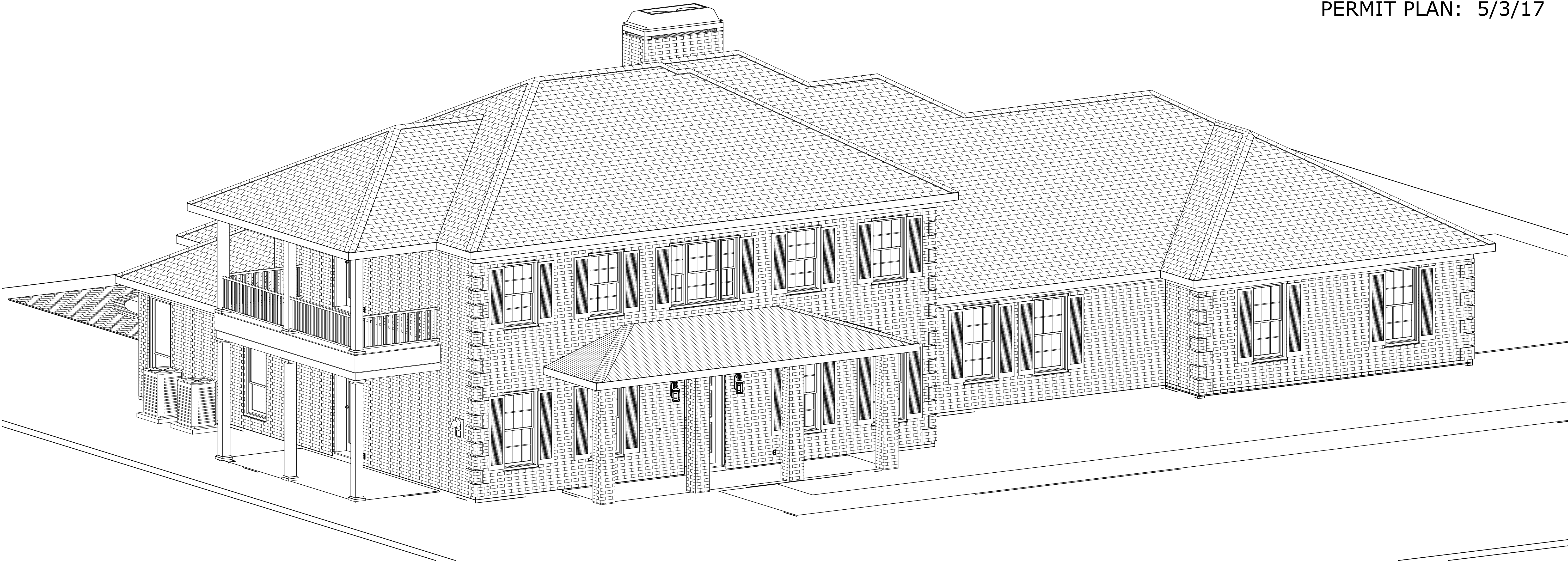


NEW HOME FOR THE ROCHAY FAMILY

PERMIT PLAN: 5/3/17



SAWTOOTH RIDGE ROAD
CALLAHAN, FL 32011
R/E #: 33-3N-25-0000-0002-0020
BUILT BY:
FGC, INC.
830-13 A1A NORTH, SUITE 169
PONTE VEDRA BEACH, FL 32082
904-537-3236
CGC1506231

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PLAN #
4597

CLIENT APPROVAL SIGNATURE	DATE
HOWARD ROCHAY	
TAMMY ROCHAY	

BUILT BY: FGC, INC.
904-537-3236
CGC1506231
830-13 A1A NORTH
PONTE VEDRA BEACH, FL
32082

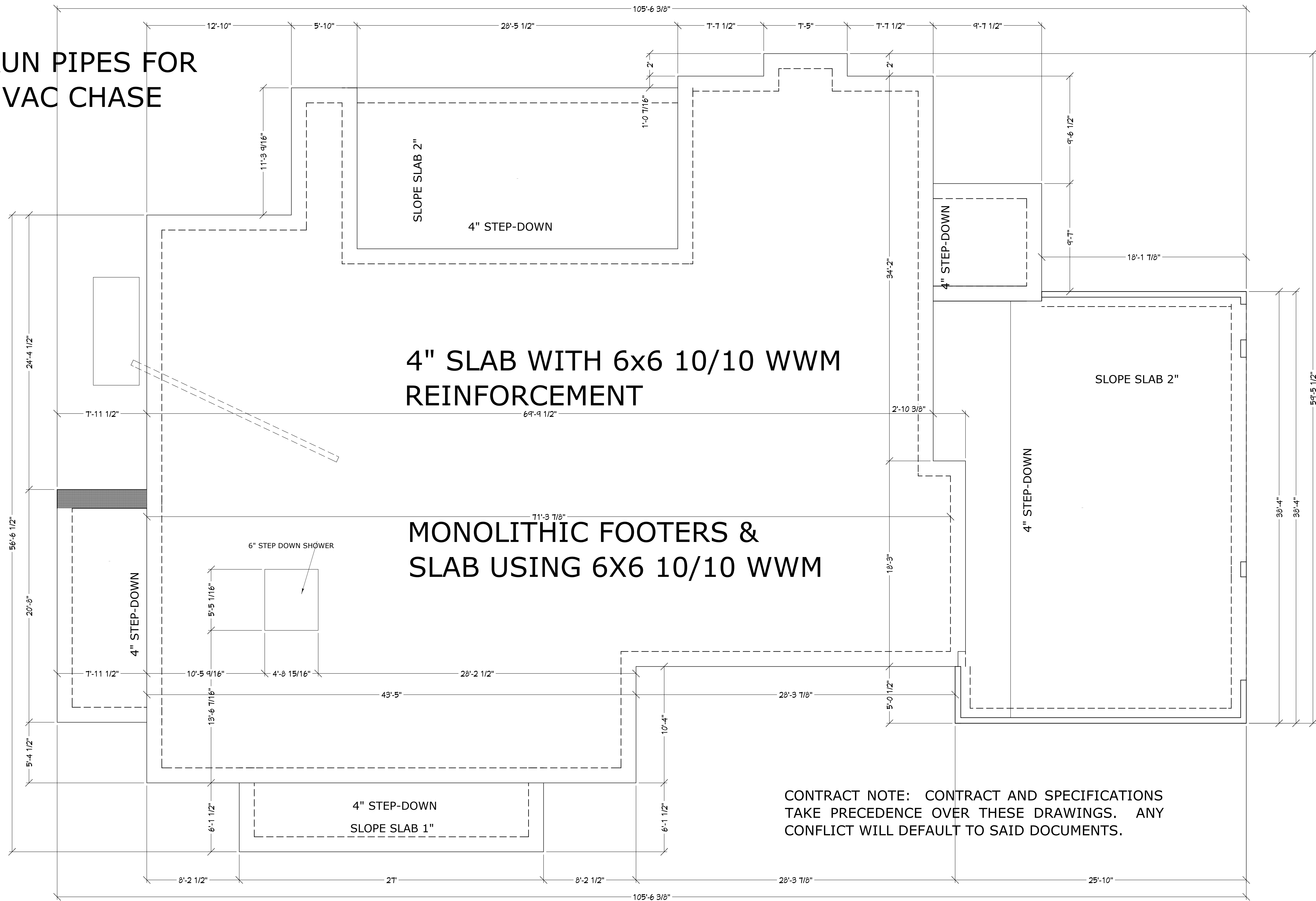
PROJECT DESCRIPTION:
FUTURE HOME OF THE ROCHAY FAMILY
SAWTOOTH RIDGE ROAD
CALLAHAN, FL 32011
R/E #: 33-3N-25-0000-0002-0020

Design Drawings
provided by:

DESIGNS for LIVING, LLC
RESIDENTIAL DESIGN SINCE 1999
904-730-7135

DATE:
5/2/2017
SCALE:
N.T.S
SHEET:
A-1

RUN PIPES FOR HVAC CHASE



INSTALL CHASES FOR ISLANDS AND FLOOR PLUGS AS REQUIRED

ENGINEERS DETAILS TAKE PRECEDENCE OVER THESE!

