

GARAGE EXTENSION FOR THE MALICK FAMILY

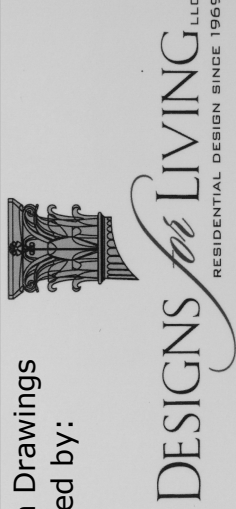
PERMIT SET 3/13/2017



10061 E. DEERCREEK CLUB ROAD
JACKSONVILLE, FL 32256 R/E #: 167801-0755
BUILT BY: GARY'S PAINTING & SERVICE, LLC
ST. AUGUSTINE, FL 32082
CELL: 904-495-5998
CRC1330952

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Design Drawings
provided by:



904-730-7135

PROJECT DESCRIPTION:
GARAGE EXTENSION FOR THE MALICK FAMILY
10061 E. DEERCREEK CLUB ROAD
JACKSONVILLE, FL 32256
R/E#: 167801-0755

BUILT BY:
GARY'S PAINTING & HOME SERVICE, LLC
ST AUGUSTINE, FL 32082
EMAIL: danielle.brizendine@comcast.net
904-495-5998
CRC1330952

CLIENT APPROVAL SIGNATURE	DATE
STEPHEN R. MALICK	
JANICE L. MALICK	

PLAN #
10061

DATE:
3/13/2017
SCALE:
N.T.S
SHEET:
A-1

ZONING: PUD
SIDE =7.5'
FRONT=25'
REAR=10'
LOT COVERAGE=45%
MAX HEIGHT=35'

FLOOD ZONE: AE, X-SHADED, AND "X"
FEMA CERTIFICATE REQUIRED (U.O.N.)

LEGAL DESCRIPTION:
44-2 06-45-28E 0.35 ACRES
R/E #: 167801-0755
DEERCREEK COUNTRY CLUB
UNIT 1, LOT 127

SITE CALCULATIONS:
0.35 ACRES = 15,246 S.F.
HOUSE/GARAGE COVERAGE = 2,727 S.F.
TOTAL IMPERVIOUS = 17.89%

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

Property Appraiser - Property Details http://apps.coj.net/pao_propertySearch/Basic/Detail.aspx?RE=1678010755

MALICK STEPHEN R

10061 DEERCREEK CLUB RD E

JACKSONVILLE, FL 32256-1462

MALICK JANICE L

Primary Site Address

10061 E DEERCREEK CLUB RD

Jacksonville FL 32256

Official Record Book/Page

06567-01053

Title #

8606

10061 E DEERCREEK CLUB RD

Property Detail

RE #	167801-0755
Tax District	GS
Property Use	0100 Single Family
# of Buildings	1
Legal Desc.	44-2 06-45-28E DEERCREEK COUNTRY CLUB UNIT 01
Subdivision	04372 DEERCREEK COUNTRY CLUB 01
Total Area	15412

The sale of this property may result in higher property taxes. For more information go to [State Our Homes](#) and our [Property Tax Estimator](#). In Progress property values, exemptions and other supporting information on this page are part of the working tax roll and are subject to change. Certified values listed in the Value Summary are those certified in October, but may include any official changes made after certification. [Learn how the Property Appraiser's Office values property.](#)

Value Summary

	2015 Certified	2016 In Progress
Value Method	CMAA	CMAA
Total Building Value	\$307,520.00	\$314,649.00
Extra Feature Value	\$20,320.00	\$18,582.00
Land Value (Market)	\$110,000.00	\$110,000.00
Land Value (Agric.)	\$0.00	\$0.00
Just (Market) Value	\$437,840.00	\$443,231.00
Assessed Value	\$410,459.00	\$413,332.00
Cap Off/Portability Amt	\$27,381.00 / \$0.00	\$29,899.00 / \$0.00
Exemptions	\$50,000.00	See below
Taxable Value	\$360,459.00	See below

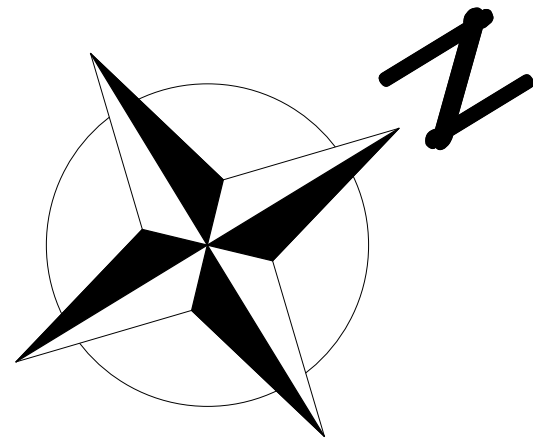
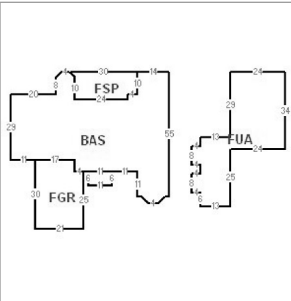
Taxable Values and Exemptions - In Progress If there are no exemptions applicable to a taxing authority, the Taxable Value is the same as the Assessed Value listed above in the Value Summary box.			
County/Municipal Taxable Value	SJRWMD/FIND Taxable Value	School Taxable Value	
Assessed Value \$413,332.00	Assessed Value \$413,332.00	Assessed Value \$413,332.00	
Homestead (HX) - \$25,000.00	Homestead (HX) - \$25,000.00	Homestead (HX) - \$25,000.00	
Homestead Banding 196.031(1)(b) (HB) - \$25,000.00	Homestead Banding 196.031(1)(b) (HB) - \$25,000.00	Taxable Value \$388,332.00	
Taxable Value \$363,332.00	Taxable Value \$363,332.00		

Sales History				
Book/Page	Sale Date	Sale Price	Deed Instrument Type Code	Qualified/Unqualified
05562-01053	8/4/1988	\$63,000.00	W-D - Warranty Deed	Unqualified
07892-01932	7/6/1994	\$60,000.00	W-D - Warranty Deed	Qualified
09700-01252	8/2/2000	\$115,000.00	W-D - Warranty Deed	Qualified
09916-01132	3/8/2001	\$527,900.00	W-D - Warranty Deed	Qualified

