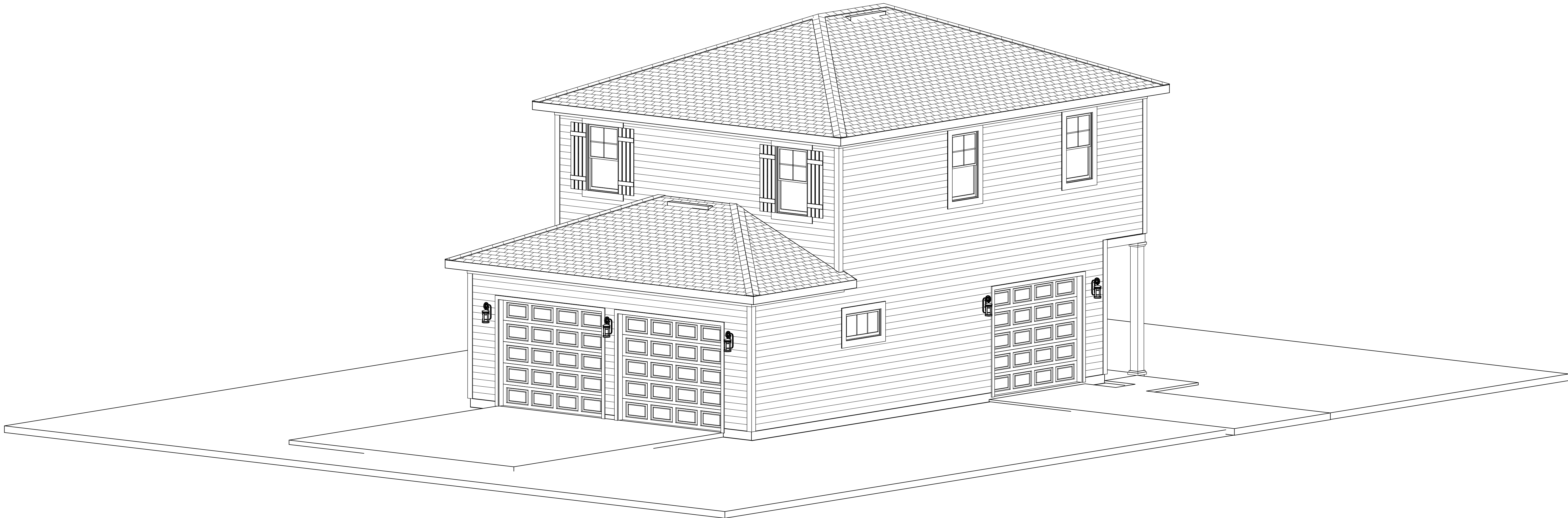


GARAGE/OFFICE FOR THE CURTS FAMILY

REVIEW PLAN 2/25/2017



1460 MARLEE ROAD
SAINT JOHNS, FL 32259

R/E #: 002469-0580

PART OF FATIO GRANT

ORANGE COVE SOUTH UNRECORDED TRACT 58
OR4196/332

BUILT BY: BREAKWATER CONSTRUCTION GROUP, LLC
904-226-7950

CBC1250908, CPC1457423, CCC1329359

COPYRIGHT 2017: DESIGNS FOR LIVING, LLC. -Under section 102 of the Architectural Works Copyright Protection Act (title 17 of the United States Code) specific tacit copyright laws apply to original design of a building created in any tangible medium of expression, including a constructed building or architectural plans, models, or drawings and is subject to copyright protection as an "architectural work" by Designs for Living, LLC. herein referred to as Designer. It is unlawful for anyone to copy these drawings, either in whole or in part, without the express written permission of the Designer. The use of any plans, specifications, electronic or hard copy prints shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Title to all works, specifically all drawings, specifications, and modified derivatives of any blueprints, e-files, drawings, or specifications remain the Designers without prejudice. VISUAL CONTACT with any of these drawings, or their purchase constitutes prima facie evidence of the acceptance of these restrictions. This has held precedent in the North Florida Court system! Any and all violations WILL result in legal action being taken and litigated damages to the full extent allowed by law! No exceptions and no excuses! Contractor &/or owner shall verify all dimensions, details, & specifications prior to construction. Every attempt is made to avoid mistakes, and the Designer also assumes no responsibility for errors or omissions. Copyright release approval and design for drawings is given for drawings 1 through 1000. Copyright Mitchell shall not be liable for copyright infringement or other errors after delivery via email of drawings including after construction has begun. This copyright law is only valid on building designs created on or after December 1, 1990.

Design Drawings provided by:

DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN SINCE 1999

904-730-7135

DATE:
2/25/2017

SCALE:
N.T.S

SHEET:
A-1

PROJECT DESCRIPTION:
GARAGE/OFFICE FOR THE CURTS FAMILY
1460 MARLEE ROAD
JACKSONVILLE, FL 32259
R/E #: 002469-0580

BUILT BY:

CBC1250908

Breakwater
CONSTRUCTION

904-226-7950

PLAN #
962

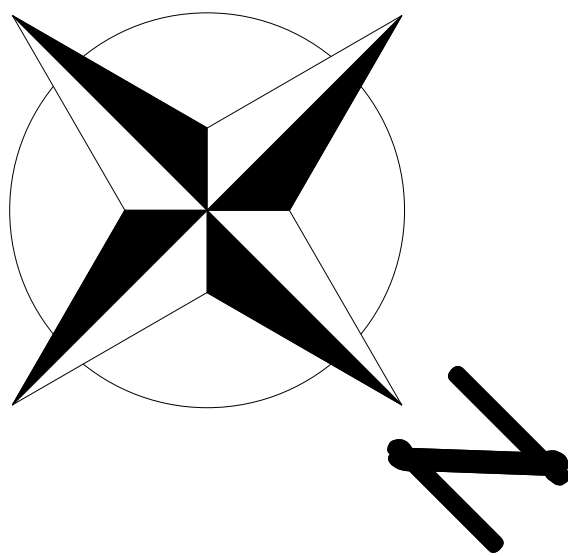
CLIENT APPROVAL SIGNATURE
DATE

BRIAN R. CURTS

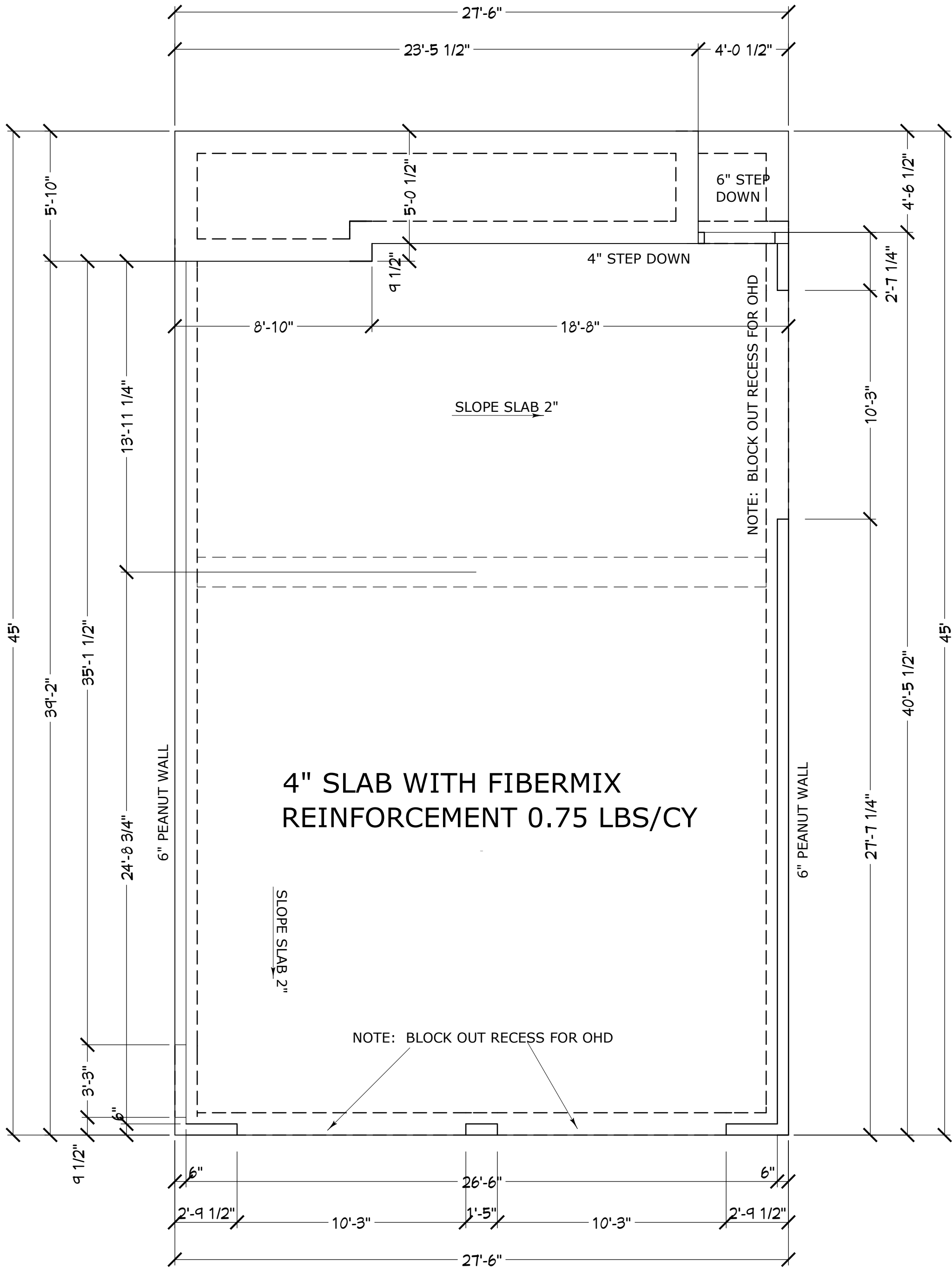
AMY B. CURTS

FOUNDATION NOTES: MONOLITHIC SLAB
AND INTEGRAL FOOTERS-TYPICAL WITH
12X20 FOOTERS W/2-#5 REBAR
CONTINUOUS ON CHAIRS @ 6 FOOT O.C.

CONTRACT NOTE: CONTRACT AND
SPECIFICATIONS TAKE PRECEDENCE OVER
THESE DRAWINGS. ANY CONFLICT WILL
DEFAULT TO SAID DOCUMENTS.



IMPORTANT: CONSULT ENGINEERS DRAWINGS
FOR FOOTER SIZES. IF THERE IS A DIMENSIONAL
CONFLICT BETWEEN HIS DRAWINGS AND THESE
STOP WHAT YOU ARE DOING AND CALL THE PLAN
DESIGNER FOR CLARIFICATION



FOUNDATION PLAN

COPYRIGHT 2017: DESIGNS FOR LIVING, LLC. -Under section 102 of the Architectural Works Copyright Protection Act (title 17 of the United States Code) specific tact copyright laws apply to original design of a building created in any tangible medium of expression, including a constructed building or architectural plans, models, or drawings and is subject to copyright protection as an "architectural work" by Designs for Living, LLC. herein referred to as Designer. It is unlawful for anyone to copy these drawings, either in whole or in part, without the express written permission of the Designer. The use of any plans, specifications, electronic or hard copy prints shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Title to all works, specifically all drawings, specifications, and modified derivatives of any blueprints, e-files, drawings, or specifications remain the Designers without prejudice. VISUAL CONTACT with any of these drawings, or their purchase constitutes prima facie evidence of the acceptance of these restrictions! This has held precedent in the North Florida Court system! Any and all violations WILL result in legal action being taken and litigated damages to the full extent allowed by law! No exceptions and no excuses! Contractor &/or owner shall verify all dimensions, details, & specifications prior to construction. Every attempt shall be made to avoid mistakes. The Designer and/or owner are not responsible for any errors or omissions in the drawings or specifications. The Designer and/or owner shall not be liable for copyright infringement or other errors after delivery via email of drawings including after construction has begun. This copyright law is only valid on building designs created on or after December 1, 1990.

PROJECT DESCRIPTION:
GARAGE/OFFICE FOR THE CURTS
FAMILY
1460 MARLEE ROAD
JACKSONVILLE, FL 32259
R/E #: 002469-0580

Design Drawings
provided by:
DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGNER SINCE 1998
904-730-7135

DATE:
2/25/2017
SCALE:
1/4" = 1'-0"
SHEET:
A-2

BUILT BY:
CBC1250908
Breakwater
CONSTRUCTION
904-226-7950

CLIENT APPROVAL SIGNATURE DATE
BRIAN R. CURTS
AMY B. CURTS

PLAN #
962

5'-10"
 1-1/2" SHOWER ENCLOSURE
 10" P.H. TILE
 2040 SH-OBSCURE TEMP
 PEDESTAL SINK
 8'-6 1/2"
 2040 WATER HEATER UNDER STAIRS ACCESS
 2040
 40 GAL WTR/HTR
 WH
 13'-11 1/2"
 6'-2 3/4"
 8'-6 1/4"
 27'-6"
 4'-0 1/2"
 4'-6 1/2"
 PORCH
 4'-1 X 4'-7"
 3080
 3080
 4"

2.12 Draftstopping. In combustible construction where there is usable space both above and below the concealed space of a floor/ceiling assembly, draftstops shall be installed so the area of the concealed space does not exceed 1,000 square feet (92.9 m²). Draftstopping shall divide the concealed space into approximately equal areas. Where the assembly is enclosed by a floor membrane above and a ceiling membrane below, draftstopping shall be provided in floor/ceiling assemblies under the following circumstances:

- R302.12.1 Materials.** Draftstopping materials shall not be less than 1/2-inch (12.7 mm) gypsum board, 3/8-inch (9.5 mm) wood structural panels or other approved materials adequately supported. Draftstopping shall be installed parallel to the floor framing members unless otherwise approved by the building official . The integrity of the draftstops shall be maintained

The floor plan shows a building with two main functional areas:

- UNCONDITIONED SHOP/STORAGE AREA:** 26'-6" x 14'-6", 10' P.H. CONCRETE. This area includes a 1-PC SHOWER ENCLOSURE, a 2040-SH-OBS-CURE-TEMP unit, a 2060 unit, a 2080 WATER HEATER UNDER STAIRS ACCESS, and a PORCH 4'-1" x 4'-7".
- OVERSIZED GARAGE:** 26'-6" x 24'-6", 10' P.H. CONCRETE. This area features two 10' x 8' OHD W/CHAIN DRIVE OPENER units.

Dimensions and other features include:

- Overall dimensions: 27'-6" wide by 45' deep.
- Door types: 10' x 8' OHD W/CHAIN DRIVE OPENER, 10' x 8' OHD W/CHAIN DRIVE OPENER, 10' x 8' OHD W/CHAIN DRIVE OPENER.
- Windows: 48"x24" TRANSOM, 48"x24" TRANSOM, 48"x24" TRANSOM.
- Other features: 2040-SH-OBS-CURE-TEMP, 2060, 2080 WATER HEATER UNDER STAIRS ACCESS, PORCH 4'-1" x 4'-7", 10' P.H. CONCRETE.

