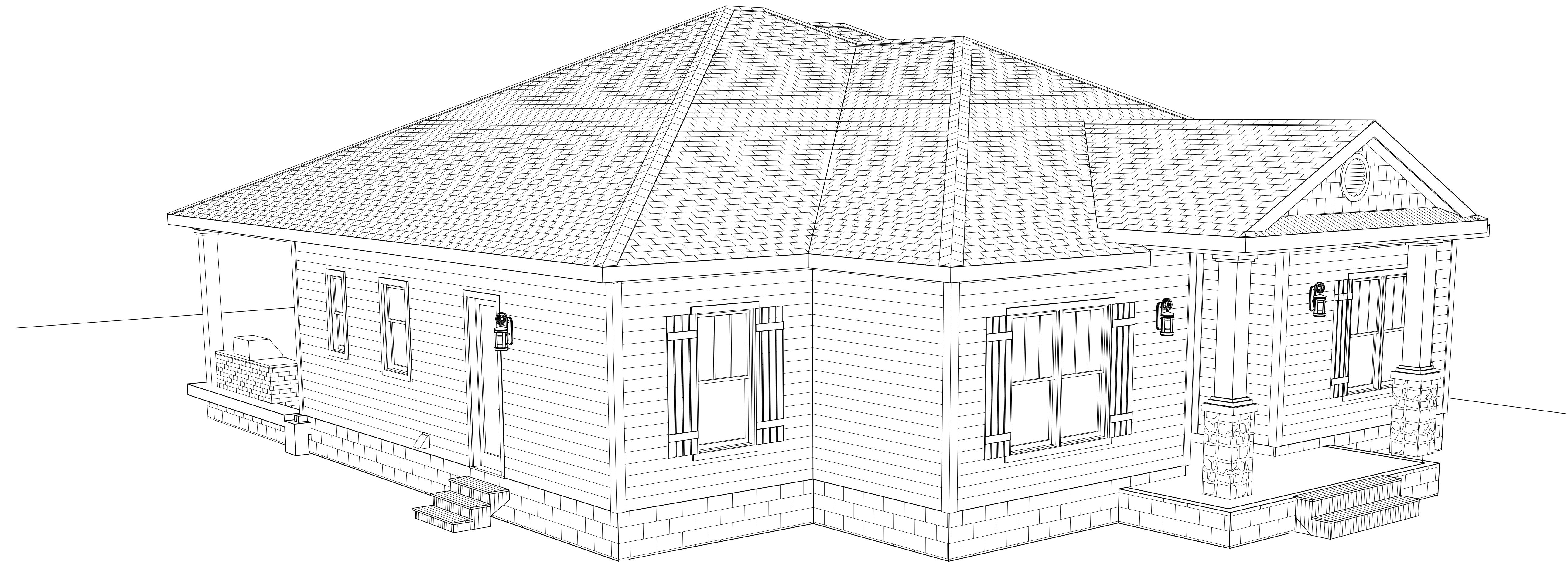


FUTURE HOME OF THE REYNARD FAMILY

PERMIT PLAN 12/27/2016



7625 TARA LANE
JACKSONVILLE, FL 32216

F. RICHARD GRANT, PT RECD O/R 11805-955
R/E #: 136332-0000

BUILT BY:

ARTISAN BUILDERS OF NORTHEAST FLORIDA, LLC
A.K.A. EVOLUTION HOMES
A SUBSIDIARY OF
BRAUGHTON CONSTRUCTION, INC.
904-669-1109
CGC1524130

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PLAN # 2309	
CLIENT APPROVAL SIGNATURE	DATE
ROBERT REYNARD	
MELISSA REYNARD	
BUILT BY: EVOLUTION HOMES	
PROJECT DESCRIPTION: Future Home of the Reynard Family 7625 Tara Lane Jacksonville, FL 32216 R/E #: 136332-0000	
Design Drawings provided by: DESIGNS FOR LIVING, LLC 904-730-7135	DATE: 12/27/2016
SCALE: N.T.S	SCALE: N.T.S
SHEET: A-1	SHEET: A-1

ZONING:

RLD-90

SIDE = 5'

FRONT=20'

REAR=10'

LOT COVERAGE=45%

MAX HEIGHT=35'

FLOOD ZONE: AE5

FEMA CERTIFICATE REQUIRED: PART 1 & PART 2

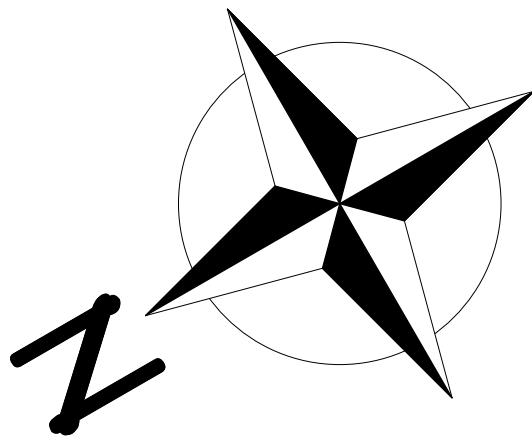
LOWEST PORCH & EQUIPMENT TO BE NO LOWER THAN 6'

MSL THE HOME & GARAGE WILL BE AT 8.0' MSL

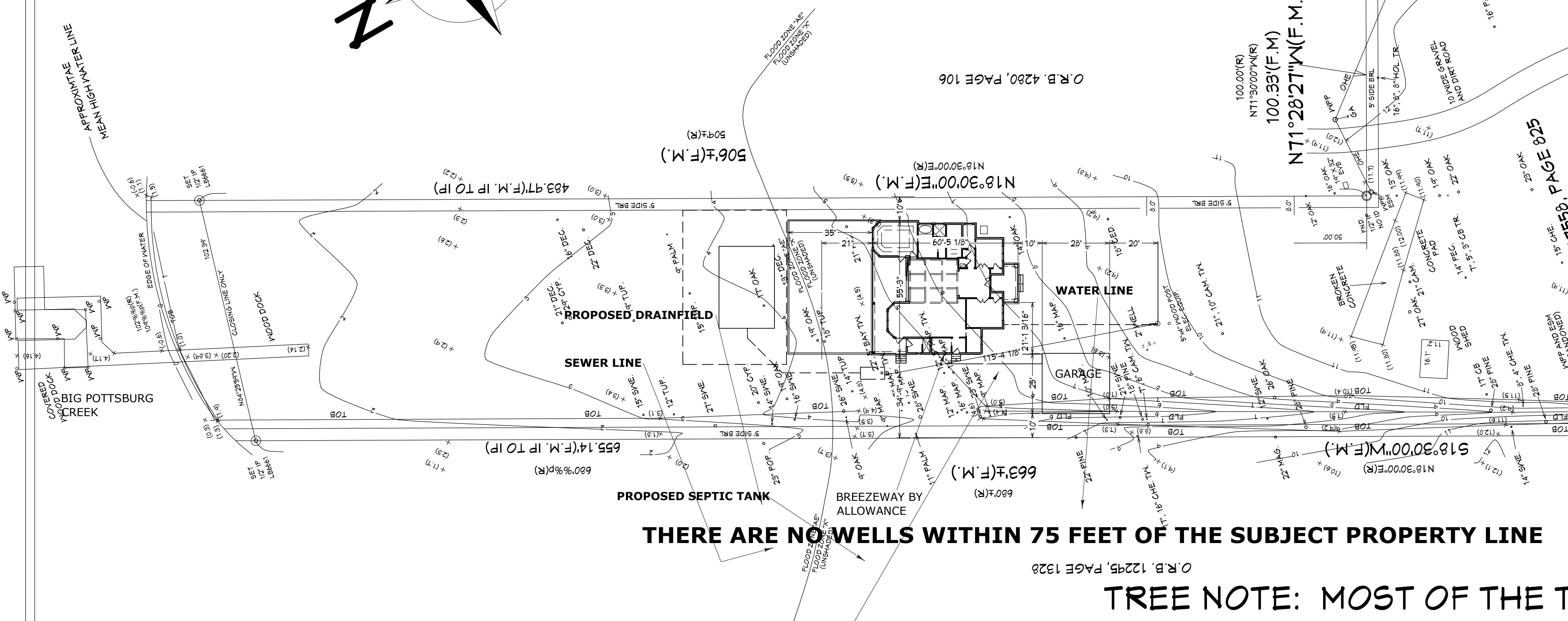
*NOTE: SOIL ANALYSIS WAS PERFORMED BY
LEGACY ENGINEERING, INC. ON REPORT NO.
16-1260.1. SECTION 5.3 ON PAGES 5 & 6
SHOW THE SITE PREPARATION REQUIREMENTS
PRIOR TO CONSTRUCTION. RECOMMEND
LEGACY BE HIRED TO MONITOR COMPACTION
AS SOILS ARE REMOVED AND REPLACED.*

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

O.R.B. 14604, PAGE 335



THERE ARE NO WELLS WITHIN 75 FEET OF THE SUBJECT PROPERTY LINE



NOTE: HOUSE AND GARAGE ARE
CONNECTED WITH ALUMINUM PAN ROOF
SYSTEM PERMITTED BY ALUMINUM
ENCLOSURE CONTRACTOR AS NOTED HERE

**TREE NOTE: MOST OF THE TREES SLATED TO BE REMOVED ARE
DESEASED AND WILL BE "X" ed OUT ON THE PLAN DENOTING REMOVAL!**

CONFIRM THE FINAL PLACEMENT OF THE HOME WITH THE OWNERS PRIOR TO GOOD HOUSE STAKE AND CONSTRUCTION!

SITE PLAN - B16-822455.000

PLAN # 2309

CLIENT APPROVAL SIGNATURE **DATE**

EVOLUTION HOMES
904-669-1109 CGC1524130

PROJECT DESCRIPTION: **5.1.1.2**

An architectural rendering of a modern single-story house. The house features a prominent front porch with wide steps and a white railing. The exterior walls are light-colored, and there are dark horizontal stripes on the windows and doors. A small balcony is located on the right side of the house. The house is set against a clear blue sky.

Design Drawing
provided by:

DATE:

1

SCALE:

1

= 30'-0"

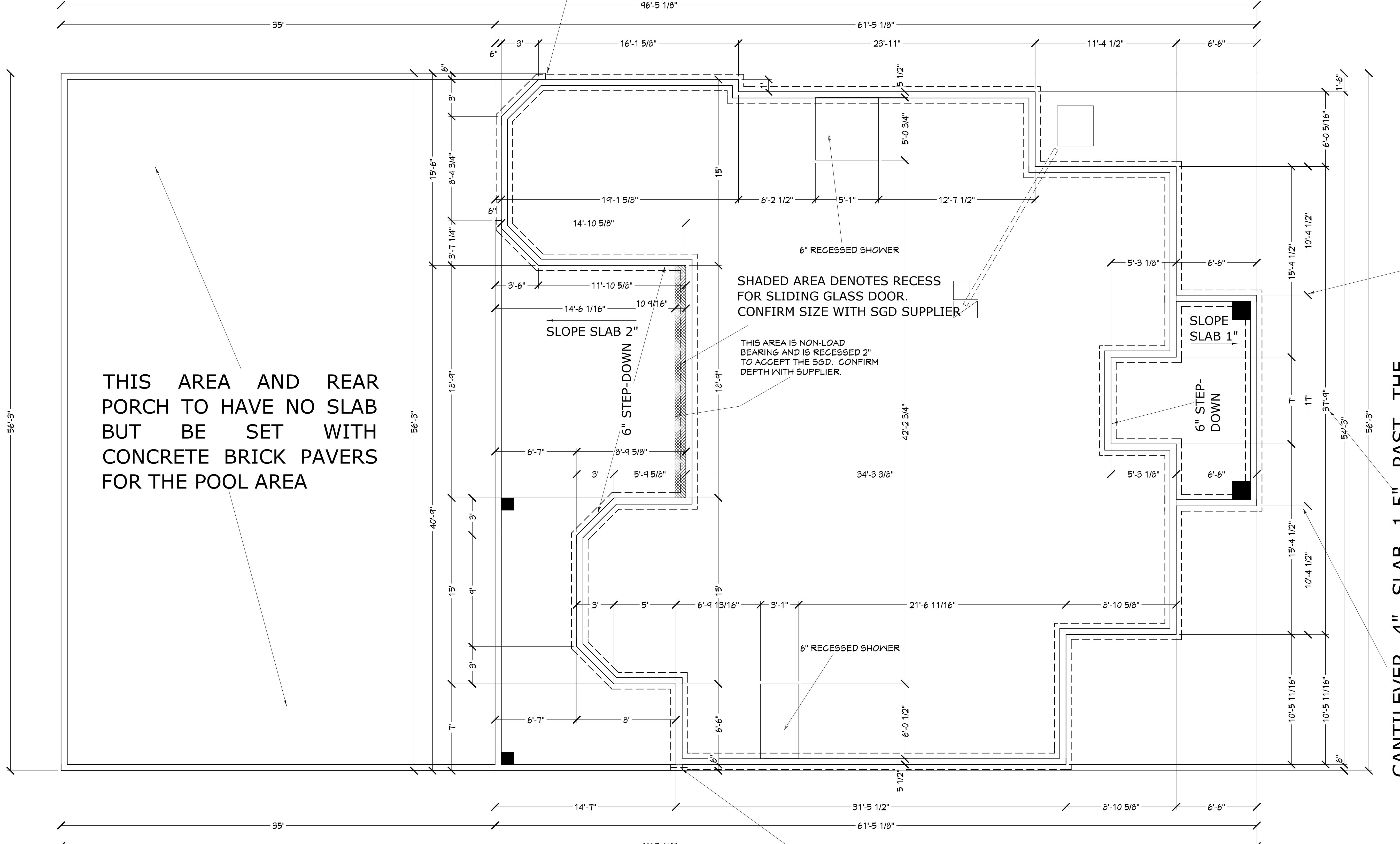
1

A-2

ROUGH SUMMER KITCHEN FOR WATER, SEWER &
ELECTRICAL

CONTRACT NOTE: CONTRACT AND
SPECIFICATIONS TAKE PRECEDENCE
OVER THESE DRAWINGS. ANY CONFLICT
WILL DEFAULT TO SAID DOCUMENTS.