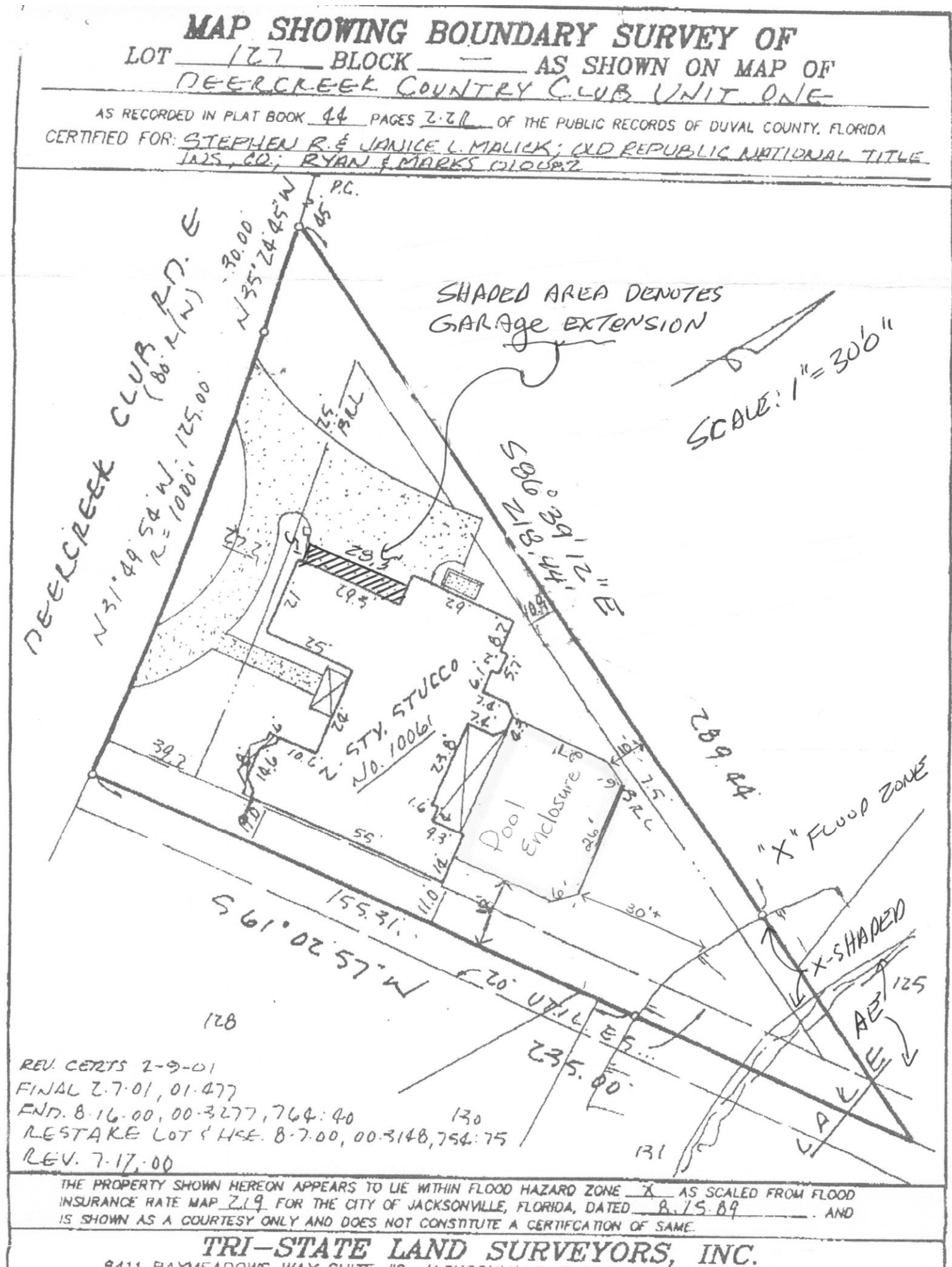
Extra Features						
LN	Feature Code	Feature Description	Bldg. Units	Length	Width	Total Units Value
1	FPGR7	Fireplace Gas	1	0	0	\$2,919.00
2	POOL3	Pool	1	0	0	\$10,200.00
3	SPAR3	Spa	1	0	0	\$2,499.00
4	SCNR3	Screen Enclosure	1	0	0	\$2,964.00

Land & Legal							
Land							
LN	Code	Use Description	Zoning	Front	Depth	Category	Legal Description
1	0150	RES GOLF LD 3-7 UNITS PER AC	PUD	110.00	150.00	Common	44-2 06-45-28E DEERCREEK COUNTRY CLUB UNIT 01 LOT 127

Buildings			Element			Code			Detail		
Building 1			Site Address			Exterior Wall			16 Frame Stucco		
10061 E DEERCREEK CLUB RD Jacksonville FL 32256						Roof Struct			3 Gable or Hip		
						Roofing Cover			3 Asph/Comp Shng		
Year Built 2001						Interior Wall			5 Drywall		
Building Value \$314,649.00						Int Flooring			11 Cer Clay Tile		
						Int Flooring			14 Carpet		
						Heating Fuel			4 Electric		
						Heating Type			4 Forced-Ducted		



WIND DESIGN CRITERIA:
WIND SPEED: 130 MPH
EXPOSURE CATEGORY: "B"
BUILDING TYPE: ENCLOSED
BUILDING CATEGORY: II
IMPORTANCE FACTOR: 1.0
TOPOGRAPHY: SLOPED
MEAN ROOF HEIGHT: 25 FT
BUILDING CODE: 2014 FBC-R



SITE PLAN

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PLAN #
10061

CLIENT APPROVAL SIGNATURE
DATE

STEPHEN R. MALICK

JANICE L. MALICK

BUILT BY:
GARY'S PAINTING & HOME SERVICE, LLC
ST AUGUSTINE, FL 32082
EMAIL: danielle.brizendine@comcast.net
904-495-5998
CRC1330952

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10061 E. DEERCREEK CLUB ROAD
JACKSONVILLE, FL 32256
R/E#: 167801-0755

