

FUTURE HOME OF THE WILSON FAMILY

PERMIT SET 3/3/2016



8537 CROSSWINDS DRIVE
SAINT AUGUSTINE, FL 32092
LOT 18, CROSSWINDS
BUILT BY:
TURNKEY CONSTRUCTION, INC.
904-900-1069
CBC057917

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Design Drawings
provided by:



DESIGNS *for* LIVING, LLC
RESIDENTIAL DESIGN SINCE 1999
904-730-7135

PROJECT DESCRIPTION:
FUTURE HOME OF THE WILSON
FAMILY
8537 CROSSWINDS DRIVE
SAINT AUGUSTINE, FLORIDA 32092



CONSTRUCTION & MAINTENANCE, INC.
904-900-1069
BUILT BY: CBC057917

NO.	DESCRIPTION	BY	DATE

PLAN #
3651

DATE:
3/3/2016

SCALE:
N.T.S

SHEET:
A-1

TREE REQUIREMENTS:
1.31 ACRES X 40 INCHES PER ACRE EQUALS
53 INCHES OF APPROVED TREES. 70% OF
THE REQUIRED TREES SHALL BE CANOPY
TYPE WITH NO MORE THAN 1/2 OF THE
SAME SPECIES. EXISTING TREES ON THE
PROPERTY ARE MORE THAN ADEQUATE TO
MEET THIS REQUIREMENT

DRAINAGE ELEVATIONS SHOWN HEREON
REFER TO NGVD OF 1929

LOT 18	WILSON RESIDENCE
LOT SIZE	57,303% P SQ. FT.
DRIVEWAY TO R/W	3,431% P SQ. FT.
RIGHT-OF-WAY LENGTH	100.00 FT.
TOTAL BUILDING COVERAGE	5,128% P SQ. FT. 9% %
TOTAL IMPERVIOUS COVERAGE	8,614% P SQ. FT. 15% %

FOUND 1/2" IRON PIPE
NO I.D
UNLESS OTHERWISE NOTED

UNDERGROUND ENCROACHMENTS NOT LOCATED

LAND SURVEYORS - 3751 SAN JOSE PLACE, SUITE 15 - JACKSONVILLE, FLORIDA, 32257 - 904/279-0088 - LICENSED LAND BUSINESS NO. 385

ALL
AMERICAN
SURVEYOR
OF FLORIDA
INC.

DATE 09-29-15 FLORIDA REGISTERED SURVEYOR AND MAPPER

FILE 79457

The applicant/owner/contractor shall immediately contact St. Johns County lot grading staff should modifications to the drainage plan be required during site development, based on actual field conditions.

NOTE: HVAC PAD
HERE AND ARE 2
PROPERTY LINE

PER THE LDC THE WIDTH
OF THE DRIVEWAY AT THE
PROPERTY LINE IS 18' MAX

DETAIL
SCALE 1"=20'

NOTE:
WETLAND LOCATION PROVIDED
BY O.C. REEDY & ASSOCIATES
01/25/16

**THE JURISDICTIONAL WETLAND LINE,
WETLAND IMPACTS, AND MITIGATION
AREA(S) AS DEPICTED ON THIS SITE PLAN
MATCH THOSE SHOWN ON THE SITE PLAN
SUBMITTED TO AND APPROVED BY THE
FLORIDA DEPARTMENT OF
ENVIRONMENTAL PROTECTION, (SECTION
4.01.06; 6.02.01; 6.04.02, LAND
DEVELOPMENT CODE)**

11. UPLAND BUFFERS ADJACENT TO WETLANDS ARE TO REMAIN NATURAL, VEGETATIVE, AND UNDISTURBED. THE UPLAND BUFFER WILL BE IDENTIFIED AND STAKED WITH A SILT FENCE/PROTECTIVE BARRIER PRIOR TO ANY LAND CLEARING. CONTRACTOR/OWNER WILL BE RESPONSIBLE IN THE EVENT THAT THERE IS AN UNAUTHORIZED IMPACT TO THE UPLAND BUFFER(S). [LDC:5.03.02]

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X-X-X-X-X = SILT FENCE

CENTERLINE OF HAWKINS CREEK

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Fax: CBC057917

CBC057917

PROJECT DESCRIPTION:
FUTURE HOME OF THE WILSON
FAMILY
8537 CROSSWINDS DRIVE
SAINT AUGUSTINE, FLORIDA 32080

Drawings
d by:



DESIGNS *for* LIVING.
RESIDENTIAL DESIGN SINCE 1965

904-730-7135

904-730-7135

DATE:

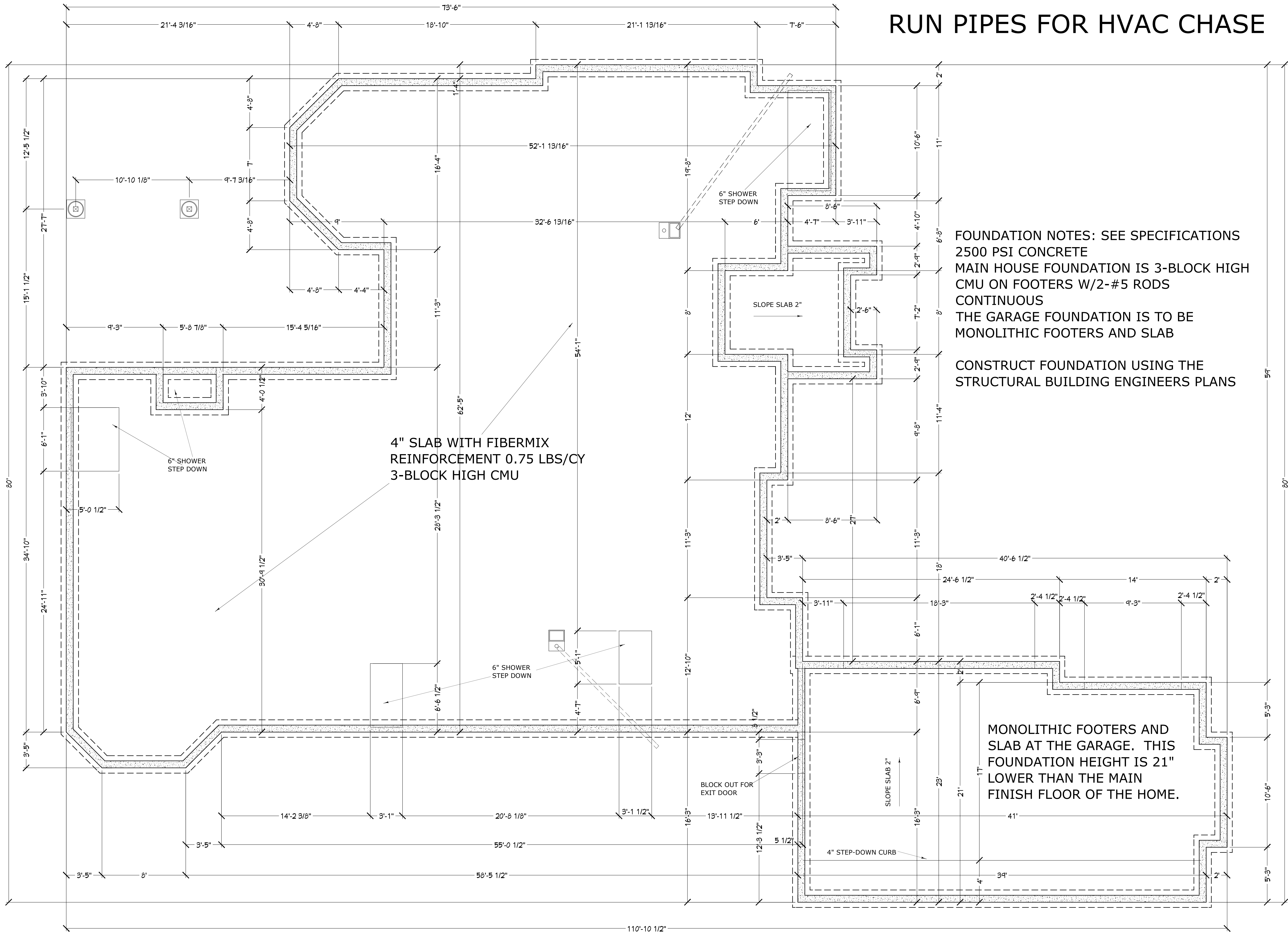
3/3/2016

SCALE:

N.T.S.

SHEET:

A-2



RUN PIPES FOR HVAC CHASE

FOUNDATION NOTES: SEE SPECIFICATIONS
2500 PSI CONCRETE
MAIN HOUSE FOUNDATION IS 3-BLOCK HIGH
CMU ON FOOTERS W/2-#5 RODS
CONTINUOUS
THE GARAGE FOUNDATION IS TO BE
MONOLITHIC FOOTERS AND SLAB

CONSTRUCT FOUNDATION USING THE
STRUCTURAL BUILDING ENGINEERS PLANS

MONOLITHIC FOOTERS AND
SLAB AT THE GARAGE. THIS
FOUNDATION HEIGHT IS 21"
LOWER THAN THE MAIN
FINISH FLOOR OF THE HOME.

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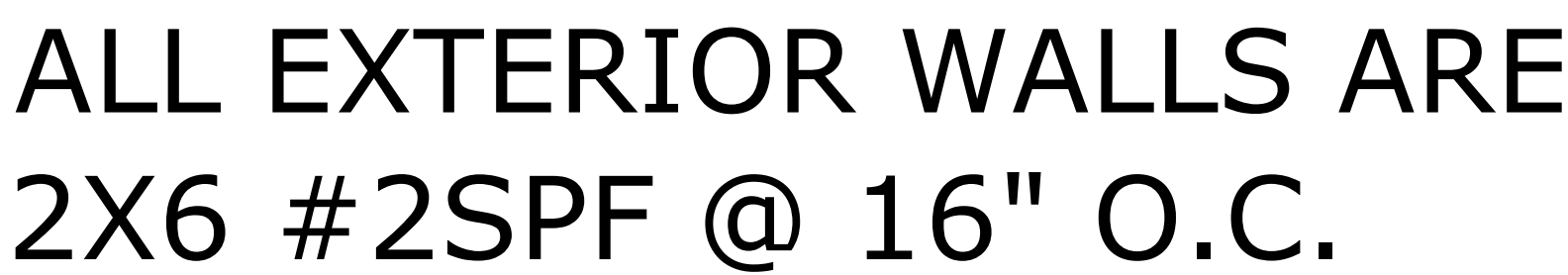
3/3/2016

