

"MADDIE'S PLACE" ON PUMPKIN HILL CREEK

ENGINEERING PLAN: 7/26/2017



15696 W SHARK ROAD
JACKSONVILLE, FL 32226

R/E #: 159675-0010

BUILT BY:

OWNER-BUILDER: JARRETT FRANKLIN
4 TALLWOOD ROAD
JACKSONVILLE BEACH, FL 32250
(904) 420-8381

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904-420-8381

PROJECT DESCRIPTION:

MADDIE'S PLACE
15696 W. SHARK ROAD
JACKSONVILLE, FL 32226
R/E #: 159675-0010

Design Drawings
provided by:

DESIGNS FOR LIVING, LLC
ARCHITECTURAL DRAWINGS SINCE 1989
904-730-7135

DATE:

7/26/2017

SCALE:

N.T.S

SHEET:

A-1

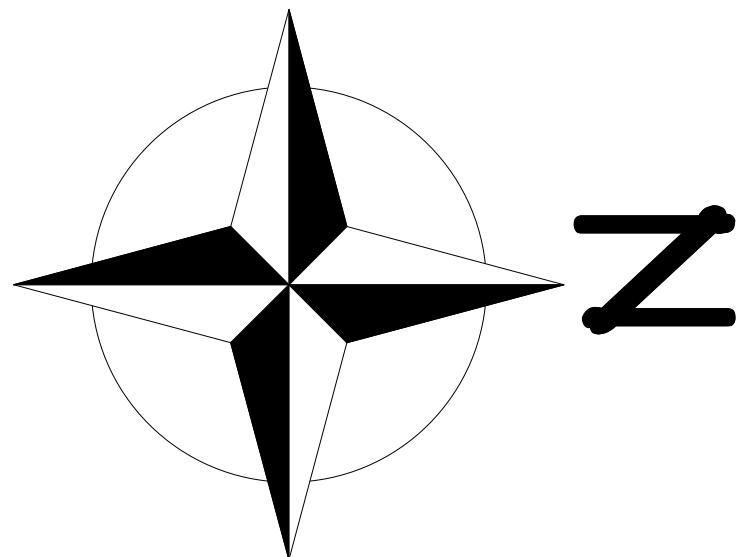
PLAN #
1248

CLIENT APPROVAL SIGNATURE	DATE
JARRETT FRANKLIN	
JULIE N. FRANKLIN	

SITE LOCATION



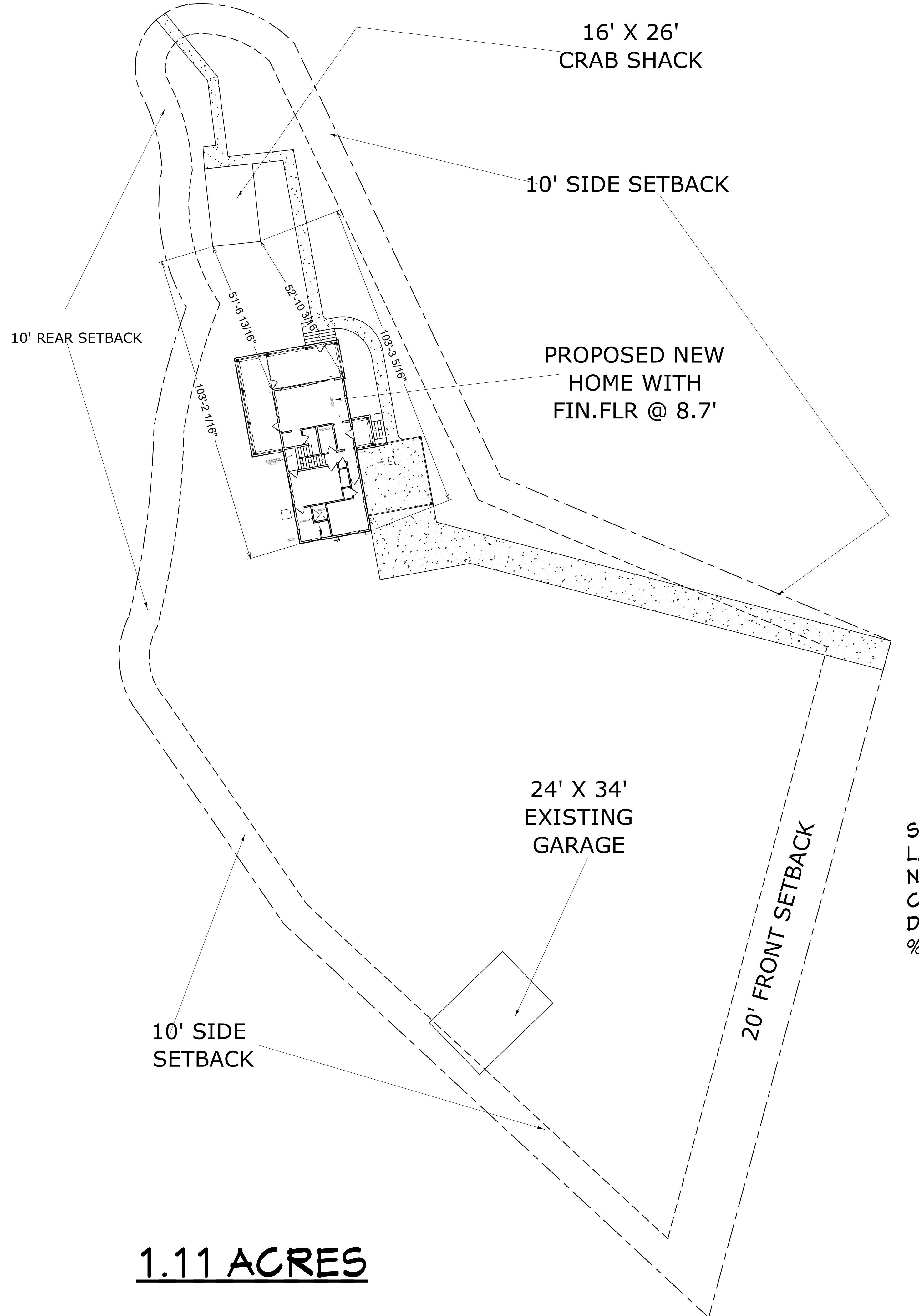
**CLOSEST INTERSECTION:
FOUNDER ROAD**



WATER: EXISTING WELL
SEWER: NEW PRIVATE SEPTIC SYSTEM
ELECTRIC: J.E.A.

15696 W SHARK ROAD

1.11 ACRES



ZONING: RR-RURAL RESIDENTIAL
FRONT SETBACK: 25'
SIDES: 10'
REAR: 10'
MIN. LOT SIZE: 1 ACRE
MAX. BUILDING HEIGHT: 35'
MAX. LOT COVERAGE: 25%

WIND DESIGN CRITERIA:
WIND SPEED: 130 MPH
EXPOSURE CATEGORY: "D"
BUILDING TYPE: ENCLOSED
BUILDING CATEGORY: II
IMPORTANCE FACTOR: 1.0
TOPOGRAPHY: FLAT
MEAN ROOF HEIGHT: -25 FT
BUILDING CODE: CURRENT

SITE CALCULATIONS:
LAND AREA: 1.11 ACRES = 48,351.604 S.F.
NEW HOME COVERAGE: 1,248.00 S.F.
CRAB SHACK COVERAGE: 416 S.F.
DETACHED GARAGE COVERAGE: 816 S.F.
% OF BUILDING COVERAGE: 5.13%

FLOOD ZONE: "AE-7"
FIRM PANEL: 0090H

SITE PLAN

**PLAN #
1248**

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JULIE N. FRANKLIN	

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Design Drawings provided by:	DESIGNS FOR LIVING, LLC RECREATIONAL, DREAMS & DESIGN 904-730-7135
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DATE:	7/26/2017
SCALE:	1' = 20'-0"
SHEET:	A-2

