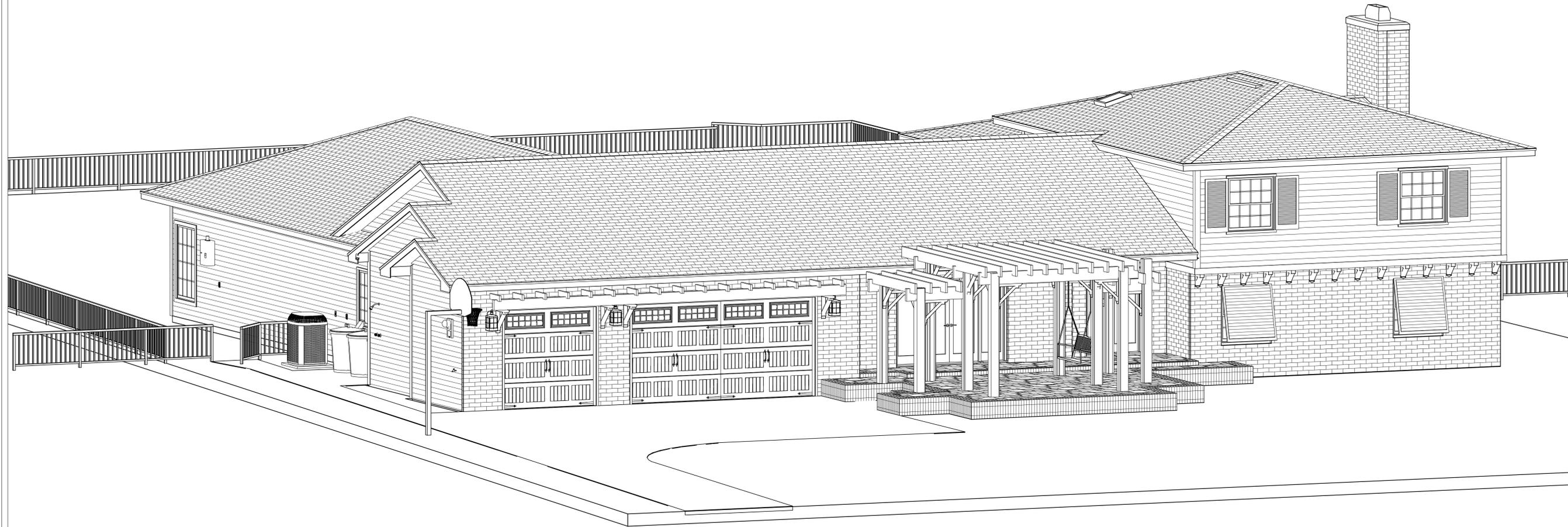


RENOVATIONS FOR THE STOVER FAMILY

PERMIT SET: 4/11/2017



238 PABLO ROAD
 PONTE VEDRA BEACH, FL 32082
 R/E #: 059040-0000

BUILT BY:



AMELIA ISLAND JACKSONVILLE PONTE VEDRA BEACH

904-206-9999

CGC 1519207

COVER PAGE

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PLAN #
4354

CLIENT APPROVAL SIGNATURE	DATE
LANCE STOVER	
KARA STOVER	

Design Drawings provided by:

 DESIGNS FOR LIVING
 904-730-7135

PROJECT DESCRIPTION:
RENOVATIONS FOR THE STOVER FAMILY
 238 PABLO ROAD
 PONTE VEDRA BEACH, FL 32082
 R/E #: 059040-0000

BUILT BY:

 904-206-9999

DATE:
4/11/2017

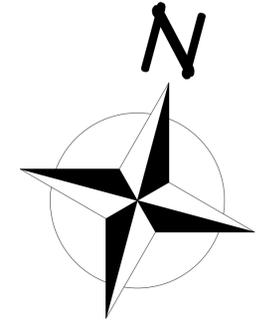
SCALE:
N.T.S.

SHEET:
A-1

SITE CALCULATIONS:
 TOTAL LAND AREA: 0.62 ACRES= 27,007 S.F.
 HOME COVERAGE: 4,712 S.F.
 % OF BUILDING COVERAGE: 17.447%
 PARKING & HVAC COVERAGE: 6,072 S.F.
 % OF STOOPS & HVAC COVERAGE: 22.483%
 TOTAL IMPERVIOUS: 39.93%

**SITE PLAN SUBJECT TO CONFIRMATION BY THE SURVEYOR
 BY DRAWING THE NEW PROPOSED ADDITION TO INSURE
 NO ENCROACHMENT ONTO THE SIDE SETBACKS**

LEGAL DESCRIPTION:
 R/E #: 059040-0000
 PONTE VEDRA SUBDIVISION
 LOT 17, BLOCK 64
 RECORDED O/R1415/353



PLAN #
4354

CLIENT APPROVAL SIGNATURE	DATE
LANCE STOVER	
KARA STOVER	

Design Drawings provided by:
DESIGNS FOR LIVING, INC.
 904-730-7135

PROJECT DESCRIPTION:
RENOVATIONS FOR THE STOVER FAMILY
 238 PABLO ROAD
 PONTE VEDRA BEACH, FL 32082
 R/E #: 059040-0000

CGC1519207
904-206-9999

BUILT BY:

DATE:

4/11/2017

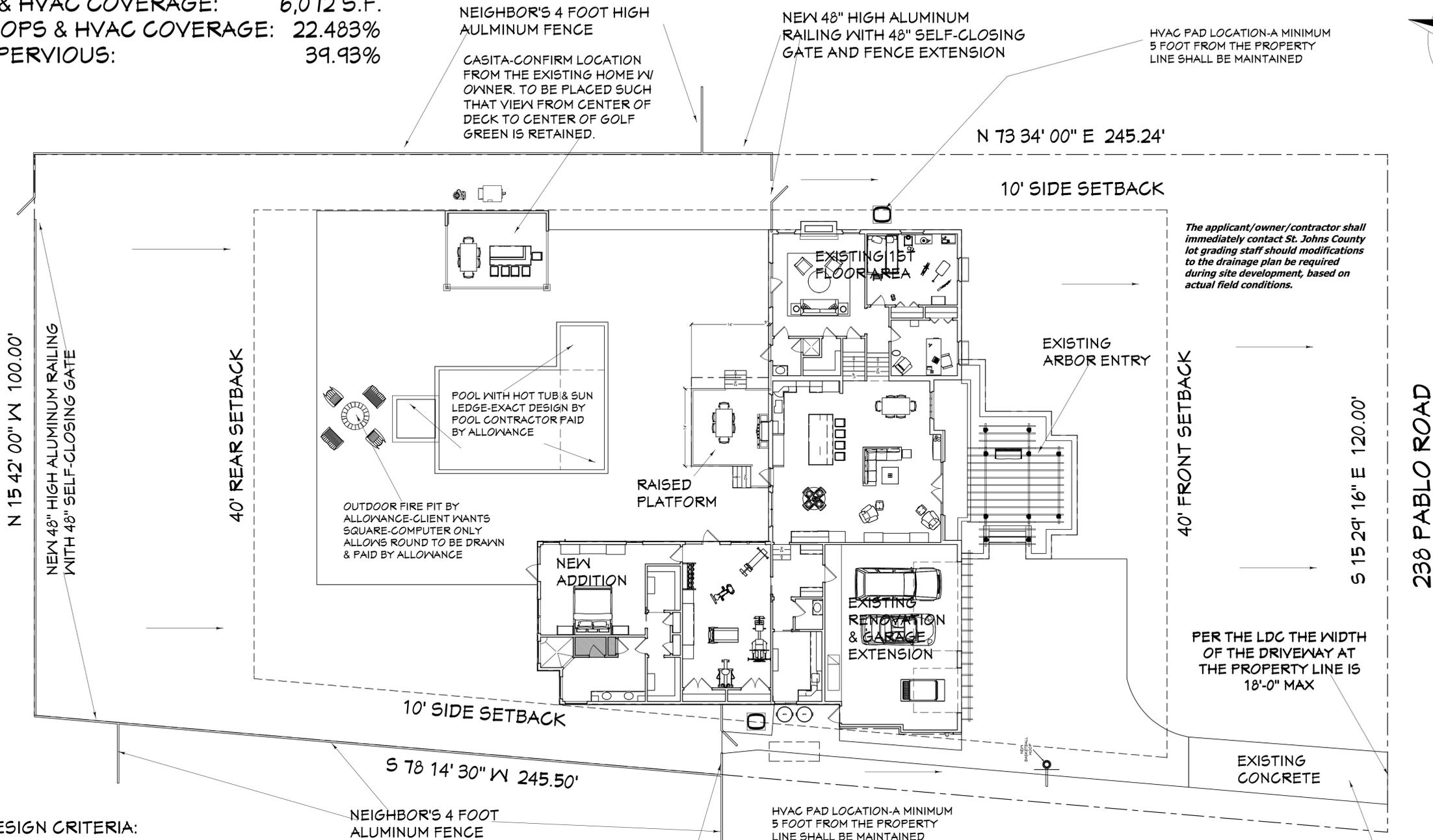
SCALE:

1" = 10'-0"

SHEET:

A-2

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WIND DESIGN CRITERIA:
 WIND SPEED: 130 MPH
 EXPOSURE CATEGORY: "D"
 BUILDING TYPE: ENCLOSED
 BUILDING CATEGORY: II
 IMPORTANCE FACTOR: 1.0
 TOPOGRAPHY: FLAT
 MEAN ROOF HEIGHT: -25 FT
 BUILDING CODE: 2014 FBC-R

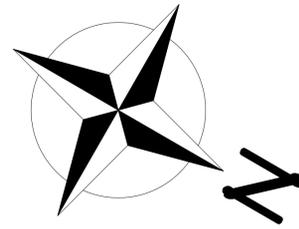
TYPE: "A" DRAINAGE

FLOOD ZONE: AH
 FEMA CERTIFICATES REQUIRED
 ALL EQUIPMENT MUST BE AT OR ABOVE
 THE BASE FLOOD ELEVATION REQUIRED BY
 ST. JOHNS COUNTY. SEE ELEVATIONS
 NOTED ON THE FOUNDATION SHEET A-3.

