

FUTURE HOME OF THE WOOD FAMILY

PERMIT PLAN: 5/12/2017



CONGA STREET
JACKSONVILLE, FL 32217
R/E#: 151203-0000
J M HANSEN GRANT

BUILT BY:
ATLANTIC CUSTOM BUILDERS. LLC.
11303 BUSINESS PARK BLVD., SUITE 100
JACKSONVILLE, FL 32256
CBC1256709
904-424-2352

ENGINEER OF RECORD:
MARTIN ENGINEERING, LLC
13245-4 ATLANTIC BLVD., SUITE 261
JACKSONVILLE, FL 32225
904-472-1459
FL CA 31666

COVER PAGE

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PLAN #:
1732

CLIENT APPROVAL SIGNATURE

DATE

ROBERT WOOD

BUILT BY:
ATLANTIC
CUSTOM BUILDERS

Quality the way you want it

FUTURE HOME OF:

THE WOOD FAMILY

CONGA STREET
JACKSONVILLE, FL 32217
R/E #: 151203-0000

Design Drawings
provided by:

DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGNER SINCE 1989

904-730-7135

DATE:

5/12/2017

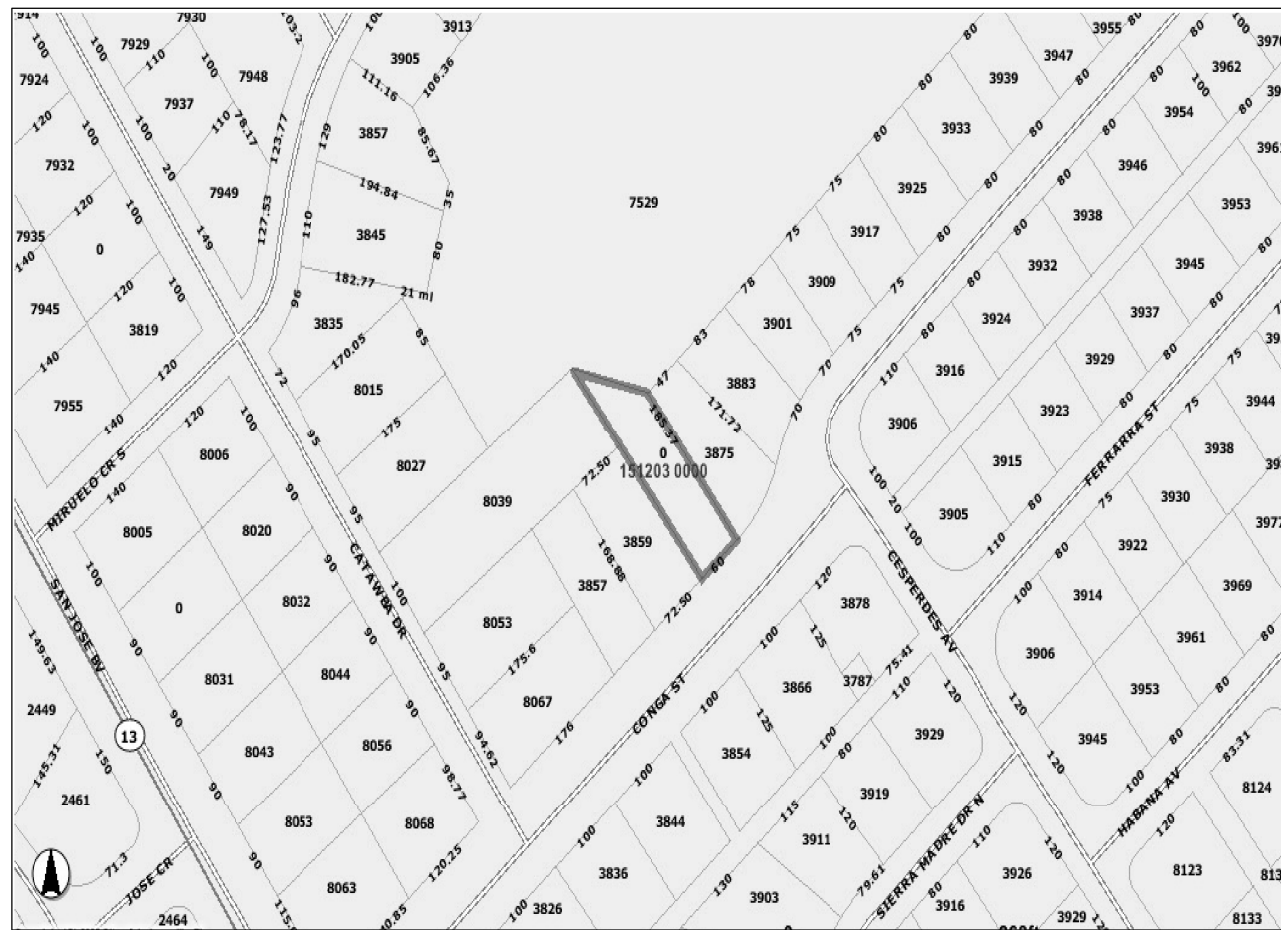
SCALE:

N.T.S.

SHEET:

A-1

SITE LOCATION

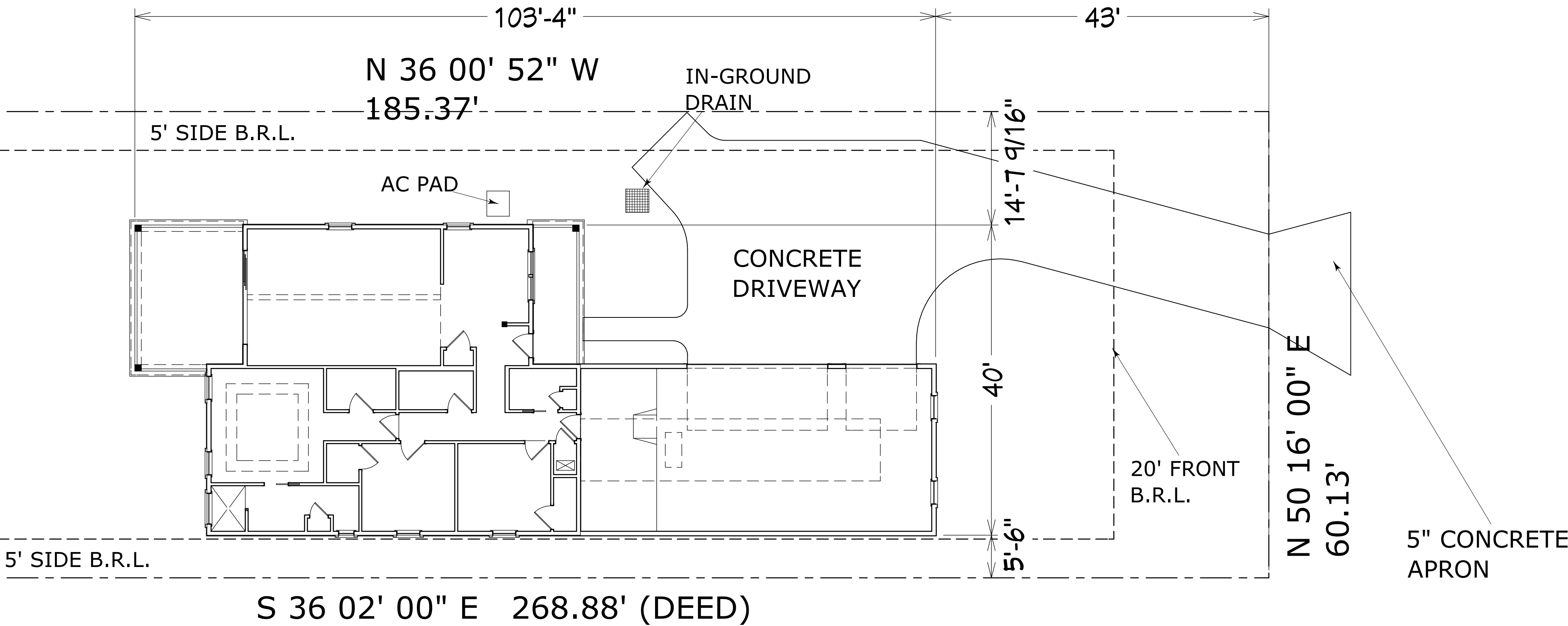


IMPERVIOUS CALCULATIONS:
0.33 ACRES = 14,375 S.F.
BUILDING AREA: 3,142 S.F.=21.86%
WALKS, DRIVES & PADS: 1,747 S.F.=12.15%
TOTAL IMPERVIOUS = 4,889 S.F.
4,889/14,375 = 34.01%

