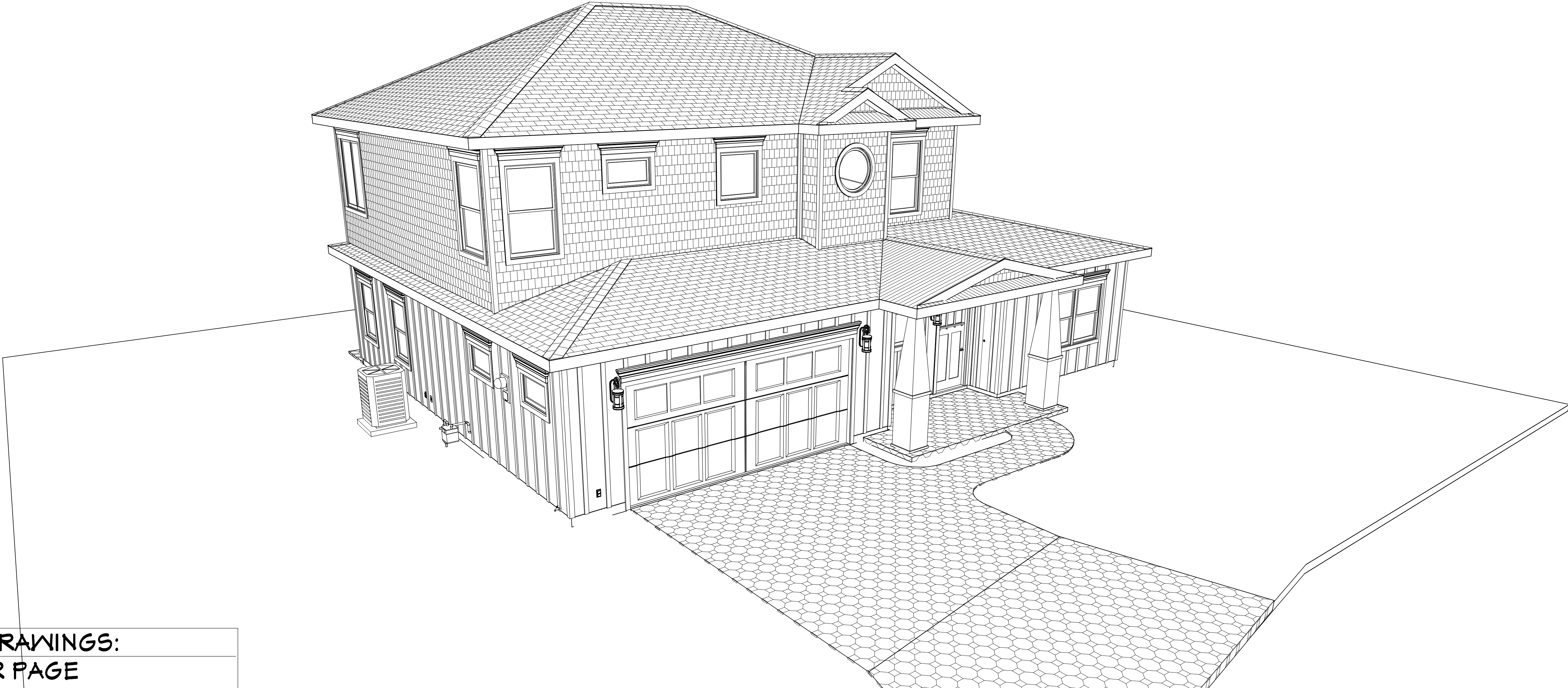


FUTURE HOME FOR THE LEWIS FAMILY

PERMIT PLANSET: 6/9/2016



INDEX TO DRAWINGS:

- A-1: COVER PAGE
- A-2: SITE PLAN
- A-3: FOUNDATION PLAN
- A-4: 1ST FLOOR PLAN
- A-5: 2ND FLOOR PLAN
- A-6: 1ST FLOOR TRUSS PLAN
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- A-8: ATTIC VENTILATION PLAN
- A-9: ELEVATIONS
- A-10: ISOMETRIC VIEWS
- A-11: 1ST FLOOR ELEC PLAN
- A-12: 2ND FLOOR ELEC PLAN
- A-13: BUILDING SECTION
- SD-1-SD-2: STAIR DETAILS
- FD-1-FD-2: FLASHING DETAILS
- SS-1: BOAF STONE DETAILS