PLAN #
2309



FOUNDATION PLAN

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CLIENT APPROVAL SIGNATURE DATE
ROBERT REYNARD
MELISSA REYNARD

BUILT BY:
EVOLUTION HOMES

PROJECT DESCRIPTION:
Future Home of the Reynard Family
7625 Tara Lane
Jacksonville, FL 32216
R/E #: 136332-0000

Design Drawings provided by:
DESIGNS FOR LIVING, LLC
904-730-2135

DATE: 12/27/2016
SCALE: 1/4" = 1'-0"
SHEET: A-3

NOTE: HOUSE AND GARAGE ARE CONNECTED WITH ALUMINUM PAN ROOF SYSTEM PERMITTED BY ALUMINUM ENCLOSURE CONTRACTOR AS NOTED ON SITE PLAN SHEET A-2.



REAR (NORTH) ELEVATION

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



FRONT (SOUTH) ELEVATION



PLAN # 2309

CLIENT APPROVAL SIGNATURE

ROBERT REYNARD

MELISSA REYNARD

PROJECT DESCRIPTION.
Future Home of the Reynard Family
7625 Tara Lane
Jacksonville, FL 32216
R/E #: 136332-0000

The logo for DESIGNS for LIVING LLC features a stylized, symmetrical floral or leaf motif at the top, resembling a crown or a canopy. Below this, the word "DESIGNS" is written in a large, bold, serif font. A curved line starts from the top of the "D" and sweeps down to the right, ending under the "L". To the right of this line, the words "for LIVING" are written in a smaller, bold, sans-serif font. To the right of "for LIVING", the words "RESIDENTIAL DESIGN SINCE 1969" are printed vertically. At the bottom left, the letters "LLC" are written in a small, bold, sans-serif font.

Design Drawing
provided by:

DATE:
2/27/2016

SCALE:
1/4" = 1'-0"

**SHEET:
A-5**

PLAN # 2309

CLIENT APPROVAL SIGNATURE _____ **DATE** _____

EVOLUTION HOME
904-669-1109 CGC152413

BUILT BY:

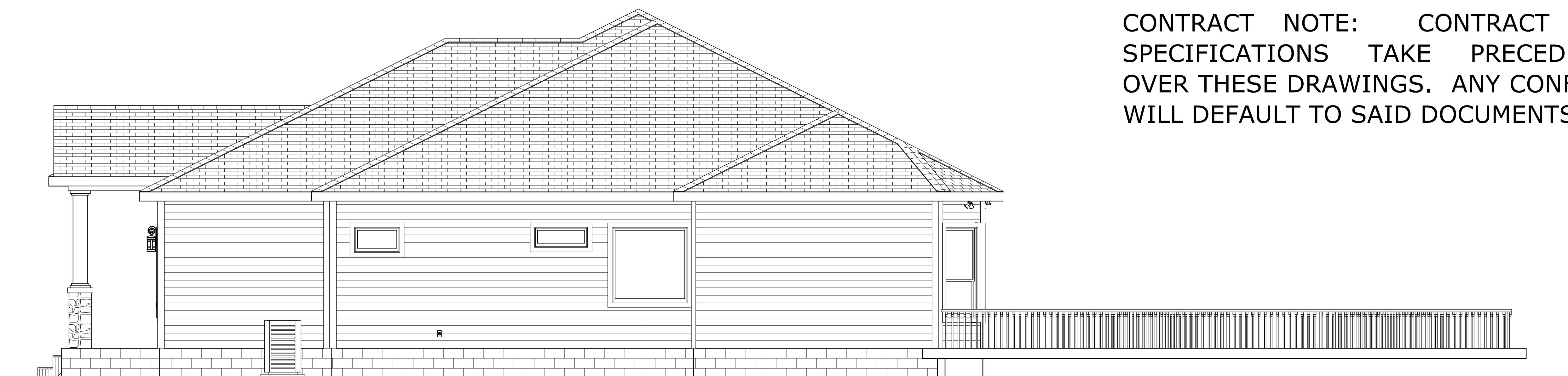
PROJECT DESCRIPTION:
Future Home of the Reynard Family
7625 Tara Lane
Jacksonville, FL 32216
R/E #: 136332-0000

The logo for Designs for Living LLC consists of a classical pedestal on the left, flanked by two stylized columns. To the right, the word "DESIGNS" is written vertically in a large, flowing script font, with "for" written in a smaller script font above it. Above "DESIGNS", there is a large, sweeping flourish. To the right of the "for" and the main text, the word "LIVING" is written in a bold, sans-serif font. Below "LIVING", the words "LLC" are written in a small, sans-serif font. At the bottom right, the text "RESIDENTIAL DESIGN SINCE 1969" is written in a small, sans-serif font.

DATE:
12/27/2016
SCALE:

SHEET:

A-6



RIGHT (EAST) ELEVATION

EXTERIOR FINISH NOTES:

1. CEMENTIOUS HORIZONTAL LAP SIDING OVER TYVEK OR EQUAL
 2. PLUMB CUT FASCIA WITH 1X2 P.T. DRIP COVERED WITH CPVC COATED ALUMINUM
 3. SOFFITS VENTED VINYL
 4. SHINGLES: ARCHITECTURAL FIBERGLASS OVER SYNTHETIC FELT
 5. FOUNDATION WALLS: NATURAL FINISH CMU (U.O.N.)
 6. WINDOWS: VINYL LOW-E WITH MUTTONS PER PLAN
 7. EXTERIOR DOORS: FIBERGLASS W/COMPOSITE JAMBS

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



LEFT (WEST) ELEVATION

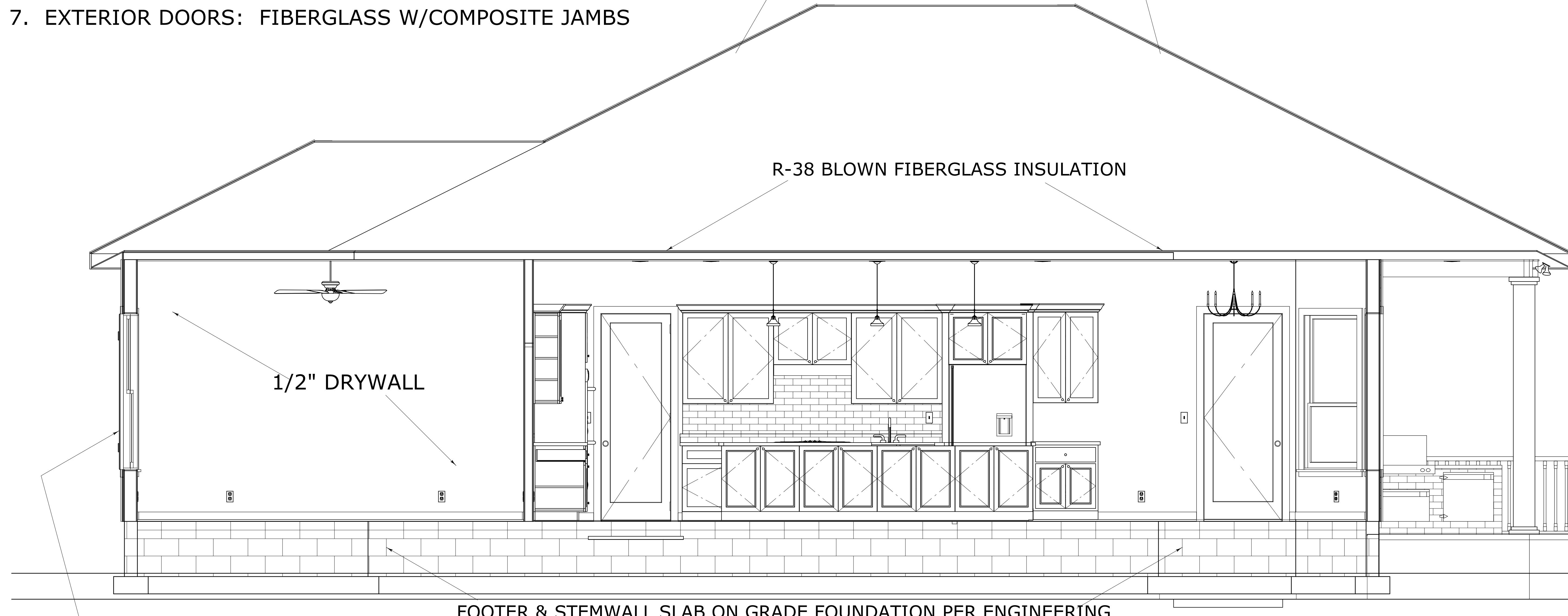
SIDE ELEVATIONS

EXTERIOR FINISH NOTES:

1. CEMENTIOUS HORIZONTAL LAP SIDING OVER TYVEK OR EQUAL
 2. PLUMB CUT FASCIA WITH 1X2 P.T. DRIP COVERED WITH CPVC COATED ALUMINUM
 3. SOFFITS VENTED VINYL
 4. SHINGLES: ARCHITECTURAL FIBERGLASS OVER SYNTHETIC FELT
 5. FOUNDATION WALLS: NATURAL FINISH CMU (U.O.N.)
 6. WINDOWS: VINYL LOW-E WITH MUTTONS PER PLAN
 7. EXTERIOR DOORS: FIBERGLASS W/COMPOSITE JAMBS

PRE-ENGINEERED TRUSSES DECKED WITH 1/2" OSB WITH SYNTHETIC FELT AND 30-YR ARCHITECTURAL FIBERGLASS SHINGLES

**WIND SPEED: 130 MPH
EXPOSURE: "B"**



**OSB SHEATHING OVER 2X6 #2SPF
STUDS @ 16" O.C. WITH TYVEK OR
EQUAL AND CEMENTIOUS LAP SIDING
WITH R-19 FIBERGLASS BATTs**

ROOF NOTES: ROOF PITCH: 6/12
DECKING: 3/4" T&G GLUED & SCREWED
ROOF SHEATHING: 1/2" OSB
SOFFITS: VENTED WHITE BUILDER QUALITY SOFFITS
FASCIA: CPVC COATED ALUM OVER 2X6 SUB-FASCIA
W/1X2 P.T. DRIP
ROOF: 30 YR ARCHITECTURAL FIBERGLASS
SOFFIT OVERHANG: 16"
GABLE OVERHANG: 12"
HEELS: TEN INCHES TO ALLOW FOR COMPLIANCE FOR
THE FLORIDA ENERGY CODE

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

ROOF PLAN & BUILDING SECTION

PLAN # 2309

CLIENT APPROVAL SIGNATURE _____ **DATE** _____

AN #	
309	
ROBERT REYNARD	MELISSA REYNARD

PROJECT DESCRIPTION:
Future Home of the Reynard Family
7625 Tara Lane
Jacksonville, FL 32216
R/E #: 136332-0000

 Drawings Scaled by:	PROJECT DESCRIPTION: Future Home 7625 Jackson R/E #: , DESIGNS <i>for</i> LIVING LLC <small>RESIDENTIAL DESIGN SINCE 1969</small> 904-730-7135
---	---

DATE:
12/27/2016

SCALE:

$$1/2" = 1'-0"$$

SHEET:

A-7

PER FBC-R-E3902.12 AFCI PROTECTION REQUIRED Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed AFCI, combination type.

PER FBC-R-E3901.7, NEC 210, E3901.7 & E3902.3 GFCI PROTECTION REQUIRED Bathrooms, garages, boathouses & accessory structures not intended as habitable rooms and limited to storage, work & similar uses. Outdoors, crawl spaces, unfinished basements, kitchen countertops. Outlets within 6 feet of laundry, utility or wet sinks. Balcony, deck or porch greater than 20 s.f. One at the front and back of the dwelling and at the condenser units.

ELECTRICAL - DATA - AUDIO LEGEND

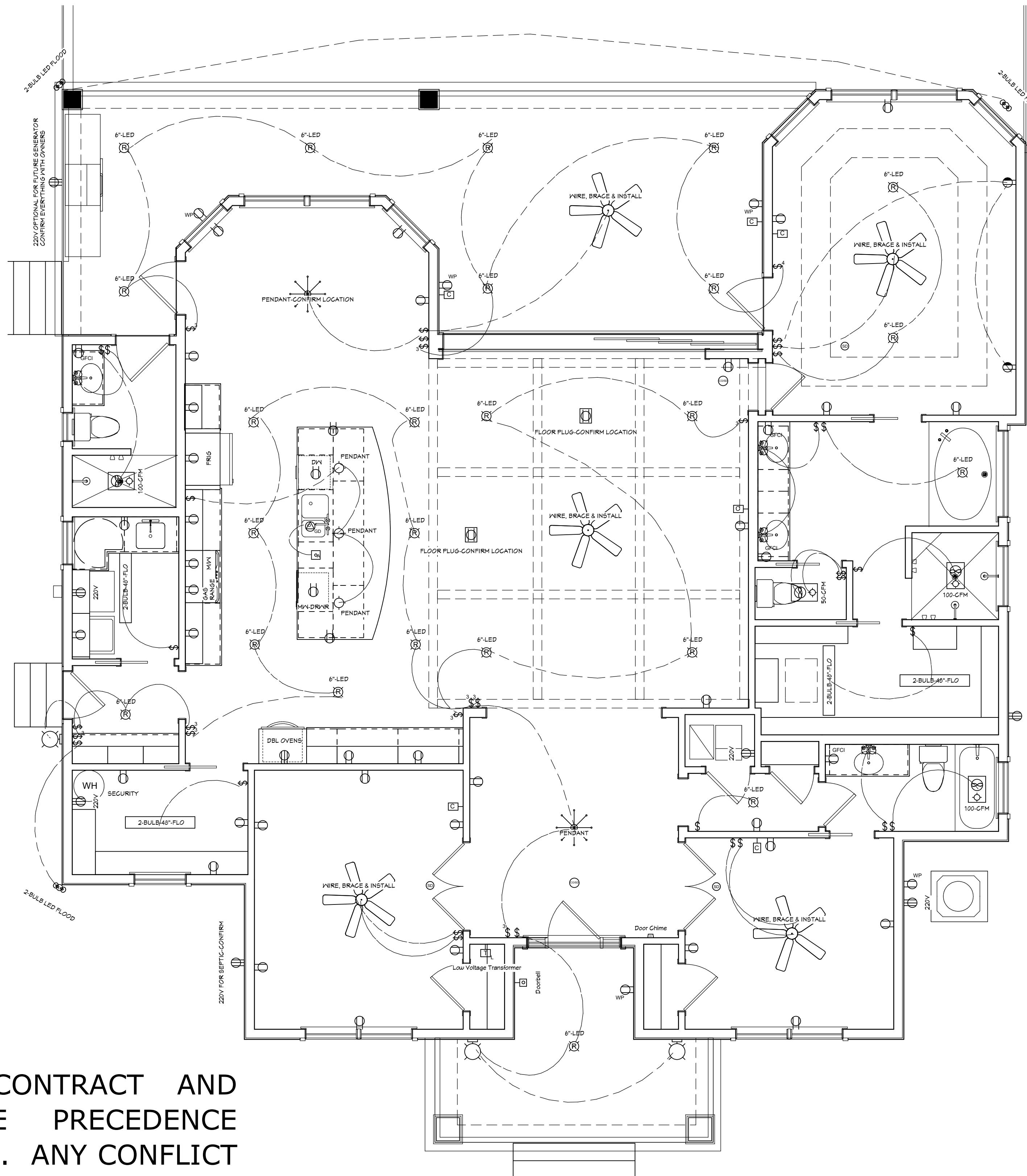
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

