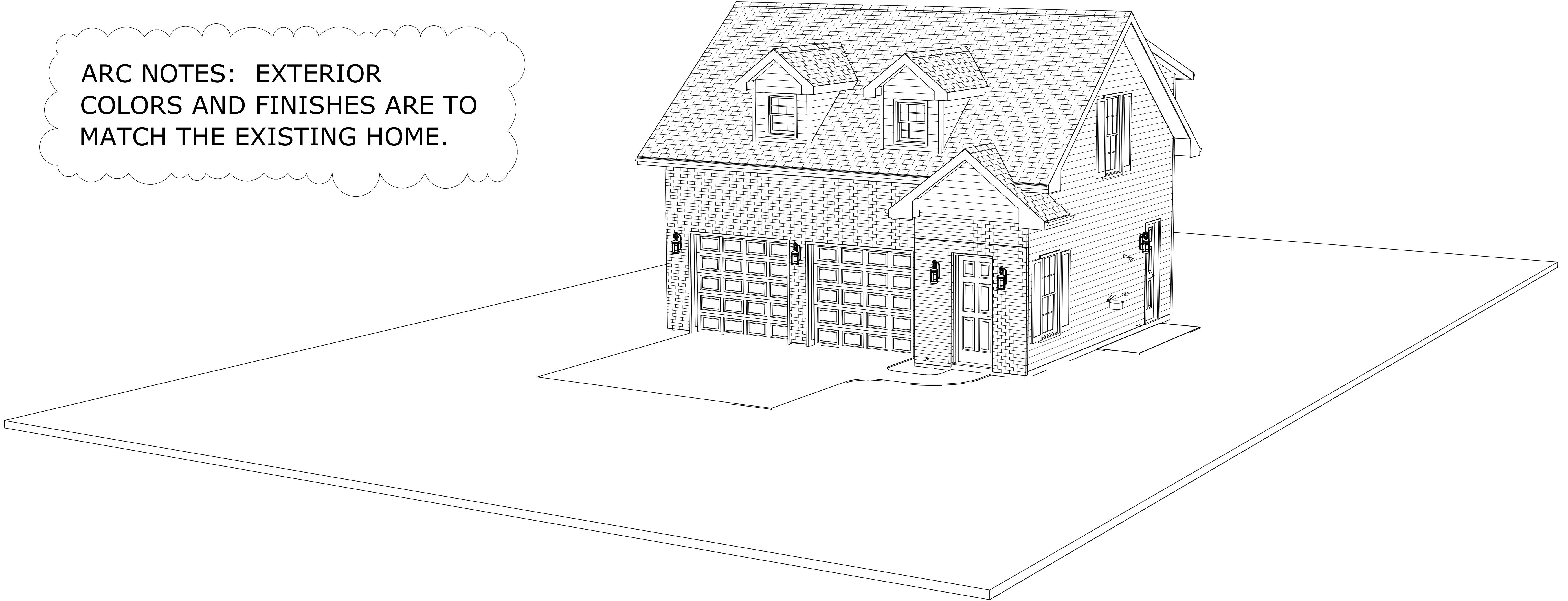


GARAGE PLAN FOR THE WATSON FAMILY

PERMIT SET 4/25/2016

ARC NOTES: EXTERIOR
COLORS AND FINISHES ARE TO
MATCH THE EXISTING HOME.



100 GREENBRIAR ESTATES DRIVE
LOT 19, GREENBRIAR PLANTATION
SAINT JOHNS, FL 32259 R/E #: 010022-0190

BUILT BY:
BRAUGHTON CONSTRUCTION, INC.
904-669-1109
CGC1510857

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PLAN #		861
DATE:	BY:	
NO.	DESCRIPTION	
BUILT BY:		
BRAUGHTON construction, inc.		
PROJECT DESCRIPTION: GARAGE PLAN FOR THE WATSON FAMILY 100 GREENBRIAR ESTATES DRIVE SAINT JOHNS, FL 32259		
Design Drawings provided by:	DESIGNS FOR LIVING, LLC RECREATIONAL DRAWINGS SINCE 1989 904-730-2135	
DATE:	4/25/2016	
SCALE:	N.T.S	
SHEET:	A-1	

PLAN #
861

NO.	DESCRIPTION	BY	DATE

BUILT BY:
BRAUGIOTTO
construction, inc.

PROJECT DESCRIPTION:
GARAGE PLAN FOR THE WATSON
FAMILY
100 GREENBRIAR ESTATES DRIVE
SAINT JOHNS, FL 32259

Design Drawings
provided by:
DESIGNS FOR LIVING
INC.
ESTATE PLANNERS SINCE 1989
904-730-2135