3105 S 1ST STREET
JACKSONVILLE BEACH, FL 32250
R/P PT DIV B ATLANTIC SHORES
LOT 1, W 22 FT, LOT 2, BLOCK 3
R/E #: 181524-0000

BUILT BY:
TOM TROUT, INC
5569-1 BOWDEN ROAD
JACKSONVILLE, FL 32216
CBC026189
904-737-5412

NOTE: THIS IS A REPLACEMENT HOME
WITH THE ORIGINAL HOME BEING RAISED!
THE WATER METER SHALL STAY ACTIVE
FOR CONSTRUCTION AND THE PLUMBER
OF RECORD WILL TIE INTO THE EXISTING
SEWER AND WATER LINES!

COVER PAGE

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PLAN #
2241

NO.	DESCRIPTION	BY	DATE

Design Drawings
provided by:

DESIGNS for LIVING, LLC
RESIDENTIAL DESIGN SINCE 1989
904-730-7135

PROJECT DESCRIPTION:
FUTURE HOME FOR THE LEWIS
FAMILY

3105 S 1ST STREET
JACKSONVILLE BEACH, FL 32250
R/E #: 181524-0000

BUILT BY:

TOM TROUT, INC.
GENERAL CONTRACTORS
5569-1 BOWDEN ROAD CBC026189
JACKSONVILLE, FL 32216 904-737-5412

DATE:

6/9/2016

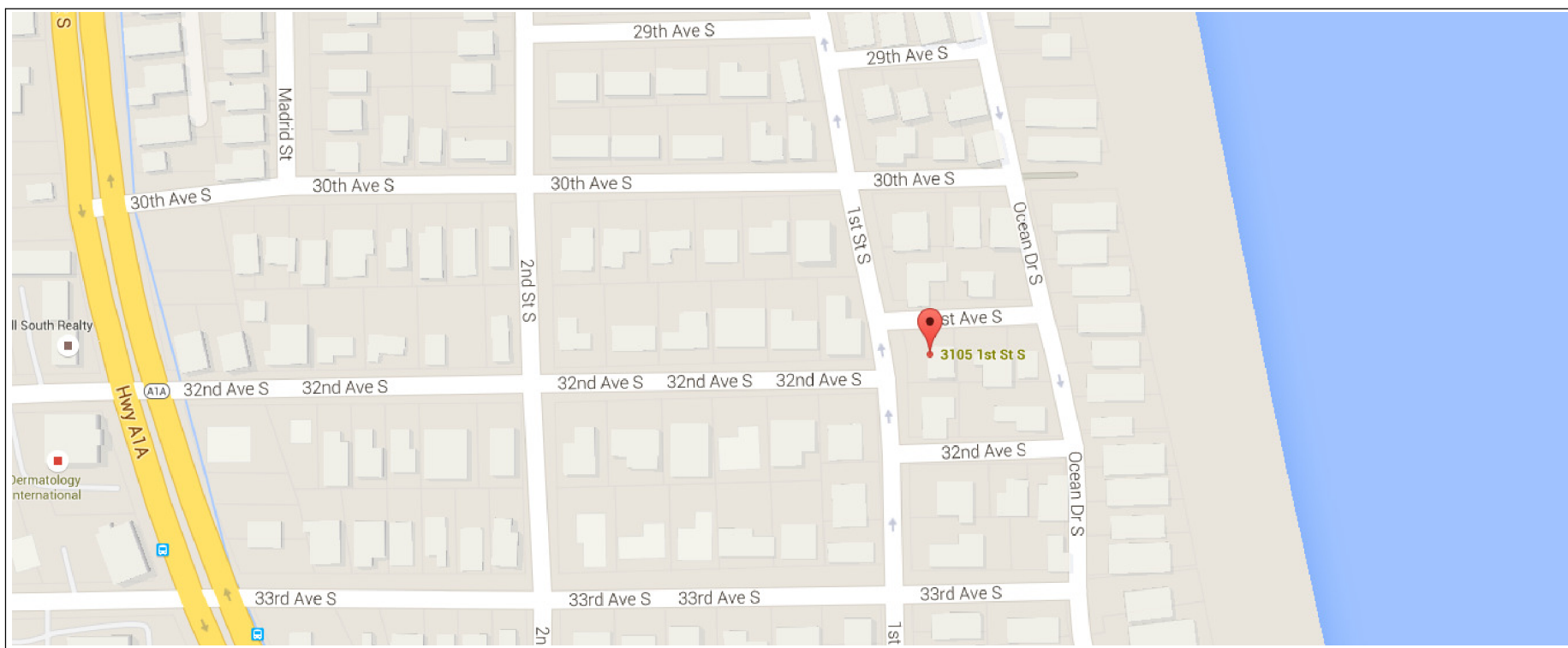
SCALE:

N.T.S.

SHEET:

A-1

SITE LOCATION



NOTE: FINISH FLOOR OF THE SLAB
TO BE CONFIRMED BY THE
BUILDER WITH THE OWNER PRIOR
TO FORMING THE FOUNDATION.

LOT COVERAGE INFO:
LOT AREA = 5,884.42 S.F.
CONCRETE = 120.00 S.F.
PAVERS = 628.00 S.F.
AC PAD = 12.00 S.F.
HOUSE = 1,750.64 S.F.
TOTAL COVERAGE = 2,510.64 S.F.
% COVERAGE = 42.67 %

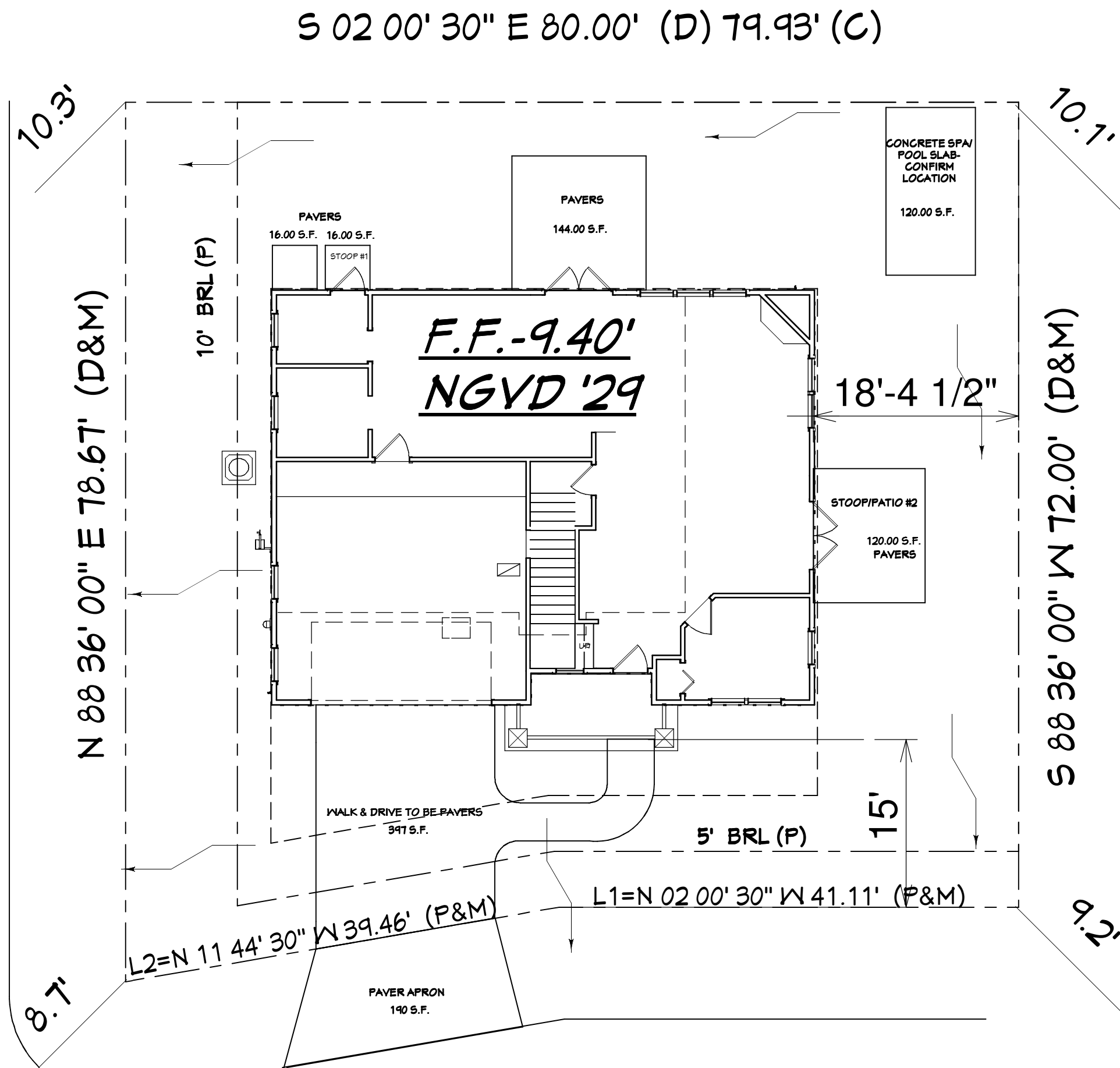
NOTE: ALL ROOF STRUCTURES TO BE FULLY
GUTTERED WITH DOWNSPOUTS TIED INTO FLEX
PIPING THAT RUNS TO THE STREET FRONT
PROPERTY LINE TIED INTO POP-UPS THAT
DISCHARGE INTO THE STREET RIGHT OF WAY!

