

VALLEJOS FAMILY RENOVATIONS

REVIEW PLAN: 7/11/2017



7914 CHASE MEADOWS DR. W.
JACKSONVILLE, FL 32256-4643
R/E #: 167745-1110

BUILT BY:
TOM TROUT, INC
5569-1 BOWDEN ROAD
JACKSONVILLE, FL 32216
CBC026189
904-737-5412

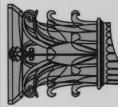
COVER PAGE

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PLAN #
3196

CLIENT APPROVAL SIGNATURE	DATE
BOBBY L. VALLEJOS	
NANETTE VALLEJOS	

Design Drawings
provided by:



DESIGNS *for* LIVING, LLC
RESIDENTIAL DESIGN SINCE 1989

904-730-7135

PROJECT DESCRIPTION:
RENOVATIONS FOR THE
VALLEJOS FAMILY
7914 CHASE MEADOWS DR. W.
JACKSONVILLE, FL 32256-4643
R/E #: 167745-1110

BUILT BY:



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GENERAL CONTRACTOR

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JACKSONVILLE, FL 32216 904-737-5412

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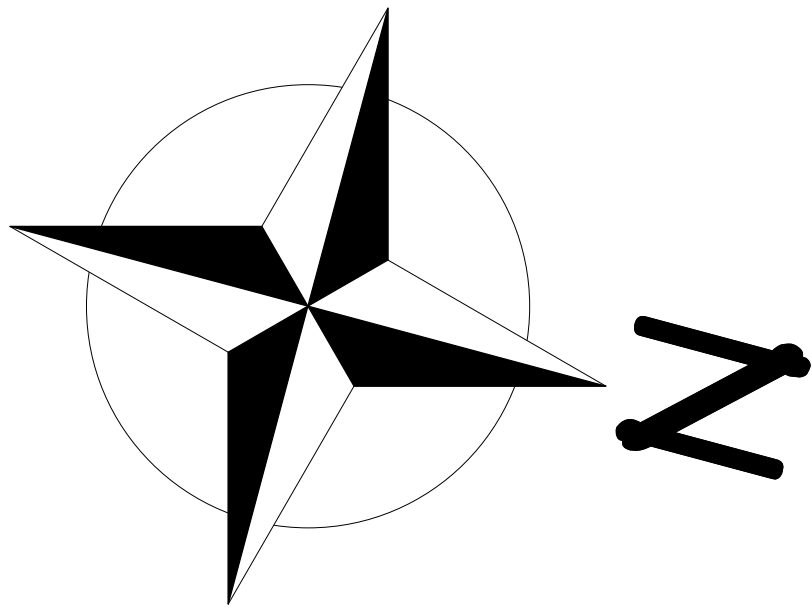
SCALE:

N.T.S.

SHEET:

A-1

SITE LOCATION



CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

SITE CALCULATIONS:
LAND AREA: 0.18 ACRES = 8,050 S.F.
HOME COVERAGE: 3,613.61 S.F.
% OF BUILDING COVERAGE: 44.89%
TOTAL IMPERVIOUS: 44.89%

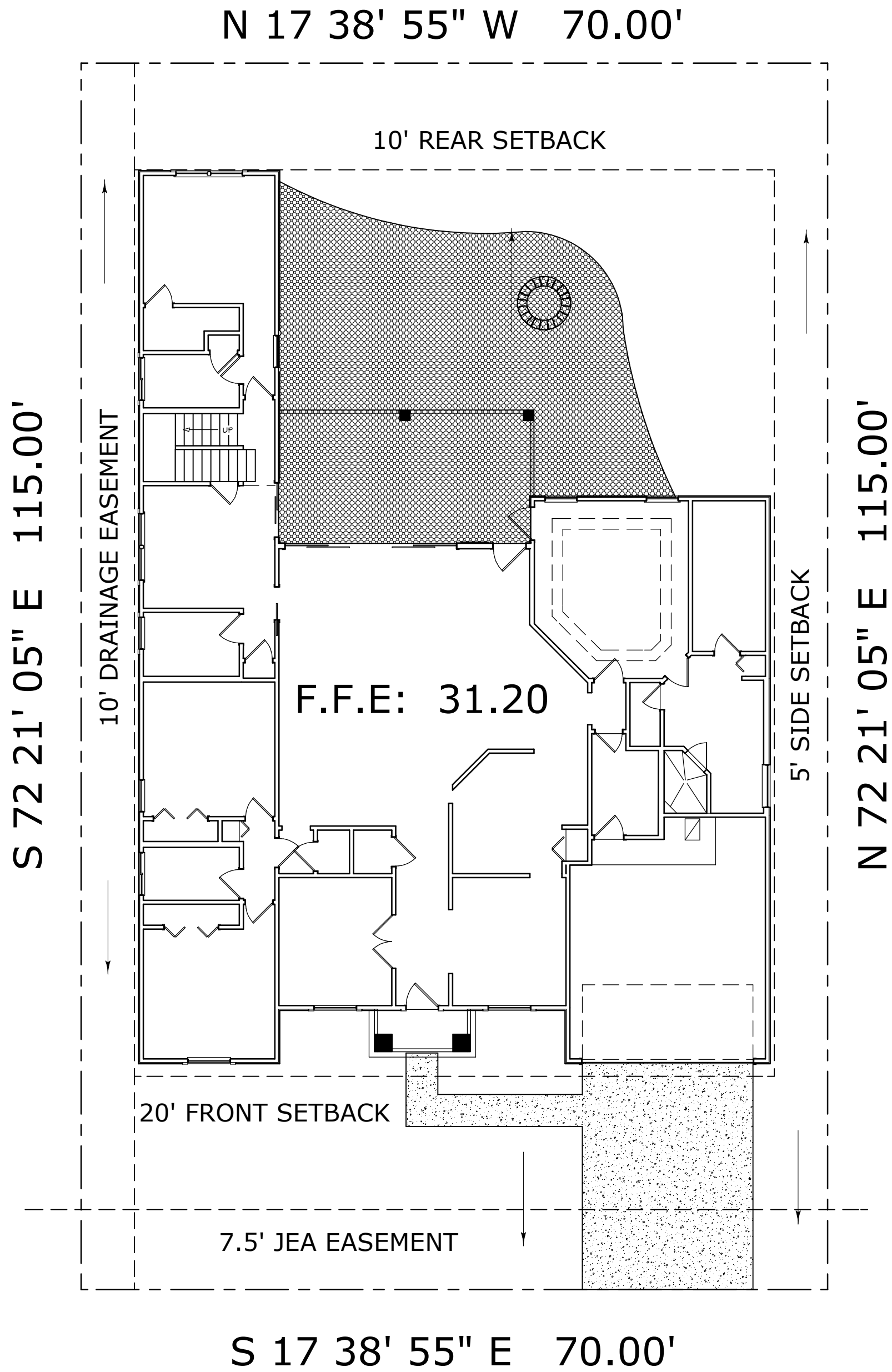
FLOOD ZONE "X"

TYPE "B" DRAINAGE

FOUNDATIONS ARE MONOLITHIC FOOTERS & SLABS

THERE ARE NO WETLANDS ON THIS PROPERTY. THEY ARE ALL OFF PROPERTY

WIND DESIGN CRITERIA:
WIND SPEED: 130 MPH
EXPOSURE CATEGORY: "B"
BUILDING TYPE: ENCLOSED
BUILDING CATEGORY: II
IMPORTANCE FACTOR: 1.0
TOPOGRAPHY: FLAT
MEAN ROOF HEIGHT: -25 FT
BUILDING CODE: 2014 FBC-R



NOTE: ALL PAYERS, TERMITE TREATMENT, LANDSCAPING AND IRRIGATION BY OWNERS

ZONING: PUD
SETBACKS:
FRONT: 20'
SIDES: 5'
REAR: 10'
MAX. BLDG. HT: 35'
MAX. LOT COVERAGE: 45%

7914 CHASE MEADOWS DR. W.

WATER: JEA
SEWER: JEA
ELECTRIC: JEA

LEGAL DESCRIPTION:
R/E #: 167745-1110
SOUTHCHASE LOT 20
BUILT IN 2002
53-65 20-35-28E .18

SITE PLAN

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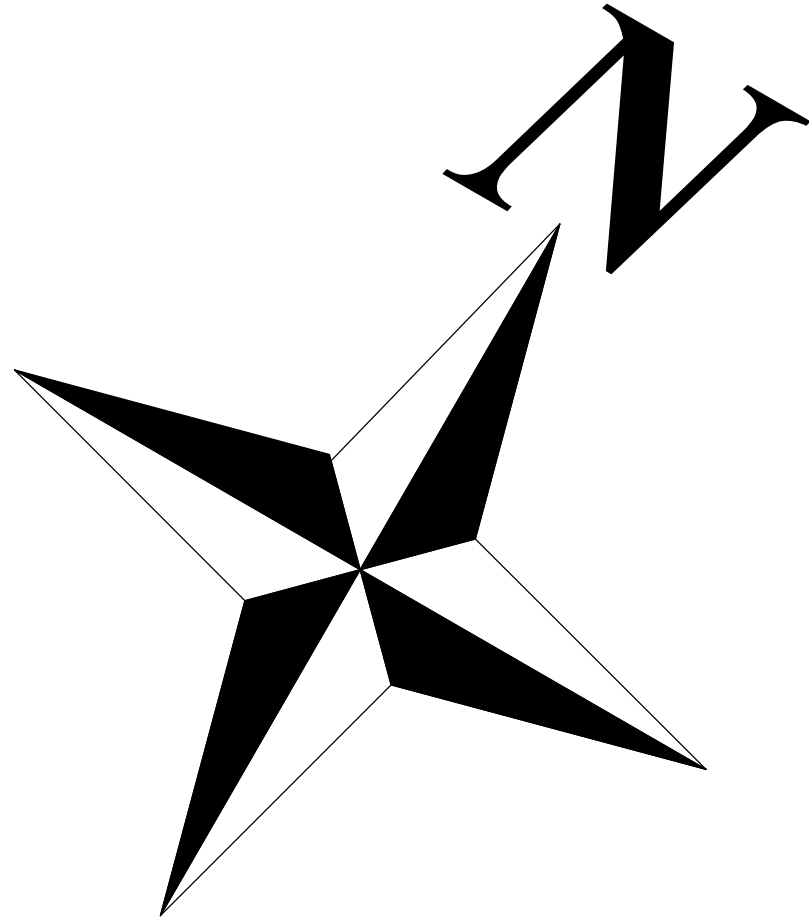
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JACKSONVILLE, FL 32216 904-737-5412

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7/11/2017

SCALE:
1" = 40'-0"