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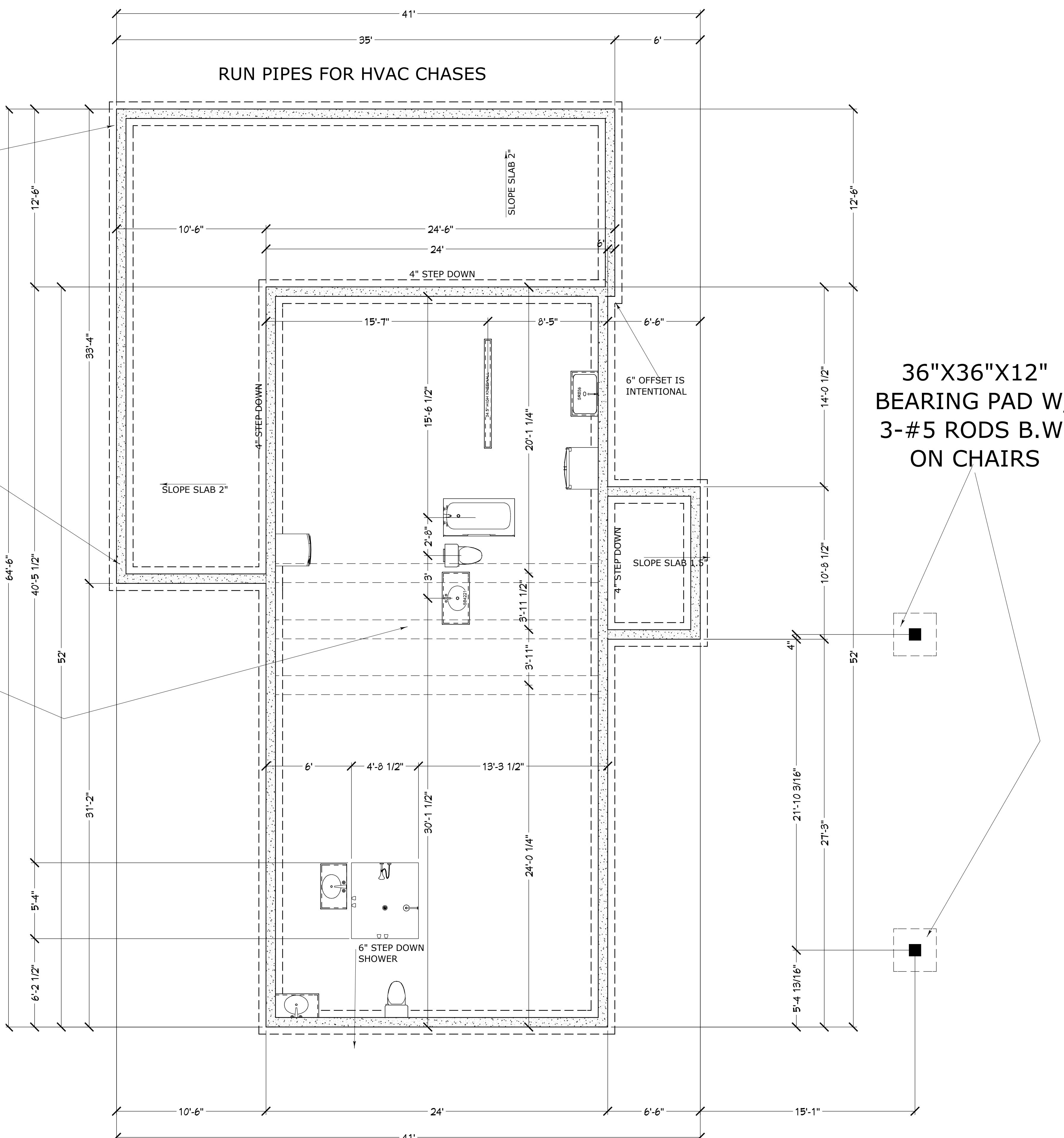
NOTE: PORCH SLABS ARE 6" LARGER THAN THE FRAMING AND ARE MONOLITHIC CAPPED WITH 1.5" OVERHANG PAST THE FACE OF THE CMU

INTERIOR BEARINGS ARE 16" X 8" W/2-#5 RODS CONTINUOUS ON CHAIRS 72" O.C. MAXIMUM. SEE STRUCTURAL ENGINEERING PLANS

INSTALL CHASES FOR ISLANDS AND FLOOR PLUGS AS REQUIRED

5-CMU SPLIT FACE BLOCK NATURAL FINISH ON 20" X 10" CONTINUOUS FOOTERS W/2-#5 REBAR ON CHAIRS @ 72" O.C. MAX

4" CONCRETE SLAB OVER TREATED AND COMPACTED FILL REINFORCED WITH FIBERMIX @ .75 LB/CYD OF CONCRETE OR WELDED WIRE MESH ON 5-CMU SPLIT FACE FOUNDATION



FOUNDATION PLAN

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JULIE N. FRANKLIN

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R/E #: 159675-0010

Design Drawings provided by:

DESIGNS LIVING, LLC
ARCHITECTURAL DRAWINGS SINCE 1999
904-730-7135

DATE:

7/26/2017

SCALE:

1/4" = 1'-0"

SHEET:

A-3

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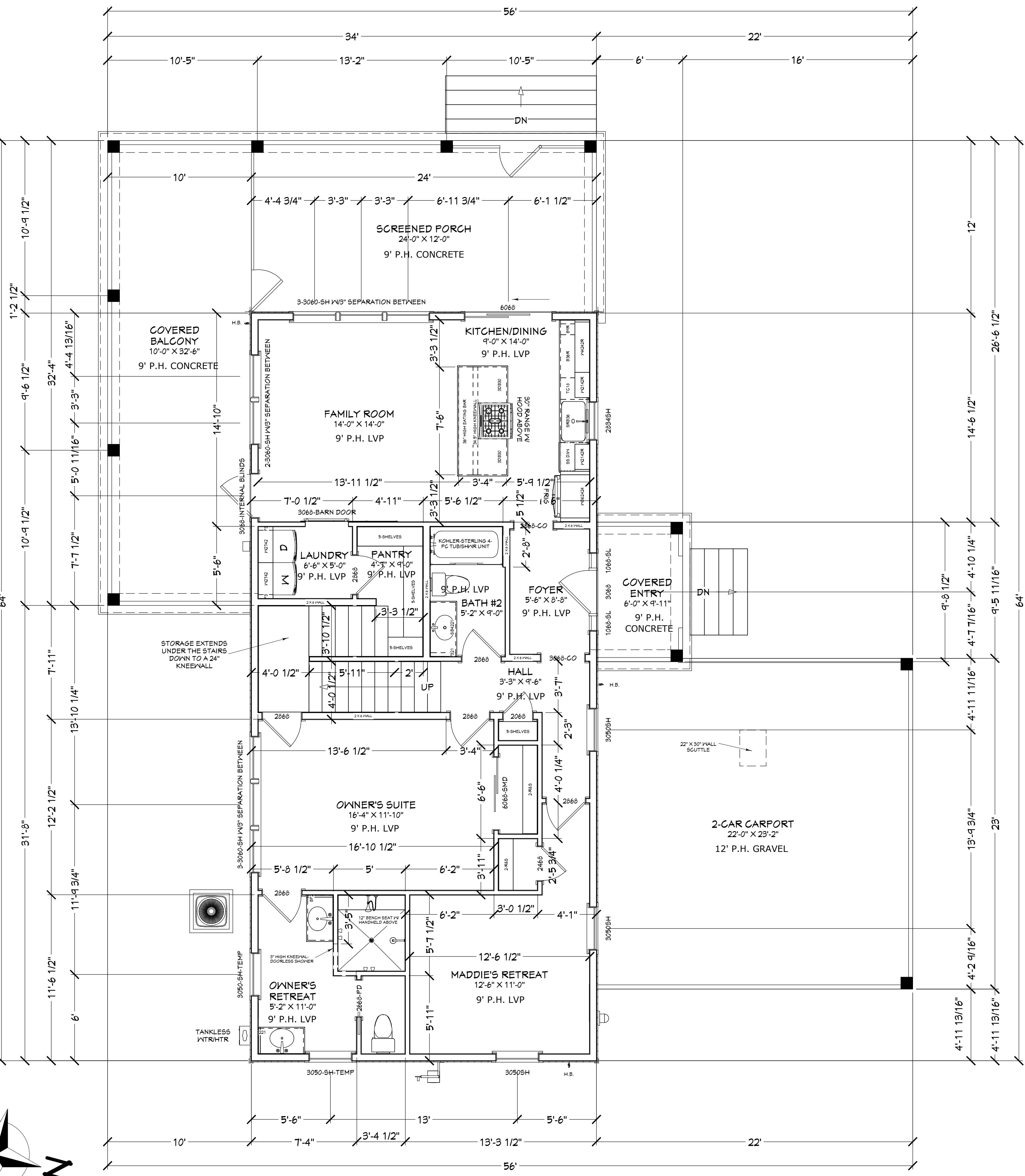
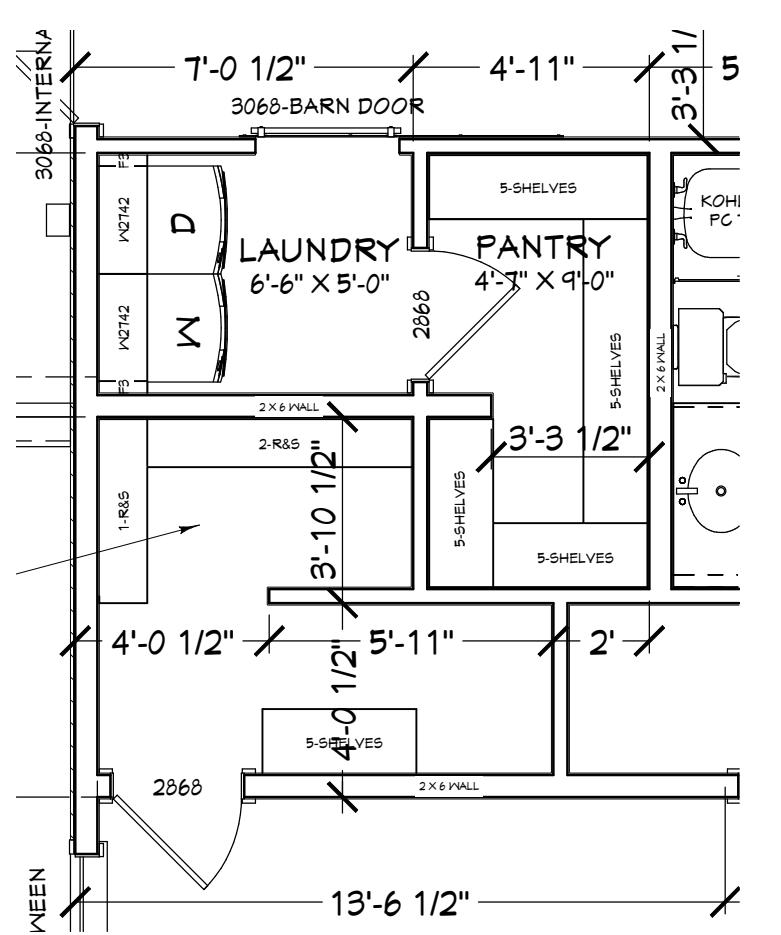


PLATE HEIGHT IS 9' - 1 & 1/8" A.F.F. WITH ALL EXTERIOR WALLS TO BE 2X6 #2SPF @ 16" O.C.