FOUNDATION PLAN

PLAN #
4597

	HOWARD ROCHAY	
	TAMMY ROCHAY	

BUILT BY: FGC, INC.
904-537-3236
CGC1506231
830-13 A1A NORTH
PONTE VEDRA BEACH,
32082

PROJECT DESCRIPTION:
FUTURE HOME OF THE ROCHAY FAMILY
SAWTOOTH RIDGE ROAD
CALLAHAN, FL 32011
R/E #: 33-3N-25-0000-0002-0020

Drawings
and by:

DESIGNS *for* LIVING
RESIDENTIAL DESIGN SINCE 1969

904-730-7135

DATE:

5/2/2017

SCALE:

1/4" = 1'-0"	
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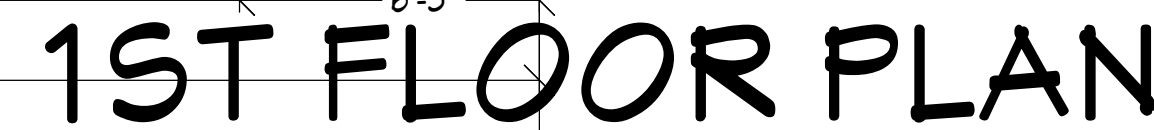
HEET:

A-3

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1. WALLS 6" CORE ICF
2. PROVIDE SOUND BATTS IN ALL BEDROOMS, BATHROOMS AND LAUNDRY
3. ATTIC INSULATION TO BE 5.5" OPEN CELL FOAM WITH IGNITION BARRIER
4. KNEEWALL ATTIC INSULATION TO BE 5.5" OPEN CELL FOAM

FOOTAGES (A.N.S.I.):	
ENTRY:	175.51
3-CAR GARAGE:	974.98
COVERED PORCH:	394.98
SIDE PORCH:	172.20
1ST FLOOR HEATED:	3,453.01
2ND FLOOR HEATED:	1,144.40
TOTAL HEATED:	4,597.41
FIREPLACE:	13.34
DRIP-THRU BALCONY:	105.56
EQUIPMENT AREA:	100.00
SLAB EXTENSIONS:	49.65
SLAB AREA:	5,329.67
UNDER ROOF:	6,533.98

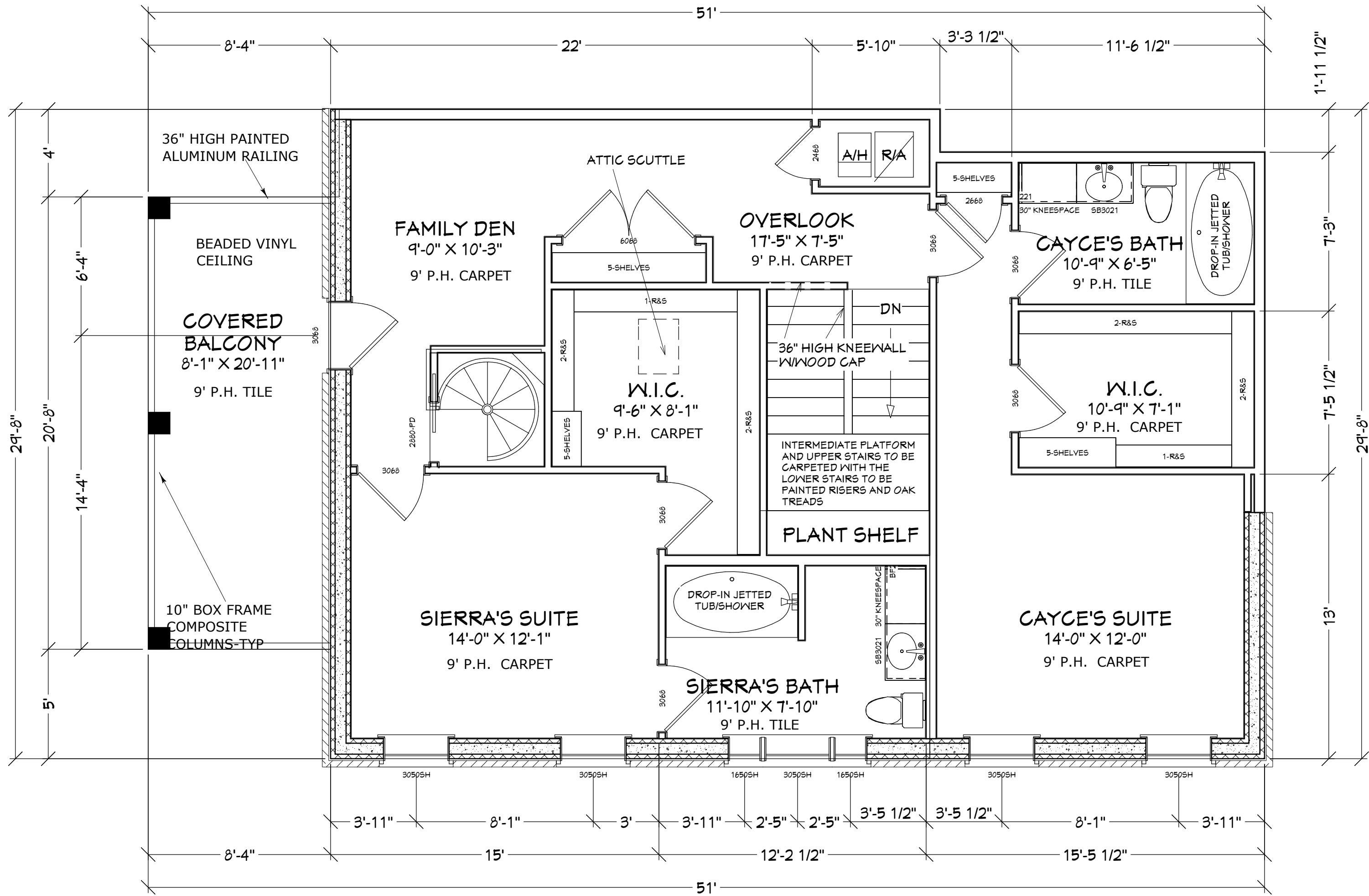


SHEET:

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R302.7 Under-stair protection. Enclosed accessible space under stairs shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2-inch (12.7 mm) gypsum board.

STAIR NOTES. Lower stairs to have painted risers



SECTION R310
EMERGENCY ESCAPE AND RESCUE OPENINGS

R310.1 Emergency escape and rescue required. Basements, habitable attics and every sleeping room shall have at least one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, emergency egress and rescue openings shall be required in each sleeping room. Where emergency escape and rescue openings are provided they shall have a sill height of not more than 44 inches (1118 mm) above the floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with Section R310.3. The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. Emergency escape and rescue openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with Section R310.2. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.

Exceptions:

1. Basements used only to house mechanical equipment and not exceeding total floor area of 200 square feet (18.58 m2).
2. The emergency escape and rescue opening shall be permitted to open into a screen enclosure, open to the atmosphere, where a screen door is provided leading away from the residence.

R310.1.1 Minimum opening area.

All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m2).

Exception:

Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465 m2).

R310.1.2 Minimum opening height.

The minimum net clear opening height shall be 24 inches (610 mm).

R310.1.3 Minimum opening width.

The minimum net clear opening width shall be 20 inches (508 mm).

R310.1.4 Operational constraints.

Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys, tools or special knowledge.

R302.12 Draftstopping. In combustible construction where there is usable space both above and below the concealed space of a floor/ceiling assembly, draftstops shall be installed so that the area of the concealed space does not exceed 1,000 square feet (92.4 m2). Draftstopping shall divide the concealed space into approximately equal areas. Where the assembly is enclosed by a floor membrane above and a ceiling membrane below, draftstopping shall be provided in floor/ceiling assemblies under the following circumstances:

1. Ceiling is suspended under the floor framing.
2. Floor framing is constructed of truss-type open-web or perforated members.