SHEET:
A-2



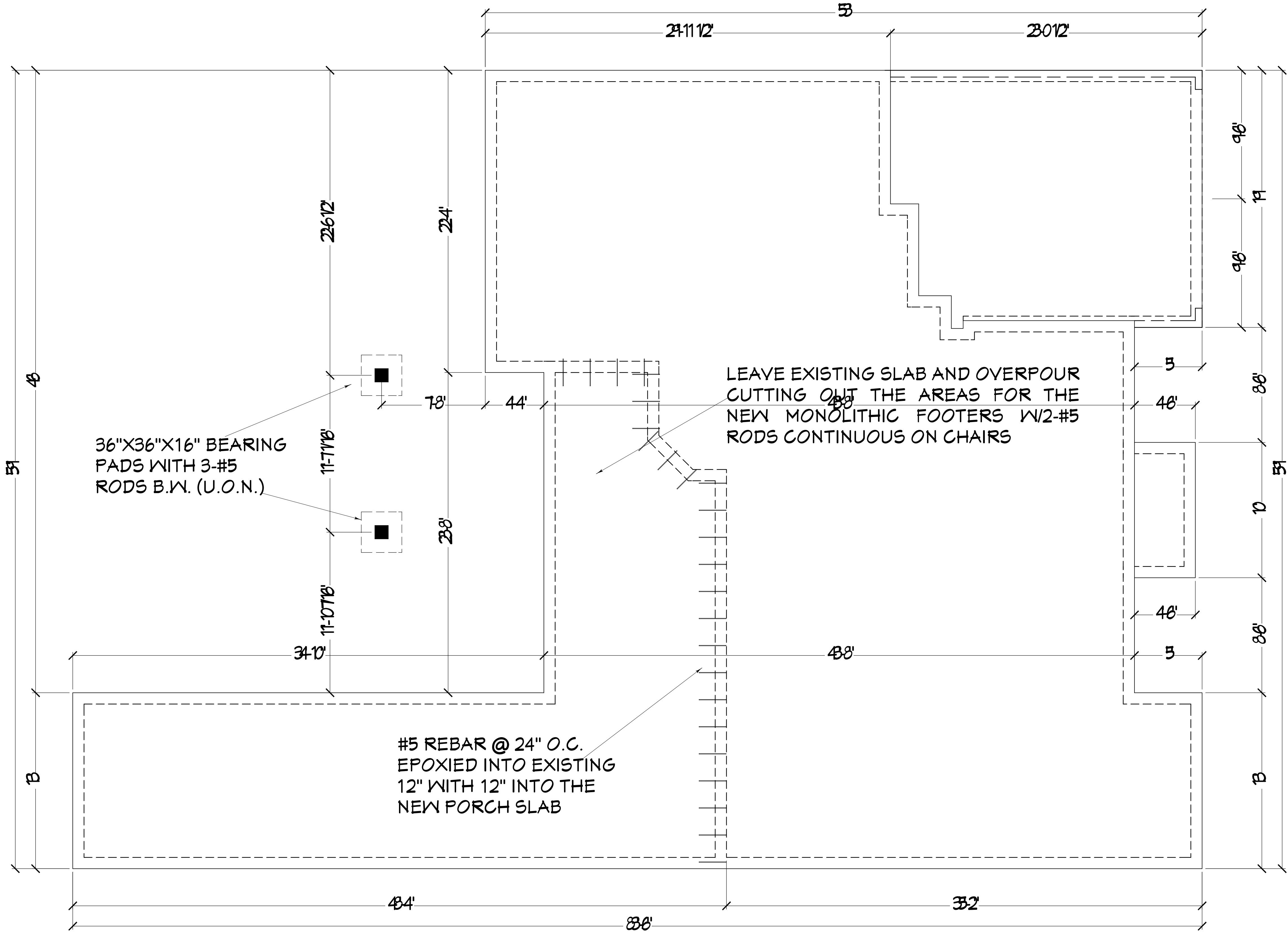
CONTRACT NOTE: THE CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICTS WILL DEFAULT TO SAID DOCUMENTS.

MONOLITHIC FOOTERS, COLUMN BEARING PADS & SLAB OVER TREATED & COMPACTED FILL

- FOUNDATION NOTES:
- 1. EXISTING IS MONOLITHIC FOOTER & STEMWALL
 - 2. NEW IS THE SAME
 - 3. 2500 PSI CONCRETE MINIMUM

TERMITE TREATMENT TO BE PROVIDED BY OWNER'S CURRENT PROVIDER

- FOUNDATION NOTES:
- 1. 2,500 PSI MINIMUM
 - 2. MONOLITHIC FOOTER 12"x20" W/2-#5 RODS
 - 3. ENGINEERS DETAILS TAKE PRECEDENCE
 - 4. FIELD CONFIRM EVERYTHING
 - 5. 4: MONOLITHIC INTEGRAL SLAB



FOUNDATION PLAN

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NANETTE VALLEIOS	

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JACKSONVILLE, FL 32216

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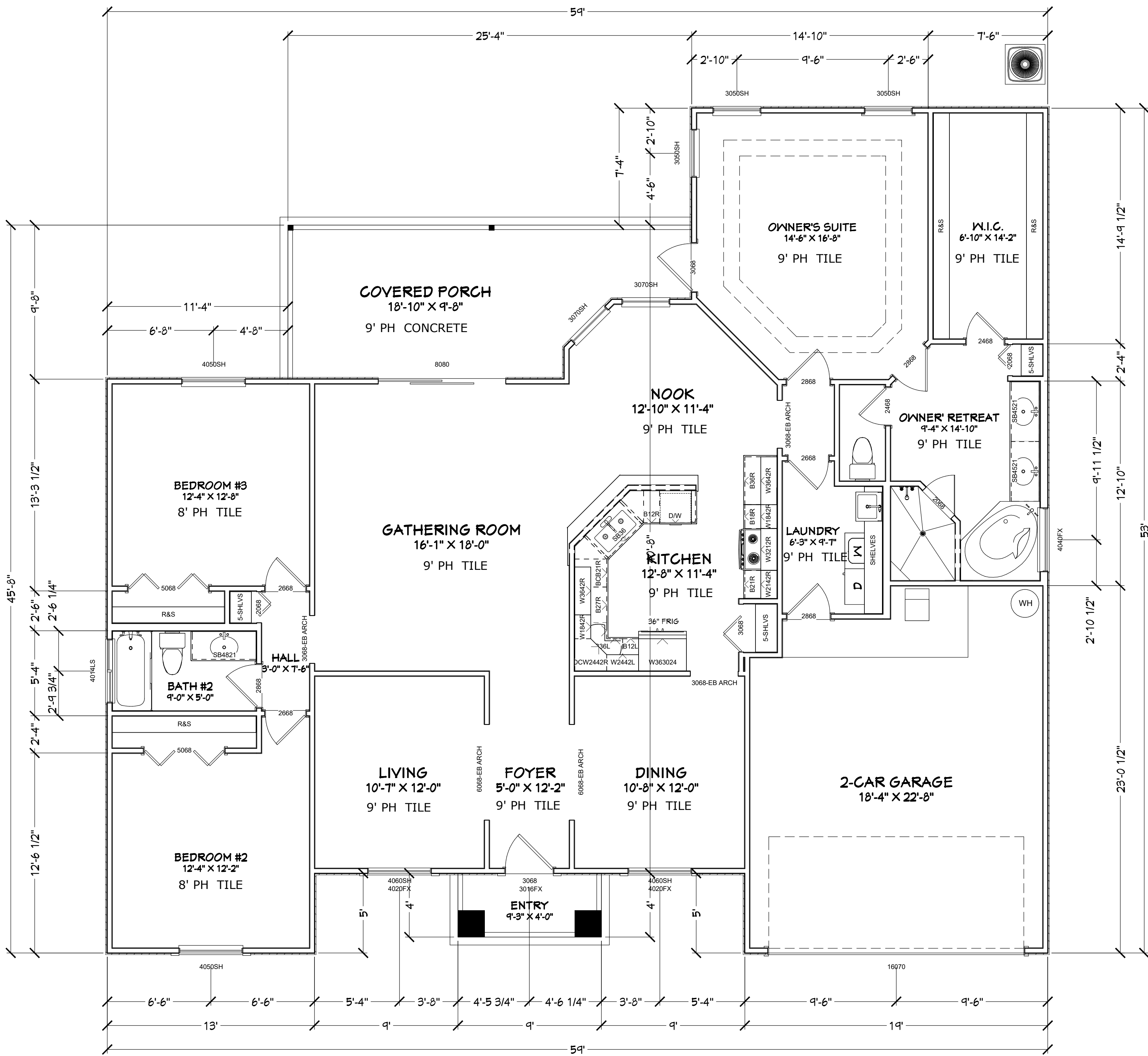
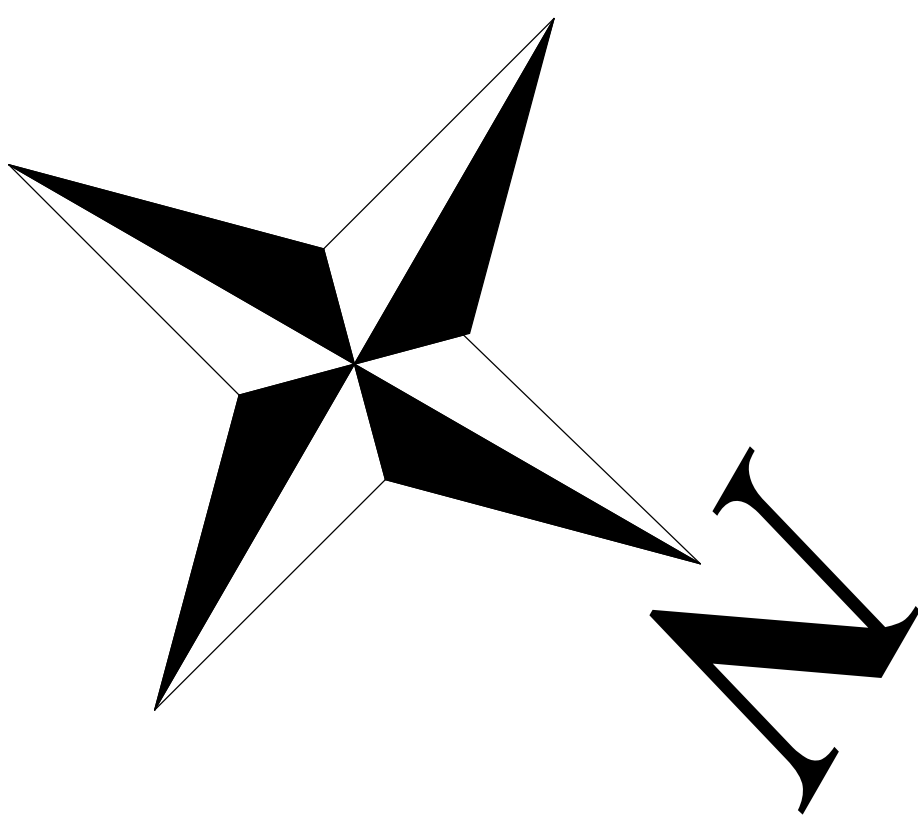
1/2" = 1'-0"

SHEET:

A-3

CONTRACT NOTE: THE CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICTS WILL DEFAULT TO SAID DOCUMENTS.

FOOTAGES EXISTING (A.N.S.I.):	
EXISTING HEATED:	1,994.97
GARAGE:	409.20
COVERED PORCH:	209.39
ENTRY:	36.00
SLAB EXTENSIONS:	26.75
SLAB AREA:	2,676.31
UNDER ROOF:	2,649.56



AS-BUILT FLOOR PLAN

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NANETTE VALLEIOS

Design Drawings
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DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN WANTS 1988

904-730-7135

PROJECT DESCRIPTION:

RENOVATIONS FOR THE
VALLEIOS FAMILY

7514 CHASE MEADOWS DR. W.
JACKSONVILLE, FL 32256-4643
R/E #: 167745-1110

BUILT BY:

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GENERAL CONTRACTOR

5569-1 BOWDEN ROAD CBC026189
JACKSONVILLE, FL 32216 904-737-5412

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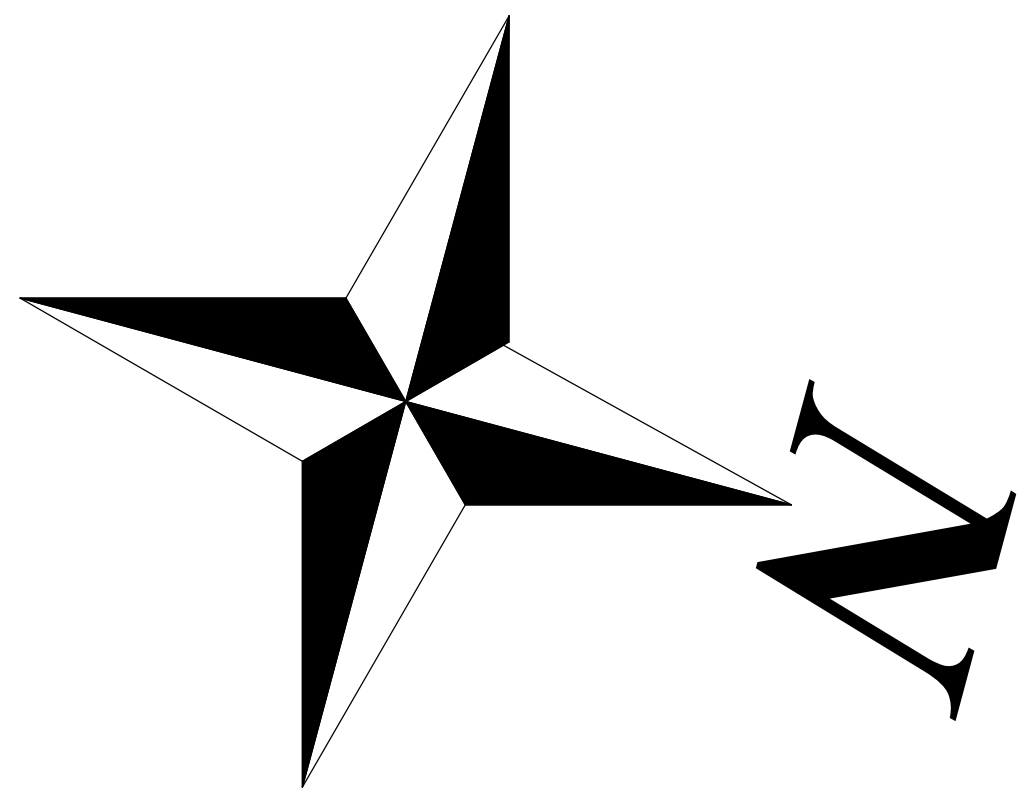
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1/4" = 1'-0"