L.P. GAS NOTES:

1. ABOVE GROUND TANKS BEING PROVIDED BY OWNERS LOCATION TO BE CONFIRMED WITH OWNERS
 2. PRE-PIPE FOR COOKTOP, SUMMER KITCHEN, FIREPIT AND TIKI TORCHES (NUMBER TO BE DETERMINED) AT THE RAISED POOL DECK AREA
 3. THIS IS A CHANGE ORDER ABOVE AND BEYOND THE CONTRACT

ELECTRICAL NOTES:

1. PROVIDE POWER FOR SEPTIC SYSTEM
 2. ALL LIGHTS MUST BE CFL
 3. 200 AMP SERVICE
 4. STANDARD PLUGS AND TOGGLE SWITCHES
 5. PROVIDE POWER FOR SECURITY SYSTEM
 6. WIRE & INSTALL ATTIC LIGHTS WITH SWITCH IN THE ATTIC PER CODE
 7. ELECTRIC RANGE & MICROWAVE VENTED HOOD
 8. WATER HEATER IS 50 GALLON ELECTRIC
 9. WIRE & BRACE FOR FANS & INSTALL OWNER PROVIDED FANS
 10. OWNER WISHES TO HAVE A 220 OUTLET AT OR NEAR THE SUMMER KITCHEN AREA IN ORDER TO INSTALL AN EXTERNAL GENERATOR WHEN NEEDED-CONFIRM ALL DETAILS WITH OWNERS
 11. PROVIDE POWER FOR FUTURE POOL



EFFICACY NOTE: THE NEW FBC-R FBC EC R404.1 & R202 BUILDING CODE REQUIRES ALL INSIDE & OUTSIDE LIGHT FIXTURES WILL USE CFL OR LED LIGHT BULBS.

ELECTRICAL PLAN

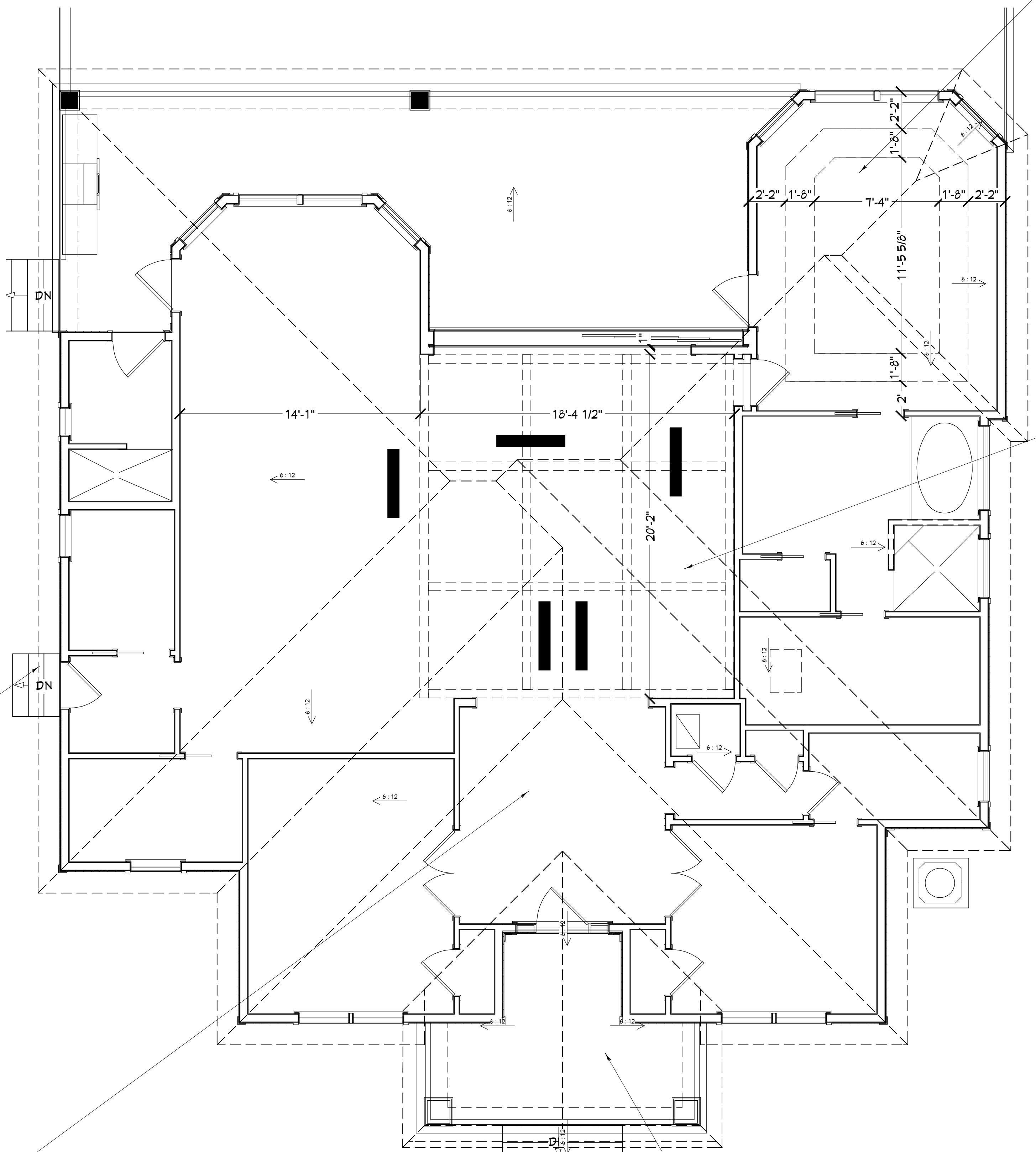
WIND SPEED: 130 MPH
EXPOSURE: "B"

INSULATION NOTES:

1. WALLS 5.5" OF BLOWN IN CELLULOSE OR R-19 FIBERGLASS BATTS
2. PROVIDE SOUND BATTS IN ALL BATH AND LAUNDRY WALLS
3. ATTIC INSULATION TO BE R-38 BLOWN FIBERGLASS

IMPORTANT NOTE: THERE IS A TWO-STEP TRAY IN THE OWNERS SUITE WITH EACH STEP 9 INCHES HIGHER THAN THE NEXT

ROOF NOTES: ROOF PITCH: 6/12
DECKING: 3/4" T&G GLUED & SCREWED
ROOF SHEATHING: 1/2" OSB
SOFFITS: VENTED WHITE BUILDER QUALITY
SOFFITS
FASCIA: CPVC COATED ALUM OVER 2X6 SUB-FASCIA W/1X2 P.T. DRIP
ROOF: 30 YR ARCHITECTURAL FIBERGLASS
SOFFIT OVERHANG: 16"
GABLE OVERHANG: 12"
HEELS: TEN INCHES TO ALLOW FOR COMPLIANCE FOR THE FLORIDA ENERGY CODE



NOTE: HOUSE AND GARAGE ARE CONNECTED WITH ALUMINUM PAN ROOF SYSTEM PERMITTED BY ALUMINUM ENCLOSURE CONTRACTOR AS NOTED ON SITE PLAN SHEET A-2.

IMPORTANT NOTE: THE FOYER IS AT A 12'-1&1/8" PLATE HEIGHT

NOTE: ENTRY TRUSSES HAVE THE SAME 10" HEELS AS THE REST OF THE HOME. THE PLATE HEIGHT IS 11'-1& 1/8" AS THE REST OF THE HOME PLATE HEIGHT IS 10'-1&1/8"

IMPORTANT NOTE: THE FAMILY ROOM IS AT A 11'-1&1/8" PLATE HEIGHT

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

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BUILT BY:
EVOLUTION HOMES

PROJECT DESCRIPTION:
Future Home of the Reynard Family
7625 Tara Lane
Jacksonville, FL 32216
R/E #: 136332-0000

Design Drawings provided by:
DESIGNS FOR LIVING, LLC
904-730-2135

DATE: 12/27/2016
SCALE: 1/4" = 1'-0"
SHEET: A-9

CONTRACT NOTE: CONTRACT AND
SPECIFICATIONS TAKE PRECEDENCE
OVER THESE DRAWINGS. ANY CONFLICT
WILL DEFAULT TO SAID DOCUMENTS.

ROOF & SOFFIT VENTILATION CALCULATIONS:

FBC-R 306.2 REQUIRES THAT OFF RIDGE VENTS AND SOFFIT VENTS BE
EQUALLY DISTRIBUTED.

1. 1:150 REQUIRES 1 S/F OF VENTILATION FOR EVERY 150 S.F. OF
ATTIC SPACE.

2. TOTAL AREA OF ATTIC TO BE VENTILATED = 2,902 S.F.

3. TOTAL FREE AREA OF VENTILATION REQUIRED FOR ATTIC = 2,902
S.F./150 = 19.35 S.F.

4. CONVERT SQUARE FEET INTO SQUARE INCHES = 19.35 S.F. X 144 =
2,786.40 SQ. INCHES

5. LOCATION OF VENTS = 50% OFF-RIDGE ROOF VENTS = 1,393.20 X
0.50 = 696.60 SQ. INCHES AND SOFFIT/EAVE = 1,393.20 X 0.50 = 696.60
SQ. INCHES

6. TOTAL SOFFIT VENTILATION AREA REQUIRED = AREA OF SOFFIT
AVAILABLE FOR VENTILATION: 232.75 L.F. X 1.33 FT = 309.56 SQ.FT.
VENTILATION AREA REQUIRED PER SQ.FT. OF SOFFIT = 696.60 SQ.IN./
309.56 SQ. FT. = 2.25 SQ.IN./LF.

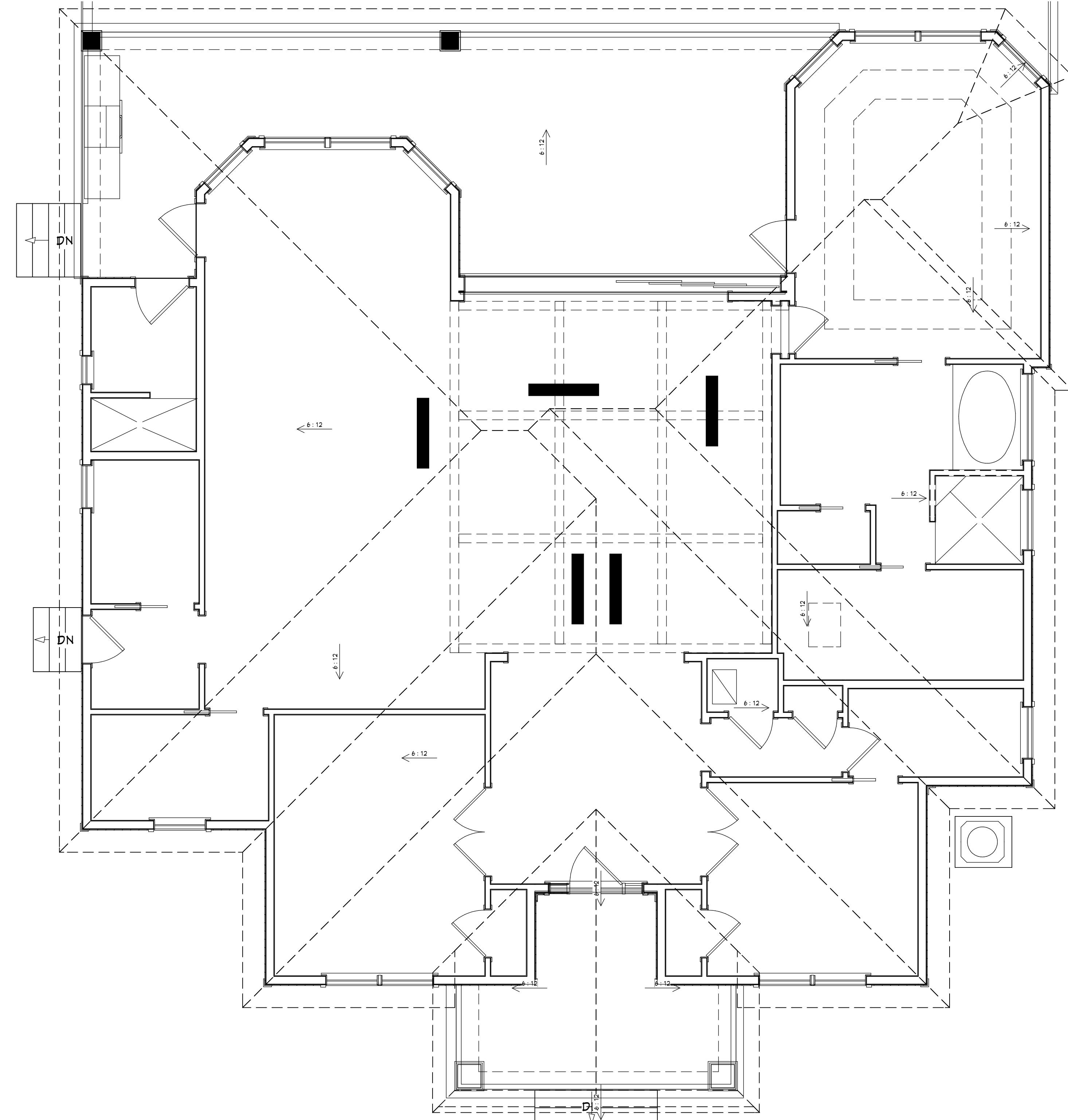
7. OFF-RIDGE VENTS = 696.60 SQ. IN./35 SQ.IN = 19.90 L.F OF OFF-
RIDGE VENTS = FIVE - FOUR FOOT OFF-RIDGE VENTS PER PLAN