R302.12.1 Materials. Draftstopping materials shall not be less than 1/2-inch (12.7 mm) gypsum board, 3/8-inch (9.5 mm) wood structural panels or other approved materials adequately supported. Draftstopping shall be installed parallel to the floor framing members unless otherwise approved by the building official. The integrity of the draftstops shall be maintained

R302.11 Fireblocking.

In combustible construction, fireblocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space.

Fireblocking shall be provided in wood-frame construction in the following locations:

1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:
 - 1.1. Vertically at the ceiling and floor levels.
 - 1.2. Horizontally at intervals not exceeding 10 feet (3048 mm).
2. At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
3. In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7.
4. At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion. The material filling this annular space shall not be required to meet the ASTM E 136 requirements.
5. For the fireblocking of chimneys and fireplaces, see Section R1003.19.
6. Fireblocking of cornices of a two-family dwelling is required at the line of dwelling unit separation.

INSULATION NOTES:

1. WALLS 6" CORE ICF, EXCEPT FRAMED WALLS TO BE 5.5" OPEN CELL FOAM
2. PROVIDE SOUND BATTS IN ALL BEDROOMS, BATHROOMS AND LAUNDRY
3. ATTIC INSULATION TO BE 5.5" OPEN CELL FOAM WITH IGNITION BARRIER
4. KNEEWALL ATTIC INSULATION TO BE 5.5" OPEN CELL FOAM

NOTE: ALL DOORS TO BE LOW-E, VINYL, IMPACT RESISTENT AND COMPLY WITH 2014 FBC-RESIDENTIAL. SEE MANUFATURER'S SPECIFICATIONS

NOTE: WINDOWS TO BE PGT OR EQUAL, LOW-E, VINYL, IMPACT RESISTENT AND COMPLY WITH 2014 FBC-RESIDENTIAL. SEE MANUFATURER'S SPECIFICATIONS

2ND FLOOR PLAN

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PLAN #
4597

CLIENT APPROVAL SIGNATURE

DATE

HOWARD ROCHAY

TAMMY ROCHAY

BUILT BY: FGC, INC.
904-537-3236
CGC1506231
830-13 A1A NORTH
PONTE VEDRA BEACH, FL
32082

PROJECT DESCRIPTION:

FUTURE HOME OF THE ROCHAY FAMILY
SAWTOOTH RIDGE ROAD
CALLAHAN, FL 32011
R/E #: 33-3N-25-0000-0002-0020

Design Drawings
provided by:

DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGNER SINCE 1999
904-730-7135

DATE:

5/2/2017

SCALE:

1/4" = 1'-0"

SHEET:

A-5

ALL WINDOWS & DOORS
TO BE IMPACT RATED

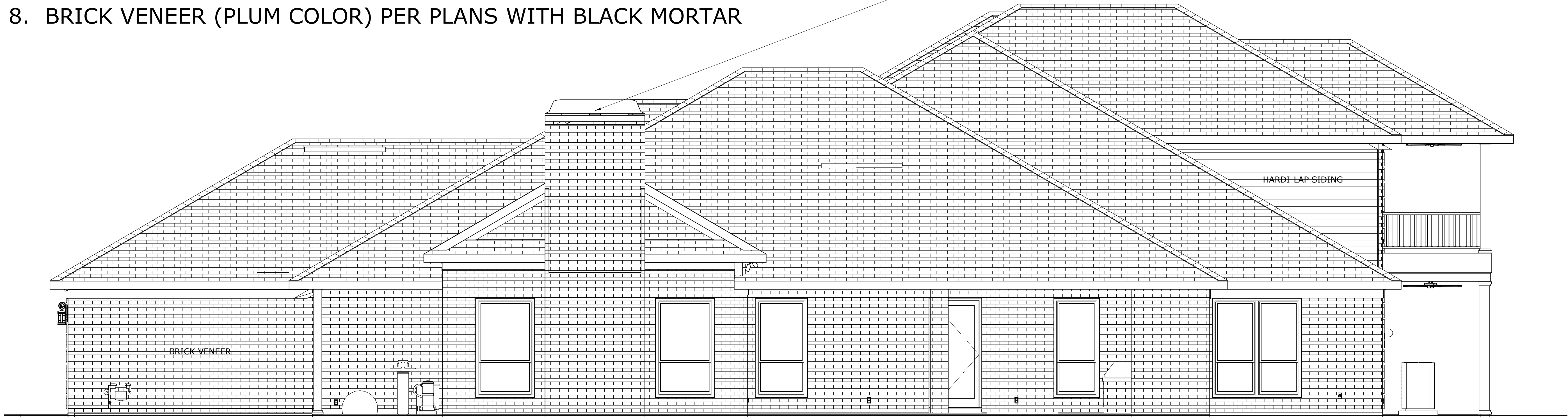
CONTRACT NOTE: CONTRACT AND
SPECIFICATIONS TAKE PRECEDENCE
OVER THESE DRAWINGS. ANY CONFLICT
WILL DEFAULT TO SAID DOCUMENTS.



FRONT ELEVATION

- EXTERIOR NOTES:
- 1. CEMENTIOUS LAP SIDING EXTERIOR WHERE BRICK CANNOT BE DONE BY CODE
 - 2. 6" CONCRETE CORE ICF CONSTRUCTION (U.O.N.)
 - 3. HOUSE SOFFITS: BEADED NON-VENTED WHITE VINYL
 - 4. SHINGLES LIFETIME ARCHITECTURAL FIBERGLASS OVER SYNTHETIC FELT (U.O.N.)
 - 5. WINDOWS VINYL LOW-E MUTTONS PER PLAN
 - 6. GARAGE SOFFITS: BEADED VENTED VINYL
 - 7. PLUMB CUT FASCIA
 - 8. BRICK VENEER (PLUM COLOR) PER PLANS WITH BLACK MORTAR

R1003.9 Termination.
Chimneys shall extend at least 2 feet (610 mm) higher than any portion of a building within 10 feet (3048 mm), but shall not be less than 3 feet (914 mm) above the highest point where the chimney passes through the roof.



REAR ELEVATION

FRONT/REAR ELEVATIONS

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PLAN #
4597

CLIENT APPROVAL SIGNATURE DATE

HOWARD ROCHAY

TAMMY ROCHAY

BUILT BY: FGC, INC.
904-537-3236
CGC1506231
830-13 A1A NORTH
PONTE VEDRA BEACH, FL
32082

PROJECT DESCRIPTION:
FUTURE HOME OF THE ROCHAY FAMILY
SAWTOOTH RIDGE ROAD
CALLAHAN, FL 32011
R/E #: 33-3N-25-0000-0002-0020

Design Drawings
provided by:
DESIGNS for LIVING, LLC
RESIDENTIAL DESIGNER SINCE 1998
904-730-7135

DATE:
5/2/2017

SCALE:
1/4" = 1'-0"

SHEET:
A-6

ALL WINDOWS & DOORS
TO BE IMPACT RATED

R1003.9 Termination.

