

ADDITION & RENOVATIONS FOR THE RASMUSSEN FAMILY

PERMIT SET 3/10/2017



11677 TYNDEL CREEK DRIVE
JACKSONVILLE, FL 32223
R/E #: 159008-5116
LOT 58, TYNDEL PLACE
BUILT BY: MALLEN CONSTRUCTION, INC.
10702 HOOD ROAD SOUTH
SUITE #8
JACKSONVILLE, FL 32257
OFFICE: 904-880-5580
CGC052055
PERMIT #: B17-828665.000

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PLAN #
1473

CLIENT APPROVAL SIGNATURE	DATE
JOHN D. RASMUSSEN, JR.	
KAREN RASMUSSEN	

BUILT BY:

MALLEN CONSTRUCTION, INC.
10702 HOOD ROAD SOUTH, SUITE 8
JACKSONVILLE, FLORIDA 32257
OFFICE: 904-880-5580
CGC052055

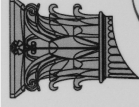
MALLEN



CONSTRUCTION, INC.

PROJECT DESCRIPTION:
ADDITON & RENOVATIONS FOR THE
RASMUSSEN FAMILY
11677 TYNDEL CREEK DRIVE
, JACKSONVILLE, FLORIDA 32223

Design Drawings
provided by:

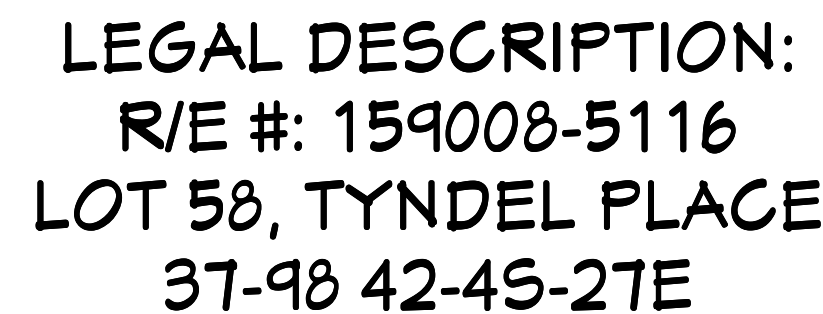

DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN SINCE 1999
904-730-7135

DATE:
3/10/2017

SCALE:
N.T.S

SHEET:
A-1

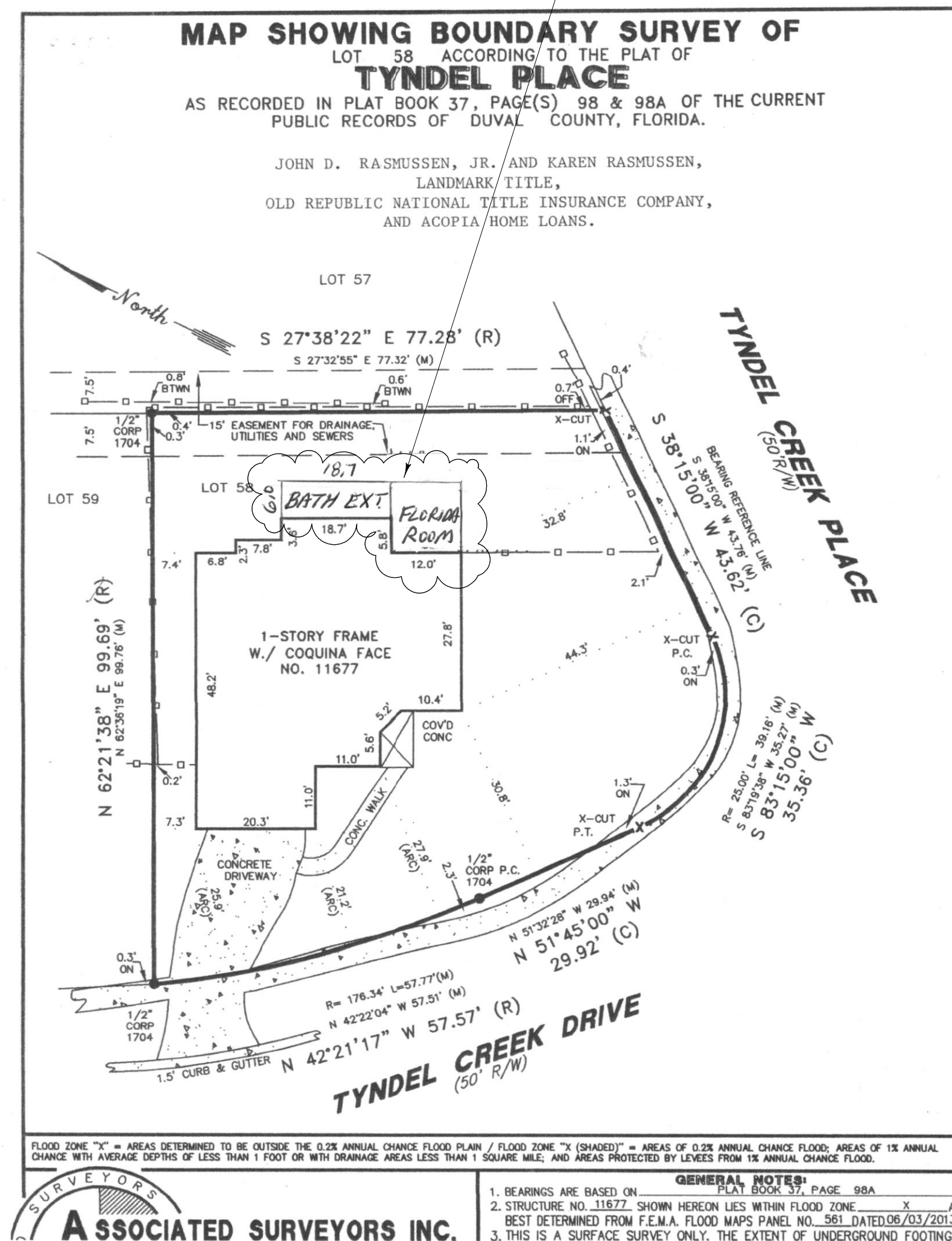
BUBBLED ARE
DENOTES NEW
ADDITION AREA



WIND DESIGN CRITERIA:
WIND SPEED: 130 MPH
EXPOSURE CATEGORY: "B"
BUILDING TYPE: ENCLOSED
BUILDING CATEGORY: II
IMPORTANCE FACTOR: 1.0
TOPOGRAPHY: FLAT
MEAN ROOF HEIGHT: -25 FT
BUILDING CODE: 2014 FBC-R

WATER: JEA
SEWER: JEA
ELECTRIC: JEA

IMPORTANT NOTE: CONTRACT
DOCUMENTS TAKE PRECEDENCE
OVER THESE DRAWINGS!