INSULATION NOTES:

WALLS: R-13 FIBERGLASS BATT

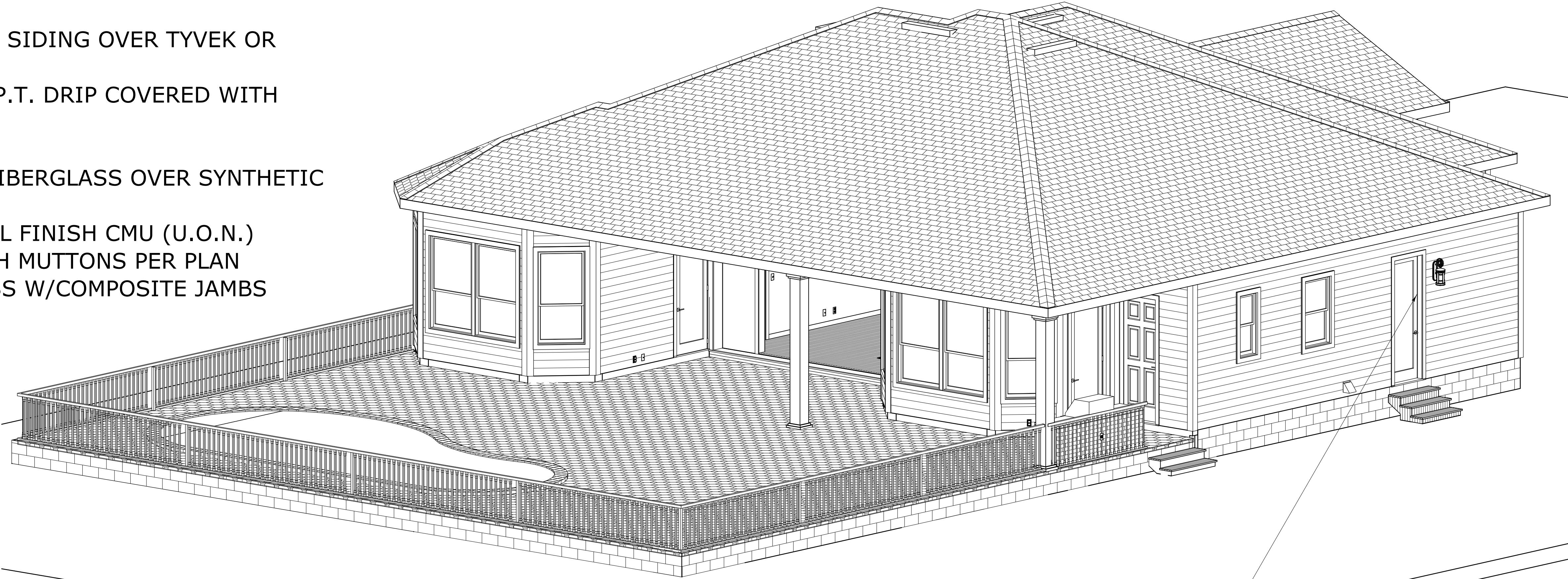
ATTICS: R-38 BLOWN FIBERGLASS

KNEEWALLS: R-19 FIBERGLASS BATT

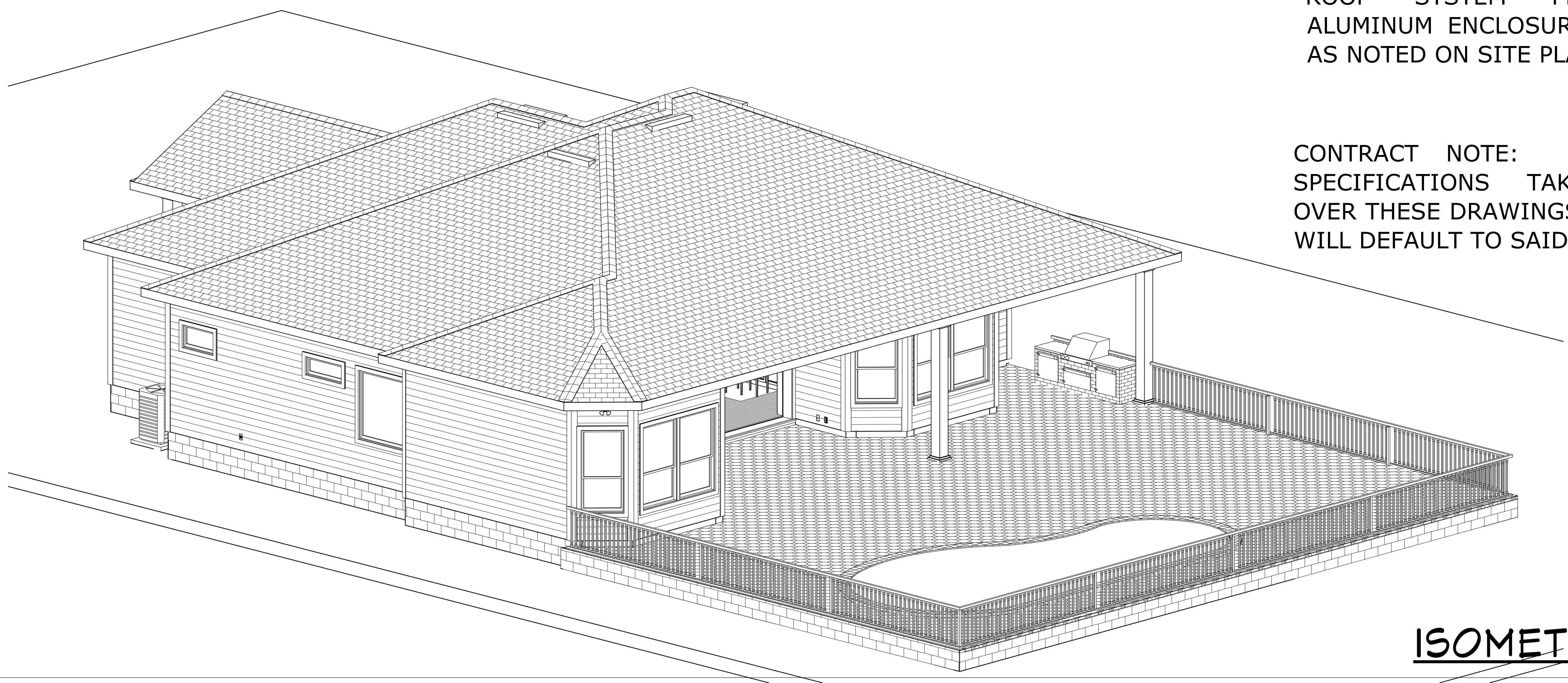


EXTERIOR FINISH NOTES:

1. CEMENTIOUS HORIZONTAL LAP SIDING OVER TYVEK OR EQUAL
 2. PLUMB CUT FASCIA WITH 1X2 P.T. DRIP COVERED WITH CPVC COATED ALUMINUM
 3. SOFFITS VENTED VINYL
 4. SHINGLES: ARCHITECTURAL FIBERGLASS OVER SYNTHETIC FELT
 5. FOUNDATION WALLS: NATURAL FINISH CMU (U.O.N.)
 6. WINDOWS: VINYL LOW-E WITH MUTTONS PER PLAN
 7. EXTERIOR DOORS: FIBERGLASS W/COMPOSITE JAMBS



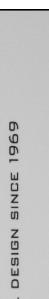
NOTE: HOUSE AND GARAGE ARE CONNECTED WITH ALUMINUM PAN ROOF SYSTEM PERMITTED BY ALUMINUM ENCLOSURE CONTRACTOR AS NOTED ON SITE PLAN SHEET A-2.



CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

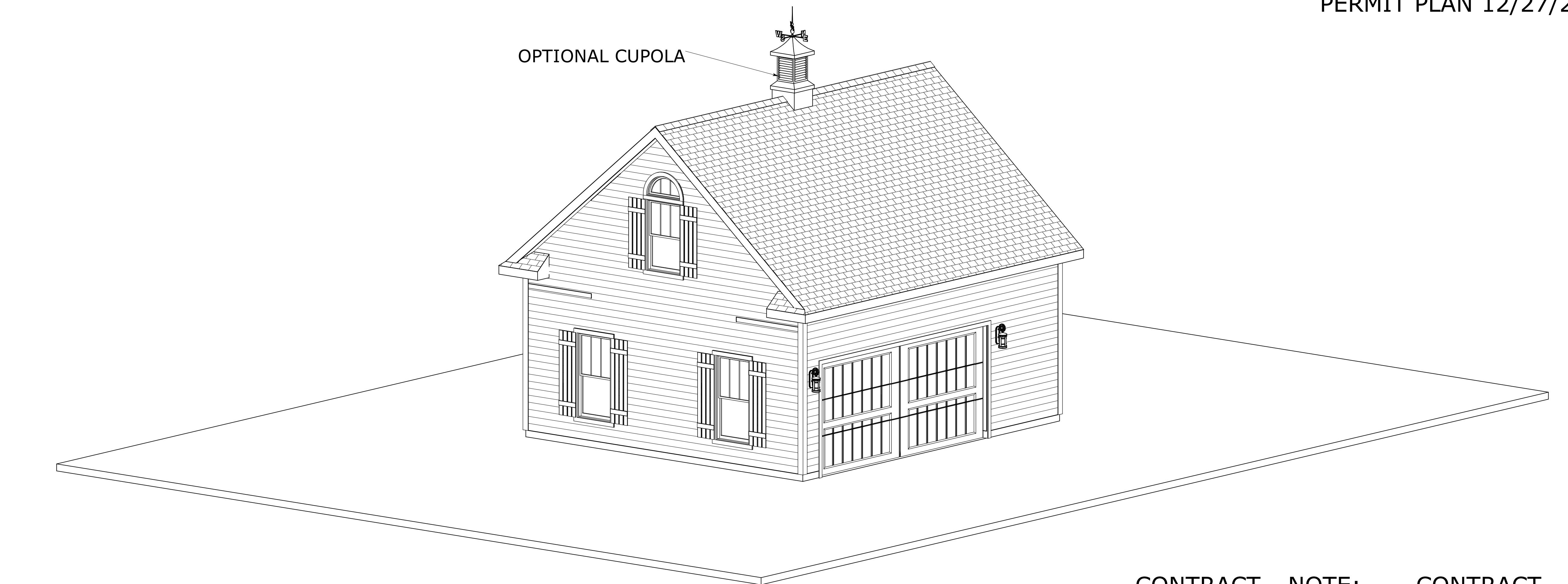
SOMETRIC VIEWS

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PLAN #		
2309		
CLIENT APPROVAL SIGNATURE	DATE	
ROBERT REYNARD		MELISSA REYNARD
BUILT BY: 		
PROJECT DESCRIPTION: Future Home of the Reynard Family 7625 Tara Lane Jacksonville, FL 32216 R/E #: 136332-0000		
Design Drawings provided by:  DESIGNS <i>for</i> LIVING LLC <small>RESIDENTIAL DESIGN SINCE 1969</small> 904-730-7135		
DATE:		
12/27/2016		
SCALE:		
N.T.S.		
SHEET:		
A-12		

GARAGE WITH BREEZEWAY FOR THE REYNARD FAMILY

PERMIT PLAN 12/27/2016



NOTE: HOUSE AND GARAGE ARE
CONNECTED WITH ALUMINUM PAN
ROOF SYSTEM PERMITTED BY
ALUMINUM ENCLOSURE CONTRACTOR
AS NOTED ON SITE PLAN SHEET A-2.

7625 TARA LANE
JACKSONVILLE, FL 32216

F. RICHARD GRANT, PT RECD O/R 11805-955

R/E #: 136332-0000

BUILT BY:

ARTISAN HOME BUILDERS OF NORTHEAST FLORIDA, LLC.

A SUBSIDIARY OF

BRAUGHTON CONSTRUCTION, INC.

