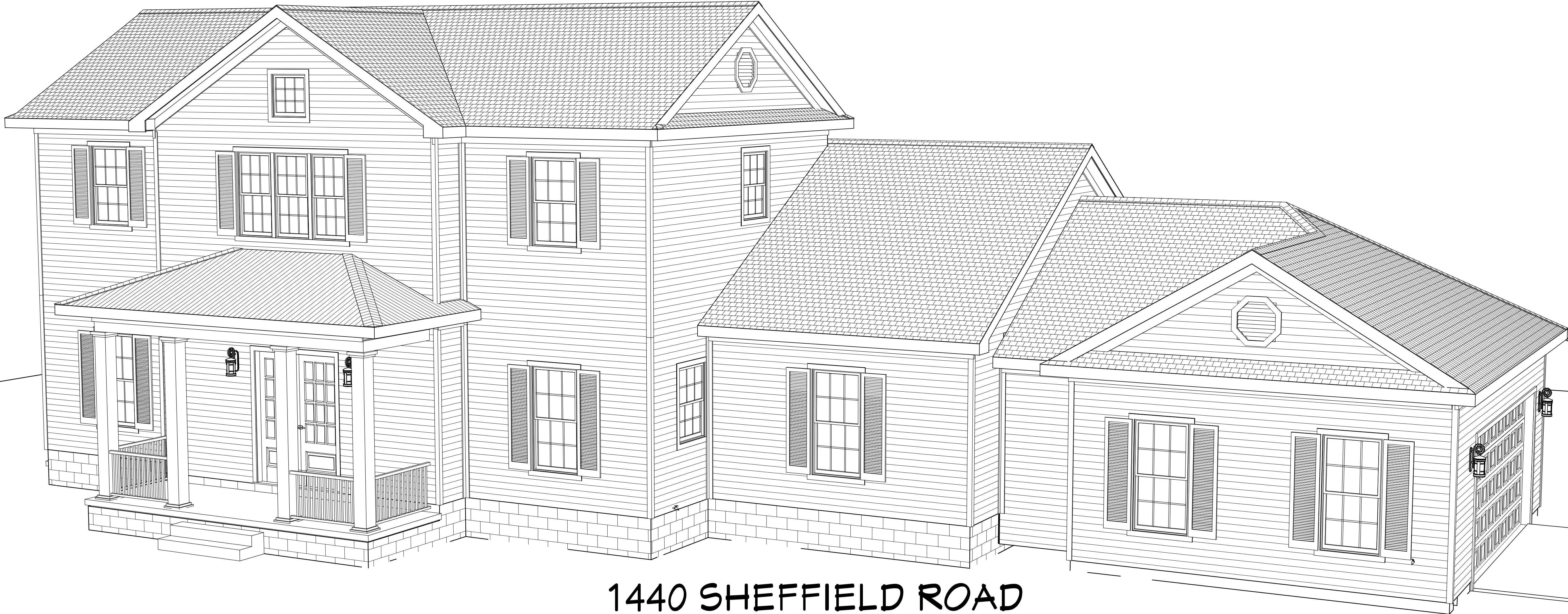


NEW HOME FOR THE GULLA FAMILY

REVIEW SET 9/21/2016



1440 SHEFFIELD ROAD
SAINT JOHNS, FL 32259 R/E #: 002465-0330
BUILT BY: JOSEPH BUILDERS, INC.
13245 ATLANTIC BOULEVARD
SUITE 4-272
JACKSONVILLE, FL 32225
OFFICE: 904-220-2732
CELL: 904-349-2137
CGC059460

DESIGNS FOR LIVING, LLC. -Under section 102 of the Architectural Works Copyright Protection Act (title 17 of the United States Code) specific tacit copyright laws apply to original design of a building created in any tangible medium of expression, including a constructed building or architectural plans, models, or drawings and is subject to copyright protection as an "architectural work" by Designs for Living, LLC. herein referred to as Designer. It is unlawful for anyone to copy these drawings, either in whole or in part, without the express written permission of the Designer! The use of any plans, specifications, electronic or hard copy prints or publications thereof is expressly limited to the original site for which they were prepared and publication thereof is expressly limited to such use. Title to all works, specifically all drawings, specifications, and modified derivatives of any blueprints, e-files, drawings, or specifications remain the Designers without prejudice. VISUAL CONTACT with any of these drawings, or their purchase constitutes prima facie evidence of the acceptance of these restrictions! This has held precedent in the North Florida Court system! Any and all violations WILL result in legal action being taken and litigated damages to the full extent allowed by law! No exceptions and no excuses! Contractor &/or owner shall verify all dimensions, details, & specifications prior to construction. Every attempt has been made to avoid mistakes. The contractor and the owners also fully acknowledge that they have full copyright release approval and Designs for Living LLC nor R.E. Chip Mitchell shall not be liable for error for copyright infringement or other errors after delivery via email of drawings including after construction has begun! This copyright law is only valid on building designs created on or after December 1, 1990.

DATE:	9/21/2016
SCALE:	N.T.S
SHEET:	A-1
PROJECT DESCRIPTION: provided by:	FUTURE HOME OF THE GULLA FAMILY
 <p>JOSEPH BUILDERS, INC.</p> <p>13245 ATLANTIC BOULEVARD, SUITE 4-272 JACKSONVILLE, FLORIDA 32225 EMAIL: jbinc1@bellsouth.net</p>	
 <p>DESIGNS <i>for</i> LIVING^{LLC} RESIDENTIAL DESIGN SINCE 1969 904-730-7135</p>	

ITE PLAN: REVISED 6/29/16

PLAN #		3000
CLIENT APPROVAL SIGNATURE	DATE	
TONY GULLA		
ALEXIS GULLA		
JOSEPH B BUILDERS, INC.  BUILT BY: CG CO59460 904-220-2732 13245 ATLANTIC BOULEVARD, SUITE 4-272 JACKSONVILLE, FLORIDA 32225 EMAIL: jbincl@bellsouth.net		
PROJECT DESCRIPTION: FUTURE HOME OF THE GULLA FAMILY SHEFFIELD ROAD SAINT JOHNS, FLORIDA 32259 R/E#: 002465-0330		
DESIGN DRAWINGS PROVIDED BY:	 DESIGNS <i>by</i> LIVING ^{LLC} <small>RESIDENTIAL DESIGN SINCE 1969</small> 904-730-7135	
DATE:	9/21/2016	
SCALE:	1' = 10'-0"	
SHEET:	A-2	

PLAN # 3000

CLIENT APPROVAL SIGNATURE | DATE

JOSEPH
BUILDERS, INC.