SCALE:

1/4" = 1'-0"

SHEET:

A-3



INSULATION NOTES:
WALLS: R-19 FIBERGLASS BATTS
KNEEWALLS: 5.5" OPEN CELL
FOAM
CEILING: 5.5" OPEN CELL FOAM

WINDOW & DOOR ROUGHS TO BE
SUPPLIED BY THE SUPPLIERS

NOTE: WINDOWS TO BE
PLYGEM, MODEL 1500 OR
EQUAL, VINYL, AND COMPLY
WITH 2014 FBC-RESIDENTIAL.
SLIDING GLASS DOORS TO BE
PLYGEM MODEL #4780 OR
EQUAL. SEE MANUFACTURER'S
SPECIFICATIONS

FOOTAGES (A.N.S.I.):	
COVERED PORCH:	445.42
GARAGE:	875.63
HEATED:	3,651.74
COVERED ENTRY:	141.36
SLAB EXTENSIONS:	33.17
SLAB AREA:	5,147.32
TOTAL UNDER ROOF:	5,114.15

FLOOR PLAN

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[illegible]

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SAINT AUGUSTINE, FLORIDA 32080

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and by:



DESIGNS for LIVING LLC
RESIDENTIAL DESIGN SINCE 1969

001 720 7135

004 730 713E

DATE:
3/3/2016

SCALE:
 $1/4" = 1'-0"$

SHEET:

A-4

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SECTION R310
EMERGENCY ESCAPE AND RESCUE OPENINGS

R310.1 Emergency escape and rescue required. Basements, habitable attics and every sleeping room shall have at least one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, emergency egress and rescue openings shall be required in each sleeping room. Where emergency escape and rescue openings are provided they shall have a sill height of not more than 44 inches (1118 mm) above the floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with Section R310.3. The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. Emergency escape and rescue openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with Section R310.2. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.

Exceptions:

1. Basements used only to house mechanical equipment and not exceeding total floor area of 200 square feet (18.58 m2).
2. The emergency escape and rescue opening shall be permitted to open into a screen enclosure, open to the atmosphere, where a screen door is provided leading away from the residence.

R310.1.1 Minimum opening area.

All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m2).

Exception:

Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465 m2).

R310.1.2 Minimum opening height.

The minimum net clear opening height shall be 24 inches (610 mm).

R310.1.3 Minimum opening width.

The minimum net clear opening width shall be 20 inches (508 mm).

R310.1.4 Operational constraints.

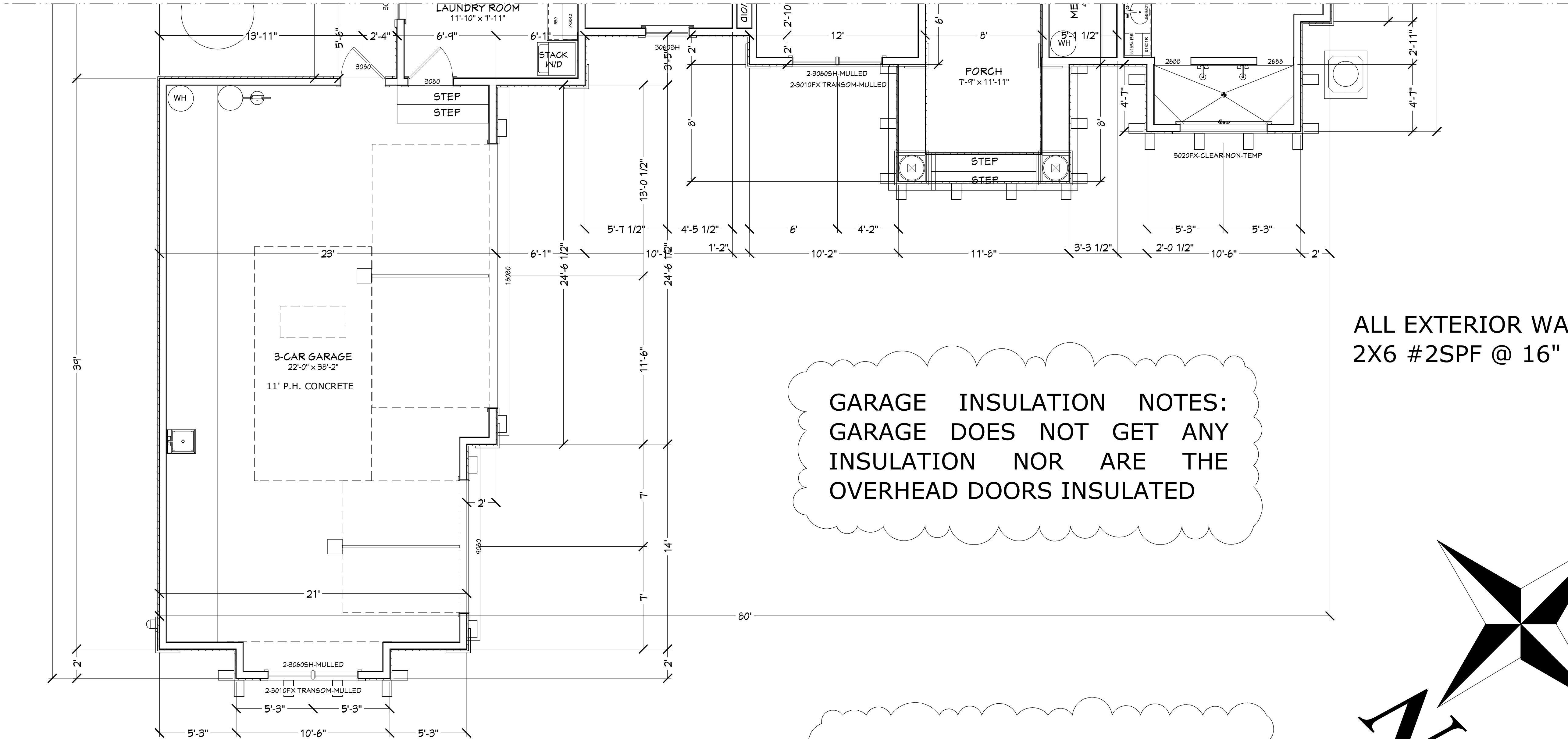
Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys, tools or special knowledge.