904-669-1109

CGC1524130

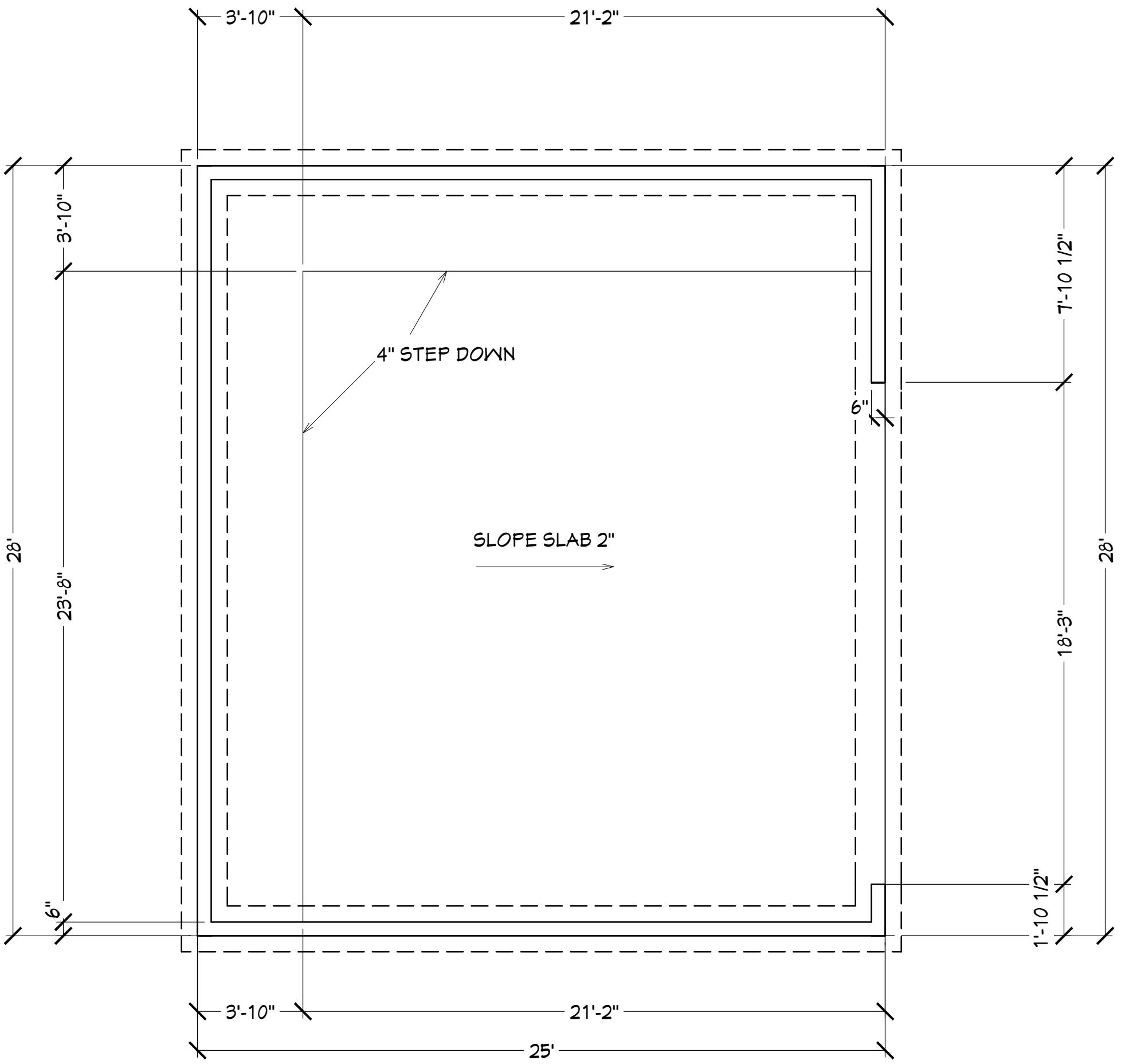
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PLAN # 2309	
CLIENT APPROVAL SIGNATURE	DATE
ROBERT REYNARD	
MELISSA REYNARD	
BUILT BY: EVOLUTION HOMES	
PROJECT DESCRIPTION: Future Home of the Reynard Family 7625 Tara Lane Jacksonville, FL 32216 R/E #: 136332-0000	
Design Drawings provided by: DESIGNS FOR LIVING, LLC RECREATIONAL, DESIGN & BUILD SINCE 1989 904-730-7135	DATE: 12/27/2016
SCALE: 1/4" = 1'-0"	
SHEET: A-13	

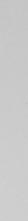
CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

FOUNDATION NOTES:

1. 2,500 MINIMUM PSI CONCRETE
 2. MONOLITHIC 12"X20" FOOTERS W/2-#5 RODS CONTINUOUS ON CHAIRS @ 6'-0" O.C. WITH 4" THICK INTEGRATED SLAB. BUILDER HAS THE OPTION TO DO FOOTER AND STEMWALL DUE TO SITE CONDITIONS
 3. LOT SLOPES TO SOME DEGREE
 4. FOUNDATION BACKFILLED WITH SANDY LOAM SOIL
 5. TERMITE TREATMENT IS BORACARE APPLIED TO THE STUDS

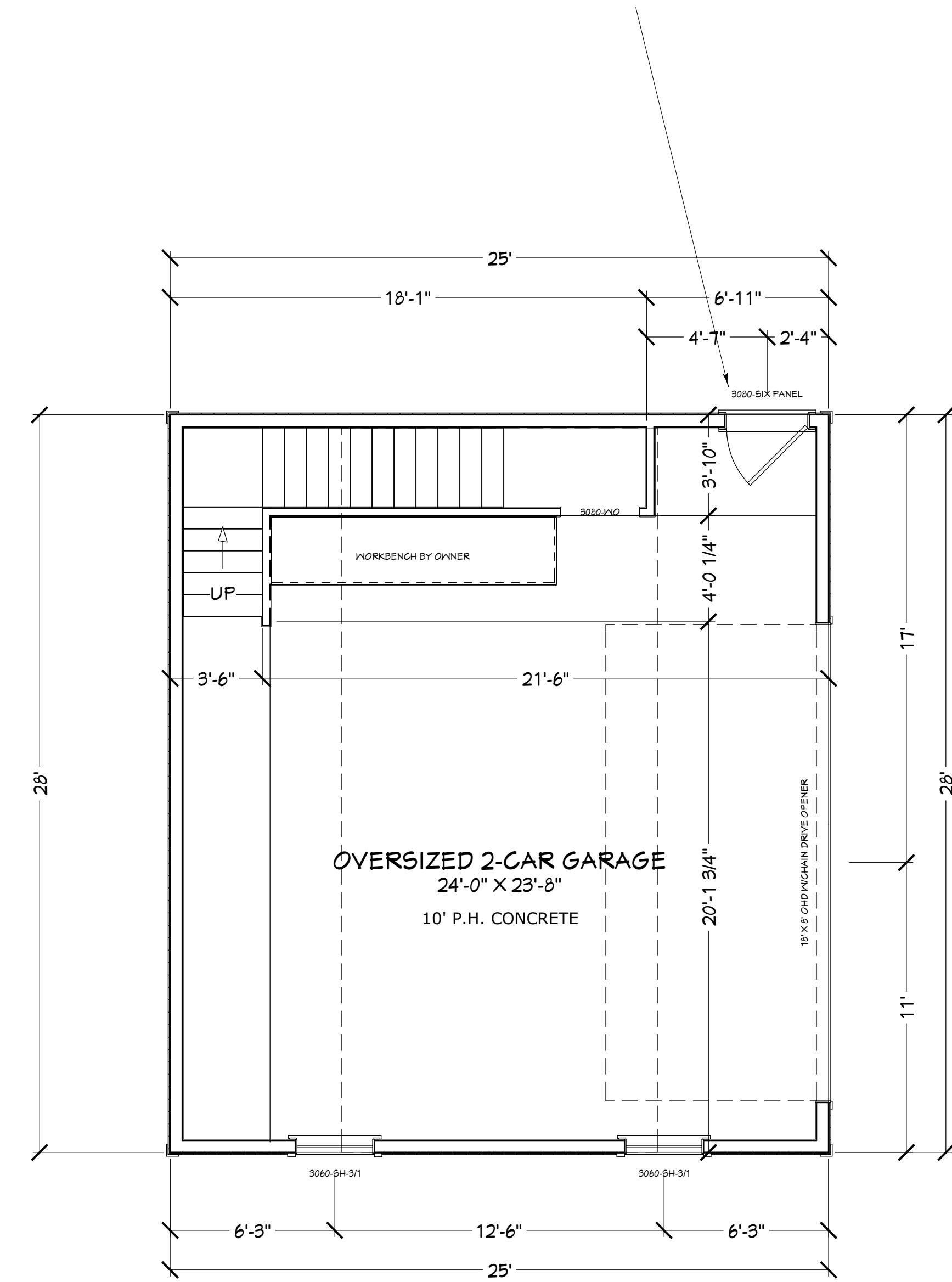


FOUNDATION PLAN

PROJECT DESCRIPTION:		Future Home of the Reynard Family	
Design Drawings provided by:		 DESIGNS <i>for</i> LIVING <small>LLC RESIDENTIAL DESIGN SINCE 1969</small> 904-730-7135	
DATE:		2/27/2016	
SCALE:		1/4" = 1'-0"	
SHEET:		A-14	
CLIENT APPROVAL SIGNATURE DATE:			
		ROBERT REYNARD	
		MELISSA REYNARD	
		904-669-1109 CGC1524130	

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

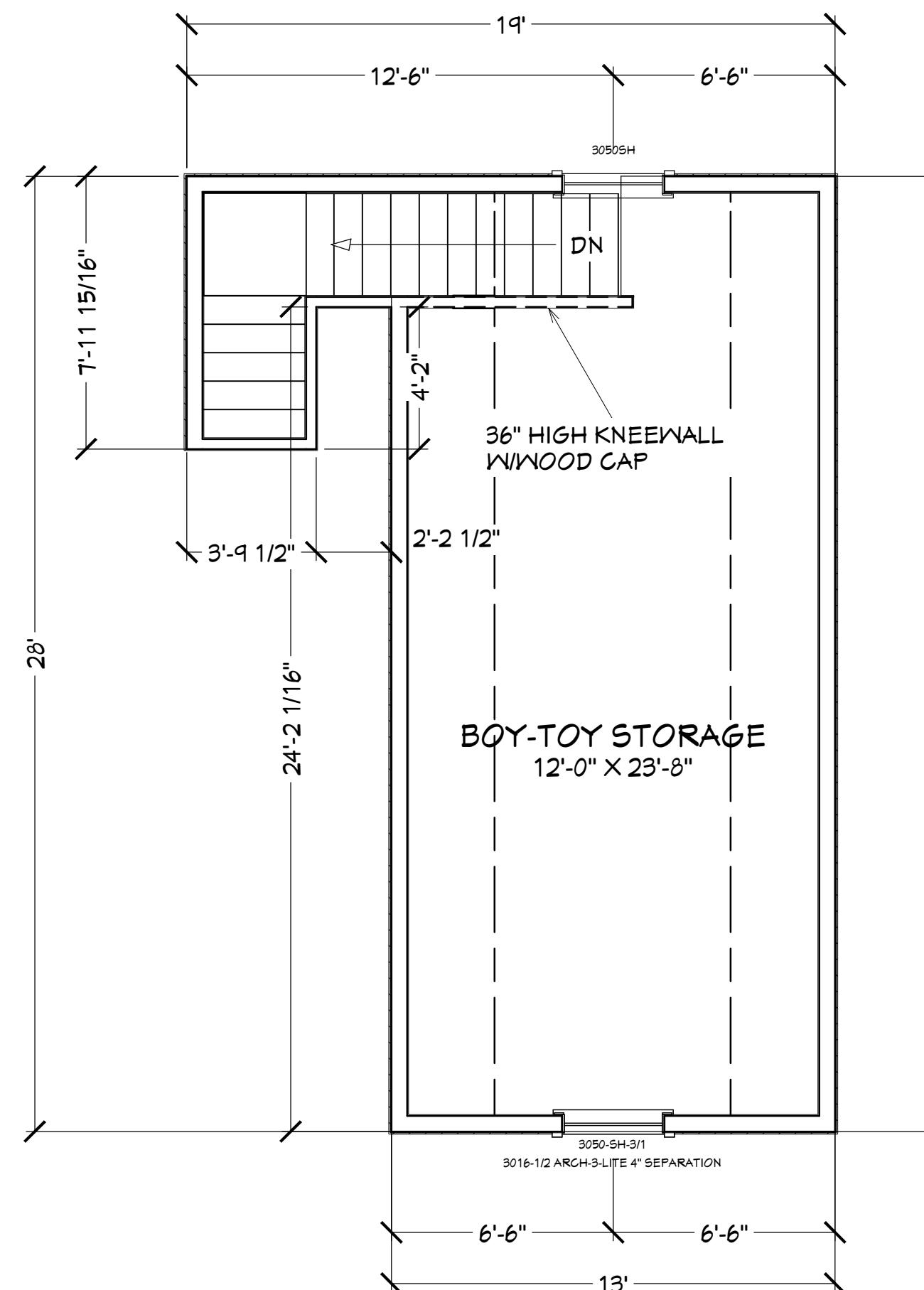
NOTE: HOUSE AND GARAGE ARE CONNECTED WITH ALUMINUM PAN ROOF SYSTEM PERMITTED BY ALUMINUM ENCLOSURE CONTRACTOR AS NOTED ON SITE PLAN SHEET A-2



1ST FLOOR PLAN

GENERAL NOTES:

1. OVERHEAD DOOR & OPENER ALLOWANCE: \$1,500.00
 2. ALUMINUM BREEZEWAY CONNECTOR (120 S.F.) TO THE HOME AND CONCRETE WALK ALLOWANCE: \$3,400.00
 3. THE ENTIRE INTERIOR IS TOTALLY UNFINISHED. THERE IS NO INSULATION, DRYWALL, TRIM, ETC. ON THE INSIDE OF THE GARAGE.
 4. THE EXTERIOR IS CEMENTIOUS HORIZONTAL LAP SIDING
 5. EXTERIOR WINDOW & DOOR TRIMS ARE HARDI-TRIMS
 6. ATTIC STORAGE AREA IS BUILT INTO THE TRUSSES USING ATTIC FRAME TRUSSES DECKED WITH 3/4" T&G DECKING
 7. FOUNDATION IS A MONOLITHIC FOOTER AND SLAB TYPE U.O.N.
 8. WALL & ROOF SHEATHING TO BE ZIP SYSTEM AT BUILDERS CHOICE