TABLE R302.6 DWELLING/GARAGE SEPARATION

SEPARATION	MATERIAL
From the residence and attics	Not less than 1/2-inch gypsum board or equivalent applied to the garage side
From all habitable rooms above the garage	Not less than 5/8-inch Type X gypsum board or equivalent
Structure(s) supporting floor/ceiling assemblies used for separation required by this section	Not less than 1/2-inch gypsum board or equivalent
Garages located less than 3 feet from a dwelling unit on the same lot	Not less than 1/2-inch gypsum board or equivalent applied to the interior side of exterior walls that are within this area

INSULATION NOTES:
1. WALLS 5.5" OF BLOWN IN CELLULOSE
OR R-19 FIBERGLASS BATTS
2. ATTIC INSULATION TO BE R-38
BLOWN FIBERGLASS

FOOTAGES (A.N.S.I.):	
TOTAL HEATED:	962.50
OVERSIZED GARAGE:	687.50
SHOP/STORAGE AREA:	545.45
ENTRY:	18.36
SLAB EXTENSIONS:	4.55
SLAB AREA:	1,242.05
UNDER ROOF:	2,200.00

1ST FLOOR PLAN

DATE	CLIENT APPROVAL SIGNATURE
	BRIAN R. CURTIS
	AMY B. CURTIS

BUILT BY:



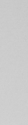
Breakwater
CONSTRUCTION

CBC1250908

904-226-7950

PROJECT DESCRIPTION:
GARAGE/OFFICE FOR THE CURTS
FAMILY
1460 MARLEE ROAD
JACKSONVILLE, FL 32259
R/E #: 002469-0580

Design Drawings
provided by:



DESIGNS *for* LIVING LLC
RESIDENTIAL DESIGN SINCE 1969

904-730-7135

DATE:
2/25/2017

SCALE:
1/4" = 1'-0"

SHEET:

A-3

COPYRIGHT 2017: DESIGNS FOR LIVING, LLC. Under section 102 of the Architectural Works Copyright Protection Act (title 17 of the United States Code) specific tacit copyright laws apply to original design of a building created in any tangible medium of expression, including a constructed building or architectural plans, models, or drawings and is subject to copyright protection as an "architectural work" by Designs for Living, LLC. herein referred to as Designer. It is unlawful for anyone to copy these drawings, either in whole or in part, without the express written permission of the Designer! The use of any plans, specifications, electronic or hard copy prints shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Title to all works, specifications, and modified derivatives of any blueprints, e-files, drawings, or specifications remain the Designer's without prejudice. VISUAL CONTACT with any of these drawings, or their purchase constitutes prima facie evidence of the acceptance of these restrictions! This has held precedent in the Florida Court system! Any and all violations WILL result in legal action being taken and litigated damages to the full extent allowed by law! No exceptions and no excuses! Contractor &/or owner shall verify all dimensions, details, & specifications prior to construction. Every attempt has been made to avoid mistakes. The contractor and the owners also fully acknowledge that they have full copyright release approval and Designs for Living LLC on R.E. Chip Mitchell shall not be liable for error for copyright infringement or other errors after delivery via email of drawings including after construction has begun! This copyright law is only valid on building designs created on or after December 1, 1990.

R302.12 Draftstopping. In combustible construction where there is usable space both above and below the concealed space of a floor/ceiling assembly, draftstops shall be installed so that the area of the concealed space does not exceed 1,000 square feet (92.9 m2). Draftstopping shall divide the concealed space into approximately equal areas. Where the assembly is enclosed by a floor membrane above and a ceiling membrane below, draftstopping shall be provided in floor/ceiling assemblies under the following circumstances:

1. Ceiling is suspended under the floor framing.
2. Floor framing is constructed of truss-type open-web or perforated members.

R302.12.1 Materials. Draftstopping materials shall not be less than 1/2-inch (12.7 mm) gypsum board, 3/8-inch (9.5 mm) wood structural panels or other approved materials adequately supported. Draftstopping shall be installed parallel to the floor framing members unless otherwise approved by the building official . The integrity of the draftstops shall be maintained

R302.6 Dwelling garage fire separation. The garage shall be separated as required by Table R302.6. Openings in garage walls shall comply with Section R302.5. This provision does not apply to garage walls that are perpendicular to the adjacent dwelling unit wall.

TABLE R302.6 DWELLING/GARAGE SEPARATION

SEPARATION	MATERIAL
From the residence and attics	Not less than 1/2-inch gypsum board or equivalent applied to the garage side
From all habitable rooms above the garage	Not less than 5/8-inch Type X gypsum board or equivalent
Structure(s) supporting floor/ceiling assemblies used for separation required by this section	Not less than 1/2-inch gypsum board or equivalent
Garages located less than 3 feet from a dwelling unit on the same lot	Not less than 1/2-inch gypsum board or equivalent applied to the interior side of exterior walls that are within this area

SECTION R310
EMERGENCY ESCAPE AND RESCUE OPENINGS

R310.1 Emergency escape and rescue required. Basements, habitable attics and every sleeping room shall have at least one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, emergency egress and rescue openings shall be required in each sleeping room. Where emergency escape and rescue openings are provided they shall have a sill height of not more than 44 inches (1118 mm) above the floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with Section R310.3. The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. Emergency escape and rescue openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with Section R310.2. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.

Exceptions:

1. Basements used only to house mechanical equipment and not exceeding total floor area of 200 square feet (18.58 m2).
2. The emergency escape and rescue opening shall be permitted to open into a screen enclosure, open to the atmosphere, where a screen door is provided leading away from the residence.

R310.1.1 Minimum opening area.

All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m2).

Exception:

Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465 m2).

R310.1.2 Minimum opening height.

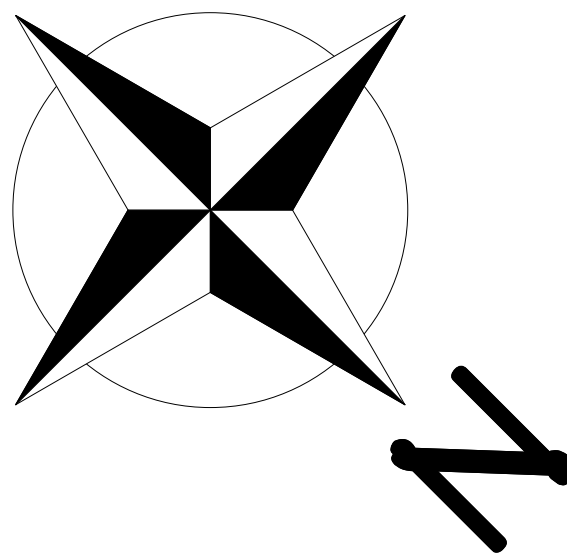
The minimum net clear opening height shall be 24 inches (610 mm).

R310.1.3 Minimum opening width.

The minimum net clear opening width shall be 20 inches (508 mm).

