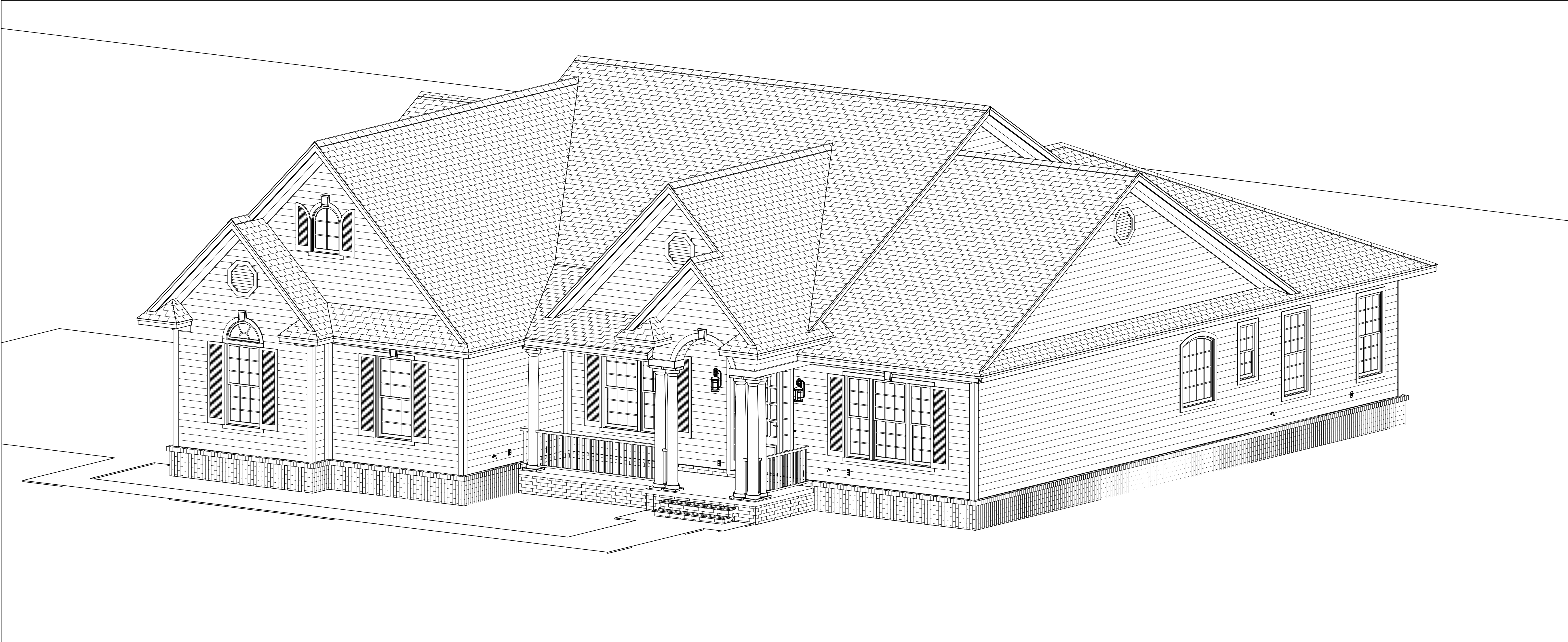


NEW HOME FOR THE HIGGINBOTHAM FAMILY

PERMIT SET 5/12/2017



KINGS FERRY ROAD
HILLIARD, FL 32046
MEETS & BOUNDS
R/E #: 04-3N-24-0000-0004-0110

BUILT BY: HURST CONSTRUCTION, INC.
CGC1508745
CELL: 904-626-8813

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BUILT BY:
HURST CONTRACTING, INC.
CGC1508745
OFFICE: 904-626-8813
841 SHADY REACH DR.
JACKSONVILLE, FL 32211

PROJECT DESCRIPTION:
FUTURE HOME OF THE
HIGGINBOTHAM FAMILY
KINGS FERRY ROAD
, HILLIARD, FLORIDA 32046

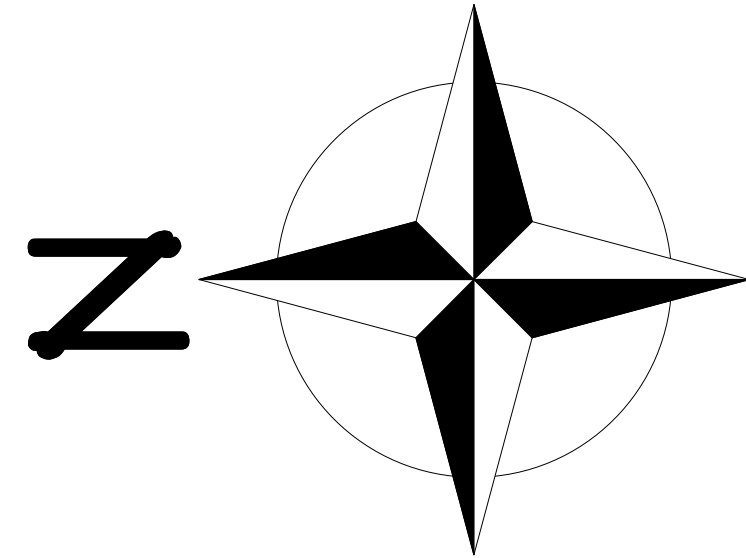
Design Drawings
provided by:
DESIGNS FOR LIVING, LLC
RESIDENTIAL DRAWING SINCE 1998
904-730-7135

DATE:
5/12/2017
SCALE:
N.T.S
SHEET:
A-1

PLAN #
2399
CLIENT APPROVAL SIGNATURE DATE
TERRY L. HIGGINBOTHAM
TANYA L. HIGGINBOTHAM

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

SITE LOCATION



CONCRETE APRON, CULVERT
& HEADWALLS BY OWNER

WATER: PRIVATE DEEP WELL
SEWER: PRIVATE SEPTIC SYSTEM
ELECTRIC: T.B.D.