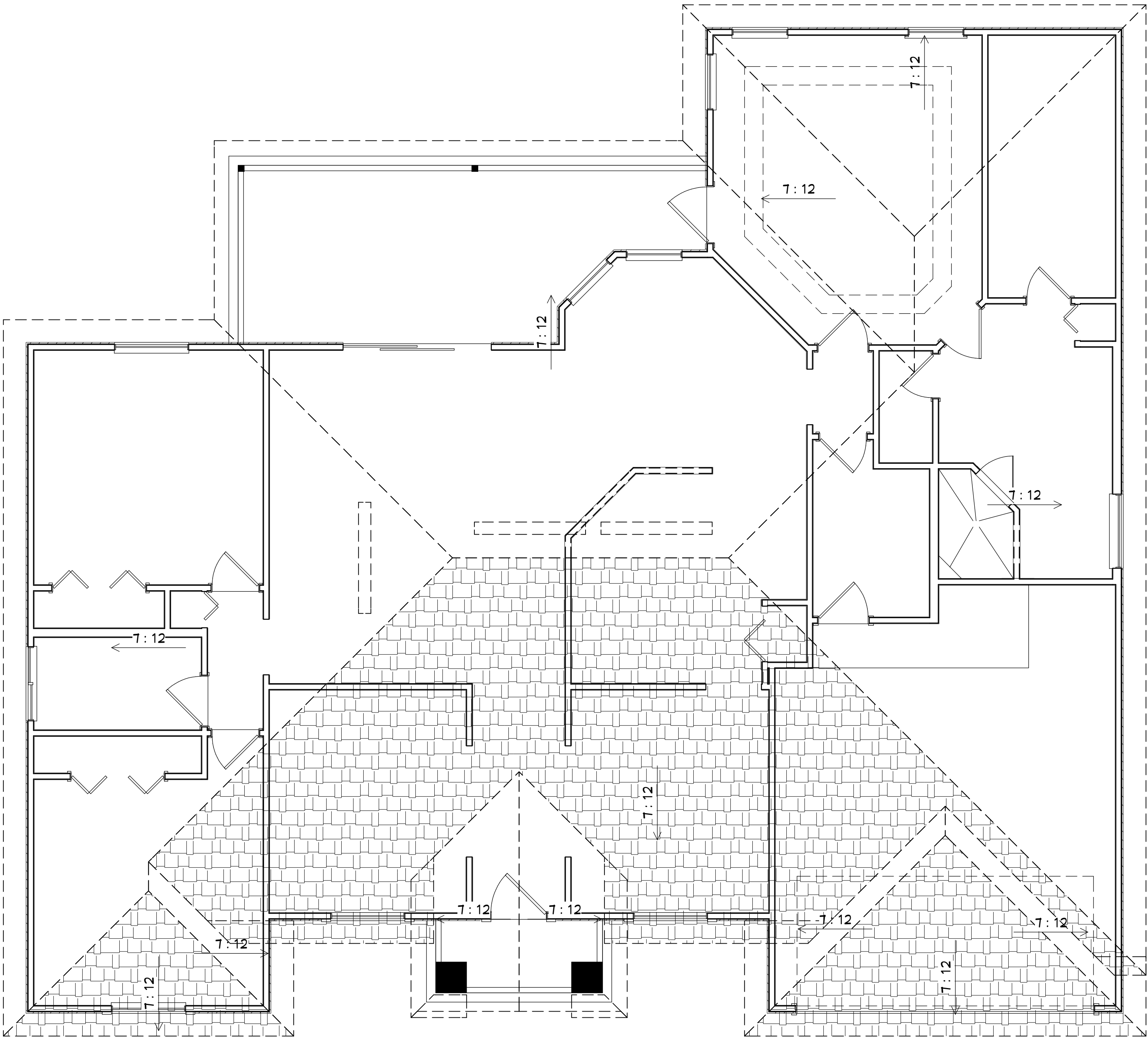
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A-4

ROOF NOTES (EXISTING SYSTEM):
PITCH: 7/12 PRE-ENGINEERED TRUSSES (U.O.N.)
UNDERLAYMENT: STANDARD FELT
HEEL HEIGHT: STANDARD BASED ON ORIGINAL PLANS
FASCIA: PLUMB CUT CPVC COATED ALUMINUM WITH 1X2 DRIP
SOFFITS: BUILDER GRADE VENTED VINYL
ROOFING: 3-TAB SHINGLES
EAVE OVERHANG: 16" PER ORIGINAL PLANS
ROOF SHEATHING: 1/2" OSB
PORCH CEILINGS: NON-VENTED BUILDER GRADE VINYL



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AS-BUILT ROOF PLAN

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904-730-7135

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NANETTE VALLEIOS

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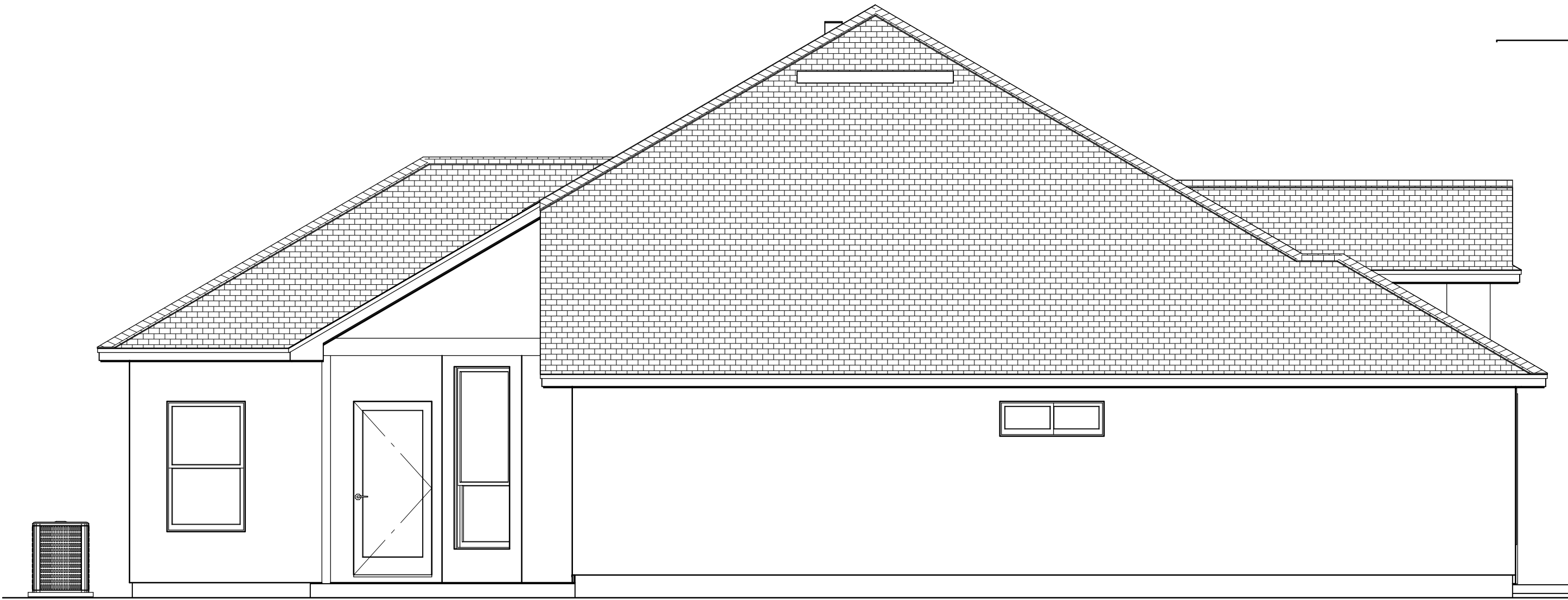
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1/4" = 1'-0"

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A-5

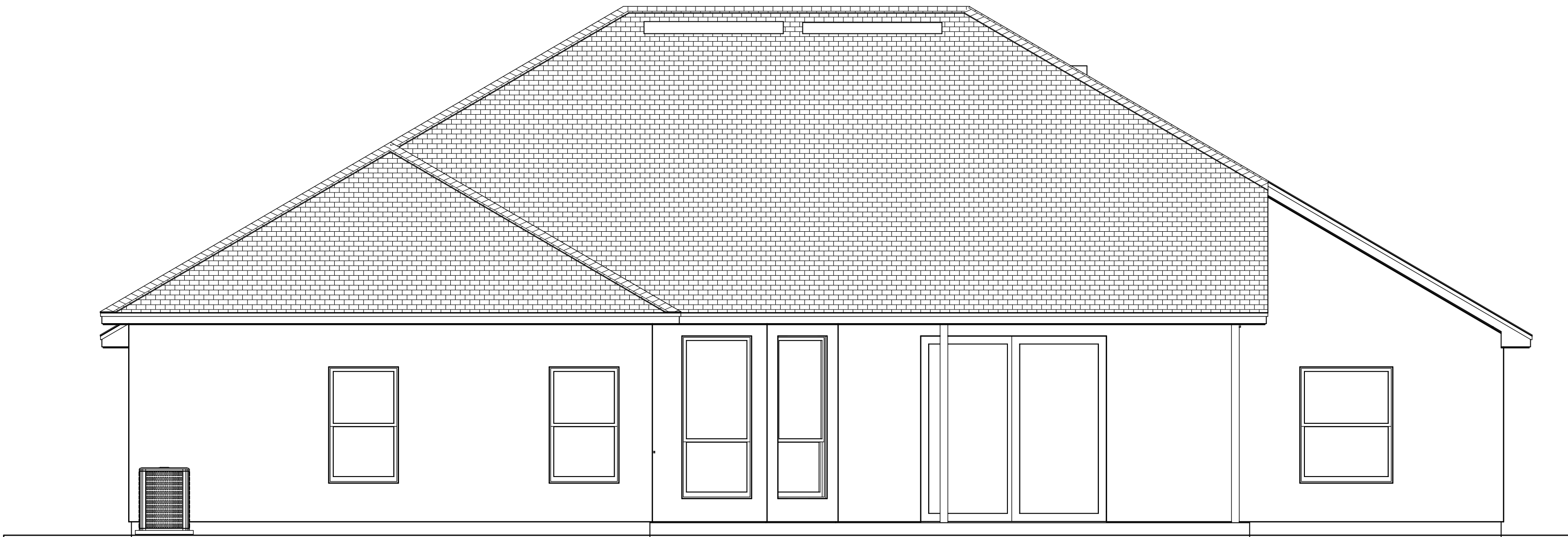
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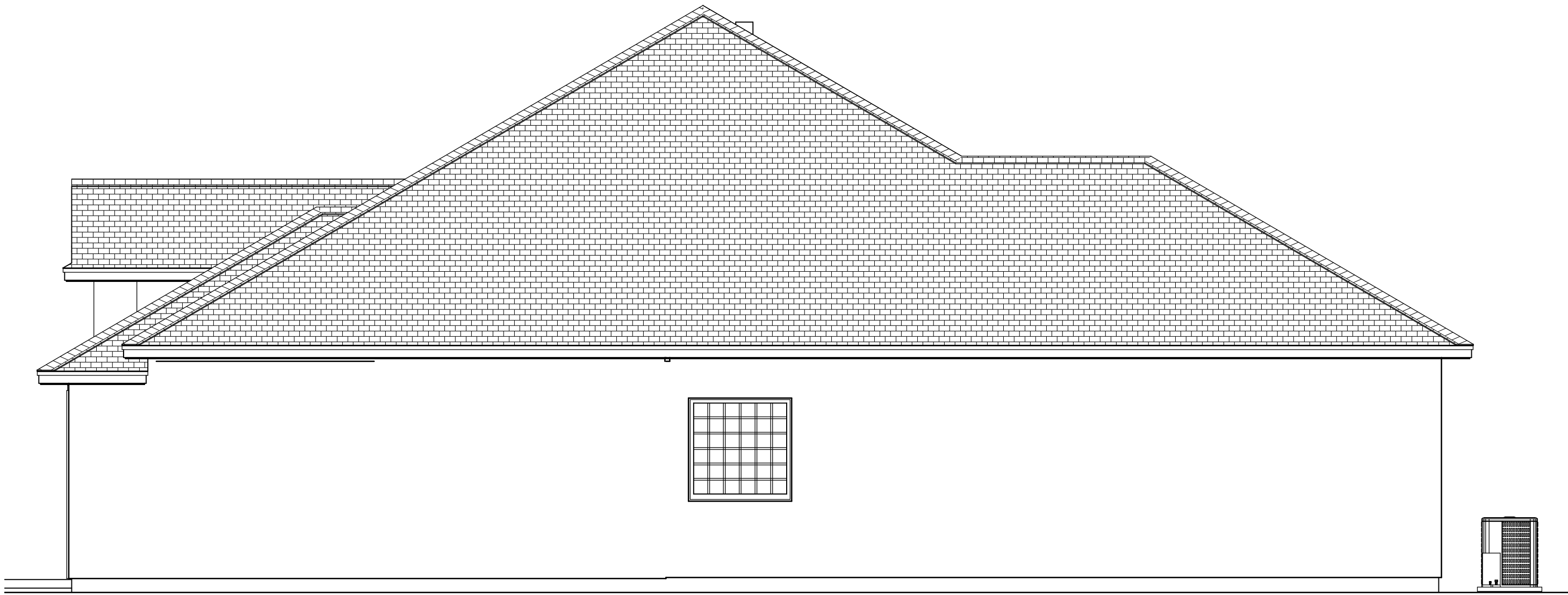
AS-BUILT RIGHT ELEVATION



