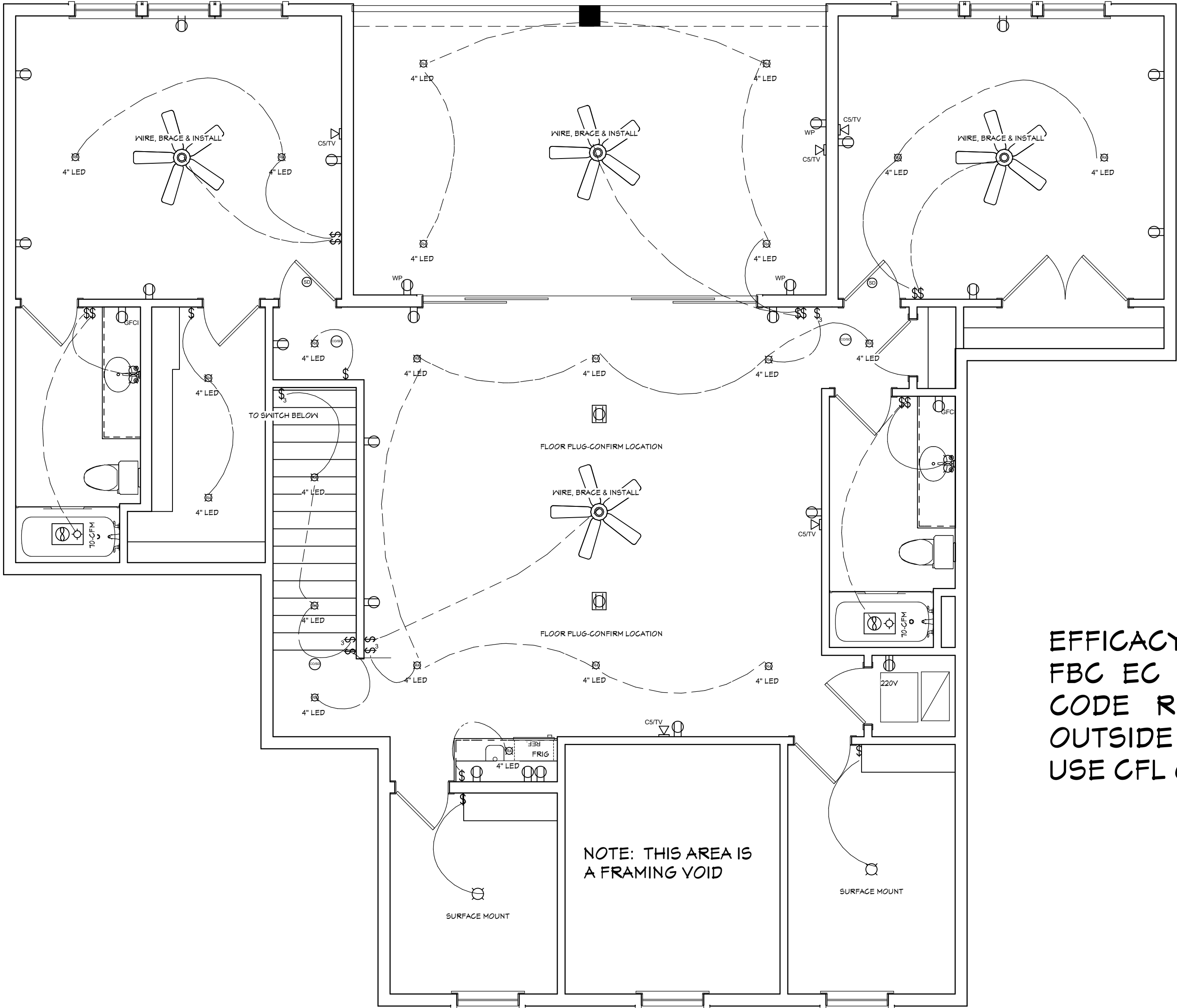


PER FBC-R-E3902.12 AFCI PROTECTION REQUIRED Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed AFCI, combination type.

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

PER FBC-R-E3901.7, NEC 210, E3901.7 & E3902.3 GFCI PROTECTION REQUIRED Bathrooms, garages, boathouses & accessory structures not intended as habitable rooms and limited to storage, work & similar uses. Outdoors, crawl spaces, unfinished basements, kitchen countertops. Outlets within 6 feet of laundry, utility or wet sinks. Balcony, deck or porch greater than 20 s.f. One at the front and back of the dwelling and at the condenser units.

HOME TO BE PIPED FOR LP GAS AS FOLLOWS:  
RANGETOP, GRILL STUB, FIRE PIT, LOG LIGHTERS &  
DRYER-CONFIRM ALL WITH OWNER. ALSO, THERE WILL  
BE A BURIED L.P. GAS TANK 250-300 GALLON-CONFIRM



EFFICACY NOTE: THE NEW FBC-R FBC EC R404.1 & R202 BUILDING CODE REQUIRES ALL INSIDE & OUTSIDE LIGHT FIXTURES WILL USE CFL OR LED LIGHT BULBS.