PROPOSED DEEP
WELL & EQUIPMENT
BY OWNER

PROPOSED SEPTIC
TANK &
DRAINFIELD BY
OWNER

S02 53' 53" E 295.00'

25' REAR SETBACK

30' X 44' METAL
BUILDING BY OWNER

CONCRETE WALKS AND DRIVE
APRON BY ALLOWANCE

30' FRONT SETBACK

N02 53' 53" W 295.00'

KINGS FERRY ROAD
CLOSEST INTERSECTION:
PINERIDGE ROAD

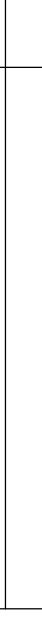
ZONING: AC
SETBACKS:
FRONT: 30'
SIDES: 10'
REAR: 25'

WIND DESIGN CRITERIA:
WIND SPEED: 120 MPH
EXPOSURE CATEGORY: "B"
BUILDING TYPE: ENCLOSED
BUILDING CATEGORY: II
IMPORTANCE FACTOR: 1.0
TOPOGRAPHY: FLAT
MEAN ROOF HEIGHT: -25 FT
BUILDING CODE: 2014 FBC-R

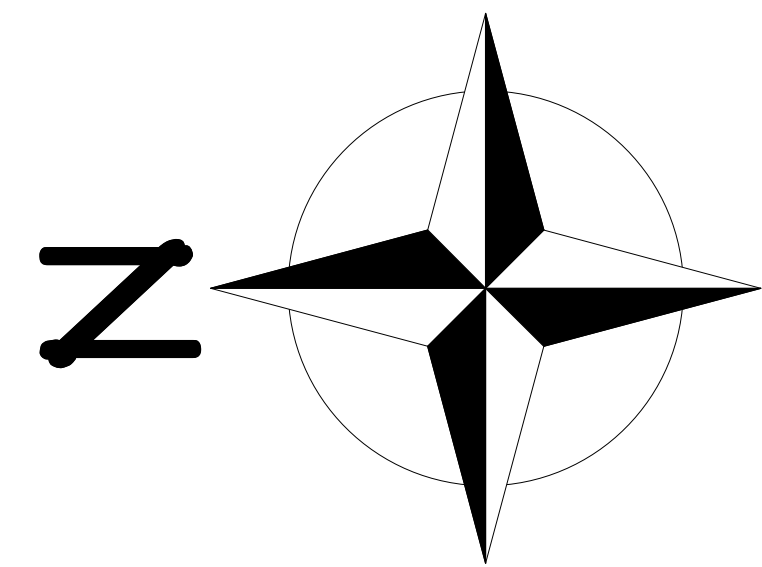
SITE CALCULATIONS:
LAND AREA: 2 ACRES= 87,025 S.F.
HOME COVERAGE: 3,484.36 S.F.
METAL BUILDING: 1,320.00 S.F.
% OF BUILDING COVERAGE: 5.52%
WALKS, DRIVES, PATIO & AC PAD
COVERAGE: 5,705.64 S.F.
% OF WALKS, DRIVES, PATIO & AC
PAD COVERAGE: 6.56%
TOTAL IMPERVIOUS: 12.08%

FLOOD_ZONE: "X"

SITE PLAN

 Design drawings provided by:	PROJECT DESCRIPTION: FUTURE HOME OF THE HIGGINBOTHAM FAMILY KINGS FERRY ROAD , HILLIARD, FLORIDA 32046		BUILT BY: HURST CONTRACTING, INC.
	CCL508745 OFFICE: 904-626-8813 841 SHADY REACH DR. JACKSONVILLE, FL 32221		CLIENT APPROVAL SIGNATURE DATE TERRY L. HIGGINBOTHAM TANYA L. HIGGINBOTHAM
	DATE: 5/12/2017		SCALE: 1' = 20'-0"
SHEET: A-2		PLAN # 2399	

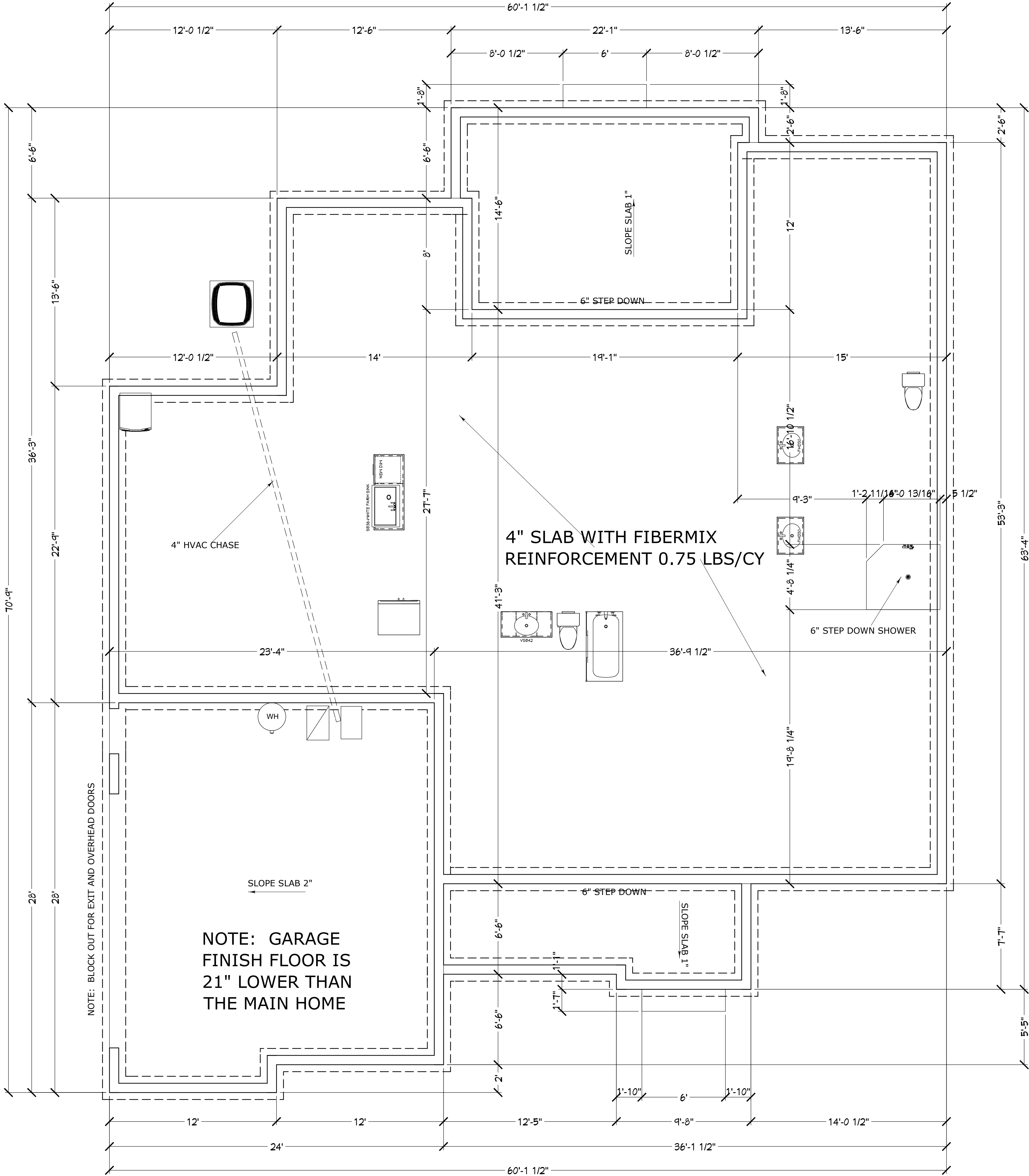
CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



IMPORTANT: CONSULT ENGINEERS DRAWINGS FOR FOOTER SIZES. IF THERE IS A DIMENSIONAL CONFLICT BETWEEN HIS DRAWINGS AND THESE STOP WHAT YOU ARE DOING AND CALL THE PLAN DESIGNER FOR CLARIFICATION

MAIN HOME FOUNDATION IS THREE CMU HIGH ON 20"X10" CONTINUOUS FOOTER (U.O.N.)