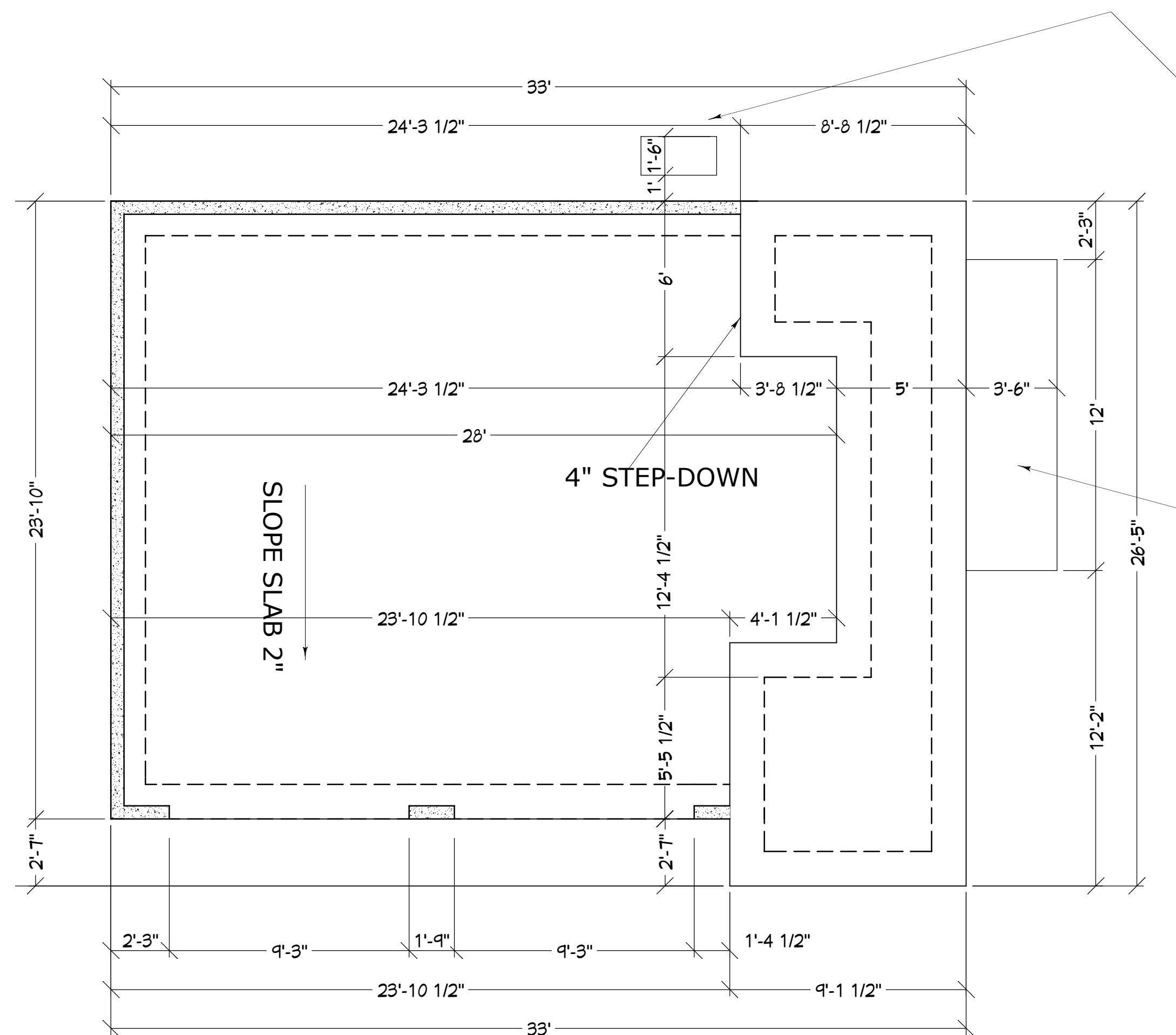
DATE:	4/25/2016
SCALE:	1/4" = 1'-0"
SHEET:	A-2

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4" SLAB WITH FIBERMIX REINFORCEMENT 1.5 LBS/CY