UNDER STAIR AREA

INSULATION NOTES:

- WALLS: OPEN CELL FOAM 5.5"
- ATTIC INSULATION: OPEN CELL FOAM 5.5"
- KNEEWALLS: OPEN CELL FOAM 5.5"
- RAISED FLOOR: OPEN CELL FOAM 5.5"

FOOTAGES (A.N.S.I.):

SCREENED PORCH:	288.00
HEATED:	1,248.00
ATTIC STORAGE:	732.59
COVERED ENTRY:	97.08
COVERED BALCONY:	323.33
CARPORT:	504.59
SLAB EXTENSIONS:	56.50
SLAB AREA:	2,035.51
UNDER ROOF:	3,154.76

FLOOR PLAN

PROJECT DESCRIPTION:	MADDIE'S PLACE 1569 W. SHARK ROAD JACKSONVILLE, FL 32226 R/E #: 159675-0010
Design Drawings provided by:	DESIGNS FOR LIVING, LLC RECREATIONAL, DRAFTING & DESIGN 904-730-2135
DATE:	7/26/2017
SCALE:	1/4" = 1'-0"
SHEET:	A-4

SECTION R310

EMERGENCY ESCAPE AND RESCUE OPENINGS

R310.1 Emergency escape and rescue required. Basements, habitable attics and every sleeping room shall have at least one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, emergency egress and rescue openings shall be required in each sleeping room. Where emergency escape and rescue openings are provided they shall have a sill height of not more than 44 inches (1118 mm) above the floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with Section R310.3. The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. Emergency escape and rescue openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with Section R310.2. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.

Exceptions:

1. Basements used only to house mechanical equipment and not exceeding total floor area of 200 square feet (18.58 m²).
2. The emergency escape and rescue opening shall be permitted to open into a screen enclosure, open to the atmosphere, where a screen door is provided leading away from the residence.

R310.1.1 Minimum opening area.

All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m²).

Exception:

Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465 m²).

R310.1.2 Minimum opening height.

The minimum net clear opening height shall be 24 inches (610 mm).

R310.1.3 Minimum opening width.

The minimum net clear opening width shall be 20 inches (508 mm).

R310.1.4 Operational constraints.

Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys, tools or special knowledge.

R302.11 Fireblocking.

In combustible construction, fireblocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space.

Fireblocking shall be provided in wood-frame construction in the following locations:

1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:
 - 1.1. Vertically at the ceiling and floor levels.
 - 1.2. Horizontally at intervals not exceeding 10 feet (3048 mm).
 2. At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
 3. In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7.
 4. At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion.
- The material filling this annular space shall not be required to meet the ASTM E 136 requirements.
5. For the fireblocking of chimneys and fireplaces, see Section R1003.19.
 6. Fireblocking of cornices of a two-family dwelling is required at the line of dwelling unit separation.

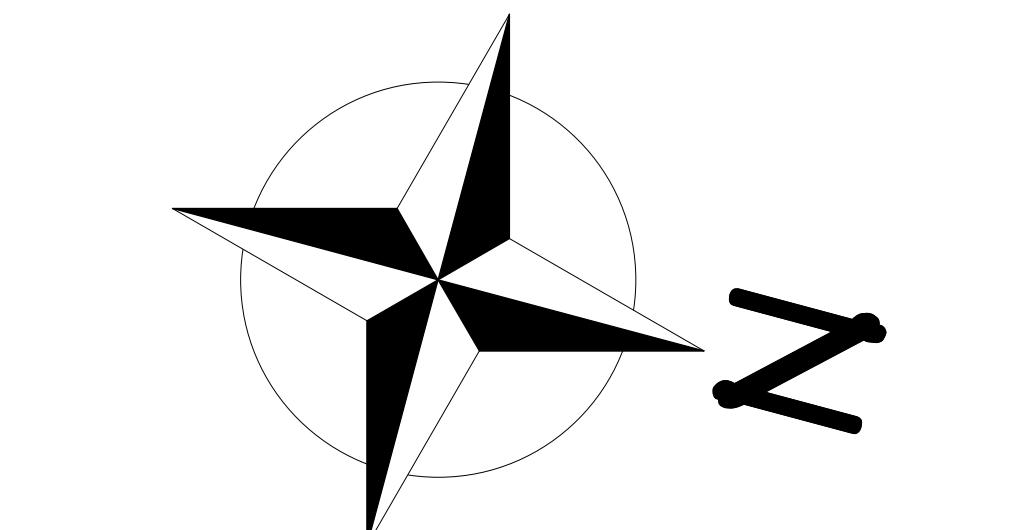
R302.12 Draftstopping. In combustible construction where there is usable space both above and below the concealed space of a floor/ceiling assembly, draftstops shall be installed so that the area of the concealed space does not exceed 1,000 square feet (92.9 m²). Draftstopping shall divide the concealed space into approximately equal areas. Where the assembly is enclosed by a floor membrane above and a ceiling membrane below, draftstopping shall be provided in floor/ceiling assemblies under the following circumstances:

1. Ceiling is suspended under the floor framing.
2. Floor framing is constructed of truss-type open-web or perforated members.

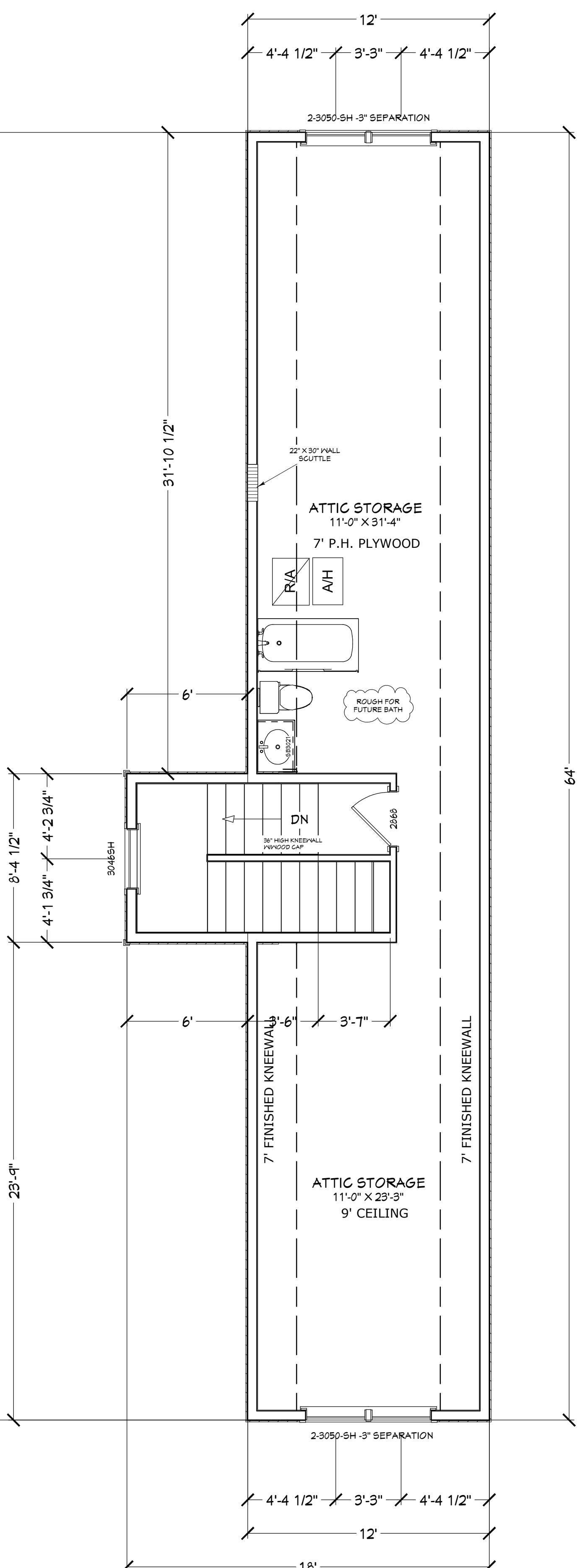
R302.12.1 Materials. Draftstopping materials shall not be less than 1/2-inch (12.7 mm) gypsum board, 3/8-inch (9.5 mm) wood structural panels or other approved materials adequately supported. Draftstopping shall be installed parallel to the floor framing members unless otherwise approved by the building official. The integrity of the draftstops shall be maintained

UPPER AREA BUILT WITH
ATTIC FRAME TRUSSES
USING 2X12 BOTTOM CHORDS
DECKED WITH 3/4" T&G
DECKING GLUED & SCREWED

IMPORTANT NOTE: THIS UPSTAIRS
AREA AND THE ASSOCIATED
STAIRWELL IS TOTALLY UNFINISHED-
NO DRYWALL, TRIM, FLOORING, ETC.