INSTALL CHASES FOR ISLAND AND FLOOR PLUGS AS REQUIRED



FOUNDATION PLAN

COPYRIGHT 2017: DESIGNS FOR LIVING, LLC. -Under section 102 of the Architectural Works Copyright Protection Act (title 17 of the United States Code) specific tact copyright laws apply to original design of a building created in any tangible medium of expression, including a constructed building or architectural plans, models, or drawings and is subject to copyright protection as an "architectural work" by Designs for Living, LLC. herein referred to as Designer. It is unlawful for anyone to copy these drawings, either in whole or in part, without the express written permission of the Designer! The use of any plans, specifications, electronic or hard copy prints shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Title to all works, specifically all drawings, specifications, and modified derivatives of any blueprints, e-files, drawings, or specifications remain the Designers without prejudice. VISUAL CONTACT with any of these drawings, or their purchase constitutes prima facie evidence of the acceptance of these restrictions! This has held precedent in the North Florida Court system! Any and all violations WILL result in legal action being taken and litigated damages to the full extent allowed by law! No exceptions and no excuses! Contractor &/or owner shall verify all dimensions, details, & specifications prior to construction. Every attempt shall be made to avoid mistakes. The Designer and/or owner are not responsible for any errors or omissions in the drawings, including after construction has begun. This copyright law is only valid on building designs created on or after December 1, 1990. Other errors after delivery via email or drawings including after construction has begun. This copyright law is only valid on building designs created on or after December 1, 1990.

PLAN #2399

CLIENT APPROVAL SIGNATURE	DATE
TERRY L. HIGGINBOTHAM	
TANYA L. HIGGINBOTHAM	

BUILT BY:

HURST CONTRACTING, INC.

CCC1508745

OFFICE: 904-626-8813

841 SHADY REACH DR.

JACKSONVILLE, FL 32221

PROJECT DESCRIPTION:

FUTURE HOME OF THE

HIGGINBOTHAM FAMILY

KINGS FERRY ROAD

HILLIARD, FLORIDA 32046

Design Drawings provided by:

DESIGNS FOR LIVING

RESIDENTIAL DESIGN SINCE 1998

904-730-7135

DATE:

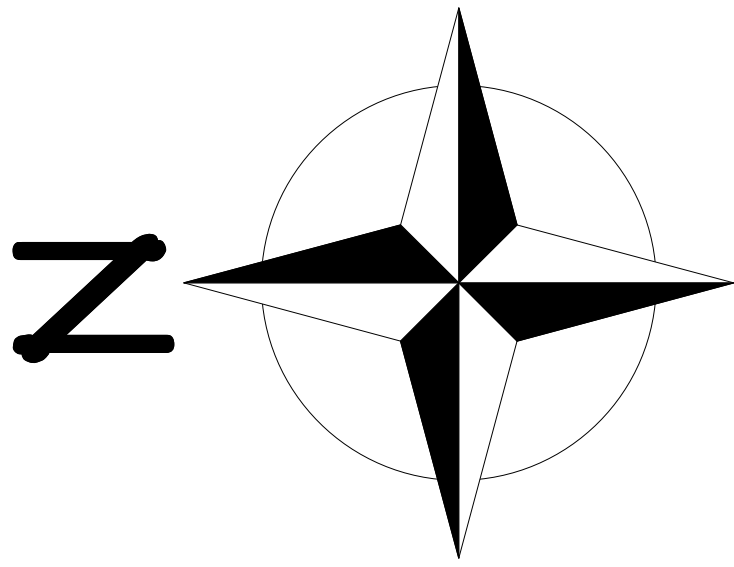
5/12/2017

SCALE:

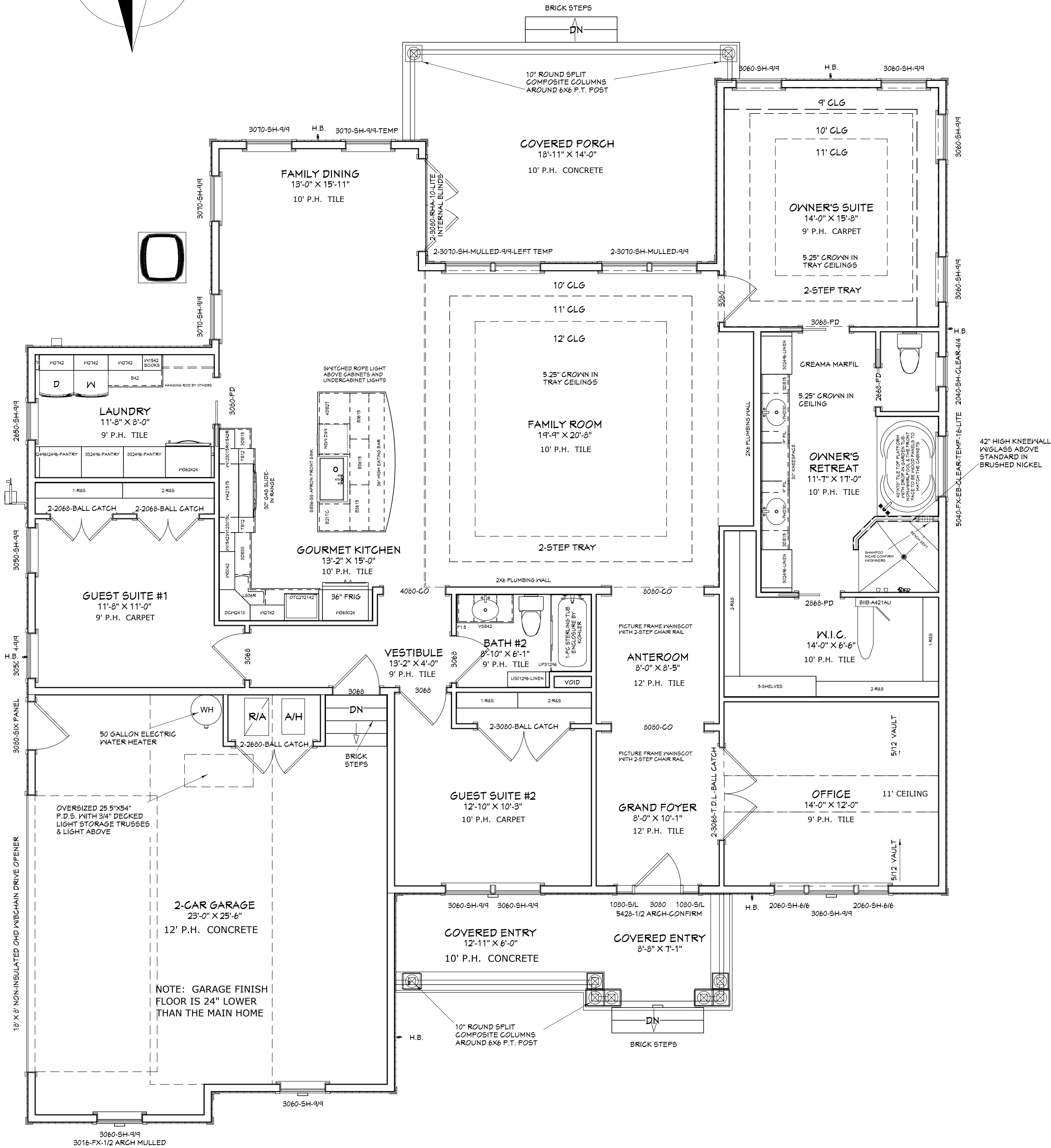
3/16" = 1'-0"