RUN PIPES FOR HVAC CHASE

MONOLITHIC GARAGE
FOUNDATION



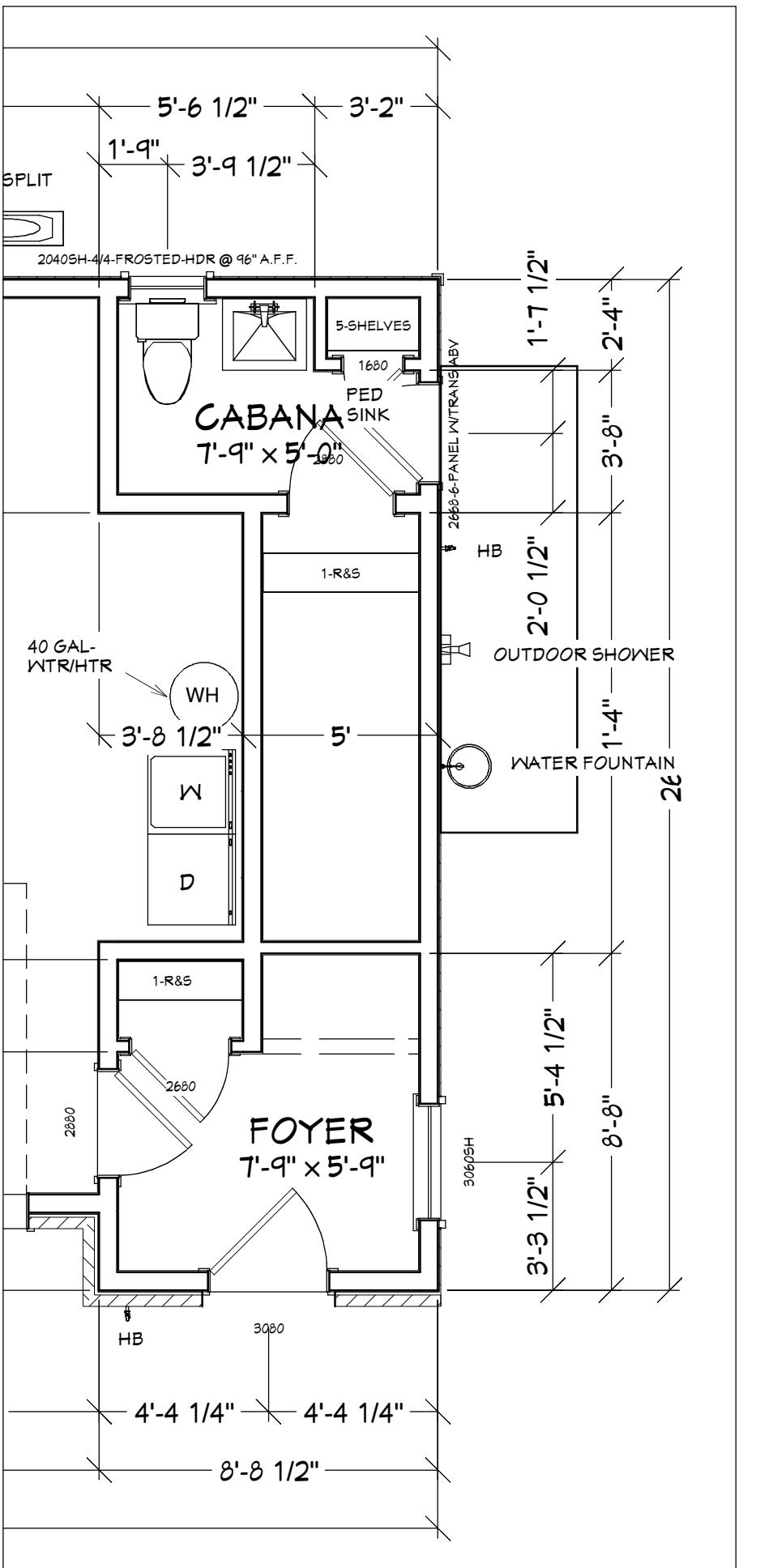
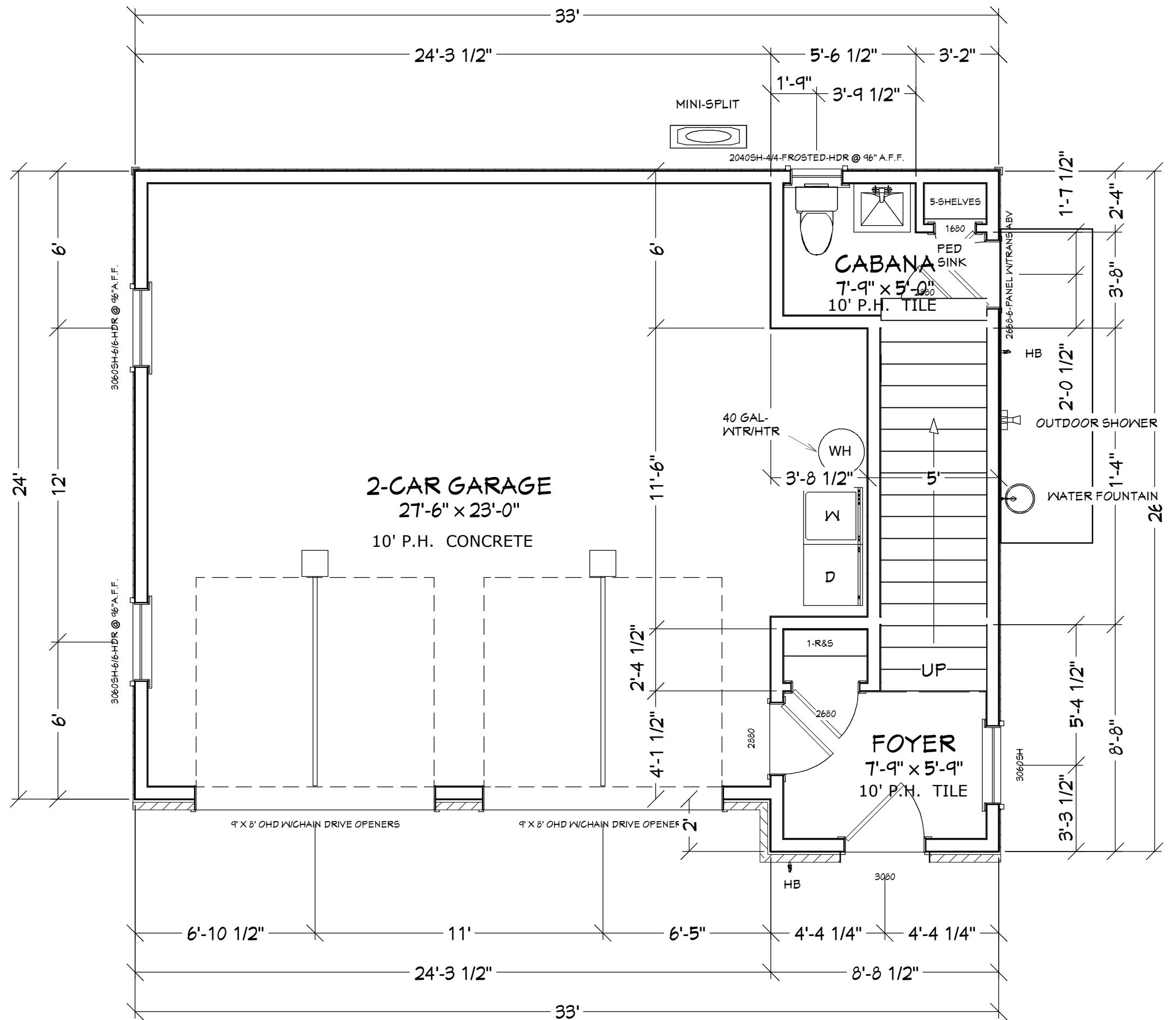
INTERIOR BEARINGS ARE 16" X 8"
W/2-#5 RODS CONTINUOUS ON
CHAIRS 72" O.C. MAXIMUM. SEE
STRUCTURAL ENGINEERING PLANS

FOUNDATION PLAN

INSULATION NOTES:

1. RAISED FLOORS TO BE R-19 FIBERGLASS BATT
2. CLIMATIZED WALLS TO BE R-19 FIBERGLASS BATT
3. ATTIC INSULATION TO BE 38" BLOWN FIBERGLASS INSULATION

**ALL EXTERIOR WALLS ARE
2X6 #2SPF @ 16" O.C.**



AREA UNDER THE STAIRS

CONSTRUCTION NOTES:

1. 1ST FLOOR PLATE HEIGHT @ 10'1&1/8"
2. 2ND FLOOR REAR PLATE HEIGHT @ 9'-1&1/8" A.F.F.
3. FLOOR SYSTEM TO BE 20" TJI'S DECKED WITH 3/4" T&G DECKING GLUED AND SCREWED
4. ENTIRE STRUCTURE IS CONVENTIONALLY FRAMED
5. EXTERIOR OF THE STRUCTURE IS SHEATHED WITH 1/2" O.S.B. COVERED BY SIDING AND BRICK VENEER PER PLANS

FOOTAGES (A.N.S.I.):

GARAGE:	623.95
1ST FLOOR HEATED:	185.47
2ND FLOOR HEATED:	631.31
TOTAL HEATED:	816.78
SLAB AREA:	809.42
TOTAL UNDER ROOF:	1,440.73

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BRAUGIOTON
construction, Inc.

BUILT BY:

PROJECT DESCRIPTION:
GARAGE PLAN FOR THE WATSON
FAMILY
100 GREENBRIAR ESTATES DRIVE
SAINT JOHNS, FL 32259

DESIGNS FOR LIVING, LLC
RECREATIONAL, DURABLE & FUN!
904-730-2135

Design Drawings
provided by:

DATE:
4/25/2016

SCALE:
1/4" = 1'-0"

SHEET:
A-3

SECTION R310 EMERGENCY ESCAPE AND RESCUE OPENINGS

R310.1 Emergency escape and rescue required. Basements, habitable attics and every sleeping room shall have at least one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, emergency egress and rescue openings shall be required in each sleeping room. Where emergency escape and rescue openings are provided they shall have a sill height of not more than 44 inches (1118 mm) above the floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with Section R310.3. The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. Emergency escape and rescue openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with Section R310.2. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.