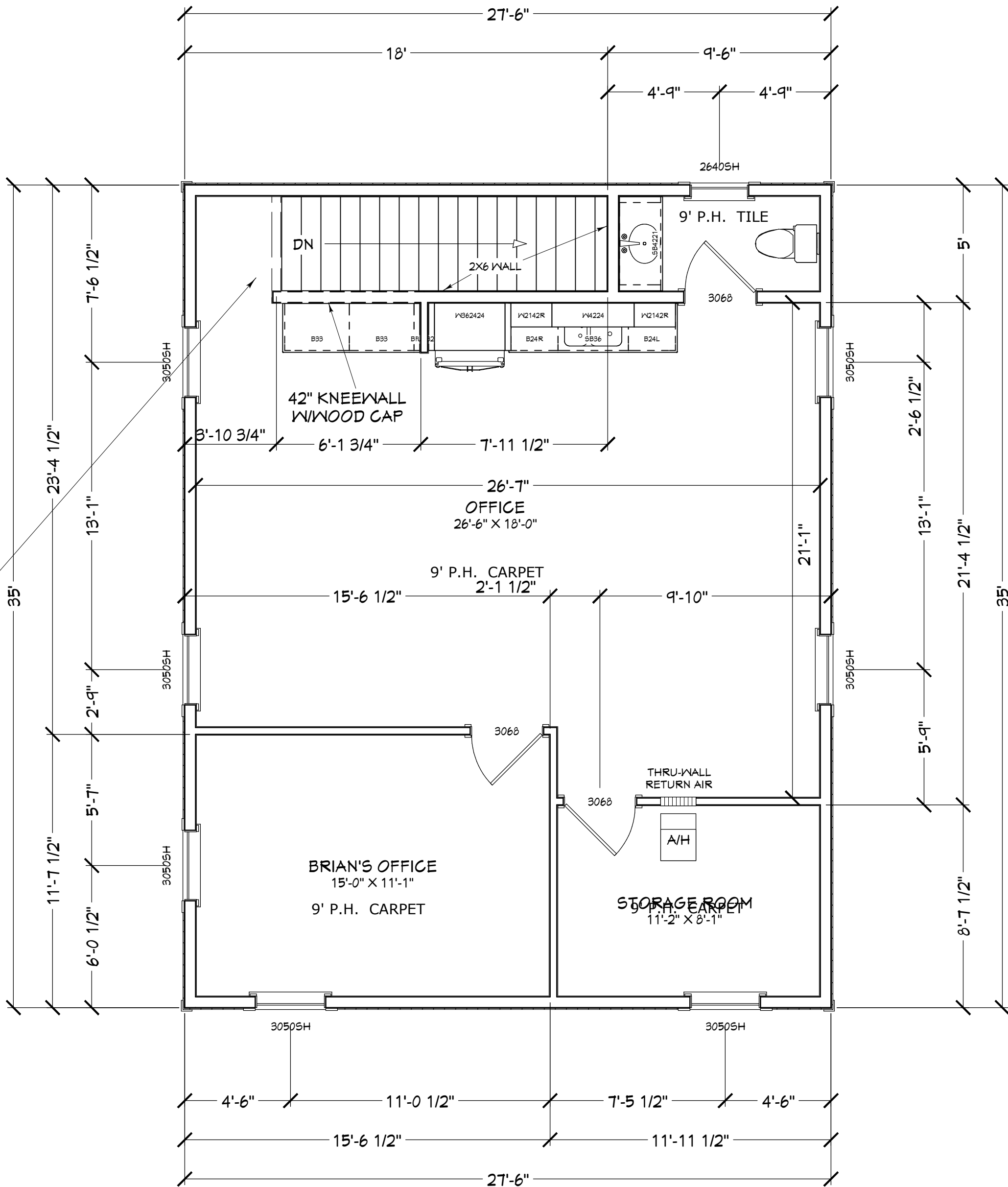
R310.1.4 Operational constraints.

Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys, tools or special knowledge.



R302.7 Under-stair protection. Enclosed accessible space under stairs shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2-inch (12.7 mm) gypsum board.

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



R302.11 Fireblocking.

In combustible construction, fireblocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space.

Fireblocking shall be provided in wood-frame construction in the following locations:

1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:
 - 1.1. Vertically at the ceiling and floor levels.
 - 1.2. Horizontally at intervals not exceeding 10 feet (3048 mm).
2. At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
3. In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7.
4. At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion. The material filling this annular space shall not be required to meet the ASTM E 136 requirements.
5. For the fireblocking of chimneys and fireplaces, see Section R1003.19.
6. Fireblocking of cornices of a two-family dwelling is required at the line of dwelling unit separation.

2ND FLOOR PLAN

COPYRIGHT 2017: DESIGNS FOR LIVING, LLC. -Under section 102 of the Architectural Works Copyright Protection Act (title 17 of the United States Code) specific tact copyright laws apply to original design of a building created in any tangible medium of expression, including a constructed building or architectural plans, models, or drawings and is subject to copyright protection as an "architectural work" by Designs for Living, LLC. herein referred to as Designer. It is unlawful for anyone to copy these drawings, either in whole or in part, without the express written permission of the Designer. The use of any plans, specifications, electronic or hard copy prints shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Title to all works, specifically all drawings, specifications, and modified derivatives of any blueprints, e-files, drawings, or specifications remain the Designer's without prejudice. VISUAL CONTACT with any of these drawings, or their purchase constitutes prima facie evidence of the acceptance of these restrictions! This has held precedent in the North Florida Court system! Any and all violations WILL result in legal action being taken and litigated damages to the full extent allowed by law! No exceptions and no excuses! Contractor &/or owner shall verify all dimensions, details, & specifications prior to construction. Every attempt shall be made to avoid mistakes, and errors are assumed to be the responsibility of the Designer. Copyright release approval and design for drawings is hereby granted to the Contractor for the purpose of construction only. This copyright shall not be liable for copyright infringement or other errors after delivery via email of drawings including after construction has begun. This copyright law is only valid on building designs created on or after December 1, 1990.

PROJECT DESCRIPTION:
GARAGE/OFFICE FOR THE CURTS
FAMILY
1460 MARLEE ROAD
JACKSONVILLE, FL 32259
R/E #/: 002469-0580

Design Drawings
provided by:
DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGNER SINCE 1998
904-730-7135

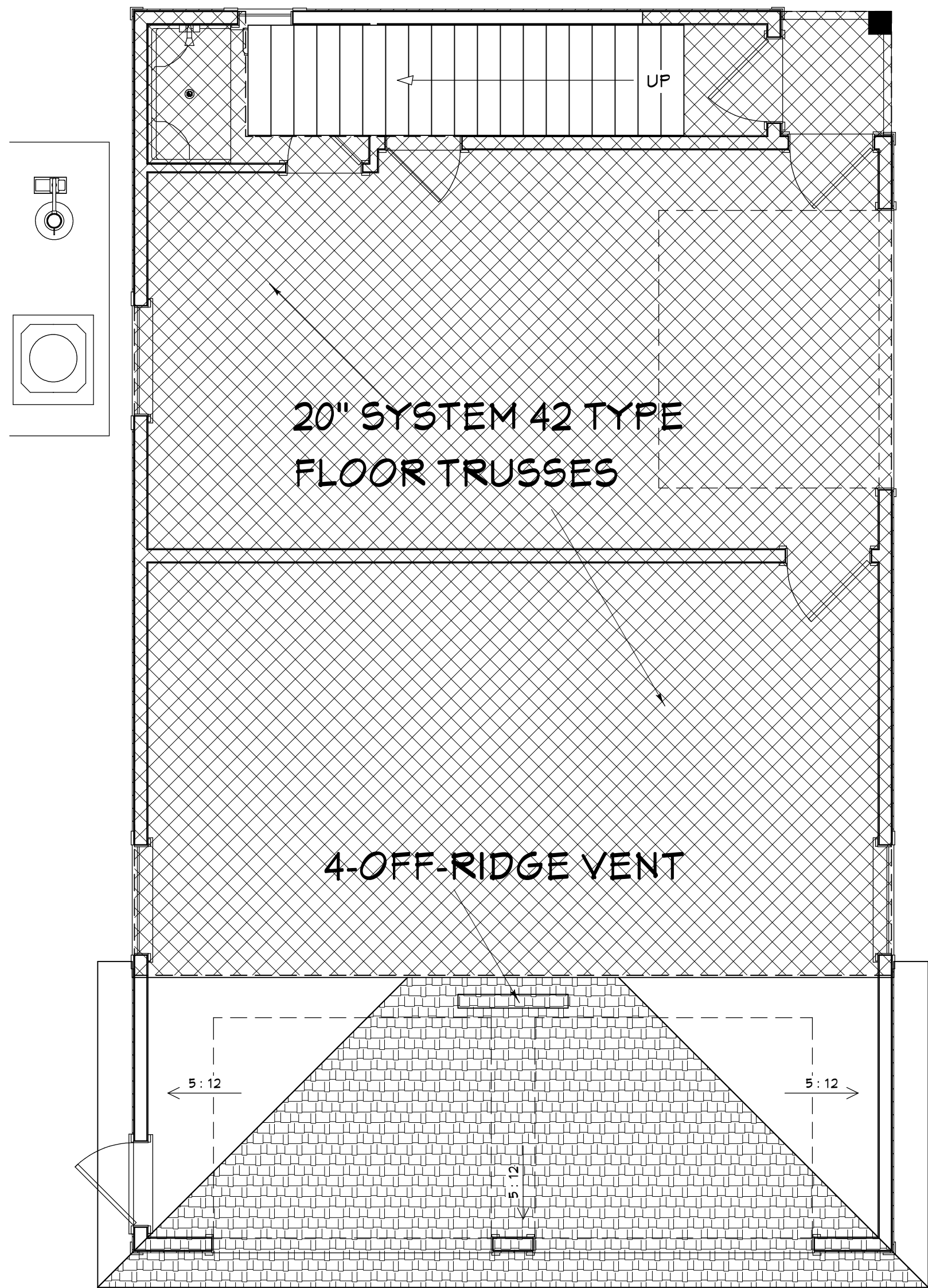
DATE:
2/25/2017
SCALE:
1/4" = 1'-0"
SHEET:
A-4

