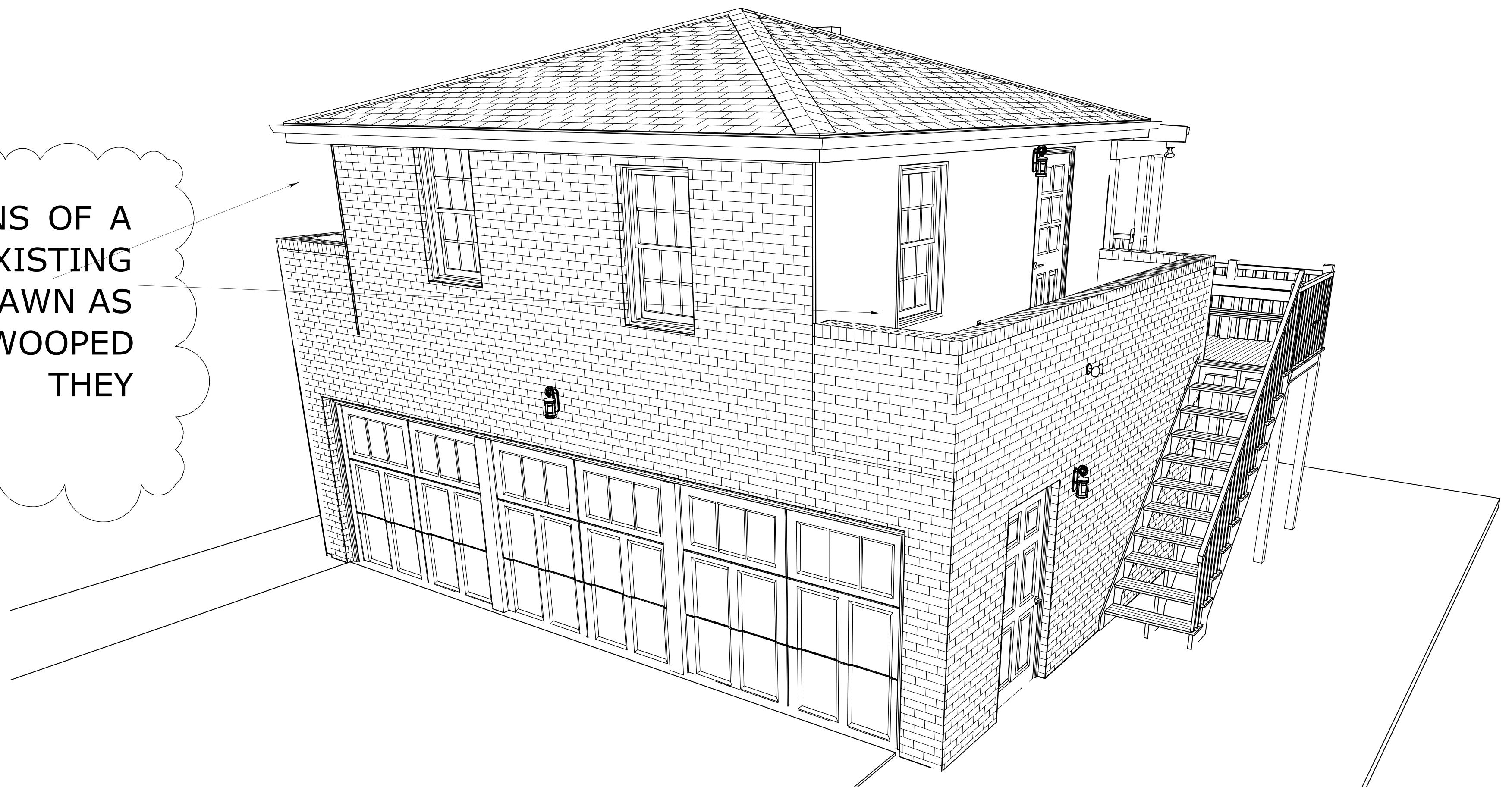


GARAGE RENOVATIONS FOR STEPHEN LAMSENS

PERMIT PLAN 8/30/2016

**NOTE: DUE TO THE LIMITATIONS OF A
3-D TYPE CAD PROGRAM THE EXISTING
SWOOPED WALLS CANNOT BE DRAWN AS
THEY EXIST. HOWEVER, THE SWOOPED
WALLS WILL REMAIN AS THEY
CURRENTLY ARE.**



873 GOODWIN STREET, A.K.A. 2061-1 COLLEGE STREET
JACKSONVILLE, FLORIDA 32204

LOT 7, BLOCK 86, RIVERSIDE

R/E #: 091265-0000

BUILT BY:

**DOXA PROPERTIES, LLC
8862 CANOPY OAKS DRIVE
JACKSONVILLE, FLORIDA 32256**

904-219-9279

CGC1504731

AN #
061-R

10 of 10

DUXA PROPERTIES, LLC
8862 CANOPY OAKS DRIVE
JACKSONVILLE, FL 32256
904-219-9279 CGC150472-

LAMSENS
73 Goodwin Street/2061-1 College St
Jacksonville, FL 32204

The logo for GNS for LIVING LLC. It features a stylized crown or dome icon on the left, composed of vertical lines and decorative patterns. To the right of the icon, the word "LIVING" is written in a large, flowing, cursive font. Above "LIVING", the letters "GNS" are written in a smaller, bold, sans-serif font. Below "LIVING", the word "for" is written in a smaller, italicized serif font. To the right of the main text, "LLC" is written in a small, uppercase sans-serif font. Below the "LLC", the words "RESIDENTIAL DESIGN SINCE 1969" are written in a small, uppercase sans-serif font. To the right of the company name, the phone number "904-730-7135" is written in a large, bold, black font.

DESIGN

DATE:
/30/2016

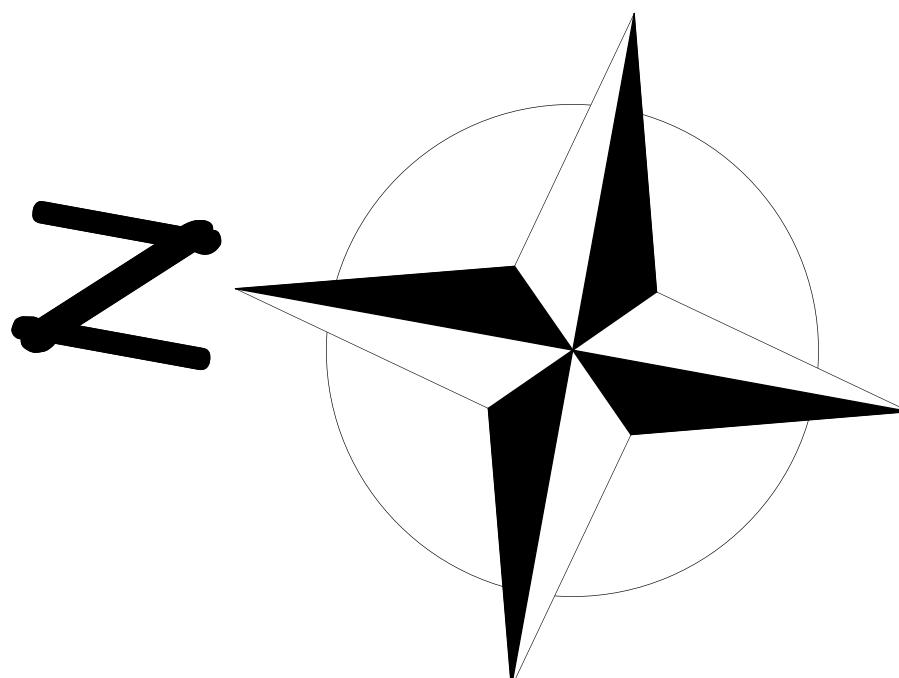
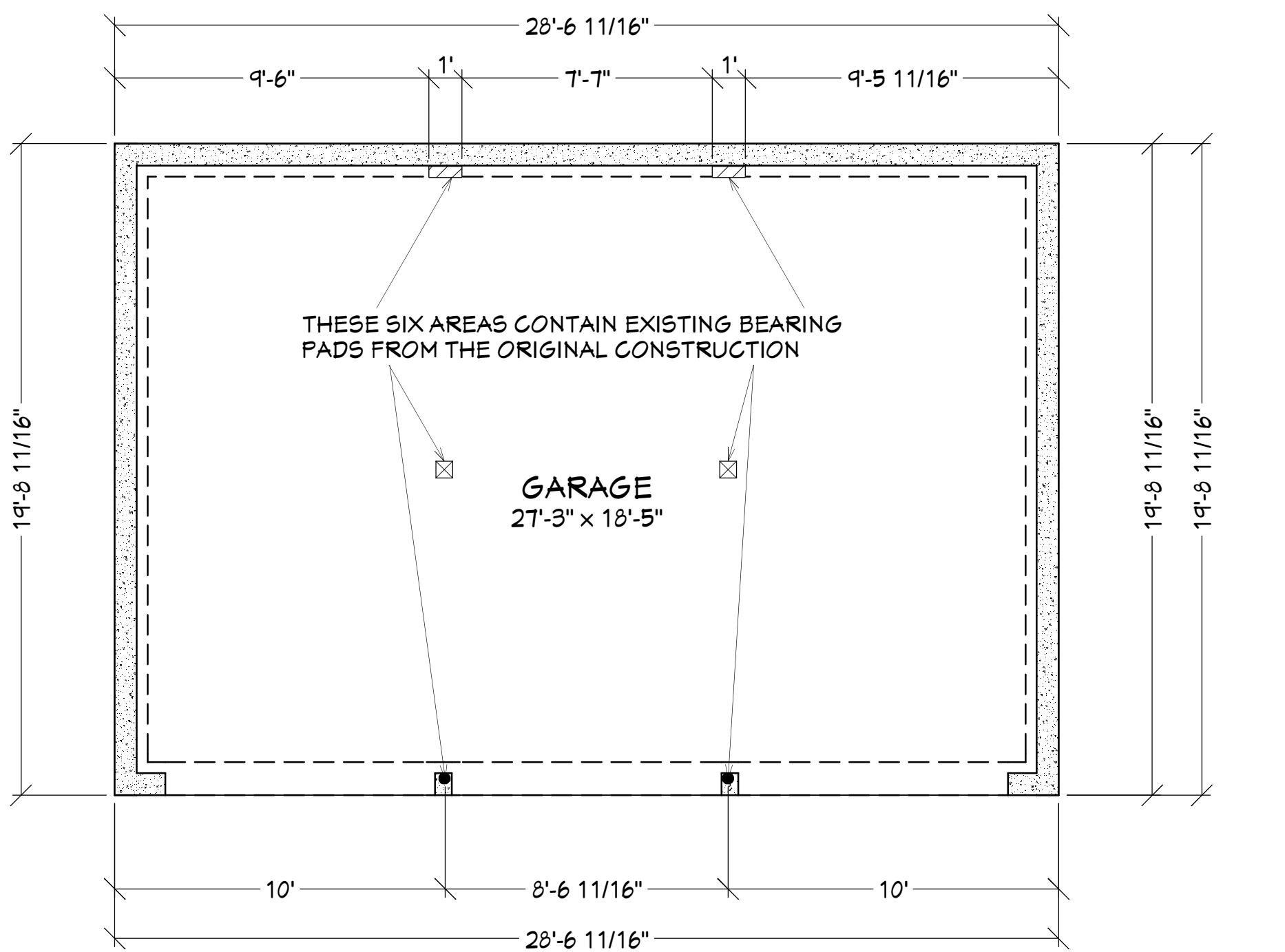
CALENDAR