Exceptions:

1. Basements used only to house mechanical equipment and not exceeding total floor area of 200 square feet (18.58 m²).
2. The emergency escape and rescue opening shall be permitted to open into a screen enclosure, open to the atmosphere, where a screen door is provided leading away from the residence.

R310.1.1 Minimum opening area.

All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m²).

Exception:

Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465 m²).

R310.1.2 Minimum opening height.

The minimum net clear opening height shall be 24 inches (610 mm).

R310.1.3 Minimum opening width.

The minimum net clear opening width shall be 20 inches (508 mm).

R310.1.4 Operational constraints.

Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys, tools or special knowledge.

R302.11 Fireblocking.

In combustible construction, fireblocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space.

Fireblocking shall be provided in wood-frame construction in the following locations:

1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:
 - 1.1. Vertically at the ceiling and floor levels.
 - 1.2. Horizontally at intervals not exceeding 10 feet (3048 mm).
2. At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
3. In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7.
4. At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion. The material filling this annular space shall not be required to meet the ASTM E 136 requirements.
5. For the fireblocking of chimneys and fireplaces, see Section R1003.19.
6. Fireblocking of cornices of a two-family dwelling is required at the line of dwelling unit separation.

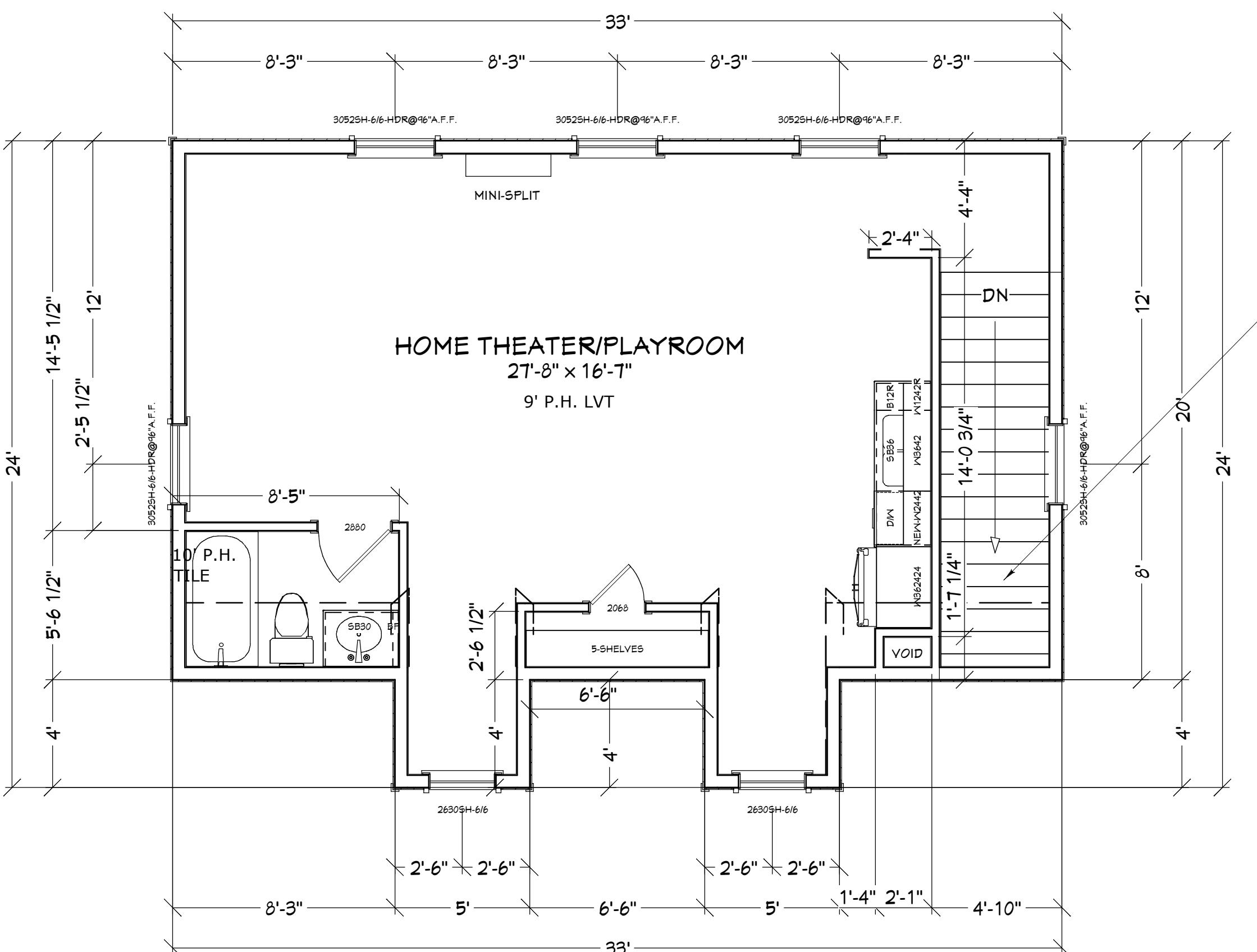
CONSTRUCTION NOTES:

1. 1ST FLOOR PLATE HEIGHT @ 10'1&1/8"
2. 2ND FLOOR REAR PLATE HEIGHT @ 9'-1&1/8" A.F.F.
3. FLOOR SYSTEM TO BE 20" TJI'S DECKED WITH 3/4" T&G DECKING GLUED AND SCREWED
4. ENTIRE STRUCTURE IS CONVENTIONALLY FRAMED
5. EXTERIOR OF THE STRUCTURE IS SHEATHED WITH 1/2" O.S.B. COVERED BY SIDING AND BRICK VENEER PER PLANS
6. THE FRONT PLATE IS 8'-1&1/8" BUT THE DORMER PLATE IS 9'-1&1/8"

R302.12 Draftstopping. In combustible construction where there is usable space both above and below the concealed space of a floor/ceiling assembly, draftstops shall be installed so that the area of the concealed space does not exceed 1,000 square feet (92.9 m²). Draftstopping shall divide the concealed space into approximately equal areas. Where the assembly is enclosed by a floor membrane above and a ceiling membrane below, draftstopping shall be provided in floor/ceiling assemblies under the following circumstances:

1. Ceiling is suspended under the floor framing.
2. Floor framing is constructed of truss-type open-web or perforated members.