SHEET:

A-3



CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



ALL EXTERIOR WALLS ARE 2X6 #2SPF @ 16" O.C.

- R302.11 Fireblocking.**
In combustible construction, fireblocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space.
Fireblocking shall be provided in wood-frame construction in the following locations:
1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:
 - 1.1. Vertically at the ceiling and floor levels.
 - 1.2. Horizontally at intervals not exceeding 10 feet (3048 mm).
 2. At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
 3. In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7.
 4. At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion. The material filling this annular space shall not be required to meet the ASTM E 136 requirements.
 5. For the fireblocking of chimneys and fireplaces, see Section R1003.14.
 6. Fireblocking of cornices of a two-family dwelling is required at the line of dwelling unit separation.

- SECTION R310 EMERGENCY ESCAPE AND RESCUE OPENINGS**
R310.1 Emergency escape and rescue required. Basements, habitable attics and every sleeping room shall have at least one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, emergency egress and rescue openings shall be required in each sleeping room. Where emergency escape and rescue openings are provided they shall have a sill height of not more than 44 inches (1118 mm) above the floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with Section R310.3. The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. Emergency escape and rescue openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with Section R310.2. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.
- Exceptions:**
1. Basements used only to house mechanical equipment and not exceeding total floor area of 200 square feet (18.58 m2).
 2. The emergency escape and rescue opening shall be permitted to open into a screen enclosure, open to the atmosphere, where a screen door is provided leading away from the residence.
- R310.1.1** Minimum opening area.
All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m2).
- Exception:**
Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465 m2).
- R310.1.2** Minimum opening height.
The minimum net clear opening height shall be 24 inches (610 mm).
- R310.1.3** Minimum opening width.
The minimum net clear opening width shall be 20 inches (508 mm).
- R310.1.4** Operational constraints.
Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys, tools or special knowledge.

R302.12 Draftstopping. In combustible construction where there is usable space both above and below the concealed space of a floor/ceiling assembly, draftstops shall be installed so that the area of the concealed space does not exceed 1,000 square feet (92.9 m2). Draftstopping shall divide the concealed space into approximately equal areas. Where the assembly is enclosed by a floor membrane above and a ceiling membrane below, draftstopping shall be provided in floor/ceiling assemblies under the following circumstances:

1. Ceiling is suspended under the floor framing.
2. Floor framing is constructed of truss-type open-web or perforated members.

R302.12.1 Materials. Draftstopping materials shall not be less than 1/2-inch (12.7 mm) gypsum board, 3/8-inch (9.5 mm) wood structural panels or other approved materials adequately supported. Draftstopping shall be installed parallel to the floor framing members unless otherwise approved by the building official. The integrity of the draftstops shall be maintained

R302.5.1 Opening protection. Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and residence shall be equipped with solid wood doors not less than 1 3/8 inches (35 mm) in thickness, solid or honeycomb core steel doors not less than 1 3/8 inches (35 mm) thick, or 20-minute fire-rated doors. **NOTE: DOOR TO BE SELF-CLOSING**

FOOTAGES (A.N.S.I.):	
SCREENED PORCH:	275.29
2-CAR GARAGE:	641.91
HEATED:	2,399.89
COVERED ENTRY:	138.89
SLAB EXTENSIONS:	30.38
SLAB AREA:	3,486.36
UNDER ROOF:	3,455.98

FLOOR PLAN

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PLAN #
2399

CLIENT APPROVAL SIGNATURE DATE

TERRY L. HIGGINBOTHAM

TANYA L. HIGGINBOTHAM

BUILT BY:

HURST CONTRACTING, INC.

GCC1508745

OFFICE: 904-626-8813

841 SHADY REACH DR.

JACKSONVILLE, FL 32221

PROJECT DESCRIPTION:

FUTURE HOME OF THE
HIGGINBOTHAM FAMILY
KINGS FERRY ROAD
HILLIARD, FLORIDA 32046

Design Drawings
provided by:

DESIGNS FOR LIVING, LLC

RESIDENTIAL DESIGN SINCE 1998

904-730-7135

DATE:

5/12/2017

SCALE:

1/4" = 1'-0"

SHEET:

A-4

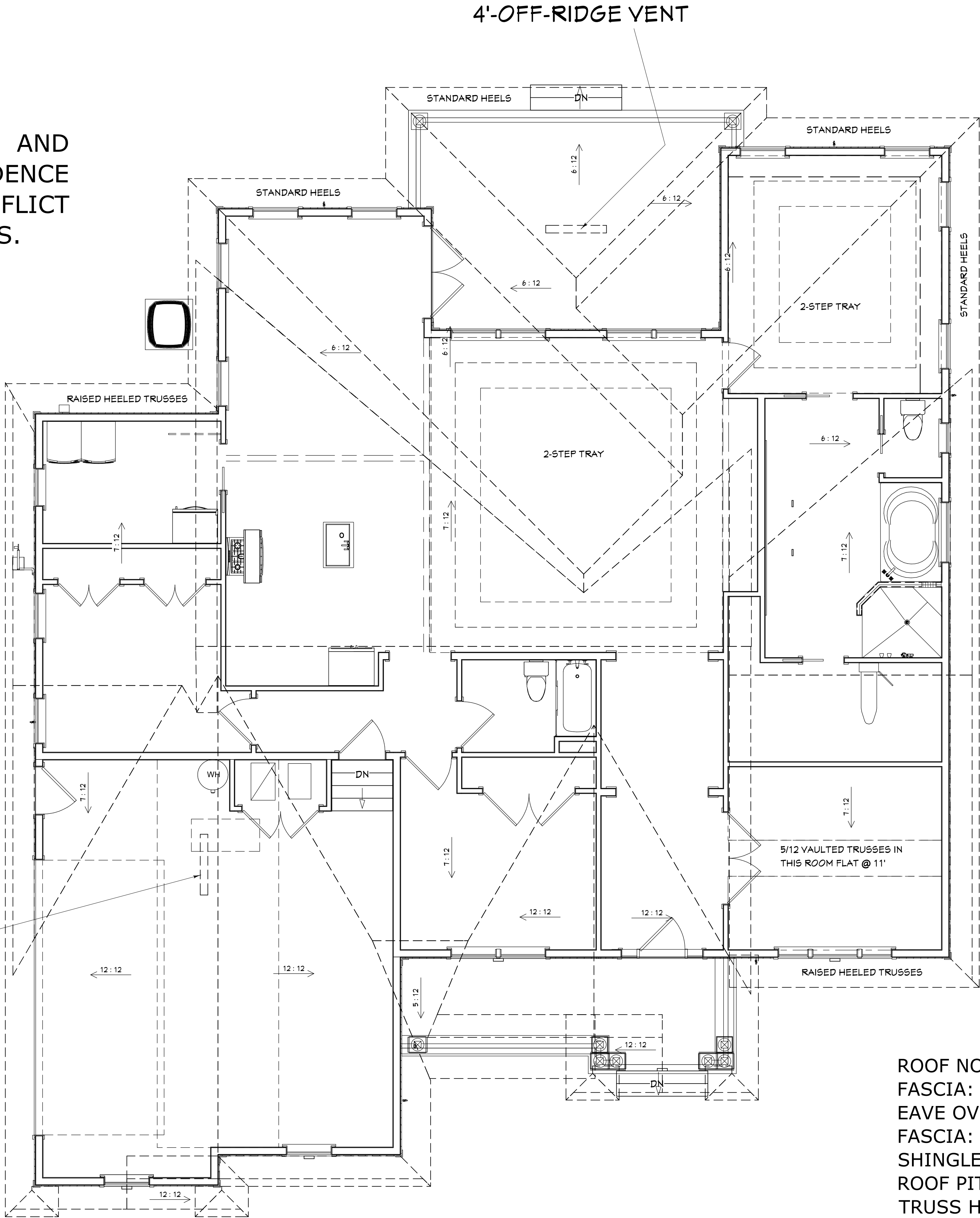
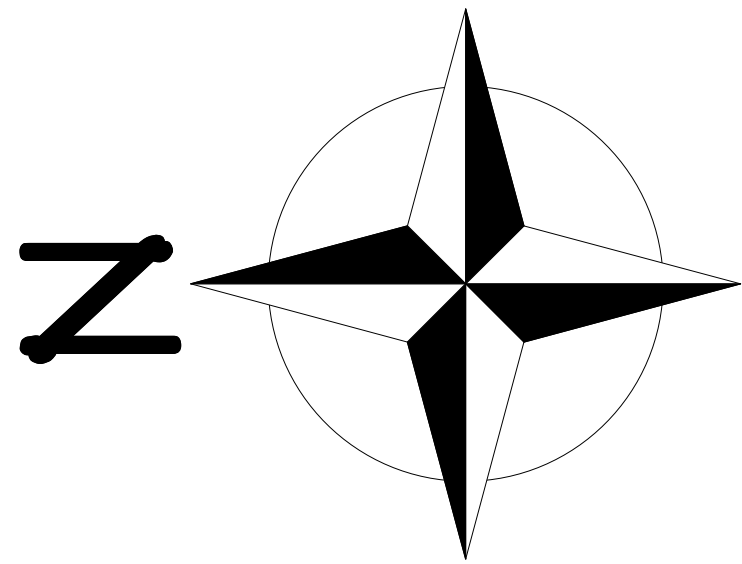
IMPORTANT: SHAMPOO WALL
NICHE NOTE: CLIENT WISHES
TO DO SOME WALL NICHES-
CONFIRM SIZE AND LOCATION
WITH BUILDER AND CLIENT

COPYRIGHT 2017: DESIGNS FOR LIVING, LLC -Under section 102 of the Architectural Works Copyright Protection Act (title 17 of the United States Code) specific tacit copyright laws apply to original design of a building created in any tangible medium of expression, including a constructed building or architectural plans, models, or drawings and is subject to copyright protection as an "architectural work" by Designs for Living, LLC, herein referred to as Designer. It is unlawful for anyone to copy these drawings, either in whole or in part, without the express written permission of the Designer! The use of any plans, specifications, electronic or hard copy prints shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. This to all works, specifically all drawings, specifications, and modified derivatives of any blueprints, e-files, drawings, or specifications remain the Designer's without prejudice. VISUAL CONTACT with any of these drawings, or their purchase constitutes prima facie evidence of the acceptance of these restrictions! Any and all violations WILL result in legal action being taken and litigated damages to the full extent allowed by law! No exceptions and no excuses! Contractor &/or owner shall verify all dimensions, details, & specifications prior to construction. Every attempt has been made to avoid mistakes. The contractor and the owners also fully acknowledge that they have full copyright release approval and Designs for Living LLC on A/E. Chip Mitchell shall not be liable for copyright infringement or other errors after delivery via email of drawings including after construction has begun! This copyright law is only valid on building designs created on or after December 1, 1990.