BUILT BY
CG CO59460
904-220-273

5 ATLANTIC BOULEVARD, SUITE 4-272
JACKSONVILLE, FLORIDA 32225
EMAIL: jbinc1@bellsouth.net

132

PROJECT DESCRIPTION:
FUTURE HOME OF THE GUILIA FAMILY
SHEFFIELD ROAD
SAINT JOHNS, FLORIDA 32259
R/E# : 002465-0330

The logo for Signs & Living LLC features a stylized, ornate lamp base with multiple curved legs and a decorative top. To the right of the lamp base, the word "SIGNS" is written vertically in a bold, sans-serif font. A large, flowing, cursive-style ampersand (&) is positioned between "SIGNS" and "LIVING". To the right of the ampersand, "LIVING" is written vertically again. Above "LIVING", the letters "LLC" are in a smaller, bold font. Below the main text, the words "RESIDENTIAL DESIGN SINCE 1969" are printed in a small, all-caps font. The entire logo is set against a white background.

Design Drawings provided by
DATE: 2/21/2016

SCALE:
3/16" = 1'-0"

SHEET:
A-3

FOUNDATION PLAN

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

**IMPORTANT: CONSULT ENGINEERS DRAWINGS FOR
FOOTER SIZES. IF THERE IS A DIMENSIONAL CONFLICT
BETWEEN HIS DRAWINGS AND THESE STOP WHAT YOU ARE
DOING AND CALL THE PLAN DESIGNER FOR CLARIFICATION**

MAIN FOUNDATION NOTES: 4-CMU HIGH FOUNDATION WITH 20X12 FOOTERS W/2-#5 REBAR CONTINUOUS ON CHAIRS @ 6 FOOT O.C. THE PORCHES ARE 3CMU HIGH WITH A MONOLITHIC 4" CAP

6" STEP DOWN SHOWER

GARAGE FOUNDATION NOTES: MONOLITHIC SLAB AND INTEGRAL FOOTERS-TYPICAL WITH 12X20 FOOT W/2-#5 REBAR CONTINUOUS ON CHAIRS @ 6 FOOT O.C. CURB IS 21" LOWER TO THE MAIN FINISH FLOOR

**GARAGE FOUNDATION NOTES:
MONOLITHIC SLAB AND INTEGRAL
FOOTERS-TYPICAL WITH 12X20 FOOTERS
W/2-#5 REBAR CONTINUOUS ON CHAIRS
@ 6 FOOT O.C. CURB IS 21" LOWER THAN
THE MAIN FINISH FLOOR**

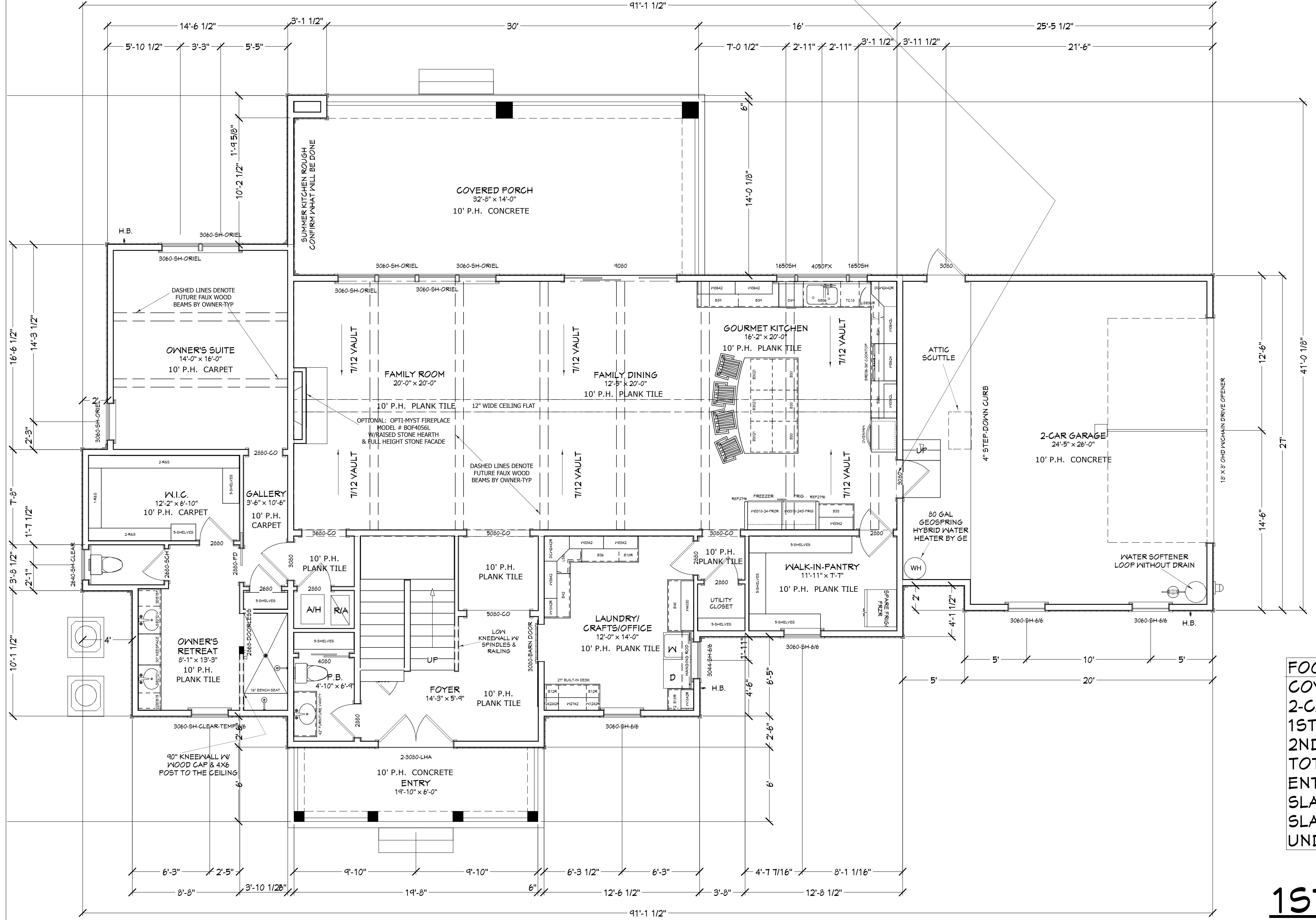
MAIN FOUNDATION NOTES: 4-CMU HIGH FOUNDATION WITH 20X12 FOOTERS W/2- #5 REBAR CONTINUOUS ON CHAIRS @ 6 FOOT O.C. THE PORCHES ARE 3CMU HIGH WITH A MONOLITHIC 4" CAP

dr
shall
dr
sh

R302.1 Under-stair protection. Enclosed accessible space under stairs shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2-inch (12.7 mm) gypsum board.