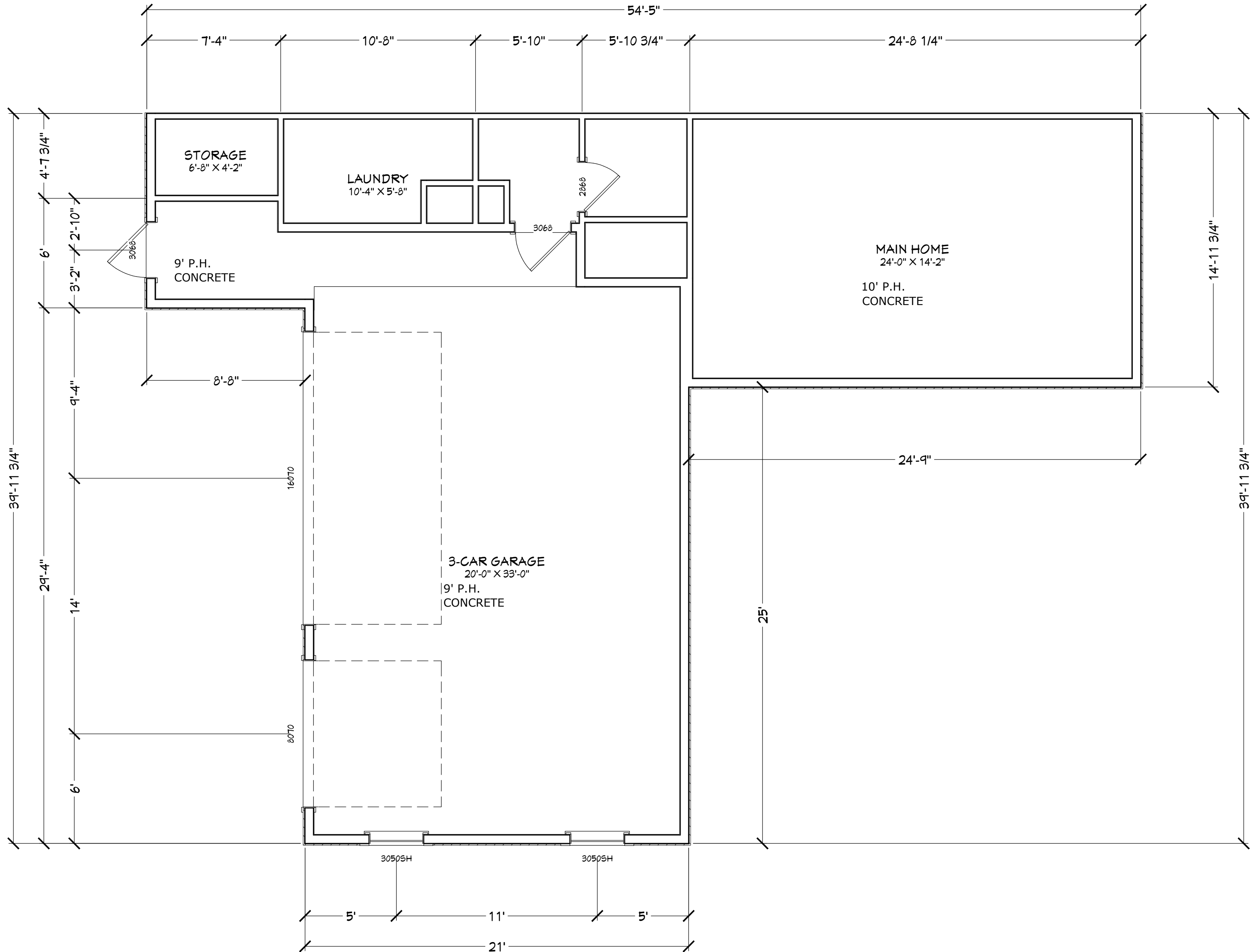
Design Drawings
provided by:

DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN SINCE 1990
904-730-7135

DATE:
3/13/2017

SCALE:
1" = 30'-0"

SHEET:
A-2



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AS-BUILT FLOOR PLAN

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Design Drawings provided by:

DATE:

3/13/2017

SCALE:

1/4" = 1'-0"

SHEET:

A - 4

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GARAGE EXTENSION FOR THE MALICK FAMILY
10061 E. DEERCREEK CLUB ROAD
JACKSONVILLE, FL 32256
R/E#: 167801-0755

BUILT BY:

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ST AUGUSTINE, FL 32082
EMAIL: danielle.brizendine@comcast.net
904-495-5998
CRC1330952