WIND DESIGN CRITERIA:
WIND SPEED: 130 MPH
EXPOSURE CATEGORY: "C"
BUILDING TYPE: ENCLOSED
BUILDING CATEGORY: II
IMPORTANCE FACTOR: 1.0
TOPOGRAPHY: FLAT
MEAN ROOF HEIGHT: -25 FT
BUILDING CODE: 2014 FBC-R

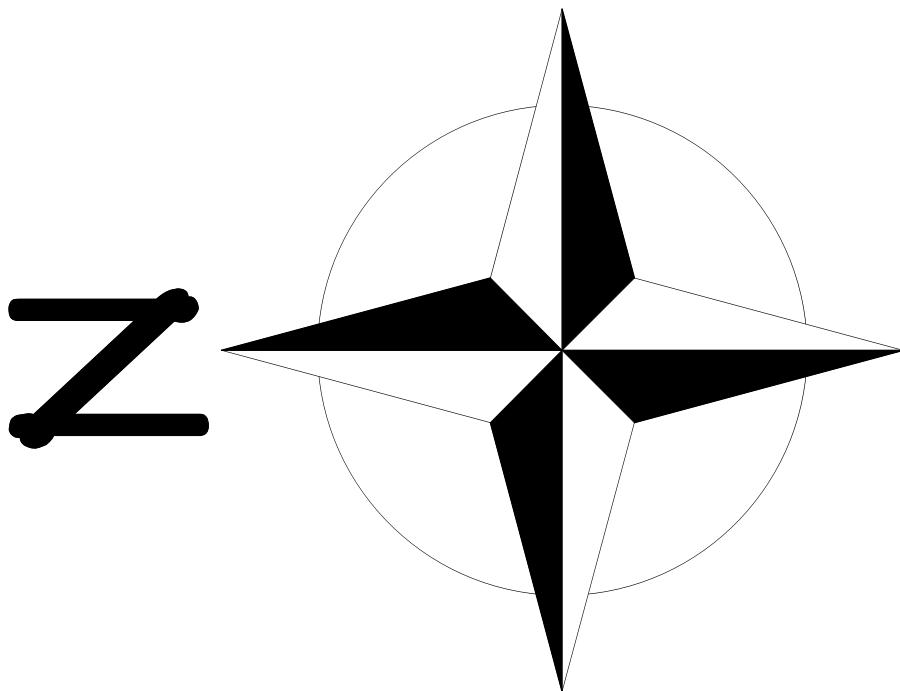
FLOOD ZONE: "X"