WIND DESIGN CRITERIA:
WIND SPEED: 130 MPH
EXPOSURE CATEGORY: "B"
BUILDING TYPE: ENCLOSED
BUILDING CATEGORY: II
IMPORTANCE FACTOR: 1.0
TOPOGRAPHY: SLIGHT SLOPE
MEAN ROOF HEIGHT: -25 FT
BUILDING CODE: 2015 FBC-R

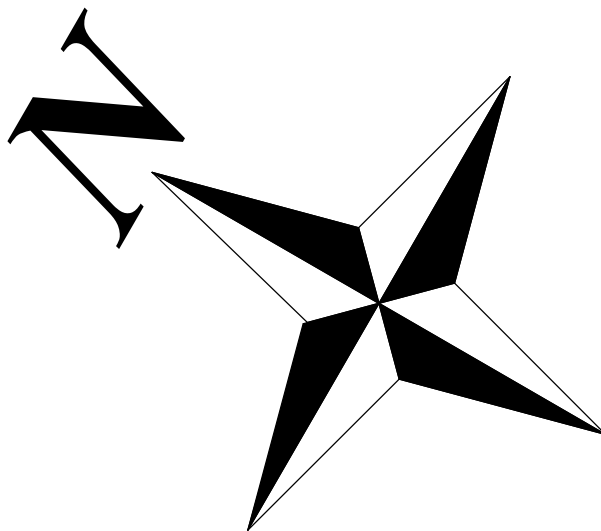
**SAN JOSE COUNTY
CLUB GOLF COURSE**

N 73 17' 00" W 99.12' (DEED)
10' REAR SETBACK



LEGAL DESCRIPTION:
44-35-27E .33
J M HANSON GRANT
PT. RECD OR 16060-1555

FLOOD INFORMATION:
TYPE "B" DRAINAGE
FLOOD ZONE "X"



**ADMINISTRATIVE
DEVIATION APPROVED TO
BUILD ON THE PROPERTY
AD-12-32 HEARING DATE:
JULY 6, 2012**

**CONTRACT NOTE: CONTRACT AND
SPECIFICATIONS TAKE PRECEDENCE
OVER THESE DRAWINGS. ANY CONFLICT
WILL DEFAULT TO SAID DOCUMENTS.**

SITE PLAN

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R/E #: 151203-0000

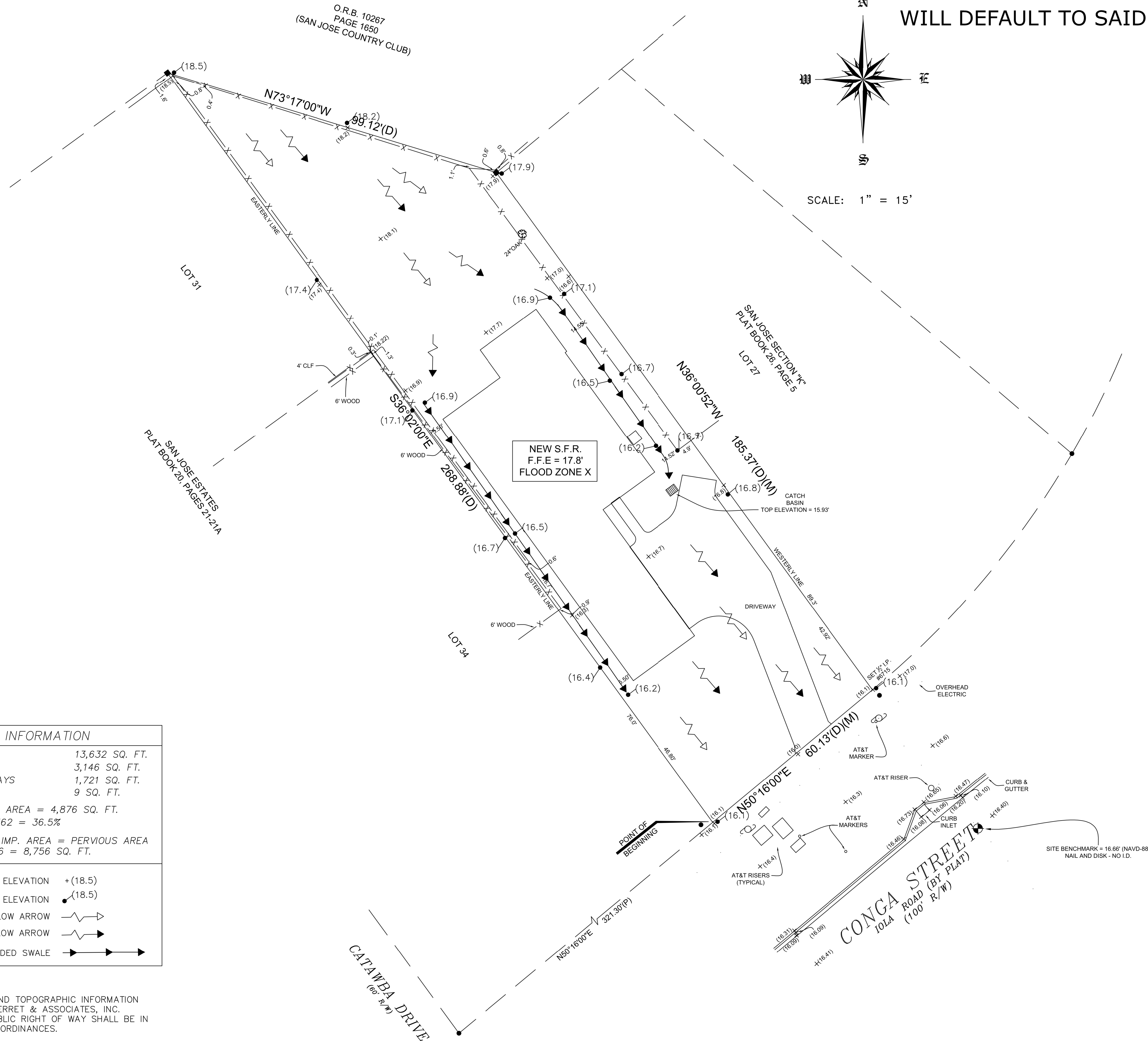
Design Drawings
provided by:
DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN SINCE 1989
904-730-7135

DATE:
5/12/2017

SCALE:
1'-0"=10'-0"

SHEET:
A-2

SCALE: 1" = 15'



SITE INFORMATION	
LOT AREA	13,632 SQ. FT.
BUILDING AREA	3,146 SQ. FT.
DRIVEWAY/WALKWAYS	1,721 SQ. FT.
A/C PADS	9 SQ. FT.
TOTAL IMPERVIOUS AREA = 4,876 SQ. FT.	
4,876/13,362 = 36.5%	
LOT AREA-TOTAL IMP. AREA = PERVIOUS AREA	
13,632-4,876 = 8,756 SQ. FT.	