N.T.S

A-1

**CONTRACT NOTE: CONTRACT
AND SPECIFICATIONS TAKE
PRECEDENCE OVER THESE
DRAWINGS. ANY CONFLICT WILL
DEFAULT TO SAID DOCUMENTS.**

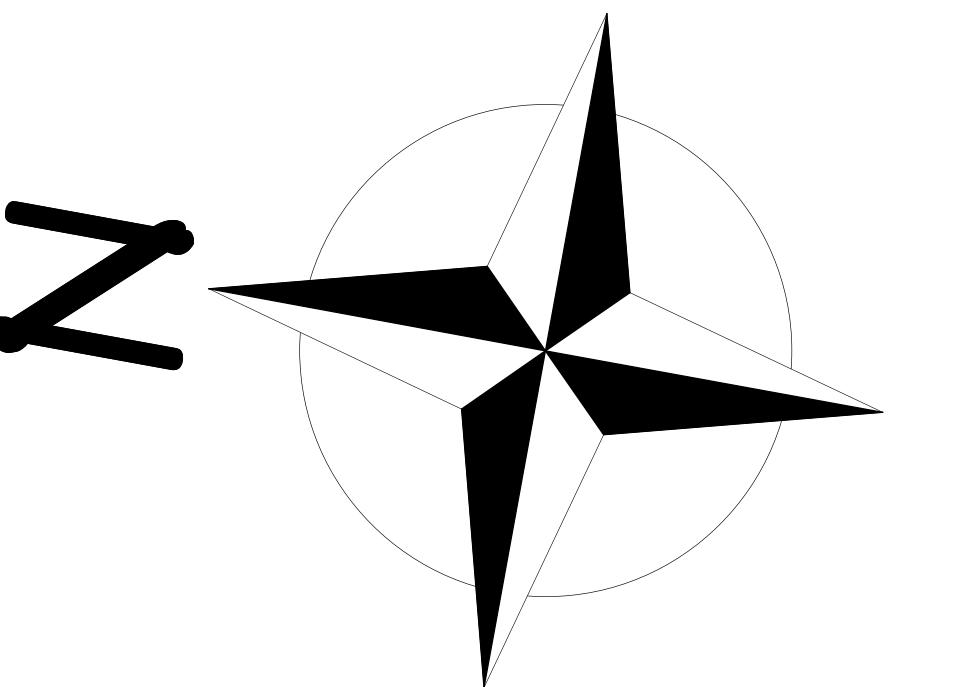
NOTE: ENGINEERS DETAILS TAKE PRECEDENCE!



FOUNDATION PLAN

PLAN #		
2061-R		
CLIENT APPROVAL SIGNATURE	DATE	
DOXA PROPERTIES, LLC 8862 CANOPY OAKS DRIVE JACKSONVILLE, FL 32256 904-219-9279 CGC1504721	STEPHAN D. LAMSENS	
BUILT BY: DOXA PROPERTIES, LLC 8862 CANOPY OAKS DRIVE JACKSONVILLE, FL 32256 904-219-9279 CGC1504721		
PROJECT DESCRIPTION: GARAGE RENOVATIONS FOR STEPHEN LAMSENS 873 Goodwin Street/2061-1 College St , Jacksonville, FL 32204		
Design Drawings provided by:  DESIGNS <i>by</i> LIVING RESIDENTIAL DESIGN SINCE 1969 904-730-7135		
DATE:	8/30/2016	
SCALE:	1/4" = 1'-0"	
SHEET:	A-2	

INSULATION:
WALLS: 3.5" R-13 FIBERGLASS BATT
CEILINGS: R-30 FIBERGLASS BATT



R302.11 Fireblocking.
In combustible construction, fireblocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space.

Fireblocking shall be provided in wood-frame construction in the following locations:

1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of

1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:
 - 1.1. Vertically at the ceiling and floor levels.
 - 1.2. Horizontally at intervals not exceeding 10 feet (3048 mm).
 2. At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
 3. In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7.
 4. At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion. The material filling this annular space shall not be required to meet the ASTM E 136 requirements.
 5. For the fireblocking of chimneys and fireplaces, see Section R1003.19.
 6. Fireblocking of cornices of a two-family dwelling is required at the line of dwelling unit separation.

SECTION R310

EMERGENCY ESCAPE AND RESCUE OPENINGS

R310.1 Emergency escape and rescue required. Basements, habitable attics and every sleeping room shall have at least one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, emergency egress and rescue openings shall be required in each sleeping room. Where emergency escape and rescue openings are provided they shall have a sill height of not more than 44 inches (1118 mm) above the floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with Section R310.3. The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. Emergency escape and rescue openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with Section R310.2. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.

Exceptions:

- Exceptions:

 1. Basements used only to house mechanical equipment and not exceeding total floor area of 200 square feet (18.58 m²).
 2. The emergency escape and rescue opening shall be permitted to open into a screen enclosure, open to the atmosphere, where a screen door is provided leading away from the residence.

B310.1.1 Minimum opening area

All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m^2)

All errors Exception

Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465 m^2)

Grade floor openings shall have a B310.1-2 Minimum opening height

R310.1.2 Minimum opening height. The minimum net clear opening height shall be 24 inches (610 mm).

B310.1.3 Minimum opening width

R310.1.5 Minimum opening width. The minimum net clear opening width shall be 20 inches (508 mm).