LEGAL DESCRIPTION:
R/E #: 181524-0000
R/P PT DIV B, ATLANTIC SHORES
LOT 1, W 22 FT OF LOT 2, BLK 2

31st AVENUE S



3105 1ST STREET SOUTH PER
BOATRIGHT SURVEYORS THE
ROAD CROWN IS 8.40' NGVD 1929



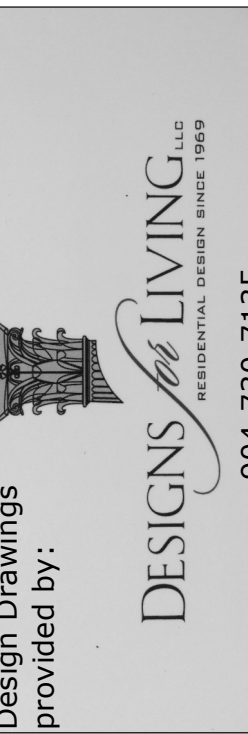
NOTE: EXISTING WATER & SEWER
LINES ARE BEING REUSED. THE
WATER METER IS TO REMAIN
CONNECTED DURING THE
CONSTRUCTION PROCESS.

**WATER: BEACHES
ENERGY**
**SEWER: BEACHES
ENERGY**
**ELECTRIC:
BEACHES ENERGY**

SITE PLAN

PLAN #
2241

NO.	DESCRIPTION	BY	DATE



PROJECT DESCRIPTION:
FUTURE HOME FOR THE LEWIS
FAMILY
3105 S 1ST STREET
JACKSONVILLE BEACH, FL 32250
R/E #: 181524-0000



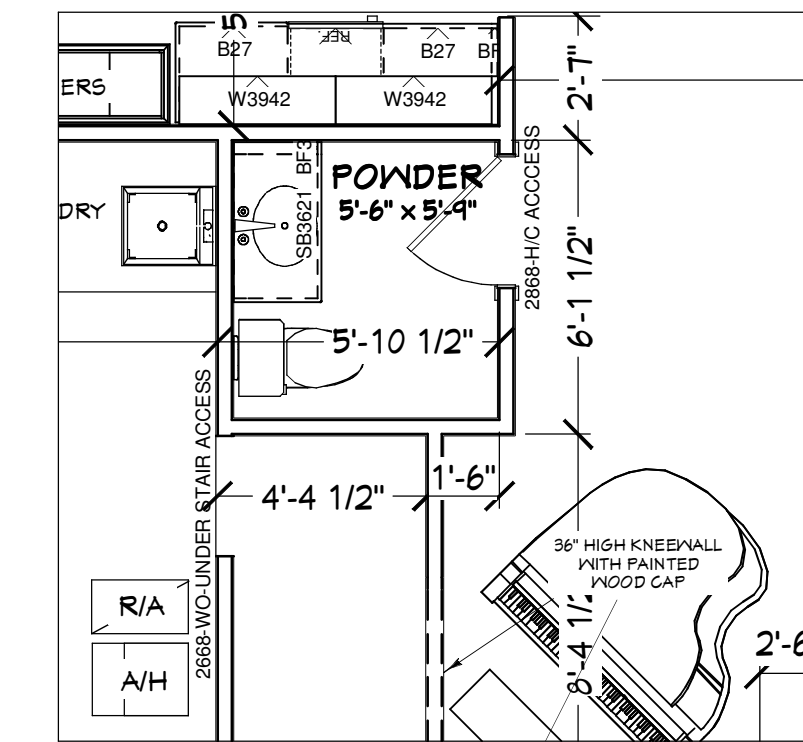
BUILT BY:
DATE:
6/9/2016
SCALE:
1" = 10'-0"