R302.11 Fireblocking.

In combustible construction, fireblocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space.

Fireblocking shall be provided in wood-frame construction in the following locations:

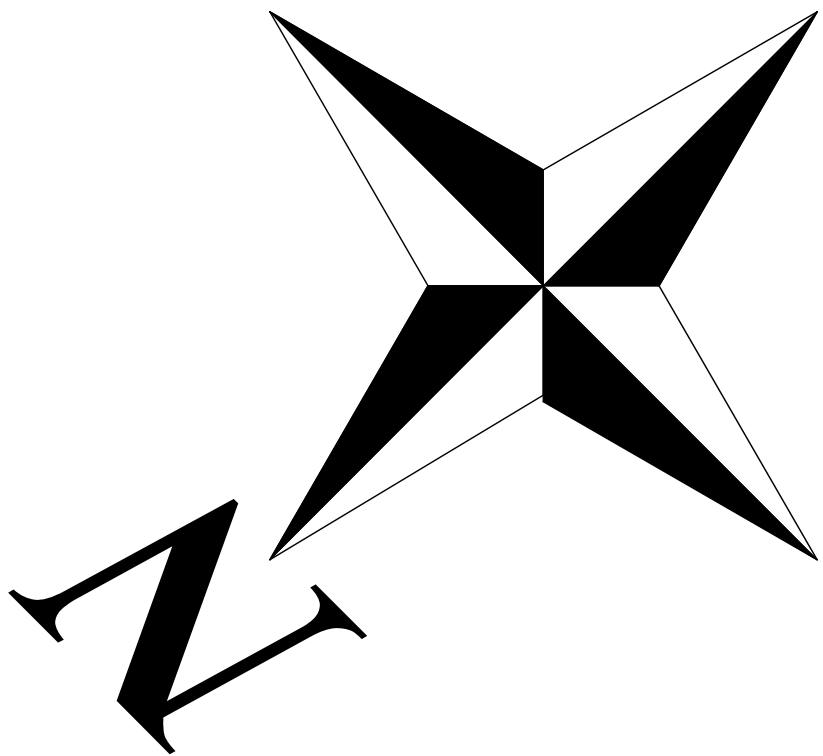
1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:
 - 1.1. Vertically at the ceiling and floor levels.
 - 1.2. Horizontally at intervals not exceeding 10 feet (3048 mm).
2. At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
3. In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7.
4. At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion. The material filling this annular space shall not be required to meet the ASTM E 136 requirements.
5. For the fireblocking of chimneys and fireplaces, see Section R1003.19.
6. Fireblocking of cornices of a two-family dwelling is required at the line of dwelling unit separation.



ALL EXTERIOR WALLS ARE
2X6 #2SPF @ 16" O.C.

GARAGE INSULATION NOTES:
GARAGE DOES NOT GET ANY
INSULATION NOR ARE THE
OVERHEAD DOORS INSULATED

WINDOW & DOOR ROUGHS TO BE
SUPPLIED BY THE SUPPLIERS



GARAGE PLAN

R302.5.1 *Opening protection.* Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and residence shall be equipped with solid wood doors not less than 1&3/8 inches (35 mm) in thickness, solid or honeycomb core steel doors not less than 1&3/8 inches (35 mm) thick, or 20-minute fire-rated doors. NOTE: DOOR TO BE SELF-CLOSING

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PLAN #
3651

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TURNKEY
CONSTRUCTION & MAINTENANCE, INC.