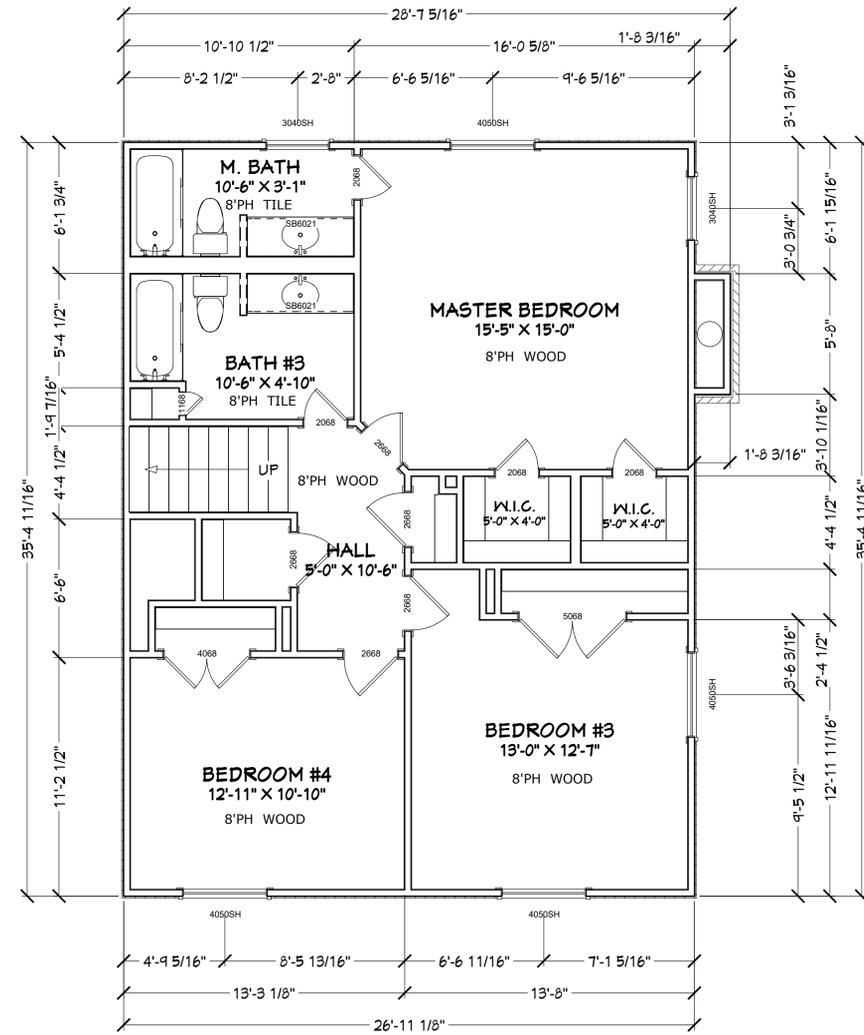
ZONING: R-1-B
SETBACKS:
 FRONT: 40'
 SIDES: 10' TO BODY
 REAR: 40'
 NOTE: SETBACKS ARE
 MEASURED TO THE
 STRUCTURE
 MAX. HEIGHT: 35'
 MAX. LOT COVERAGE: 40%

CLIENT WISHES TO MAINTAIN AS
 MUCH OF THE ORIGINAL CONCRETE
 DRIVEWAY AS POSSIBLE TO TIE
 INTO THE NEW DRIVEWAY AREA

SITE PLAN



PLAN NOTE: THESE PLANS WERE CREATING USING DOCUMENTS PROVIDED BY THE OWNER AND HAVE NOT BEEN FIELD VARIFIED. THEREFORE, THERE WILL MORE THAN LIKELY BE FIELD AJUSTMENTS TO BE MADE FROM TIME TO TIME WHICH IS THE BUILDERS RESPONSIBILITY!



FOOTAGES AS-BUILT (A.N.S.I.):	
1ST FLOOR HEATED:	1,935.75
2ND FLOOR HEATED:	921.36
TOTAL HEATED:	2,857.11
GARAGE:	629.19
FIREPLACE:	9.53
SLAB AREA:	2,574.47
TOTAL UNDER ROOF:	3,486.30

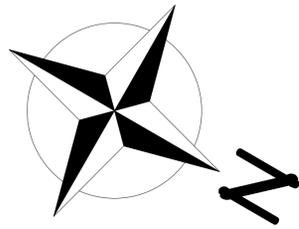
AS-BUILT 2ND FLOOR PLAN

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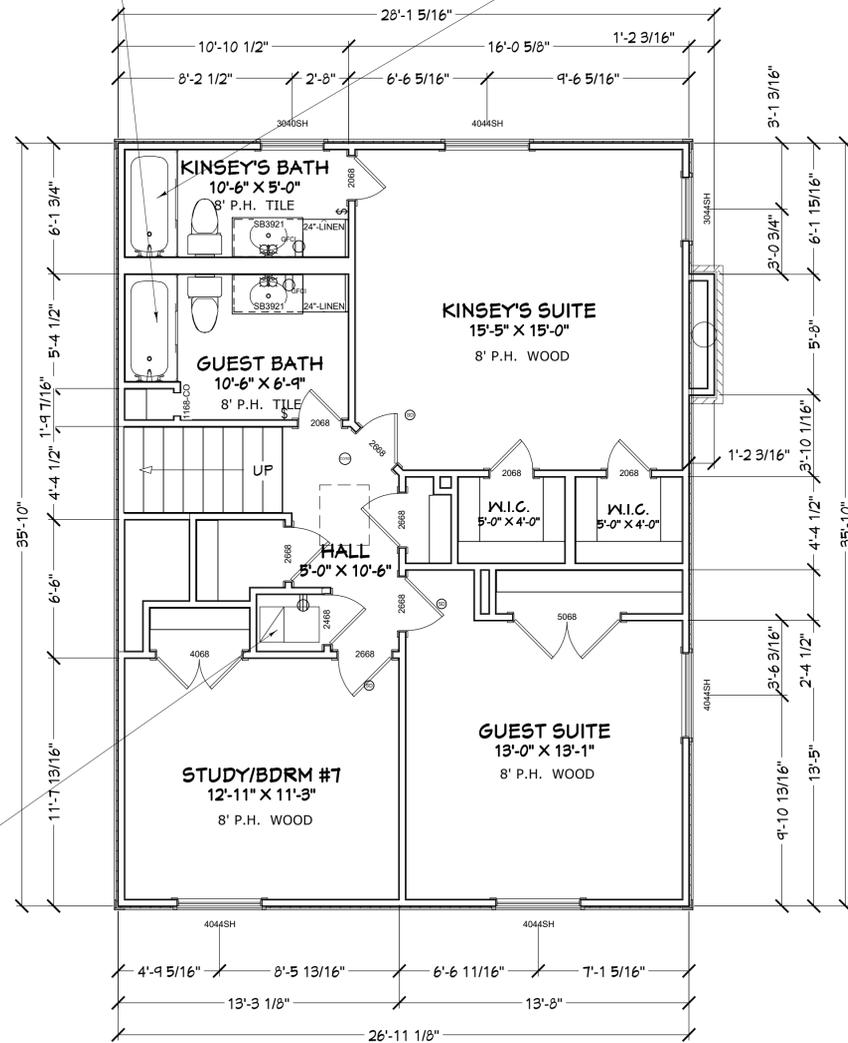
PLAN # 4354	CLIENT APPROVAL SIGNATURE LANCE STOVER KARA STOVER	DATE
 Design Drawings provided by: DESIGNS FOR LIVING <small>ARCHITECTURAL, INTERIOR, LANDSCAPE ARCHITECTURE</small> 904-730-7135		
PROJECT DESCRIPTION: RENOVATIONS FOR THE STOVER FAMILY 238 PABLO ROAD PONTE VEDRA BEACH, FL 32082 R/E #: 059040-0000		
BUILT BY:  CGC1519207 904-206-9999	DATE: 4/11/2017	SCALE: 1/4" = 1'-0"
SHEET: A-5		