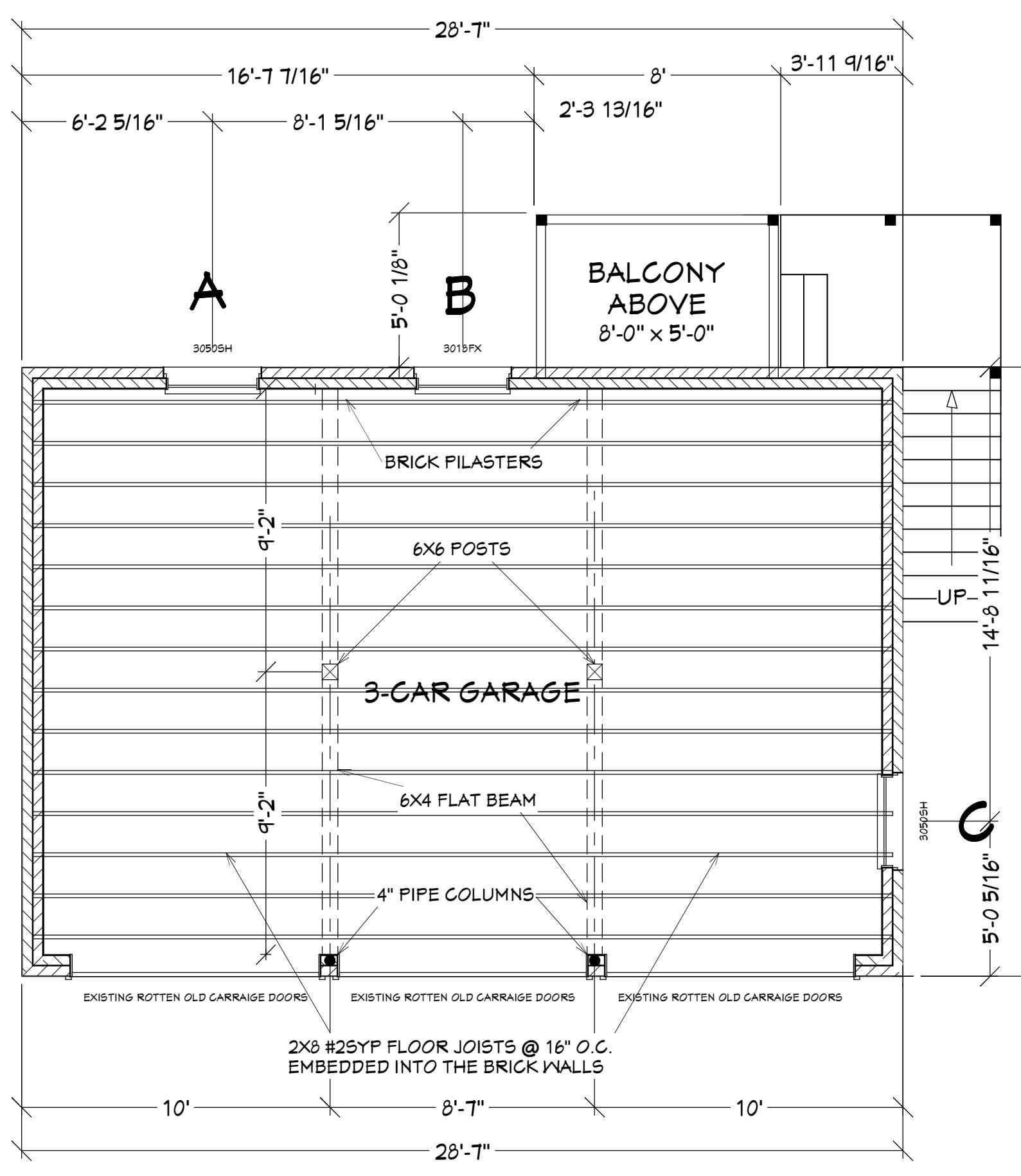
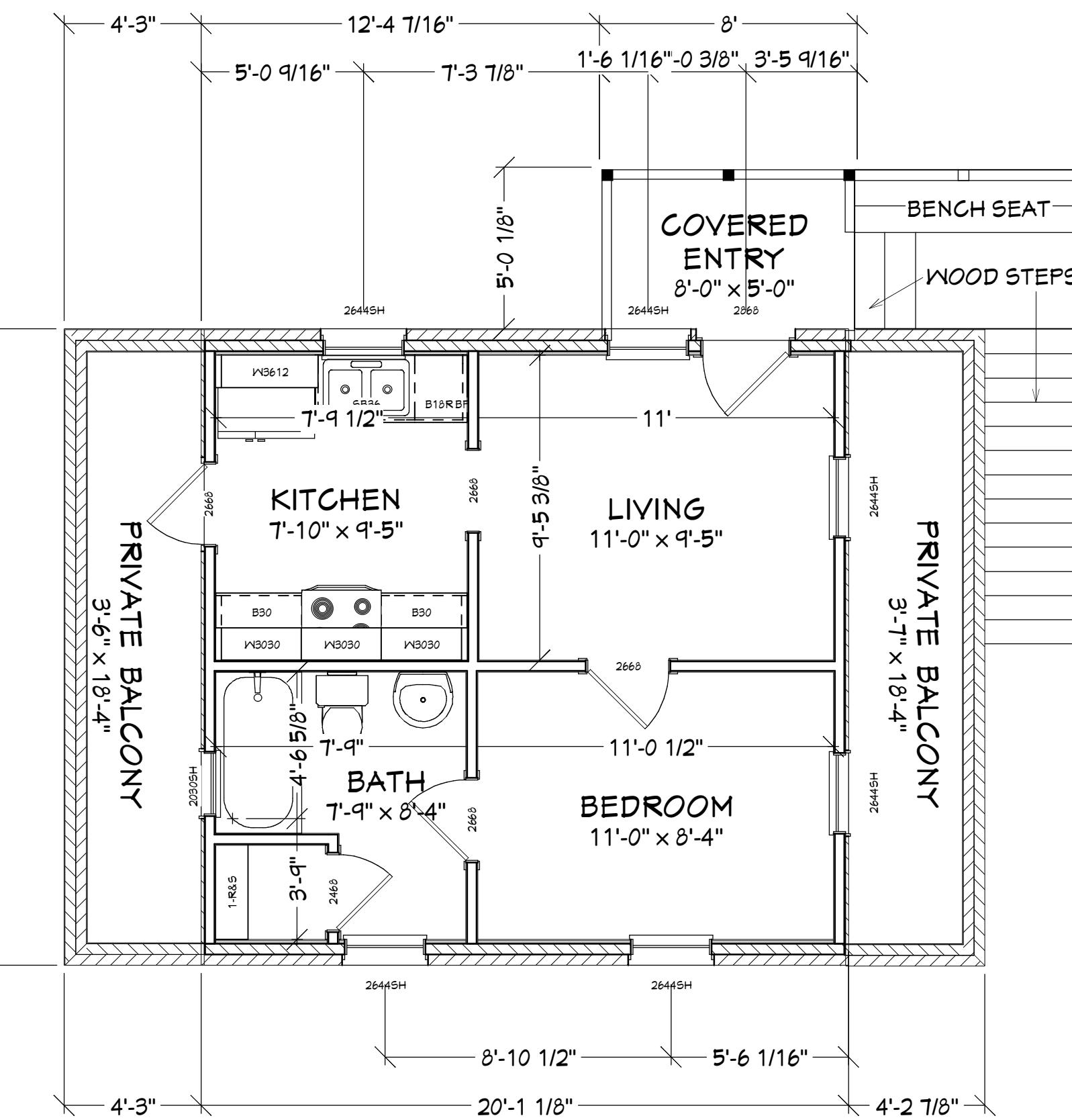
B310.1.4 Operational constraints

R510.1.4 Operational constraints. Emergency escape and rescue openings shall be operational from the interior.

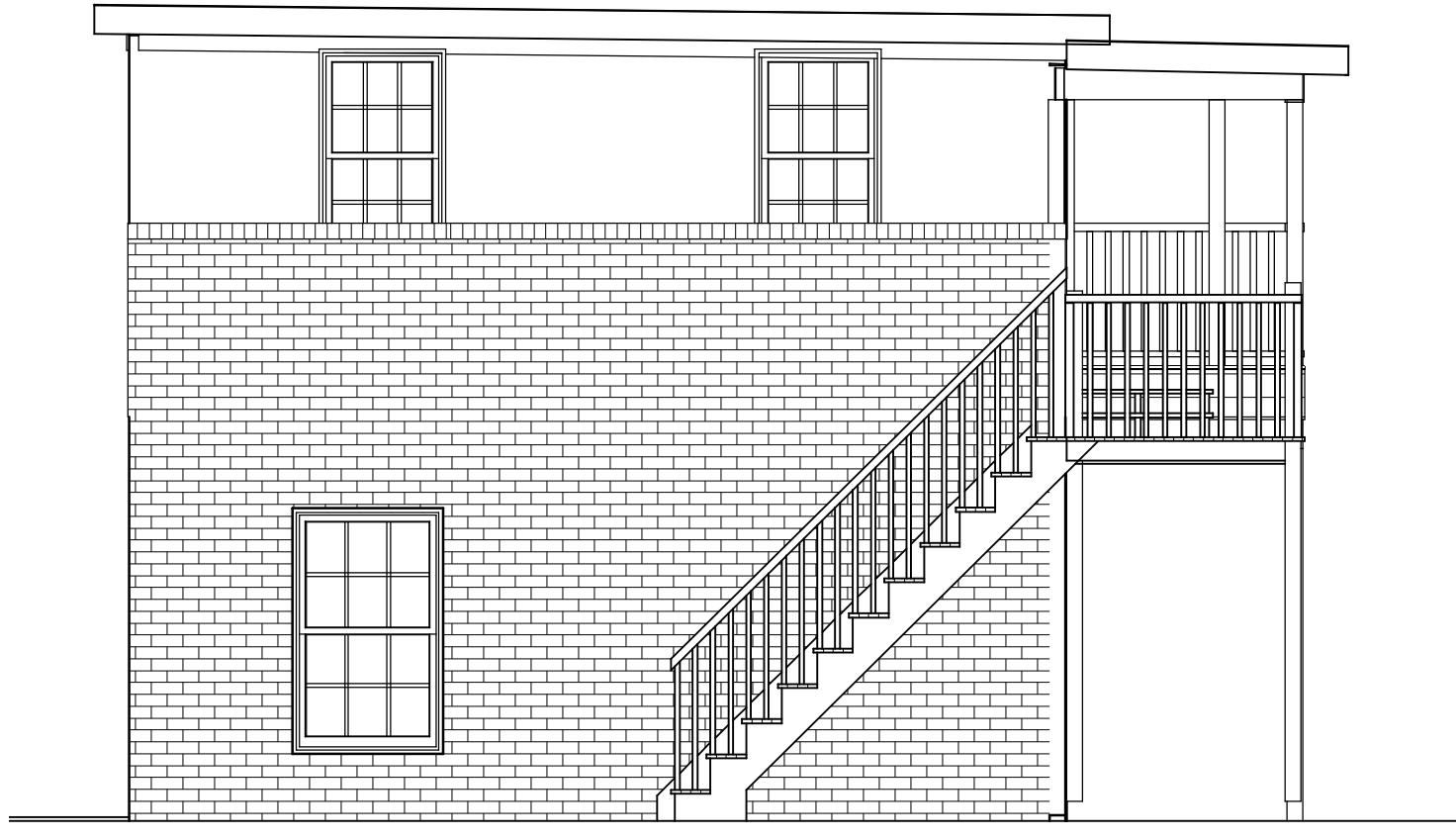
Emergency escape and rescue operation special knowledge

special knowledge.