11677 TYNDEL CREEK DRIVE

ZONING: RLD-60
SETBACKS:
PRIMARY FRONT: 20'
SECONDARY FRONT: 10'
SIDES: 5'

10/27/2016

Property Address - Property Details

RASMUSSEN JOHN D JR
11677 TYNDAL CREEK DR
JACKSONVILLE, FL 32223
RASMUSSEN KAREN

Primary Site Address
11677 TYNDAL CREEK DR
Jacksonville FL 32223

Official Record Book/Page
16606-00343

Title #
7609

11677 TYNDAL CREEK DR
Property Detail

RE #	159008-5116
Property Use	GS
Tax District	0100 Single Family
# of Buildings	1
Legal Desc.	For full legal description see Land & Legal section below
Subdivision	036568 TYNDAL PLACE
Total Area	7640

The sale of this property may result in higher property taxes. For more information go to [Save Our Homes](#) and our [Property Tax Estimator](#). In Progress: Property values, exemptions and other important information on this page are part of the working tax roll and are subject to change. Certified values listed in the Value Summary are those certified in October, but include any official changes made after certification. [Learn how this Property Assessment](#) affects your property.

Value Summary

	2016 Certified	2017 In Progress
Value Method	CAMA	CAMA
Total Building Value	\$87,576.00	\$86,988.00
Extra Feature Value	\$1,266.00	\$1,266.00
Land Value (Market)	\$39,500.00	\$39,500.00
Land Value (Agricult.)	\$0.00	\$0.00
Just (Market) Value	\$119,362.00	\$118,774.00
Assessed Value	\$103,486.00	\$103,486.00
Cap off/Portability Amt	\$15,876.00 / \$0.00	\$15,288.00 / \$0.00
Exemptions	\$0.00	See below
Taxable Value	\$53,486.00	See below

Taxable Values and Exemptions – In Progress

Taxable Values and Exemptions – In Progress

If there are no exemptions applicable to a taxing authority, the Taxable Value is the same as the Assessed Value listed above in the Value Summary box.

County/Municipal Taxable Value	SRWMD/FIND Taxable Value	School Taxable Value
Assessed Value \$103,486.00	Assessed Value \$103,486.00	Assessed Value \$103,486.00
Homestead (HX) -\$25,000.00	Homestead (HX) -\$25,000.00	Homestead (HX) -\$25,000.00
Homestead Banding 196.031(1)(b) (HB) -\$25,000.00	Homestead Banding 196.031(1)(b) (HB) -\$25,000.00	
Taxable Value \$53,486.00	Taxable Value \$53,486.00	Taxable Value \$78,486.00

Book/Page	Sale Date	Sale Price	Deed Instrument Type Code	Qualified/Unqualified	Vacant/Improved
16606-0343	11/15/2013	\$135,000.00	WD - Warranty Deed	Qualified	Improved
06868-0146	2/28/1990	\$100.00	QC - Quit Claim	Unqualified	Improved
06034-0442	9/27/1985	\$75,900.00	WD - Warranty Deed	Unqualified	Improved
05224-01859	2/22/1985	\$14,000.00	WD - Warranty Deed	Unqualified	Vacant
05864-00566	9/20/1984	\$11,500.00	WD - Warranty Deed	Unqualified	Vacant

Extra Features							
LN	Feature Code	Feature Description	Bldg.	Length	Width	Total Units	Value
1	FPPR7	Fireplace Prefab	1	0	0	1.00	\$542.00
2	SCPR2	Screen Porch	1	12	10	120.00	\$744.00

[illegible]

Buildings Building 1 Building 1 Site Address 11677 TYNDEL CREEK DR Unit Jacksonville FL 32223	<table border="1"> <thead> <tr> <th>Element</th><th>Code</th><th>Detail</th></tr> </thead> <tbody> <tr> <td>Exterior Wall</td><td>6</td><td>6 Vertical Sheet</td></tr> </tbody> </table>	Element	Code	Detail	Exterior Wall	6	6 Vertical Sheet	
Element	Code	Detail						
Exterior Wall	6	6 Vertical Sheet						

Building Type	0101 - SFR 1 STORY
Year Built	1985
Building Value	\$86,988.00

TYPE	Gross Area	Husted Area	Effective Area	Int. Flooring	11	11 Cr Clay Tile
Finished Garage	400	0	200	Int. Flooring	14	14 Carpet
Finished Open Porch	28	0	8	Heating Fuel	4	4 Electric
				Heating Type	4	4 Forced-Ducted
				Air Cond	3	3 Central
Base Area	1473	1473	1473			
Adds Additional Area	0	0	0			
Total	1901	1473	1681			



Base Area	1473	1473	1473
Adds Additional Area	0	0	0
Total	1901	1473	1681

Element	Code	
Stairies	1.000	
Bedrooms	3.000	
Baths	2.000	
Rooms / Units	1.000	

2016 Notice of Proposed Property Taxes Notice (TRIM Notice)
http://apps.coj.net/PAO_PropertySearch/Basic/Detail.aspx?RE=1590085116 1/

FLOOD_ZONE: "X"

SITE PLAN:

PLAN #
1473

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KAREN RASMUSSEN	

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MALLEN



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CGC0352055

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provided by:



DESIGNS *for* LIVING LLC
RESIDENTIAL DESIGN SINCE 1969

704.730.7135

DATE:

3/10/2017

SCALE:

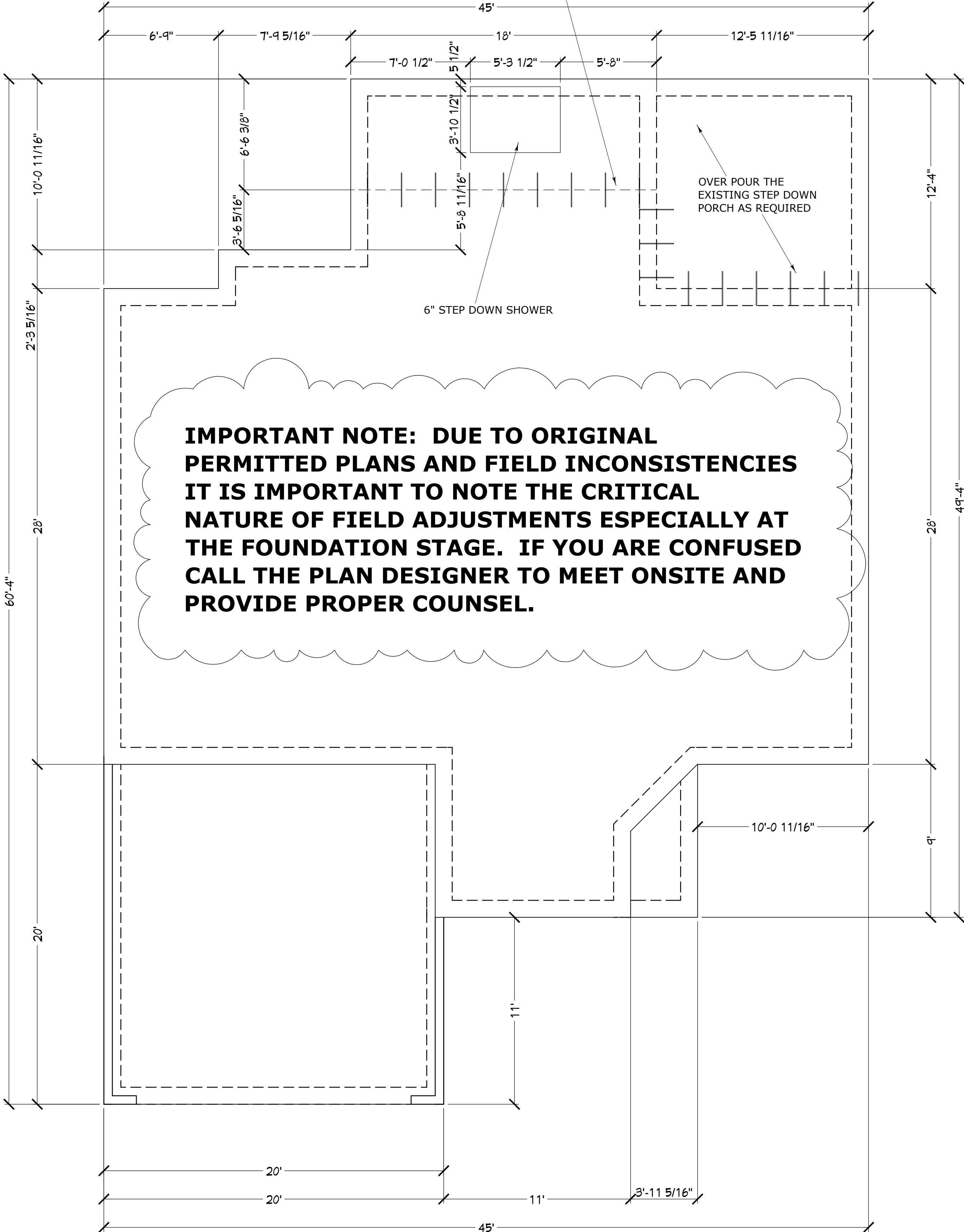
$$1' = 20'-0''$$

SHEET:

A-2

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24" #4 RODS EMBEDDED INTO THE
EXISTING FOUNDATION 12"-TYPICAL.
STRUCTURAL ENGINEERING PLANS



FOUNDATION NOTES: MONOLITHIC
SLAB AND INTEGRAL FOOTERS-
TYPICAL WITH 12X20 FOOTERS W/2-
#5 REBAR CONTINUOUS ON CHAIRS
@ 6 FOOT O.C.

4" SLAB WITH FIBERMIX
REINFORCEMENT 0.75 LBS/CY

IMPORTANT: CONSULT ENGINEERS
DRAWINGS FOR FOOTER SIZES. IF
THERE IS A DIMENSIONAL
CONFLICT BETWEEN HIS DRAWINGS
AND THESE STOP WHAT YOU ARE
DOING AND CALL THE PLAN
DESIGNER FOR CLARIFICATION

IMPORTANT NOTE: CONTRACT
DOCUMENTS TAKE PRECEDENCE
OVER THESE DRAWINGS!

FOUNDATION PLAN

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KAREN RASMUSSEN	

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MALLEN
MALLEN CONSTRUCTION, INC.
10702 HOOD ROAD SOUTH, SUITE 8
JACKSONVILLE, FLORIDA 32257
OFFICE: 904-880-5580
CGC032055

PROJECT DESCRIPTION:

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, JACKSONVILLE, FLORIDA 32223

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904-730-7135

DATE:

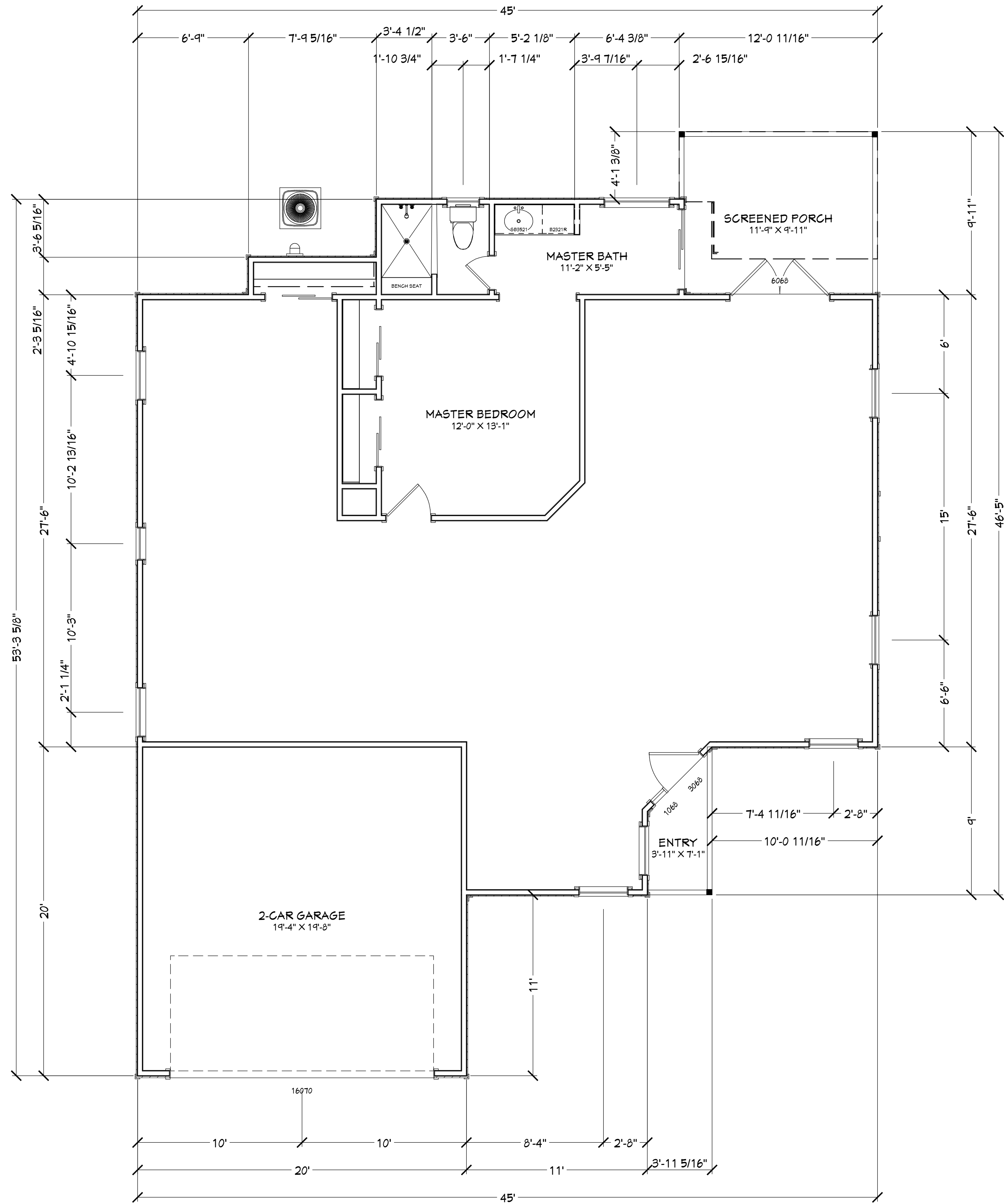
3/10/2017

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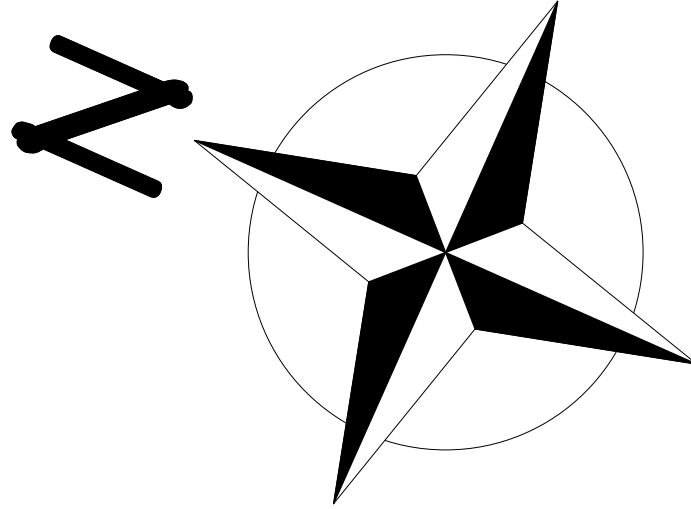
1/4" = 1'-0"

SHEET:

A-3



IMPORTANT NOTE: CONTRACT DOCUMENTS TAKE PRECEDENCE OVER THESE DRAWINGS!