HYDRAULIC UNIT LOCATED HERE
CONTROLS THE ENTIRE HOME
AND IS A TWO ZONE SYSTEM



ATTIC STORAGE PLAN
A-5

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PLAN #
1248

CLIENT APPROVAL SIGNATURE	DATE
JARRETT FRANKLIN	
JULIE N. FRANKLIN	

BUILT BY:	OWNER-BUILDER JARRETT FRANKLIN 4 TALLWOOD ROAD JACKSONVILLE BEACH, FL 32250 904-420-8381
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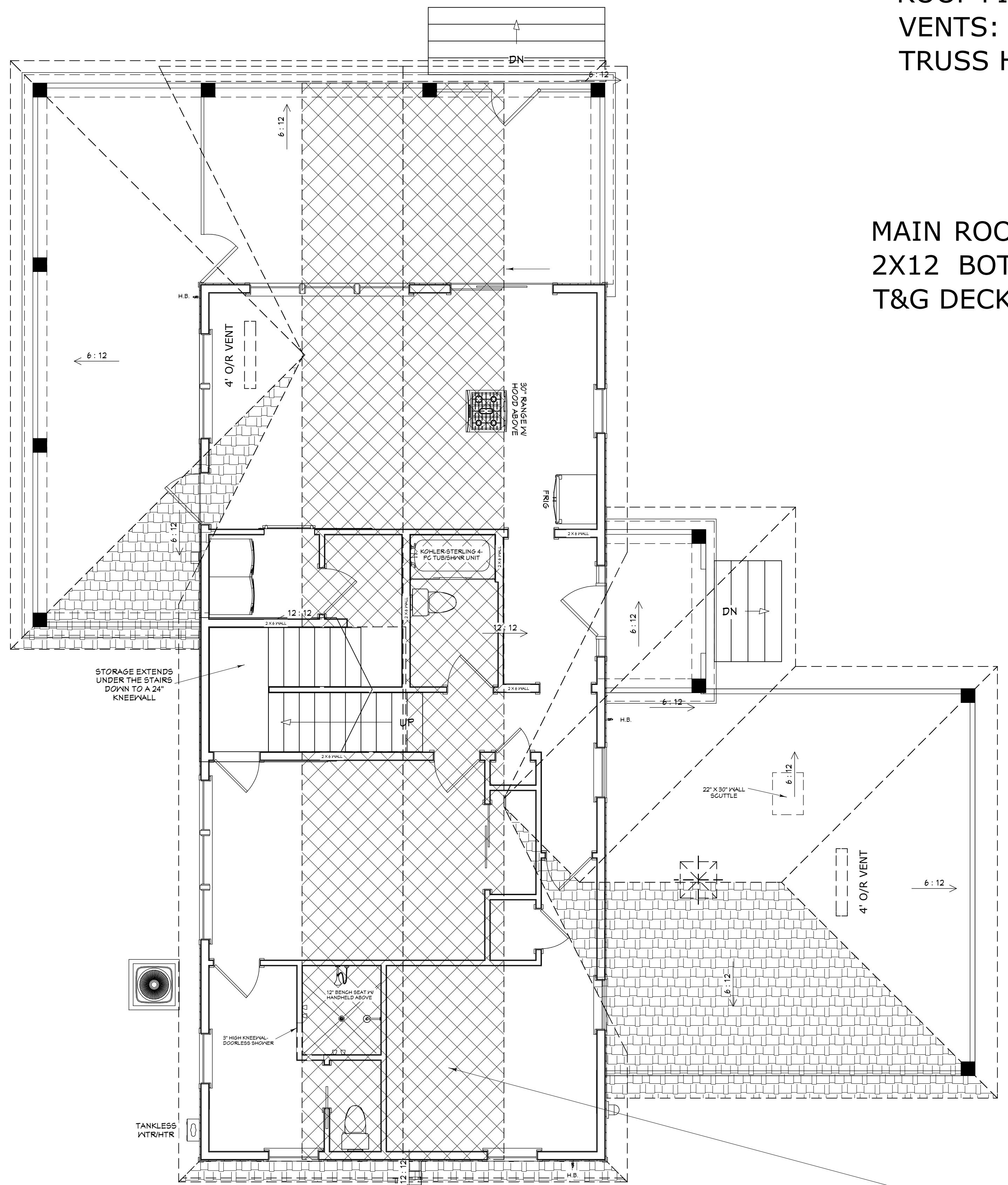
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Design Drawings provided by:	DESIGNS FOR LIVING, LLC ARCHITECTURAL DRAWINGS SINCE 1989 904-730-7135
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DATE:	7/26/2017
SCALE:	1/4" = 1'-0"
SHEET:	A-5

INSULATION NOTES:

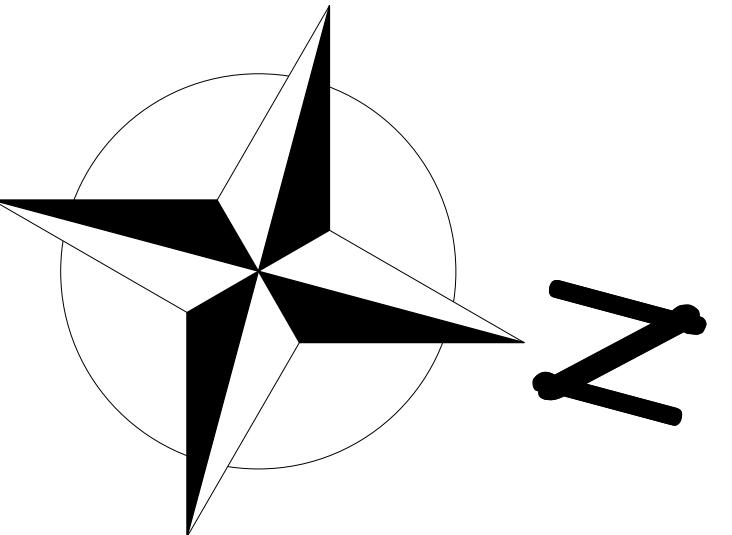
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3. KNEEWALLS: OPEN CELL FOAM 5.5"
4. RAISED FLOOR: OPEN CELL FOAM 5.5"



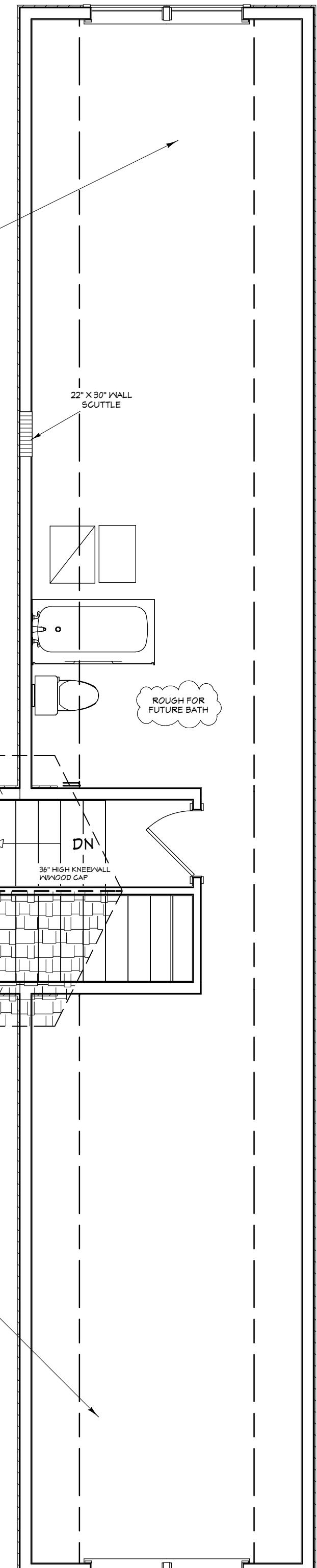
ROOF NOTES:

FASCIA: PLUMB CUT
 EAVE OVERHANG: 16"
 GABLE OVERHANG: 12"
 FASCIA: OPEN RAFTERS
 SOFFITS: OPEN SOFFITS
 ROOFING: STANDING SEAM METAL ROOF
 ROOF PITCH: 6/12 & 12/12
 VENTS: N/A DUE TO FOAM INSULATION
 TRUSS HEELS: AS NOTED