AS-BUILT FRONT ELEVATION



AS-BUILT REAR ELEVATION



AS-BUILT LEFT ELEVATION

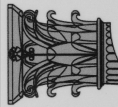
AS-BUILT ELEVATIONS

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**DESIGNS for LIVING, LLC**
RESIDENTIAL DESIGN WANTS 1989

904-730-7135

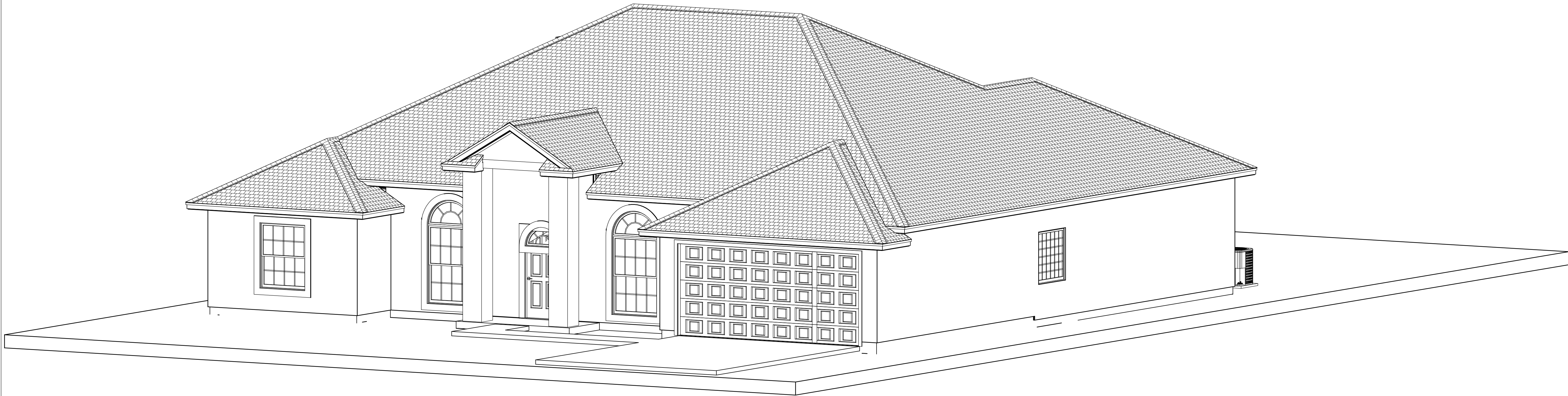
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7914 CHASE MEADOWS DR. W.
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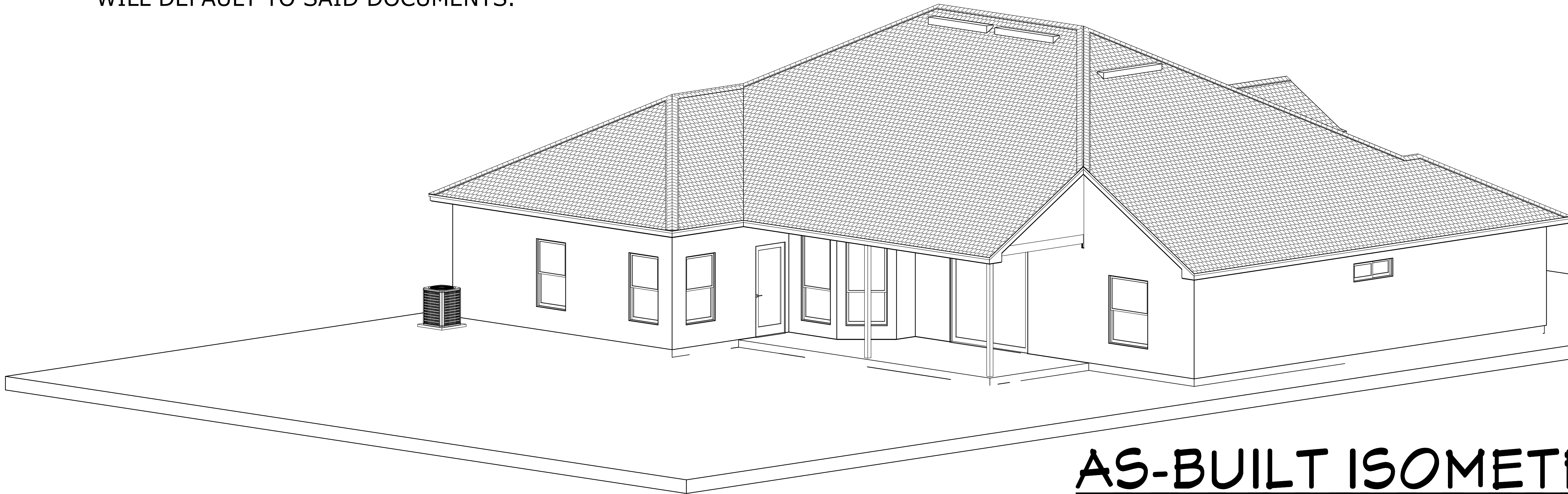
**TOM TROUT INC.**
GENERAL CONTRACTOR

5569-1 BOWDEN ROAD CBC026189 904-737-5412
JACKSONVILLE, FL 32216

DATE:
7/11/2017
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AS-BUILT ISOMETRICS

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DATE:
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SCALE:
N.T.S.
SHEET:
A-7

SECTION R310
EMERGENCY ESCAPE AND RESCUE OPENINGS

R310.1 Emergency escape and rescue required. Basements, habitable attics and every sleeping room shall have at least one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, emergency egress and rescue openings shall be required in each sleeping room. Where emergency escape and rescue openings are provided they shall have a sill height of not more than 44 inches (1118 mm) above the floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with Section R310.3. The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. Emergency escape and rescue openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with Section R310.2. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.

Exceptions:

1. Basements used only to house mechanical equipment and not exceeding total floor area of 200 square feet (18.58 m2).
2. The emergency escape and rescue opening shall be permitted to open into a screen enclosure, open to the atmosphere, where a screen door is provided leading away from the residence.

R310.1.1 Minimum opening area.

All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m2).

Exception:

Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465 m2).

R310.1.2 Minimum opening height.

The minimum net clear opening height shall be 24 inches (610 mm).

R310.1.3 Minimum opening width.

The minimum net clear opening width shall be 20 inches (508 mm).

R310.1.4 Operational constraints.

Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys, tools or special knowledge.

R302.11 Fireblocking.

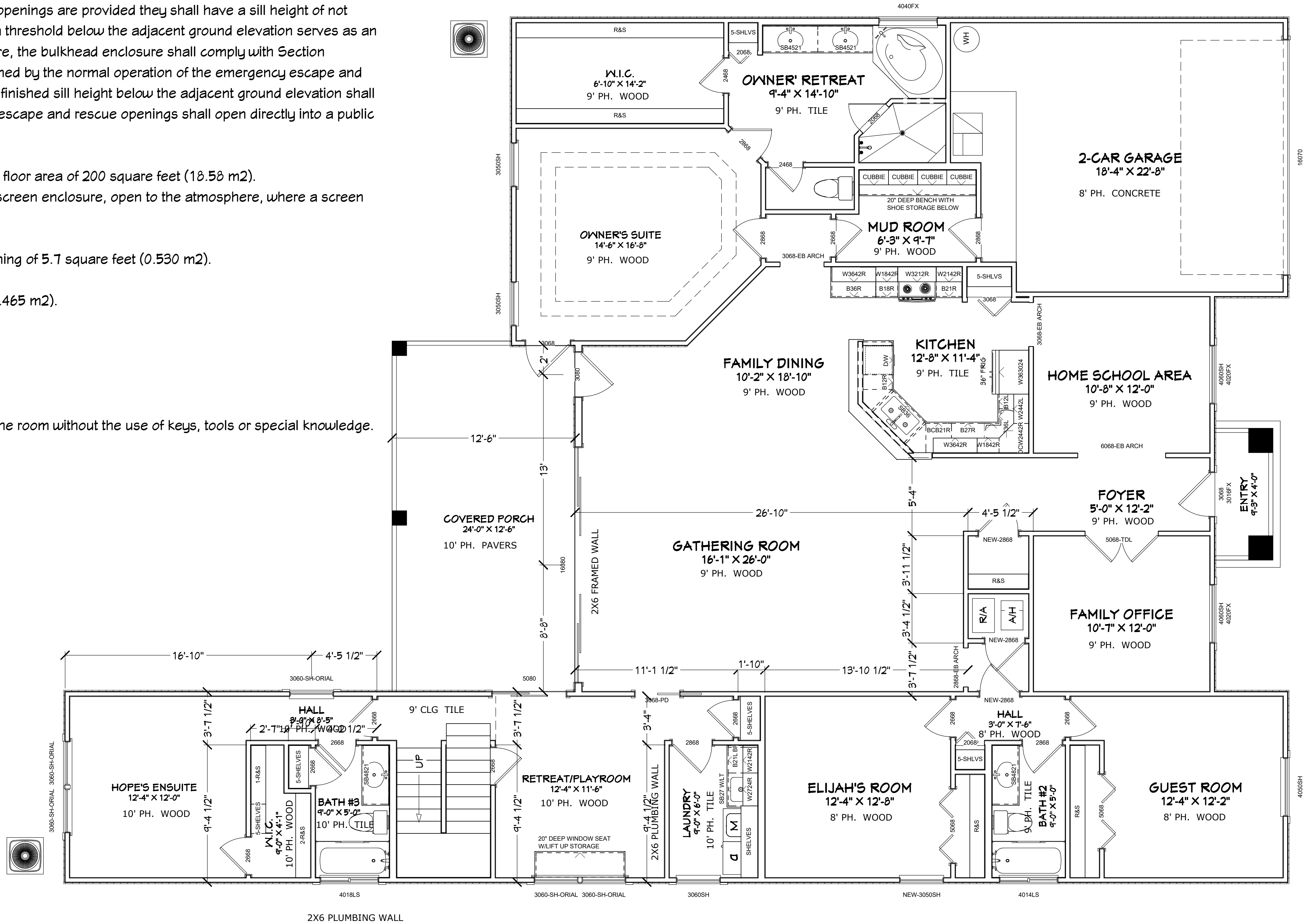
In combustible construction, fireblocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space. Fireblocking shall be provided in wood-frame construction in the following locations:

1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:
 - 1.1. Vertically at the ceiling and floor levels.
 - 1.2. Horizontally at intervals not exceeding 10 feet (3048 mm).
2. At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
3. In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7.
4. At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion. The material filling this annular space shall not be required to meet the ASTM E 136 requirements.
5. For the fireblocking of chimneys and fireplaces, see Section R1003.19.
6. Fireblocking of cornices of a two-family dwelling is required at the line of dwelling unit separation.