- GENERAL NOTES:**
- 1. HOME BUILT IN 1985
 - 2. ALL PLATE HEIGHTS ARE 8'-1&1/8"
 - 3. 2X4 FRAME CONSTRUCTION
 - 4. ROOF IS TRUSSED

AS-BUILT FOOTAGES	
(A.N.S.I.):	
SCREENED PORCH:	121
2-CAR GARAGE:	400
HEATED:	1473
ENTRY:	28
SLAB AREA:	2,022
UNDER ROOF:	2,022

AS-BUILT - FLOOR PLAN

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CGC032055

MALLEN

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11677 TYNDEL CREEK DRIVE
, JACKSONVILLE, FLORIDA 32223

Design Drawings
provided by:

DESIGNS FOR LIVING, LLC

RESIDENTIAL DESIGN SINCE 1998

904-730-7135

DATE:

3/10/2017

SCALE:

1/4" = 1'-0"

SHEET:

A-4

This architectural elevation drawing shows a single-story house with a gabled roof. The roof is covered in brickwork, and there are two brick chimneys. The front facade features a central entrance with a six-pane door, flanked by windows. To the right of the entrance is a large window with a decorative transom. The house has a front porch with a railing. The drawing is a black and white line art illustration.

An architectural elevation drawing of a single-story house. The house features a gabled roof with a brick chimney on the left side. The main body of the house is white with three windows: a tall double-hung window on the left, a small square window in the center, and another tall double-hung window on the right. A small air conditioning unit is visible on the far left. The roof is shown with a brick pattern, and the overall style is a clean line drawing with some shading for texture.

This architectural elevation drawing shows a single-story house. The roof is covered in brick and features a gable on the left side. The exterior walls are finished with horizontal siding. On the left, there is a large two-car garage with a double door. To the right of the garage is a small square window. Further right is a front entrance with a door that has a decorative transom and a small side window. To the right of the entrance is another square window. The house is shown from a side-on perspective, with a flat ground line at the base.

This architectural elevation drawing shows the front facade of a house. The roof is covered in brickwork. The main body of the house has a white gable end. On the left, there is a covered porch with a glass door and two windows. To the right of the porch, there are two more windows. Further right, there is a small square window and a door. On the far right, there is a large window and a small air conditioning unit mounted on the wall.

AS-BUILT ELEVATIONS

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DESIGNS *for* LIVING
LLC
RESIDENTIAL DESIGN SINCE 1959