904-900-1069
BUILT BY: CBC057917

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FUTURE HOME OF THE WILSON
FAMILY

8537 CROSSWINDS DRIVE
SAINT AUGUSTINE, FLORIDA 32092

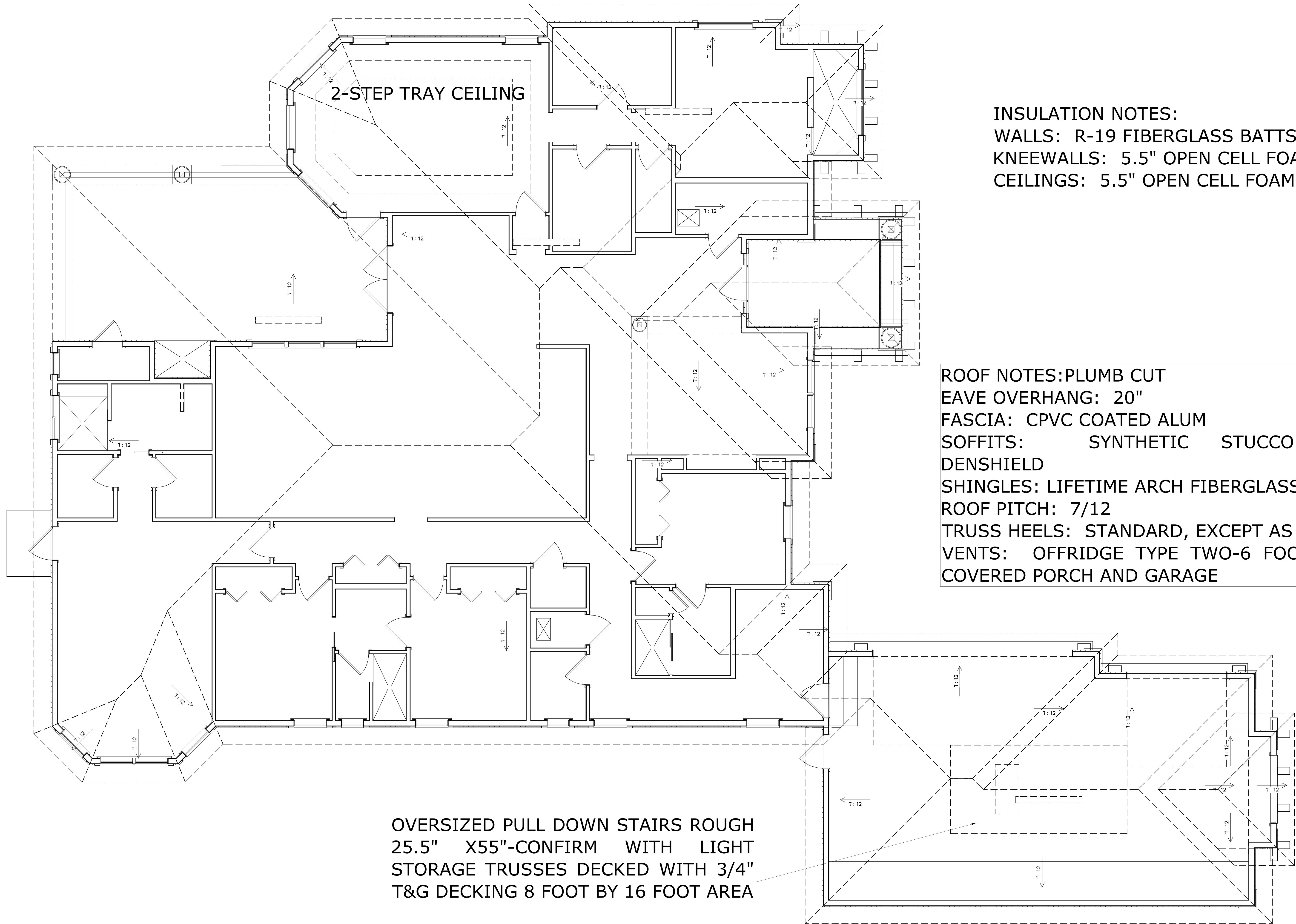
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RESIDENTIAL DESIGN SINCE 1989
904-730-7135

DATE:
3/3/2016

SCALE:
1/4" = 1'-0"

SHEET:
A-5



INSULATION NOTES:
WALLS: R-19 FIBERGLASS BATTS
KNEEWALLS: 5.5" OPEN CELL FOAM
CEILINGS: 5.5" OPEN CELL FOAM

ROOF NOTES: PLUMB CUT
EAVE OVERHANG: 20"
FASCIA: CPVC COATED ALUM
SOFFITS: SYNTHETIC STUCCO OVER
DENSIELD
SHINGLES: LIFETIME ARCH FIBERGLASS
ROOF PITCH: 7/12
TRUSS HEELS: STANDARD, EXCEPT AS NOTED
VENTS: OFFRIDGE TYPE TWO-6 FOOTERS @
COVERED PORCH AND GARAGE

OVERSIZED PULL DOWN STAIRS ROUGH
25.5" X55"-CONFIRM WITH LIGHT
STORAGE TRUSSES DECKED WITH 3/4"
T&G DECKING 8 FOOT BY 16 FOOT AREA