BUILT BY:
CBC1250908
Breakwater
CONSTRUCTION
904-226-7950

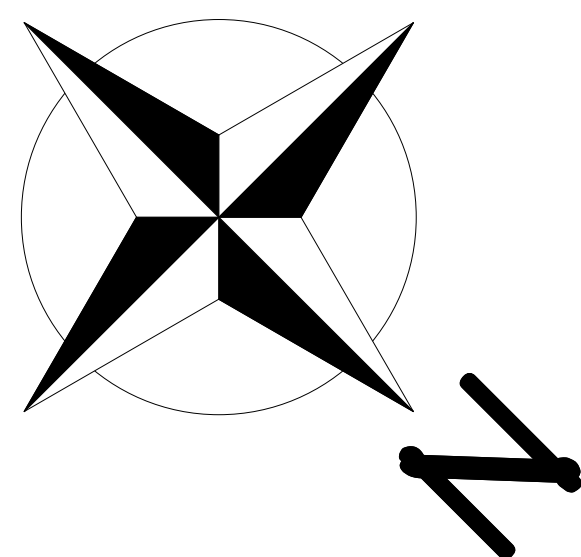
CLIENT APPROVAL SIGNATURE DATE
BRIAN R. CURTS
AMY B. CURTS

PLAN #
962

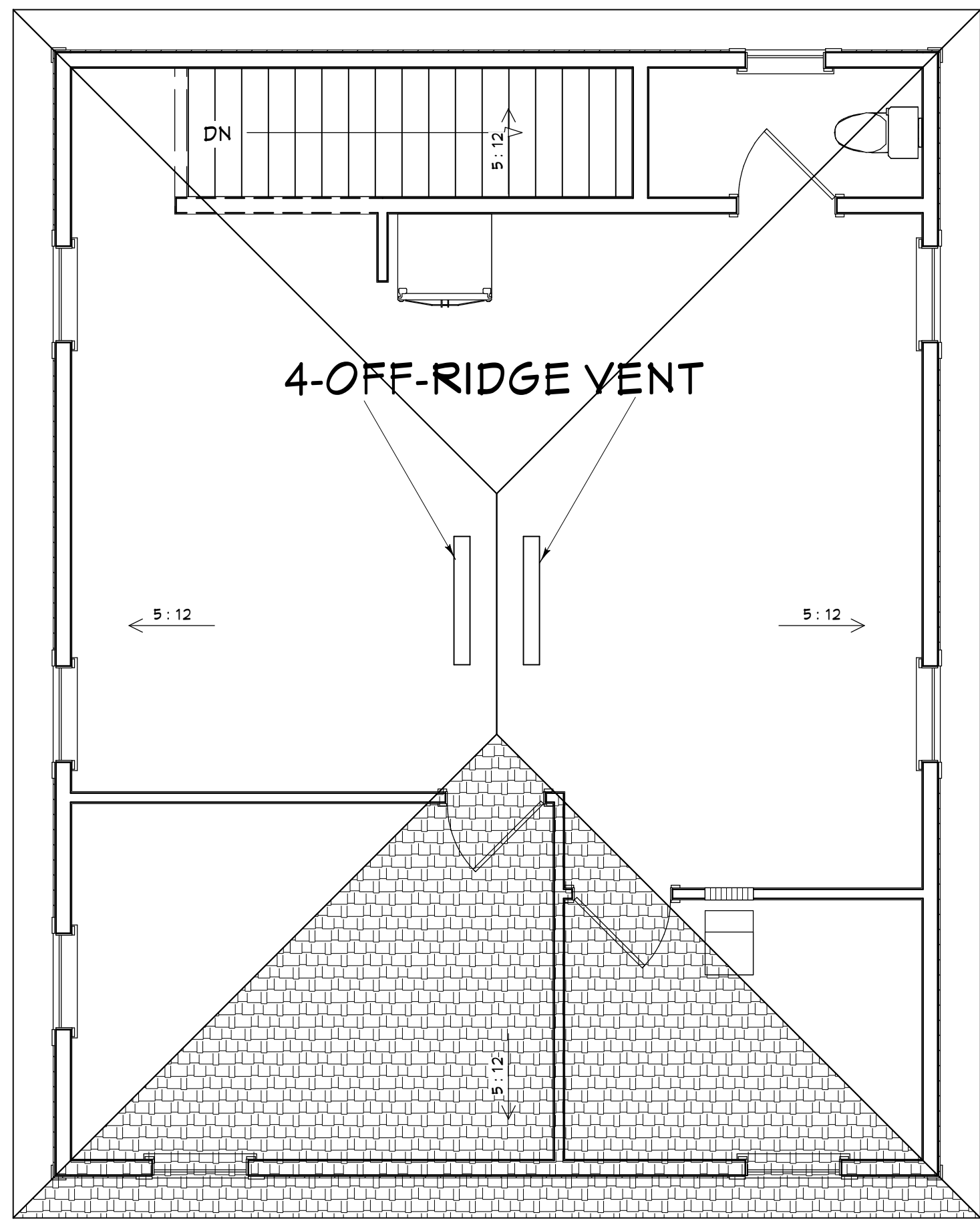
- INSULATION NOTES:
- 1. WALLS 5.5" OF BLOWN IN CELLULOSE OR R-19 FIBERGLASS BATTS
 - 2. ATTIC INSULATION TO BE 5.5" OPEN CELL FOAM



1ST FLOOR TRUSSES



- ROOF NOTES:
- FASCIA: PLUMB CUT
 - EAVE OVERHANG: 16"
 - FASCIA: BEADED VINYL VENTED
 - SHINGLES: LIFETIME ARCH FIBERGLASS
 - ROOF PITCH: 5/12
 - TRUSS HEELS: 10 INCH FOR FBC-R ENERGY CODE (U.O.N.)
 - VENTS: 4-FOOT OFF RIDGE PER PLAN
 - FLOOR TRUSSES: 20" SYSTEM 42 DECKED WITH 3/4" T&G