R302.12.1 Materials. Draftstopping materials shall not be less than 1/2-inch (12.7 mm) gypsum board, 3/8-inch (9.5 mm) wood structural panels or other approved materials adequately supported. Draftstopping shall be installed parallel to the floor framing members unless otherwise approved by the building official. The integrity of the draftstops shall be maintained



ALL EXTERIOR WALLS ARE 2X6 #2SPF @ 16" O.C.

OAK TREADS &
PAINTED RISERS (SEE
STAIR DETAIL SHEETS)

R302.7 Under-stair protection. Enclosed accessible space under stairs shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2-inch (12.7 mm) gypsum board.

INSULATION NOTES:

1. RAISED FLOORS TO BE R-19 FIBERGLASS BATTNS
2. CLIMATIZED WALLS TO BE R-19 FIBERGLASS BATTNS
3. ATTIC INSULATION TO BE 38" BLOWN FIBERGLASS INSULATION

2ND FLOOR PLAN

PLAN #
861

NO.	DESCRIPTION	BY	DATE

BRAUGITTON,
construction, Inc.
BUILT BY:

PROJECT DESCRIPTION:
GARAGE PLAN FOR THE WATSON
FAMILY
100 GREENBRIAR ESTATES DRIVE
SAINT JOHNS, FL 32259

DESIGNS FOR LIVING, LLC
RECREATIONAL CONSTRUCTION SINCE 1989
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Design Drawings
provided by:

DATE:
4/25/2016

SCALE:
1/4" = 1'-0"

SHEET:
A-4

PLAN #
861



LEFT ELEVATION



FRONT ELEVATION

EXTERIOR NOTES:

1. CEMENTIOUS LAP SIDING EXTERIOR
2. CORNER BOARDS STEALTH CORNERS BY VERSATEX
3. SOFFITS: BUILDER GRADE VENTED VINYL TO MATCH THE EXISTING HOME
4. SHINGLES ARCH FIBERGLASS TO MATCH EXISTING
5. WINDOWS VINYL LOW-E MUTTONS PER PLAN



REAR ELEVATION

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



RIGHT ELEVATION

FRONT/REAR ELEVATIONS

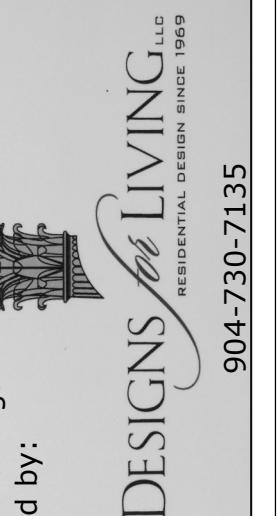
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NO.	DESCRIPTION	BY	DATE



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construction, inc.**

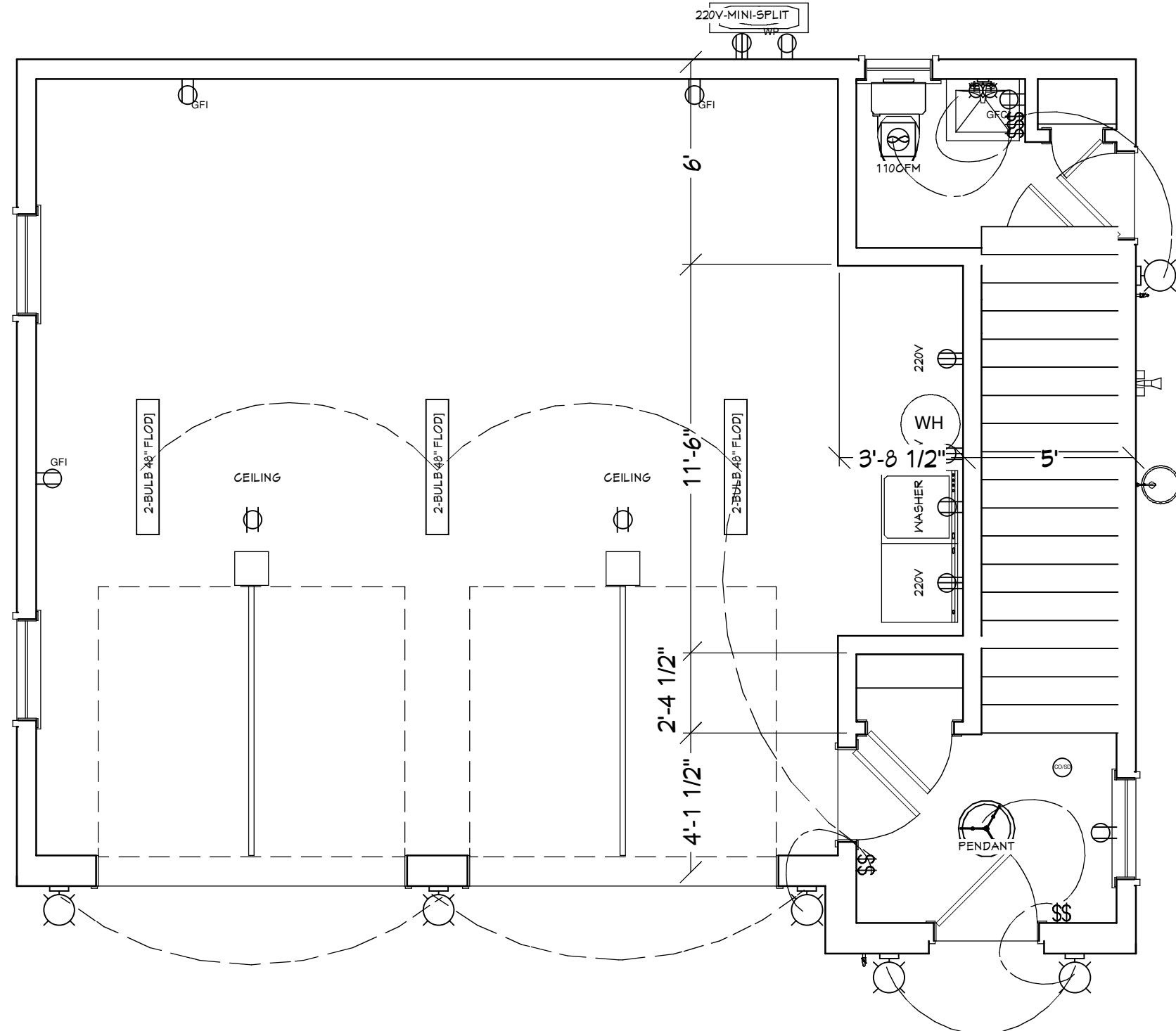
PROJECT DESCRIPTION:
**GARAGE PLAN FOR THE WATSON
FAMILY
100 GREENBRIAR ESTATES DRIVE
SAINT JOHNS, FL 32259**