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

INSULATION NOTES:
EXTERIOR WALLS: R-19 FIBERGLASS BATTS
ATTIC: 5.5" OPEN CELL FOAM
SOUND ATTENUATION: INSTALL SOUND BATTS AT ALL BATHROOM AND LAUNDRY ROOM WALLS

4'-OFF-RIDGE VENT



NOTE: TRUSSES HAVE 16" HEELS I.L.O. STANDARD

ROOF NOTES:
FASCIA: PLUMB CUT
EAVE OVERHANG: 24"
FASCIA: BEADED VINYL
SHINGLES: LIFETIME ARCH FIBERGLASS
ROOF PITCH: MULTIPLE PER PLAN
TRUSS HEELS: VARIES
OFF-RIDGE VENTS: PER PLAN

ROOF PLAN

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PROJECT DESCRIPTION:
FUTURE HOME OF THE
HIGGINBOTHAM FAMILY
KINGS FERRY ROAD
HILLIARD, FLORIDA 32046



Design Drawings provided by:
DATE:
5/12/2017
SCALE:
1/4" = 1'-0"
SHEET:
A-6

BUILT BY:
HURST CONTRACTING, INC.
GCC1508745
OFFICE: 904-626-8813
841 SHADY REACH DR.
JACKSONVILLE, FL 32221

CLIENT APPROVAL SIGNATURE DATE
TERRY L. HIGGINBOTHAM
TANYA L. HIGGINBOTHAM

PLAN #
2399

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



REAR (EAST) ELEVATION

EXTERIOR NOTES:
WALLS: HARDI-LAP CEMENTIOUS SIDING OVER 1/2" OSB WITH TYVEK OR EQUAL
SOFFITS: VENTED & NON-VENTED BUILDER GRADE VINYL
FASCIA: CPVC COATED ALUMINUM OVER 2X6 SUB-FASCIA WITH 1X2 PT DRIP
ROOFING: LIFETIME ARCHITECTURAL F/G SHINGLES OVER SYNTHETIC FELT
FOUNDATION: 3 CMU HIGH STEMWALL, & CONCRETE SLAB & FOOTERS
CMU WALL EXTERIORS: STANDARD STUCCO AND PAINT
DECORATIVE VENEER: BRICK VENEER WITH 4" ROWLOCK
ENTIRE FOUNDATION PERIMETER
FRIEZE: 1X6 F/J CEDAR PAINTED OVER 1X4 PINE SPACER
PATIO AND REAR PORCH: CONCRETE
WALKS & DRIVES: CONCRETE BY ALLOWANCE
OFF-RIDGE VENTS: TWO - 4 FOOT BLACK
WINDOWS: WHITE VINYL, LOW-E, NON-IMPACT, INTERNAL MUTTONS, EAGLEVIEW
CORNER BOARDS: STEALTH BY VERSATEX
DOOR & WINDOW TRIMS: STEALTH BY VERSATEX
WAINSCOT: OLD SAVANNAH BRICK FROM CASH BUILDING
SUPPLY WITH STANDARD GREY MORTAR-CONFIRM JOINT TYPE WITH OWNER PRIOR TO INSTALL

2636-FX-INTEGRAL ARCH-BLACKENED



FRONT (WEST) ELEVATION

FRONT/REAR ELEVATIONS

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2399

CLIENT APPROVAL SIGNATURE	DATE
TERRY L. HIGGINBOTHAM	
TANYA L. HIGGINBOTHAM	

BUILT BY:
HURST CONTRACTING, INC.
GCC1508745
OFFICE: 904-626-8813
841 SHADY REACH DR.
JACKSONVILLE, FL 32221

PROJECT DESCRIPTION:
FUTURE HOME OF THE
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HILLIARD, FLORIDA 32046

Design Drawings
provided by:
DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN SINCE 1999
904-730-7135

DATE:
5/12/2017
SCALE:
1/4" = 1'-0"
SHEET:
A-7



RIGHT (SOUTH) ELEVATION

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



LEFT (NORTH) ELEVATION

EXTERIOR NOTES:
WALLS: HARDI-LAP CEMENTIOUS SIDING OVER 1/2" OSB WITH TYVEK OR EQUAL
SOFFITS: VENTED & NON-VENTED BUILDER GRADE VINYL
FASCIA: CPVC COATED ALUMINUM OVER 2X6 SUB-FASCIA WITH 1X2 PT DRIP
ROOFING: LIFETIME ARCHITECTURAL F/G SHINGLES OVER SYNTHETIC FELT
FOUNDATION: 3 CMU HIGH STEMWALL, & CONCRETE SLAB & FOOTERS
CMU WALL EXTERIORS: STANDARD STUCCO AND PAINT
DECORATIVE VENEER: BRICK VENEER WITH 4" ROWLOCK
ENTIRE FOUNDATION PERIMETER
FRIEZE: 1X6 F/J CEDAR PAINTED OVER 1X4 PINE SPACER
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OFF-RIDGE VENTS: TWO - 4 FOOT BLACK
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CORNER BOARDS: STEALTH BY VERSATEX
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WAINSCOT: OLD SAVANNAH BRICK FROM CASH BUILDING
SUPPLY WITH STANDARD GREY MORTAR-CONFIRM JOINT TYPE WITH OWNER PRIOR TO INSTALL

SIDE ELEVATIONS

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2399

CLIENT APPROVAL SIGNATURE

DATE

TERRY L. HIGGINBOTHAM

TANYA L. HIGGINBOTHAM

BUILT BY:

HURST CONTRACTING, INC.

GCC1508745

OFFICE: 904-626-8813

841 SHADY REACH DR.

JACKSONVILLE, FL 32221

PROJECT DESCRIPTION:

FUTURE HOME OF THE
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KINGS FERRY ROAD
HILLIARD, FLORIDA 32046

Design Drawings
provided by:



904-730-7135

DATE:

5/12/2017

SCALE:

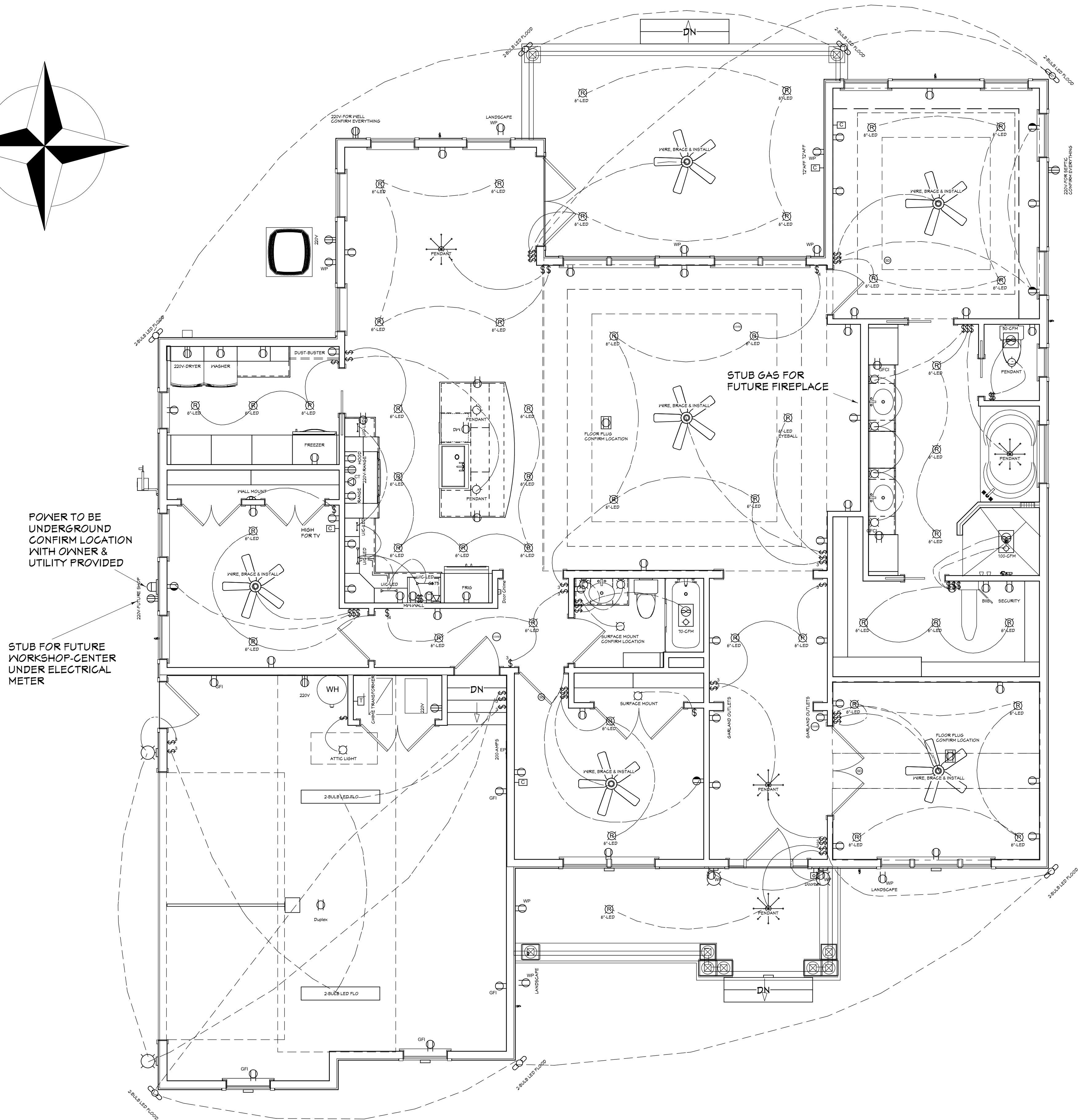
1/4" = 1'-0"

SHEET:

A-8

EFFICACY NOTE: THE NEW FBC-R FBC EC R404.1 & R202 BUILDING CODE REQUIRES ALL INSIDE & OUTSIDE LIGHT FIXTURES WILL USE CFL OR LED LIGHT BULBS.

PER FBC-R-E3902.12 AFCI PROTECTION REQUIRED Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed AFCI, combination type.



PER FBC-R-E3901.7, NEC 210, E3901.7 & E3902.3 GFCI PROTECTION REQUIRED Bathrooms, garages, boathouses & accessory structures not intended as habitable rooms and limited to storage, work & similar uses. Outdoors, crawl spaces, unfinished basements, kitchen countertops. Outlets within 6 feet of laundry, utility or wet sinks. Balcony, deck or porch greater than 20 s.f. One at the front and back of the dwelling and at the condenser units.

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

HOME TO BE PIPED FOR LP GAS AS FOLLOWS:
COOKTOP & GAS FIREPLACE CONFIRM ALL
WITH OWNER.

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

ELECTRICAL NOTES:

1. METER LOCATION TO BE DETERMINED BY SERVICE PROVIDER ENGINEER
2. PROPERTY HAS DEEP WELL & PRIVATE SEPTIC BY OWNER
4. WATER HEATER TO BE HIGH EFFICIENCY ELECTRIC 50 GALLON
5. SECURITY PRE-WIRE & TRIM BY OWNER
6. PRE-WIRE & TRIM FOR CAT5/TV PER PLANS BY OWNER
7. STRUCTURED WIRING BY OWNER
8. ONE-300 AMP PANEL TO SUPPORT FUTURE WORKSHOP
9. CONFIRM ALL ELECTRICAL W/OWNER PRIOR TO WIRING ANYTHING
10. CONFIRM THE SECONDARY SUB=PANEL LOCATION TO BE INSTALLED FOR FUTURE IN-LAW STRUCTURE

ELECTRICAL PLAN

[illegible]PLAN #
2399

CLIENT APPROVAL SIGNATURE	DATE
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BUILT BY:
HURST CONTRACTING, INC.

PROJECT DESCRIPTION:

Design Drawings
provided by:

 **DESIGNS *for* LIVING, LLC**
RESIDENTIAL DESIGN SINCE 1989

004 720 7125

DATE:

5/12/2017

SCALE

$$1/4'' = 1'-0''$$

SHEET:

A-9

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



EXTERIOR NOTES:
WALLS: HARDI-LAP CEMENTIOUS SIDING OVER 1/2" OSB WITH TYVEK OR EQUAL
SOFFITS: VENTED & NON-VENTED BUILDER GRADE VINYL
FASCIA: CPVC COATED ALUMINUM OVER 2X6 SUB-FASCIA WITH 1X2 PT DRIP
ROOFING: LIFETIME ARCHITECTURAL F/G SHINGLES OVER SYNTHETIC FELT
FOUNDATION: 3 CMU HIGH STEMWALL, & CONCRETE SLAB & FOOTERS
CMU WALL EXTERIORS: STANDARD STUCCO AND PAINT
DECORATIVE VENEER: BRICK VENEER WITH 4" ROWLOCK
ENTIRE FOUNDATION PERIMETER
FRIEZE: 1X6 F/J CEDAR PAINTED OVER 1X4 PINE SPACER
PATIO AND REAR PORCH: CONCRETE
WALKS & DRIVES: CONCRETE BY ALLOWANCE
OFF-RIDGE VENTS: TWO - 4 FOOT BLACK
WINDOWS: WHITE VINYL, LOW-E, NON-IMPACT, INTERNAL MUTTONS, EAGLEVIEW
CORNER BOARDS: STEALTH BY VERSATEX
DOOR & WINDOW TRIMS: STEALTH BY VERSATEX
WAINSCOT & ROWLOCK: OLD SAVANNAH BRICK FROM CASH BUILDING SUPPLY WITH STANDARD GREY MORTAR-CONFIRM JOINT TYPE WITH OWNER PRIOR TO INSTALL