BATHROOM SCOPE OF WORK:

1. REMOVE AND DISCARD TOILET, CABINETS, SIN, FIXTURES, KNEEWALL, TILE WAINSCOT AND FLOORING.
2. EXISTING TUBS TO REMAIN AND BE PROTECTED
3. INSTALL NEW PLUMBING FIXTURES, CABINETS, GRANITE TOPS, TILE FLOORING AND TUB/SHOWER WHITE 6X3 SUBWAYTILE SURROUND, AND LIGHT FIXTURES. REPAIR TRIM AS REQUIRED AND REPAINT ENTIRE BATHROOMS



NEW 2-ZONE 15 SEER, VARIABLE SPEED A/H INSTALLED IN NEW CLOSET TO FEED THE 1ST & 2ND FLOORS ON THIS SIDE OF THE HOME



PLAN NOTE: THESE PLANS WERE CREATING USING DOCUMENTS PROVIDED BY THE OWNER AND HAVE NOT BEEN FIELD VARIFIED. THEREFORE, THERE WILL MORE THAN LIKELY BE FIELD AJUSTMENTS TO BE MADE FROM TIME TO TIME WHICH IS THE BUILDERS RESPONSIBILITY!

SECTION R310

EMERGENCY ESCAPE AND RESCUE OPENINGS

R310.1 Emergency escape and rescue required. Basements, habitable attics and every sleeping room shall have at least one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, emergency egress and rescue openings shall be required in each sleeping room. Where emergency escape and rescue openings are provided they shall have a sill height of not more than 44 inches (1118 mm) above the floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with Section R310.3. The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. Emergency escape and rescue openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with Section R310.2. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.

Exceptions:

1. Basements used only to house mechanical equipment and not exceeding total floor area of 200 square feet (18.58 m2).
2. The emergency escape and rescue opening shall be permitted to open into a screen enclosure, open to the atmosphere, where a screen door is provided leading away from the residence.

R310.1.1 Minimum opening area.

All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m2).

Exception:

Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465 m2).

R310.1.2 Minimum opening height.

The minimum net clear opening height shall be 24 inches (610 mm).

R310.1.3 Minimum opening width.

The minimum net clear opening width shall be 20 inches (508 mm).

R310.1.4 Operational constraints.

Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys, tools or special knowledge.

R302.11 Fireblocking.

In combustible construction, fireblocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space.

Fireblocking shall be provided in wood-frame construction in the following locations:

1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:
 - 1.1. Vertically at the ceiling and floor levels.
 - 1.2. Horizontally at intervals not exceeding 10 feet (3048 mm).
2. At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
3. In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7.
4. At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion. The material filling this annular space shall not be required to meet the ASTM E 136 requirements.
5. For the fireblocking of chimneys and fireplaces, see Section R1003.19.
6. Fireblocking of cornices of a two-family dwelling is required at the line of dwelling unit separation.

R302.12 Draftstopping.

In combustible construction where there is usable space both above and below the concealed space of a floor/ceiling assembly, draftstops shall be installed so that the area of the concealed space does not exceed 1,000 square feet (92.9 m2). Draftstopping shall divide the concealed space into approximately equal areas. Where the assembly is enclosed by a floor membrane above and a ceiling membrane below, draftstopping shall be provided in floor/ceiling assemblies under the following circumstances:

1. Ceiling is suspended under the floor framing.
2. Floor framing is constructed of truss-type open-web or perforated members.

R302.12.1 Materials.

Draftstopping materials shall not be less than 1/2-inch (12.7 mm) gypsum board, 3/8-inch (9.5 mm) wood structural panels or other approved materials adequately supported. Draftstopping shall be installed parallel to the floor framing members unless otherwise approved by the building official. The integrity of the draftstops shall be maintained

PROPOSED 2ND FLOOR PLAN

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PLAN # 4354	
CLIENT APPROVAL SIGNATURE	DATE
LANCE STOVER	
KARA STOVER	
Design Drawings provided by:  DESIGNS FOR LIVING, LLC 238 PABLO ROAD PONTE VEDRA BEACH, FL 32082 904-730-7135 R/E #: 059040-0000	
PROJECT DESCRIPTION: RENOVATIONS FOR THE STOVER FAMILY 238 PABLO ROAD PONTE VEDRA BEACH, FL 32082 R/E #: 059040-0000	
BUILT BY:	CGC1519207
DATE:	4/11/2017
SCALE:	1/4" = 1'-0"
SHEET:	A-7

NEW DECORATIVE
ARBOR SYSTEM

RECYCLED
BRICK
VENEER

PROPOSED FRONT (NE) ELEVATION

NEW DECORATIVE
CORBELS

RECYCLED BRICK NOTE: PRIORITIES FOR RECYCLED BRICK
ARE FRONT OF HOUSE (TOP PRIORITY), BRICK VENEER
WRAPPED COLUMNS ON CASITA (SECOND PRIORITY), AND
BRICK LEDGE (THIRD PRIORITY) AT THE RAISED PLATFORM.