Design Drawings
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**DESIGNS FOR LIVING
LLC
ARCHITECTURAL DRAWINGS SINCE 1989
904-730-2135**

DATE:
4/25/2016
SCALE:
1/4" = 1'-0"
SHEET:
A-5

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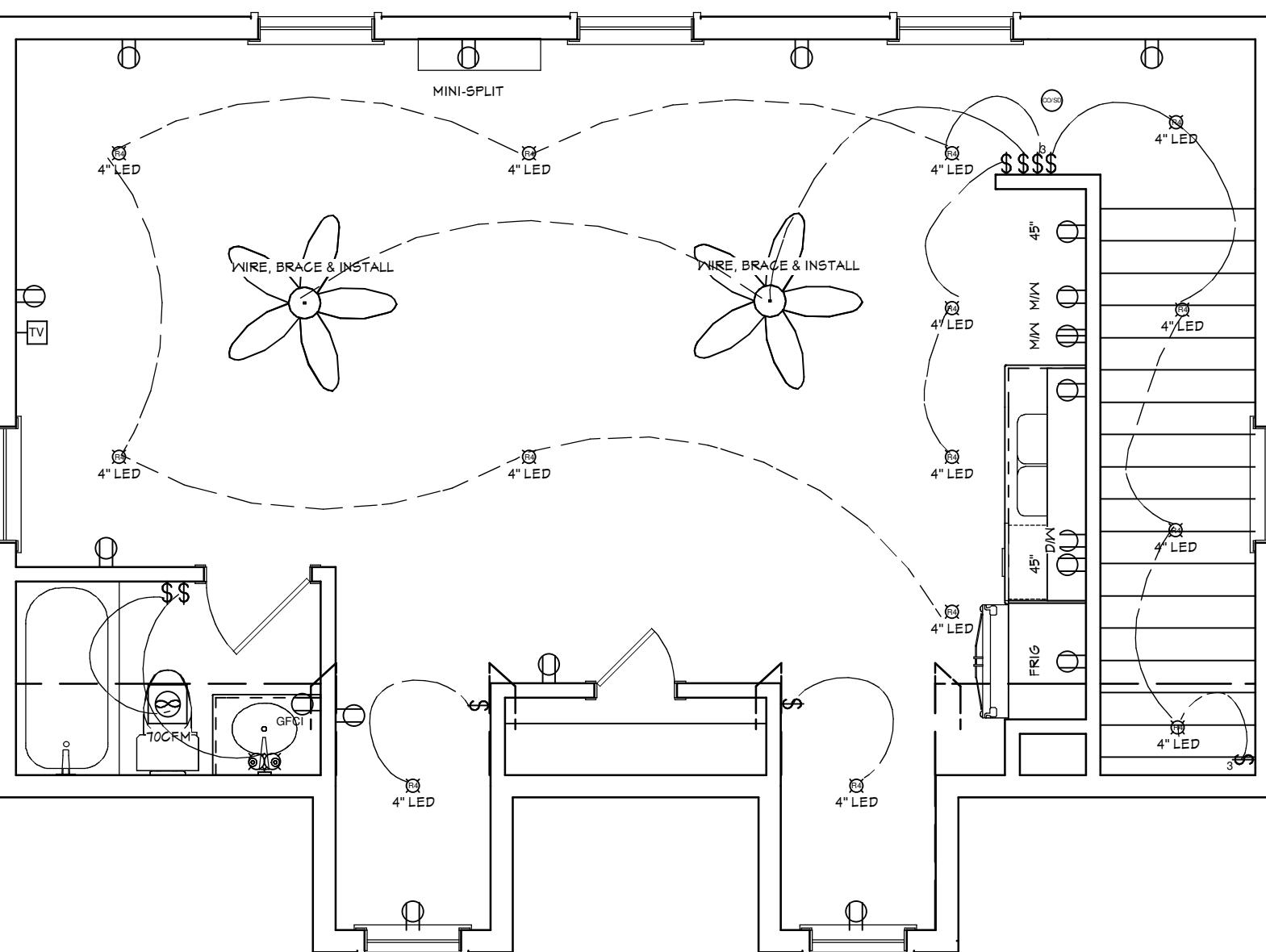


ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

PER FBC-R-E3902.12 AFCI PROTECTION REQUIRED Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed AFCI, combination type.

PER FBC-R-E3901.7, NEC 210, E3901.7 & E3902.3 GFCI PROTECTION REQUIRED Bathrooms, garages, boathouses & accessory structures not intended as habitable rooms and limited to storage, work & similar uses. Outdoors, crawl spaces, unfinished basements, kitchen countertops. Outlets within 6 feet of laundry, utility or wet sinks. Balcony, deck or porch greater than 20 s.f. One at the front and back of the dwelling and at the condenser units.

EFFICACY NOTE: THE NEW FBC-R FBC EC R404.1 & R202 BUILDING CODE REQUIRES ALL INSIDE & OUTSIDE LIGHT FIXTURES WILL USE CFL OR LED LIGHT BULBS.



ELECTRICAL NOTES:

- POWER IS BEING SUPPLIED BY THE HOME (U.O.N.)
- CONFIRM ALL ELECTRICAL WITH THE OWNER'S PRIOR TO INSTALLATION
- THE STRUCTURE IS BEING SERVICED USING A GRINDER PUMP AND PUMPING SEWAGE TO THE EXISTING SEWER INLET INTO THE EXISTING SEPTIC SYSTEM.