ATTIC STORAGE PLAN

FLOOR PLANS

ROOF NOTES: ROOF PITCH: 10/12

ATTIC FRAME TRUSSES

DECKING: 3/4" T&G GLUED & SCREWED

ROOF SHEATHING: 1/2" OSB

SOFFITS: VENTED WHITE BUILDER QUALITY SOFFITS

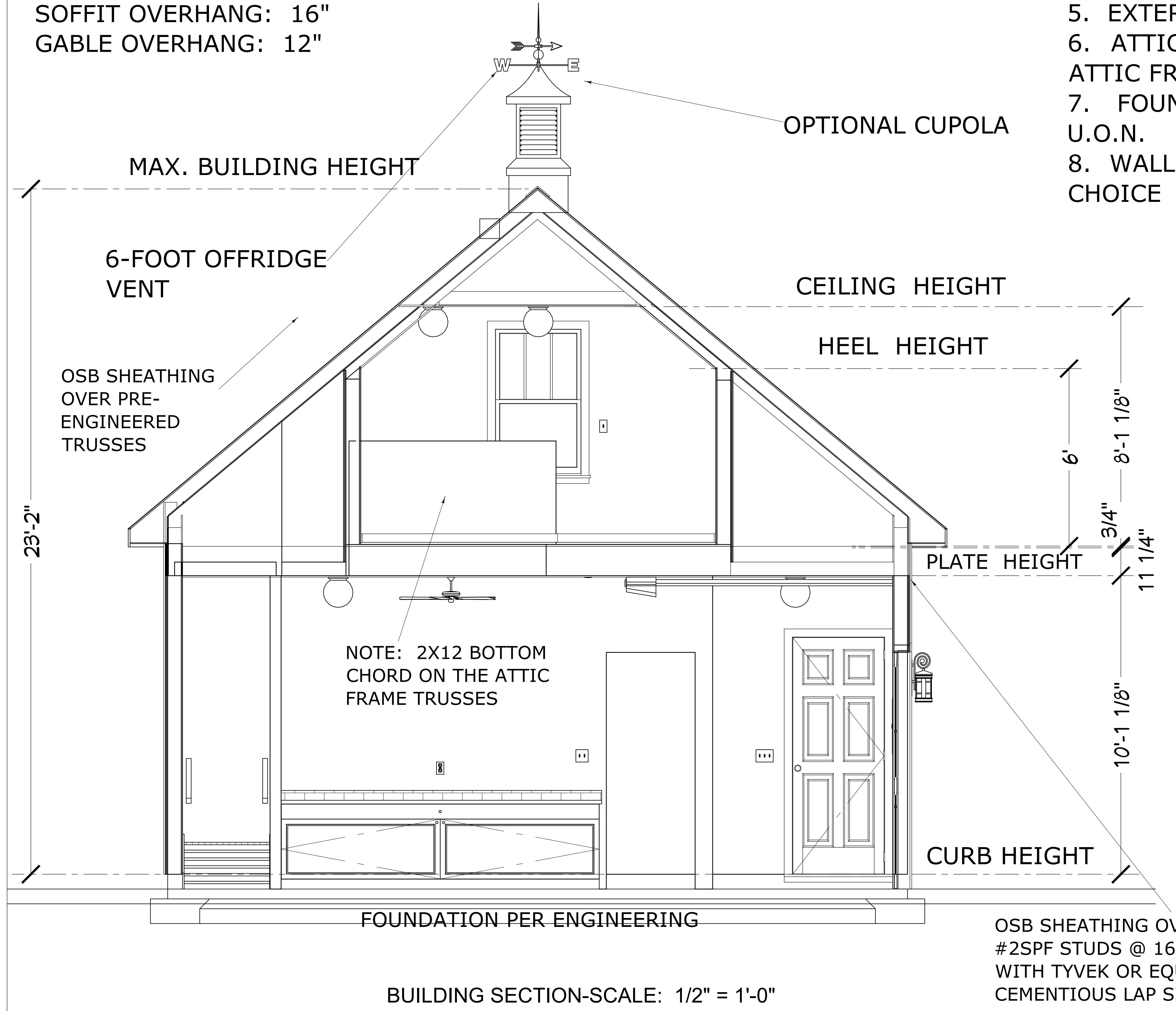
FASCIA: CPVC COATED ALUM OVER 2X6 SUB-FASCIA W/1X2 P.T. DRIP-PLUMB

CUT

ROOF: 30 YR ARCHITECTURAL FIBERGLASS

SOFFIT OVERHANG: 16

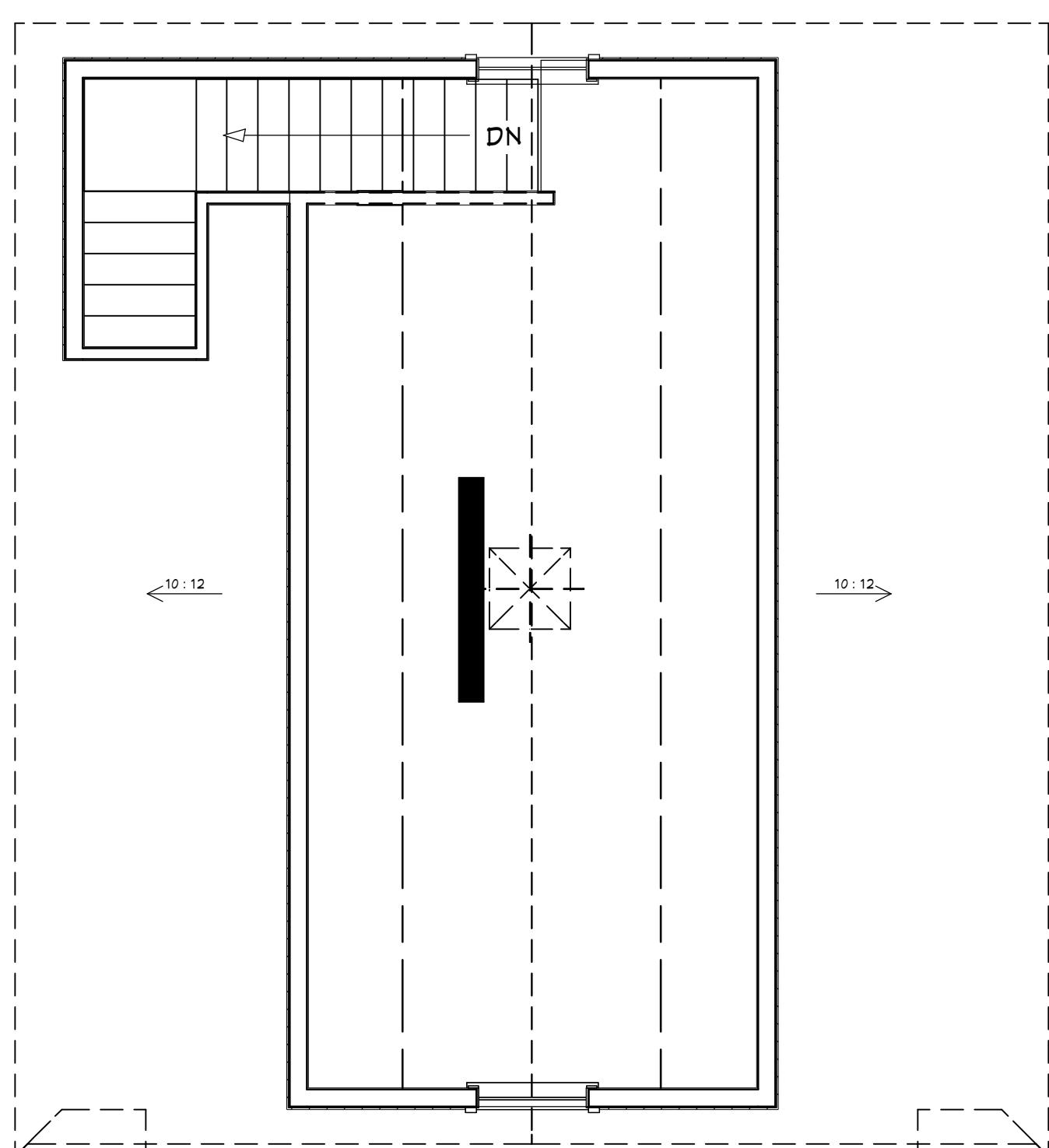
GABI F OVERHANG: 12"



GENERAL NOTES:

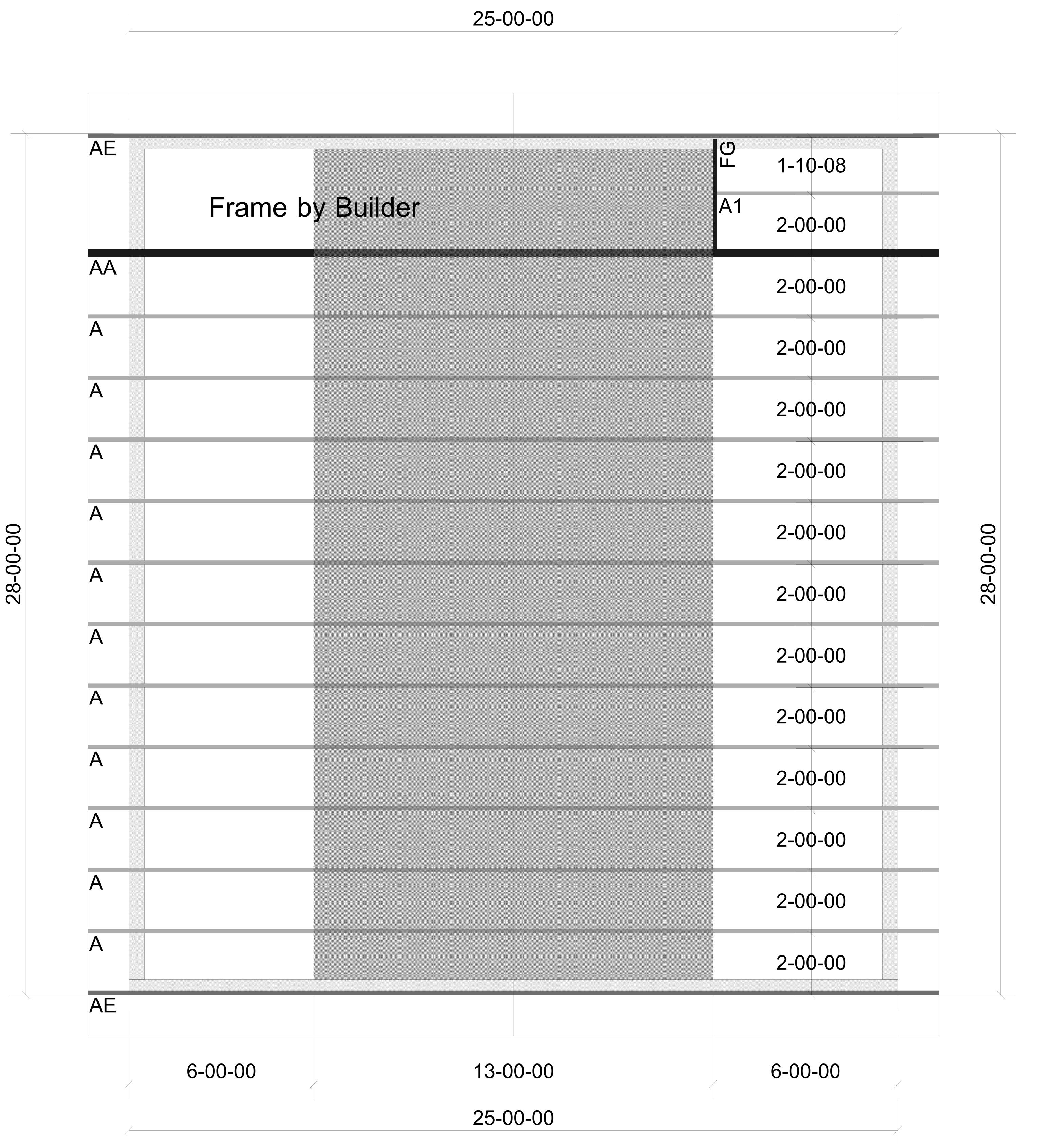
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 7. FOUNDATION IS A MONOLITHIC FOOTER AND SLAB TYPE U.O.N.
 8. WALL & ROOF SHEATHING TO BE ZIP SYSTEM AT BUILDERS CHOICE

WIND SPEED: 130 MPH
EXPOSURE: "B"



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ROOF PLAN & BUILDING SECTION



- Dimensions are in ft.-in.-16ths.
- Truss Labels are located near Painted end of truss

- Customer:** Braughton Construction

THIS IS A TRUSS PLACEMENT DIAGRAM ONLY. These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on

 - Brace Roof to stacking walls or walls that are supported by Beams. No additional loads may be applied to floor system.

Shop Drawing Approval

Designer: SB **Loading:** See engineering
Spacing: See engineering" o.c. **Quote #:** 16-101518G
Order #: 16-101518G

THIS LAYOUT IS THE SOLE SOURCE FOR FABRICATION OF TRUSSES AND VOIDS A
OTHER TRUSS LAYOUTS. REVIEW AND APPROVAL OF THIS LAYOUT MUST BE RECEI
BUILT. VERIFY ALL CONDITIONS TO INSURE AGAINST CHANGES THAT WILL RES

Approved

Date:

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Midway, GA 31320
Office: (912) 884-4094
Toll Free: (888) 789-8165
Fax: (912) 884-9506