ROOF PLAN

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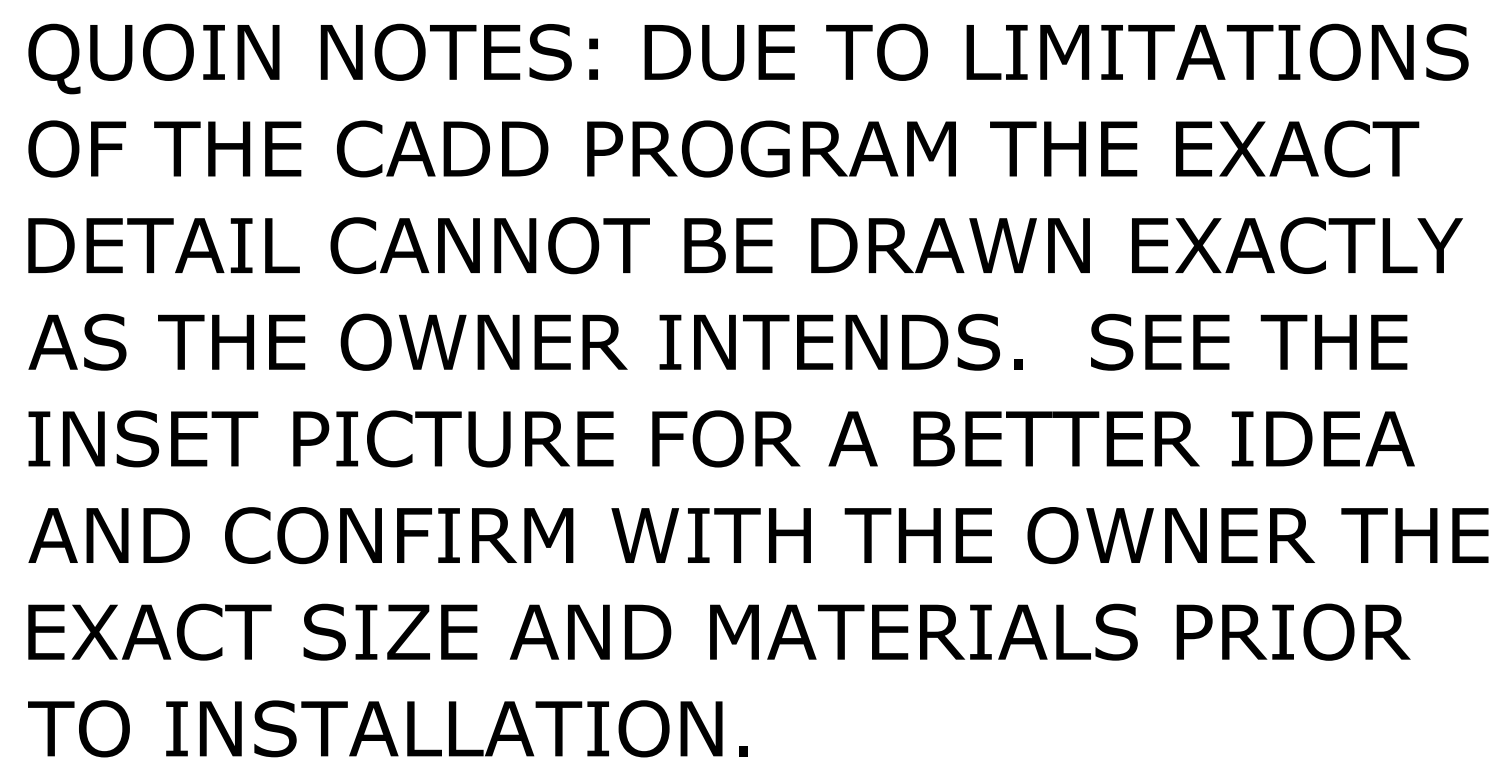
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DATE:
3/3/2016

SCALE:
1/4" = 1'-0"

SHEET:
A-6



1. SYNTHETIC STUCCO EXTERIOR
2. QUOINS PER PLAN DESIGN BY OWNER
3. SOFFITS: SYNTHETIC STUCCO OVER DENSIELD
4. SHINGLES ARCHITECTURAL FIBERGLASS
5. WINDOW MUNTINS PER PLAN
6. CPVC COATED ALUMINUM PLUMB CUT FASCIA
7. 2X6 ROUGH FASCIA WITH 1X2 P.T. DRIP
8. SYNTHETIC STUCCO OVER THE CMU FOUNDATION

WALLS: R-19 FIBERGLASS BATTS
KNEEWALLS: 5.5" OPEN CELL FOAM
CEILINGS: 5.5" OPEN CELL FOAM

FRONT/REAR ELEVATIONS

DATE:	
3/3/2016	
SCALE:	
1/4" = 1'-0"	
SHEET:	
A-7	

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CEILINGS: 5.5" OPEN CELL FOAM