R302.12 Draftstopping. In combustible construction where there is usable space both above and below the concealed space of a floor/ceiling assembly, draftstops shall be installed so that the area of the concealed space does not exceed 1,000 square feet (92.9 m2). Draftstopping shall divide the concealed space into approximately equal areas. Where the assembly is enclosed by a floor membrane above and a ceiling membrane below, draftstopping shall be provided in floor/ceiling assemblies under the following circumstances:

1. Ceiling is suspended under the floor framing.
2. Floor framing is constructed of truss-type open-web or perforated members.

R302.12.1 Materials. Draftstopping materials shall not be less than 1/2-inch (12.7 mm) gypsum board, 3/8-inch (9.5 mm) wood structural panels or other approved materials adequately supported. Draftstopping shall be installed parallel to the floor framing members unless otherwise approved by the building official. The integrity of the draftstops shall be maintained



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PROPOSED 1ST FLOOR PLAN

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PLAN #
3196

CLIENT APPROVAL SIGNATURE	DATE
BOBBY L. VALLEIOS	
NANETTE VALLEIOS	

Design Drawings provided by:

DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGNER/ARCHITECT

904-730-7135

PROJECT DESCRIPTION:
RENOVATIONS FOR THE VALLEIOS FAMILY
7914 CHASE MEADOWS DR. W.
JACKSONVILLE, FL 32256-4643
R/E #: 167745-1110

BUILT BY:

TOM TROUT, INC.
GENERAL CONTRACTOR

5569-1 BOWDEN ROAD CB026189
JACKSONVILLE, FL 32216 904-737-5412

DATE:
7/11/2017
SCALE:
1/4" = 1'-0"
SHEET:
A-8

SECTION R310
EMERGENCY ESCAPE AND RESCUE OPENINGS

R310.1 Emergency escape and rescue required. Basements, habitable attics and every sleeping room shall have at least one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, emergency egress and rescue openings shall be required in each sleeping room. Where emergency escape and rescue openings are provided they shall have a sill height of not more than 44 inches (1118 mm) above the floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with Section R310.3. The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. Emergency escape and rescue openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with Section R310.2. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.

Exceptions:

1. Basements used only to house mechanical equipment and not exceeding total floor area of 200 square feet (18.58 m2).
2. The emergency escape and rescue opening shall be permitted to open into a screen enclosure, open to the atmosphere, where a screen door is provided leading away from the residence.

R310.1.1 Minimum opening area.

All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m2).

Exception:

Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465 m2).

R310.1.2 Minimum opening height.

The minimum net clear opening height shall be 24 inches (610 mm).

R310.1.3 Minimum opening width.

The minimum net clear opening width shall be 20 inches (508 mm).

R310.1.4 Operational constraints.

Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys, tools or special knowledge.

R302.11 Fireblocking.

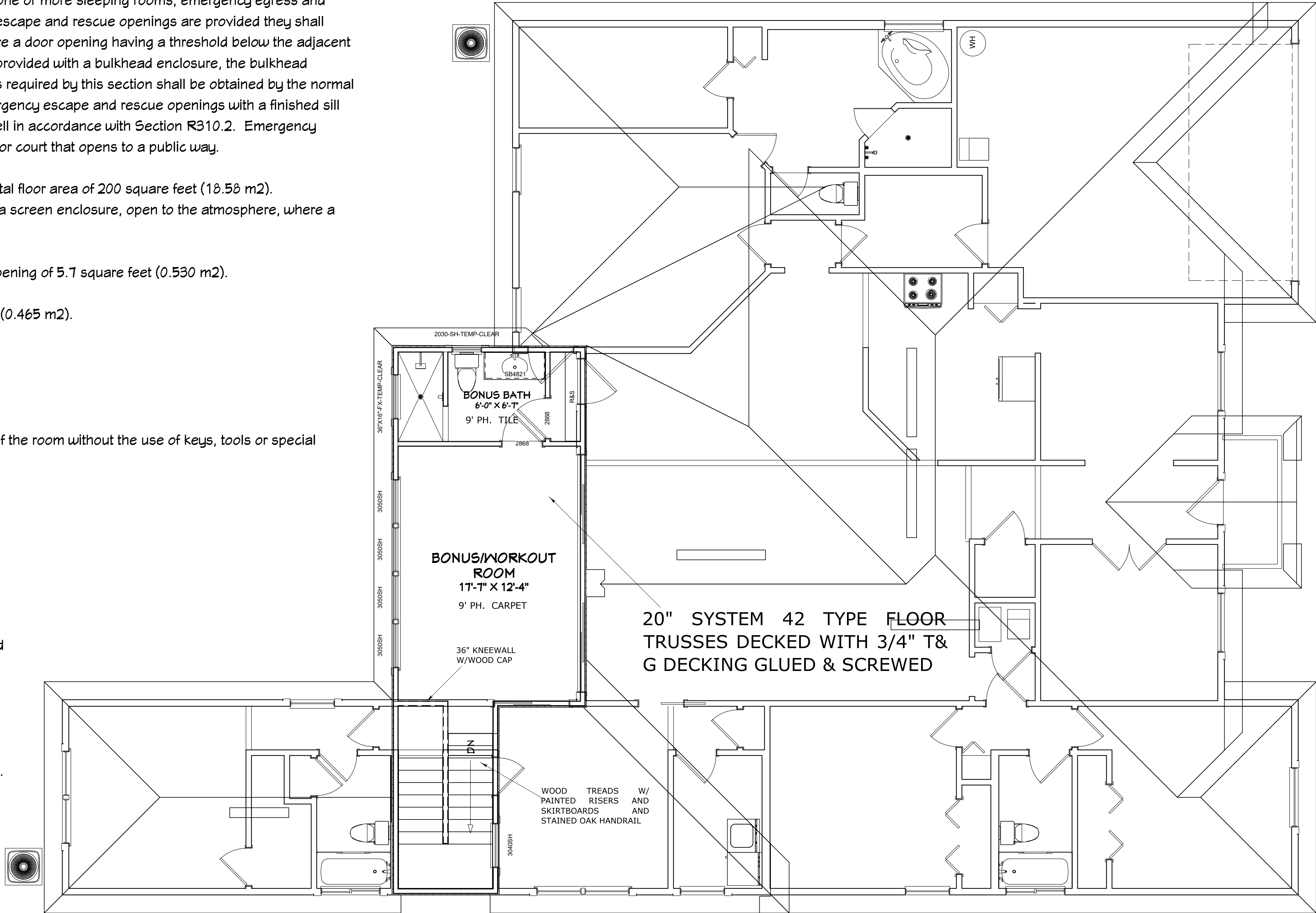
In combustible construction, fireblocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space. Fireblocking shall be provided in wood-frame construction in the following locations:

1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:
 - 1.1. Vertically at the ceiling and floor levels.
 - 1.2. Horizontally at intervals not exceeding 10 feet (3048 mm).
2. At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
3. In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7.
4. At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion. The material filling this annular space shall not be required to meet the ASTM E 136 requirements.
5. For the fireblocking of chimneys and fireplaces, see Section R1003.19.
6. Fireblocking of cornices of a two-family dwelling is required at the line of dwelling unit separation.

R302.12 Draftstopping. In combustible construction where there is usable space both above and below the concealed space of a floor/ceiling assembly, draftstops shall be installed so that the area of the concealed space does not exceed 1,000 square feet (92.9 m2). Draftstopping shall divide the concealed space into approximately equal areas. Where the assembly is enclosed by a floor membrane above and a ceiling membrane below, draftstopping shall be provided in floor/ceiling assemblies under the following circumstances:

1. Ceiling is suspended under the floor framing.
2. Floor framing is constructed of truss-type open-web or perforated members.

R302.12.1 Materials. Draftstopping materials shall not be less than 1/2-inch (12.7 mm) gypsum board, 3/8-inch (9.5 mm) wood structural panels or other approved materials adequately supported. Draftstopping shall be installed parallel to the floor framing members unless otherwise approved by the building official. The integrity of the draftstops shall be maintained



CONTRACT NOTE: THE CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICTS WILL DEFAULT TO SAID DOCUMENTS.

PROPOSED 2ND FLOOR PLAN

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PLAN #
3196

CLIENT APPROVAL SIGNATURE DATE

BOBBY L. VALLEIOS
NANETTE VALLEIOS

Design Drawings
provided by:

DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN BUILT 1989
904-730-7135

PROJECT DESCRIPTION:

RENOVATIONS FOR THE
VALLEIOS FAMILY
7914 CHASE MEADOWS DR. W.
JACKSONVILLE, FL 32256-4643
R/E #: 167745-1110

BUILT BY:

TOM TROUT, INC.
GENERAL CONTRACTOR
5569-1 BOWDEN ROAD CBCO26189
JACKSONVILLE, FL 32216 904-737-5412

DATE:

7/11/2017

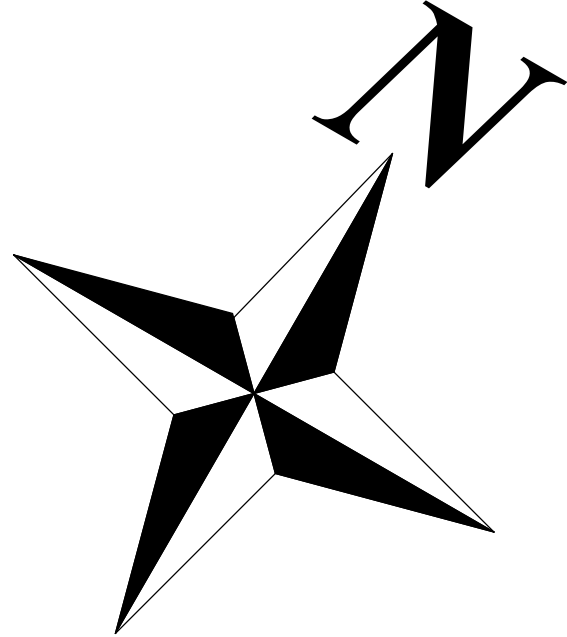
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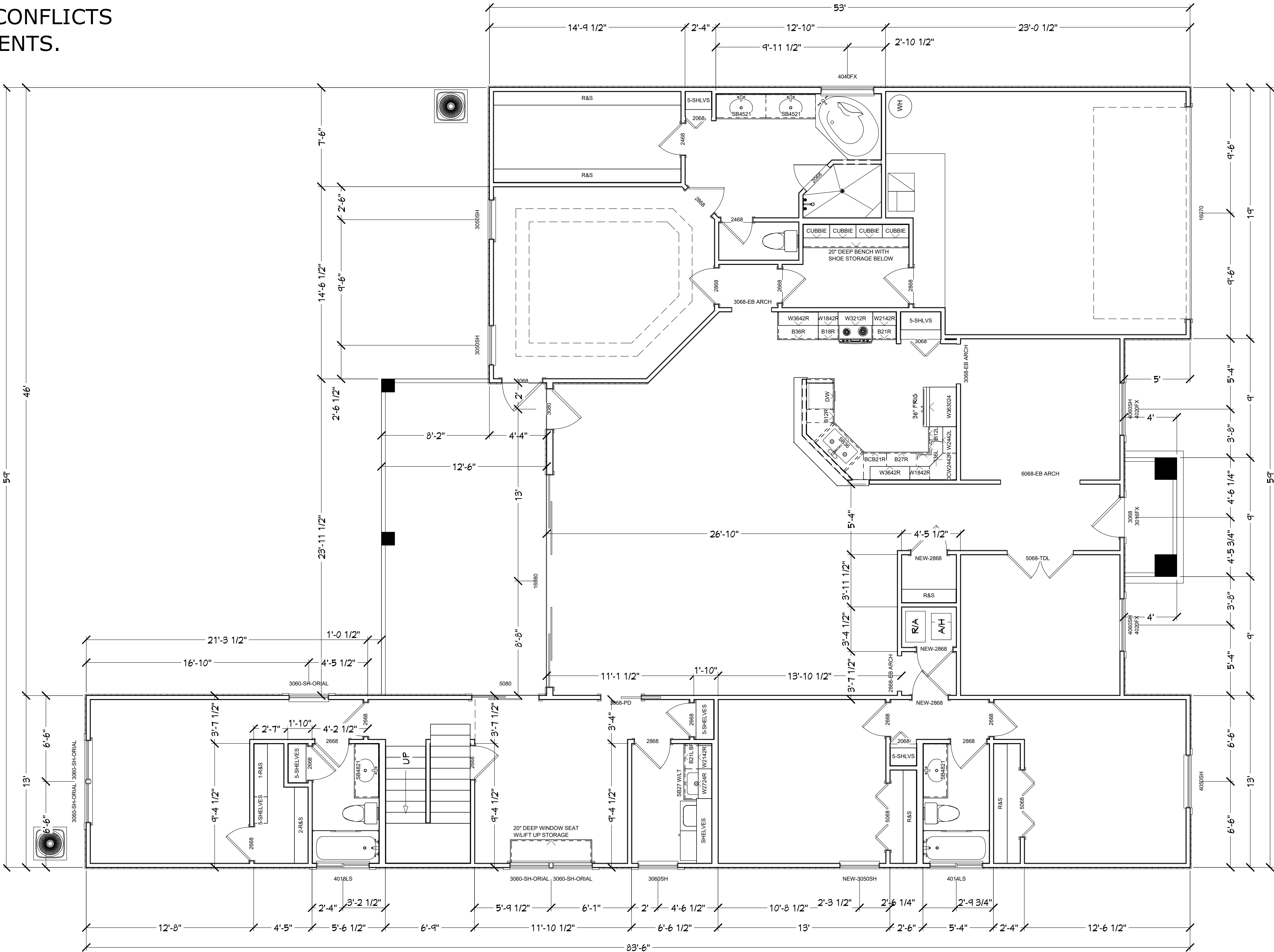
SHEET:

A-9

CONTRACT NOTE: THE CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICTS WILL DEFAULT TO SAID DOCUMENTS.



FOOTAGES REVISED (A.N.S.I.):	
EXISTING HEATED:	1,994.97
NEW 1ST FLR HEATED:	881.87
NEW 2ND FLR HEATED:	319.55
TOTAL HEATED:	3,196.34
GARAGE:	409.20
NEW COVERED PORCH:	298.22
ENTRY:	36.00
SLAB AREA:	3,620.16
UNDER ROOF:	3,939.71



1ST FLOOR DIMENSION PLAN

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PLAN #
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CLIENT APPROVAL SIGNATURE DATE

BOBBY L. VALLEIOS

NANETTE VALLEIOS

Design Drawings
provided by:

DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN SINCE 1989
904-730-7135

PROJECT DESCRIPTION:

RENOVATIONS FOR THE
VALLEIOS FAMILY
7914 CHASE MEADOWS DR. W.
JACKSONVILLE, FL 32236-4643
R/E #: 167745-1110

BUILT BY:

TOM TROUT, INC.
GENERAL CONTRACTOR
5569-1 BOWDEN ROAD CBC026189
JACKSONVILLE, FL 32216 904-737-5412

DATE:

7/11/2017

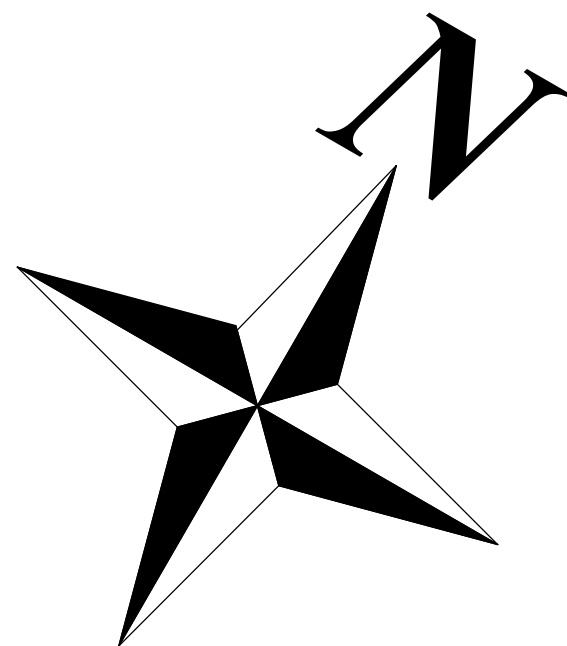
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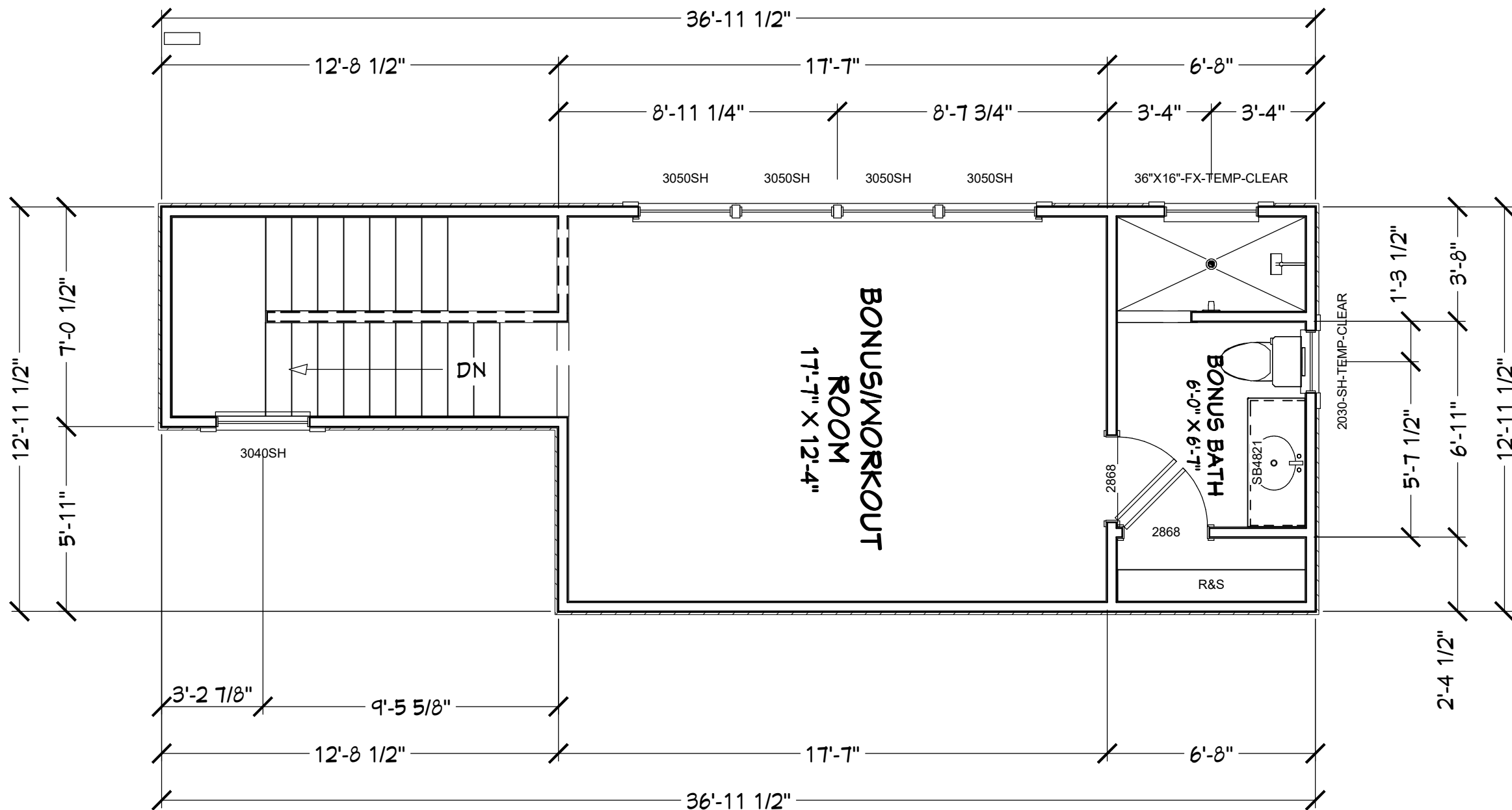
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A-10

CONTRACT NOTE: THE CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICTS WILL DEFAULT TO SAID DOCUMENTS.



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NEW COVERED PORCH:	298.22
ENTRY:	36.00
SLAB AREA:	3,620.16
UNDER ROOF:	3,939.71



2ND FLOOR DIMENSION PLAN

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PLAN #

3196

CLIENT APPROVAL SIGNATURE

DATE

BOBBY L. VALLEIOS

NANETTE VALLEIOS

Design Drawings
provided by:

DESIGNS FOR LIVING, LLC

RESIDENTIAL DESIGN SINCE 1989

904-730-7135

PROJECT DESCRIPTION:

RENOVATIONS FOR THE
VALLEIOS FAMILY
7914 CHASE MEADOWS DR. W.
JACKSONVILLE, FL 32256-4643
R/E #: 167745-1110

BUILT BY:

TOM TROUT, INC.

GENERAL CONTRACTOR

5569-1 BOWDEN ROAD CBC026189
JACKSONVILLE, FL 32216 904-737-5412

DATE:

7/11/2017

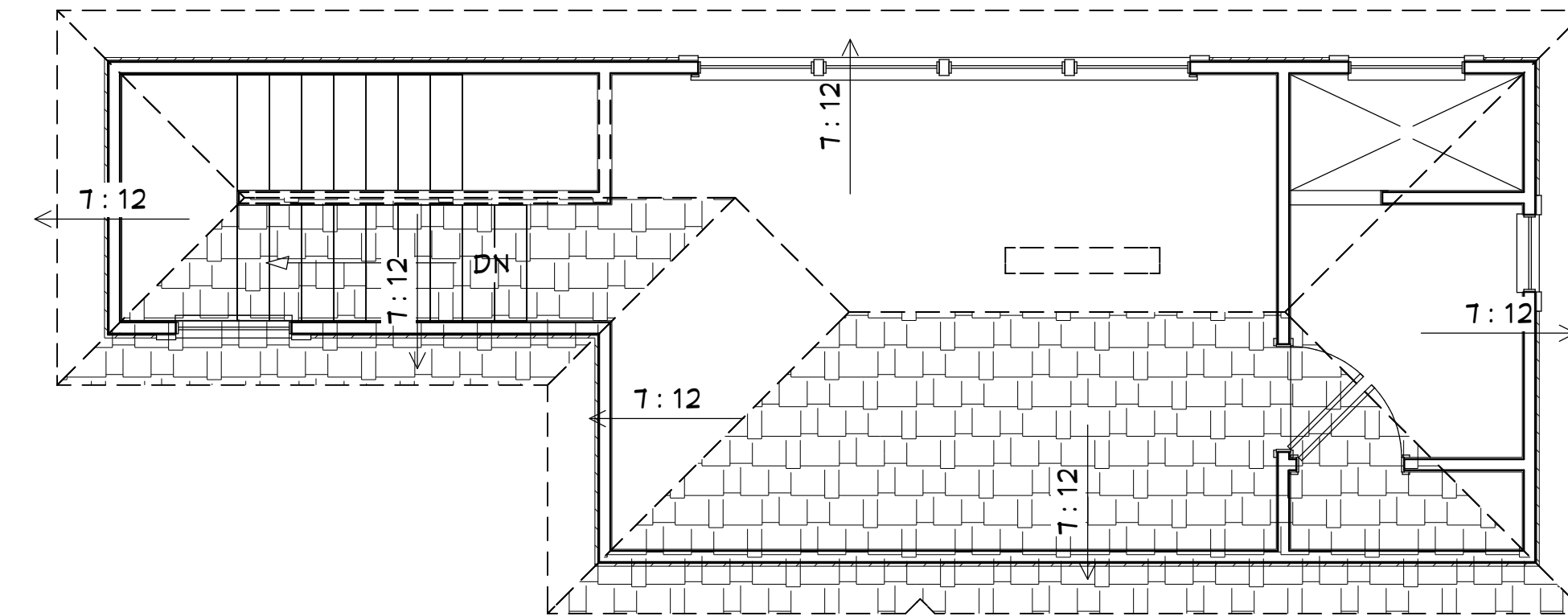
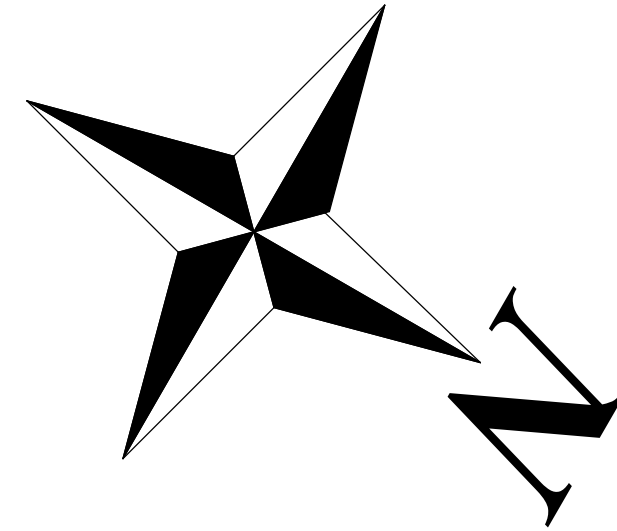
SCALE:

1/4" = 1'-0"

SHEET:

A-11

CONTRACT NOTE: THE CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICTS WILL DEFAULT TO SAID DOCUMENTS.