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1001

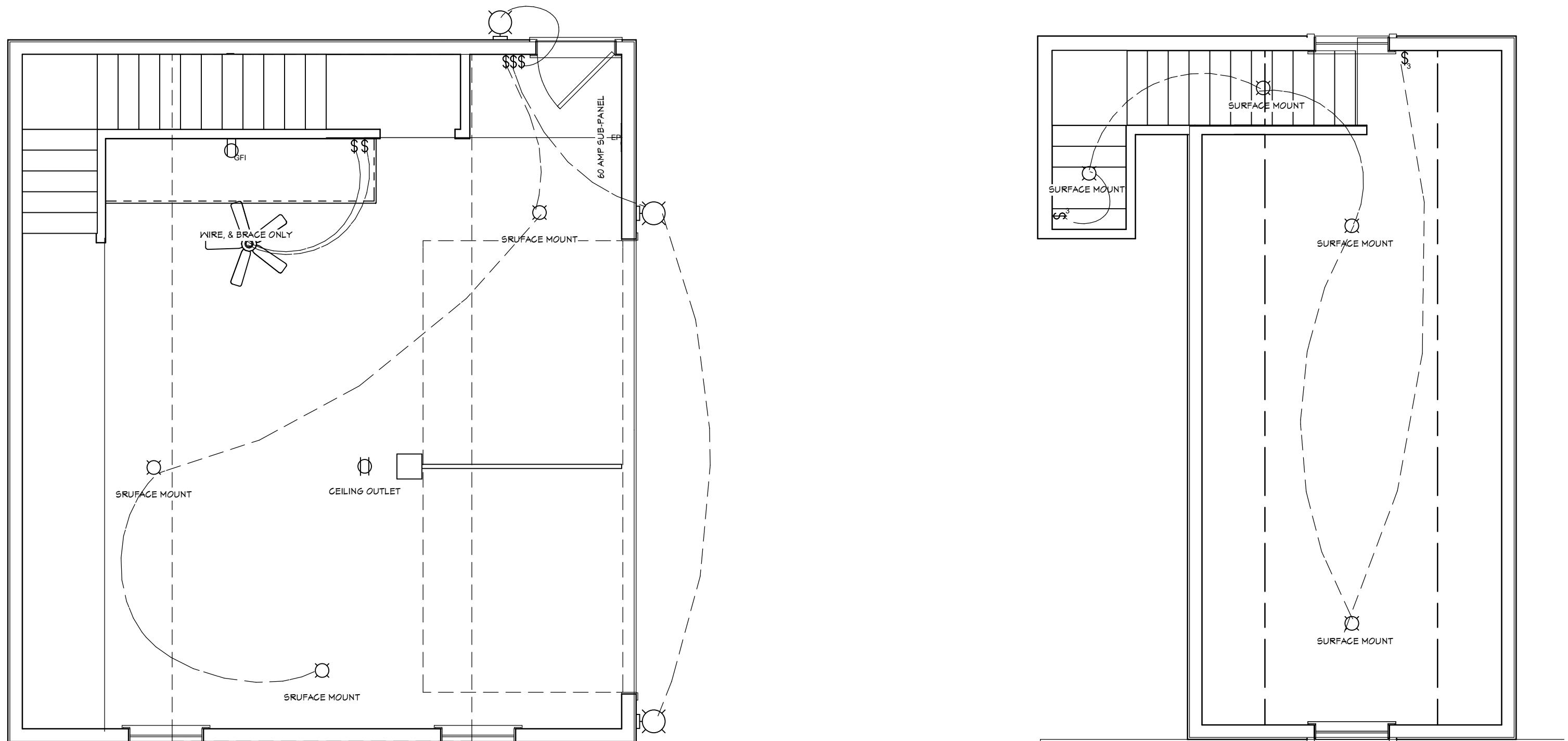
BUILT BY:  **EVOLUTION HOMES** 001 660 1100 CCC1531130

PLAN # 2309

GARAGE TRUSS LAYOUT

PER FBC-R-E3902.12 AFCI PROTECTION REQUIRED Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed AFCI, combination type.

PER FBC-R-E3901.7, NEC 210, E3901.7 & E3902.3 GFCI PROTECTION REQUIRED Bathrooms, garages, boathouses & accessory structures not intended as habitable rooms and limited to storage, work & similar uses. Outdoors, crawl spaces, unfinished basements, kitchen countertops. Outlets within 6 feet of laundry, utility or wet sinks. Balcony, deck or porch greater than 20 s.f. One at the front and back of the dwelling and at the condenser units.



EFFICACY NOTE: THE NEW FBC-R FBC EC R404.1 & R202 BUILDING CODE REQUIRES ALL INSIDE & OUTSIDE LIGHT FIXTURES WILL USE CFL OR LED LIGHT BULBS.

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

ELECTRICAL NOTES:

1. METER LOCATION TO BE DETERMINED BY JEA ENGINEER
2. PROPERTY HAS EXISTING DEEP WELL & PRIVATE SEPTIC
4. WATER HEATER IS 50 GAL ELECTRIC
5. SECURITY PRE-WIRE & TRIM BY ALLOWANCE
6. PRE-WIRE & TRIM FOR CAT5/TV PER PLANS BY ALLOWANCE
7. CONFIRM WITH OWNER ON STRUCTURED WIRING
8. ONE-200 AMP PANEL MAIN HOME & 60 AMP SUB-PANEL IN GARAGE
9. CONFIRM ALL ELECTRICAL W/OWNER PRIOR TO WIRING ANYTHING
10. CONFIRM THE SECONDARY SUB-PANEL LOCATION IN THE GARAGE

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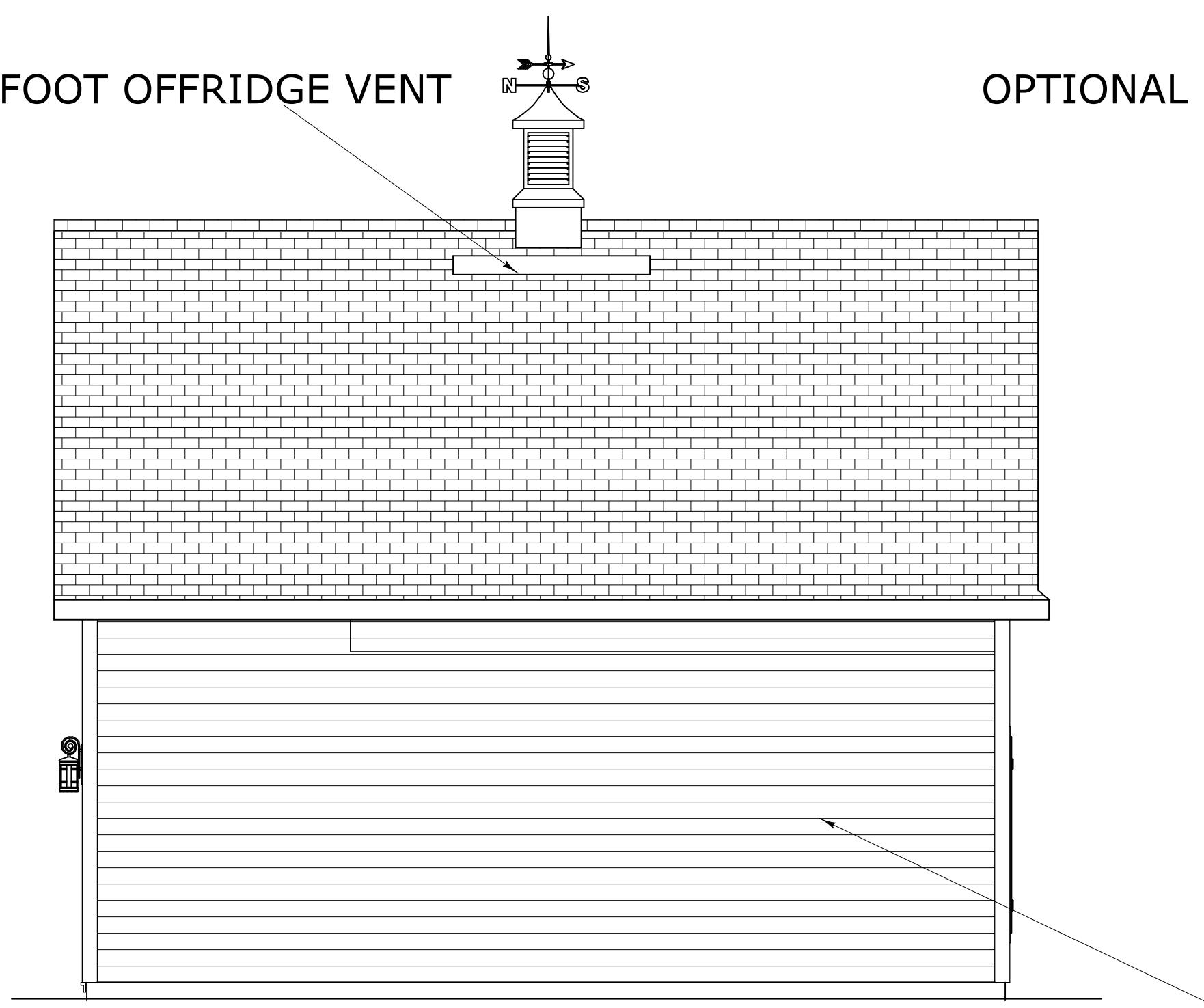
PROJECT DESCRIPTION:
Future Home of the Reynard Family
7625 Tara Lane
Jacksonville, FL 32216
R/E #: 136332-0000

Design Drawings
provided by:

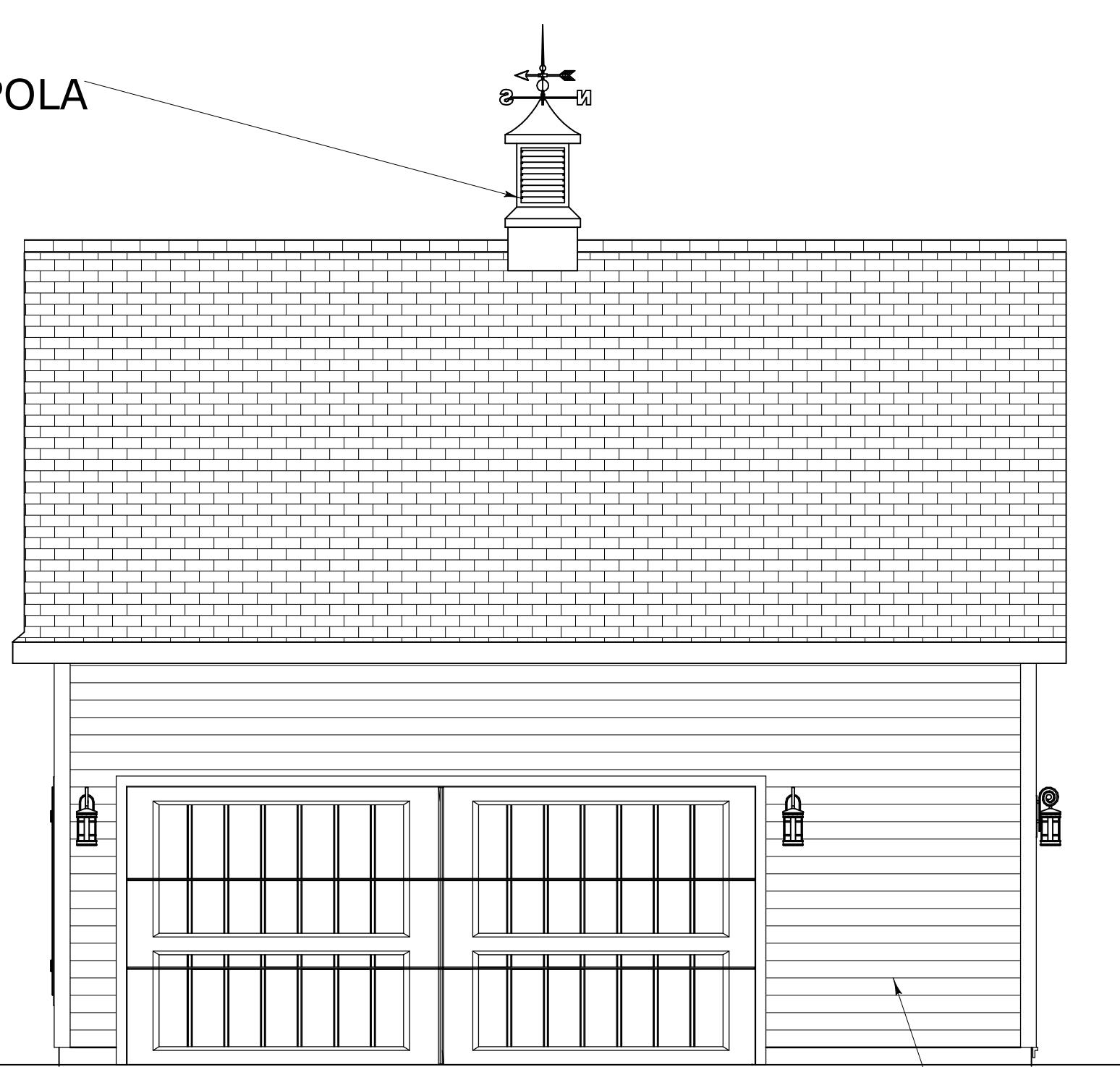
DATE:
12/27/2016

SCALE:
1/4" = 1'-0"