ISOMETRIC VIEWS

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BUILT BY:
HURST CONTRACTING, INC.
GCC1508745
OFFICE: 904-626-8813
841 SHADY REACH DR.
JACKSONVILLE, FL 32221

PROJECT DESCRIPTION:
FUTURE HOME OF THE
HIGGINBOTHAM FAMILY
KINGS FERRY ROAD
HILLIARD, FLORIDA 32046

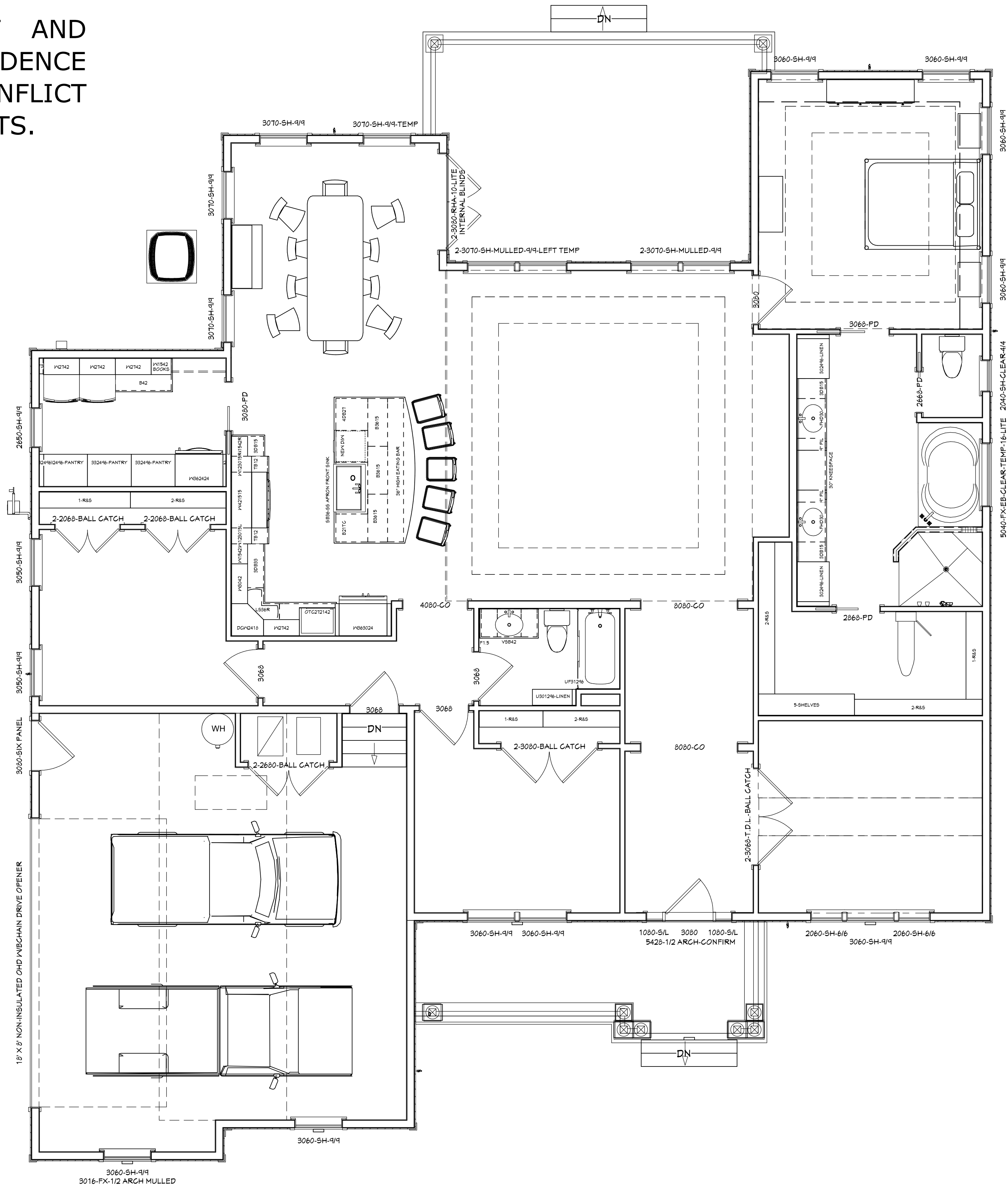
Design Drawings
provided by:
DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN SINCE 1999
904-730-7135

DATE:
5/12/2017
SCALE:
N.T.S
SHEET:
A-10

PLAN #
2399

CLIENT APPROVAL SIGNATURE	DATE
TERRY L. HIGGINBOTHAM	
TANYA L. HIGGINBOTHAM	

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FURNITURE LAYOUT PLAN

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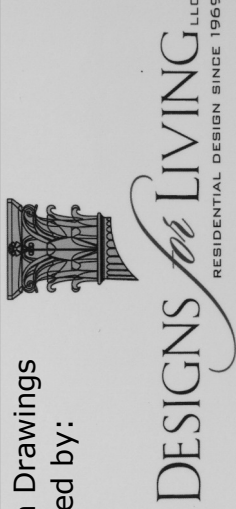
PLAN #
2399

CLIENT APPROVAL SIGNATURE	DATE
TERRY L. HIGGINBOTHAM	
TANYA L. HIGGINBOTHAM	

BUILT BY:
HURST CONTRACTING, INC.
GCC1508745
OFFICE: 904-626-8813
841 SHADY REACH DR.
JACKSONVILLE, FL 32221

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FUTURE HOME OF THE
HIGGINBOTHAM FAMILY
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, HILLIARD, FLORIDA 32046

Design Drawings
provided by:



DESIGNS for LIVING, LLC
RESIDENTIAL DESIGN SINCE 1998

904-730-7135

DATE:
5/12/2017
SCALE:
1/2" = 1'-0"
SHEET:
A-11



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Camera 7



INTERIOR ISOMETRICS

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PLAN #
2399

CLIENT APPROVAL SIGNATURE	DATE
TERRY L. HIGGINBOTHAM	
TANYA L. HIGGINBOTHAM	

BUILT BY:
HURST CONTRACTING, INC.
GCC1508745
OFFICE: 904-626-8813
841 SHADY REACH DR.
JACKSONVILLE, FL 32221

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, HILLIARD, FLORIDA 32046

Design Drawings
provided by:



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RESIDENTIAL DRAWING SINCE 1998
904-730-7135

DATE:
5/12/2017
SCALE:
N.T.S.
SHEET:
A-12