HORIZONTAL LAP SIDING
TO MATCH EXISTING

CORNER BOARDS TO
MATCH EXISTING

NEW REGULATION
SIZE BASKETBALL
ASSEMBLY

RECYCLED BRICK VENEER
WRAPPED COLUMNS

PROPOSED REAR (SW) ELEVATION

FRONT/REAR ELEVATIONS



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PLAN #
4354

CLIENT APPROVAL SIGNATURE DATE

LANCE STOVER
KARA STOVER



PROJECT DESCRIPTION:
**RENOVATIONS FOR THE STOVER
FAMILY**
238 PABLO ROAD
PONTE VEDRA BEACH, FL 32082
R/E #: 059040-0000

BUILT BY:
CGC1519207
904-206-9999
DESIGN FOR LIVING, LLC

DATE:
4/11/2017

SCALE:
1/4" = 1'-0"

SHEET:
A-8

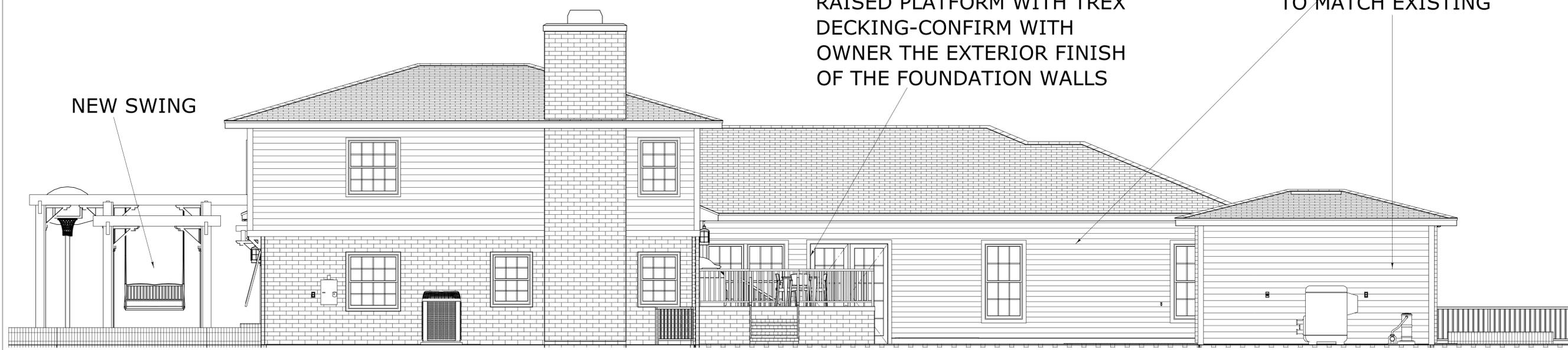


PROPOSED LEFT (SE) ELEVATION

RECYCLED BRICK NOTE: PRIORITIES FOR RECYCLED BRICK ARE FRONT OF HOUSE (TOP PRIORITY), BRICK VENEER WRAPPED COLUMNS ON CASITA (SECOND PRIORITY), AND BRICK LEDGE (THIRD PRIORITY) AT THE RAISED PLATFORM.