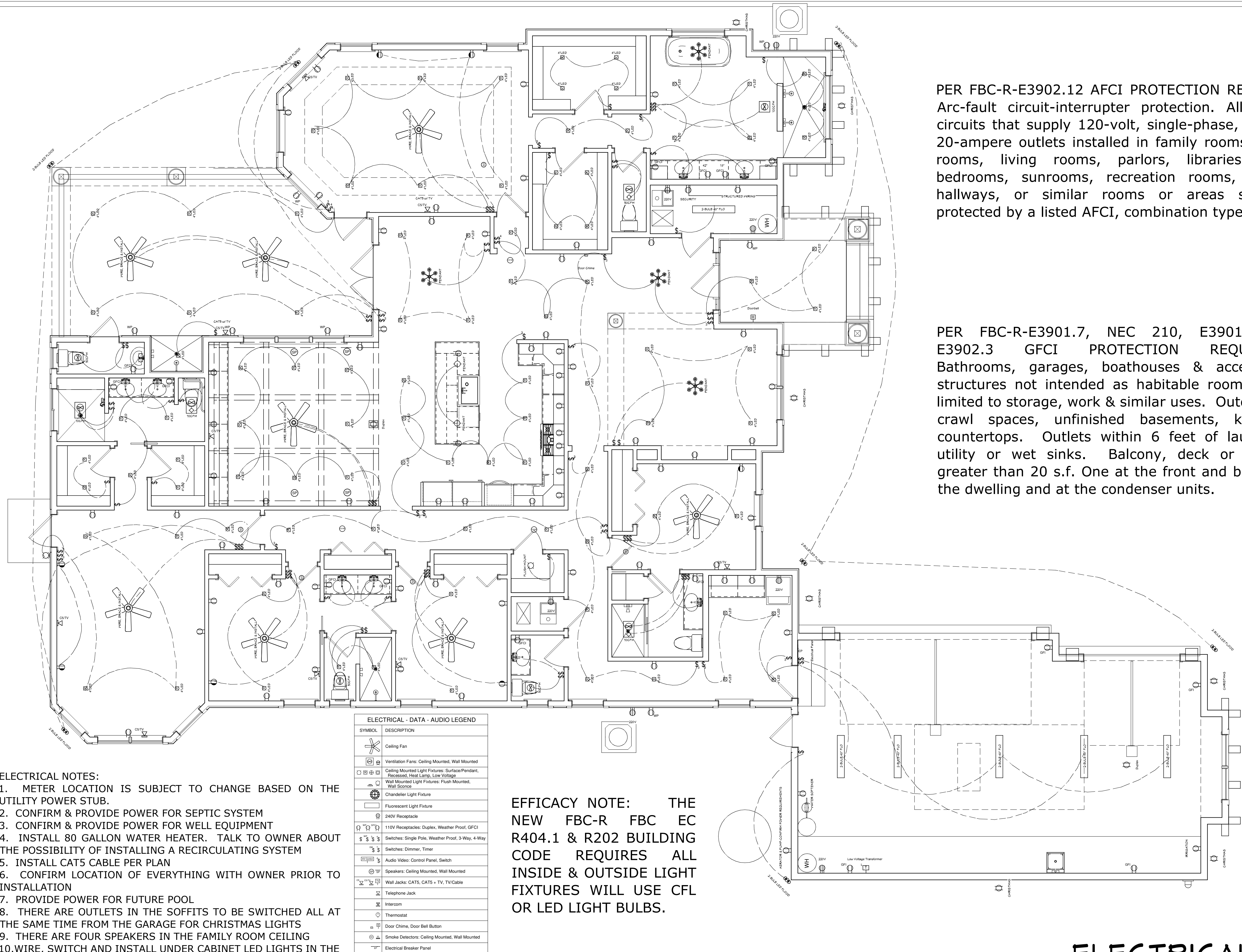
8. SYNTHETIC STUCCO OVER THE CMU FOUNDATION



RIGHT/LEFT ELEVATIONS

A-8

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PER FBC-R-E3902.12 AFCI PROTECTION REQUIRED
Arc-fault circuit-interrupter protection. All branch
circuits that supply 120-volt, single-phase, 15- and
20-ampere outlets installed in family rooms, dining
rooms, living rooms, parlors, libraries, dens,
bedrooms, sunrooms, recreation rooms, closets,
hallways, or similar rooms or areas shall be
protected by a listed AFCI, combination type.