904-730-7135

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CGC052055

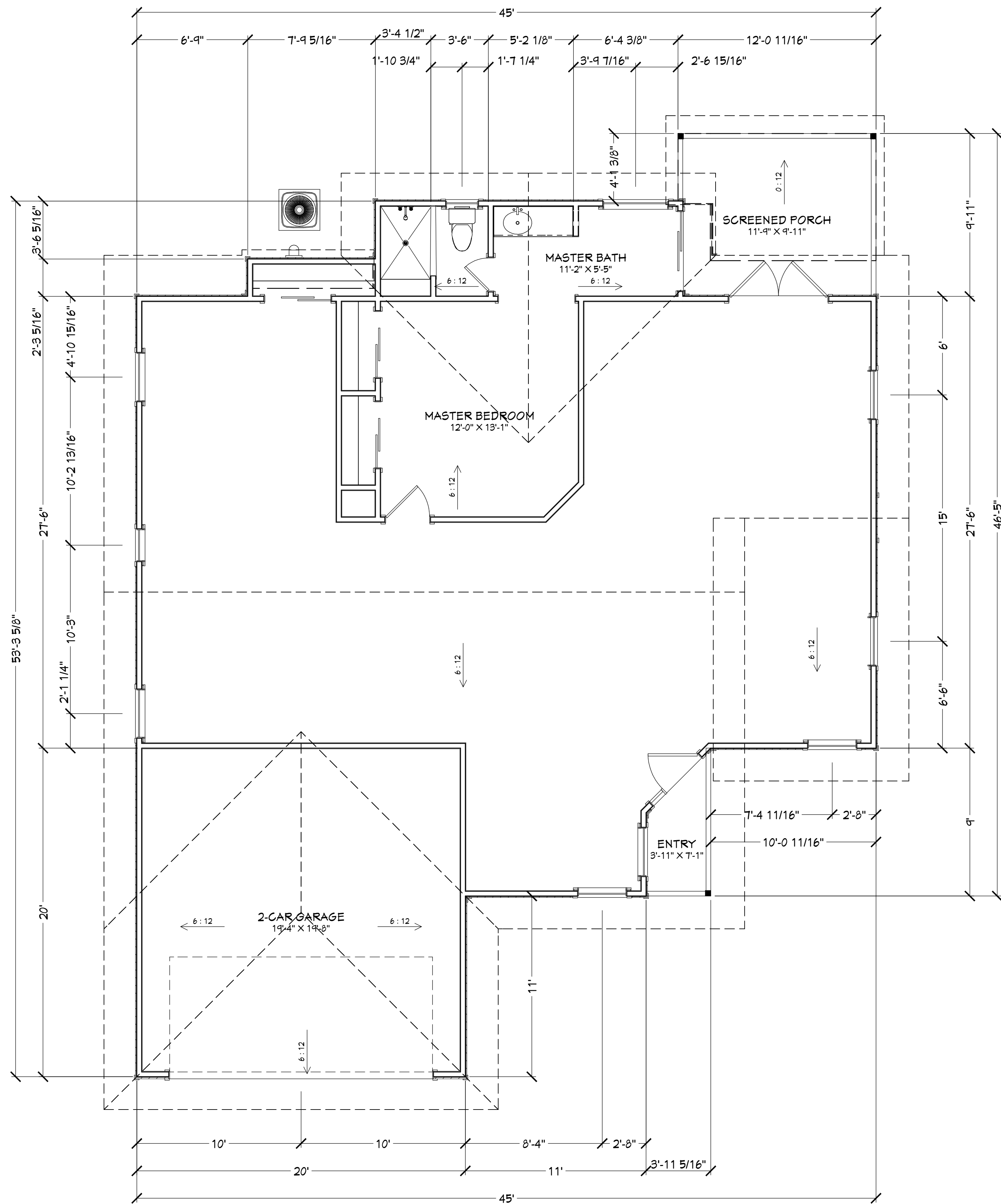
8

CLIENT APPROVAL SIGNATURE	DATE
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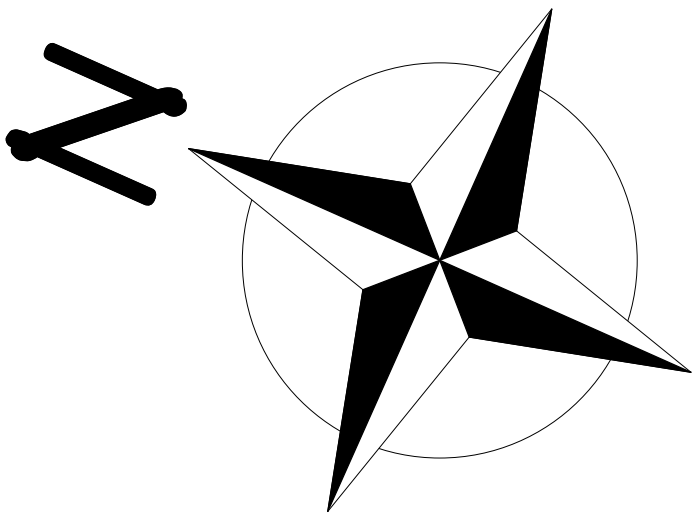
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AS-BUILT ROOF NOTES:
FASCIA: SQUARE CUT
EAVE OVERHANG: 24"
FASCIA: WOOD
SOFFITS: WOOD
SHINGLES: ARCH FIBERGLASS
ROOF PITCH: 6/12
TYPE FRAMING: TRUSSED
TRUSS HEELS: STANDARD
VENTS: OFFRIDGE

IMPORTANT NOTE: CONTRACT DOCUMENTS TAKE PRECEDENCE OVER THESE DRAWINGS!



AS-BUILT ROOF PLAN

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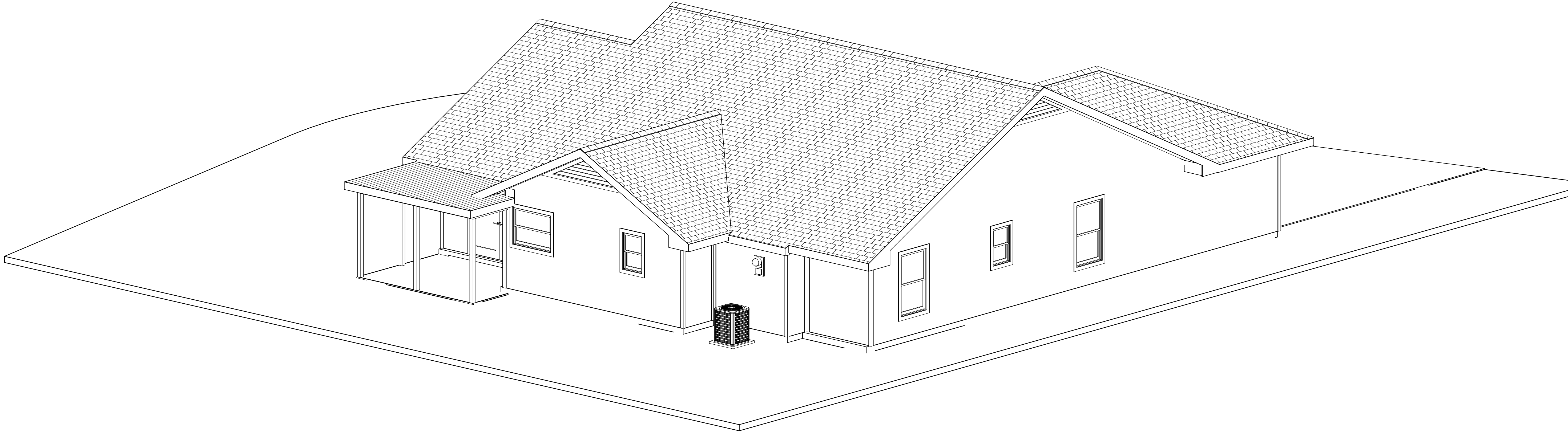
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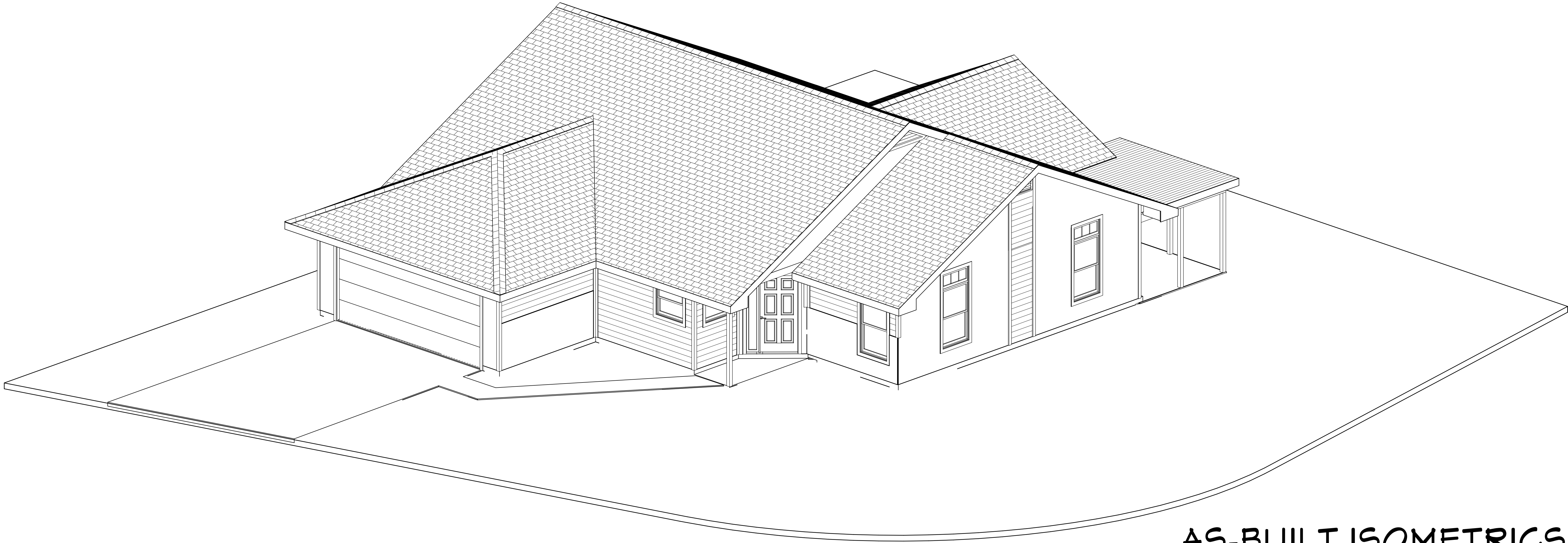
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SHEET:

A-6



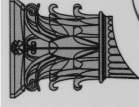
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AS-BUILT ISOMETRICS