MAIN ROOF IS ATTIC FRAME TRUSSES WITH
 2X12 BOTTOM CHORD DECKED WITH 3/4"
 T&G DECKING GLUED & SCREWED



CROSS HATCH SHADING
 DENOTES 2ND FLOOR ABOVE



TRUSS PLAN

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SCALE:

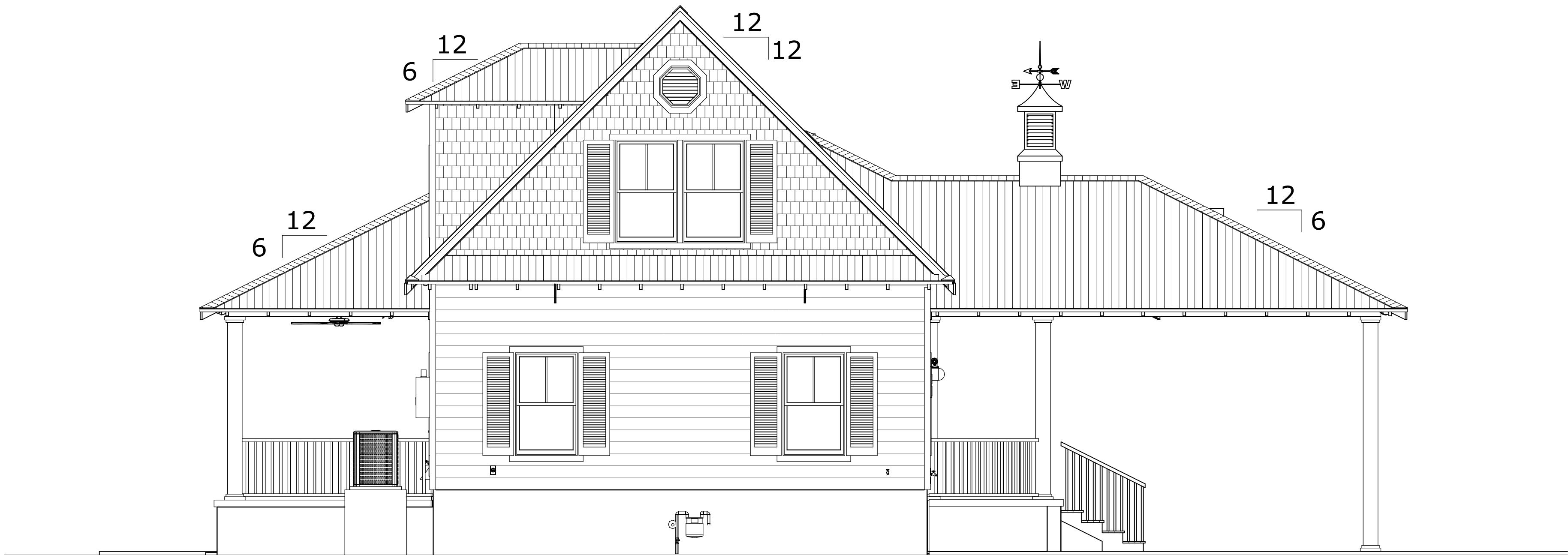
1/4" = 1'-0"

SHEET:

A-6

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4. RAISED FLOOR: OPEN CELL FOAM 5.5"



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FRONT (EAST) ELEVATION

EXTERIOR NOTES:

EXTERIOR TO BE HARDI-LAP W/HARDI SHAKE ACCENTS

SOFFITS: OPEN

FASCIA: EXPOSED RAFTER TAILS

ROOFING: STANDING SEAM METAL ROOF

FOUNDATION: 5-CMU SPLIT FACE NATURAL FINISH

CORNER BOARDS: STEALTH ONE PIECE

COMPOSITE CORNERS

SHUTTERS: 18" LOUVERED VINYL

VENT: DEVORATIVE 24" OCTAGON



REAR (WEST) ELEVATION

FRONT/REAR ELEVATIONS

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SCALE:
1/4" = 1'-0"

SHEET:
A-7

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3. KNEEWALLS: OPEN CELL FOAM 5.5"
4. RAISED FLOOR: OPEN CELL FOAM 5.5"



RIGHT (NORTH) ELEVATION

EXTERIOR NOTES:

- EXTERIOR TO BE HARDI-LAP W/HARDI SHAKE ACCENTS
- SOFFITS: OPEN
- FASCIA: EXPOSED RAFTER TAILS
- ROOFING: STANDING SEAM METAL ROOF
- FOUNDATION: 5-CMU SPLIT FACE NATURAL FINISH
- CORNER BOARDS: STEALTH ONE PIECE
- COMPOSITE CORNERS
- SHUTTERS: 18" LOUVERED VINYL
- VENT: DECORATIVE 24" OCTAGON



LEFT (SOUTH) ELEVATION

SIDE ELEVATIONS

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CLIENT APPROVAL SIGNATURE	DATE
JARRETT FRANKLIN	
JULIE N. FRANKLIN	

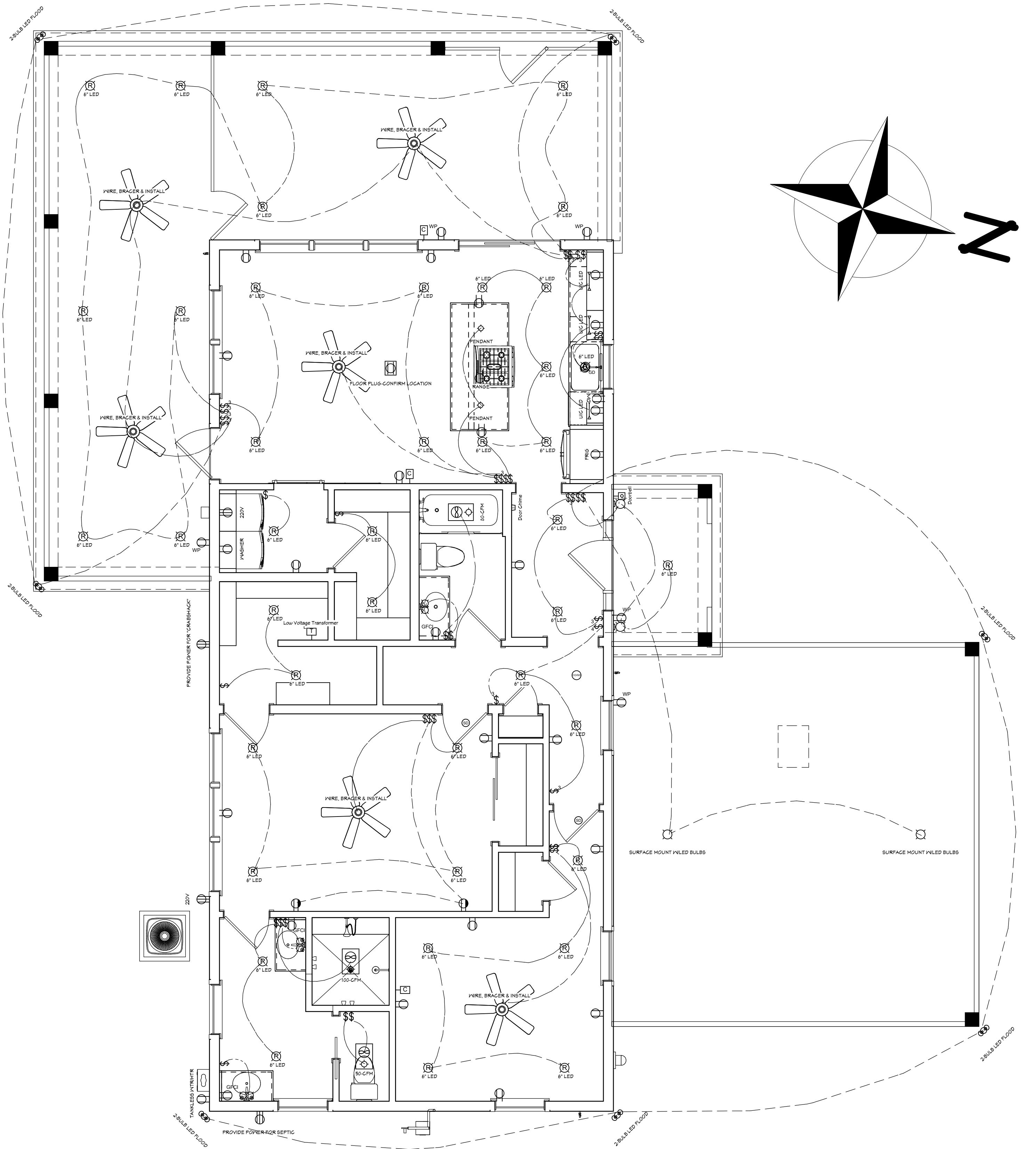
BUILT BY:	OWNER-BUILDER JARRETT FRANKLIN
	4 TALLWOOD ROAD JACKSONVILLE BEACH, FL 32250 904-420-8381

PROJECT DESCRIPTION:	MADDIE'S PLACE 15696 W. SHARK ROAD JACKSONVILLE, FL 32226 R/E #: 159675-0010
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Design Drawings provided by:	DESIGNS FOR LIVING, LLC ARCHITECTURAL DRAWINGS SINCE 1989 904-730-2135
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DATE:	7/26/2017
SCALE:	1/4" = 1'-0"
SHEET:	A-8