302.5.1 Opening protection. Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and residence shall be equipped with solid wood doors not less than 1&3/8 inches (35 mm) in thickness, solid or honeycomb core steel doors not less than 1&3/8 inches (35 mm) thick, or 0-minute fire-rated doors.

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



FOOTAGES (A.N.S.I.):	
COVERED PORCH:	471.85
2-CAR GARAGE:	645.00
1ST FLOOR HEATED:	2,265.70
2ND FLOOR HEATED:	734.67
TOTAL HEATED:	3,000.37
ENTRY:	124.02
SLAB EXTENSIONS:	39.59
SLAB AREA:	3,546.16
UNDER ROOF:	4,241.24

1ST FLOOR PLAN

PLAN #		
3000		
CLIENT APPROVAL SIGNATURE	DATE	
TONY GULLA		
ALEXIS GULLA		

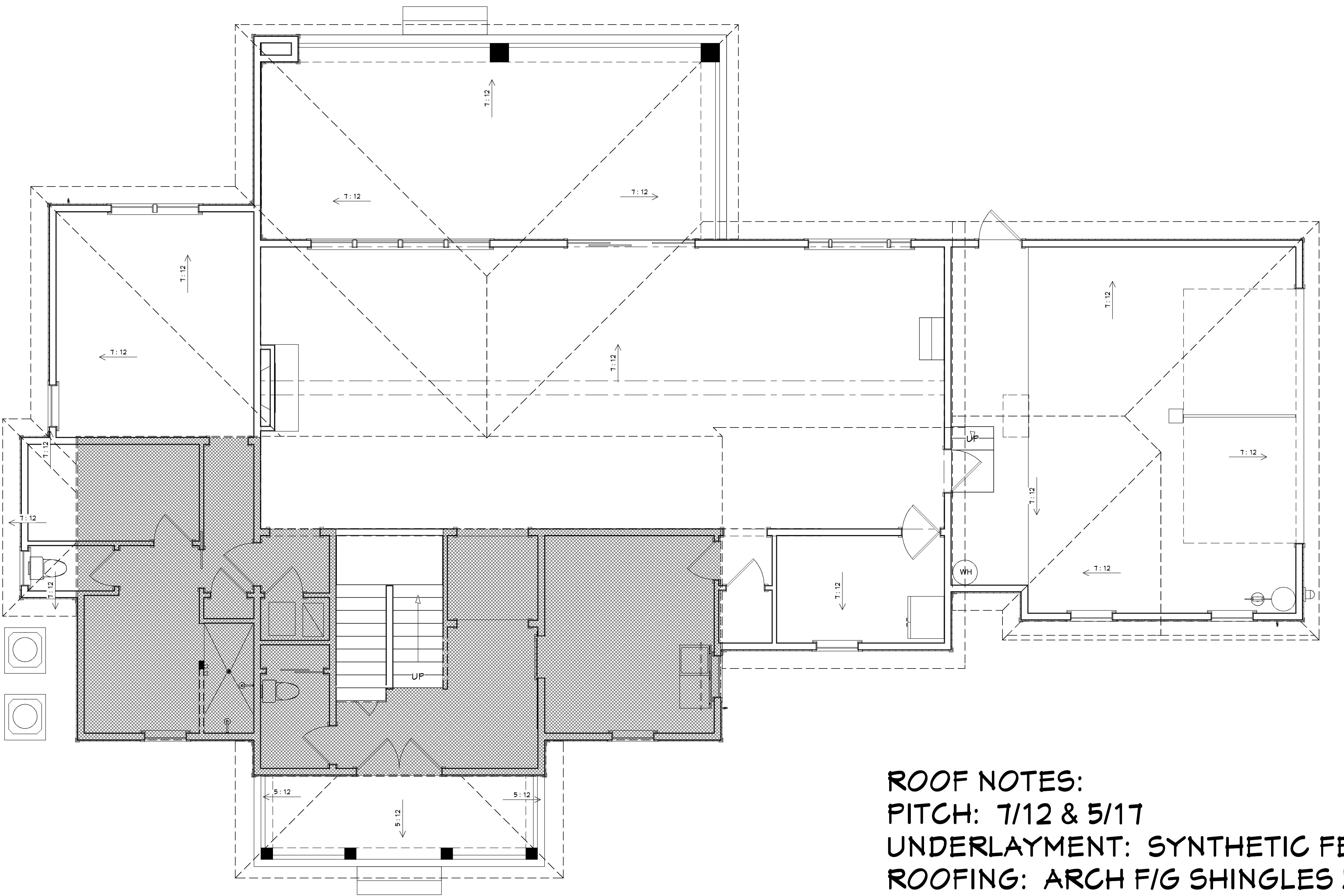
JOSEPH
BUILDERS, INC.