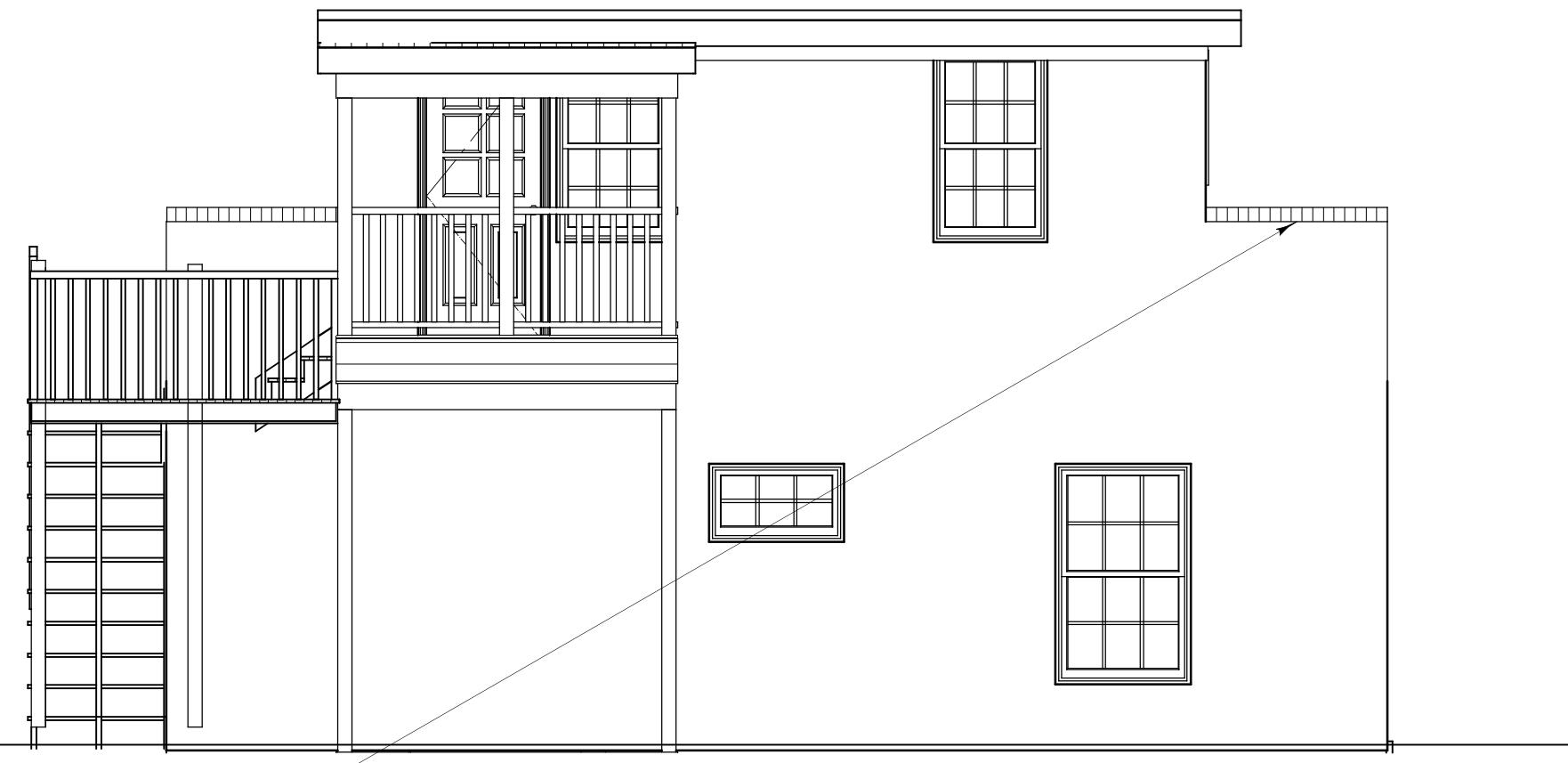
**NOTE: ALL WINDOWS AND
DOORS SHOWN ARE
EXISTING EITHER ACTUALLY
THERE OR THE REMNANTS
OF THEM ARE IN PLACE AND
WILL BE REMEDIED DURING
CONSTRUCTION**



AS-BUILT FLOOR PLANS



RIGHT ELEVATION

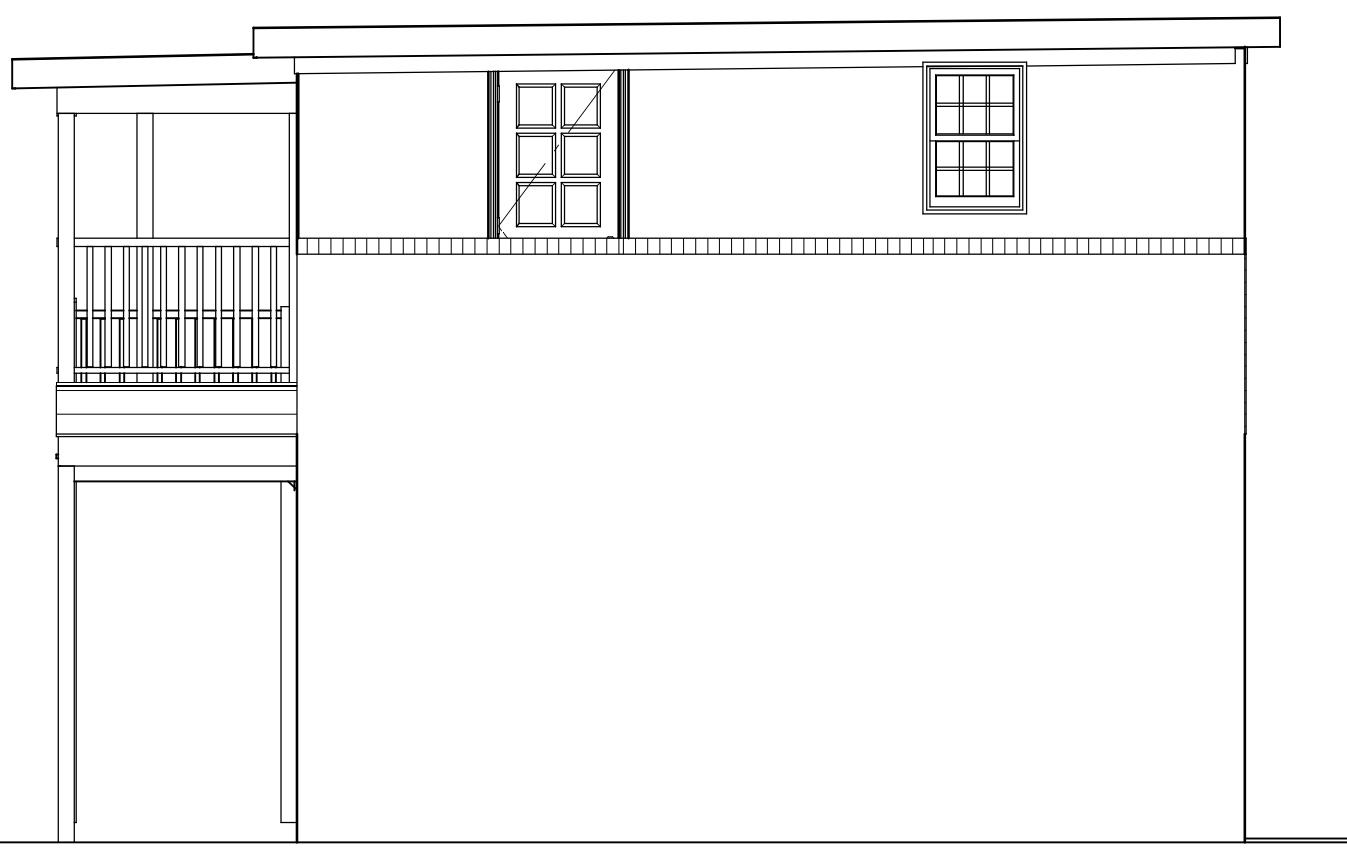


REAR ELEVATION

NOTE: DUE TO THE LIMITATIONS OF A 3-D TYPE CAD PROGRAM THE EXISTING SWOOPED WALLS CANNOT BE DRAWN AS THEY EXIST. HOWEVER, THE SWOOPED WALLS WILL REMAIN AS THEY CURRENTLY ARE.

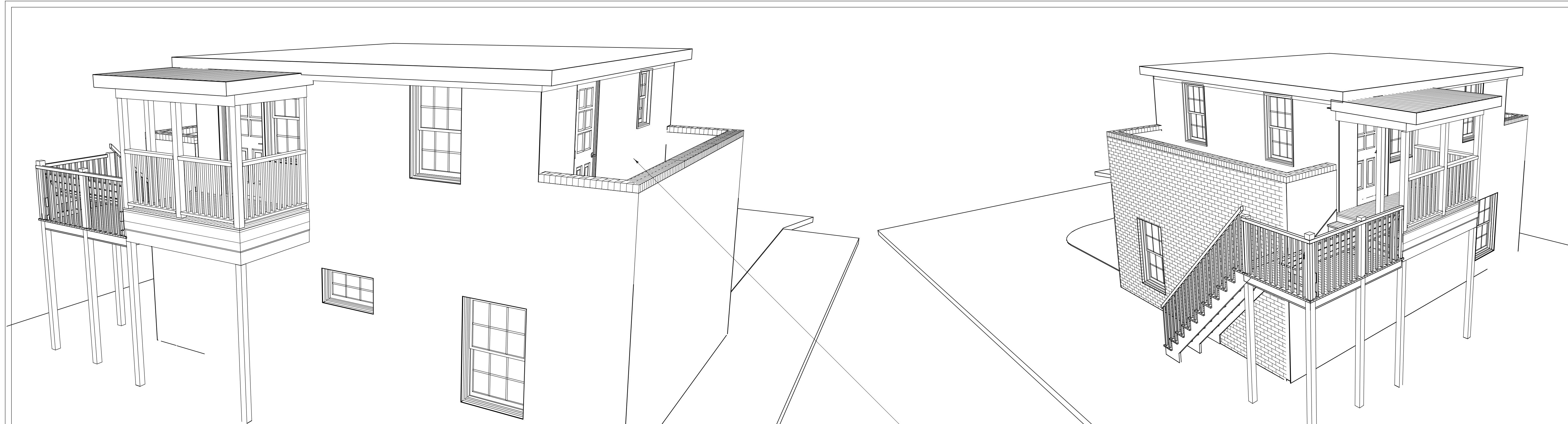


FRONT ELEVATION

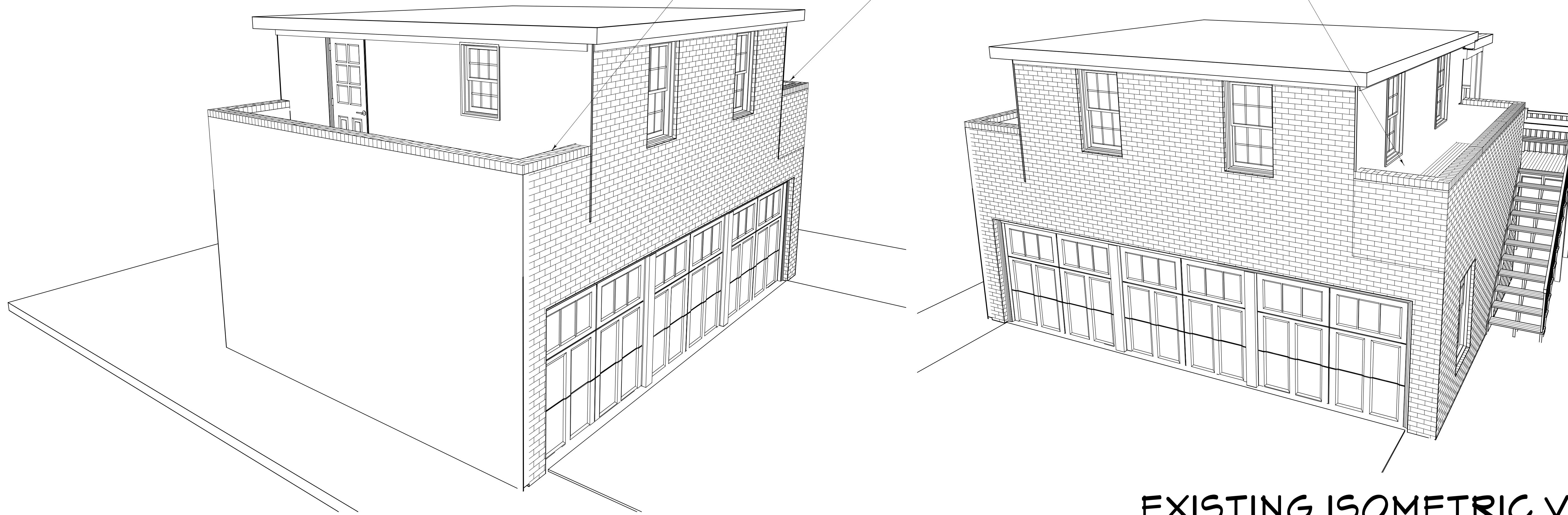


LEFT ELEVATION

**CONTRACT NOTE: CONTRACT AND
SPECIFICATIONS TAKE PRECEDENCE
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EXISTING ISOMETRIC VIEWS