CORNER BOARDS TO MATCH EXISTING

NEW ELECTRIC METER LOCATION



PROPOSED RIGHT (NW) ELEVATION

RAISED PLATFORM WITH TREX DECKING-CONFIRM WITH OWNER THE EXTERIOR FINISH OF THE FOUNDATION WALLS

HORIZONTAL LAP SIDING TO MATCH EXISTING

FRONT/REAR ELEVATIONS

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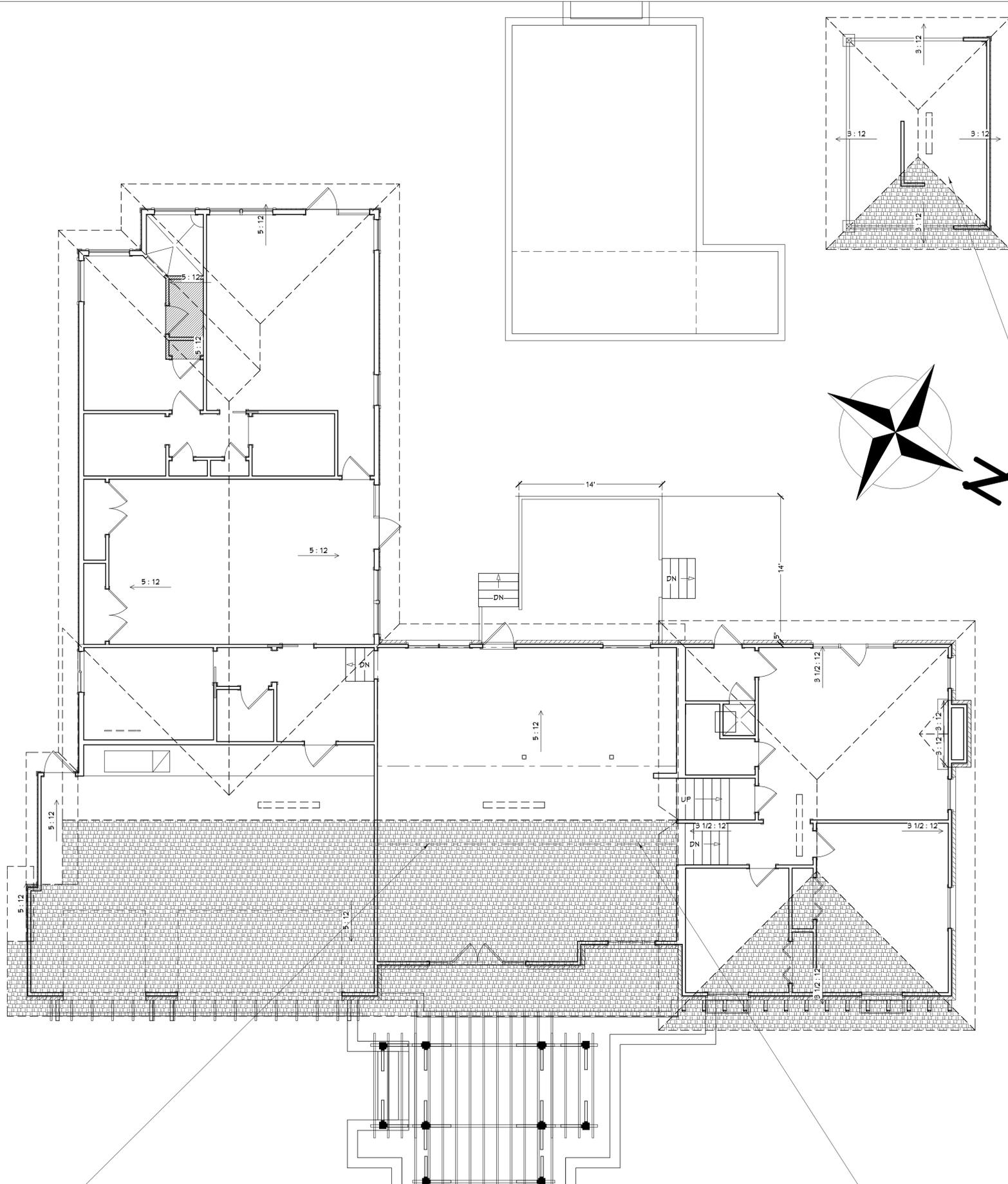
PROJECT DESCRIPTION:
RENOVATIONS FOR THE STOVER FAMILY
238 PABLO ROAD
PONTE VEDRA BEACH, FL 32082
R/E #: 059040-0000

BUILT BY:

DATE:
4/11/2017

SCALE:
1/4" = 1'-0"

SHEET:
A-9



ROOF NOTES:
 PITCH: MATCH EXISTING
 UNDERLAYMENT: SYNTHETIC FELT
 HEEL HEIGHT: STANDARD
 FASCIA: MATCH EXISTING
 SOFFITS: MATCH EXISTING
 ROOFING: ARCHITECTURAL SHINGLES
 EAVE OVERHANG: MATCH EXISTING
 ROOF SHEATHING: MATCH EXISTING THICKNESS
 FRAMING: TO BE CONVENTIONALLY FRAMED IN ORDER TO MARRY UP BETTER TO THE EXISTING STRUCTURE

NEW PORCH CEILING TO BE STAINED
 1X6 V-GROOVE T&G TRIMMED WITH
 4.25" SOLID CROWN PAINTED

INSULATION NOTES:

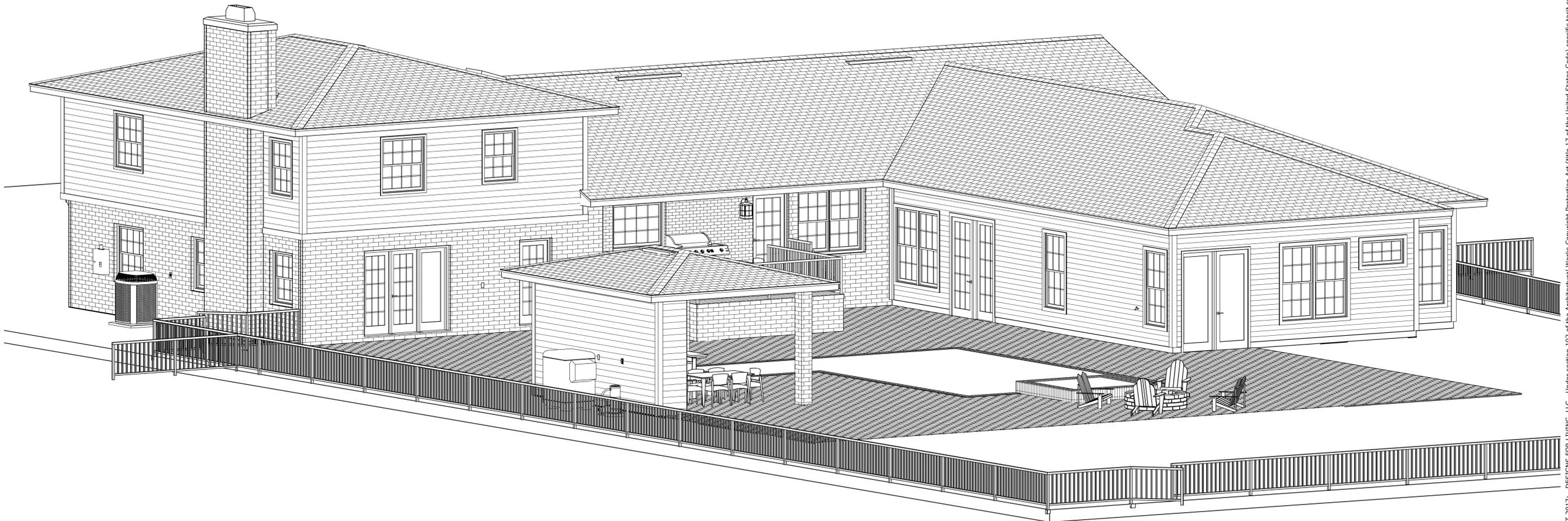
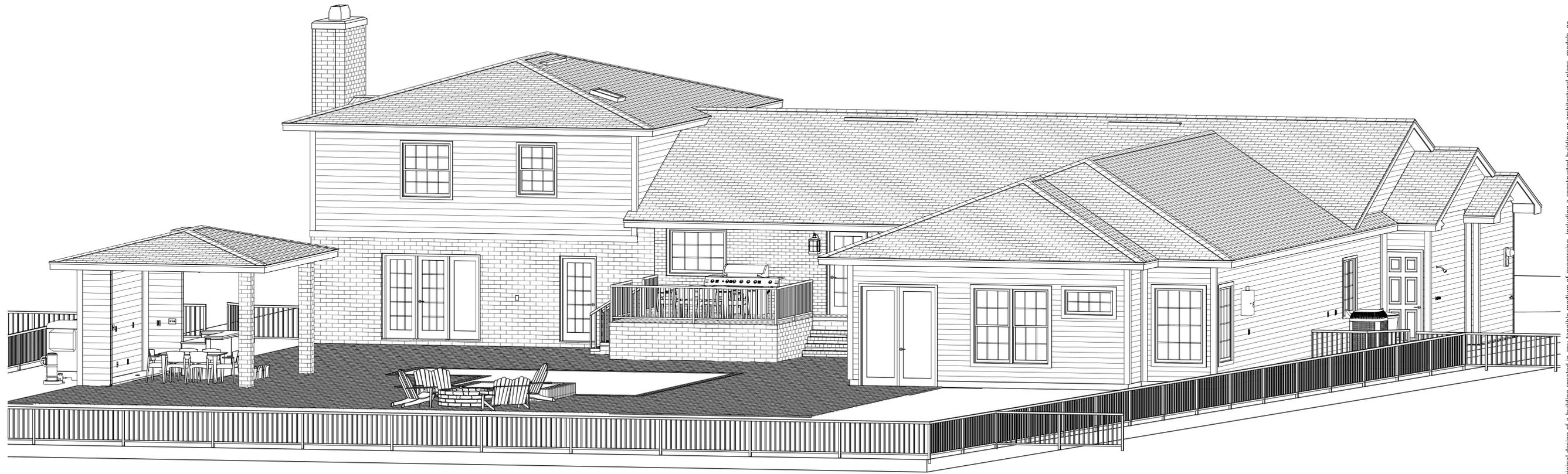
1. ATTICS: 5.5" OPEN CELL FOAM
2. RAISED FLOORS: 1" CLOSED CELL FOAM
3. WALLS: R-19 FIBERGLASS BATTS
4. KNEEWALLS: 5.5" OPEN CELL FOAM
5. EXISTING OFF-RIDGE VENT TO REMAIN AND BE BLOCK OFF AND FOAMED OVER
6. EXISTING ATTIC INSULATION TO BE REMOVED AND DISCARDED

KITCHEN, NOOK DINING & FAMILY ROOM TO BE SINGLE ASSEMBLY CEILING WITH MAXIMUM HEIGHT COLLAR TIE CREATING THE CEILING AT 10 FOOT PREFERRED

ROOF PLAN

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KARA STOVER	
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BUILT BY:	CGC1519207
DATE:	4/11/2017
SCALE:	1/4" = 1'-0"
SHEET:	A-10



ISOMETRIC VIEWS

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4354

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LANCE STOVER	
KARA STOVER	

Design Drawings provided by:

904-730-7135

PROJECT DESCRIPTION:
RENOVATIONS FOR THE STOVER FAMILY
 238 PABLO ROAD
 PONTE VEDRA BEACH, FL 32082
 R/E #: 059040-0000

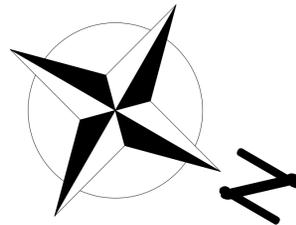
BUILT BY:

CGC1519207

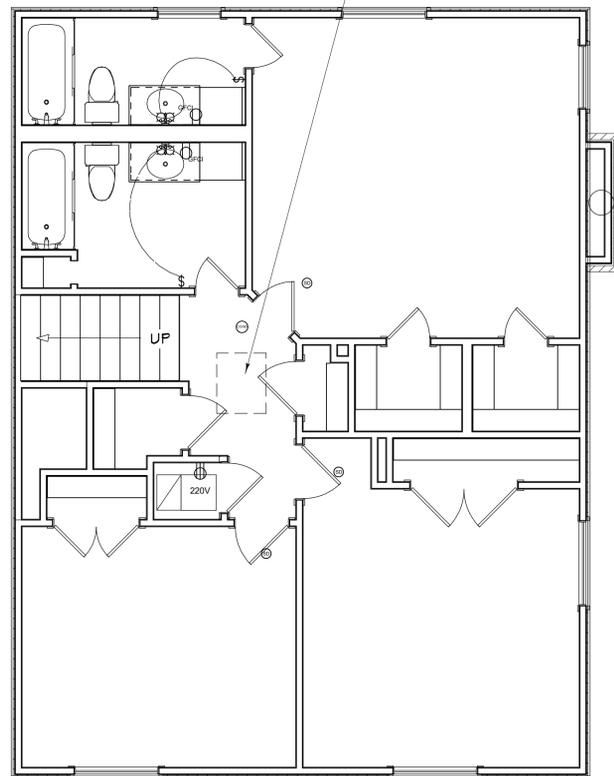
DATE:
4/11/2017

SCALE:
N.T.S.