CLIENT APPROVAL SIGNATURE

DATE

STEPHEN R. MALICK

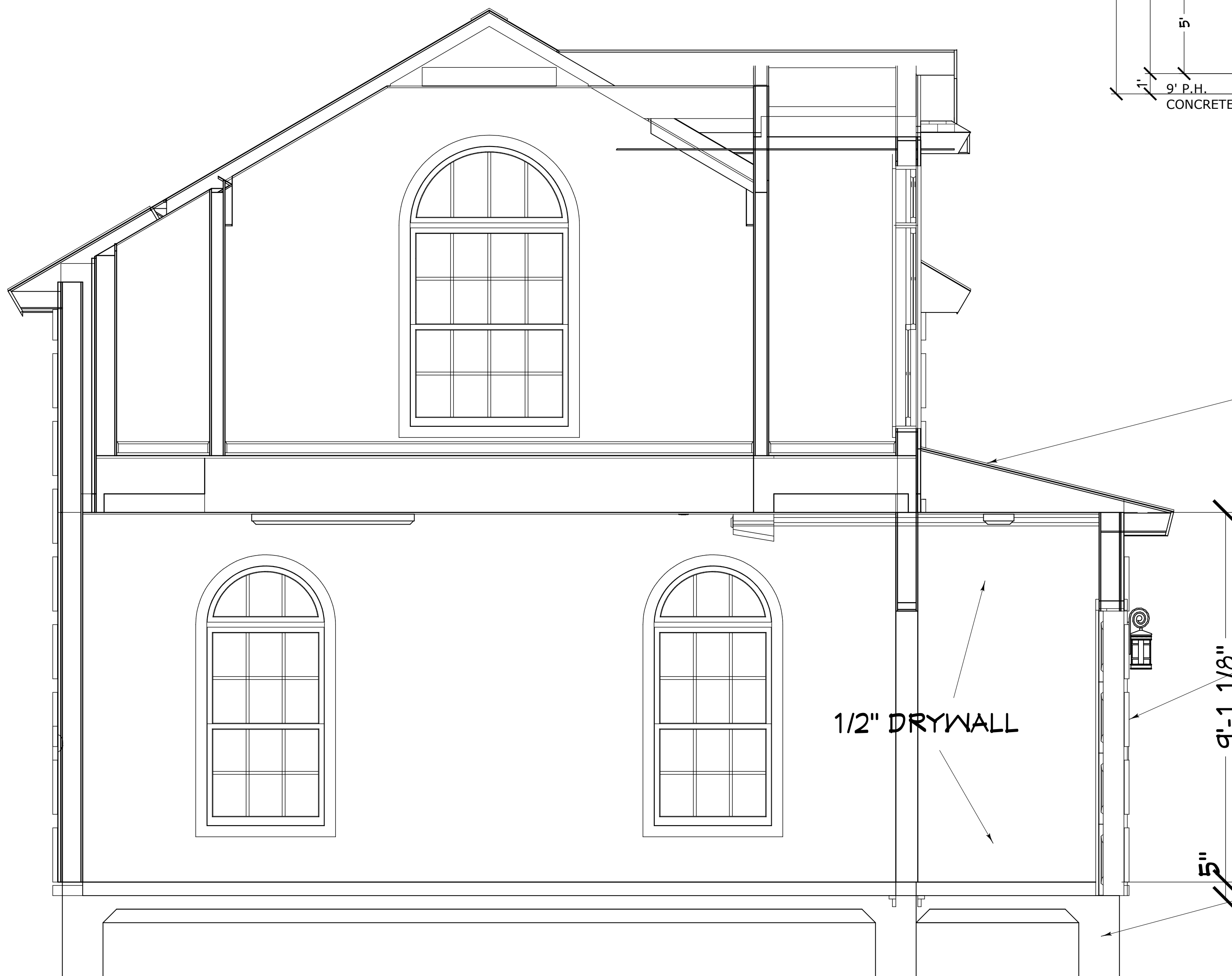
JANICE L. MALICK

PLAN #

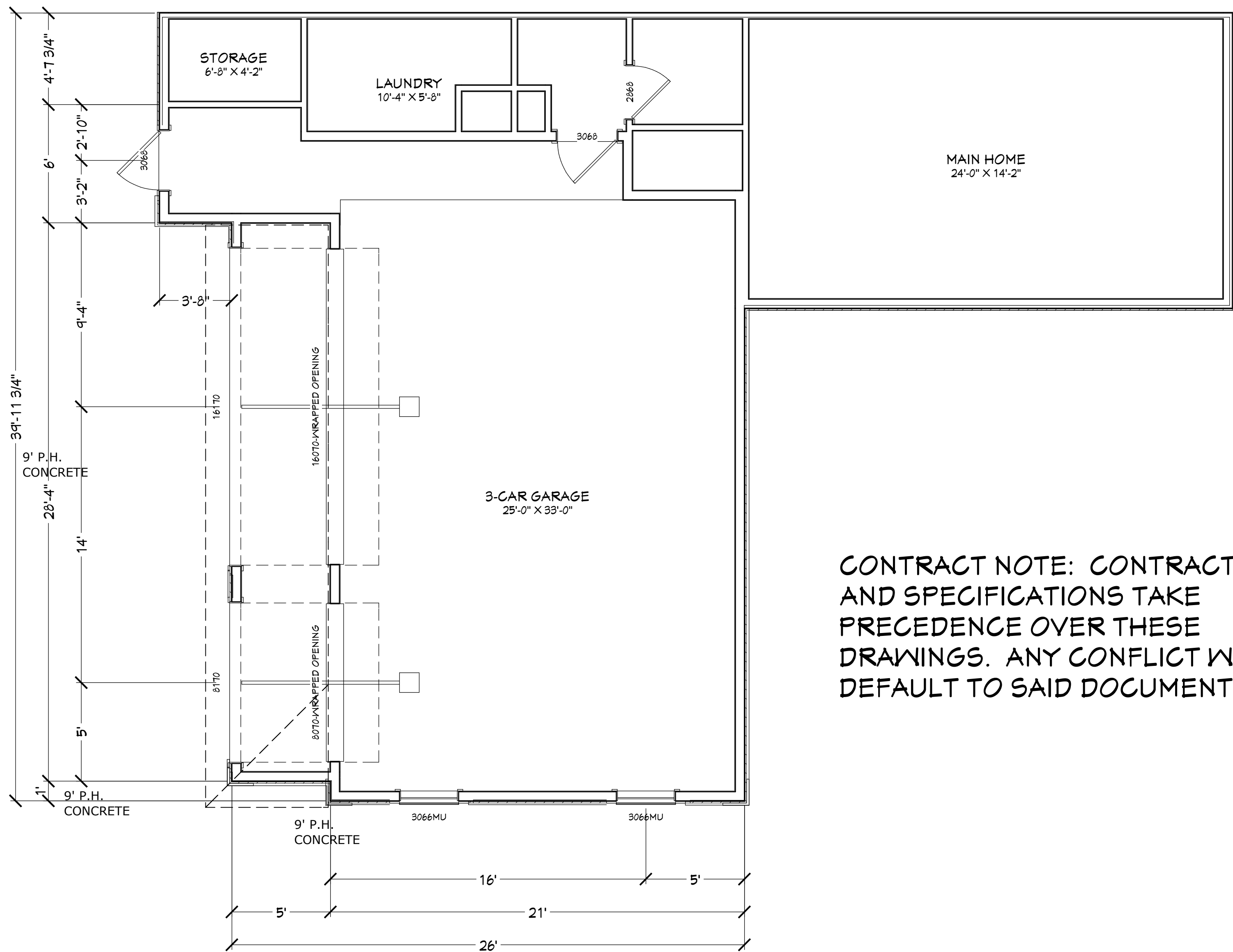
10061

ALL EXTERIOR WALLS ARE
2X6 #2SPF @ 16" O.C.

- GENERAL NOTES:
- 1. REMOVE & RE-USE THE EXISTING GARAGE DOORS AND OPENERS
 - 2. WRAP EXISTING GARAGE DOOR OPENINGS



BUILDING SECTION SCALE: 1/2" = 1'-0"



CONTRACT NOTE: CONTRACT
AND SPECIFICATIONS TAKE
PRECEDENCE OVER THESE
DRAWINGS. ANY CONFLICT WILL
DEFAULT TO SAID DOCUMENTS.

ARCHITECTURAL SHINGLES
OVER 15# FELT OVER
CONVENTIONALLY FRAMED
RAFTERS AND CEILING JOISTS

2X6 #2SPF @ 16" O.C. WITH 1/
2" OSB SHEATHING A
STUCCO TO MATCH EXISTING
AS CLOSE AS POSSIBLE

MONOLITHIC
FOUNDATION EXTENSION
INTO THE EXISTING
GARAGE FOUNDATION

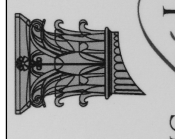
ENGINEER'S
DETAILS TAKE
PRECEDENCE!

FOOTAGES (A.N.S.I.):	
GARAGE EXTENSION:	471.85
SLAB AREA:	3,500.24
UNDER ROOF:	4,195.32

PROPOSED FLOOR PLAN & SECTION

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Design Drawings
provided by:



DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN SINCE 1998

DATE:

3/13/2017

SCALE:

1/4" = 1'-0"

SHEET:

A-5

BUILT BY:

GARY'S PAINTING & HOME SERVICE, LLC
ST AUGUSTINE, FL 32082
EMAIL: danielle.brizendine@comcast.net
904-495-5998
CRC1330952

PROJECT DESCRIPTION:

GARAGE EXTENSION FOR THE MALICK
FAMILY
10061 E. DEERCREEK CLUB ROAD
JACKSONVILLE, FL 32256
R/E#: 167801-0755

CLIENT APPROVAL SIGNATURE

DATE

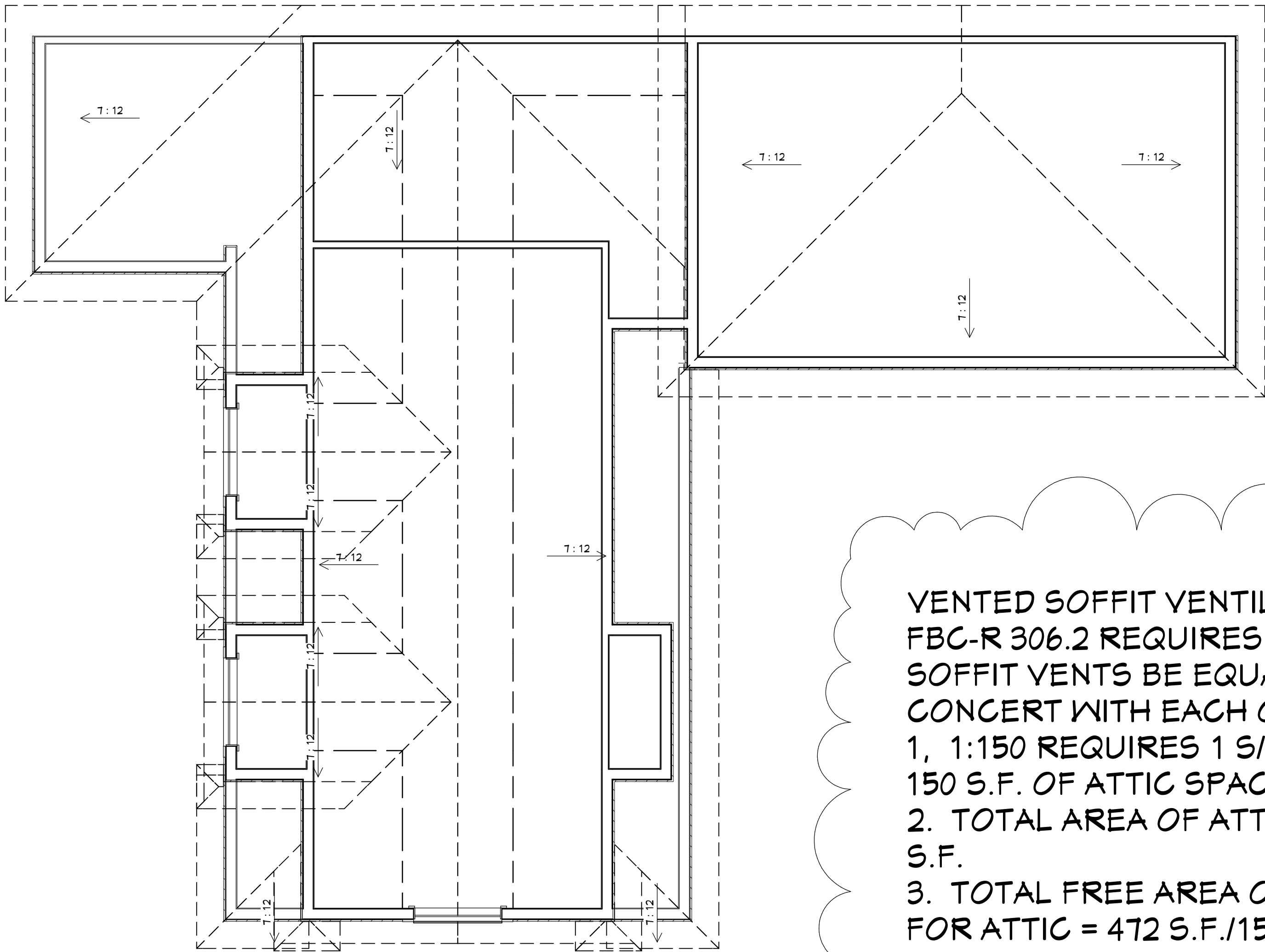
STEPHEN R. MALICK

JANICE L. MALICK

PLAN #

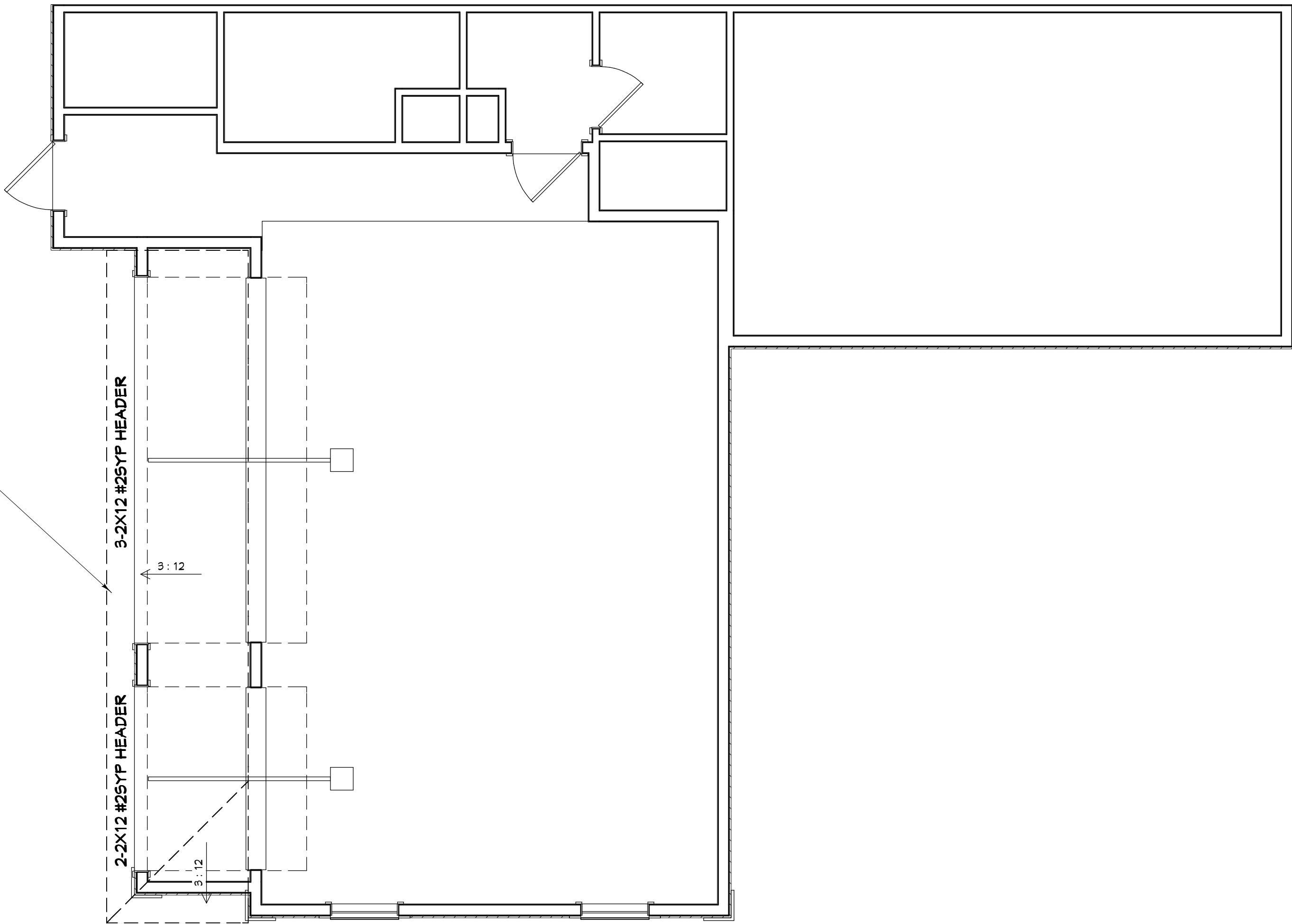
10061

NEW ROOF PITCH IS 3/12 AND IS
CONVENTIONALLY FRAMED WITH 2X6 #25YP
RAFTERS @ 24" O.C. AND 2X8 #25YP CEILING
JOISTS @ 24" O.C. THEN DECKED WITH 1/2" O.S.B.