2ND FLOOR TRUSSES

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

ROOF/FLOOR TRUSS PLAN

COPYRIGHT 2017: DESIGNS FOR LIVING, LLC. -Under section 102 of the Architectural Works Copyright Protection Act (title 17 of the United States Code) specific tact copyright laws apply to original design of a building created in any tangible medium of expression, including a constructed building or architectural plans, models, or drawings and is subject to copyright protection as an "architectural work" by Designs for Living, LLC. herein referred to as Designer. It is unlawful for anyone to copy these drawings, either in whole or in part, without the express written permission of the Designer. The use of any plans, specifications, electronic or hard copy prints shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Title to all works, specifically all drawings, specifications, and modified derivatives of any blueprints, e-files, drawings, or specifications remain the Designers without prejudice. VISUAL CONTACT with any of these drawings, or their purchase constitutes prima facie evidence of the acceptance of these restrictions! This has held precedent in the North Florida Court system! Any and all violations WILL result in legal action being taken and litigated damages to the full extent allowed by law! No exceptions and no excuses! Contractor &/or owner shall verify all dimensions, details, & specifications prior to construction. Every attempt shall be made to avoid and correct errors and omissions. Copyright release approval and design for living, LLC. Copyright 2017. All rights reserved. This copyright law is only valid on building designs created on or after December 1, 1990. Other errors after delivery via email or drawings including after construction has begun. This copyright law is only valid on building designs created on or after December 1, 1990.

PROJECT DESCRIPTION:
GARAGE/OFFICE FOR THE CURTS
FAMILY
1460 MARLEE ROAD
JACKSONVILLE, FL 32259
R/E #: 002469-0580

Design Drawings
provided by:
DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGNER SINCE 1999
904-730-7135

DATE:

2/25/2017

SCALE:

3/16" = 1'-0"

SHEET:

A-5

PLAN #
962

CLIENT APPROVAL SIGNATURE DATE

BRIAN R. CURTS

AMY B. CURTS

BUILT BY: CBC1250908



Breakwater
CONSTRUCTION
904-226-7950



LEFT (SOUTHWEST) ELEVATION



REAR (SOUTHWEST) ELEVATION



FRONT (NORTHEAST) ELEVATION

EXTERIOR NOTES:
WALLS: HARDIE LAP SIDING OVER 2X6 FRAME WALLS
SHEATHED WITH ZIP WALL OSB
CORNER BOARDS: 6" STEALTH COMPOSITE BY
VERSATEC
SOFFITS: VENTED VINYL 16" OVERHANG
FASCIA: CPVC COATED ALUMINUM OVER 2X6 SUB-
FASCIA WITH 1X2 PT DRIP PLUMB CUT
ROOFING: LIFETIME ARCHITECTURAL F/G SHINGLES
OVER SYNTHETIC FELT
FOUNDATION: MONOLITHIC SLAB & FOOTERS
FRIEZE: 1" X 6"
COLUMN: 10" COMPOSITE SQUARE
WALKS & DRIVES: CONCRETE (U.O.N.)
OFF-RIDGE VENTS: THREE - 4 FOOT BLACK PER PLANS
WINDOWS: EAGLE VIEW VINYL NON-IMPACT WHITE
VINYL



RIGHT (NORTHWEST) ELEVATION

FRONT/REAR ELEVATIONS

COPYRIGHT 2017: DESIGNS FOR LIVING, LLC. -Under section 102 of the Architectural Works Copyright Protection Act (title 17 of the United States Code) specific tact copyright laws apply to original design of a building created in any tangible medium of expression, including a constructed building or architectural plans, models, or drawings and is subject to copyright protection as an "architectural work" by Designs for Living, LLC. herein referred to as Designer. It is unlawful for anyone to copy these drawings, either in whole or in part, without the express written permission of the Designer. The use of any plans, specifications, electronic or hard copy prints shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Title to all works, specifically all drawings, specifications, and modified derivatives of any blueprints, e-files, drawings, or specifications remain the Designers without prejudice. VISUAL CONTACT with any of these drawings, or their purchase constitutes prima facie evidence of the acceptance of these restrictions! This has held precedent in the North Florida Court system! Any and all violations WILL result in legal action being taken and litigated damages to the full extent allowed by law! No exceptions and no excuses! Contractor &/or owner shall verify all dimensions, details, & specifications prior to construction. Every attempt shall be made to avoid mistakes, including after delivery via email of drawings including after construction has begun. This copyright law is only valid on building designs created on or after December 1, 1990.

Design Drawings
provided by:

DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN SINCE 1999

904-730-7135

PROJECT DESCRIPTION:
GARAGE/OFFICE FOR THE CURTS
FAMILY
1460 MARLEE ROAD
JACKSONVILLE, FL 32259
R/E #: 002469-0580

DATE:
2/25/2017

SCALE:
1/4" = 1'-0"

SHEET:
A-6

BUILT BY:

Breakwater
CONSTRUCTION

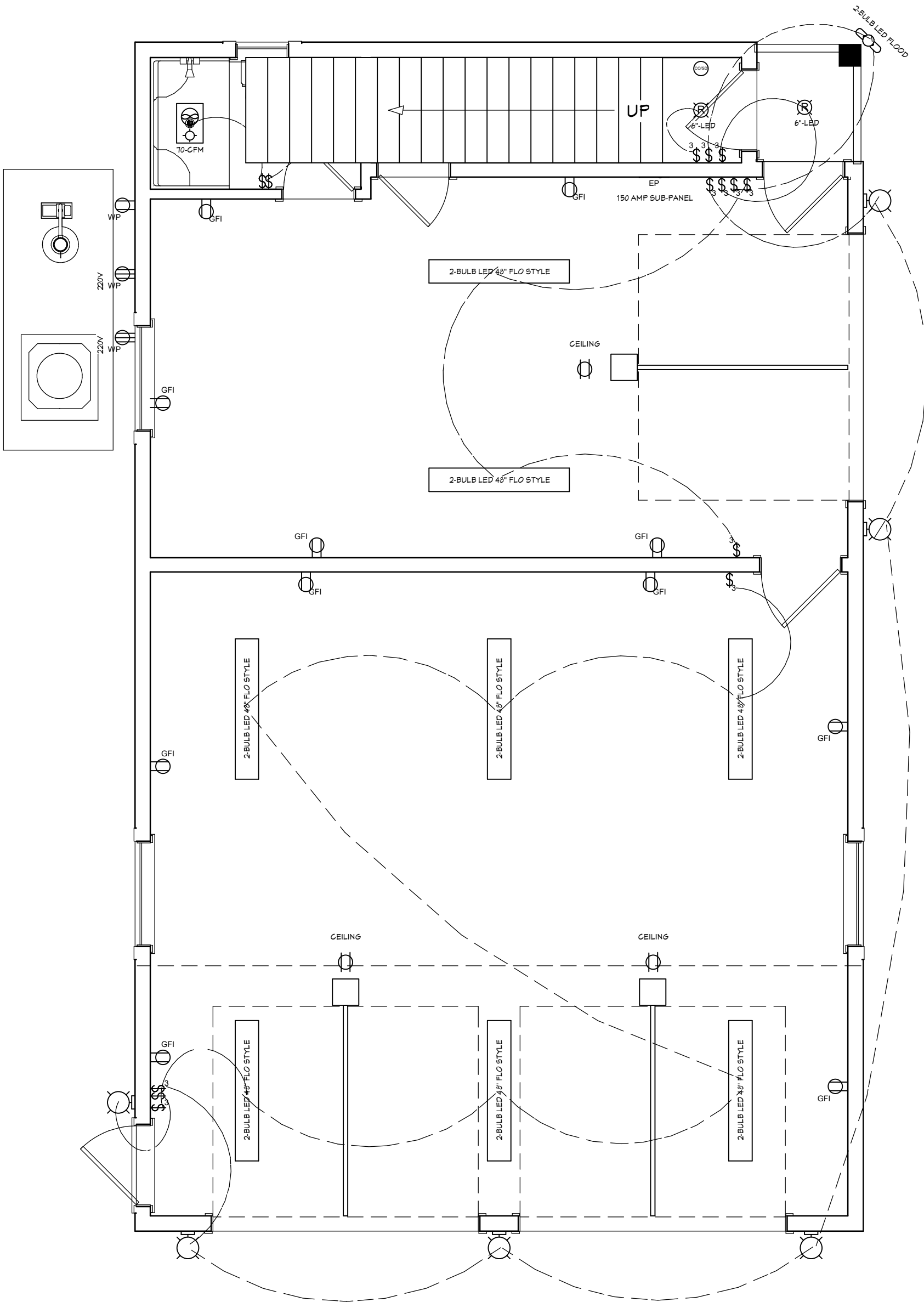
904-226-7950

CLIENT APPROVAL SIGNATURE	DATE
BRIAN R. CURTS	
AMY B. CURTS	

PLAN #
962

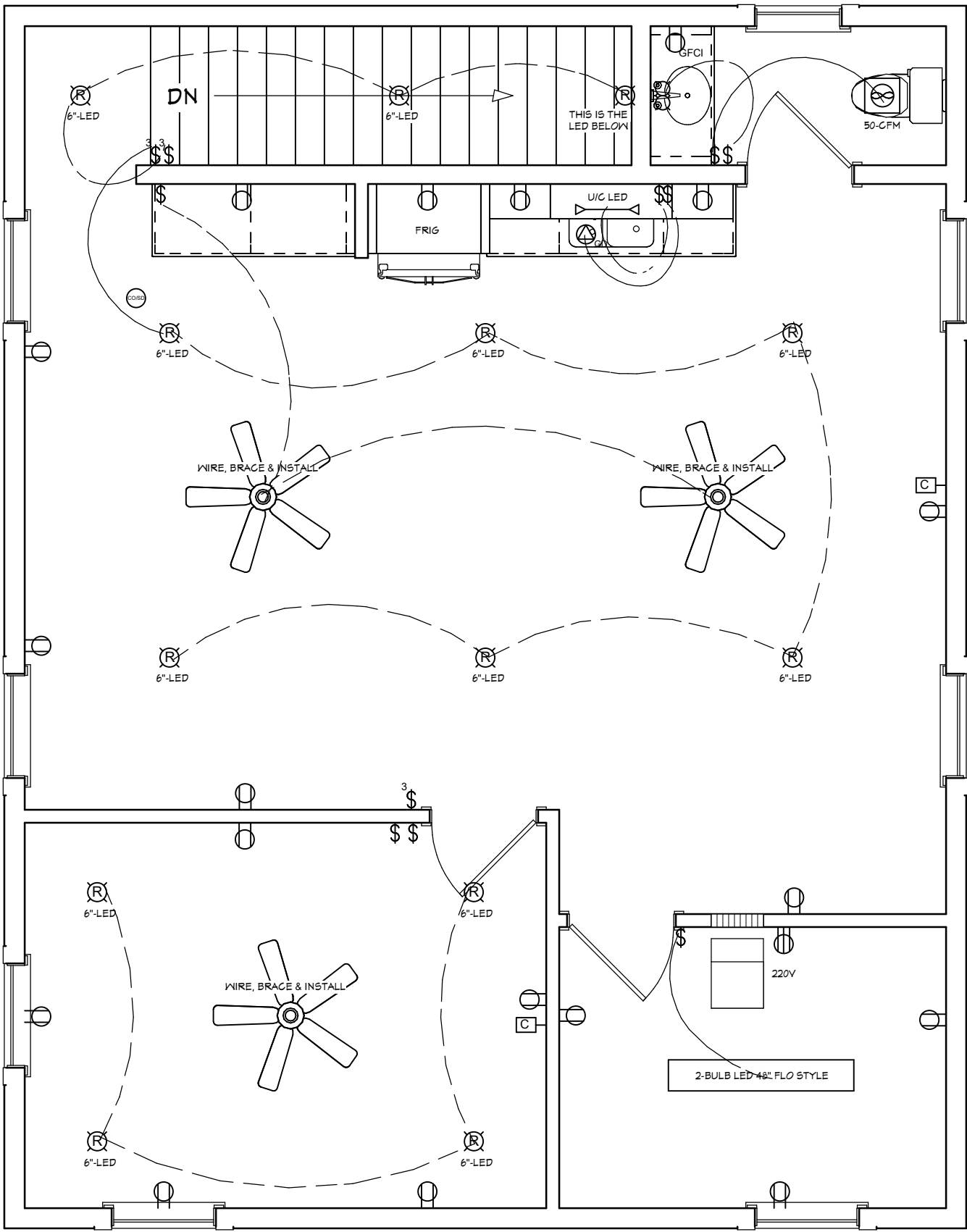
PER FBC-R-E3902.12 AFCI PROTECTION REQUIRED Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed AFCI, combination type.

PER FBC-R-E3901.7, NEC 210, E3901.7 & E3902.3 GFCI PROTECTION REQUIRED Bathrooms, garages, boathouses & accessory structures not intended as habitable rooms and limited to storage, work & similar uses. Outdoors, crawl spaces, unfinished basements, kitchen countertops. Outlets within 6 feet of laundry, utility or wet sinks. Balcony, deck or porch greater than 20 s.f. One at the front and back of the dwelling and at the condenser units.



EFFICACY NOTE: THE NEW FBC-R FBC EC R404.1 & R202 BUILDING CODE REQUIRES ALL INSIDE & OUTSIDE LIGHT FIXTURES WILL USE CFL OR LED LIGHT BULBS.

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



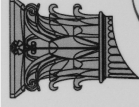
ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

- ELECTRICAL NOTES:
1. METER LOCATION TO BE DETERMINED BY FIELD ENGINEER
 2. PROPERTY HAS DEEP WELL & PRIVATE SEPTIC
 4. WATER HEATER IS ELECTRIC UNDER STAIRS
 5. SECURITY PRE-WIRE & TRIM
 6. PRE-WIRE & TRIM FOR CAT5/TV PER PLANS
 7. CONFIRM WITH OWNER ON STRUCTURED WIRING
 8. ONE-150 AMP PANEL
 9. CONFIRM ALL ELECTRICAL W/OWNER PRIOR TO WIRING ANYTHING
 - 10.CONFIRM THE SUB-PANEL LOCATION TO BE INSTALLED FOR FUTURE IN-LAW STRUCTURE

ELECTRICAL PLAN

COPYRIGHT 2017: DESIGNS FOR LIVING, LLC. -Under section 102 of the Architectural Works Copyright Protection Act (title 17 of the United States Code) specific tact copyright laws apply to original design of a building created in any tangible medium of expression, including a constructed building or architectural plans, models, or drawings and is subject to copyright protection as an "architectural work" by Designs for Living, LLC. herein referred to as Designer. It is unlawful for anyone to copy these drawings, either in whole or in part, without the express written permission of the Designer. The use of any plans, specifications, electronic or hard copy prints shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Title to all works, specifically all drawings, specifications, and modified derivatives of any blueprints, e-files, drawings, or specifications remain the Designer's without prejudice. VISUAL CONTACT with any of these drawings, or their purchase constitutes prima facie evidence of the acceptance of these restrictions! This has held precedent in the North Florida Court system! Any and all violations WILL result in legal action being taken and litigated damages to the full extent allowed by law! No exceptions and no excuses! Contractor &/or owner shall verify all dimensions, details, & specifications prior to construction. Every attempt shall be made to avoid any and all errors and omissions. The Designer shall not be liable for copyright infringement or other errors after delivery via email or drawings including after construction has begun. This copyright law is only valid on building designs created on or after December 1, 1990.