SHEET:
A-18

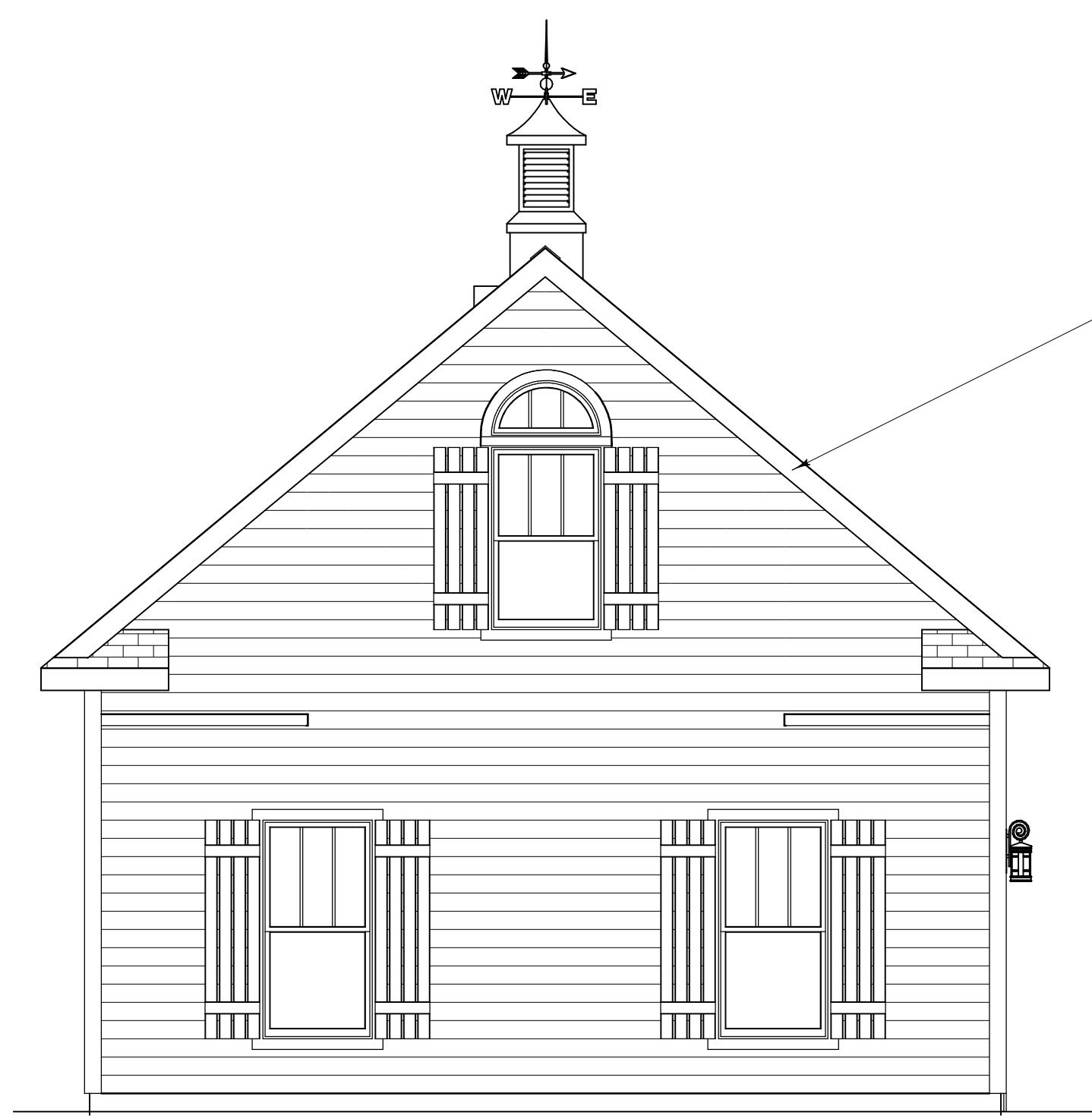


LEFT ELEVATION

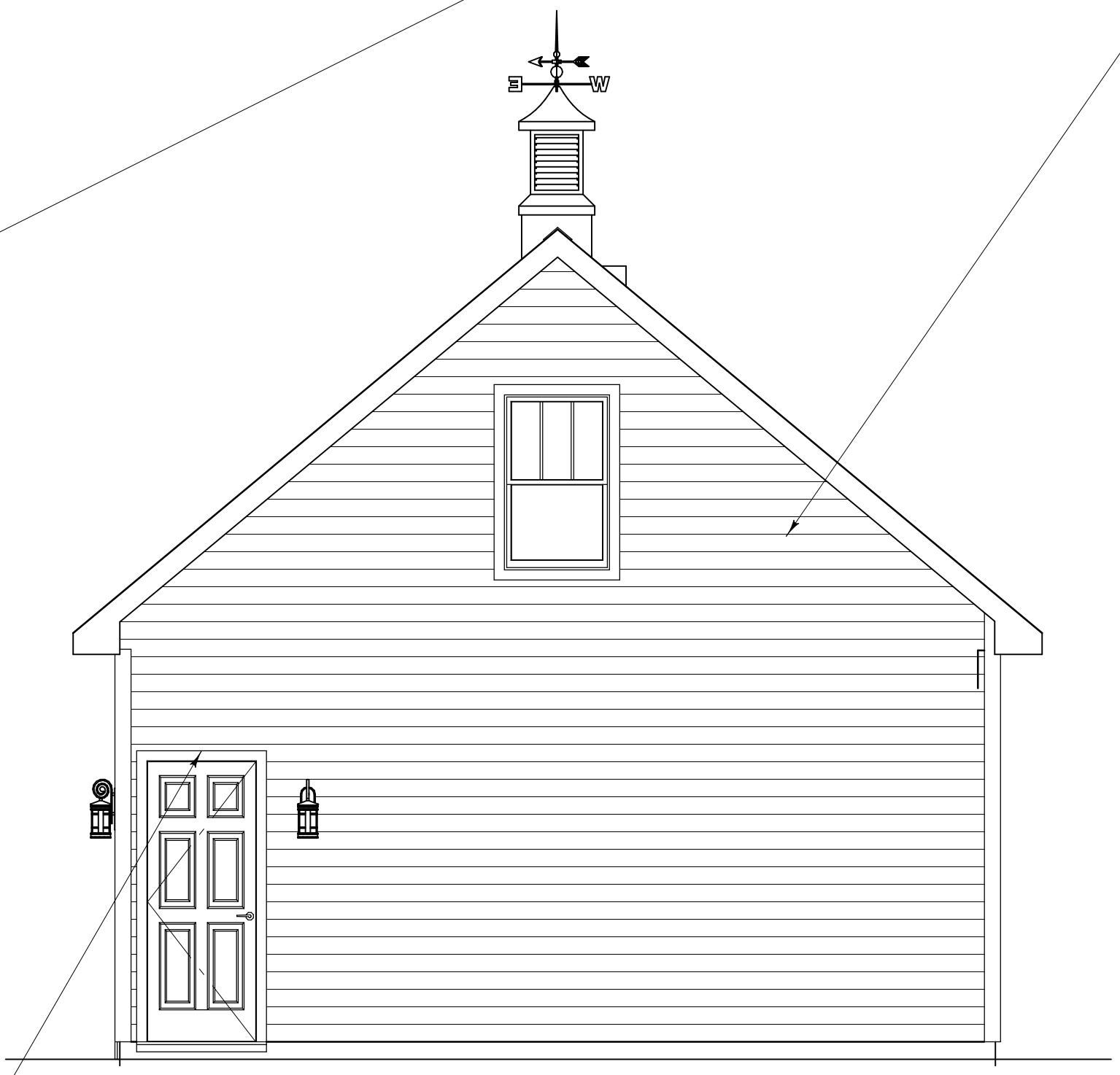


RIGHT ELEVATION

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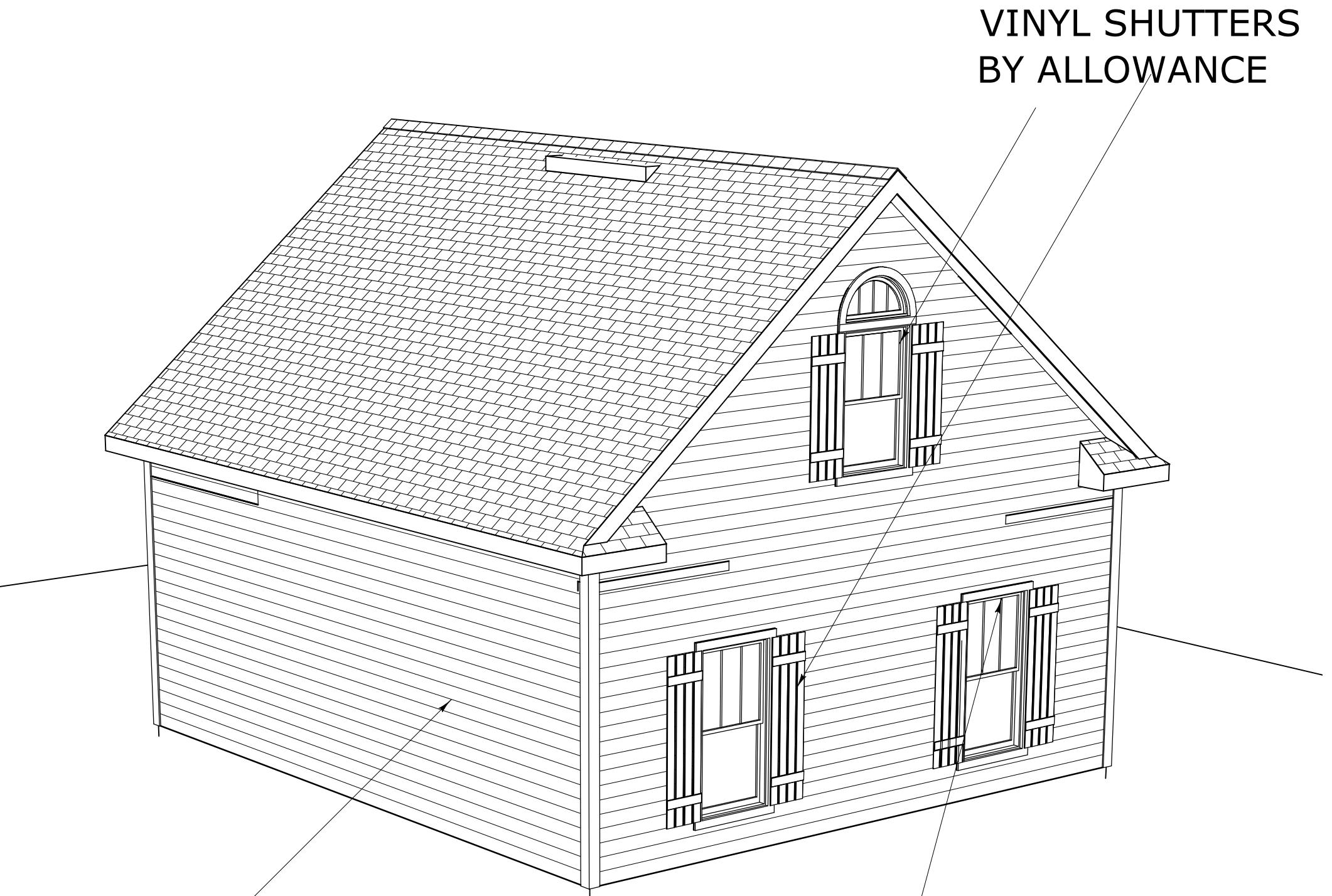


FRONT ELEVATION

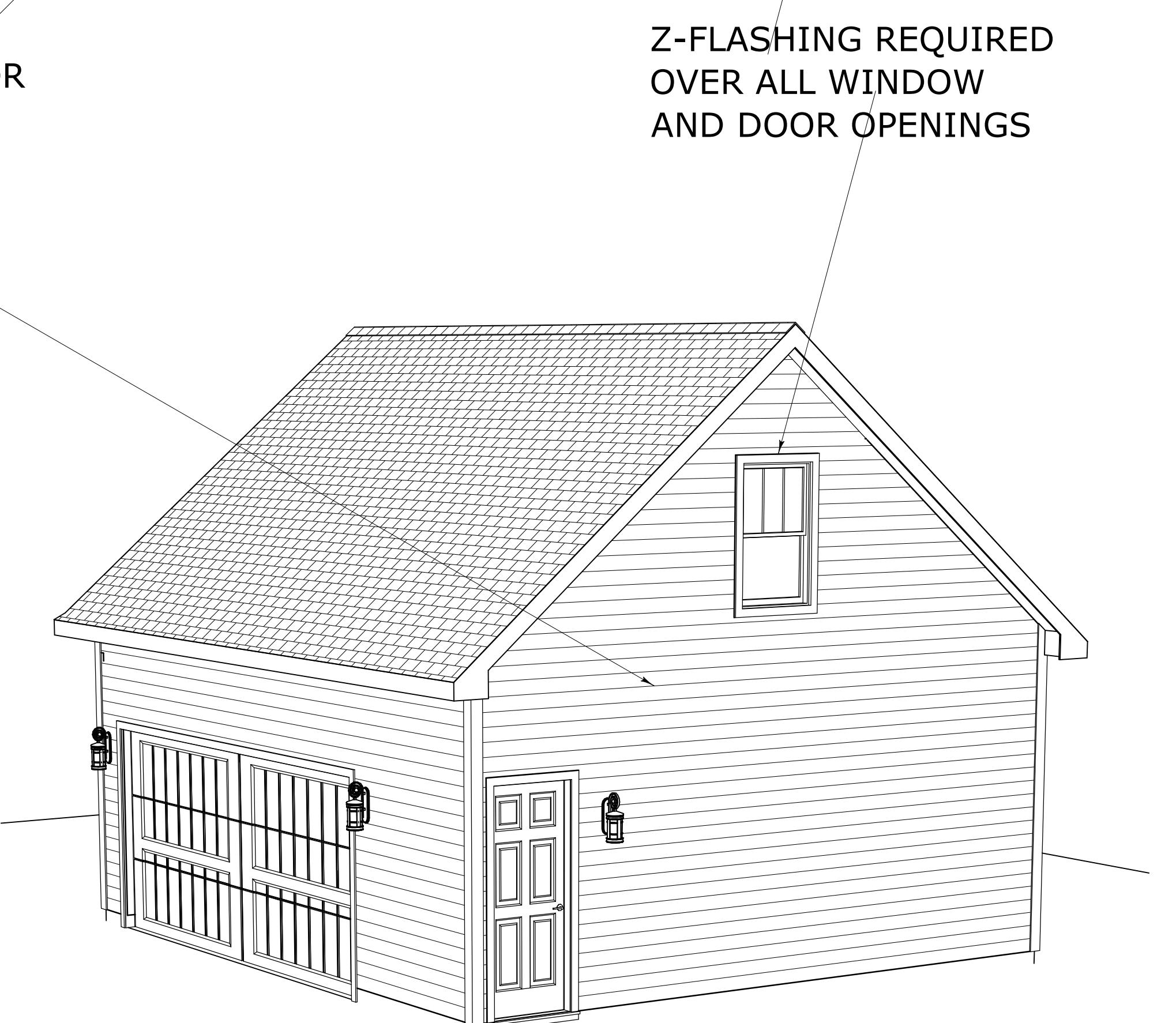


REAR ELEVATION

NOTE: HOUSE AND GARAGE ARE CONNECTED WITH ALUMINUM PAN ROOF SYSTEM PERMITTED BY ALUMINUM ENCLOSURE CONTRACTOR AS NOTED ON SITE PLAN SHEET A-2.



VINYL SHUTTERS BY ALLOWANCE

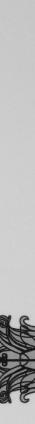


**Z-FLASHING REQUIRED
OVER ALL WINDOW
AND DOOR OPENINGS**

**CEMENTIOUS LAP
SIDING OVER TYVEK OR
EQUALOVER 1/2" OSB
ON 2X6 #2SPF STUDS
@ 16" O.C.**

ELEVATIONS & ORTHOGRAPHIC VIEWS

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PLAN #		
2309		
CLIENT APPROVAL SIGNATURE	DATE	
ROBERT REYNARD		
BUILT BY: 		
PROJECT DESCRIPTION: Future Home of the Reynard Family 7625 Tara Lane Jacksonville, FL 32216 R/E #: 136332-0000 , DESIGNS for LIVING LLC <small>RESIDENTIAL DESIGN SINCE 1969</small> 904-730-7135		
DATE:	12/27/2016	
SCALE:	1/4" = 1'-0"	
SHEET:	A-19	