BUILT BY:
CG CO59460
904-220-2732

ATLANTIC BOULEVARD, SUITE 4-272
ACKSONVILLE, FLORIDA 32225
EMAIL: jbinc1@bellsouth.net

PROJECT DESCRIPTION:
FUTURE HOME OF THE GULLA FAMILY
SHEFFIELD ROAD
SAINT JOHNS, FLORIDA 32259
R/E#: 002465-0330

Design Drawings provided by:	 DESIGNS <i>by</i> LIVING RESIDENTIAL DESIGN SINCE 1969
DATE:	9/21/2016
SCALE:	1/4" = 1'-0"
SHEET:	A-4



CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

ROOF NOTES:
PITCH: 7/12 & 5/12
UNDERLayment: SYNTHETIC FELT (U.O.N.)
ROOFING: ARCH F/G SHINGLES W/METAL ACCENTS
EAVe OVERHANG: 16"
GABLE OVERHANG: 12"
TRUSSeD PER PLAN
FLOOR TRUSSES: 20" SYSTEM 42 TYPE
FLOOR DECKING: 3/4" T&G GLUED & SCREWED
SOFFITS: BEADED VINYL
FASCIA: CPVC COATED ALUM WITH 1X2 DRIP
TRUSS HEELS: AS NOTED

**HEEL HEIGHTS:
GARAGE: STANDARD
ENTRY: 18"
COVERED PORCH: 10"
1ST FLOOR TRUSSES: 10"
2ND FLOOR TRUSSES: 18"**

PLAN # 3000

CLIENT APPROVAL SIGNATURE **DATE**

JOSEPH
BUILDERS, INC.

BUILT BY:
CG C059460
904-220-2732

ATLANTIC BOULEVARD, SUITE 4-272
JACKSONVILLE, FLORIDA 32225
EMAIL: jbinc1@bellsouth.net

132

PROJECT DESCRIPTION:
FUTURE HOME OF THE GUILA FAMILY
SHEFFIELD ROAD
SAINt JOHNS, FLORIDA 32259
R/E#: 002465-0330

Design Drawings provided by:	DES
DATE:	
9/21/2016	
SCALE:	
1/4" = 1'-0"	
SHEET:	
A-6	

ST FLOOR TRUSS PLAN

PLAN #
3000

CLIENT APPROVAL SIGNATURE	DATE
TONY GULLA	
ALEXIS GULLA	

BUILT BY:
JOSEPH BUILDERS, INC. cc cos9460 904-220-2732 13245 ATLANTIC BOULEVARD, SUITE 4-272 JACKSONVILLE, FLORIDA 32225 EMAIL: jobjncl@bellsouth.net

PROJECT DESCRIPTION:
FUTURE HOME OF THE GULLA FAMILY SHEFFIELD ROAD SAINT JOHNS, FLORIDA 32259 R/E #: 002465-0330



DESIGN DRAWINGS
PROVIDED BY:
DESIGNS for LIVING

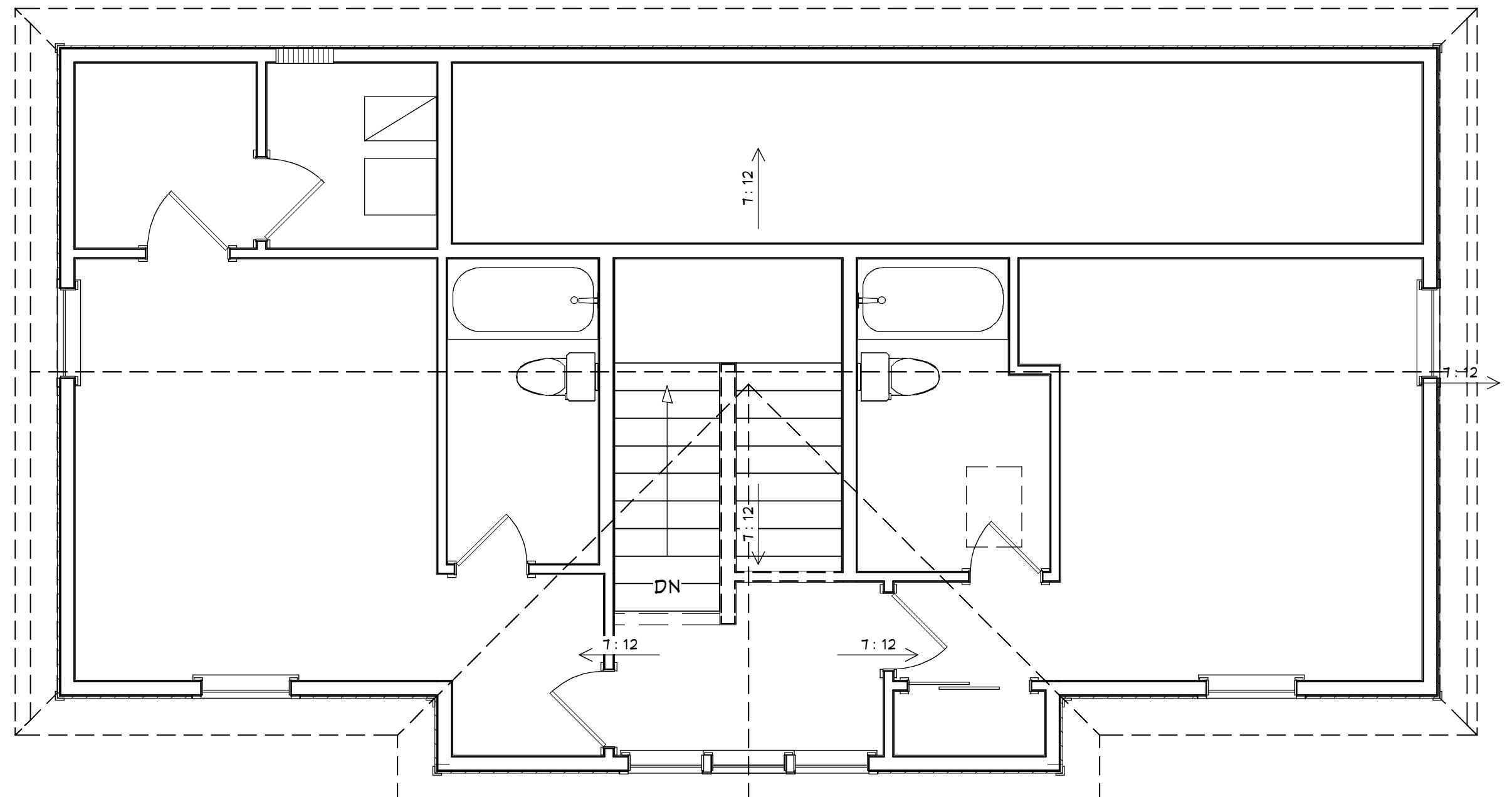
DATE:
9/21/2016

SCALE:
1/4" = 1'-0"

SHEET:
A-7

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CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