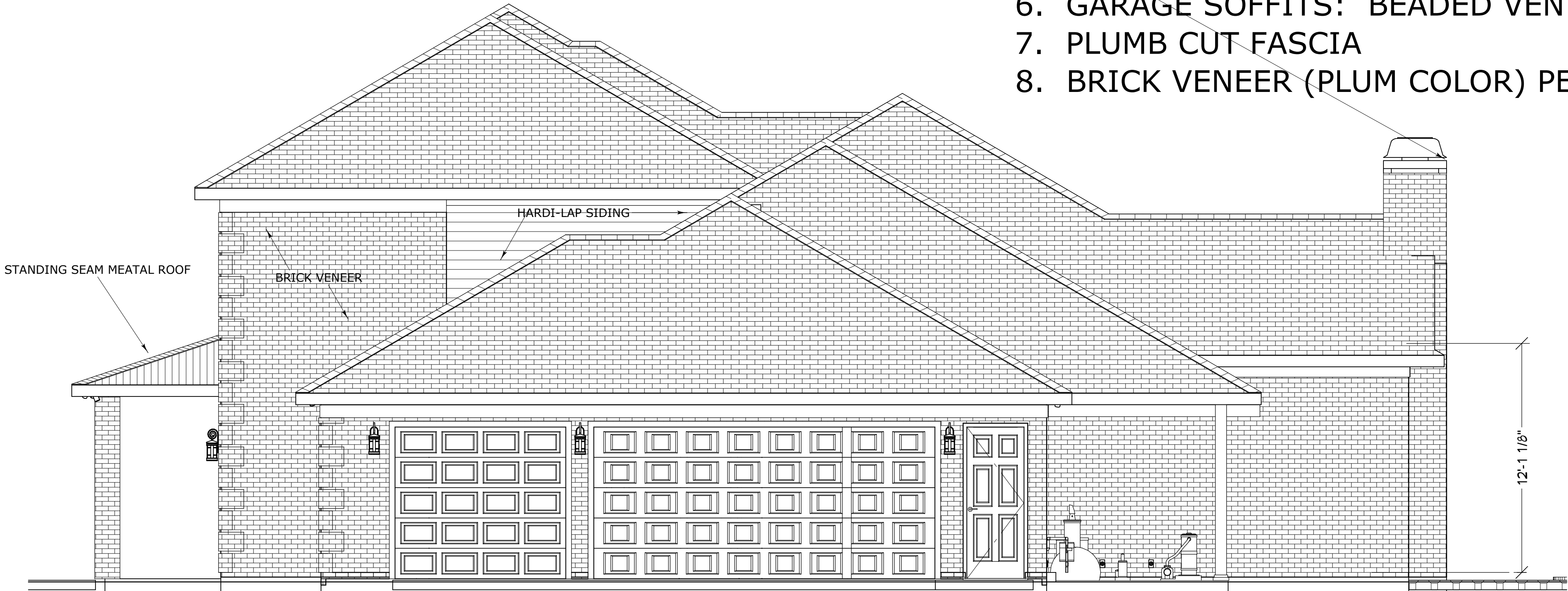
Chimneys shall extend at least 2 feet (610 mm) higher than any portion of a building within 10 feet (3048 mm), but shall not be less than 3 feet (914 mm) above the highest point where the chimney passes through the roof.



LEFT ELEVATION

EXTERIOR NOTES:

1. CEMENTIOUS LAP SIDING EXTERIOR WHERE BRICK CANNOT BE DONE BY CODE
2. 6" CONCRETE CORE ICF CONSTRUCTION (U.O.N.)
3. HOUSE SOFFITS: BEADED NON-VENTED WHITE VINYL
4. SHINGLES LIFETIME ARCHITECTURAL FIBERGLASS OVER SYNTHETIC FELT (U.O.N.)
5. WINDOWS VINYL LOW-E MUTTONS PER PLAN
6. GARAGE SOFFITS: BEADED VENTED VINYL
7. PLUMB CUT FASCIA
8. BRICK VENEER (PLUM COLOR) PER PLANS WITH BLACK MORTAR



RIGHT ELEVATION

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

SIDE ELEVATIONS

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PLAN #
4597

CLIENT APPROVAL SIGNATURE	DATE
HOWARD ROCHAY	
TAMMY ROCHAY	

BUILT BY: FSC, INC.
904-537-3236
CGC1506231
830-13 AIA NORTH
PONTE VEDRA BEACH, FL
32082

PROJECT DESCRIPTION:
FUTURE HOME OF THE ROCHAY FAMILY
SAWTOOTH RIDGE ROAD
CALLAHAN, FL 32011
R/E #: 33-3N-25-0000-0002-0020

Design Drawings
provided by:
DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN SINCE 1999
904-730-7135

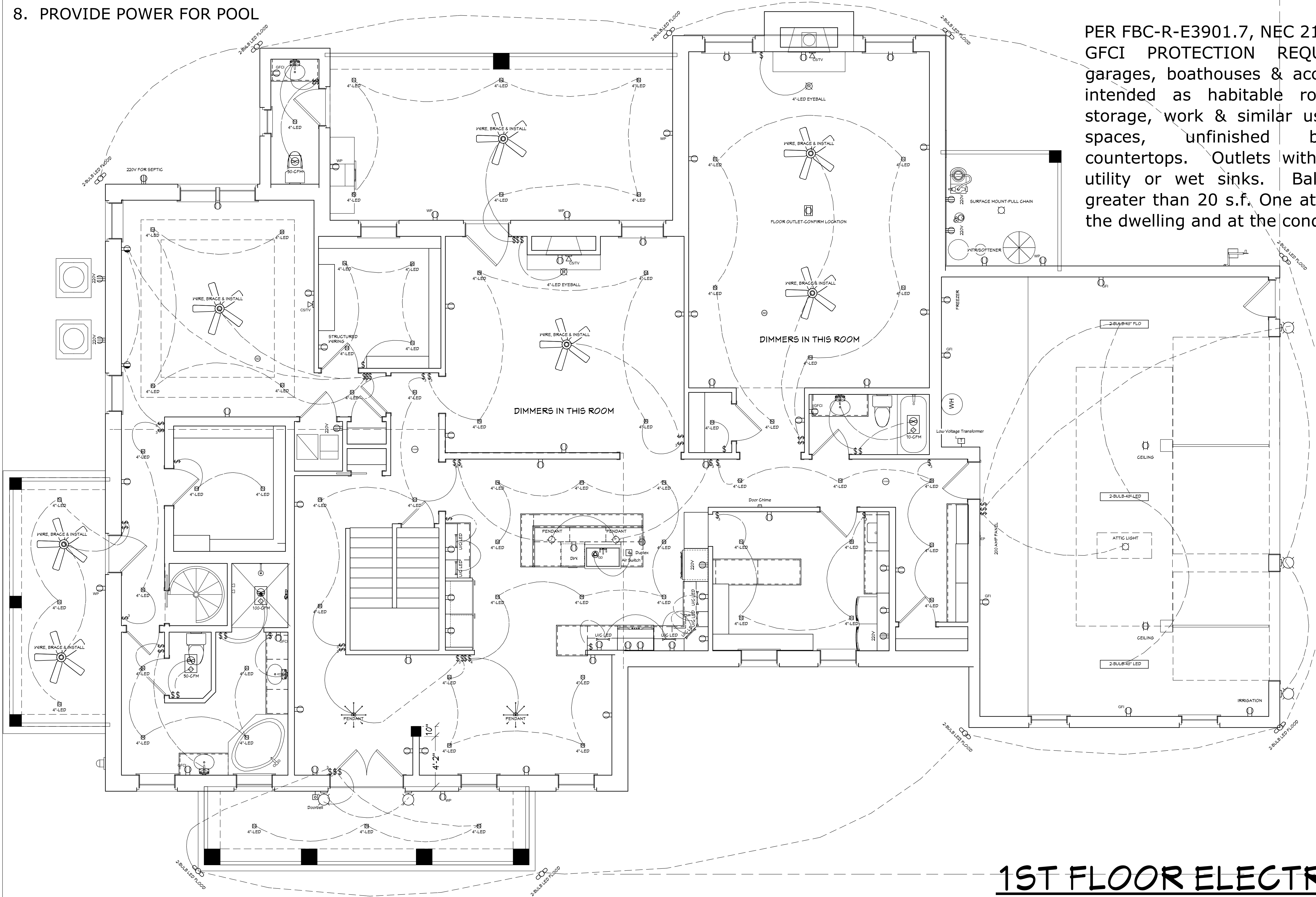
DATE:
5/2/2017
SCALE:
1/4" = 1'-0"
SHEET:
A-7

- ELECTRICAL NOTES:
- 1. 200 AMP MINIMUM SERVICE
 - 2. CONFIRM ELECTRICAL WITH CONTRACT DOCUMENTS
 - 3. WIRE FOR FUTURE GENERATOR-CONFIRM SPECIFICATIONS
 - 4. PROVIDE POWER FOR WELL & SEPTIC
 - 5. THERE IS ONE 80 GAL GEOSPRING BY GE
 - 6. CONFIRM ELECTRICAL WITH THE OWNERS PRIOR TO INSTALLATION
 - T. POWER IS TO BE UNDERGROUND
 - 8. PROVIDE POWER FOR POOL

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

PER FBC-R-E3902.12 AFCI PROTECTION REQUIRED Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed AFCI, combination type.