Design Drawings provided by:



DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGNER SINCE 1999

904-730-7135

PROJECT DESCRIPTION:

GARAGE/OFFICE FOR THE CURTS FAMILY

1460 MARLEE ROAD
JACKSONVILLE, FL 32259

R/E #: 002469-0580

BUILT BY:



Breakwater
CONSTRUCTION

904-226-7950

CLIENT APPROVAL SIGNATURE

DATE

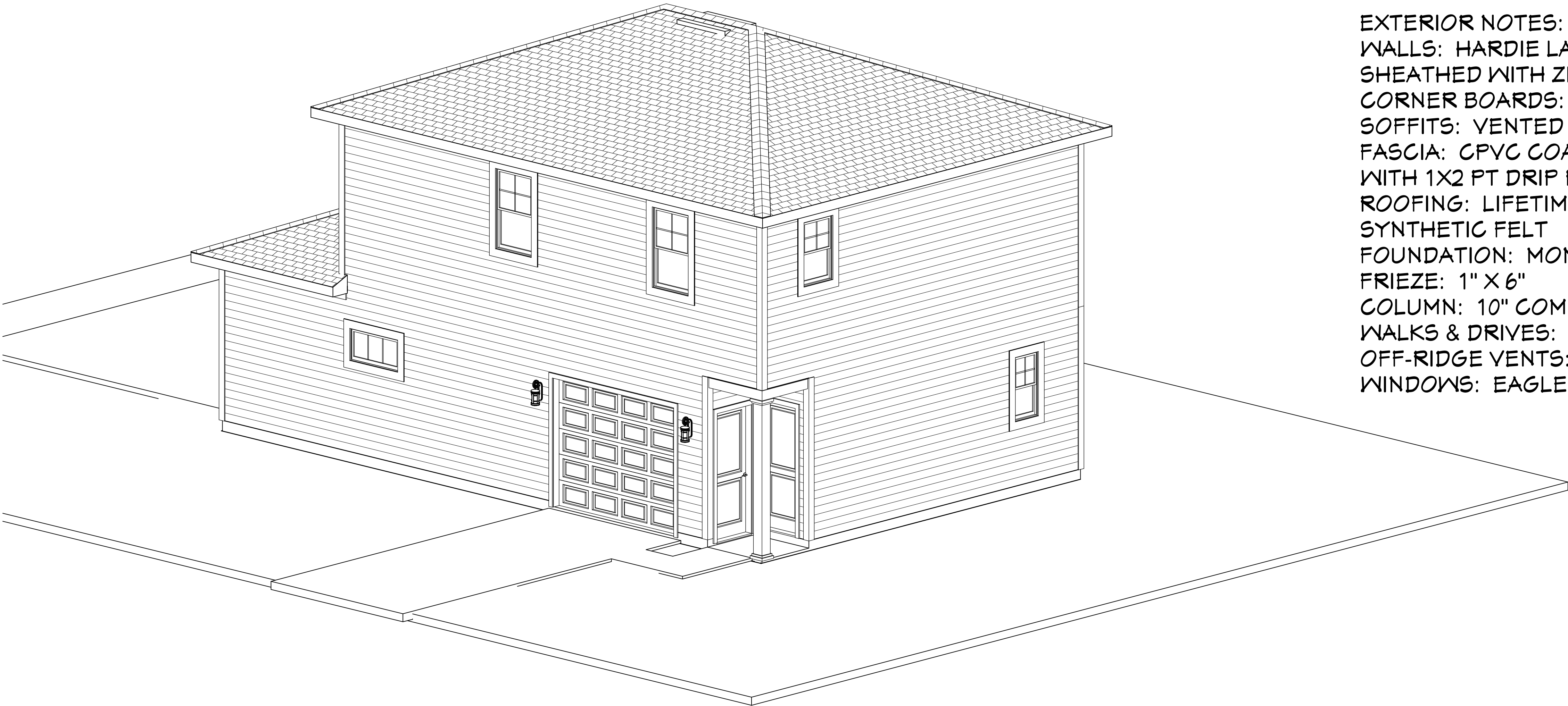
BRIAN R. CURTS

AMY B. CURTS

PLAN #

962

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

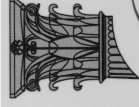


EXTERIOR NOTES:
WALLS: HARDIE LAP SIDING OVER 2X6 FRAME WALLS
SHEATHED WITH ZIP WALL OSB
CORNER BOARDS: 6" STEALTH COMPOSITE BY VERSATEC
SOFFITS: VENTED VINYL 16" OVERHANG
FASCIA: CPVC COATED ALUMINUM OVER 2X6 SUB-FASCIA WITH 1X2 PT DRIP PLUMB CUT
ROOFING: LIFETIME ARCHITECTURAL F/G SHINGLES OVER SYNTHETIC FELT
FOUNDATION: MONOLITHIC SLAB & FOOTERS
FRIEZE: 1" X 6"
COLUMN: 10" COMPOSITE SQUARE
WALKS & DRIVES: CONCRETE (U.O.N.)
OFF-RIDGE VENTS: THREE - 4 FOOT BLACK PER PLANS
WINDOWS: EAGLE VIEW VINYL NON-IMPACT WHITE VINYL

ISOMETRIC VIEWS

COPYRIGHT 2017: DESIGNS FOR LIVING, LLC. -Under section 102 of the Architectural Works Copyright Protection Act (title 17 of the United States Code) specific tact copyright laws apply to original design of a building created in any tangible medium of expression, including a constructed building or architectural plans, models, or drawings and is subject to copyright protection as an "architectural work" by Designs for Living, LLC. herein referred to as Designer. It is unlawful for anyone to copy these drawings, either in whole or in part, without the express written permission of the Designer. The use of any plans, specifications, electronic or hard copy prints shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Title to all works, specifically all drawings, specifications, and modified derivatives of any blueprints, e-files, drawings, or specifications remain the Designer's without prejudice. VISUAL CONTACT with any of these drawings, or their purchase constitutes prima facie evidence of the acceptance of these restrictions! This has held precedent in the North Florida Court system! Any and all violations WILL result in legal action being taken and litigated damages to the full extent allowed by law! No exceptions and no excuses! Contractor &/or owner shall verify all dimensions, details, & specifications prior to construction. Every attempt shall be made to avoid mistakes, including after delivery via email of drawings including after construction has begun. This copyright law is only valid on building designs created on or after December 1, 1990.

Design Drawings provided by:



DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN SINCE 1998

904-730-7135

DATE:
2/25/2017
SCALE:
N.T.S
SHEET:
A-8

BUILT BY:



Breakwater
CONSTRUCTION

904-226-7950

PROJECT DESCRIPTION:
GARAGE/OFFICE FOR THE CURTS
FAMILY
1460 MARLEE ROAD
JACKSONVILLE, FL 32259
R/E #: 002469-0580

CLIENT APPROVAL SIGNATURE	DATE
BRIAN R. CURTS	
AMY B. CURTS	

PLAN #
962