EXISTING SPOT ELEVATION	+(18.5)
PROPOSED SPOT ELEVATION	●(18.5)
PRE-FLOW ARROW	
POST-FLOW ARROW	
GRADED SWALE	

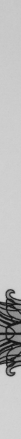
NOTES:

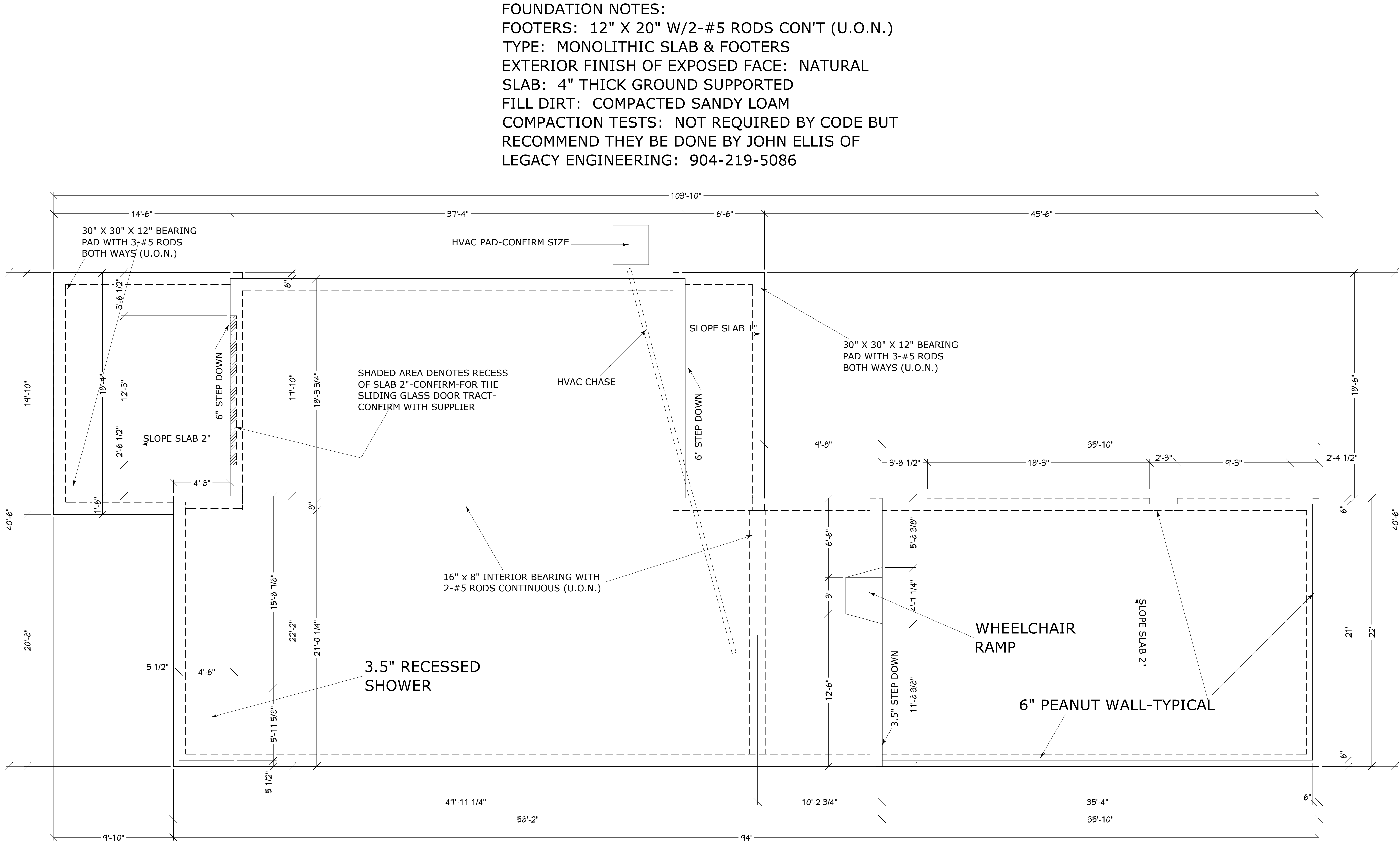
1. BOUNDARY SURVEY AND TOPOGRAPHIC INFORMATION WAS PROVIDED BY PERRET & ASSOCIATES, INC.
2. ALL WORK WITHIN PUBLIC RIGHT OF WAY SHALL BE IN ACCORDANCE LOCAL ORDINANCES.

CIVIL ENGINEERED DRAINAGE PLAN

MARTIN ENGINEERING, LLC. 13245-4 ATLANTIC BLVD, #261 JACKSONVILLE, FL 32225 904-472-1459 FL C.A.# 32027 	LOT GRADING PLAN		REVISIONS	
	WOOD RESIDENCE 3859 CONGA STREET JACKSONVILLE, FL	No.	DESCRIPTION	DATE
PROJECT #: 16-129 DESIGNED: KCM DRAWN: KCM SCALE: AS NOTED ISSUED: 5/10/17 REVISION-1: REVISION-2:				
 KEVIN C. MARTIN, PE #80359	SHEET C-1			

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 ATLANTIC CUSTOM BUILDERS <i>Quality the way you want it</i>	
FUTURE HOME OF: THE WOOD FAMILY CONGA STREET JACKSONVILLE, FL 32217 R/E #: 151203-0000	
Design Drawings provided by:  DESIGNS <i>for</i> LIVING RESIDENTIAL DESIGN SINCE 1998 904-730-7135	
DATE:	
5/12/2017	
SCALE:	
1'-0"=10'-0"	
SHEET:	
A-3	



STRUCTURAL ENGINEER'S DETAILS TAKE
PRECEDENCE OVER THESE DRAWINGS

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FOUNDATION PLAN

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DATE:

5/12/2017

SCALE:

1/4" = 1'-0"

SHEET:

A-4

Design Drawings
provided by:



FUTURE HOME OF:

THE WOOD FAMILY

CONGA STREET
JACKSONVILLE, FL 32217
R/E #: 151203-0000



CLIENT APPROVAL SIGNATURE

DATE

ROBERT WOOD

PLAN #:
1732

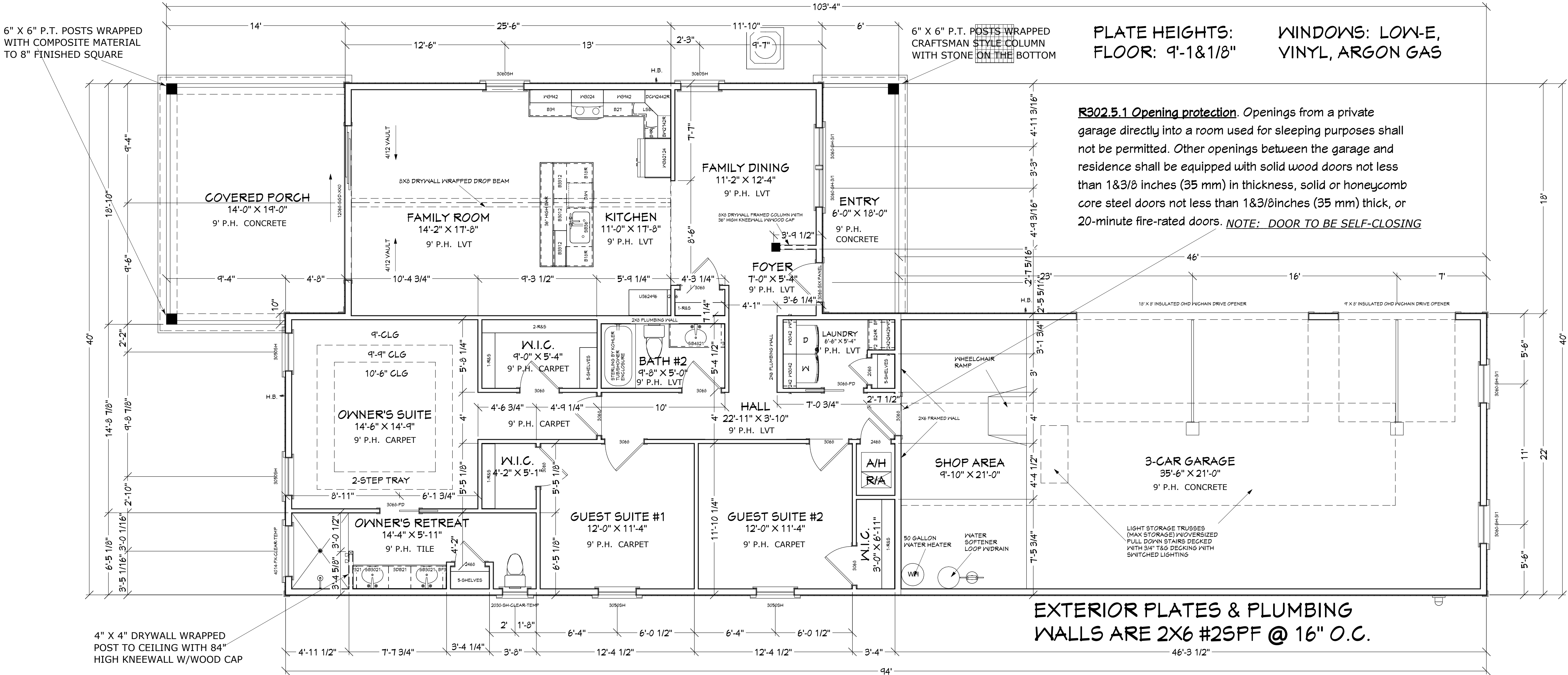


PLATE HEIGHTS:
FLOOR: 9'-1&1/8"

WINDOWS: LOW-E,
VINYL, ARGON GAS

R302.5.1 Opening protection. Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and residence shall be equipped with solid wood doors not less than 1&3/8 inches (35 mm) in thickness, solid or honeycomb core steel doors not less than 1&3/8 inches (35 mm) thick, or 20-minute fire-rated doors. *NOTE: DOOR TO BE SELF-CLOSING*

EXTERIOR PLATES & PLUMBING
WALLS ARE 2X6 #2SPF @ 16" O.C.

SECTION R310
EMERGENCY ESCAPE AND RESCUE OPENINGS

R310.1 Emergency escape and rescue required. Basements, habitable attics and every sleeping room shall have at least one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, emergency egress and rescue openings shall be required in each sleeping room. Where emergency escape and rescue openings are provided they shall have a sill height of not more than 44 inches (1118 mm) above the floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with Section R310.3. The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. Emergency escape and rescue openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with Section R310.2. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.

Exceptions:

- Basements used only to house mechanical equipment and not exceeding total floor area of 200 square feet (18.58 m2).
- The emergency escape and rescue opening shall be permitted to open into a screen enclosure, open to the atmosphere, where a screen door is provided leading away from the residence.

R310.1.1 Minimum opening area.

All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m2).

Exception:

Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465 m2).

R310.1.2 Minimum opening height.

The minimum net clear opening height shall be 24 inches (610 mm).

R310.1.3 Minimum opening width.

R302.11 Fireblocking.

In combustible construction, fireblocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space.

Fireblocking shall be provided in wood-frame construction in the following locations:

- In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:
 - Vertically at the ceiling and floor levels.
 - Horizontally at intervals not exceeding 10 feet (3048 mm).
- At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
- In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7.
- At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion. The material filling this annular space shall not be required to meet the ASTM E 136 requirements.

R302.12 Draftstopping. Draftstopping shall be provided in floor/ceiling assemblies of a combustible construction where the space both above and below the concealed space of a floor/ceiling assembly is not less than 100 square feet (9.29 m2). Draftstopping shall divide the concealed space into approximately equal areas. Where the assembly is enclosed by a floor membrane above and a ceiling membrane below, draftstopping shall be provided in floor/ceiling assemblies under the following circumstances:

- Ceiling is suspended under the floor framing.
- Floor framing is constructed of truss-type open-web or perforated members.

R302.12.1 Materials. Draftstopping materials shall not be less than 1/2-inch (12.7 mm) gypsum board, 3/8-inch (9.5 mm) wood structural panels or other approved materials adequately supported. Draftstopping shall be installed parallel to the floor framing members unless otherwise approved by the building official. The integrity of the draftstops shall be maintained.

FOOTAGES (A.N.S.I.):	
TOTAL HEATED:	1,732.46
WORKSHOP:	216.33
COVERED PORCH:	259.74
GARAGE:	792.00
ENTRY:	108.00
SLAB EXTENSIONS:	33.83
SLAB AREA:	3,142.16
UNDER ROOF:	3,108.53

FLOOR PLAN

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CONGA STREET
JACKSONVILLE, FL 32217
R/E #: 151203-0000

Design Drawings provided by: DESIGNS FOR LIVING, LLC

RESIDENTIAL DESIGNER, PLANNING, DESIGN

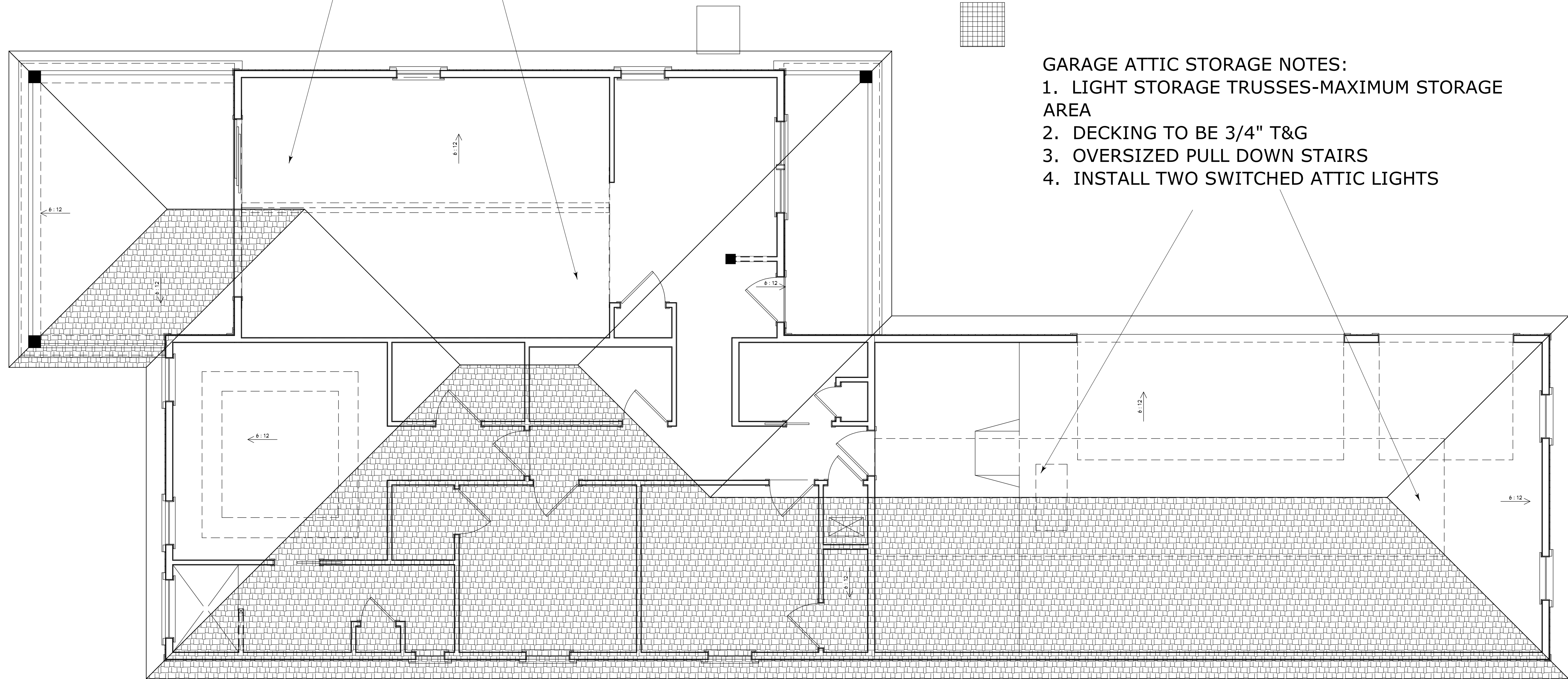
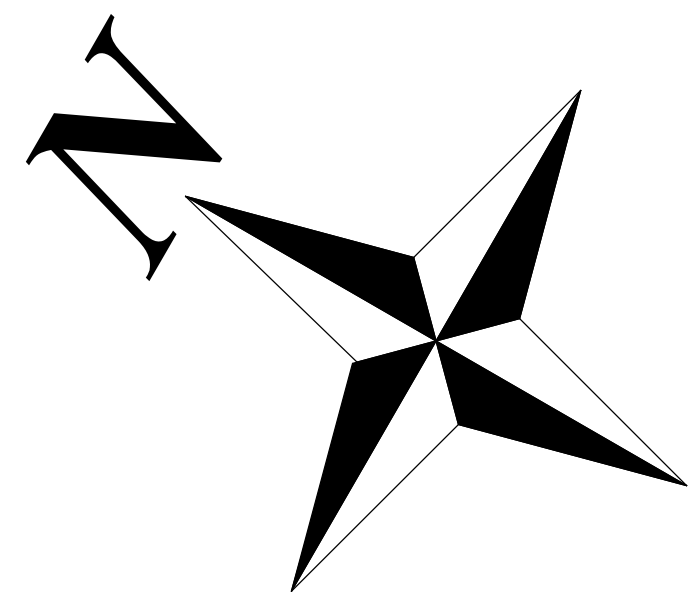
904-730-7135