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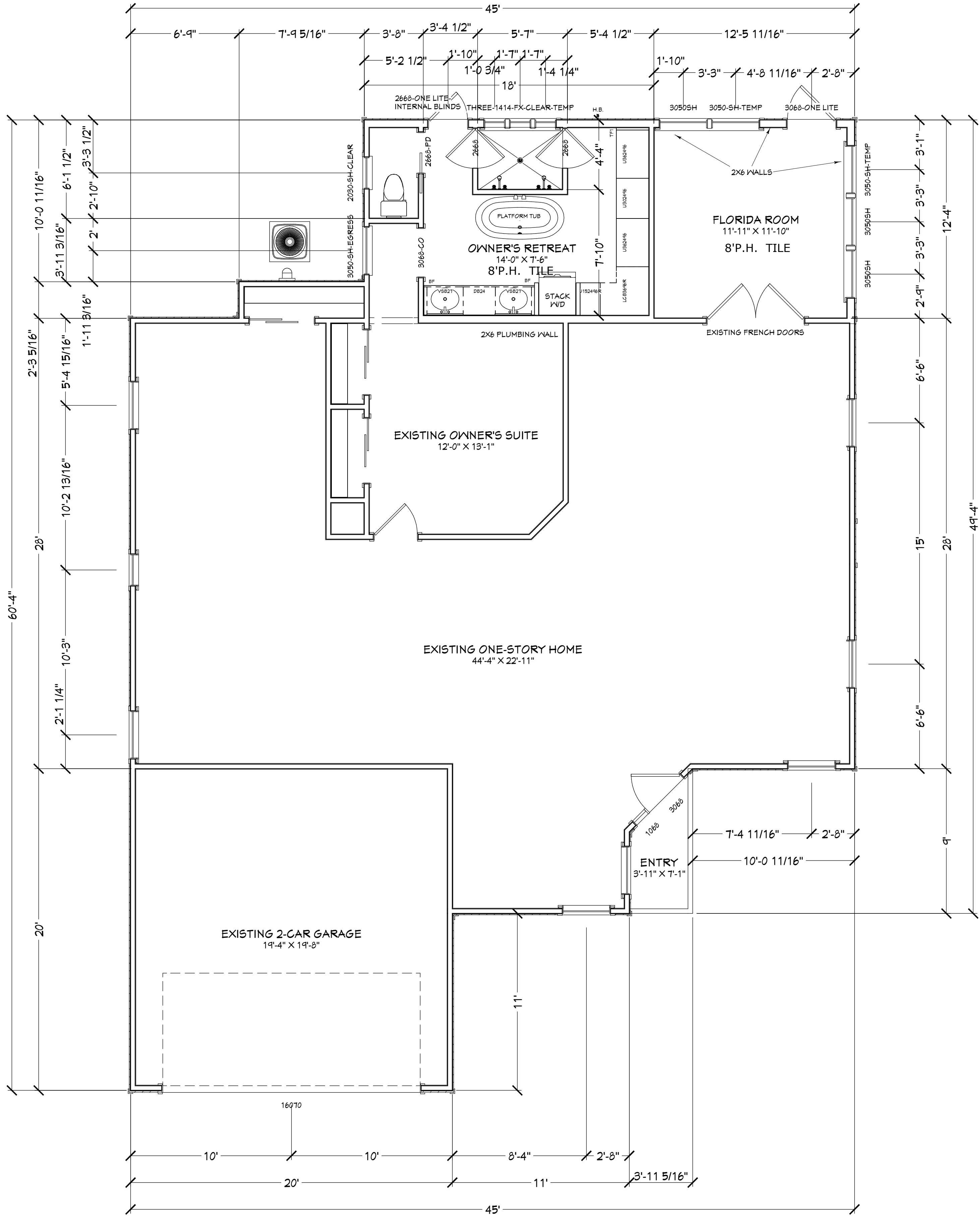
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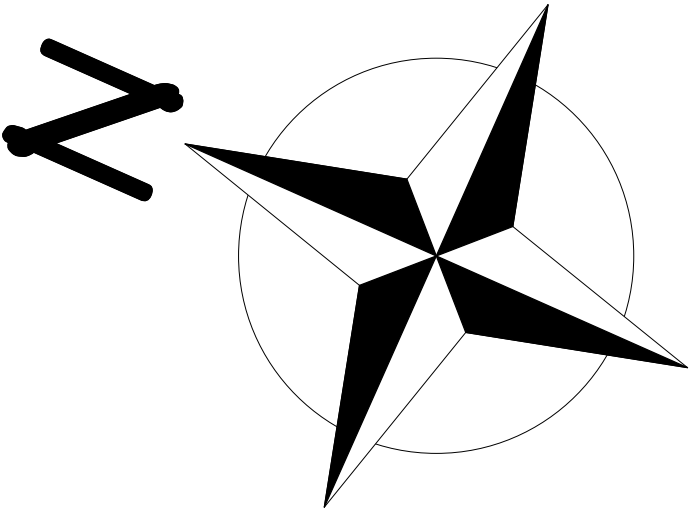
CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

INSULATION NOTES:
1. WALLS R-13 & R-19 FIBERGLASS BATTS AS REQUIRED
2. ATTIC R-38 FIBERGLASS BATTS

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SECTION R310
EMERGENCY ESCAPE AND RESCUE OPENINGS
R310.1 Emergency escape and rescue required. Basements, habitable attics and every sleeping room shall have at least one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, emergency egress and rescue openings shall be required in each sleeping room. Where emergency escape and rescue openings are provided they shall have a sill height of not more than 44 inches (1118 mm) above the floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with Section R310.3. The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. Emergency escape and rescue openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with Section R310.2. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.
Exceptions:
1. Basements used only to house mechanical equipment and not exceeding total floor area of 200 square feet (18.58 m2).
2. The emergency escape and rescue opening shall be permitted to open into a screen enclosure, open to the atmosphere, where a screen door is provided leading away from the residence.
R310.1.1 Minimum opening area.
All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m2).
Exception:
Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465 m2).
R310.1.2 Minimum opening height.
The minimum net clear opening height shall be 24 inches (610 mm).
R310.1.3 Minimum opening width.
The minimum net clear opening width shall be 20 inches (508 mm).
R310.1.4 Operational constraints.
Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys, tools or special knowledge.



PROPOSED FOOTAGES (A.N.S.I.):	
BATH EXTENSION:	108
FLORIDA ROOM:	135
NEW HEATED:	243
TOTAL HEATED:	1764
2-CAR GARAGE:	400
ENTRY:	28
NEW SLAB AREA:	266
NEW UNDER ROOF:	266

PROPOSED ADDITION/RENOVATIONS

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PLAN #
1473

CLIENT APPROVAL SIGNATURE DATE

JOHN D. RASMUSSEN, JR.
KAREN RASMUSSEN

BUILT BY:

MALLEN CONSTRUCTION, INC.
10702 HOOD ROAD SOUTH, SUITE 8
JACKSONVILLE, FLORIDA 32257
OFFICE: 904-880-5580
CGC032055

PROJECT DESCRIPTION:

ADDITON & RENOVATIONS FOR THE
RASMUSSEN FAMILY
11677 TYNDEL CREEK DRIVE
JACKSONVILLE, FLORIDA 32223

Design Drawings
provided by:

DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGNER SINCE 1994
904-730-7135

DATE:

3/10/2017

SCALE:

1/4" = 1'-0"

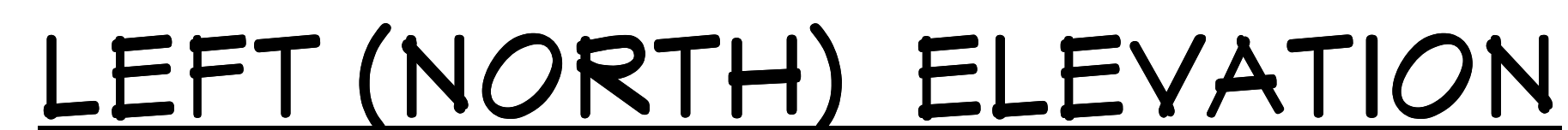
SHEET:

A-8

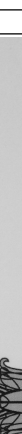
1. ALL FIXTURES PROVIDED BY OWNERS
2. EXISTING HVAC IS SIZED FOR THE ADDITION
3. CABINETS & TOPS BY OWNERS
4. APPLIANCES BY OWNERS
5. TILE & PAINTING BY OWNERS
6. SPECIALTIES BY OWNERS
7. NEW FRAMING IS CONVENTIONAL
8. EXTERIOR SHEATHING IS OSB
9. ROOF SHEATHING IS RADIANT BARRIER OSB
10. EXTERIOR IS HARDI-LAP HORIZONTAL SIDING

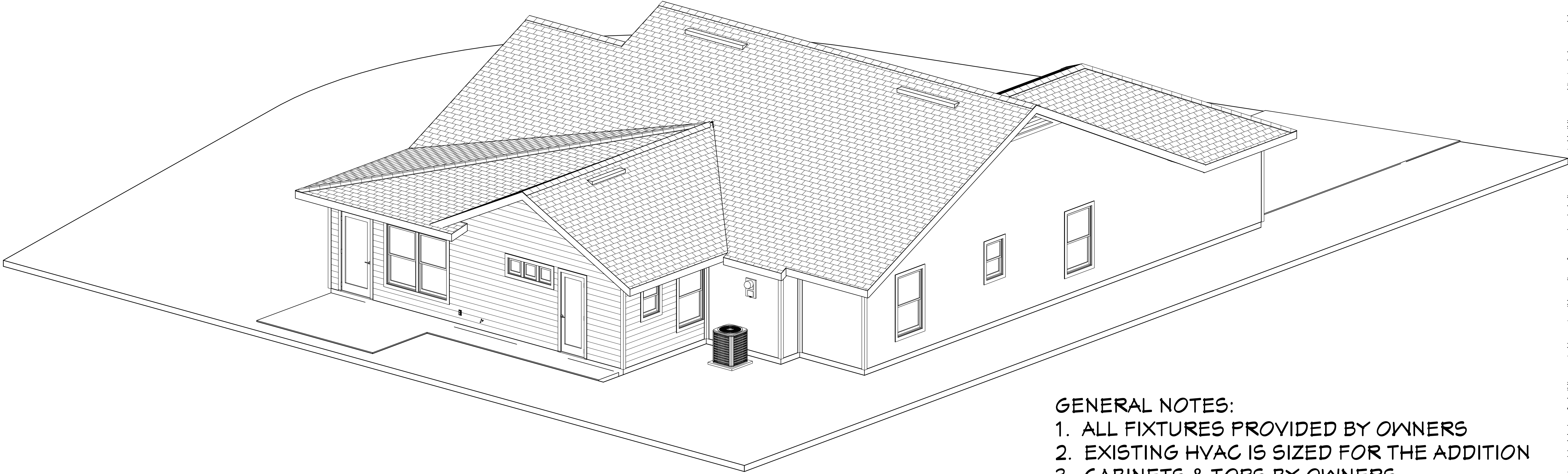


REAR (EAST) ELEVATION



PROPOSED ELEVATIONS

design drawings provided by:  RASMUSSEN FAMILY LIVING LLC RESIDENTIAL DESIGN SINCE 1989 904-730-7135		PROJECT DESCRIPTION: ADDITON & RENOVATIONS FOR THE RASMUSSEN FAMILY 11677 TYNDEL CREEK DRIVE , JACKSONVILLE, FLORIDA 32223		BUILT BY: MALLEN CONSTRUCTION, INC. 10702 HOOD ROAD SOUTH, SUITE 8 JACKSONVILLE, FLORIDA 32257 OFFICE: 904-880-5580 CGC032055		PLAN # 1473	
DATE:		3/10/2017		SCALE:		1/4" = 1'-0"	
SHEET:		A-9		CLIENT APPROVAL SIGNATURE		DATE	
				JOHN D. RASMUSSEN, JR.			
				KAREN RASMUSSEN			



- GENERAL NOTES:
- 1. ALL FIXTURES PROVIDED BY OWNERS
 - 2. EXISTING HYAC IS SIZED FOR THE ADDITION
 - 3. CABINETS & TOPS BY OWNERS
 - 4. APPLIANCES BY OWNERS
 - 5. TILE & PAINTING BY OWNERS
 - 6. SPECIALTIES BY OWNERS
 - 7. NEW FRAMING IS CONVENTIONAL
 - 8. EXTERIOR SHEATHING IS OSB
 - 9. ROOF SHEATHING IS RADIANT BARRIER OSB
 - 10.EXTERIOR IS HARDI-LAP HORIZONTAL SIDING

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



PROPOSED ISOMETRICS

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PLAN #
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CLIENT APPROVAL SIGNATURE

DATE

JOHN D. RASMUSSEN, JR.

KAREN RASMUSSEN

MALLEN

BUILT BY:

MALLEN CONSTRUCTION, INC.
10702 HOOD ROAD SOUTH, SUITE 8
JACKSONVILLE, FLORIDA 32257
OFFICE: 904-880-5580
CGC032055

PROJECT DESCRIPTION:

ADDITON & RENOVATIONS FOR THE
RASMUSSEN FAMILY
11677 TYNDEL CREEK DRIVE
, JACKSONVILLE, FLORIDA 32223

Design Drawings
provided by:

DESIGNS FOR LIVING, LLC

RESIDENTIAL DESIGN SINCE 1998

904-730-7135

DATE:

3/10/2017

SCALE:

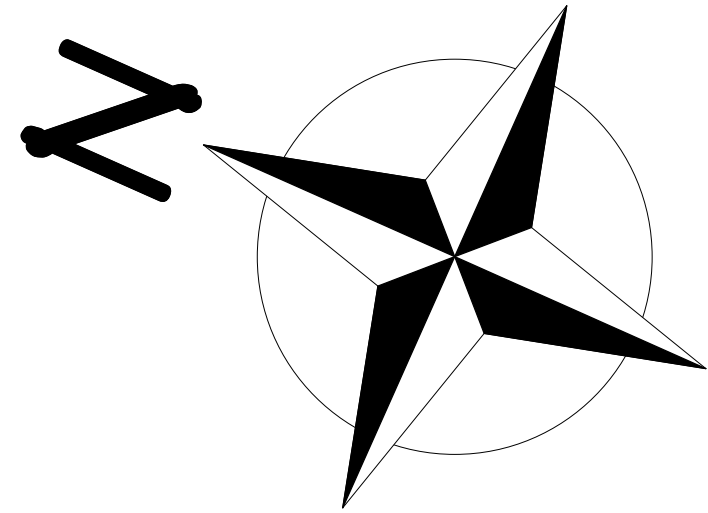
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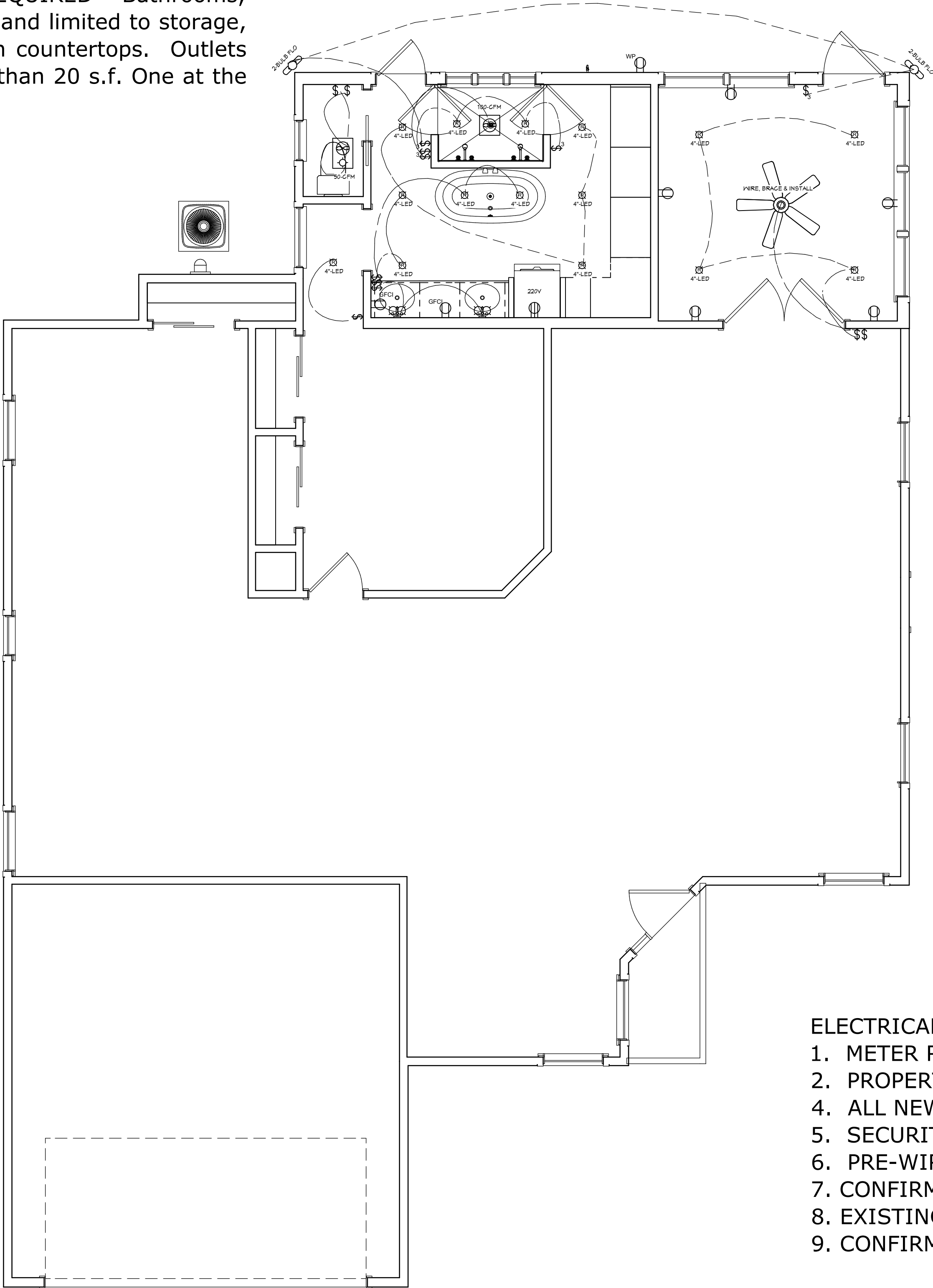
PER FBC-R-E3902.12 AFCI PROTECTION REQUIRED Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed AFCI, combination type.

PER FBC-R-E3901.7, NEC 210, E3901.7 & E3902.3 GFCI PROTECTION REQUIRED Bathrooms, garages, boathouses & accessory structures not intended as habitable rooms and limited to storage, work & similar uses. Outdoors, crawl spaces, unfinished basements, kitchen countertops. Outlets within 6 feet of laundry, utility or wet sinks. Balcony, deck or porch greater than 20 s.f. One at the front and back of the dwelling and at the condenser units.



CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

EFFICACY NOTE: THE NEW FBC-R FBC EC R404.1 & R202 BUILDING CODE REQUIRES ALL INSIDE & OUTSIDE LIGHT FIXTURES WILL USE CFL OR LED LIGHT BULBS.



- ELECTRICAL NOTES:
- 1. METER REMAINS THE SAME
 - 2. PROPERTY HAS CITY WATER & SEWER
 - 4. ALL NEW CANS TO BE LED
 - 5. SECURITY REPAIRS BY OWNERS
 - 6. PRE-WIRE & TRIM FOR CAT5/TV PER PLANS BY OWNER
 - 7. CONFIRM WITH OWNER ON STRUCTURED WIRING
 - 8. EXISTING PANEL TO REMAIN
 - 9. CONFIRM ALL ELECTRICAL W/OWNER PRIOR TO WIRING ANYTHING

PROPOSED ELECTRICAL PLAN

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

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CLIENT APPROVAL SIGNATURE DATE

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KAREN RASMUSSEN

BUILT BY:

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10702 HOOD ROAD SOUTH, SUITE 8
JACKSONVILLE, FLORIDA 32257
OFFICE: 904-880-5580
CGC032055

PROJECT DESCRIPTION:

ADDITON & RENOVATIONS FOR THE
RASMUSSEN FAMILY
11677 TYNDEL CREEK DRIVE
, JACKSONVILLE, FLORIDA 32223

Design Drawings
provided by:

DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN SINCE 1999
904-730-7135

DATE:

3/10/2017

SCALE:

1/4" = 1'-0"

SHEET:

A-11

FASCIA: WOOD MATCH EXISTING
EAVE OVERHANG: WOOD MATCH EXISTING
SOFFITS: MATCH EXISTING WOOD
SHINGLES: FIBERGLASS TO MATCH EXISTING
ROOF PITCH: 6/12 & 2.5/12-FIELD ADJUST
CONVENTIONALLY FRAMED ROOF AREA W/STANDARD HEELS TO ALLOW
FIELD ADJUSTMENT
VENTS: OFFRIDGE TYPE ONE-4 FOOTER
NOTE: EVERY ATTEMPT WILL BE MADE TO MATCH EXISTING ITEMS BUT
CANNOT GUARANTEE A PRECISE MATCH

BUBBLED AREA DENOTES NEW ADDITION

WOOD FASCIA & SOFFITS
TO MATCH EXISTING

INSULATION NOTES:
WALLS: R-13 & R-19 FIBERGLASS BATTS
ATTICS: R-38 BLOWN FIBERGLASS
KNEEWALLS: R-19 FIBERGLASS BATTS

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

PROPOSED ROOF & SECTION PLAN

PLAN #
1473

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[illegible]

110702 HOOD ROAD SOUTH, SUITE 8
JACKSONVILLE, FLORIDA 32257
OFFICE: 904-880-5580
CGC052055

ADDITION & RENOVATIONS FOR THE
RASMUSSEN FAMILY
11677 TYNDEL CREEK DRIVE
JACKSONVILLE, FLORIDA 32223

DESIGNS *for* LIVING LLC
RESIDENTIAL DESIGN SINCE 1969

904-730-7135

DATE:

3/10/2017

SCALE:

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