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VENTED SOFFIT VENTILATION CALCULATIONS:
FBC-R 306.2 REQUIRES THAT OFF RIDGE VENTS AND
SOFFIT VENTS BE EQUALLY DISTRIBUTED IF USED IN
CONCERT WITH EACH OTHER
1. 1:150 REQUIRES 1 S/F OF VENTILATION FOR EVERY
150 S.F. OF ATTIC SPACE.
2. TOTAL AREA OF ATTIC TO BE VENTILATED = 472
S.F.
3. TOTAL FREE AREA OF VENTILATION REQUIRED
FOR ATTIC = $472 \text{ S.F.} / 150 = 3.15 \text{ S.F.}$
4. CONVERT SQUARE FEET INTO SQUARE INCHES =
 $3.15 \text{ S.F.} \times 144 = 453.60 \text{ SQ. INCHES}$
5. OFF-RIDGE VENT NOT BEING USED
6. TOTAL SOFFIT VENTILATION AREA REQUIRED =
AREA OF SOFFIT AVAILABLE FOR VENTILATION: 33.25
L.F. $\times 1.33 \text{ FT} = 44.22 \text{ SQ.FT.}$ VENTILATION AREA
REQUIRED PER SQ.FT. OF SOFFIT = $44.22 \text{ SQ.IN.} /$
 $453.60 \text{ SQ. FT.} = 0.097 \text{ SQ.IN./SQ.FT.}$



ROOF NOTES:
PITCH: 7/12
UNDERLAYMENT: SYNTHETIC
FELT (U.O.N.)
ROOFING: ARCH FIG SHINGLES
W/METAL ACCENTS
EAVE OVERHANG: 16"
GABLE OVERHANG: 12"
TRUSSED PER PLAN
SOFFITS: MATCH EXISTING
FASCIA: MATCH EXISTING

ROOF PLAN

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JACKSONVILLE, FL 32256
R/E#: 167801-0755

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provided by:
DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN SINCE 1999
904-730-7135

DATE:
3/13/2017
SCALE:
1/4" = 1'-0"
SHEET:
A-6

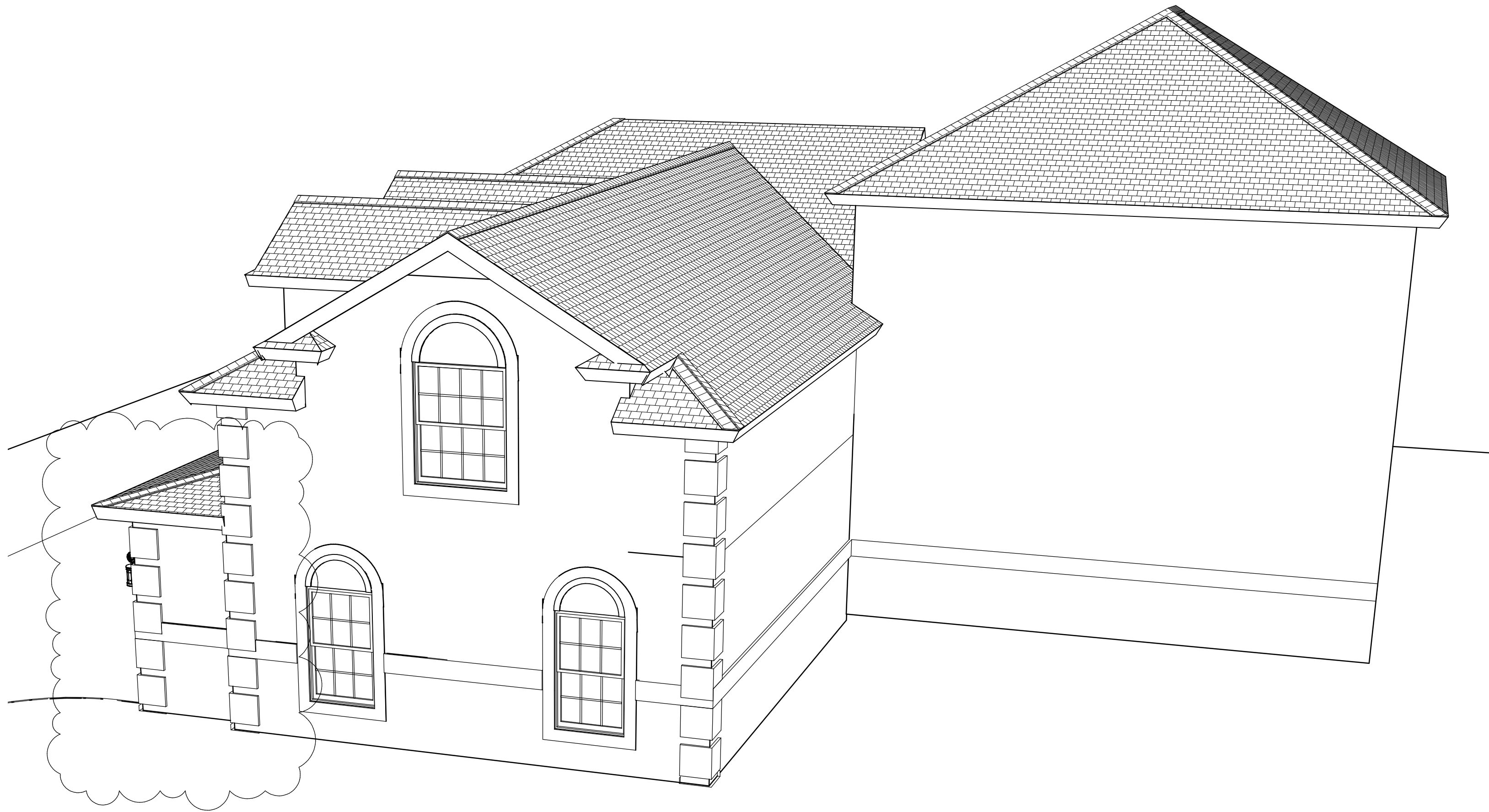
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JANICE L. MALICK
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10061