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PLAN # 2061-R		
CLIENT APPROVAL SIGNATURE	DATE	
DOXA PROPERTIES, LLC 8862 CANOPY OAKS DRIVE JACKSONVILLE, FL 32256 904-219-9279 CGC1504721	STEPHAN D. LAMSENS	
BUILT BY: DOXA PROPERTIES, LLC 8862 CANOPY OAKS DRIVE JACKSONVILLE, FL 32256 904-219-9279 CGC1504721		
PROJECT DESCRIPTION: GARAGE RENOVATIONS FOR STEPHEN LAMSENS 873 Goodwin Street/2061-1 College St , Jacksonville, FL 32204		
Design Drawings provided by:  DESIGNS <i>for</i> LIVING RESIDENTIAL DESIGN SINCE 1969 904-730-7135		
DATE:	8/30/2016	
SCALE:	N.T.S.	
SHEET:	A-5	

INSULATION:
WALLS: 3.5" R-13 FIBERGLASS BATT
CEILINGS: R-30 FIBERGLASS BATT

WINDOW & DOOR SURVEY WITH SCOPE OF WORK:

- 1: Existing 3050SH original window. Wish to replace with new SDL mutton vinyl window
- 2: Existing 3018FX original window damaged. Wish to replace with new SDL mutton vinyl window
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- 12: Existing 2030SH window missing & boarded up. Wish to replace with new SDL mutton vinyl window.

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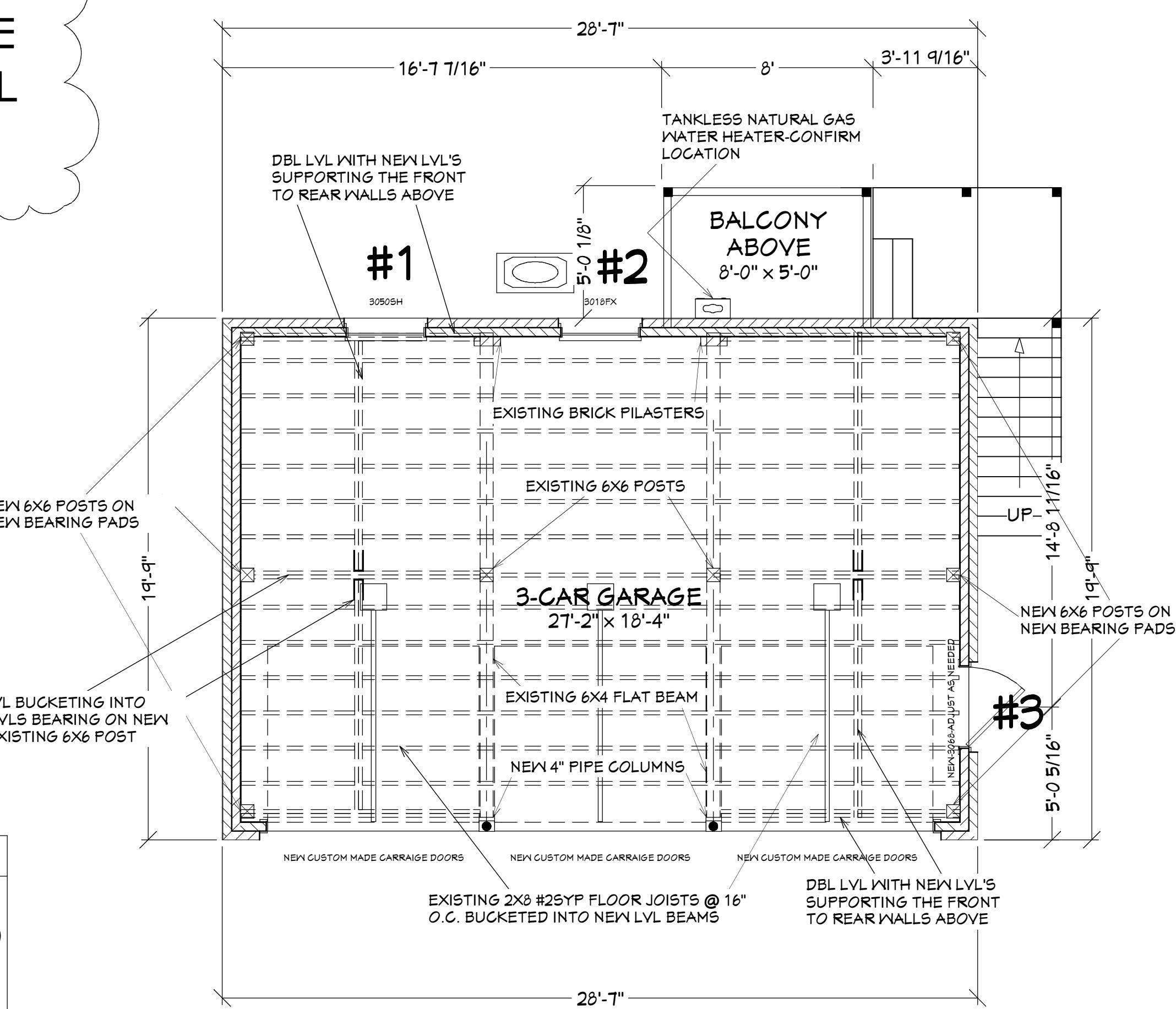
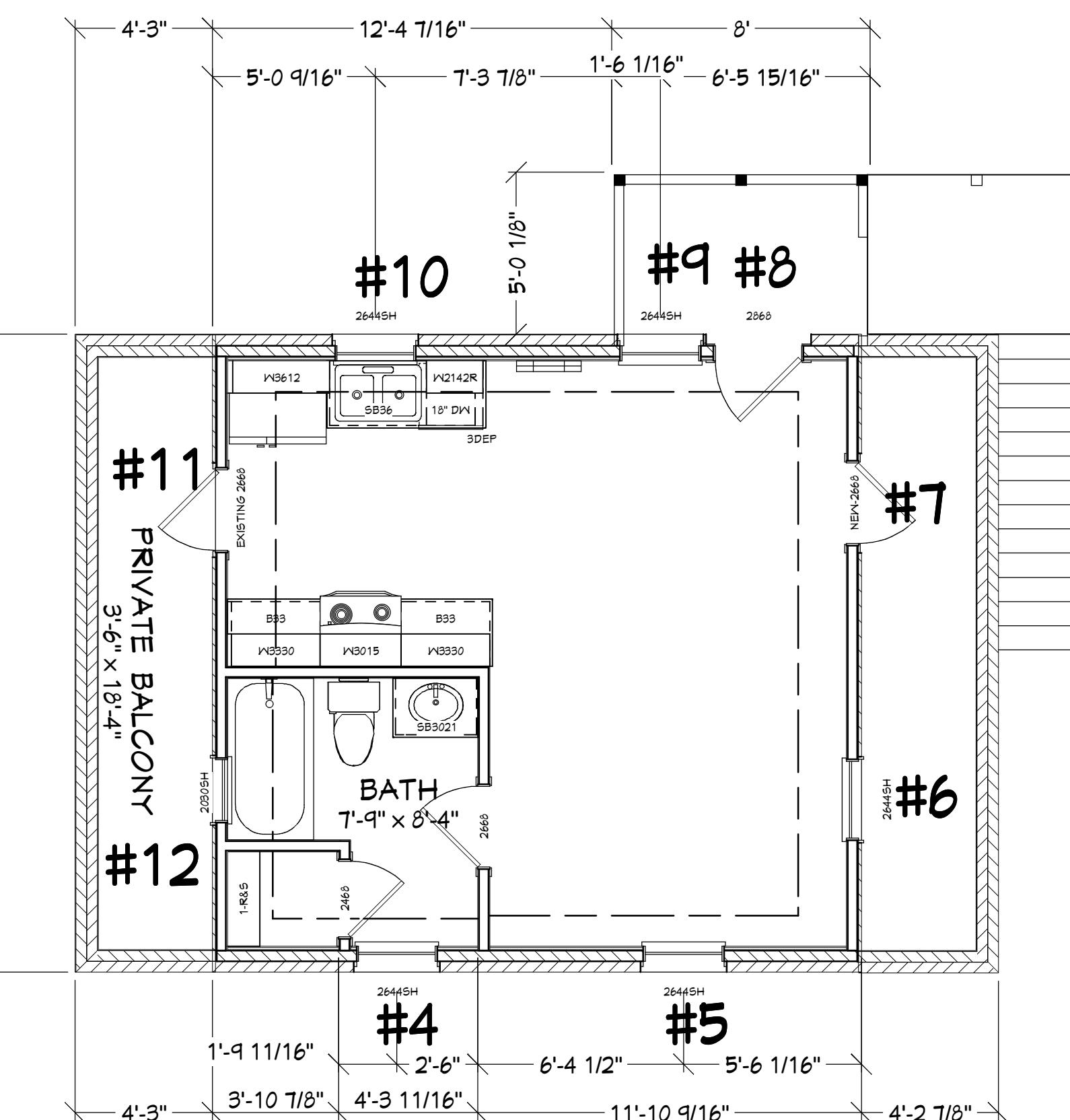
R310.1.3 Minimum opening width.