PER FBC-R-E3901.7, NEC 210, E3901.7 & E3902.3 GFCI PROTECTION REQUIRED Bathrooms, garages, boathouses & accessory structures not intended as habitable rooms and limited to storage, work & similar uses. Outdoors, crawl spaces, unfinished basements, kitchen countertops. Outlets within 6 feet of laundry, utility or wet sinks. Balcony, deck or porch greater than 20 s.f. One at the front and back of the dwelling and at the condenser units.



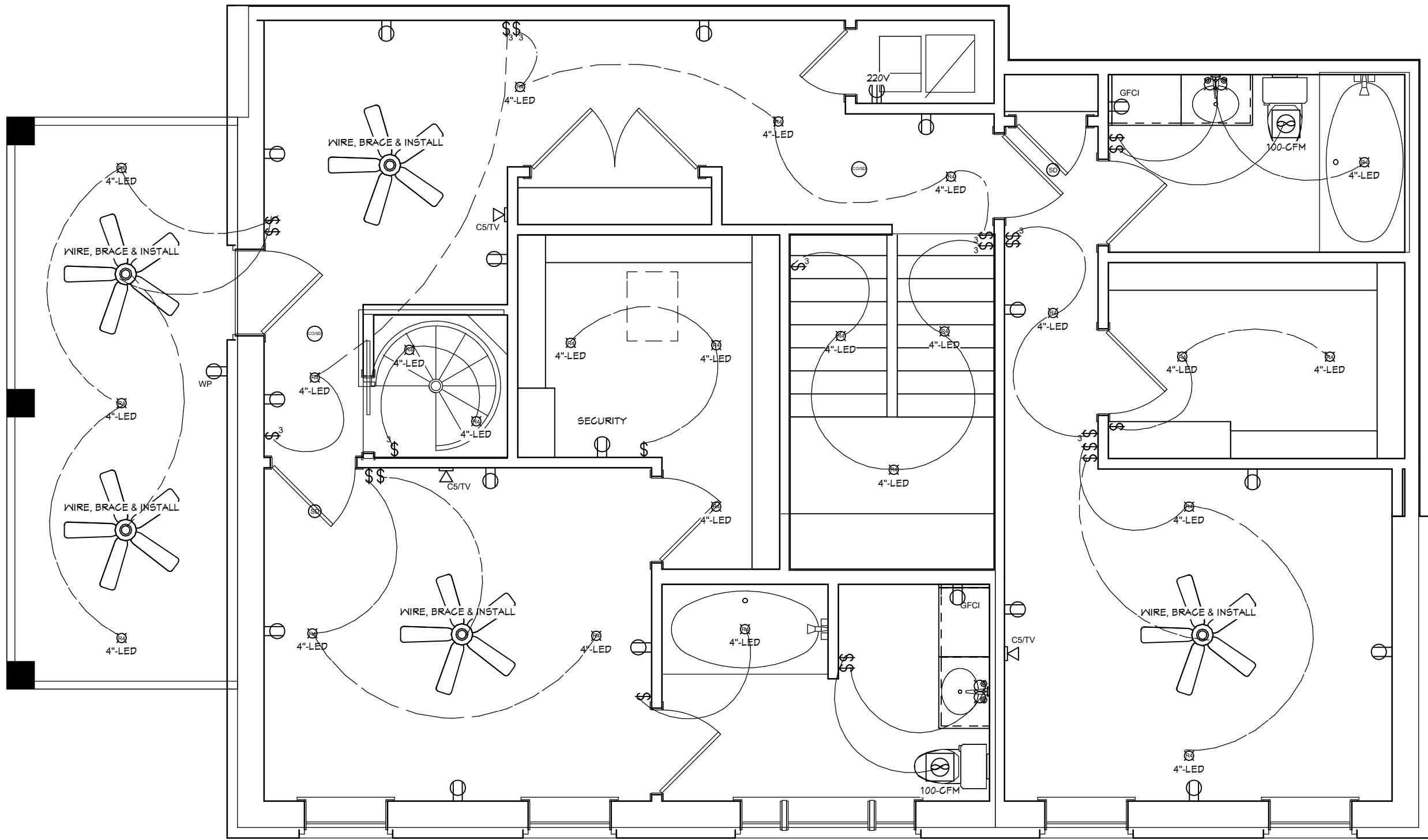
1ST FLOOR ELECTRICAL PLAN

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PLAN # 4597	
CLIENT APPROVAL SIGNATURE	DATE
HOWARD ROCHAY	
TAMMY ROCHAY	
BUILT BY: FGC, INC. 904-537-3236 CGC1506231 830-13 AIA NORTH PONTE VEDRA BEACH, FL 32082	
PROJECT DESCRIPTION: FUTURE HOME OF THE ROCHAY FAMILY SAWTOOTH RIDGE ROAD CALLAHAN, FL 32011 R/E #: 33-3N-25-0000-0002-0020	
Design Drawings provided by: DESIGNS FOR LIVING, LLC RESIDENTIAL DESIGNER SINCE 1998 904-730-7135	
DATE:	5/2/2017
SCALE:	1/4" = 1'-0"
SHEET:	A-8

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

EFFICACY NOTE: THE NEW FBC-R FBC EC R404.1 & R202 BUILDING CODE REQUIRES ALL INSIDE & OUTSIDE LIGHT FIXTURES WILL USE CFL OR LED LIGHT BULBS.



PER FBC-R-E3902.12 AFCI PROTECTION REQUIRED Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed AFCI, combination type.

PER FBC-R-E3901.7, NEC 210, E3901.7 & E3902.3 GFCI PROTECTION REQUIRED Bathrooms, garages, boathouses & accessory structures not intended as habitable rooms and limited to storage, work & similar uses. Outdoors, crawl spaces, unfinished basements, kitchen countertops. Outlets within 6 feet of laundry, utility or wet sinks. Balcony, deck or porch greater than 20 s.f. One at the front and back of the dwelling and at the condenser units.

- ELECTRICAL NOTES:
- 1. 200 AMP MINIMUM SERVICE
 - 2. CONFIRM ELECTRICAL WITH CONTRACT DOCUMENTS
 - 3. WIRE FOR FUTURE GENERATOR-CONFIRM SPECIFICATIONS
 - 4. PROVIDE POWER FOR WELL & SEPTIC
 - 5. THERE IS ONE 80 GAL GEOSPRING BY GE
 - 6. CONFIRM ELECTRICAL WITH THE OWNERS PRIOR TO INSTALLATION
 - T. POWER IS TO BE UNDERGROUND
 - 8. PROVIDE POWER FOR POOL

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

2ND FLOOR ELECTRICAL PLAN

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PLAN #
4597

CLIENT APPROVAL SIGNATURE

DATE

HOWARD ROCHAY

TAMMY ROCHAY

BUILT BY: F&C, INC.
904-537-3236
CGC1506231
830-13 A1A NORTH
PONTE VEDRA BEACH, FL
32082

DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGNER SINCE 1998
904-730-7135

Design Drawings
provided by:

PROJECT DESCRIPTION:
FUTURE HOME OF THE ROCHAY FAMILY
SAWTOOTH RIDGE ROAD
CALLAHAN, FL 32011
R/E # : 33-3N-25-0000-0002-0020

DATE:
5/2/2017

SCALE:
1/4" = 1'-0"