SHEET:
A-11



PROVIDE POWER IN THE ATTIC FOR THE NEW HVAC SYSTEM



ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

PER FBC-R-E3902.12 AFCI PROTECTION REQUIRED Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed AFCI, combination type.

PER FBC-R-E3901.7, NEC 210, E3901.7 & E3902.3 GFCI PROTECTION REQUIRED Bathrooms, garages, boathouses & accessory structures not intended as habitable rooms and limited to storage, work & similar uses. Outdoors, crawl spaces, unfinished basements, kitchen countertops. Outlets within 6 feet of laundry, utility or wet sinks. Balcony, deck or porch greater than 20 s.f. One at the front and back of the dwelling and at the condenser units.

EFFICACY NOTE: THE NEW FBC-R FBC EC R404.1 & R202 BUILDING CODE REQUIRES ALL INSIDE & OUTSIDE LIGHT FIXTURES WILL USE CFL OR LED LIGHT BULBS.

NOTE: EXISTING ELECTRICAL OUTLETS AND CEILING FAN RECEPTACLES IN OFFICE/BEDROOM#4, LUKE'S SUITE, KINSEY'S SUITE, STUDY/BEDROOM #7, GUEST SUITE WILL REMAIN AND NOT BE MODIFIED

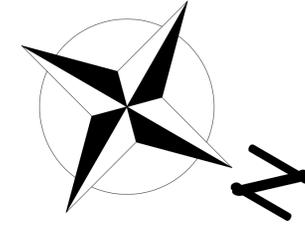
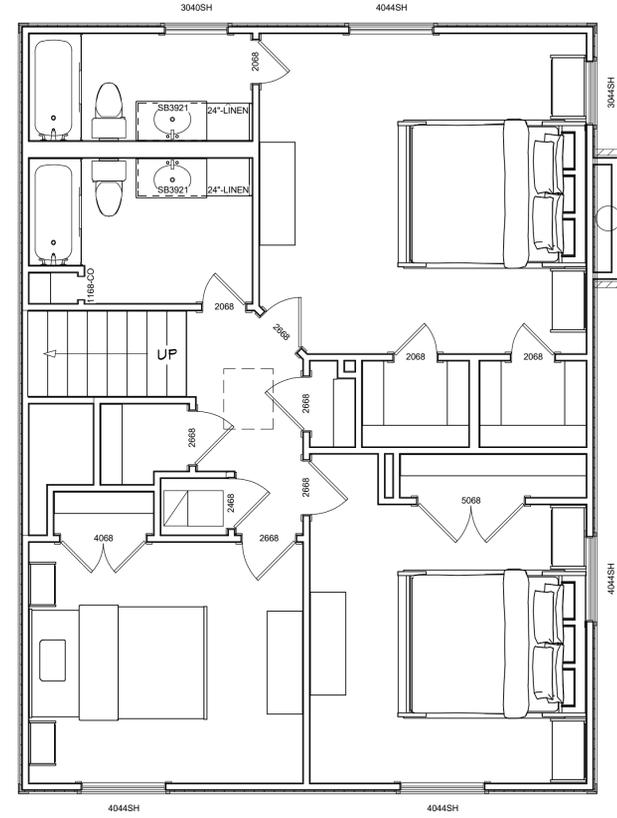
HOME TO BE PIPED FOR LP GAS AS FOLLOWS:
 RANGETOP, GRILL STUB, FIRE PIT, FIREPLACE, 2-TANKLESS WATER HEATERS & DRYER-CONFIRM ALL WITH OWNER. ALSO, THERE WILL BE A BURIED L.P. GAS TANK 150-300 GALLON-CONFIRM

2ND FLOOR ELECTRICAL PLAN

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PLAN # 4354	
CLIENT APPROVAL SIGNATURE	DATE
LANCE STOVER	
KARA STOVER	
Design Drawings provided by: DESIGNS FOR LIVING, LLC 904-730-7135	
PROJECT DESCRIPTION: RENOVATIONS FOR THE STOVER FAMILY 238 PABLO ROAD PONTE VEDRA BEACH, FL 32082 R/E #: 059040-0000	
BUILT BY: CGC1519207	DATE: 4/11/2017
SCALE: 1/4" = 1'-0"	SHEET: A-13

PLAN NOTE: THESE PLANS WERE CREATING USING DOCUMENTS PROVIDED BY THE OWNER AND HAVE NOT BEEN FIELD VARIFIED. THEREFORE, THERE WILL MORE THAN LIKELY BE FIELD AJUSTMENTS TO BE MADE FROM TIME TO TIME WHICH IS THE BUILDERS RESPONSIBILITY!



2ND FLOOR FURNITURE PLAN

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PLAN #
4354

CLIENT APPROVAL SIGNATURE	DATE
LANCE STOVER	
KARA STOVER	

Design Drawings provided by:

DESIGNS FOR LIVING, LLC.
ARCHITECTURAL, INTERIOR, LANDSCAPE DESIGN
904-730-7135

PROJECT DESCRIPTION:
RENOVATIONS FOR THE STOVER FAMILY
238 PABLO ROAD
PONTE VEDRA BEACH, FL 32082
R/E #: 059040-0000

BUILT BY:

CGC1519207
904-206-9999
CENTRAL FLORIDA CONSTRUCTION
CFC COMPANY

DATE:

4/11/2017

SCALE:

1/2" = 1'-0"

SHEET:

A-15