HEEL HEIGHTS:
GARAGE: STANDARD
ENTRY: 18"
COVERED PORCH: 10"
1ST FLOOR TRUSSES: 10"
2ND FLOOR TRUSSES: 18"

ROOF NOTES:
PITCH: 7/12 & 5/12
UNDERLayment: SYNTHETIC FELT (U.O.N.)
ROOFING: ARCH F/G SHINGLES W/METAL ACCENTS
EAVE OVERHANG: 16"
GABLE OVERHANG: 12"
TRUSSSED PER PLAN
FLOOR TRUSSES: 20" SYSTEM 42 TYPE
FLOOR DECKING: 3/4" T&G GLUED & SCREWED
SOFFITS: BEADED VINYL
FASCIA: CPVC COATED ALUM WITH 1X2 DRIP
TRUSS HEELS: AS NOTED

2ND FLOOR TRUSS PLAN

A-7



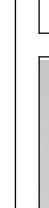
REAR ELEVATION

**CONTRACT NOTE: CONTRACT AND
SPECIFICATIONS TAKE PRECEDENCE
OVER THESE DRAWINGS. ANY CONFLICT
WILL DEFAULT TO SAID DOCUMENTS.**



FRONT ELEVATION

FRONT/REAR ELEVATIONS

PLAN #		
3000		
PROJECT DESCRIPTION:		
FUTURE HOME OF THE GULLA FAMILY		
Design Drawings provided by:  DESIGNS <i>for</i> LIVING RESIDENTIAL DESIGN SINCE 1969 R/F#: 002465-0330		
DATE:		
9/21/2016		
SCALE:		
1/4" = 1'-0"		
SHEET:		
A - 1 - 30		
JOSEPH BUILDERS, INC.	BUILT BY: CG CO59460 904-220-2732	CLIENT APPROVAL SIGNATURE DATE
	TONY GULLA	
	ALEXIS GULLA	

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



RIGHT ELEVATION



LEFT ELEVATION



PLAN # 3000

CLIENT APPROVAL SIGNATURE **DATE**

CLIENT APP

TONY GULLA

ALEXIS GULLA

The logo for Joseph Builders, Inc. consists of a stylized house icon with a chimney on the left, followed by the company name "JOSEPH BUILDERS, INC." in a bold, sans-serif font. A horizontal line separates the house icon from the company name.

132

PROJECT DESCRIPTION:
FUTURE HOME OF THE GULLA FAMILY
SHEFFIELD ROAD
SAINT JOHNS, FLORIDA 32259
R/E# : 002465-0330

The logo for GNS Living LLC is positioned on the left side of the page. It features a stylized, ornate chair with a curved backrest and multiple legs, rendered in a light blue-grey color. To the right of the chair, the word "GNS" is written in a large, bold, black serif font. Above "GNS", there is a large, flowing, black cursive script that starts from the top left and sweeps down towards the right, partially enclosing the "GNS" text. To the right of the "GNS" text, the word "LIVING" is written in a bold, black, sans-serif font. Above "LIVING", the letters "LLC" are written in a smaller, black, sans-serif font. To the right of "LIVING", the text "RESIDENTIAL DESIGN SINCE 1969" is written in a small, black, sans-serif font. The entire logo is set against a white background.

DESIGN
provided by:

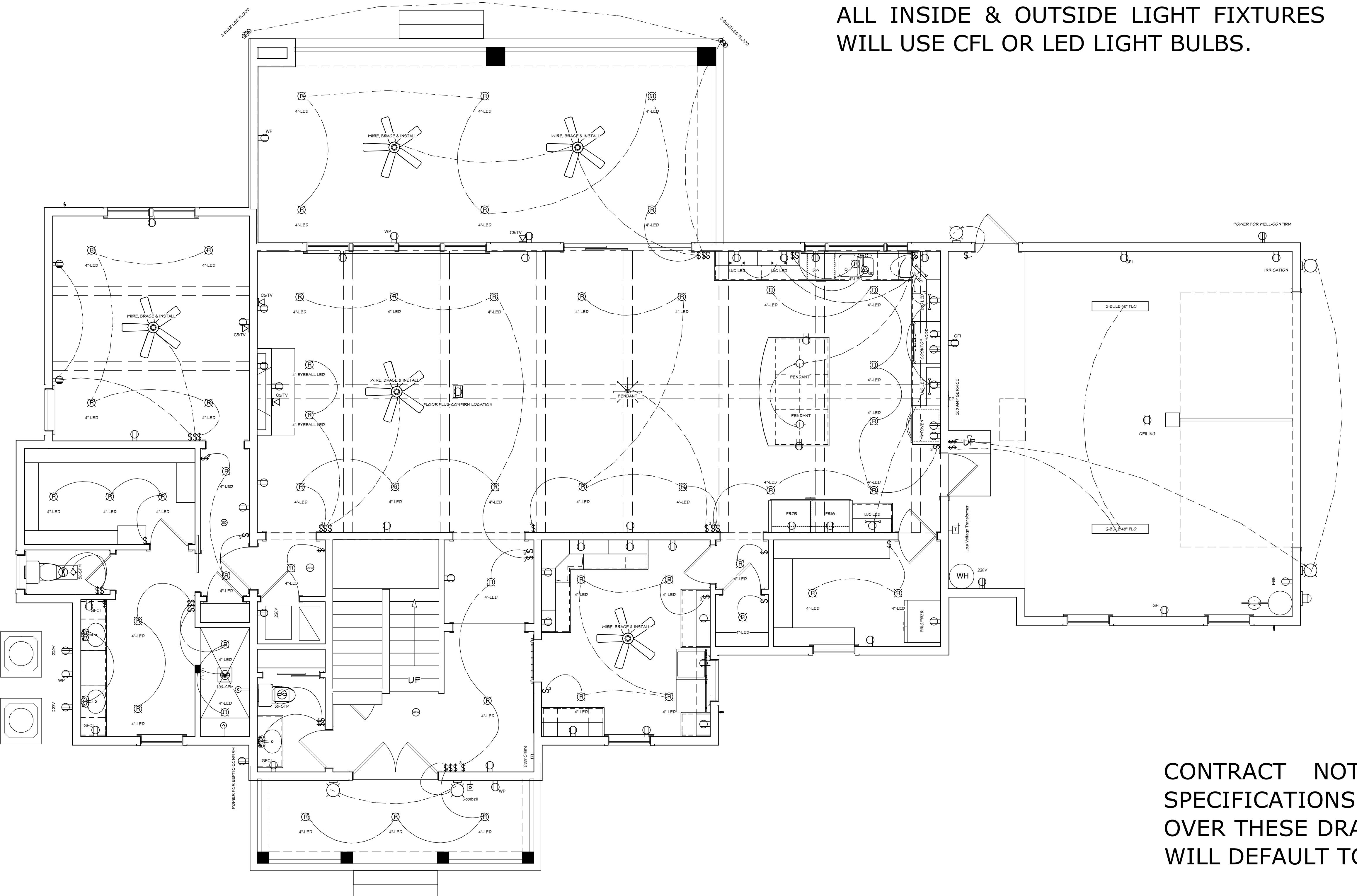
DATE:

SCALE:

SHEET:

PER FBC-R-E3902.12 AFCI PROTECTION REQUIRED Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed AFCI, combination type.

EFFICACY NOTE: THE NEW FBC-R FBC EC R404.1 & R202 BUILDING CODE REQUIRES ALL INSIDE & OUTSIDE LIGHT FIXTURES WILL USE CFL OR LED LIGHT BULBS.



PER FBC-R-E3901.7, NEC 210, E3901.7 & E3902.3 GFCI PROTECTION REQUIRED Bathrooms, garages, boathouses & accessory structures not intended as habitable rooms and limited to storage, work & similar uses. Outdoors, crawl spaces, unfinished basements, kitchen countertops. Outlets within 6 feet of laundry, utility or wet sinks. Balcony, deck or porch greater than 20 s.f. One at the front and back of the dwelling and at the condenser units.

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

PLAN #
3000

CLIENT APPROVAL SIGNATURE	DATE
	TONY GUILLA
	ALEXIS GUILLA

BUILT BY:
JOSEPH BUILDERS, INC. CG C059460
13245 ATLANTIC BOULEVARD, SUITE 4-272
JACKSONVILLE, FLORIDA 32225
EMAIL: jobjcl@bellsouth.net

PROJECT DESCRIPTION:
FUTURE HOME OF THE GUILA FAMILY
SHEFFIELD ROAD
SAINT JOHNS, FLORIDA 32259
R/E #: 002465-0330

Design Drawings provided by:
DESIGNS for LIVING
904-730-2135

DATE:
9/21/2016

SCALE:
1/4" = 1'-0"