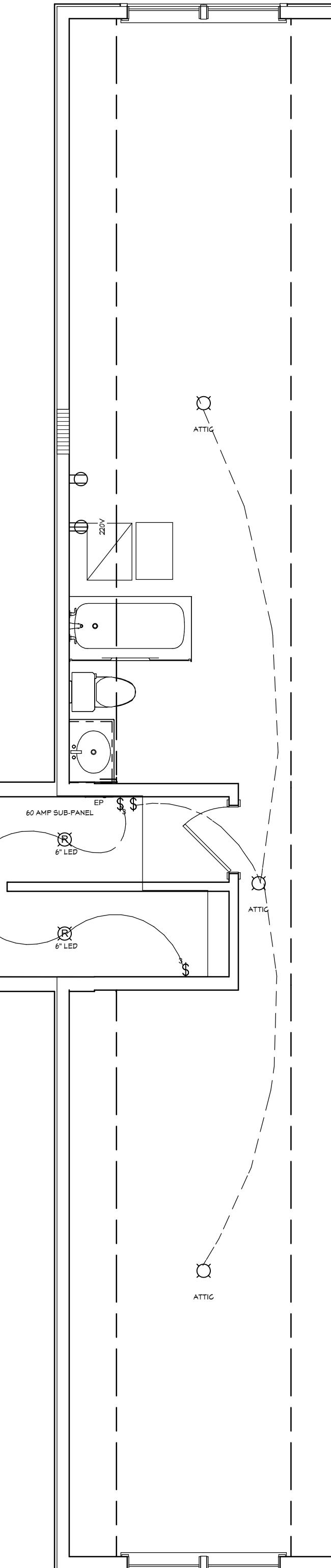
PER FBC-R-E3901.7, NEC 210, E3901.7 & E3902.3 GFCI PROTECTION REQUIRED Bathrooms, garages, boathouses & accessory structures not intended as habitable rooms and limited to storage, work & similar uses. Outdoors, crawl spaces, unfinished basements, kitchen countertops. Outlets within 6 feet of laundry, utility or wet sinks. Balcony, deck or porch greater than 20 s.f. One at the front and back of the dwelling and at the condenser units.



PER FBC-R-E3902.12 AFCI PROTECTION REQUIRED Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed AFCI, combination type.

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

EFFICACY NOTE: THE BUILDING CODE REQUIRES ALL INSIDE & OUTSIDE LIGHT FIXTURES WILL USE CFL OR LED LIGHT BULBS.



PLAN #
1248

CLIENT APPROVAL SIGNATURE	DATE
JARRET FRANKLIN	
JULIE N. FRANKLIN	

BUILT BY:	OWNER-BUILDER JARRET FRANKLIN 4 TALLWOOD ROAD JACKSONVILLE BEACH, FL 32250 904-420-8381
-----------	--

PROJECT DESCRIPTION:
MADDIE'S PLACE 15696 W. SHARK ROAD JACKSONVILLE, FL 32226 R/E #: 159675-0010

Design Drawings provided by:
DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGNERS SINCE 1989
904-730-7135

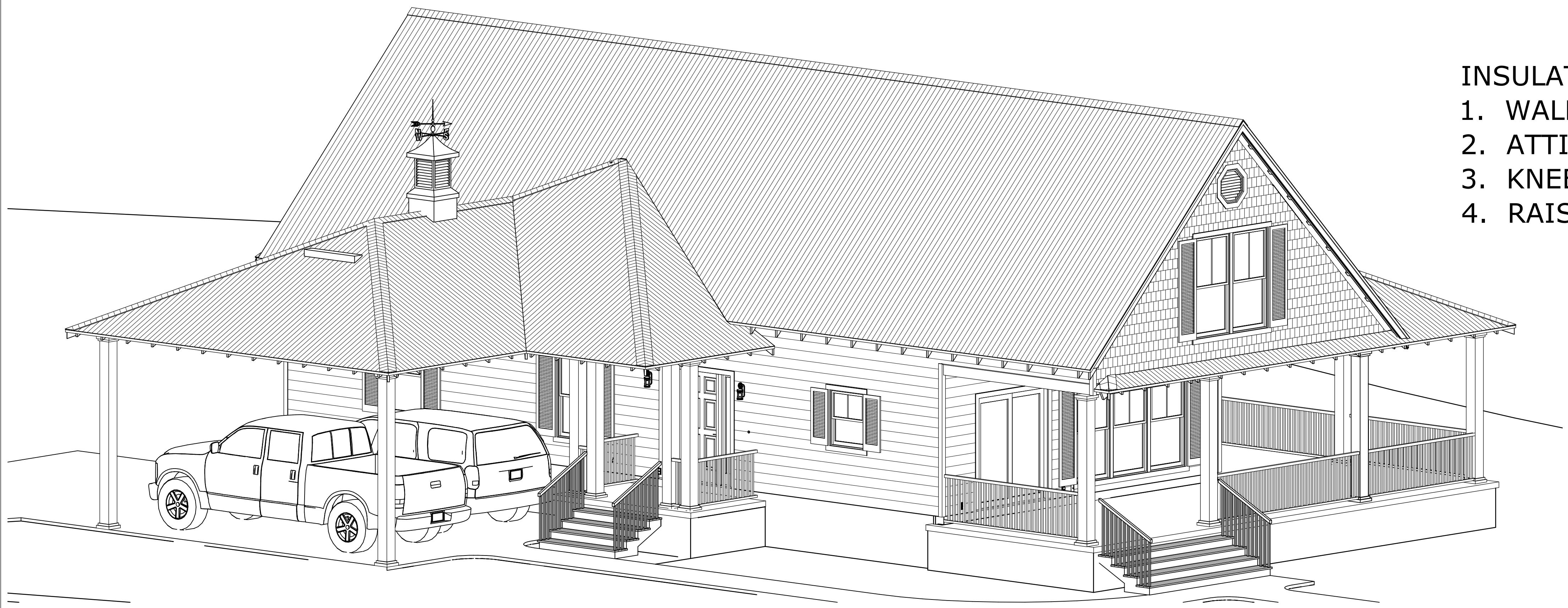
DATE:
7/26/2017

SCALE:
1/4" = 1'-0"

SHEET:
A-9

ELECTRICAL PLAN

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INSULATION NOTES:

1. WALLS: OPEN CELL FOAM 5.5"
2. ATTIC INSULATION: OPEN CELL FOAM 5.5"
3. KNEEWALLS: OPEN CELL FOAM 5.5"
4. RAISED FLOOR: OPEN CELL FOAM 5.5"

EXTERIOR NOTES:

EXTERIOR TO BE HARDI-LAP W/HARDI SHAKE ACCENTS

SOFFITS: OPEN

FASCIA: EXPOSED RAFTER TAILS

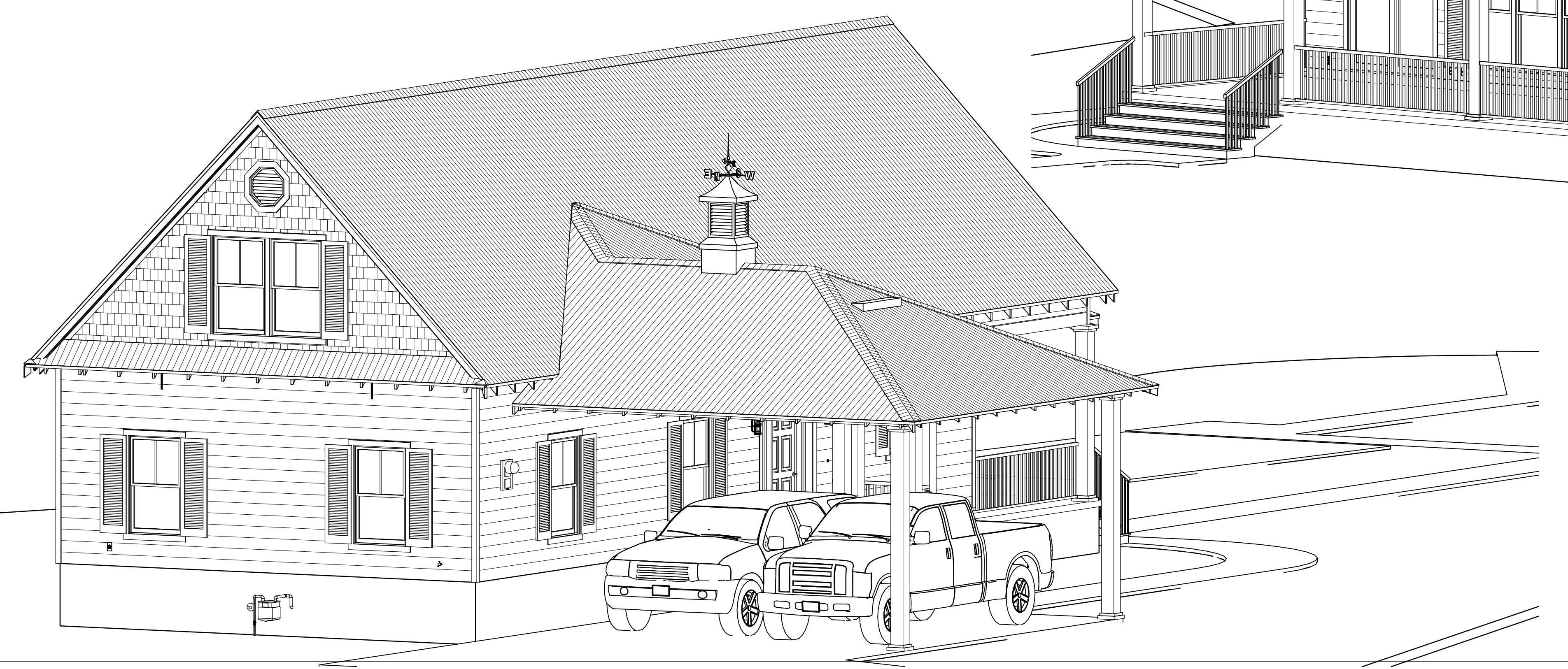
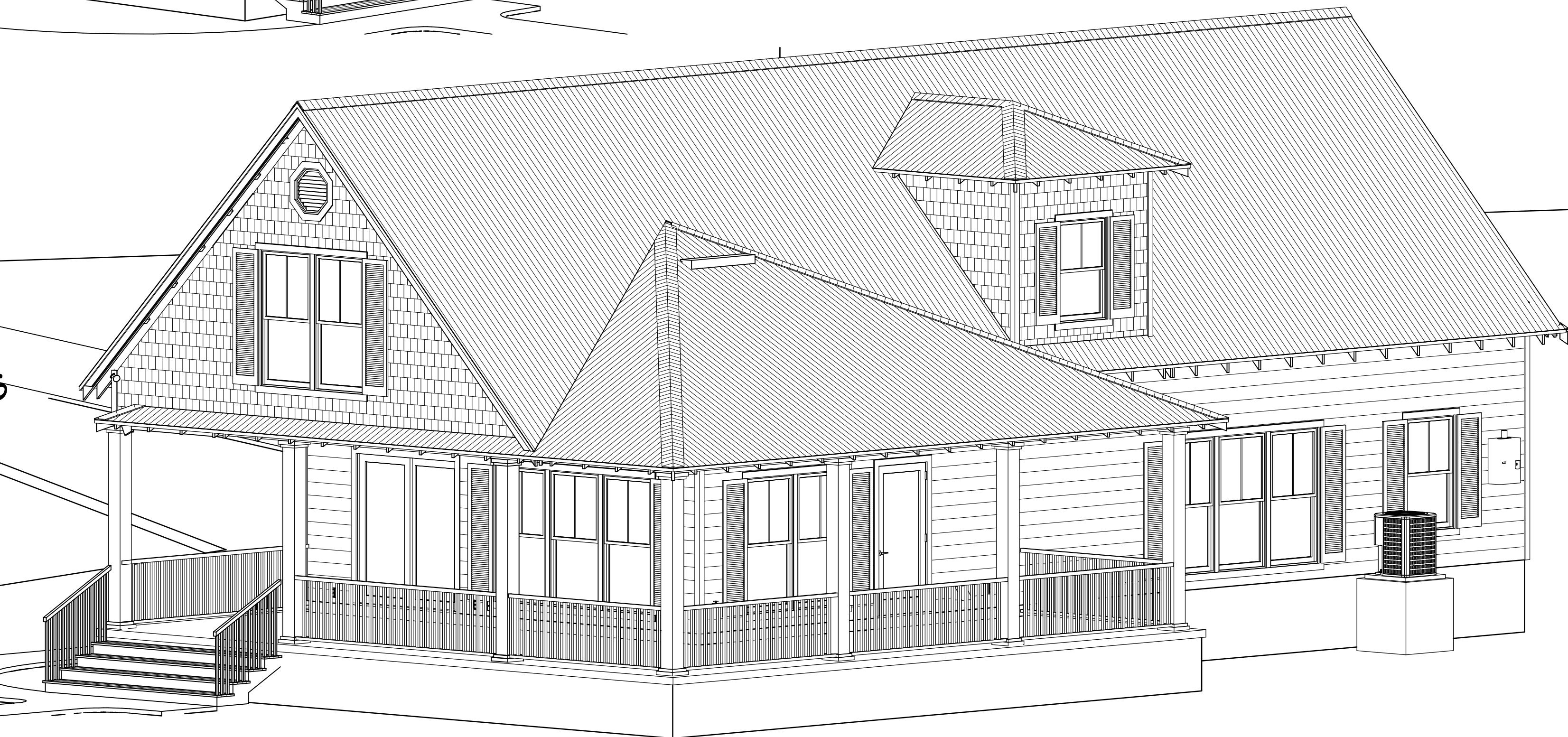
ROOFING: STANDING SEAM METAL ROOF

FOUNDATION: 5-CMU SPLIT FACE NATURAL FINISH

CORNER BOARDS: STEALTH ONE PIECE COMPOSITE CORNERS

SHUTTERS: 18" LOUVERED VINYL

VENT: DEVORATIVE 24" OCTAGON



**CONTRACT NOTE: CONTRACT AND
SPECIFICATIONS TAKE PRECEDENCE
OVER THESE DRAWINGS. ANY CONFLICT
WILL DEFAULT TO SAID DOCUMENTS.**

ISOMETRIC VIEWS

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CLIENT APPROVAL SIGNATURE DATE

JARRETT FRANKLIN

JULIE N. FRANKLIN

BUILT BY:

OWNER-BUILDER JARRETT FRANKLIN

4 TALLWOOD ROAD

JACKSONVILLE BEACH, FL 32250

904-420-8381

PROJECT DESCRIPTION:

MADDIE'S PLACE

15696 W. SHARK ROAD

JACKSONVILLE, FL 32226

R/E #: 159675-0010

Design Drawings provided by:

DESIGNS FOR LIVING, LLC

RECREATIONAL, DESIGN & BUILD SINCE 1989

904-730-7135

DATE:

7/26/2017

SCALE:

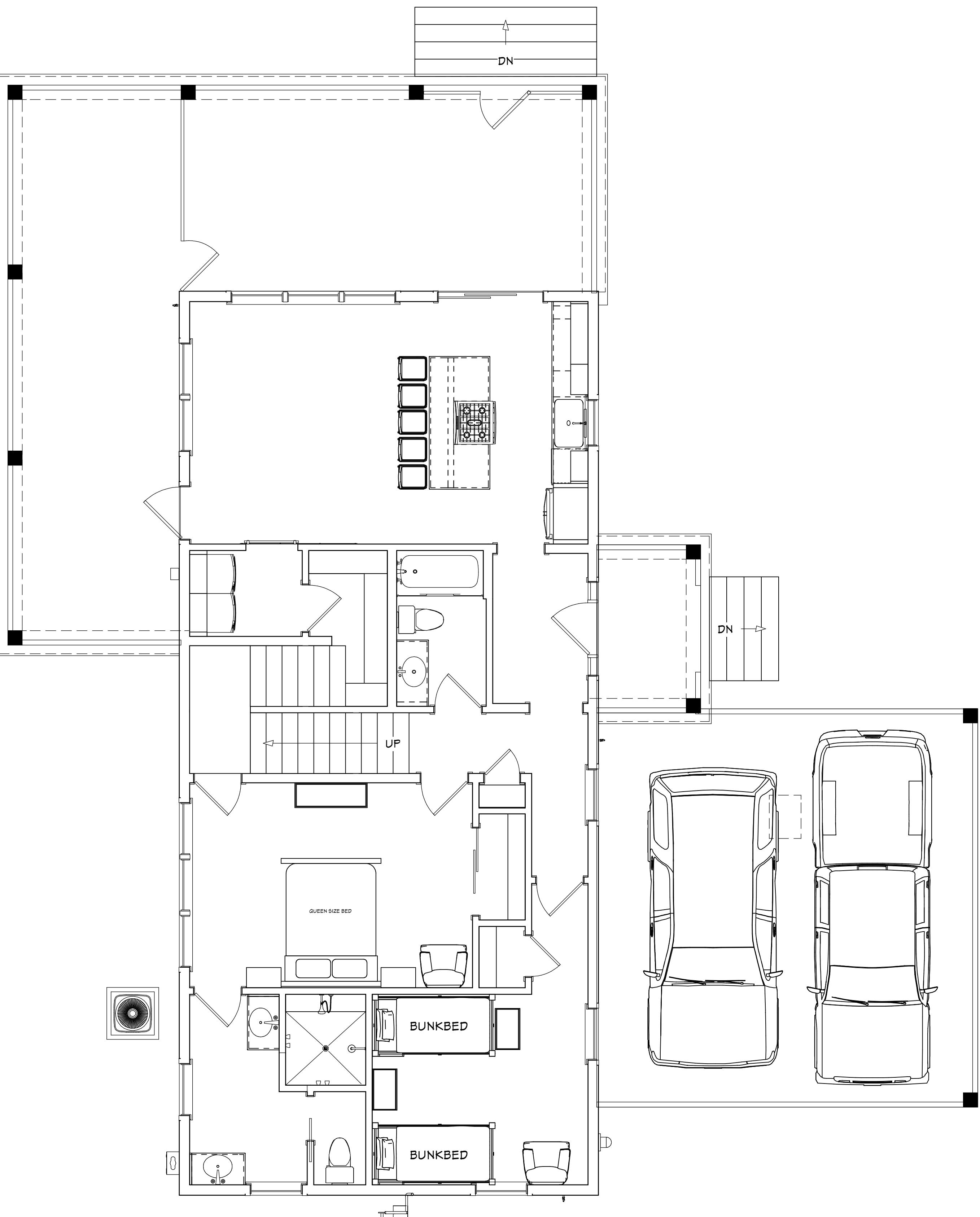
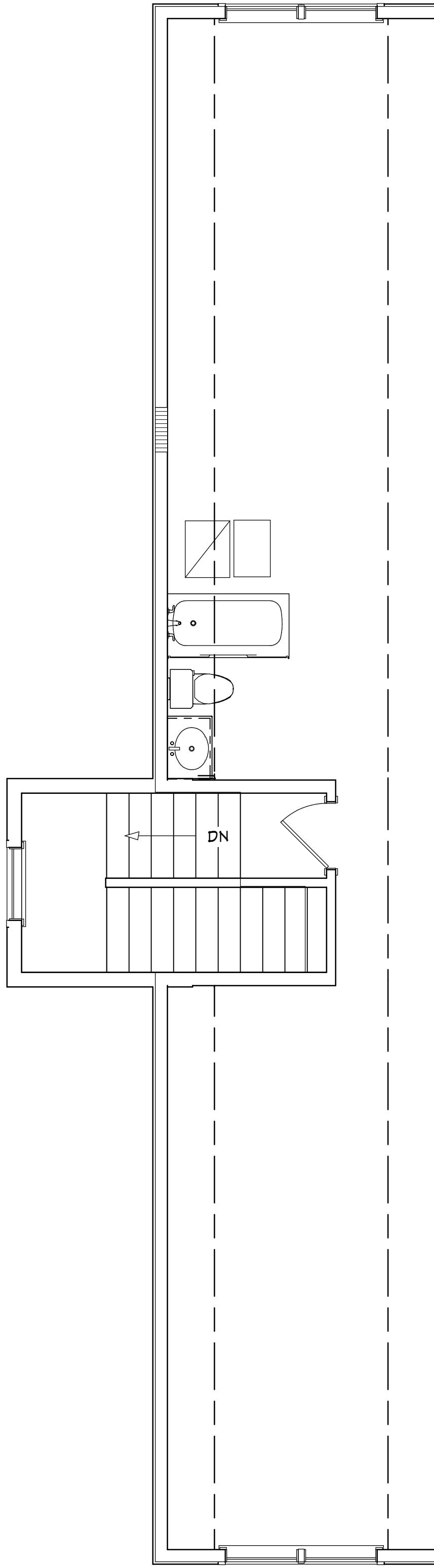
N.T.S.