DATE:
5/12/2017
SCALE:
1/4" = 1'-0"

SHEET:
A-5

TRUSS NOTES:
TRUSSES: PRE-ENGINEERED
SHEATHING: 7/16" OSB (U.O.N.)
ROOF PITCH: 6/12
OVERHANG: 16"
ROOFING: LIFETIME ARCHITECTURAL F/G SHINGLES

FASCIA: PLUMB CUT 1X6 W/1X2 DRIP
SOFFITS: VENTED VINYL
OFF-RIDGE VENTS: PER PLAN



VAULTED CEILING NOTES:
INTERIOR PITCH: 4/12
EXTERIOR PITCH: 6/12
IN KITCHEN & FAMILY ROOM

INSULATION NOTES:
HOUSE WALLS: R-19 FIBERGLASS BATTS
KNEEWALLS: 5.5" OPEN CELL FOAM
ATTIC: 5.5" OPEN CELL FOAM
GARAGE WALLS: R-19 FIBERGLASS BATTS

GARAGE ATTIC STORAGE NOTES:
1. LIGHT STORAGE TRUSSES-MAXIMUM STORAGE AREA
2. DECKING TO BE 3/4" T&G
3. OVERSIZED PULL DOWN STAIRS
4. INSTALL TWO SWITCHED ATTIC LIGHTS

NOTE: THE 6/12 TRUSSES
HAVE STANDARD HEELS!

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ROOF PLAN

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Design Drawings
provided by:



904-730-7135

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R/E #: 151203-0000

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CUSTOM BUILDERS



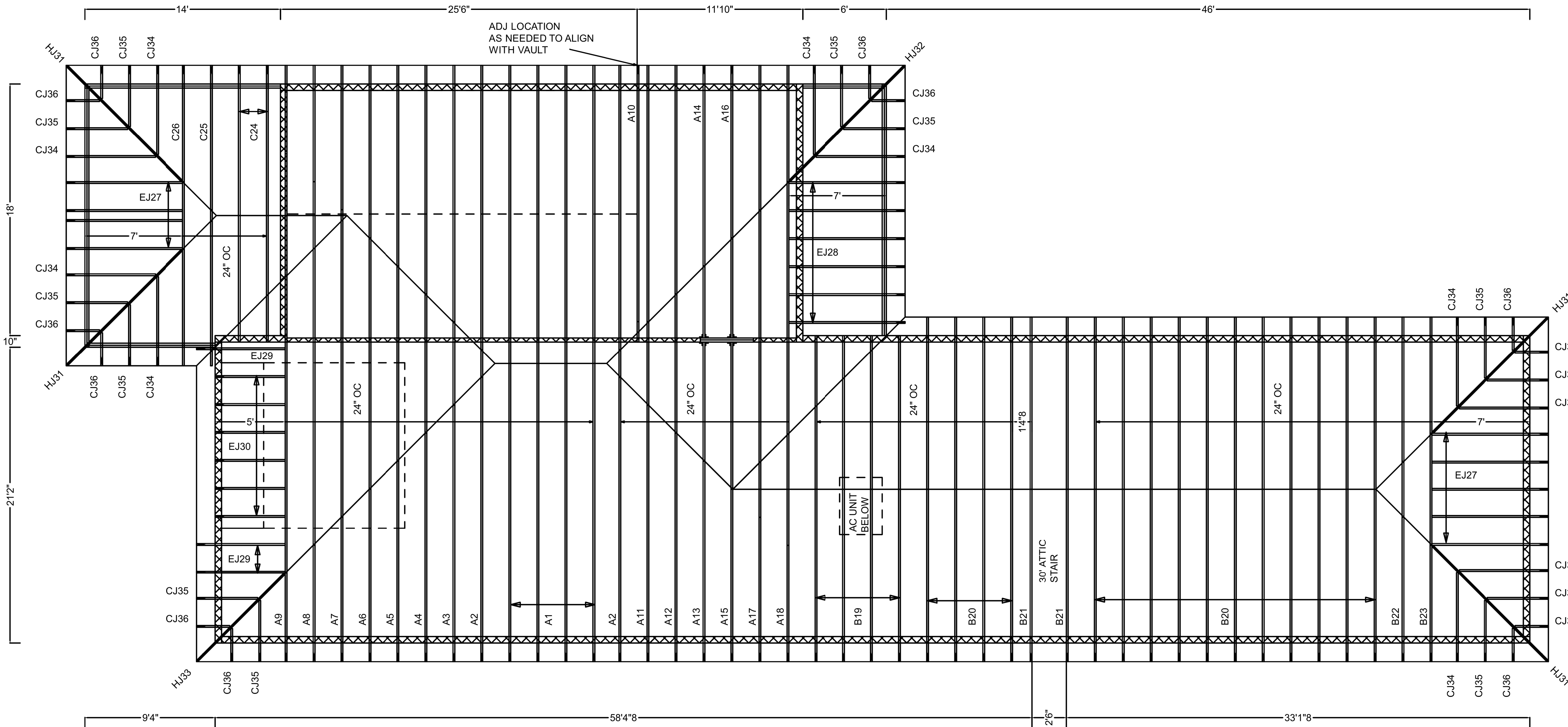
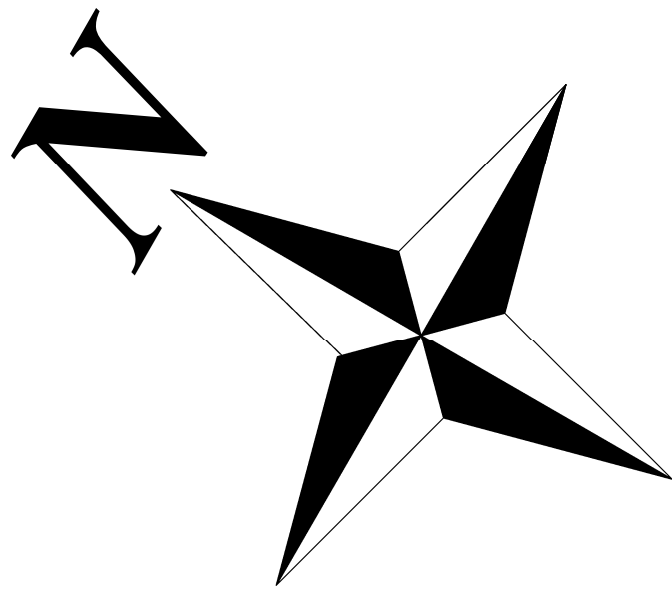
CLIENT APPROVAL SIGNATURE