ROOF NOTES (NEW SYSTEM):
PITCH: 7/12 PRE-ENGINEERED TRUSSES (U.O.N.)
UNDERLAYMENT: STANDARD/SYNTHETIC FELT
HEEL HEIGHT: STANDARD
FLOOR TRUSSES: 20" SYSTEM 42 TYPE
FASCIA: PLUMB CUT CPVC COATED ALUMINUM WITH 1X2
DRIP-MATCH EXISTING
SOFFITS: BUILDER GRADE VENTED VINYL-MATCH EXISTING
ROOFING: ARCHITECTURAL SHINGLES
EAVE OVERHANG: 16" PER ORIGINAL PLANS-MATCH EXISTING
ROOF SHEATHING: 1/2" OSB
PORCH CEILINGS: NON-VENTED BUILDER GRADE VINYL
NOTE: SYSTEM TO BE REROOFED WITH NEW
ARCHITECTURAL FIBERGLASS SHINGLES

PROPOSED ROOF PLAN

COCOTRYPA 711241

904- / 30- / 135

TOM TROUT Inc.
GENERAL CONTRACTOR

5569-1 BOWDEN ROAD CBC026189
JACKSONVILLE, FL 32216 904-737-5412

A-12

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CONTRACT NOTE: THE CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICTS WILL DEFAULT TO SAID DOCUMENTS.

INSULATION NOTES FOR ADDITION:
WALLS: R-13 FIBERGLASS BATTS
CEILINGS: R-38 BLOWN FIBERGLASS



PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION

EXTERIOR NOTES: MATCH EXISTING
SIDING: STUCCO
SOFFITS: BUILDER GRADE VINYL-MATCH EXISTING
FASCIA: CPVC COATED ALUMINUM-MATCH EXISTING
ROOFING: ARCH F/G SHINGLES
FOUNDATION: MONOLITHIC, NATURAL FINISH
COLUMNS: STUCCO

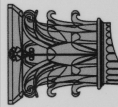
PROPOSED FRONT/REAR ELEVATIONS

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PLAN #
3196

CLIENT APPROVAL SIGNATURE	DATE
BOBBY L. VALLEJOS	
NANETTE VALLEJOS	

Design Drawings provided by:



DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN SINCE 1989
904-730-7135

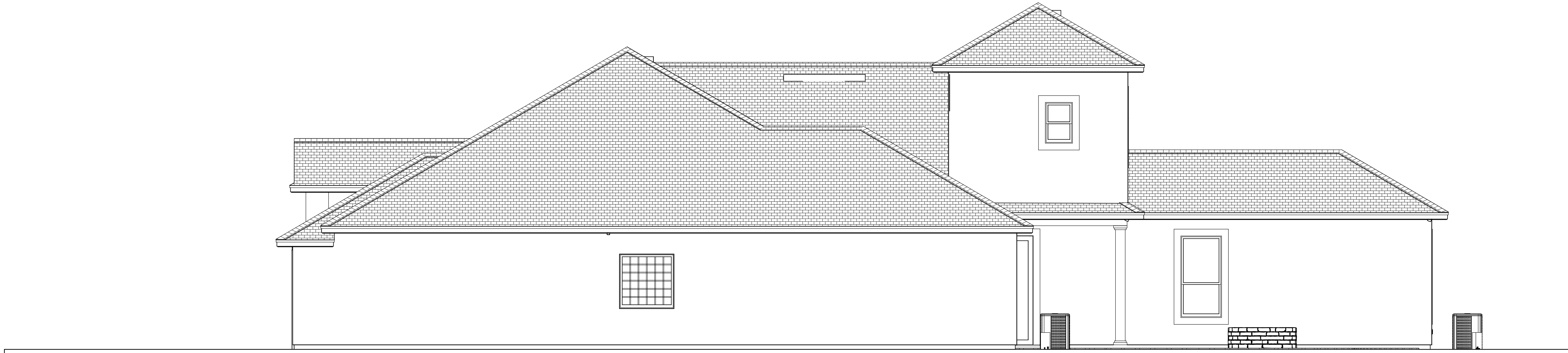
PROJECT DESCRIPTION:
RENOVATIONS FOR THE
VALLEJOS FAMILY
7914 CHASE MEADOWS DR. W.
JACKSONVILLE, FL 32256-4643
R/E #: 167745-1110

BUILT BY:



TOM TROUT INC.
GENERAL CONTRACTOR
5569-1 BOWDEN ROAD CBC026189
JACKSONVILLE, FL 32216 904-737-5412

DATE:
7/11/2017
SCALE:
1/4" = 1'-0"
SHEET:
A-13



PROPOSED RIGHT ELEVATION

EXTERIOR NOTES: MATCH EXISTING
SIDING: STUCCO
SOFFITS: BUILDER GRADE VINYL-MATCH
EXISTING
FASCIA: CPVC COATED ALUMINUM-MATCH
EXISTING
ROOFING: ARCH F/G SHINGLES
FOUNDATION: MONOLITHIC, NATURAL FINISH
COLUMNS: STUCCO

INSULATION NOTES FOR ADDITION:
WALLS: R-13 FIBERGLASS BATTS
CEILINGS: R-38 BLOWN FIBERGLASS

CONTRACT NOTE: THE CONTRACT AND
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PROPOSED LEFT ELEVATION

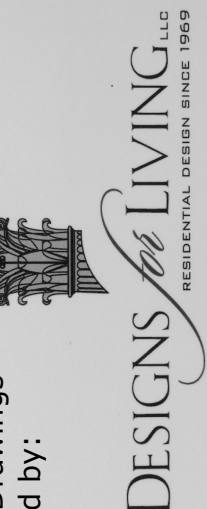
PROPOSED SIDE ELEVATIONS

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NANETTE VALLEJOS	

Design Drawings
provided by:



DESIGNS for LIVING, LLC
RESIDENTIAL DESIGN SINCE 1989
904-730-7135

PROJECT DESCRIPTION:
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7914 CHASE MEADOWS DR. W.
JACKSONVILLE, FL 32256-4643
R/E #: 167745-1110

BUILT BY:



TOM TROUT INC.
GENERAL CONTRACTOR
5569-1 BOWDEN ROAD CBOC026189 904-737-5412
JACKSONVILLE, FL 32216

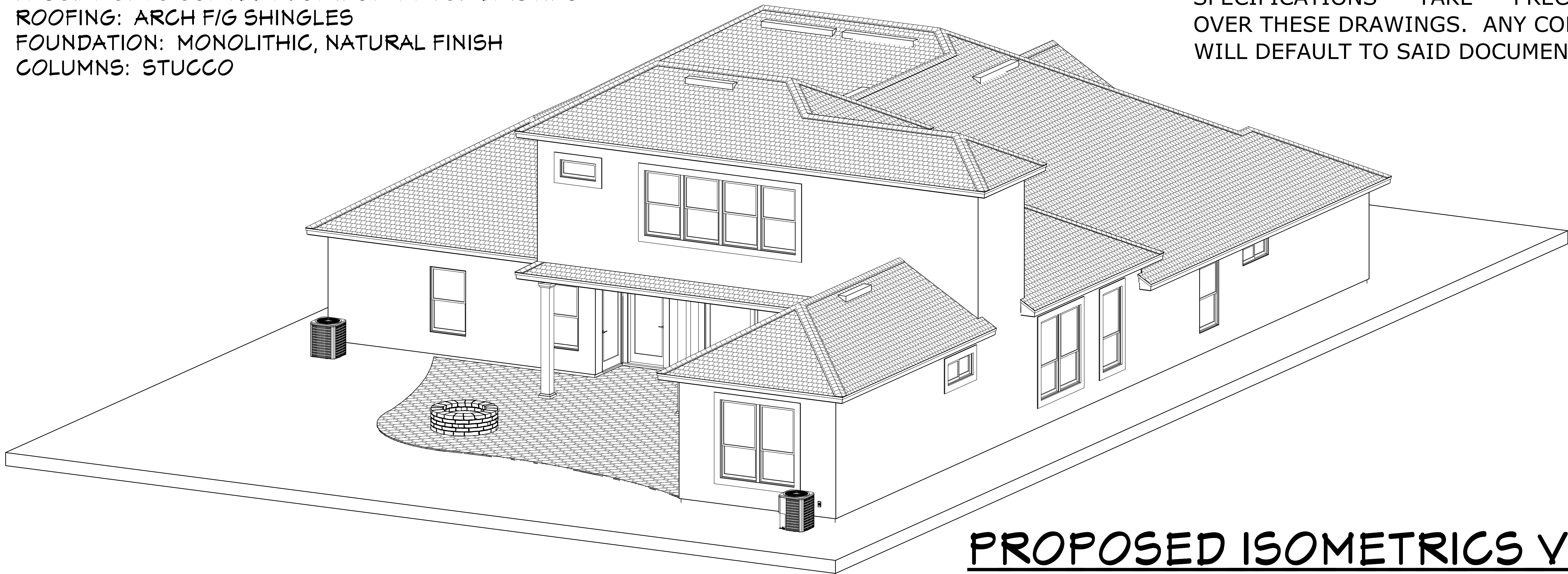
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7/11/2017
SCALE:
1/4" = 1'-0"
SHEET:
A-14

INSULATION NOTES FOR ADDITION:
WALLS: R-13 FIBERGLASS BATTS
CEILINGS: R-38 BLOWN FIBERGLASS



EXTERIOR NOTES: MATCH EXISTING
SIDING: STUCCO
SOFFITS: BUILDER GRADE VINYL-MATCH EXISTING
FASCIA: CPVC COATED ALUMINUM-MATCH EXISTING
ROOFING: ARCH FIG SHINGLES
FOUNDATION: MONOLITHIC, NATURAL FINISH
COLUMNS: STUCCO