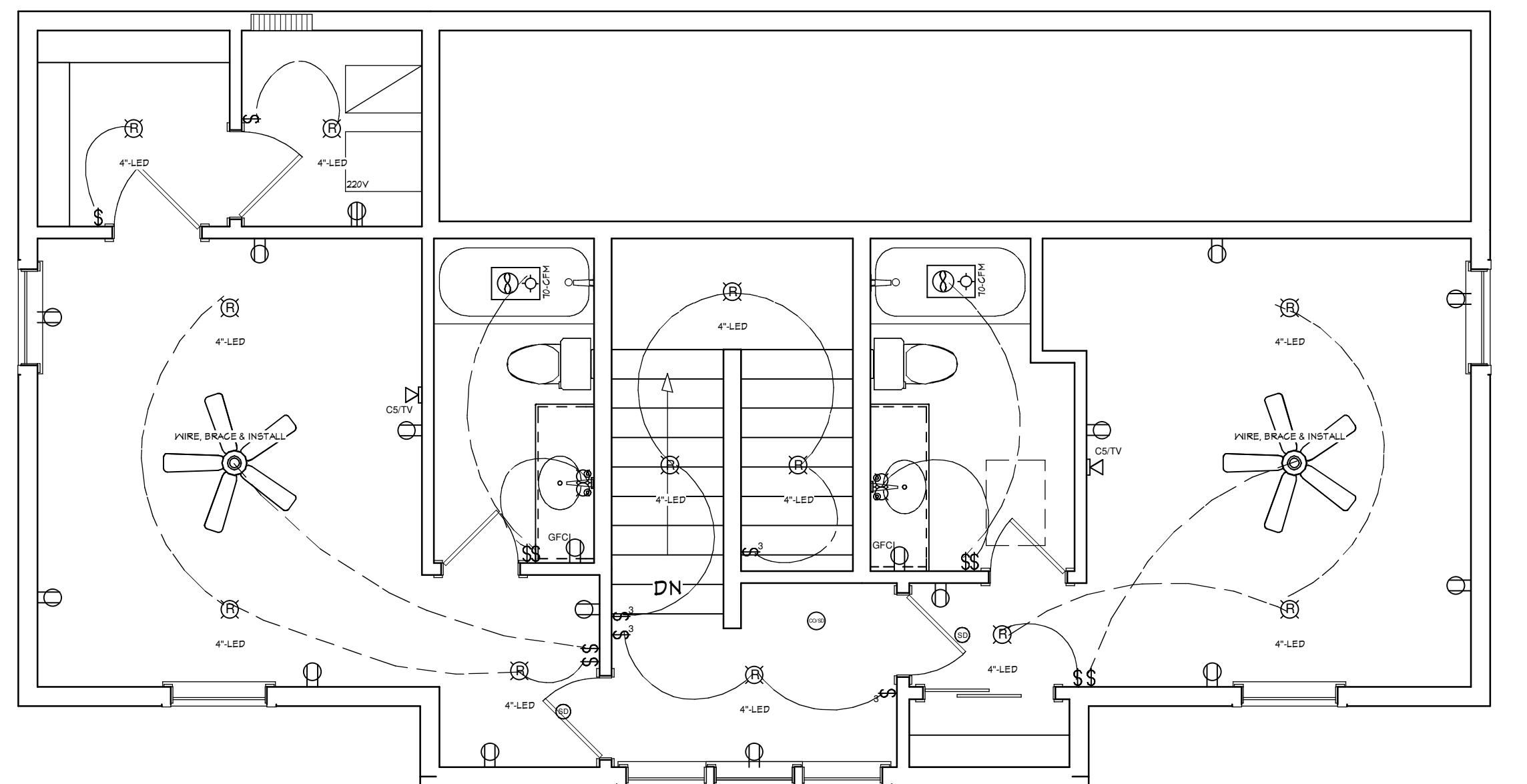
SHEET:
A-10

1ST FLOOR ELECTRICAL PLAN

RIGHT 2016. DESIGNS FOR LIVING, LLC. Under section 102 of the Architectural Works Copyright Protection Act (title 17 of the United States Code) specific fair use rights apply to original design of a building created in any tangible medium of expression, including a constructed building or architectural plans, models, or drawings, and is subject to copyright protection. It is unlawful for anyone to copy or reproduce, in whole or in part, without the express written permission of the designer. The use of any plans, specifications, electronic or hard copy prints, drawings or other materials of any kind, for which the designer has not specifically listed to such use, shall be considered a violation of the designer's exclusive rights. Any drawings or specifications of any kind, including blueprints, modified drawings or modifications of any kind, shall be considered a violation of the designer's exclusive rights. No exception is made for the full extent allowed by law. No excuse is given for copyright infringement or other errors after delivery via email to the designer. The designer reserves all rights. This copyright law is only valid on buildings designs created on or after December 1, 1990.

PER FBC-R-E3902.12 AFCI PROTECTION REQUIRED Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed AFCI, combination type.

PER FBC-R-E3901.7, NEC 210, E3901.7 & E3902.3 GFCI PROTECTION REQUIRED Bathrooms, garages, boathouses & accessory structures not intended as habitable rooms and limited to storage, work & similar uses. Outdoors, crawl spaces, unfinished basements, kitchen countertops. Outlets within 6 feet of laundry, utility or wet sinks. Balcony, deck or porch greater than 20 s.f. One at the front and back of the dwelling and at the condenser units.



EFFICACY NOTE: THE NEW FBC-R FBC EC R404.1 & R202 BUILDING CODE REQUIRES ALL INSIDE & OUTSIDE LIGHT FIXTURES WILL USE CFL OR LED LIGHT BULBS.

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
\$ ^{WP} \$ ³ \$ ⁴ \$	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
^{DM} \$ ^T \$	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

**CONTRACT NOTE: CONTRACT AND
SPECIFICATIONS TAKE PRECEDENCE
OVER THESE DRAWINGS. ANY CONFLICT
WILL DEFAULT TO SAID DOCUMENTS.**

ELECTRICAL NOTES:

- METER LOCATION TO BE DETERMINED BY FPL ENGINEER
PROPERTY HAS DEEP WELL & PRIVATE SEPTIC
WATER HEATERS LP TANKLESS GAS
SECURITY PRE-WIRE & TRIM
PRE-WIRE & TRIM FOR CAT5/TV PER PLANS
CONFIRM WITH OWNER ON STRUCTURED WIRING
ONE-200 AMP PANEL
CONFIRM ALL ELECTRICAL W/OWNER PRIOR TO WIRING ANYTHING
D.CONFIRM THE SECONDARY SUB=PANEL LOCATION TO BE INSTALLED
OR FUTURE IN-LAW STRUCTURE

2ND FLOOR ELECTRICAL PLAN

PLAN # 3000

CLIENT APPROVAL SIGNATURE	DATE
TONY GULLA	

JOSEPH
BUILDERS, INC.

BUILT BY:
CG C059460
904-220-2732

ATLANTIC BOULEVARD, SUITE 4-272
JACKSONVILLE, FLORIDA 32225
EMAIL: jbinc1@bellsouth.net

132

PROJECT DESCRIPTION:
FUTURE HOME OF THE GUILA FAMILY
SHEFFIELD ROAD
SAINT JOHNS, FLORIDA 32259
R/E#: 002465-0330

The logo for Designs by Living LLC is positioned on the left side of the page. It features a detailed, ornate pedestal or vase on the left, which is part of the company's branding. To the right of the pedestal, the word "DESIGNS" is written vertically in a large, bold, serif font. A large, sweeping, italicized script "by" is positioned above and to the right of "DESIGNS". Above the script "by", the word "LIVING" is written in a bold, sans-serif font. To the right of "LIVING", the letters "LLC" are in a smaller, sans-serif font. Below the "LIVING" text, the words "RESIDENTIAL DESIGN SINCE 1969" are printed in a small, all-caps, sans-serif font.