SHEET:
A-9

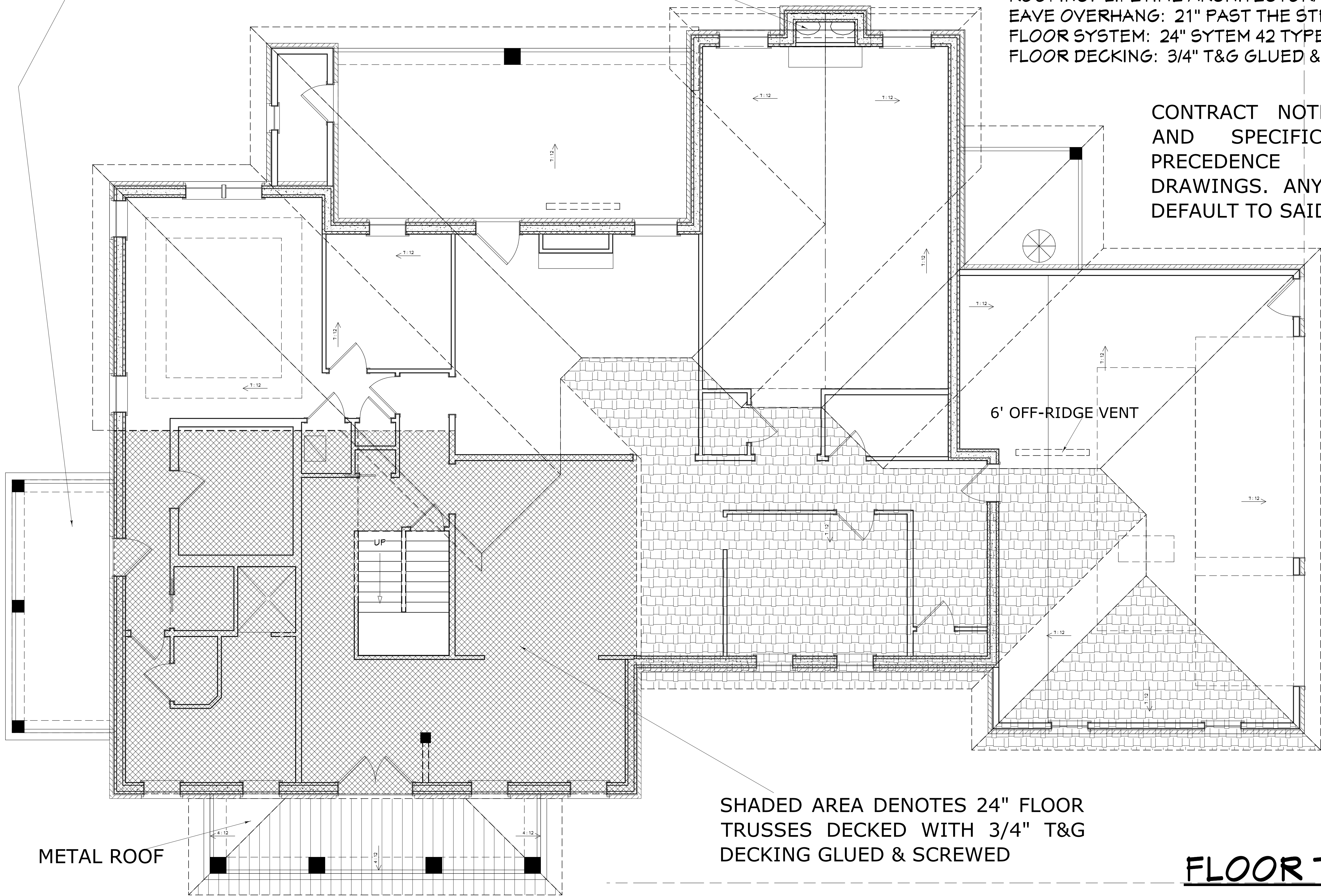
BALCONY IS BUILT USING 20" SYSTEM 42 TYPE FLOOR TRUSSES AND DECKED WITH 3/4 T&G DECKING THAT IS SLOPED 1/4"/FOOT MINIMUM WITH WATERPROOFING AND TILE OVER THE WATERPROOFING

R1003.9 Termination.

Chimneys shall extend at least 2 feet (610 mm) higher than any portion of a building within 10 feet (3048 mm), but shall not be less than 3 feet (914 mm) above the highest point where the chimney passes through the roof.

ROOF NOTES:
PITCH: 7/12
SCISSOR TRUSS: 4/12 OR HIGHER IF ENGINEERING ALLOWS
UNDERLAYMENT: SYNTHETIC FELT
HEEL HEIGHT: STANDARD HEELS BASED ON PITCH
FASCIA: PLUMB CUT CPVC COATED ALUMINUM
SOFFITS: BEADED NON-VENTED WHITE VINYL
ROOFING: LIFETIME ARCHITECTURAL SHINGLES (U.O.N.)
EAVE OVERHANG: 21" PAST THE STRUCTURAL WALL
FLOOR SYSTEM: 24" SYTEM 42 TYPE TRUSSES
FLOOR DECKING: 3/4" T&G GLUED & SCREWED