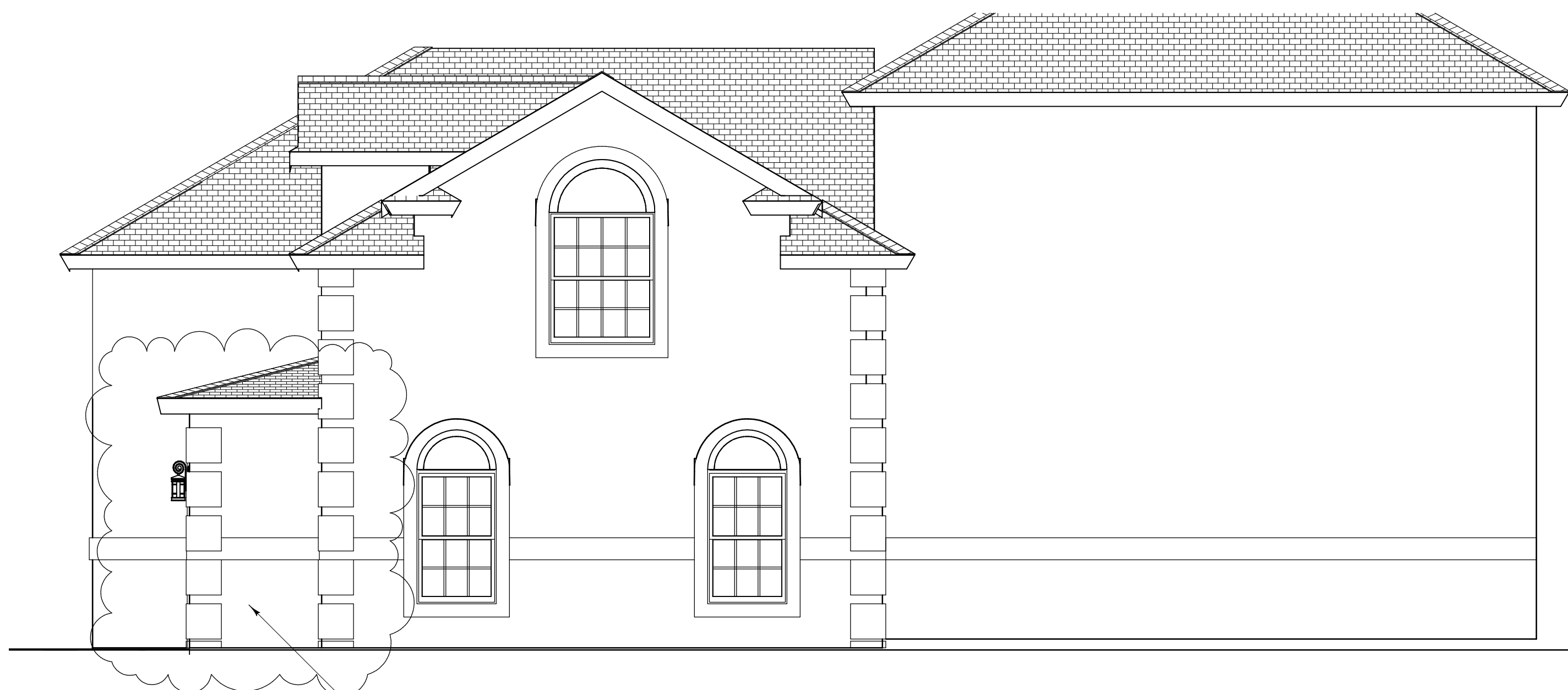


LEFT ELEVATION

EXTERIOR FINISHES:
STUCCO EXTERIOR TO MATCH EXISTING
SOFFITS & FASCIA TO MATCH EXISTING
STUCCO QUOINS TO MATCH EXISTING
GARAGE DOORS: REUSE EXISTING