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PROPOSED ISOMETRICS VIEWS

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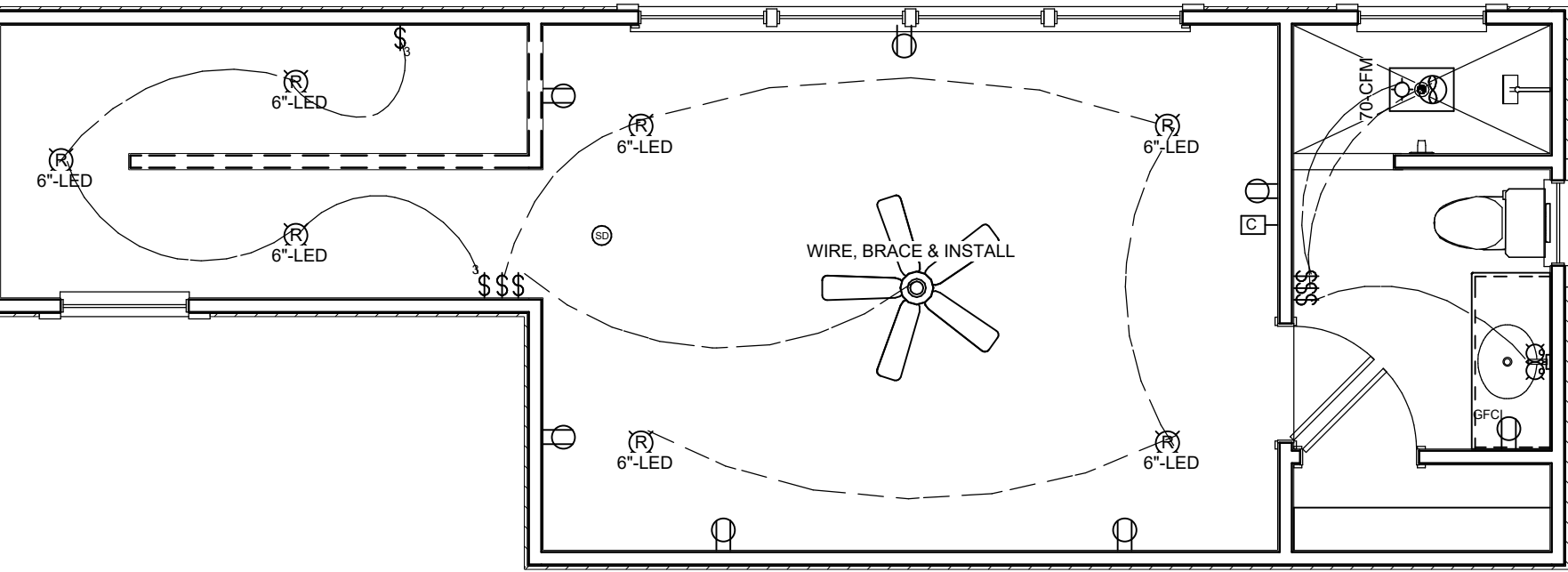
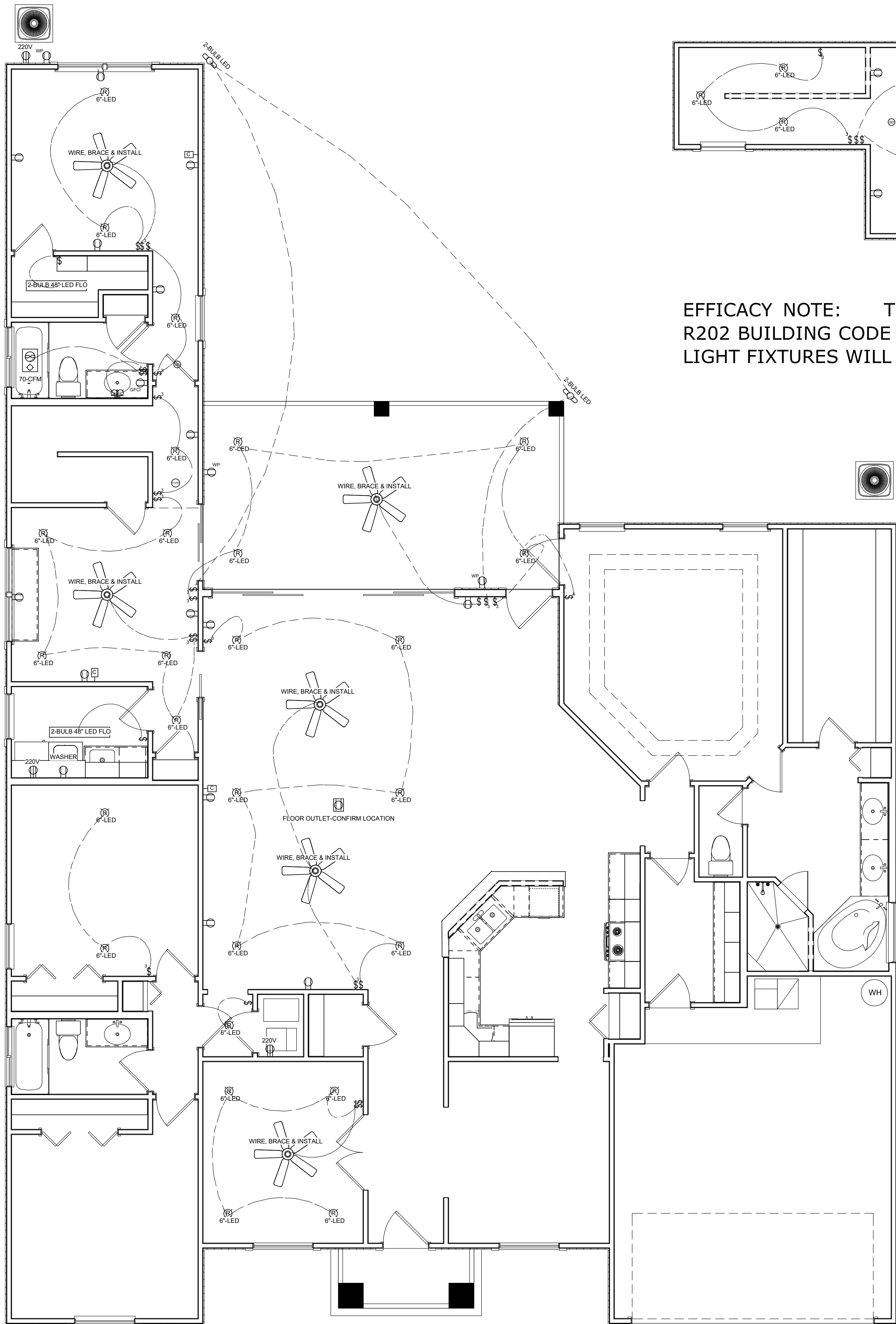
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R/E #: 167745-1110

BUILT BY:

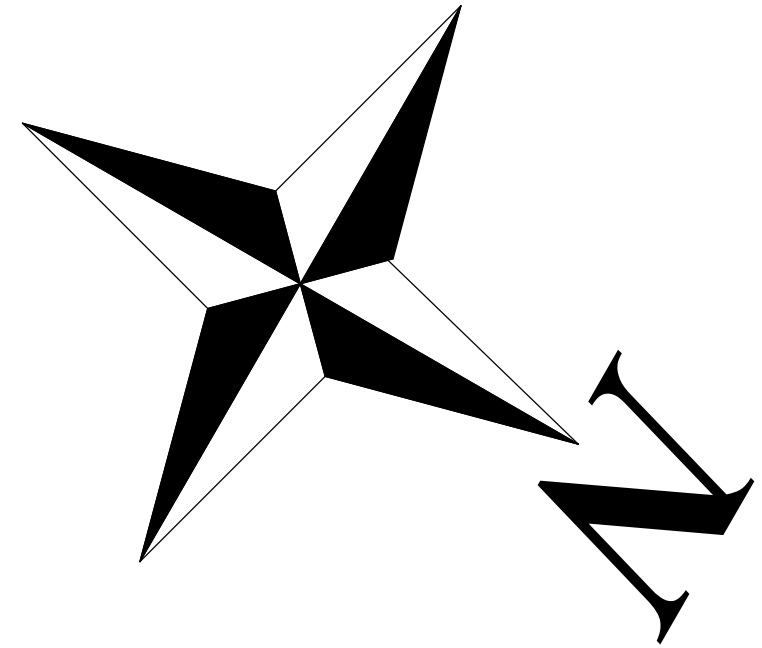
TOM TROUT, INC.
GENERAL CONTRACTOR

5569-1 BOWDEN ROAD CBC026189
JACKSONVILLE, FL 32216 904-737-5412

DATE:
7/11/2017
SCALE:
N.T.S.
SHEET:
A-15



EFFICACY NOTE: THE NEW FBC-R FBC EC R404.1 & R202 BUILDING CODE REQUIRES ALL INSIDE & OUTSIDE LIGHT FIXTURES WILL USE CFL OR LED LIGHT BULBS.



CONTRACT NOTE: THE CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICTS WILL DEFAULT TO SAID DOCUMENTS.

PER FBC-R-E3902.12 AFCI PROTECTION REQUIRED Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed AFCI, combination type.

PER FBC-R-E3901.7, NEC 210, E3901.7 & E3902.3 GFCI PROTECTION REQUIRED Bathrooms, garages, boathouses & accessory structures not intended as habitable rooms and limited to storage, work & similar uses. Outdoors, crawl spaces, unfinished basements, kitchen countertops. Outlets within 6 feet of laundry, utility or wet sinks. Balcony, deck or porch greater than 20 s.f. One at the front and back of the dwelling and at the condenser units.

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

PROPOSED ELECTRICAL PLAN

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PLAN #
3196

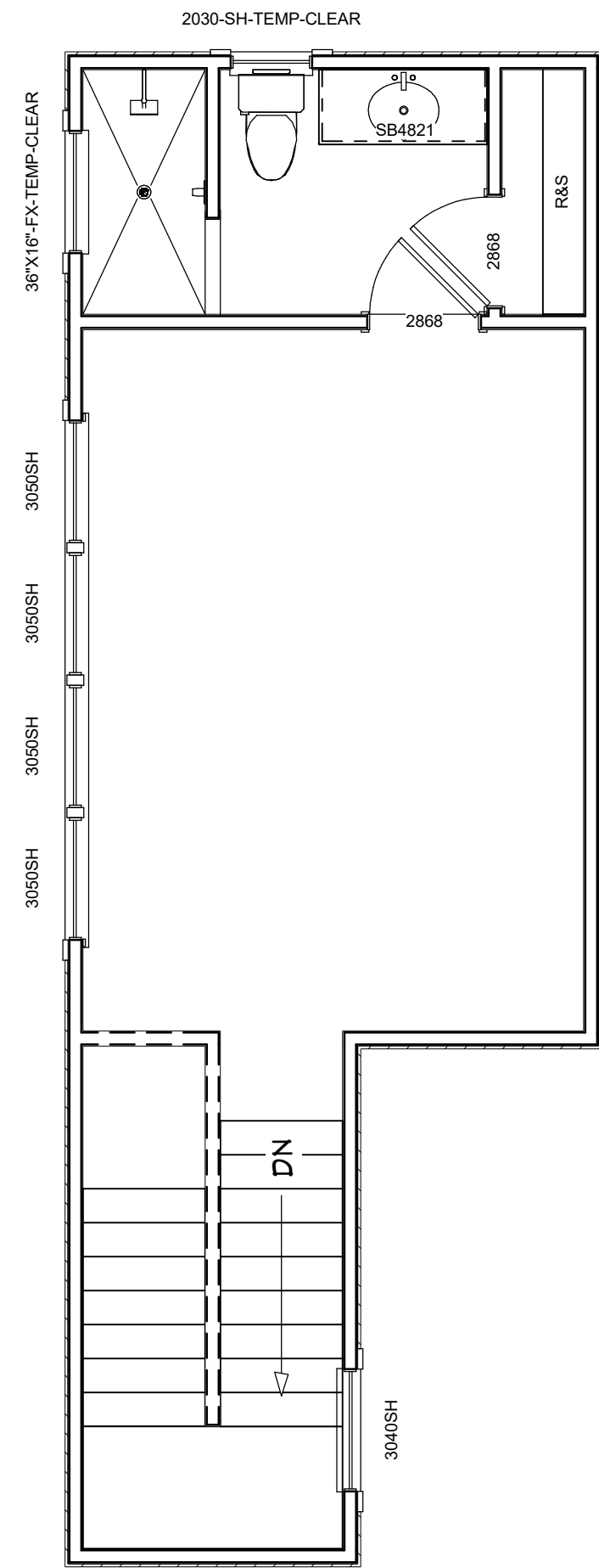
CLIENT APPROVAL SIGNATURE DATE
BOBBY L. VALLEIOS
NANETTE VALLEIOS

Design Drawings provided by:
DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN BUILT 1989
904-730-7135

PROJECT DESCRIPTION:
RENOVATIONS FOR THE
VALLEIOS FAMILY
7914 CHASE MEADOWS DR. W.
JACKSONVILLE, FL 32256-4643
R/E #: 167745-1110

BUILT BY:
TOM TROUT, INC.
GENERAL CONTRACTOR
5569-1 BOWDEN ROAD CBC026189
JACKSONVILLE, FL 32216 904-737-5412

DATE:
7/11/2017
SCALE:
1/4" = 1'-0"
SHEET:
A-16



FURNITURE PLAN

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