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

## 2ND FLOOR ELECTRICAL PLAN

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PLAN #  
4020

CLIENT APPROVAL SIGNATURE	DATE
MICHAEL J. DARRAGH	
DIANE E. DARRAGH	

Design Drawings  
provided by:

**DESIGNS FOR LIVING, LLC**  
RESIDENTIAL DESIGN BUILT 1989

904-730-7135

PROJECT DESCRIPTION:  
FUTURE HOME OF THE DARRAGH FAMILY  
LOT 1, NATURES HAMMOCK R/E #1: 000130-0010  
700 NATURES HAMMOCK ROAD W  
SAINT JOHNS, FL 32259

BUILT BY:  
**TRIBUTE HOMES**  
by Rick Lenz  
1170 WESTWOOD DRIVE CBC040840  
SAINT JOHNS, FL 32229 904-591-0998

DATE:

11/19/2016

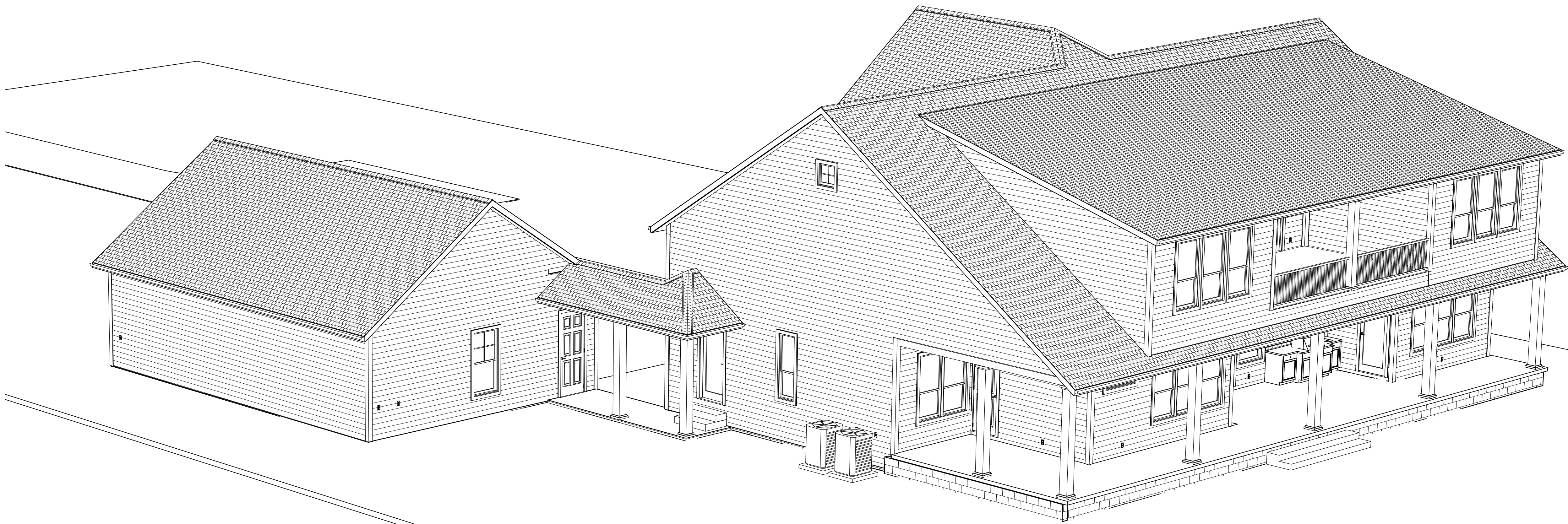
SCALE:

1/4" = 1'-0"

SHEET:

A-15





EXTERIOR NOTES:  
WALLS: HARDIE LAP SIDING  
RAKED SOFFITS: BUILDER GRADE WHITE VENTED VINYL  
PORCH CEILINGS: 1X6 CLEAR V-GROVE PINE STAINED WITH 3&5/8" PAINTED  
CLEAR CROWN MOULDING  
FASCIA: 1X6 OVER 2X6 SUB-FASCIA WITH 1X2 PT DRIP COVERED WITH CPVC  
COATED ALUMINUM  
ROOFING: LIFETIME ARCHITECHURAL FIBERGLASS SHINGLES  
ROOF VENTS: CONTINUOS RIDGE VENTS  
FOUNDATION: CMU, NATURAL FINISH (U.O.N.)  
CORNER BOARDS: 5.5" STEALTH CORNER BY VERSATEC  
STEPS: BRICK (U.O.N.)  
WALKS & DRIVES: CONCRETE (U.O.N.)  
COLUMNS: SQUARE COMPOSITE  
RAILINGS: PAINTED ALUMINUM  
WINDOWS: EAGLEVIEW WHITE VINYL, LOW-E WITH APPLIED MUTTONS (U.O.N.)

CONTRACT NOTE: CONTRACT AND  
SPECIFICATIONS TAKE PRECEDENCE  
OVER THESE DRAWINGS. ANY CONFLICT  
WILL DEFAULT TO SAID DOCUMENTS.

# ISOMETRIC VIEWS

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PLAN #  
4020

CLIENT APPROVAL SIGNATURE DATE

MICHAEL J. DARRAGH

DIANE E. DARRAGH

Design Drawings  
provided by:

DESIGNS FOR LIVING, LLC  
RESIDENTIAL DESIGN PARTNERS

904-730-7135

PROJECT DESCRIPTION:

FUTURE HOME OF THE DARRAGH  
FAMILY

LOT 1, NATURES HAMMOCK R/E #: 000130-0010  
700 NATURES HAMMOCK ROAD W  
SAINT JOHNS, FL 32259

BUILT BY:

TRIBUTE HOMES  
by Rick Lenz

1170 WESTWOOD DRIVE CBC040840  
SAINT JOHNS, FL 322259 904-591-0998

DATE:

11/19/2016

SCALE:

N.T.S.

SHEET:

A-16