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



SHADED AREA DENOTES 24" FLOOR TRUSSES DECKED WITH 3/4" T&G DECKING GLUED & SCREWED

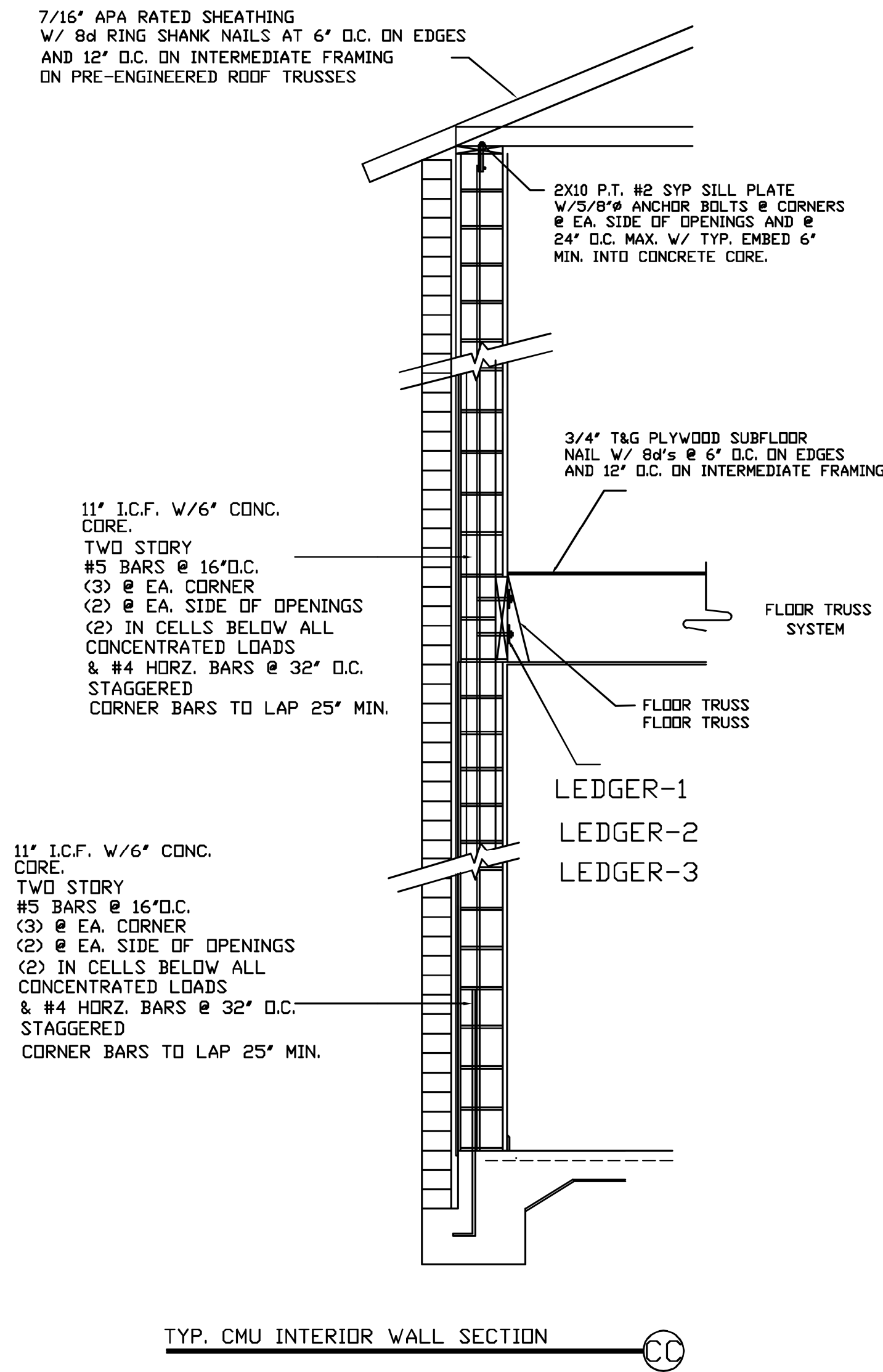
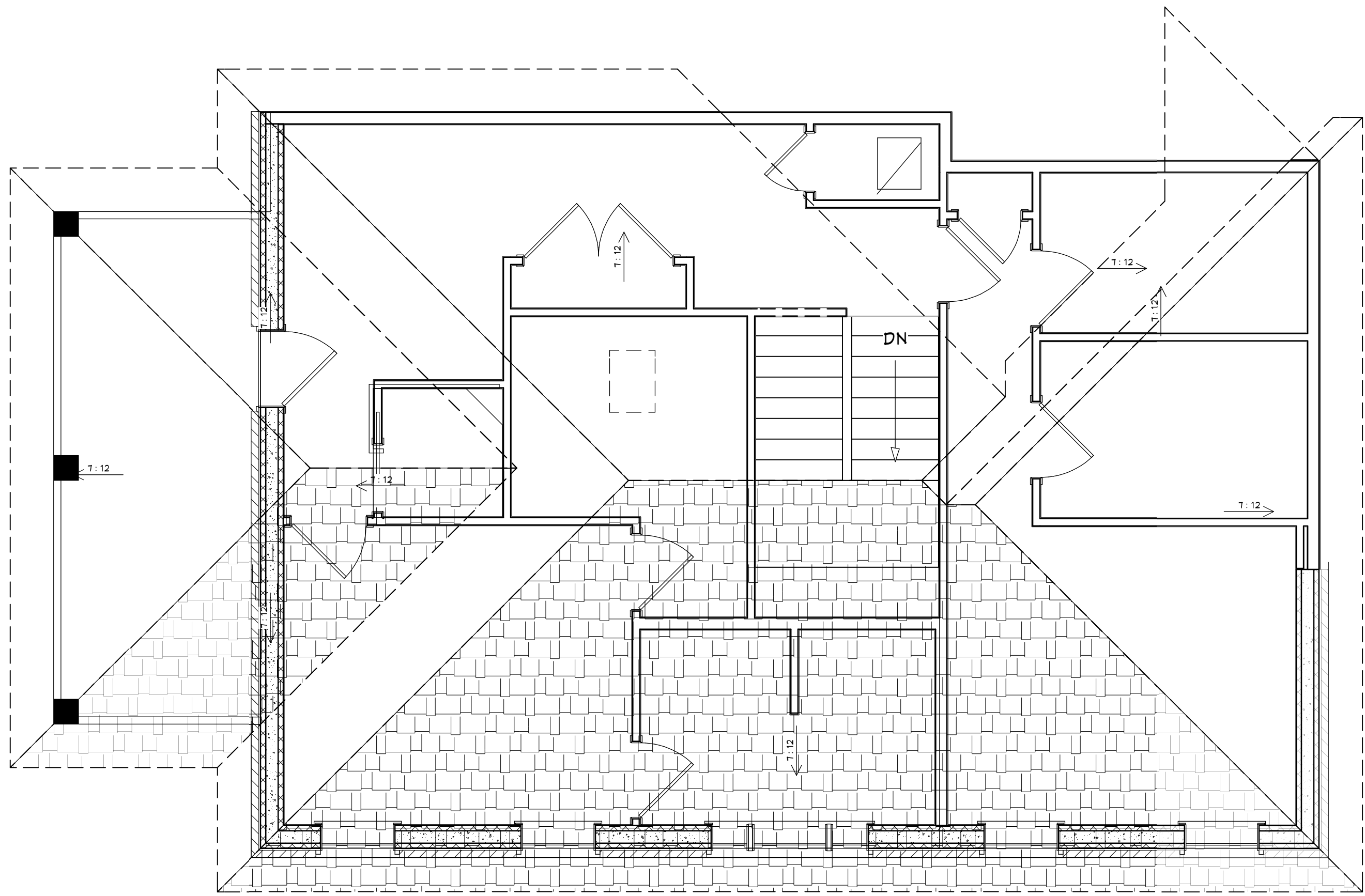
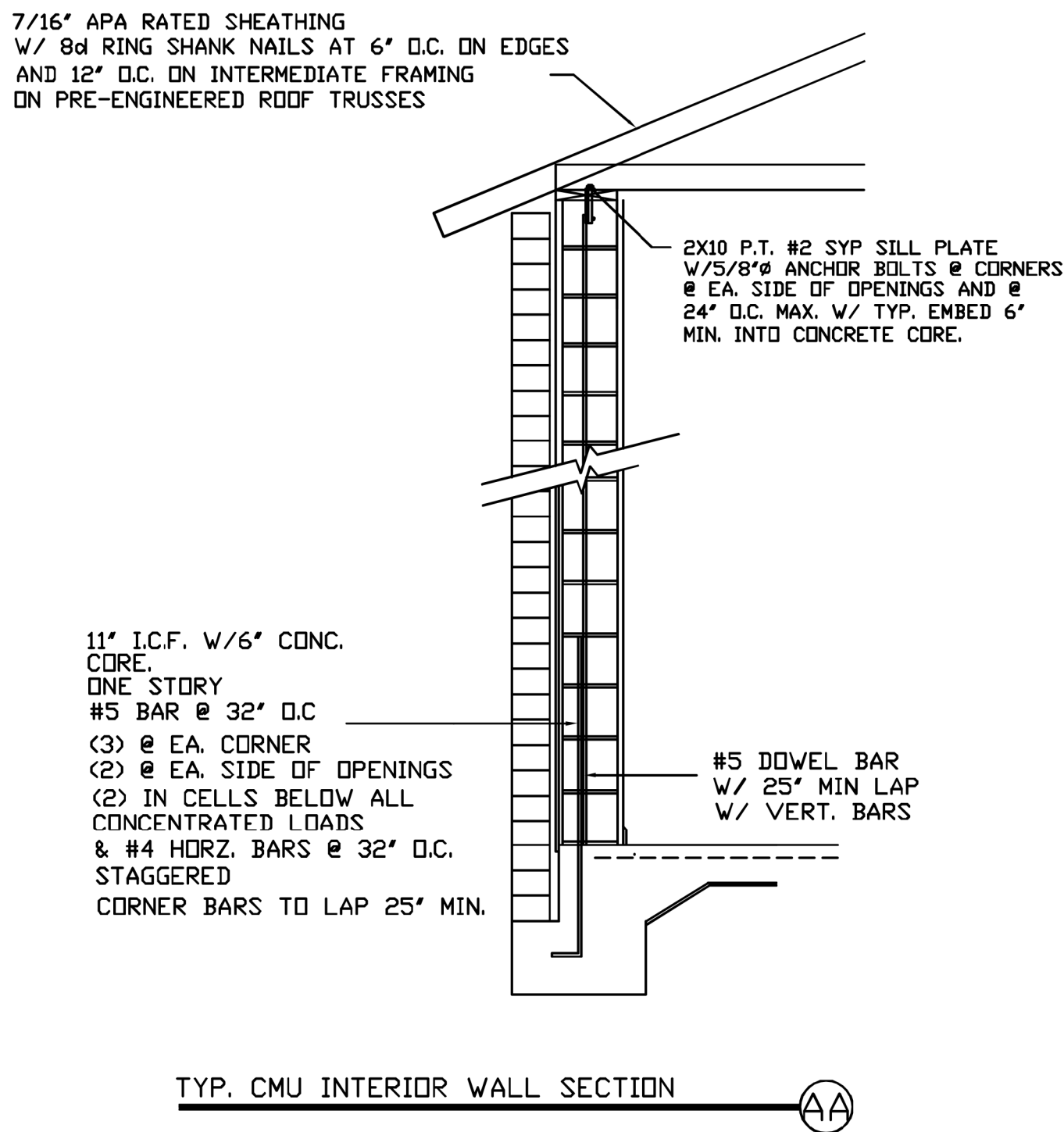
METAL ROOF