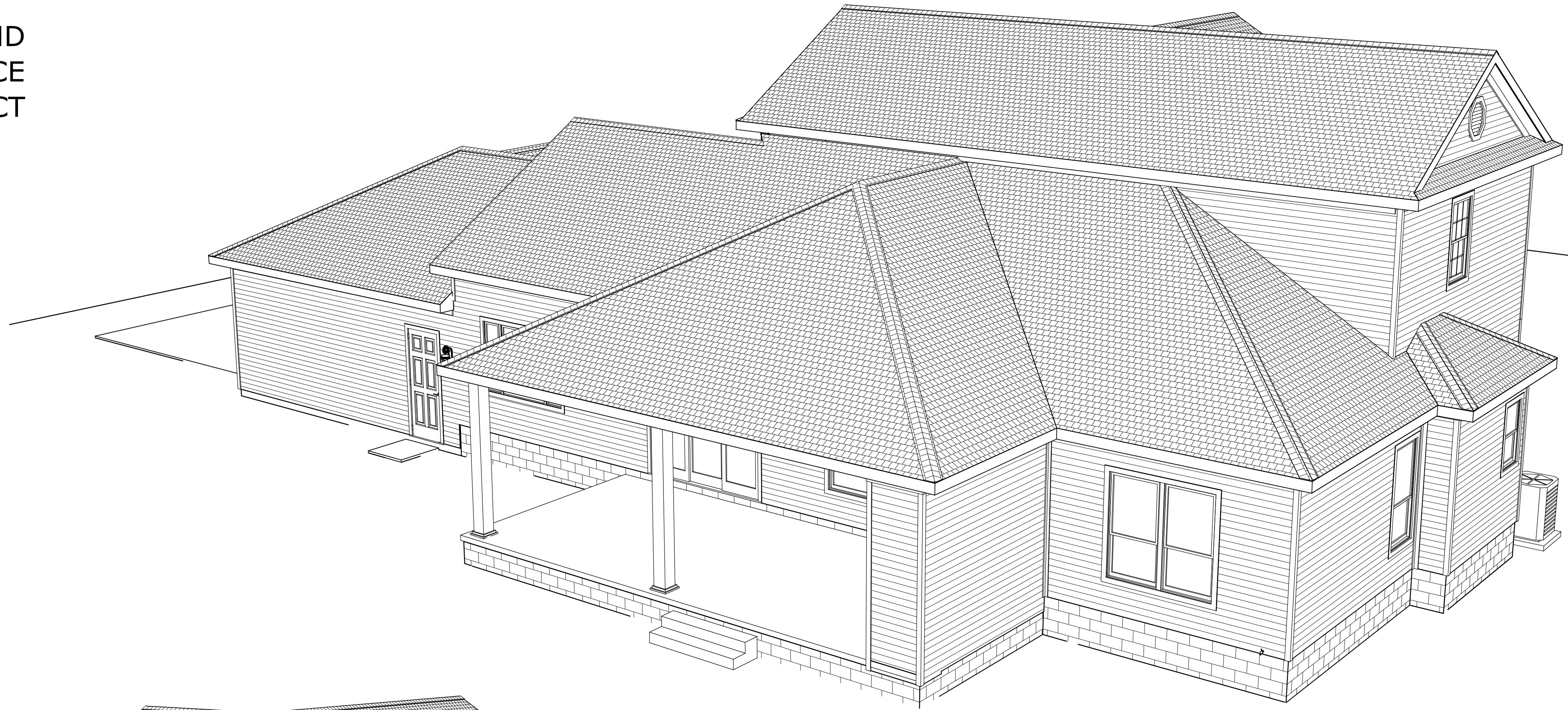
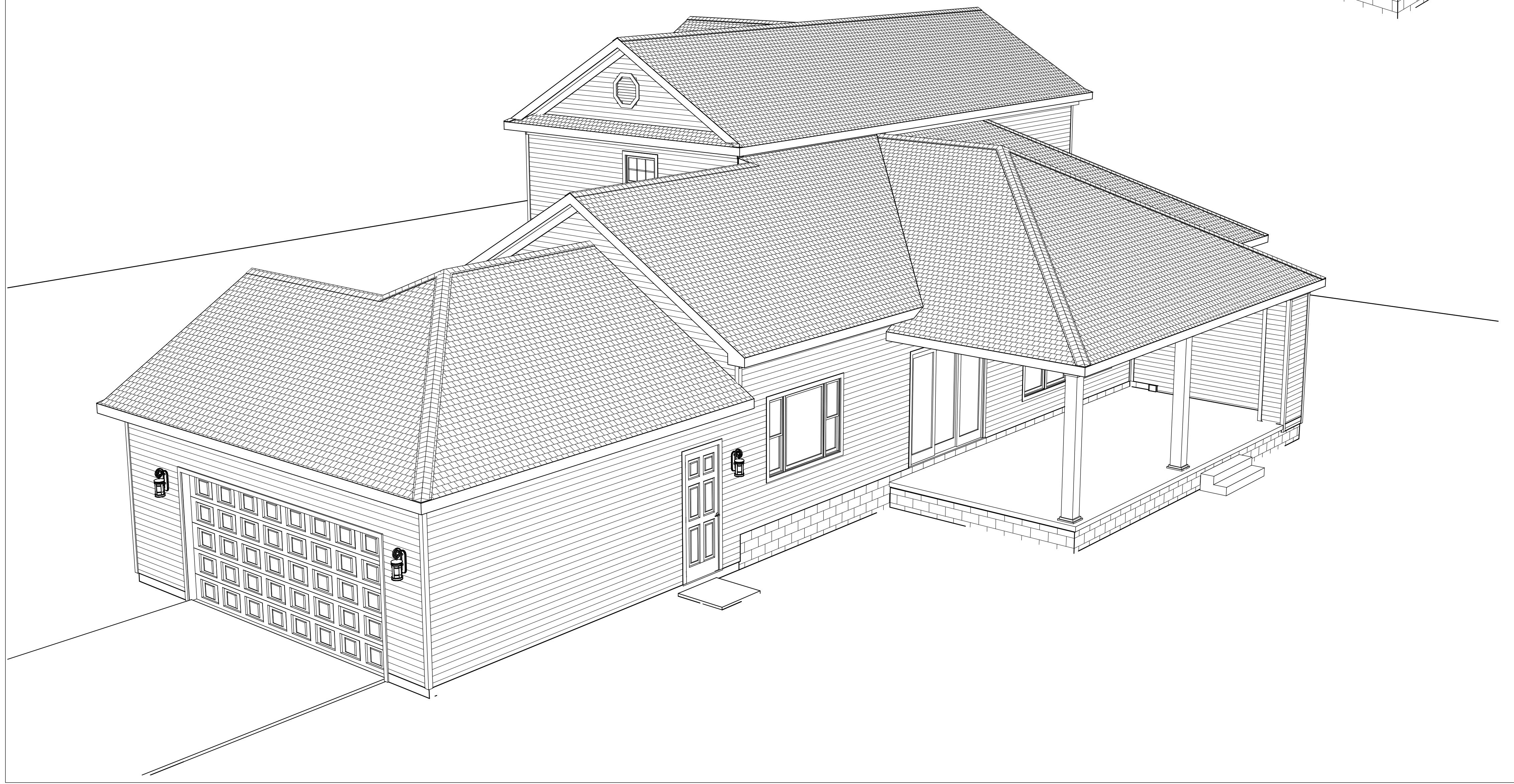
Design provided	I
DATE:	
9/21/2016	
SCALE:	

1/4" = 1'-0"

SHEET:

A-11

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



ISOMETRIC VIEWS

**PLAN #
3000**

CLIENT APPROVAL SIGNATURE	DATE
TONY GULLA	
ALEXIS GULLA	

BUILT BY:	JOSEPH BUILDERS, INC.
CC CO59460	904-220-2732
13245 ATLANTIC BOULEVARD, SUITE 4-272 JACKSONVILLE, FLORIDA 32225 EMAIL: jinc1@bellsouth.net	

PROJECT DESCRIPTION:	FUTURE HOME OF THE GULLA FAMILY
SHEFFIELD ROAD	SAIN T JOHNS, FLORIDA 32259
R/E#:	002465-0330

Design Drawings provided by:	DESIGNS for LIVING
CC CO59460	904-730-2135

DATE:	9/21/2016
SCALE:	N.T.S
SHEET:	A-12

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