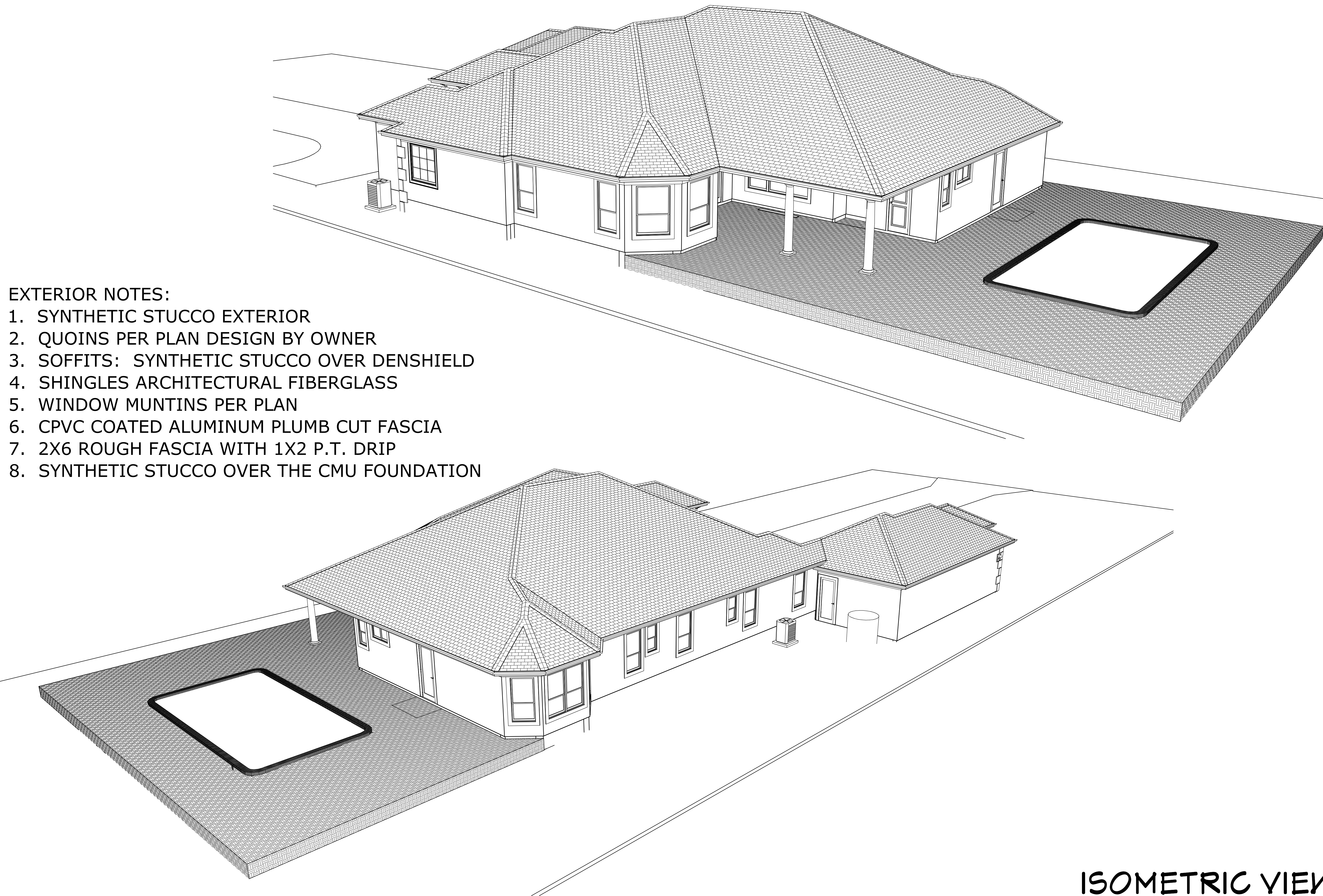
PER FBC-R-E3901.7, NEC 210, E3901.7 & E3902.3 GFCI PROTECTION REQUIRED Bathrooms, garages, boathouses & accessory structures not intended as habitable rooms and limited to storage, work & similar uses. Outdoors, crawl spaces, unfinished basements, kitchen countertops. Outlets within 6 feet of laundry, utility or wet sinks. Balcony, deck or porch greater than 20 s.f. One at the front and back of the dwelling and at the condenser units.

ELECTRICAL NOTES:

1. METER LOCATION IS SUBJECT TO CHANGE BASED ON THE UTILITY POWER STUB.
2. CONFIRM & PROVIDE POWER FOR SEPTIC SYSTEM
3. CONFIRM & PROVIDE POWER FOR WELL EQUIPMENT
4. INSTALL 80 GALLON WATER HEATER. TALK TO OWNER ABOUT THE POSSIBILITY OF INSTALLING A RECIRCULATING SYSTEM
5. INSTALL CAT5 CABLE PER PLAN
6. CONFIRM LOCATION OF EVERYTHING WITH OWNER PRIOR TO INSTALLATION
7. PROVIDE POWER FOR FUTURE POOL
8. THERE ARE OUTLETS IN THE SOFFITS TO BE SWITCHED ALL AT THE SAME TIME FROM THE GARAGE FOR CHRISTMAS LIGHTS
9. THERE ARE FOUR SPEAKERS IN THE FAMILY ROOM CEILING
10. WIRE, SWITCH AND INSTALL UNDER CABINET LED LIGHTS IN THE KITCHEN

EFFICACY NOTE: THE NEW FBC-R FBC EC R404.1 & R202 BUILDING CODE REQUIRES ALL INSIDE & OUTSIDE LIGHT FIXTURES WILL USE CFL OR LED LIGHT BULBS.

ELECTRICAL PLAN



EXTERIOR NOTES:

1. SYNTHETIC STUCCO EXTERIOR
2. QUOINS PER PLAN DESIGN BY OWNER
3. SOFFITS: SYNTHETIC STUCCO OVER DENSIELD
4. SHINGLES ARCHITECTURAL FIBERGLASS
5. WINDOW MUNTINS PER PLAN
6. CPVC COATED ALUMINUM PLUMB CUT FASCIA
7. 2X6 ROUGH FASCIA WITH 1X2 P.T. DRIP
8. SYNTHETIC STUCCO OVER THE CMU FOUNDATION

ISOMETRIC VIEWS

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PLAN # 3651			
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