SHEET:

A-10

PLAN #
1248

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FURNITURE PLAN

CLIENT APPROVAL SIGNATURE	DATE
JARRETT FRANKLIN	
JULIE N. FRANKLIN	

BUILT BY:	OWNER-BUILDER JARRETT FRANKLIN 4 TALLWOOD ROAD JACKSONVILLE BEACH, FL 32250 904-420-8381
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PROJECT DESCRIPTION:	MADDIE'S PLACE 15696 W. SHARK ROAD JACKSONVILLE, FL 32226 R/E #: 159675-0010
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Design Drawings provided by:	DESIGNS FOR LIVING, LLC RECREATIONAL, DREAMS & DESIGN 904-730-7135
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DATE:	7/26/2017
SCALE:	1/4" = 1'-0"
SHEET:	A-11

PLAN #
1248

CLIENT APPROVAL SIGNATURE	DATE
JARRETT FRANKLIN	
JULIE N. FRANKLIN	

BUILT BY:
OWNER-BUILDER-JARRETT FRANKLIN
4 TALLWOOD ROAD
JACKSONVILLE BEACH, FL 32250
904-420-8381.

PROJECT DESCRIPTION:
MADDIE'S PLACE
15696 W. SHARK ROAD
JACKSONVILLE, FL 32226
R/E #: 159675-0010

Design Drawings provided by:
DESIGNS  LIVING, LLC
ARCHITECTURAL DRAWINGS SINCE 1989
904-730-7135

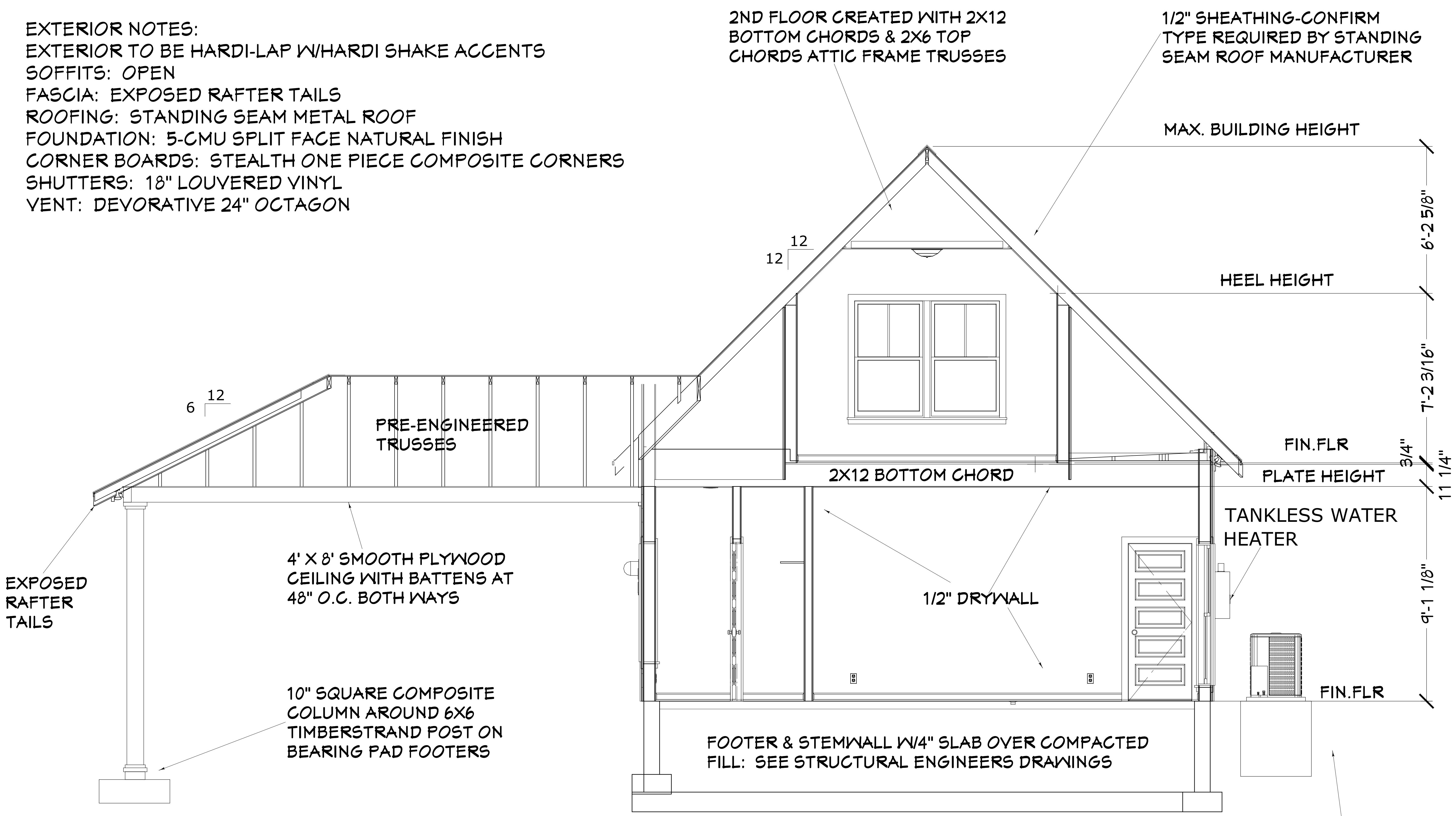
DATE:
7/26/2017

SCALE:
1/2" = 1'-0"

SHEET:
A-16

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EXTERIOR NOTES:
EXTERIOR TO BE HARDI-LAP W/HARDI SHAKE ACCENTS
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CORNER BOARDS: STEALTH ONE PIECE COMPOSITE CORNERS
SHUTTERS: 18" LOUVERED VINYL
VENT: DECORATIVE 24" OCTAGON



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2. ATTIC INSULATION: OPEN CELL FOAM 5.5"
3. KNEEWALLS: OPEN CELL FOAM 5.5"
4. RAISED FLOOR: OPEN CELL FOAM 5.5"

FEMA GUIDLINES REQUIRES THE HVAC AND WELL EQUIPMENT MUST BE AT 8.0'

BUILDING SECTION