ROBERT WOOD

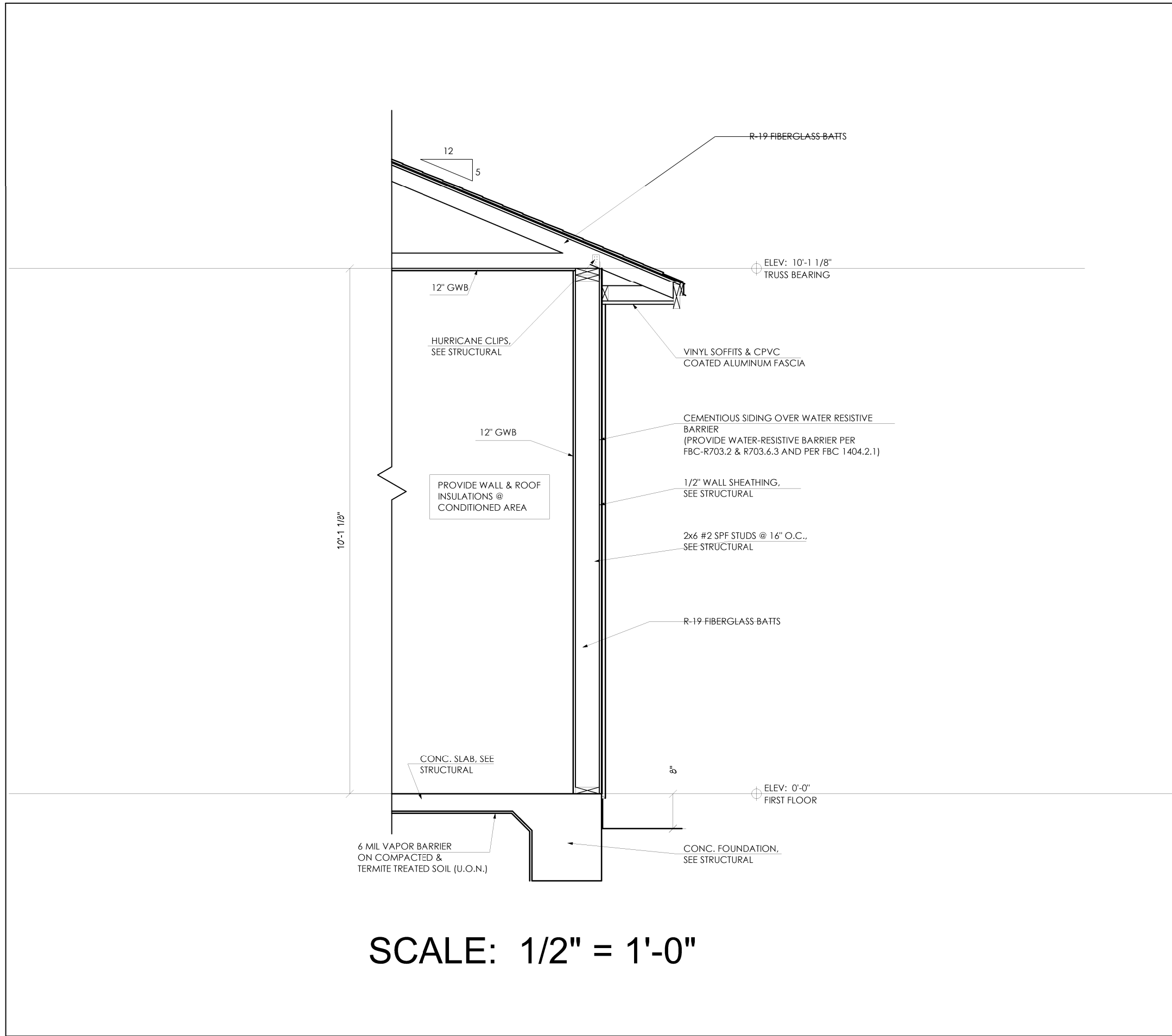
DATE

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SCALE: 1/2" = 1'-0"



JOB: 62298
LOC: 3859 CONGA ST
PLAN: WOOD RESID
DESIGNER: RICHARD TINGLEY

PITCH: 6/12
OVERHANG: 16"
WIND CODE: 130 MPH EXPOSURE B CLOSED
ALL TRUSS PLATES ARE ALPINE PLATES
APPROVAL # 1999-3

ENGINEER OF RECORD
UNKNOWN

ENGINEER OF RECORD TO REVIEW
ALL BEAM AND TRUSS ENGINEERING
AND SIZE FOOTERS, HEADERS, COLUMNS AND
CAPS WHERE NECESSARY. TRUSS FABRICATOR
WILL NOT BE RESPONSIBLE FOR
REPAIRS RESULTING FROM A TRUSS OR
BEAM BEING INADEQUATELY SUPPORTED.

HANGERS ON JOB ARE AS FOLLOWS
UNLESS NOTED OTHERWISE

APPLICATION	PART #	APPROVAL #
1-PLY TRUSS	HUS26	FL10655.24

9-1-2 WALL HEIGHT



ATTENTION: CONTRACTORS, CREWS AND FRAMERS
It is the responsibility of the installer/building contractor to properly receive, unload, store, handle, install and brace metal plate connected wood trusses to protect life and property. Refer to HIB-91 summary sheet for bracing, storage, handling, and installation instructions.
Do not cut or alter trusses. Any questions or discrepancies should be directed to Lumber Unlimited at 904-356-5440 prior to erection or modification of any trusses. Lumber Unlimited is not liable for any "back charges" unless approved by one of our representatives before the work creating the charge is performed.

Lumber Unlimited

P.O. Box 12267
Jacksonville, FL 32209
(904) 356-5440

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SHEET:
A-7

SCALE:
N.T.S.

5/12/2017

DATE:

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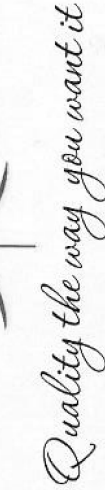


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GARAGE WALLS: R-19 FIBERGLASS BATTS

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REAR (NORTH) ELEVATION



FRONT (SOUTH) ELEVATION

- EXTERIOR NOTES:
1. COMPOSITE CEMENTIOUS LAP SIDING
 2. TYPICAL 5.5" CORNER BOARDS
 3. SOFFITS: VENTED @ GARAGE & PORCHES & NON-VENTED @ MAIN HOME FOAMED AREAS BUILDER TYPE VINYL
 4. SHINGLES: 30 YEAR ARCH F/G
 5. WINDOWS MUTTIONS PER PLAN
 6. PLUMB CUT FASCIA, LEVEL SOFFITS
 7. PORCH CEILINGS: NON-VENTED BUILDER TYPE VINYL
 8. FAUX STONE: PER PLANS @ THE ENTRY COLUMN
 9. SHUTTERS: VINYL PER PLAN
 - 10.FOUNDATION WALL: NATURAL FINISH

FRONT/REAR ELEVATIONS

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PLAN #:1732

CLIENT APPROVAL SIGNATURE

DATE

ROBERT WOOD

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Quality the way you want it

FUTURE HOME OF:

THE WOOD FAMILY

CONGA STREET
JACKSONVILLE, FL 32217
R/E #: 151203-0000

Design Drawings provided by:

DESIGNS FOR LIVING, LLC

RESIDENTIAL DESIGNER SINCE 1989

904-730-7135

DATE:

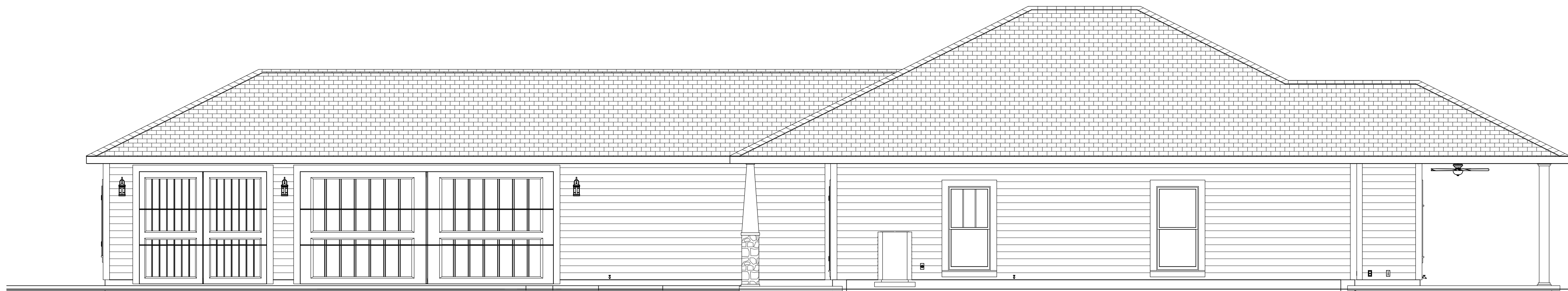
5/12/2017

SCALE:

1/4" = 1'-0"

SHEET:

A-8

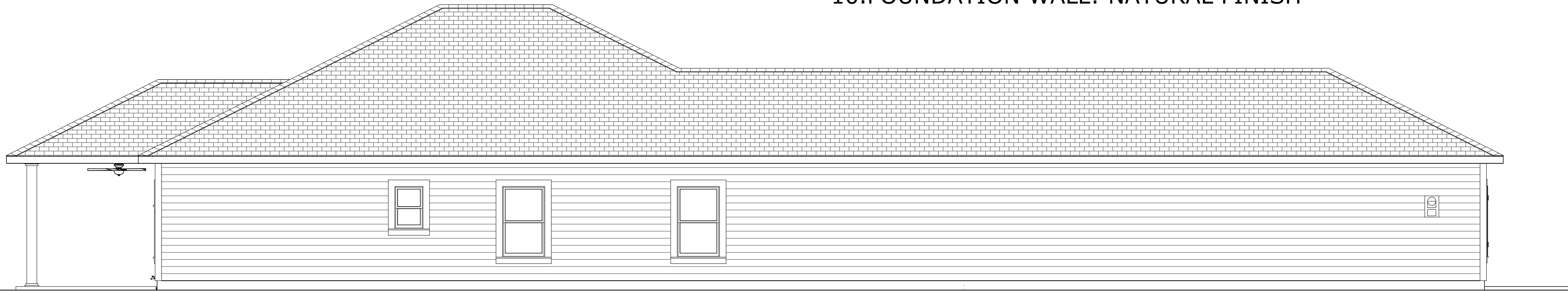


RIGHT (WEST) ELEVATION

INSULATION NOTES:
HOUSE WALLS: R-19 FIBERGLASS BATTS
KNEEWALLS: 5.5" OPEN CELL FOAM
ATTIC: 5.5" OPEN CELL FOAM
GARAGE WALLS: R-19 FIBERGLASS BATTS

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

- EXTERIOR NOTES:
1. COMPOSITE CEMENTIOUS LAP SIDING
 2. TYPICAL 5.5" CORNER BOARDS
 3. SOFFITS: VENTED @ GARAGE & PORCHES & NON-VENTED @ MAIN HOME FOAMED AREAS BUILDER TYPE VINYL
 4. SHINGLES: 30 YEAR ARCH F/G
 5. WINDOWS MUTTONS PER PLAN
 6. PLUMB CUT FASCIA, LEVEL SOFFITS
 7. PORCH CEILINGS: NON-VENTED BUILDER TYPE VINYL
 8. FAUX STONE: PER PLANS @ THE ENTRY COLUMN
 9. SHUTTERS: VINYL PER PLAN
 - 10.FOUNDATION WALL: NATURAL FINISH



LEFT (EAST) ELEVATION

RIGHT/LEFT ELEVATIONS

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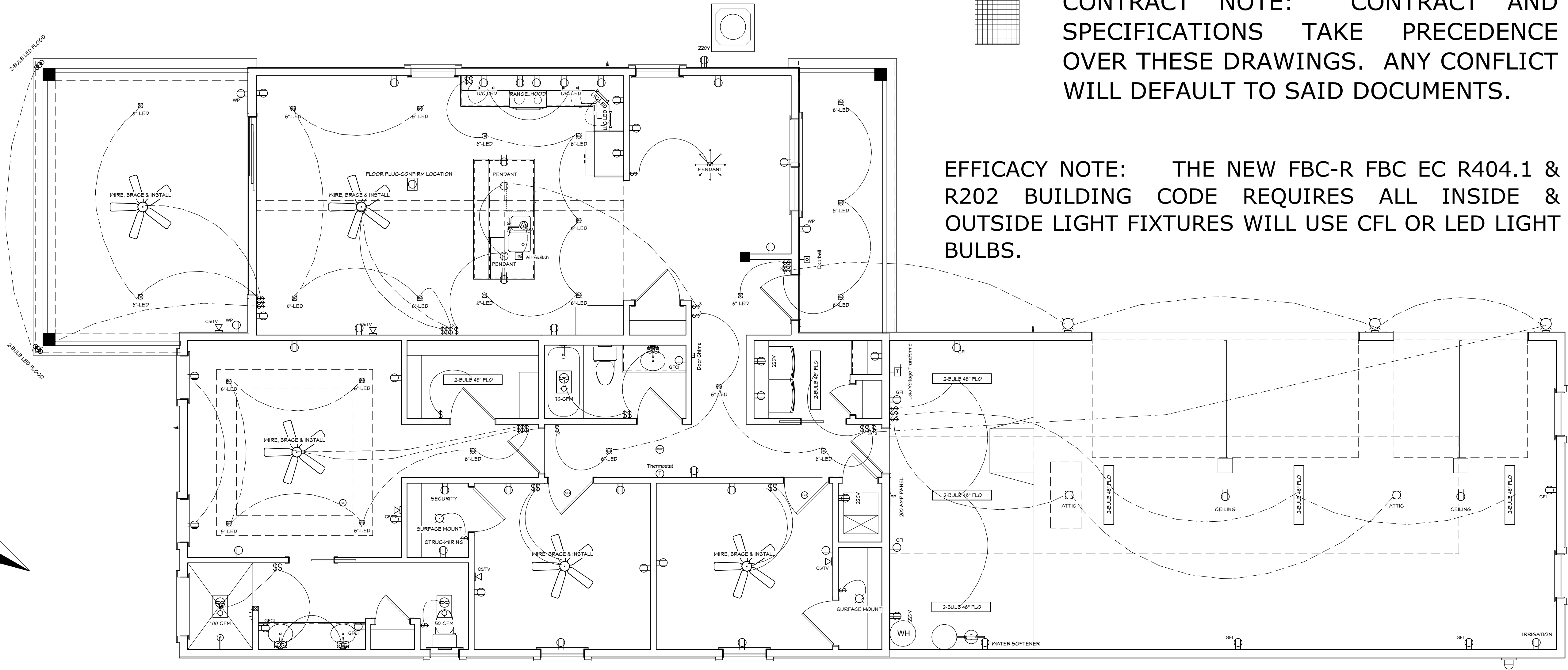
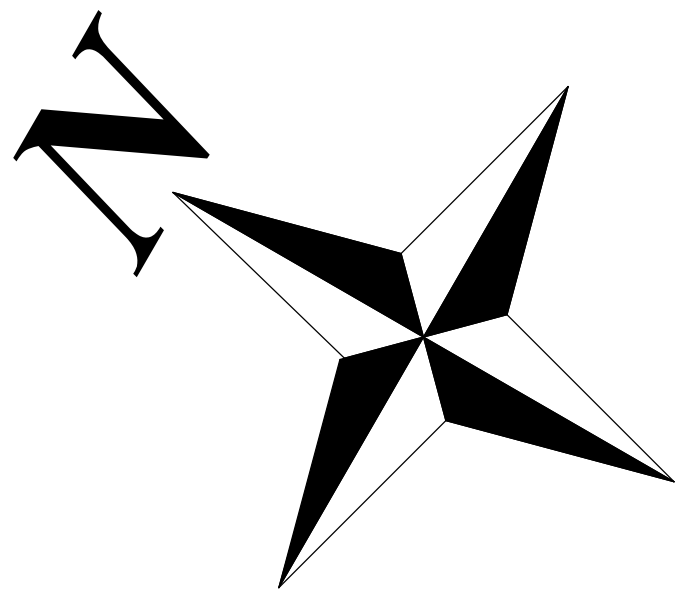
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SCALE:
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SHEET:

A-9



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EFFICACY NOTE: THE NEW FBC-R FBC EC R404.1 & R202 BUILDING CODE REQUIRES ALL INSIDE & OUTSIDE LIGHT FIXTURES WILL USE CFL OR LED LIGHT BULBS.

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

PER FBC-R-E3901.7, NEC 210, E3901.7 & E3902.3 GFCI PROTECTION REQUIRED Bathrooms, garages, boathouses & accessory structures not intended as habitable rooms and limited to storage, work & similar uses. Outdoors, crawl spaces, unfinished basements, kitchen countertops. Outlets within 6 feet of laundry, utility or wet sinks. Balcony, deck or porch greater than 20 s.f. One at the front and back of the dwelling and at the condenser units.

PER FBC-R-E3902.12 AFCI PROTECTION REQUIRED Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed AFCI, combination type.

- ELECTRICAL NOTES:
1. JEA WATER & SEWER
 2. HOME IS ALL ELECTRIC
 4. STRUCTURED WIRING ROUGH & TRIM PER PLAN
 5. SECURITY PRE-WIRE & TRIM
 6. PRE-WIRE & TRIM FOR CAT5/TV PER PLANS
 7. CONFIRM WITH OWNER ON STRUCTURED WIRING
 - 8.ONE-200 AMP ELECTRICAL PANEL
 9. CONFIRM ALL ELECTRICAL W/OWNER PRIOR TO WIRING ANYTHING

- HVAC NOTES:
1. TWO SPEED COMPRESSOR
 2. VARIABLE SPEED AIR HANDLER
 3. 5", 6 MONTH FILTER AT THE UNIT
 4. ALL REGISTERS AND GRILLS TO BE FULLY ADJUSTABLE ALUMINUM TYPE
 5. 15.00 SEER MINIMUM

ELECTRICAL PLAN

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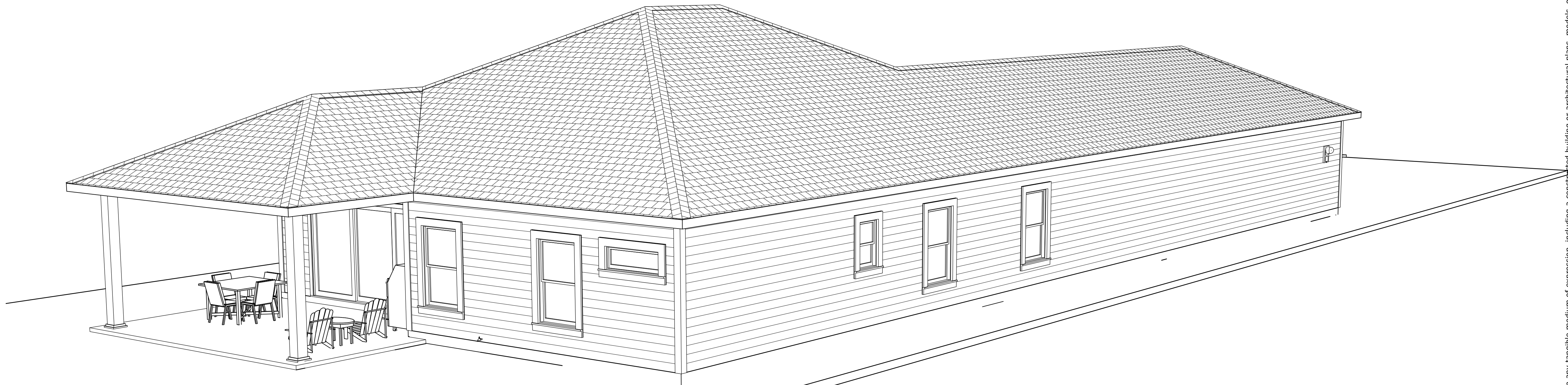
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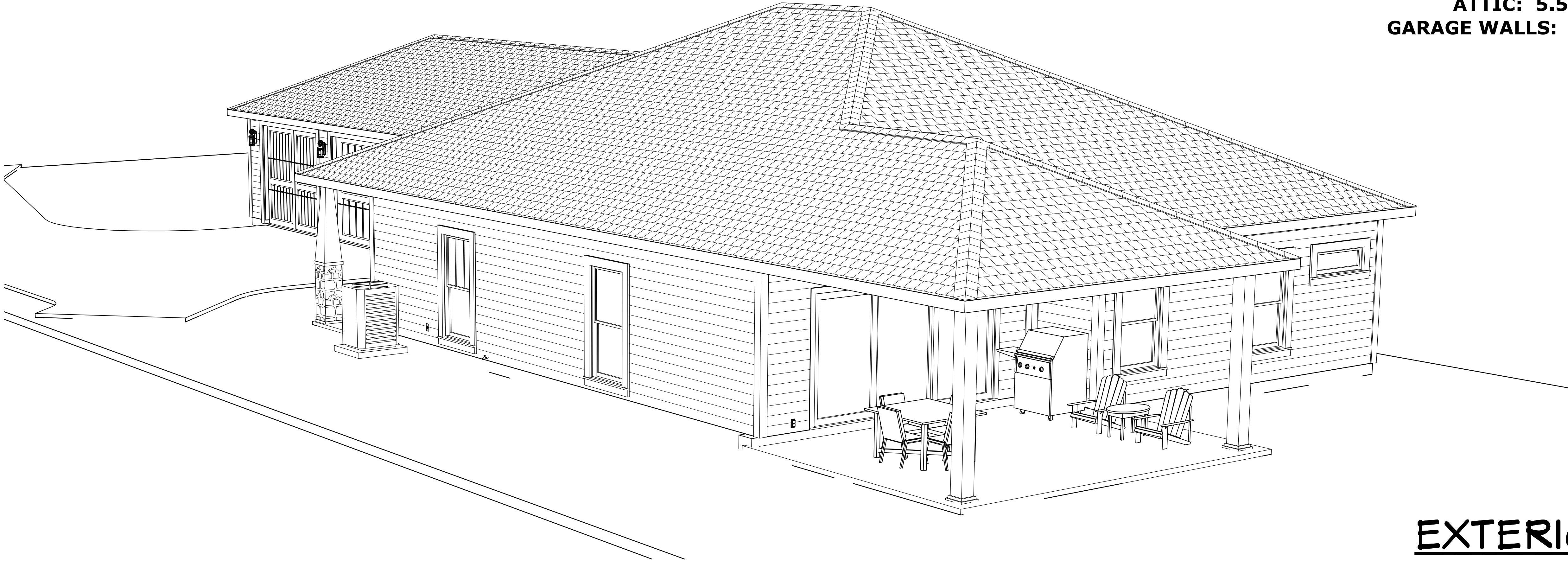


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EXTERIOR ISOMETRICS

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SHEET:
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