The minimum net clear opening width shall be 20 inches (508 mm).

R310.1.4 Operational constraints.

Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys, tools or special knowledge.

FOOTAGES (A.N.S.I.):	
GARAGE:	559.60
SLAB AREA:	559.60
HEATED:	393.17
ENTRY:	40.00
BALCONIES:	166.43
UNDER ROOF:	1,159.20



PROPOSED FLOOR PLANS

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PLAN #
2061-R

CLIENT APPROVAL SIGNATURE	DATE
STEPHAN D. LAMSENS	

BUILT BY:	DOXA PROPERTIES, LLC
	8862 CANOPY OAKS DRIVE
	JACKSONVILLE, FL 32256
	904-219-9279 CGC1504721

PROJECT DESCRIPTION:	GARAGE RENOVATIONS FOR STEPHEN LAMSENS
	873 Goodwin Street/2061-1 College St
	Jacksonville, FL 32204

Design Drawings provided by:	DESIGNS FOR LIVING, LLC
	RECREATIONAL DESIGNERS SINCE 1989
	904-730-2135

DATE:	8/30/2016
SCALE:	1/4" = 1'-0"
SHEET:	A-6

CLIENT APPROVAL SIGNATURE DATE

STEPHAN D. LAMSENS

DOXA PROPERTIES, LLC
8862 CANOPY OAKS DRIVE
JACKSONVILLE, FL 32256
904-219-9279 CGC1504721

BUILT BY:

STEPHEN LAMSENS

PROJECT DESCRIPTION:
GARAGE RENOVATIONS FOR STEPHEN
LAMSENS
873 Goodwin Street/2061-1 College St
Jacksonville, FL 32204DESIGNS FOR LIVING, LLC
RECREATIONAL, DESIGN & BUILD SINCE 1989

904-730-2135

Design Drawings

provided by:

DATE:
8/30/2016

SCALE:

1/2" = 1'-0"

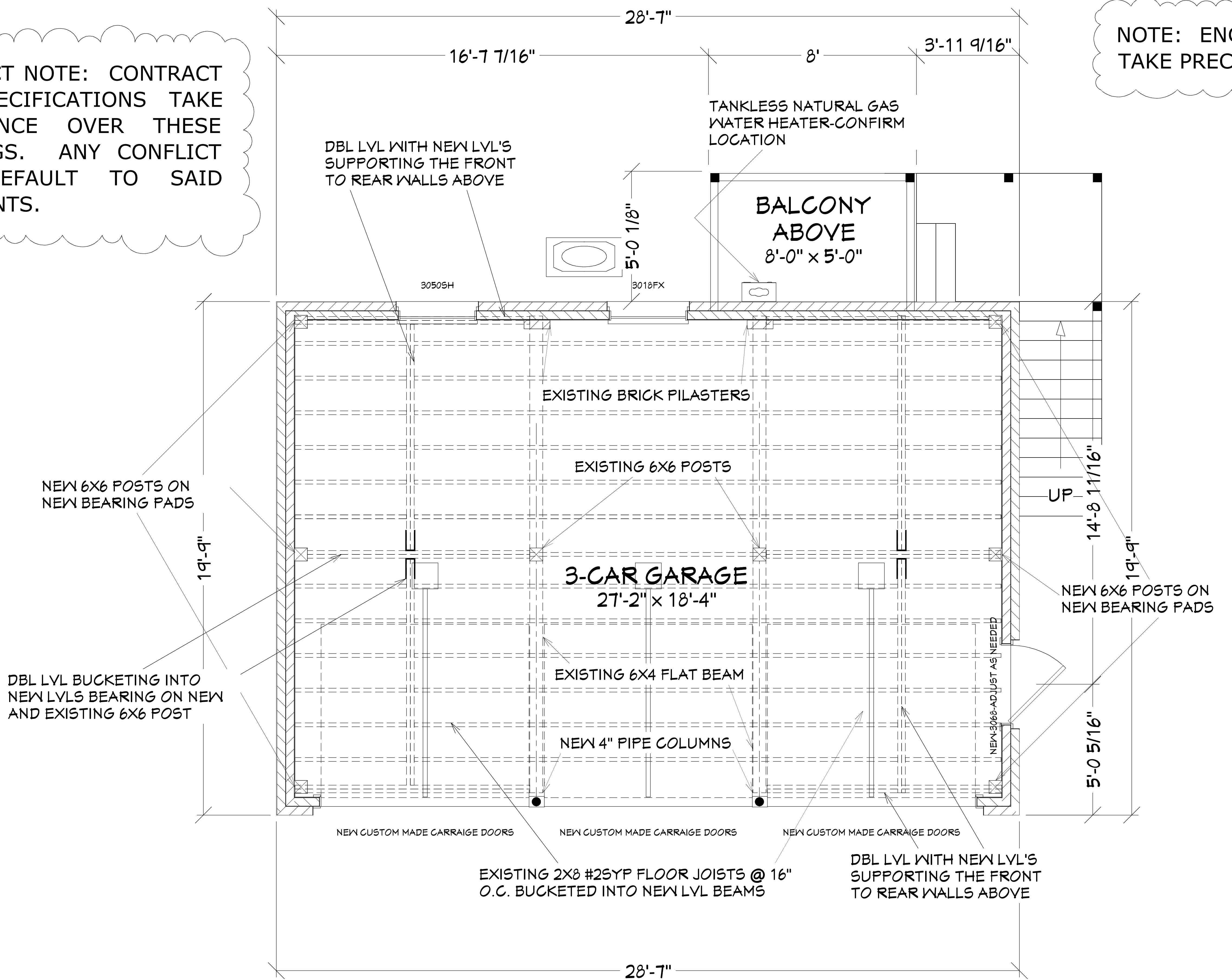
SHEET:

A-7

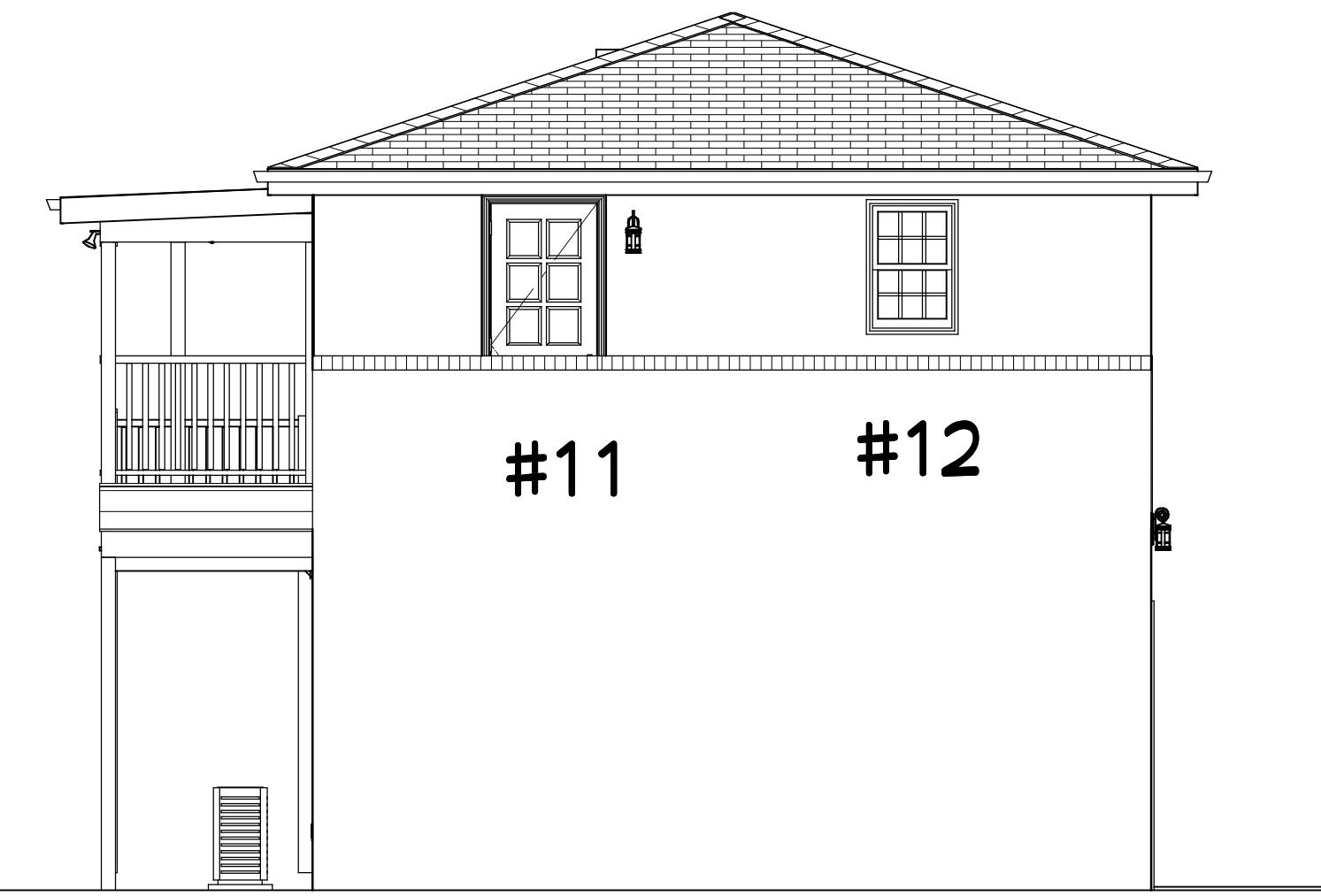
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CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

NOTE: ENGINEERS DETAILS TAKE PRECEDENCE!