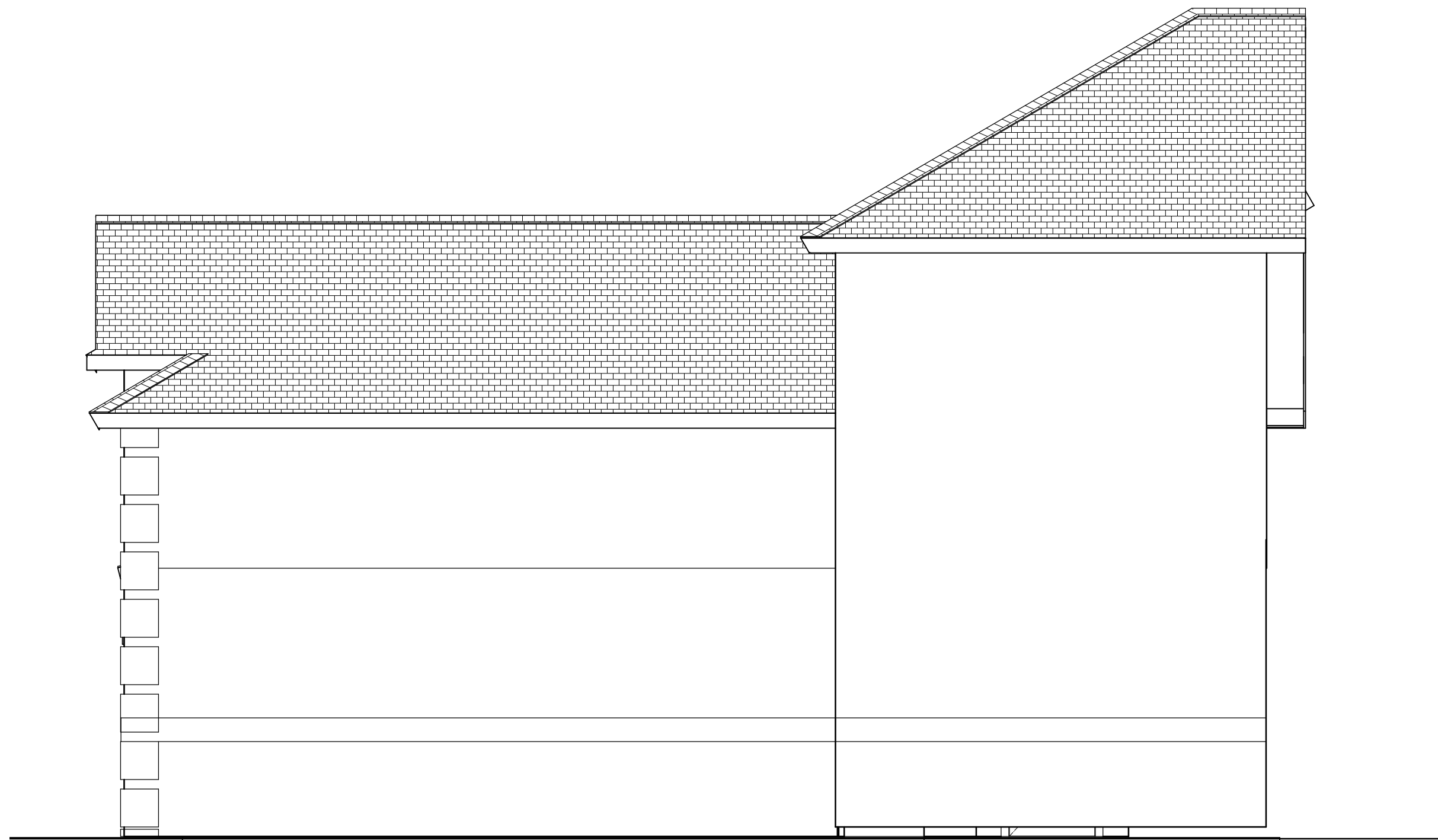


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FRONT ELEVATION

BUBBLED AREA DENOTES GARAGE EXTENSION



RIGHT ELEVATION

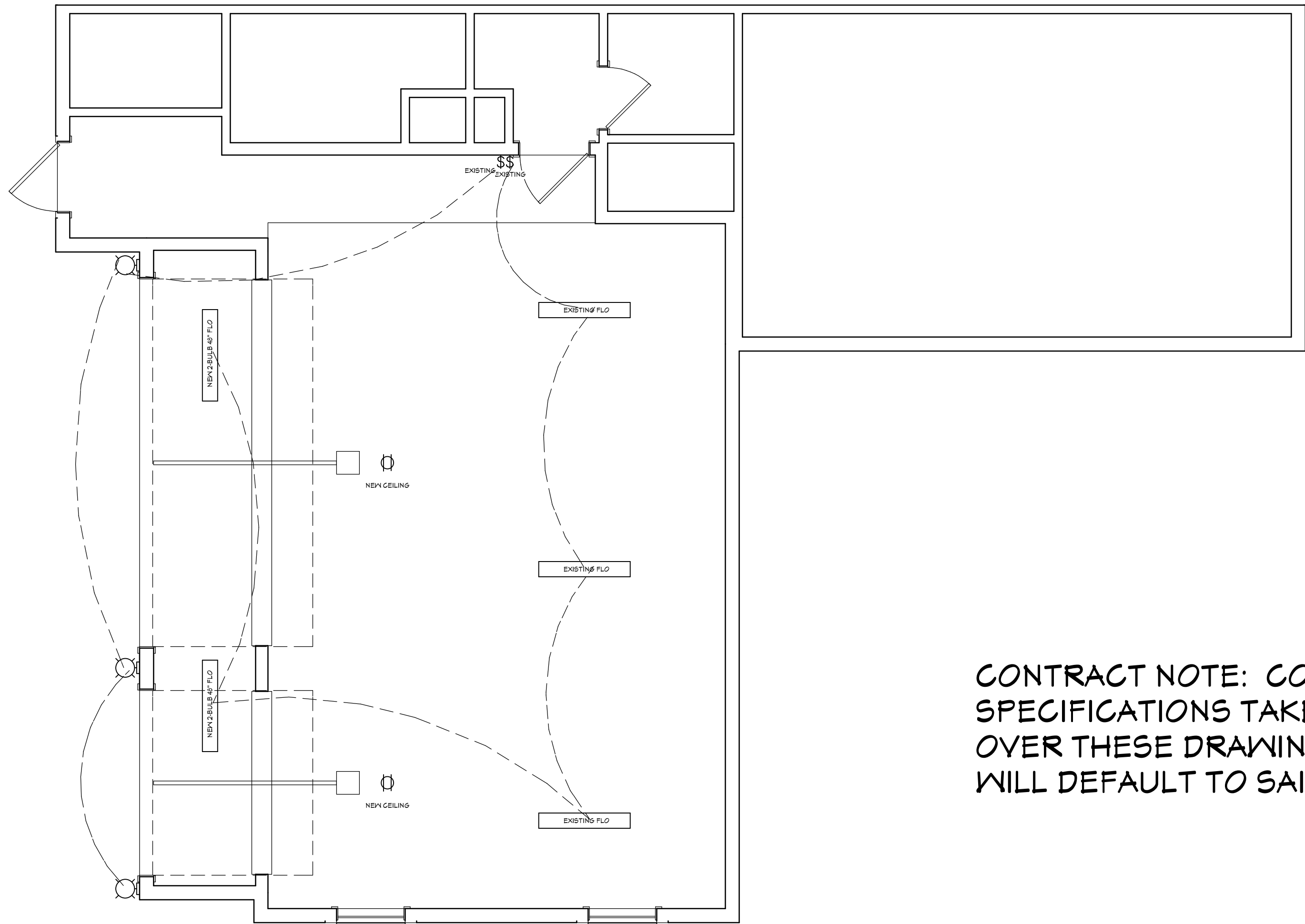
ELEVATIONS & ISOMETRICS

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PLAN # 10061		CLIENT APPROVAL SIGNATURE DATE	
		STEPHEN R. MALICK	
		JANICE L. MALICK	
BUILT BY: GARY'S PAINTING & HOME SERVICE, LLC ST AUGUSTINE, FL 32082 EMAIL: danielle.brizendine@comcast.net 904-495-5998 CRC1330952			
PROJECT DESCRIPTION: GARAGE EXTENSION FOR THE MALICK FAMILY 10061 E. DEERCREEK CLUB ROAD JACKSONVILLE, FL 32256 R/E#: 167801-0755			
Design Drawings provided by:  904-730-7135			
DATE: 3/13/2017			
SCALE: 1/4" = 1'-0"			
SHEET: A-7			

PER FBC-R-E3902.12 AFCI PROTECTION REQUIRED Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed AFCI, combination type.

PER FBC-R-E3901.7, NEC 210, E3901.7 & E3902.3 GFCI PROTECTION REQUIRED Bathrooms, garages, boathouses & accessory structures not intended as habitable rooms and limited to storage, work & similar uses. Outdoors, crawl spaces, unfinished basements, kitchen countertops. Outlets within 6 feet of laundry, utility or wet sinks. Balcony, deck or porch greater than 20 s.f. One at the front and back of the dwelling and at the condenser units.



EFFICACY NOTE: THE NEW FBC-R FBC EC R404.1 & R202 BUILDING CODE REQUIRES ALL INSIDE & OUTSIDE LIGHT FIXTURES WILL USE CFL OR LED LIGHT BULBS.

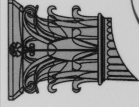
ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

- ELECTRICAL NOTES:
- EXISTING CEILING PLUGS TO BE USED TO WIRE NEW OUTLETS AND THEN BLANKED OFF
 - NEW CARRIAGE LIGHTS TO BE SWITCHED OFF OF EXISTING EAVE LIGHTS
 - ADD TWO NEW FLO'S AND WIRE TO THE EXISTING ONES IN THE CEILING

ELECTRICAL PLAN

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904-730-7135

PROJECT DESCRIPTION:

GARAGE EXTENSION FOR THE MALICK FAMILY
10061 E. DEERCREEK CLUB ROAD
JACKSONVILLE, FL 32256
R/E#: 167801-0755

BUILT BY:

GARY'S PAINTING & HOME SERVICE, LLC
ST AUGUSTINE, FL 32082
EMAIL: danielle.brizendine@comcast.net
904-495-5998
CRC1330952

CLIENT APPROVAL SIGNATURE

DATE

STEPHEN R. MALICK

JANICE L. MALICK

PLAN #

10061

DATE:

3/13/2017

SCALE:

1/4" = 1'-0"

SHEET:

A-8