**PLAN #
861**

NO.	DESCRIPTION	BY	DATE

BRAUGIOTON
construction, inc.

BUILT BY:

**PROJECT DESCRIPTION:
GARAGE PLAN FOR THE WATSON
FAMILY**
100 GREENBRIAR ESTATES DRIVE
SAINT JOHNS, FL 32259

DESIGNS FOR LIVING
ARCHITECTURAL SERVICES SINCE 1989
904-730-2135

Design Drawings
provided by:

DATE:
4/25/2016

SCALE:

1/4" = 1'-0"

SHEET:

A-6

ELECTRICAL PLAN

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PLAN #
861

ROOF NOTES:

PITCH: 4/12, 9/12 & 10/12

UNDERLAYMENT: SYNTHETIC FELT

ROOFING: LIFETIME ARCHITECTURAL SHINGLES

EAVE OVERHANG: MATCH EXISTING HOME

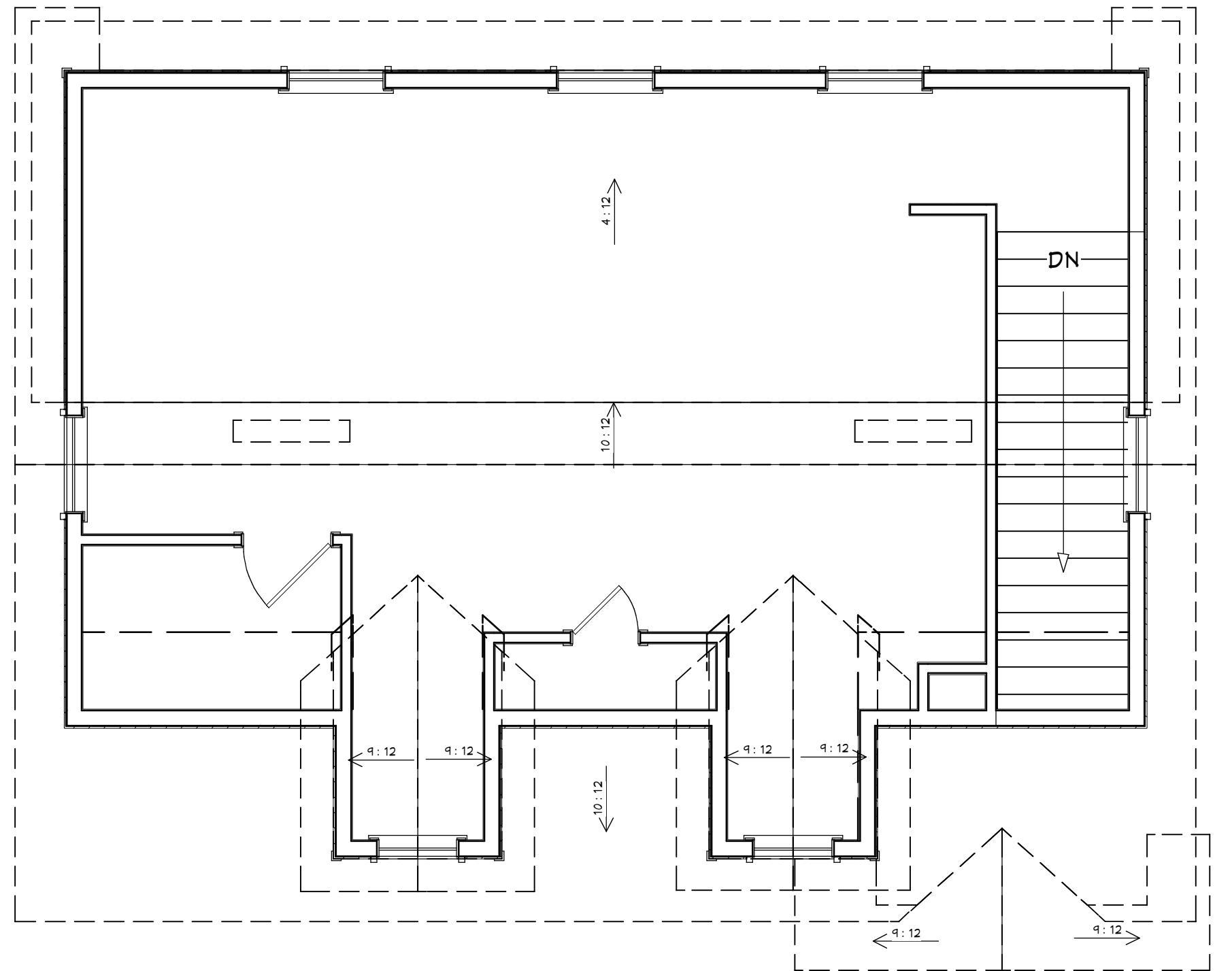
GABLE OVERHANG: MATCH EXISTING HOME

CONVENTIONAL FRAMED SYSTEM

FLOOR SYSTEM: 20" TJI'S

FLOOR DECKING: 3/4" T&G GLUED & SCREWED

NOTE: ENTIRE ROOF IS CONVENTIONALLY
FRAMED. THE FLOOR SYSTEM ARE 20" DEEP
TJI'S AND DECKED WITH 3/4" T&G DECKING
GLUED & SCREWED



MULTI-PITCH ROOF PER PLAN

CONTRACT NOTE: CONTRACT AND
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BUILT BY:

BRAUGJITION
construction, inc.