1ST FLOOR FRAMING PLAN

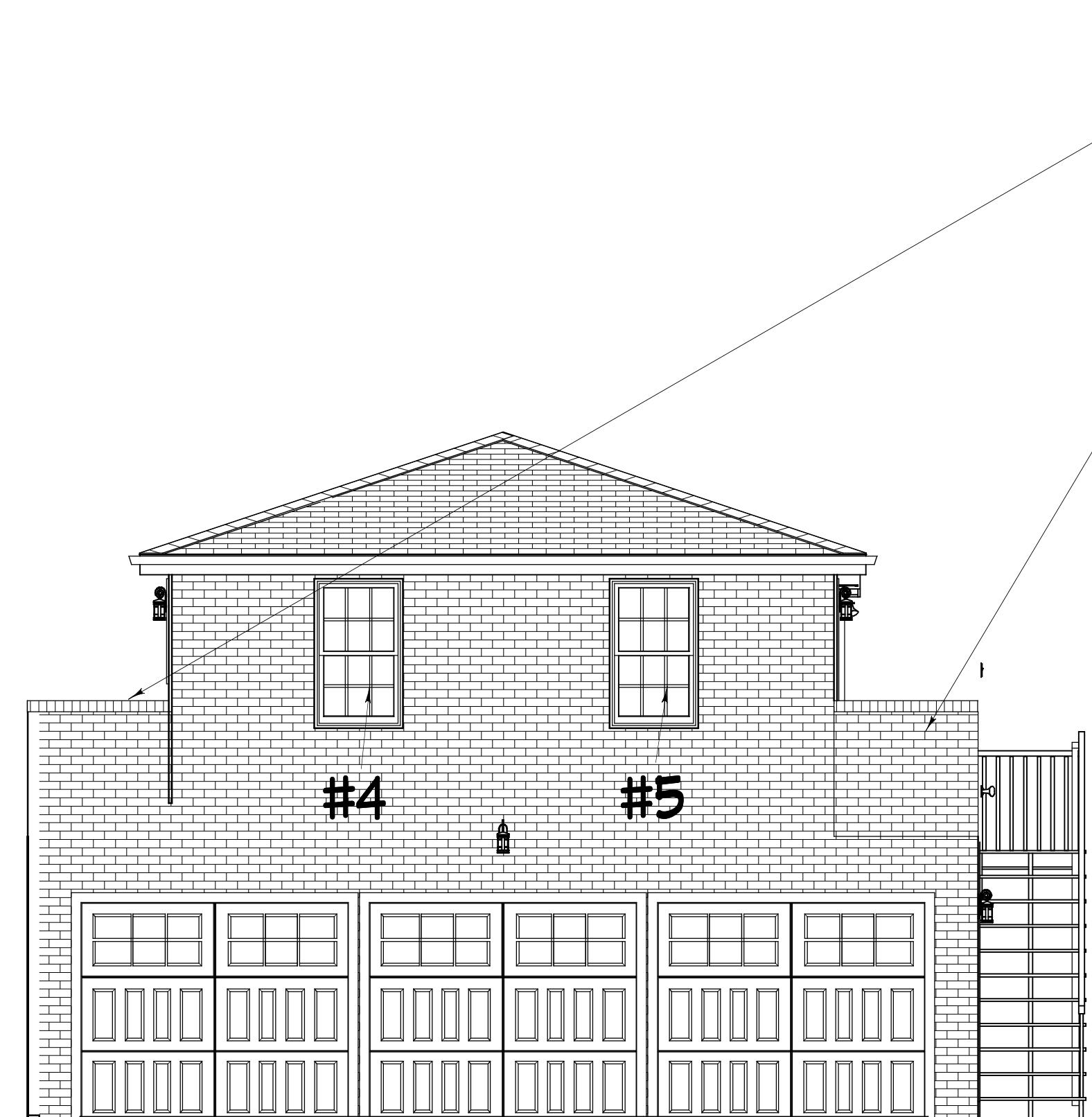


LEFT ELEVATION

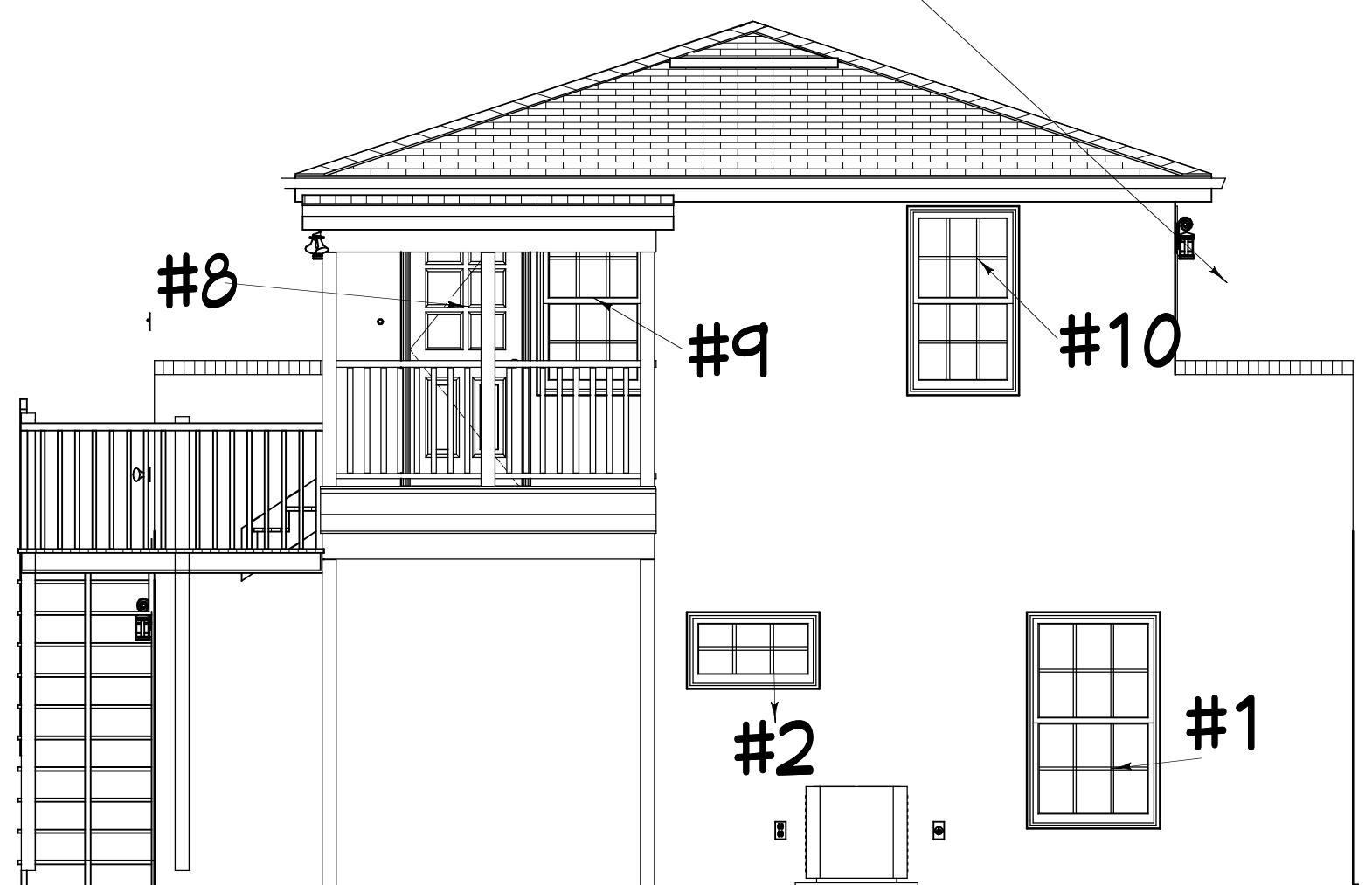


RIGHT ELEVATION

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



FRONT ELEVATION



REAR ELEVATION

WINDOW & DOOR SURVEY WITH SCOPE OF WORK:

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**PLAN #
2061-R**

CLIENT APPROVAL SIGNATURE _____ **DATE** _____

BUILT BY:
DOXA PROPERTIES, LLC
8862 CANOPY OAKS DRIVE
JACKSONVILLE, FL 32256
904-219-9279 CGC1504721

PROJECT DESCRIPTION:
GARAGE RENOVATIONS FOR STEPHEN
LAMSENS
73 Goodwin Street/2061-1 College St
Jacksonville, FL 32204

The logo for DESIGNS for LIVING LLC consists of a classical pedestal on the left, featuring four fluted legs with acanthus leaf carvings and a decorative band near the top. To the right of the pedestal, the word "DESIGNS" is written vertically in a bold, sans-serif font. A large, flowing, cursive-style ampersand connects the end of "DESIGNS" to the beginning of "LIVING". The word "LIVING" is also in a bold, sans-serif font. Above the ampersand, the words "for" and "LLC" are written in a smaller, italicized font. Below the ampersand, the words "RESIDENTIAL DESIGN SINCE 1969" are printed in a small, all-caps, sans-serif font.

DESIGN DRAWINGS
PROVIDED BY:

DATE:

SCALE:

SECRET

SHEET

A-8

PROPOSED ELEVATIONS

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

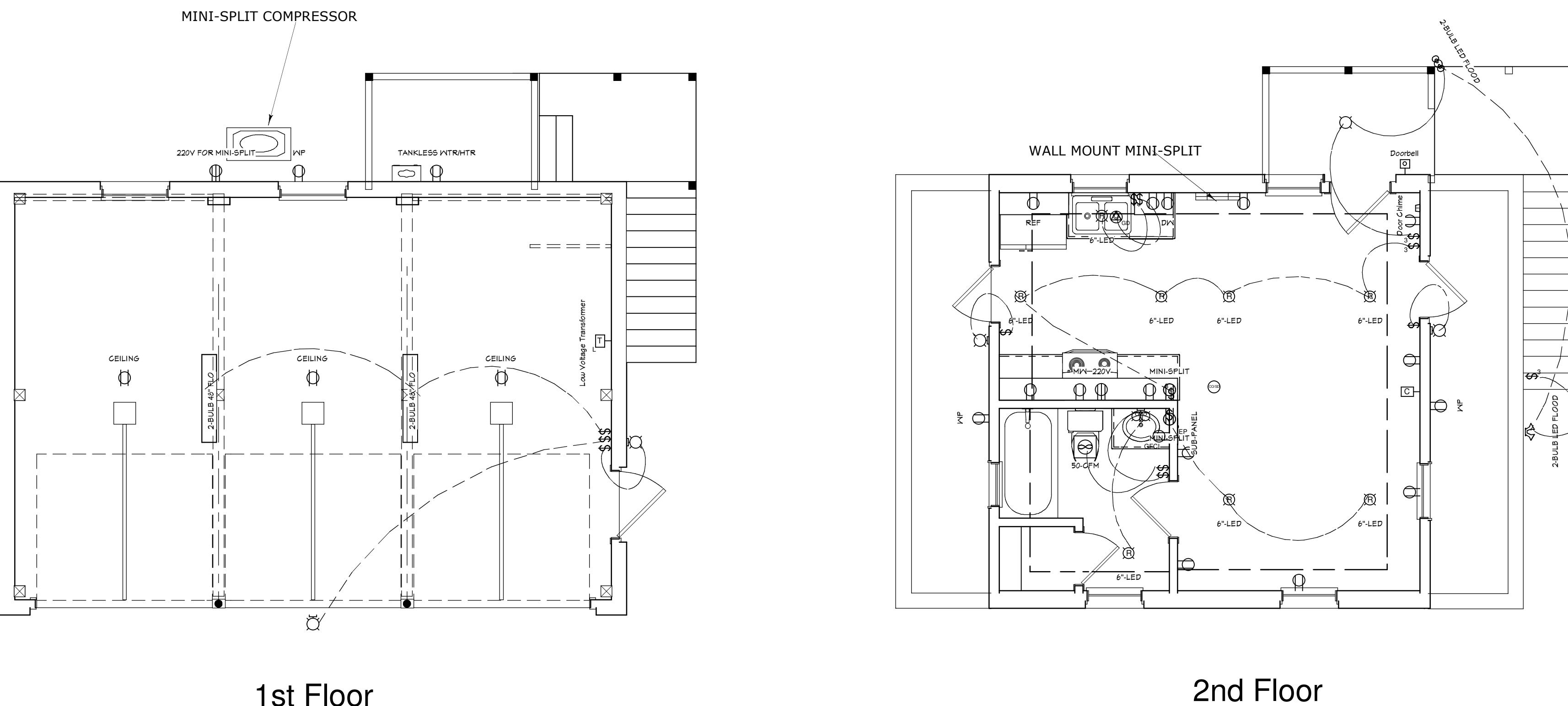
CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

ELECTRICAL NOTES:

1. METER IS EXISTING
2. PROPERTY IS PUBLIC WATER & SEWER
3. WATER HEATER TO BE 50 GALLON ELECTRIC
4. SECURITY PRE-WIRE & TRIM -CONFIRM
5. PRE-WIRE & TRIM FOR CAT5/TV PER PLANS-CONFIRM
6. CONFIRM WITH OWNER ON STRUCTURED WIRING
7. ONE-150 AMP ELECTRICAL PANEL
8. CONFIRM ALL ELECTRICAL W/OWNER PRIOR TO WIRING ANYTHING

PER FBC-R-E3902.12 AFCI PROTECTION REQUIRED Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed AFCI, combination type.

PER FBC-R-E3901.7, NEC 210, E3901.7 & E3902.3 GFCI PROTECTION REQUIRED Bathrooms, garages, boathouses & accessory structures not intended as habitable rooms and limited to storage, work & similar uses. Outdoors, crawl spaces, unfinished basements, kitchen countertops. Outlets within 6 feet of laundry, utility or wet sinks. Balcony, deck or porch greater than 20 s.f. One at the front and back of the dwelling and at the condenser units.



1st Floor

2nd Floor

EFFICACY NOTE: THE NEW FBC-R FBC EC R404.1 & R202 BUILDING CODE REQUIRES ALL INSIDE & OUTSIDE LIGHT FIXTURES WILL USE CFL OR LED LIGHT BULBS.

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

ELECTRICAL PLAN

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BUILT BY:
DOXA PROPERTIES, LLC
8862 CANOPY OAKS DRIVE
JACKSONVILLE, FL 32256
904-219-9279 CGC1504721

PROJECT DESCRIPTION:
GARAGE RENOVATIONS FOR STEPHEN
LAMSENS
873 Goodwin Street/2061-1 College St
Jacksonville, FL 32204

Design Drawings provided by:
DESIGNS FOR LIVING, LLC
RE-DESIGNERS SINCE 1989
904-730-2135

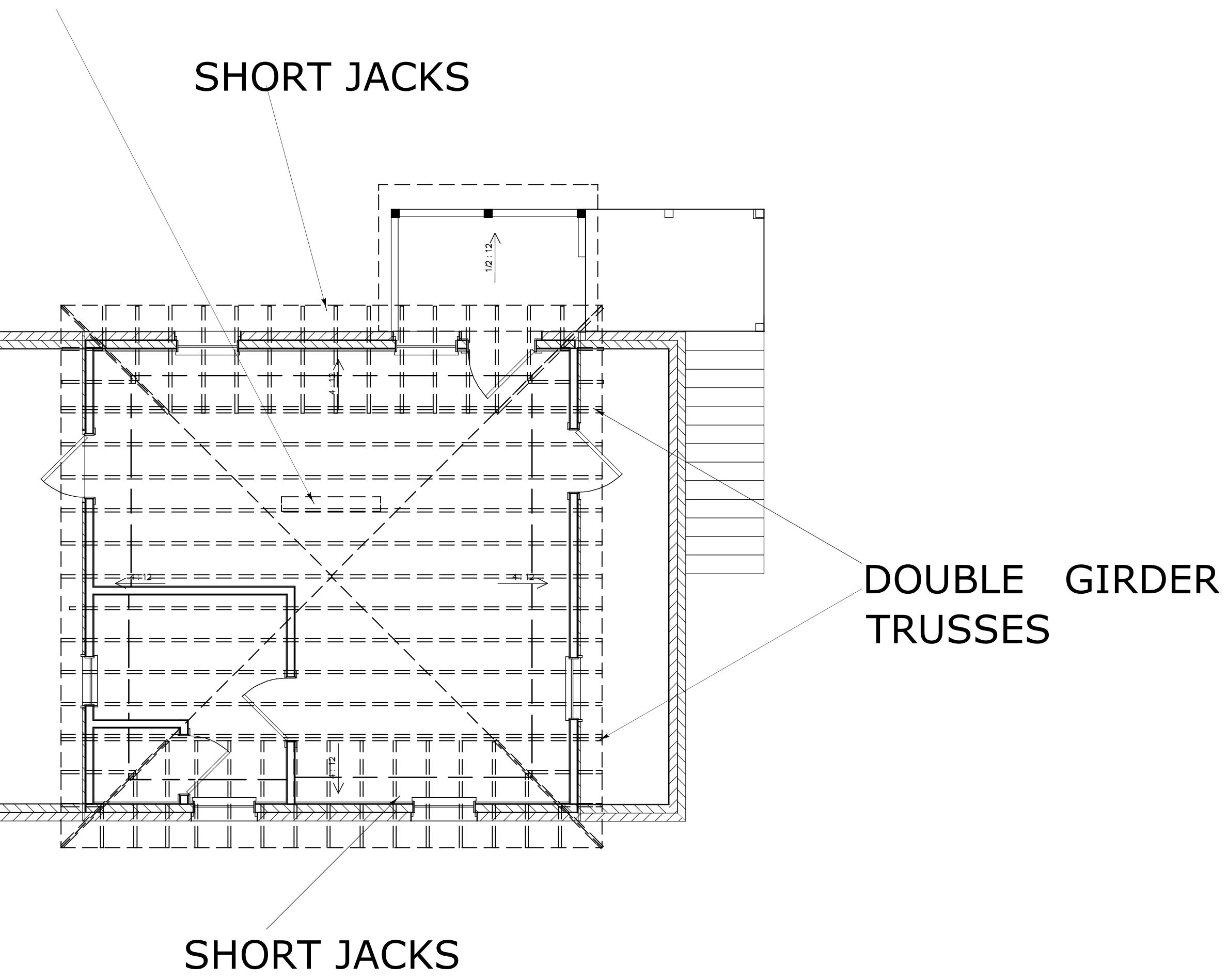
DATE: 8/30/2016
SCALE: 1/4" = 1'-0"
SHEET: A-9

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ROOF NOTES (VERY CRITICAL):
PITCH: 4/12 & FLAT ROOF AT ENTRY
UNDERLayment: 30 # FELT MINIMUM
ROOFING: ENGINEERED METAL SHINGLES
LIKE THE ONES ON THE MAIN HOME
EAVE OVERHANG: MATCH EXISTING
PRE-ENGINEERED TRUSSES WITH 12" LEGS
SITTING ON THE EXISTING TOP PLATE. THE
TRUSSES WILL BE 2X6 TOP CHORD BEARING
TYPE WITH 2X6 LEGS THAT RAISE THE
CEILING FROM 7 FOOT INSIDE TO 8'-1&1/8"
WITH COLLAR TIES AT THE 8'-1&1/8" HEIGHT
SUBJECT TO TRUSS ENGINEERING.

NOTE: ENGINEERS DETAILS TAKE PRECEDENCE!

4 FOOT OFF RIDGE VENT PER PLAN



XISTING FLAT ROOF TO BE MOVED DOWN TO THE TOP PLATE

PROPOSED ROOF PLAN

**PLAN #
2061-R**

CLIENT APPROVAL SIGNATURE	DATE
STEPHAN D. LAMSENS	

BUILT BY:
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JACKSONVILLE, FL 32256
904-219-9279 CGC150472

**'PROJECT DESCRIPTION:
GARAGE RENOVATIONS FOR STEPHEN
LAMSENS
8873 Goodwin Street/2061-1 College St
Jacksonville, FL 32204**

Design Drawings
provided by:

DESIGNS *for* LIVING LLC
RESIDENTIAL DESIGN SINCE 1969

904-730-7135

DATE:
8/30/2016
SCALE:
1/4" = 1'-0"
SHEET:
A-10

PLAN #
2061-R

CLIENT APPROVAL SIGNATURE DATE

STEPHAN D. LAMSENS

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JACKSONVILLE, FL 32256
904-219-9279 CGC1504721

PROJECT DESCRIPTION:
GARAGE RENOVATIONS FOR STEPHEN
LAMSENS
873 Goodwin Street/2061-1 College St
Jacksonville, FL 32204

Design Drawings
provided by:
DESIGNS  LIVING, LLC
RECREATIONAL, DESIGN & BUILD SINCE 1989
904-730-2135

DATE:
8/30/2016
SCALE:
N.T.S
SHEET:
A-11

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