FLOOR TRUSS PLAN

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PLAN # 4597	
CLIENT APPROVAL SIGNATURE	DATE
HOWARD ROCHAY	
TAMMY ROCHAY	
BUILT BY: F&G, INC. 904-537-3236 CGC1506231 830-13 A1A NORTH PONTE VEDRA BEACH, FL 32082	
PROJECT DESCRIPTION: FUTURE HOME OF THE ROCHAY FAMILY SAWTOOTH RIDGE ROAD CALLAHAN, FL 32011 R/E #: 33-3N-25-0000-0002-0020	
Design Drawings provided by: DESIGNS FOR LIVING, LLC RESIDENTIAL DESIGNER SINCE 1999 904-730-7135	
DATE: 5/2/2017	
SCALE: 1/4" = 1'-0"	
SHEET: A-10	

ROOF NOTES:
PITCH: 7/12
UNDERLAYMENT: SYNTHETIC FELT
HEEL HEIGHT: STANDARD HEELS BASED ON PITCH
FASCIA: PLUMB CUT CPVC COATED ALUMINUM
SOFFITS: BEADED NON-VENTED WHITE VINYL
ROOFING: LIFETIME ARCHITECTURAL SHINGLES (U.O.N.)
EAVE OVERHANG: 21" PAST THE STRUCTURAL WALL
FLOOR SYSTEM: 24" SYTEM 42 TYPE TRUSSES
FLOOR DECKING: 3/4" T&G GLUED & SCREWED



CONTRACT NOTE: CONTRACT
AND SPECIFICATIONS TAKE
PRECEDENCE OVER THESE
DRAWINGS. ANY CONFLICT WILL
DEFAULT TO SAID DOCUMENTS.

ROOF TRUSS/SECTION PLAN

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PLAN #
4597

CLIENT APPROVAL SIGNATURE DATE

HOWARD ROCHAY

TAMMY ROCHAY

BUILT BY: FGC, INC.
904-537-3236
CGC1506231
830-13 A1A NORTH
PONTE VEDRA BEACH, FL
32082

DESIGNS FOR LIVING
RESIDENTIAL DESIGN SINCE 1998
904-730-7135

PROJECT DESCRIPTION:
FUTURE HOME OF THE ROCHAY FAMILY
SAWTOOTH RIDGE ROAD
CALLAHAN, FL 32011
R/E #: 33-3N-25-0000-0002-0020

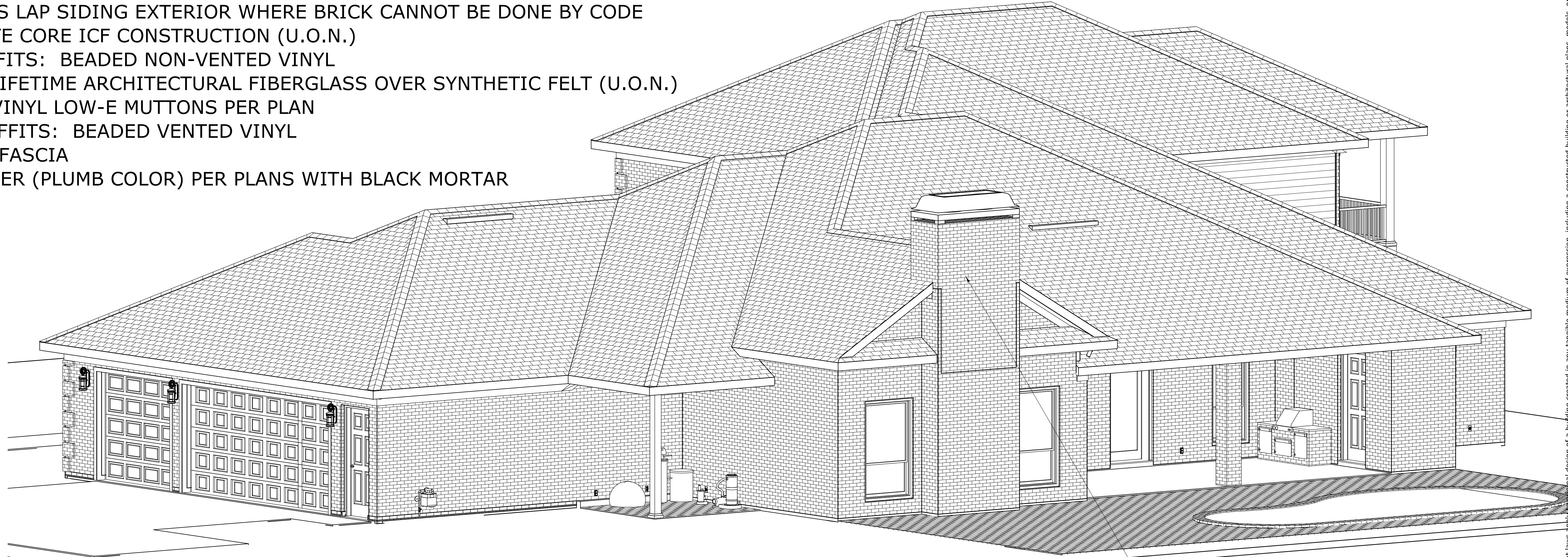
DATE:
5/2/2017

SCALE:
1/4" = 1'-0"

SHEET:
A-11

EXTERIOR NOTES:

1. CEMENTIOUS LAP SIDING EXTERIOR WHERE BRICK CANNOT BE DONE BY CODE
2. 6" CONCRETE CORE ICF CONSTRUCTION (U.O.N.)
3. HOUSE SOFFITS: BEADED NON-VENTED VINYL
4. SHINGLES LIFETIME ARCHITECTURAL FIBERGLASS OVER SYNTHETIC FELT (U.O.N.)
5. WINDOWS VINYL LOW-E MUTTIONS PER PLAN
6. GARAGE SOFFITS: BEADED VENTED VINYL
7. PLUMB CUT FASCIA
8. BRICK VENEER (PLUMB COLOR) PER PLANS WITH BLACK MORTAR



CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

ALL WINDOWS & DOORS TO BE IMPACT RATED

R1003.9 Termination.
Chimneys shall extend at least 2 feet (610 mm) higher than any portion of a building within 10 feet (3048 mm), but shall not be less than 3 feet (914 mm) above the highest point where the chimney passes through the roof.



ISOMETRIC VIEWS

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CLIENT APPROVAL SIGNATURE

DATE

BUILT BY: FGC, INC.
904-537-3236
CGC1506231
830-13 AIA NORTH
PONTE VEDRA BEACH, FL
32082

DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGNER SINCE 1998
904-730-7135

DATE:
5/2/2017

SCALE:
N.T.S

SHEET:
A-12

PROJECT DESCRIPTION:
FUTURE HOME OF THE ROCHAY FAMILY
SAWTOOTH RIDGE ROAD
CALLAHAN, FL 32011
R/E #: 33-3N-25-0000-0002-0020

HOWARD ROCHAY

TAMMY ROCHAY