PROJECT DESCRIPTION:
**GARAGE PLAN FOR THE WATSON
FAMILY**
100 GREENBRIAR ESTATES DRIVE
SAINT JOHNS, FL 32259

Design Drawings
provided by:

DESIGNS FOR LIVING, LLC
ARCHITECTURAL DESIGNERS SINCE 1989
904-730-2135

DATE:
4/25/2016
SCALE:
1/4" = 1'-0"
SHEET:
A-7

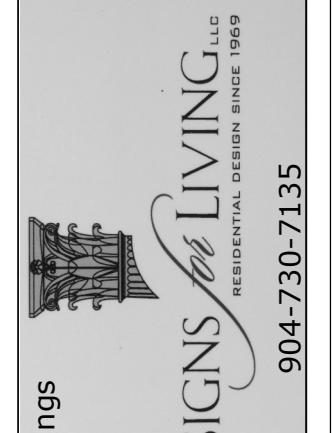
ROOF PLAN

PLAN #
861



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PROJECT DESCRIPTION:
GARAGE PLAN FOR THE WATSON
FAMILY
100 GREENBRIAR ESTATES DRIVE
, SAINT JOHNS, FL 32259

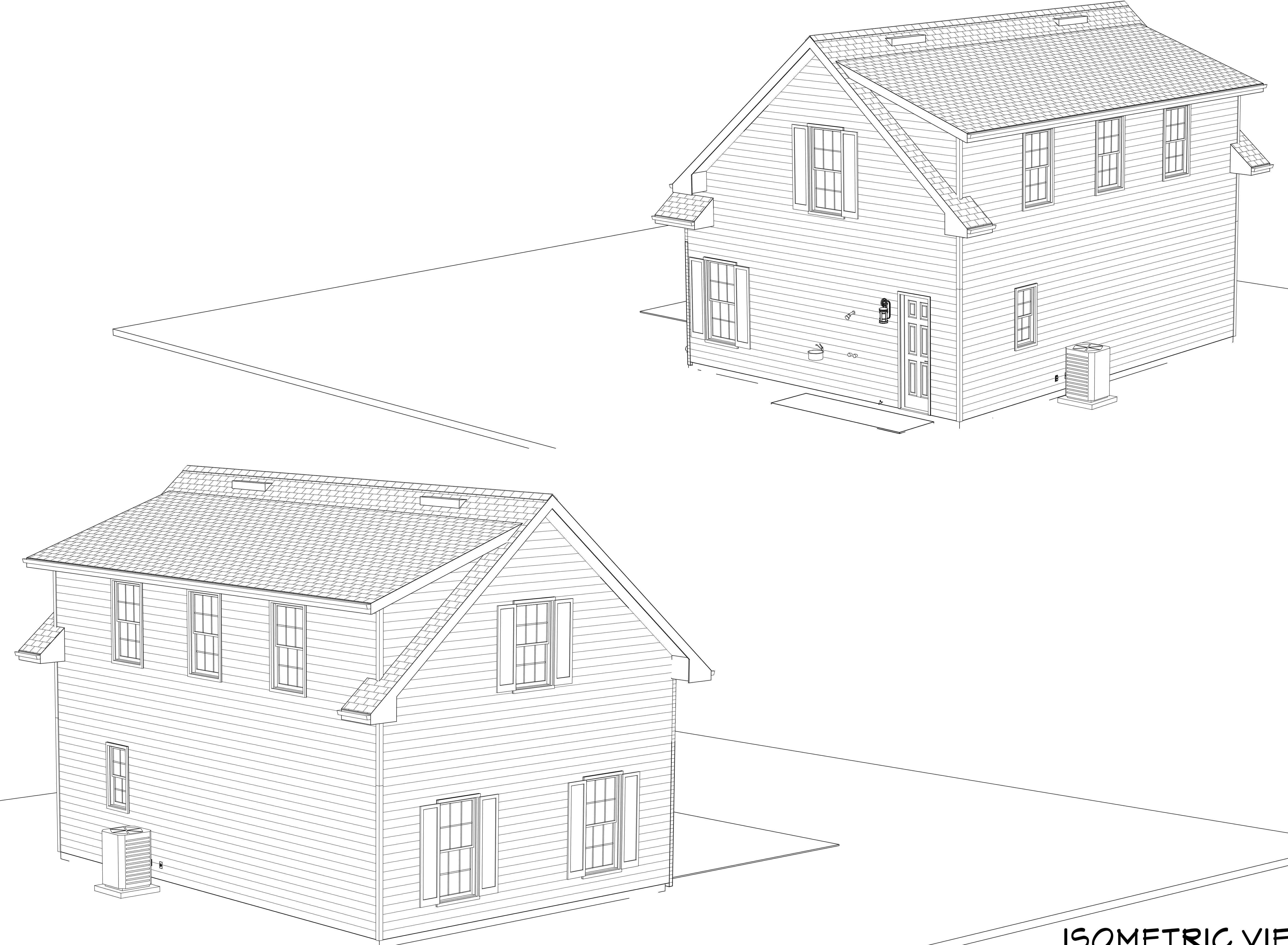


Design Drawings
provided by:

DATE:
4/25/2016
SCALE:
N.T.S.
SHEET:
A-8

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ISOMETRIC VIEWS



PLAN #
861

NO.	DESCRIPTION	BY	DATE



BUILT BY:

PROJECT DESCRIPTION:
GARAGE PLAN FOR THE WATSON
FAMILY
100 GREENBRIAR ESTATES DRIVE
SAINT JOHNS, FL 32259



Design Drawings
provided by:
DESIGNS FOR LIVING, LLC
RECREATIONAL, DESIGN & BUILD SINCE 1989
904-730-2135

DATE:
4/25/2016
SCALE:
1/4" = 1'-0"
SHEET:
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NOTE: ENTIRE ROOF IS CONVENTIONALLY FRAMED.
THE FLOOR SYSTEM ARE 20" DEEP TJI'S AND DECKED
WITH 3/4" T&G DECKING GLUED & SCREWED

MAX BUILDING HEIGHT AT THIS POINT IS 26'-1&1/2"

PLATE HEIGHT AT THIS POINT IS 9'-1&1/8"

DORMER PLATE HEIGHT = 9'-1&1/8"

SECONDARY PLATE HEIGHT IS 8'-1&1/8"
AT THE FRONT OF THE STRUCTURE AND
THEN FURRED DOWN WITH A 2X6 TO
ALLOW FOR R-19 BATT'S

24" RAISED HEELS
ON ENTRY FRAMING

GARAGE PLATE HEIGHT IS 10'-1&1/8"

20" TJI'S DECKED W/3/4" T&G

TYPE "X" FIRE
RATED DRYWALL
PER CODE

BRICK VENEER TO
MATCH THE
EXISTING HOME

MONOLITHIC FOOTERS AND SLAB FOUNDATION

BUILDING CROSS-SECTION