SHEET:
A-2

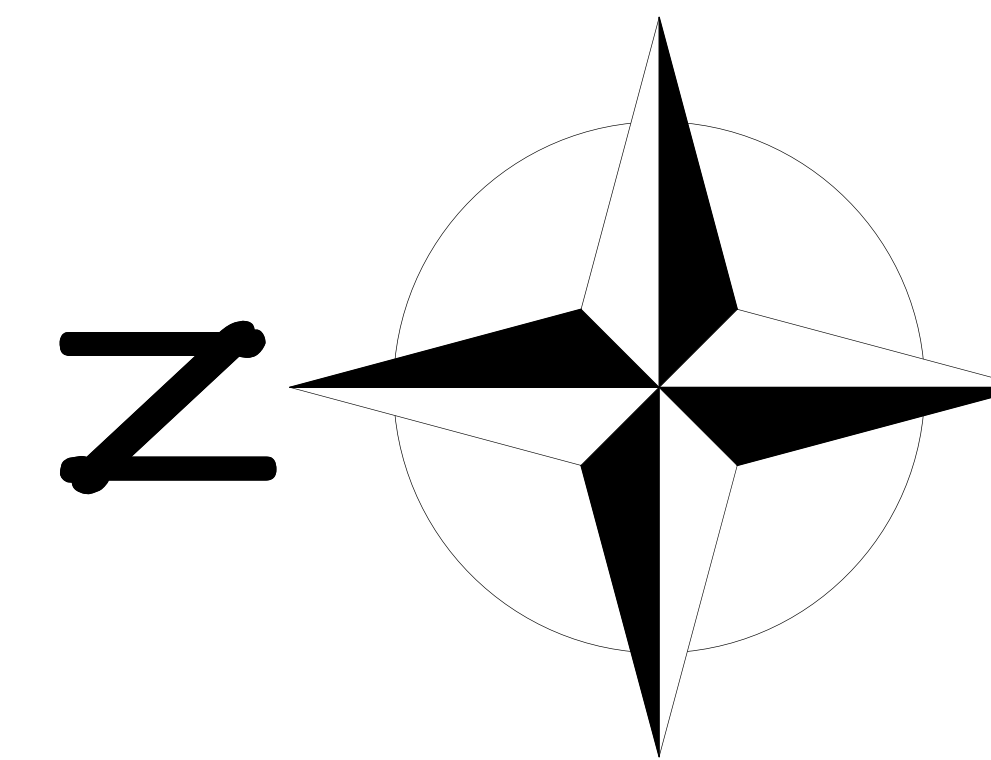
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R302.6 Dwelling/garage fire separation. The garage shall be separated as required by Table R302.6. Openings in garage walls shall comply with Section R302.5. This provision does not apply to garage walls that are perpendicular to the adjacent dwelling unit wall.

INSULATION NOTES:
WALLS: R-13 FIBERGLASS BATTS
ATTICS: R-30 BLOWN FIBERGLASS
KNEEWALLS: R-19 FIBERGLASS BATTS



POWDER BATH UNDER STAIRS



STAIR NOTES:
TOTAL RISE: 129.875"
TREADS: 10" OAK W/1" NOSING
18 RISERS: PAINTED 7.216"
FIELD ADJUST AS REQUIRED

FOOTAGES (A.N.S.I.):	
1ST FLOOR HEATED:	1,224.29
2ND FLOOR HEATED:	1,017.20
TOTAL HEATED:	2,241.49
GARAGE:	479.63
ENTRY PORCH:	73.38
SLAB AREA:	1,777.30
UNDER ROOF:	2,794.50
PAVER WALKS & DRIVES:	552.00
PAVER STOOPS & PATIO:	

EXTERIOR WALLS: 2X4 #2 SPF

R302.7 Under-stair protection. Enclosed accessible space under stairs shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2-inch (12.7 mm) gypsum board.

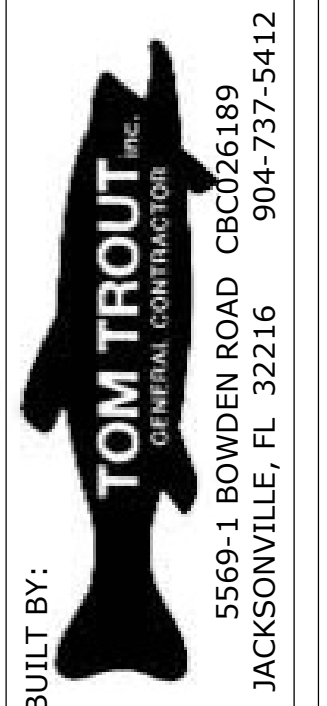
1ST FLOOR PLAN

PLAN #
2241

NO.	DESCRIPTION	BY	DATE



PROJECT DESCRIPTION:
FUTURE HOME FOR THE LEWIS
FAMILY
3105 S 1ST STREET
JACKSONVILLE BEACH, FL 32250
R/E #: 181524-0000



DATE:
6/9/2016

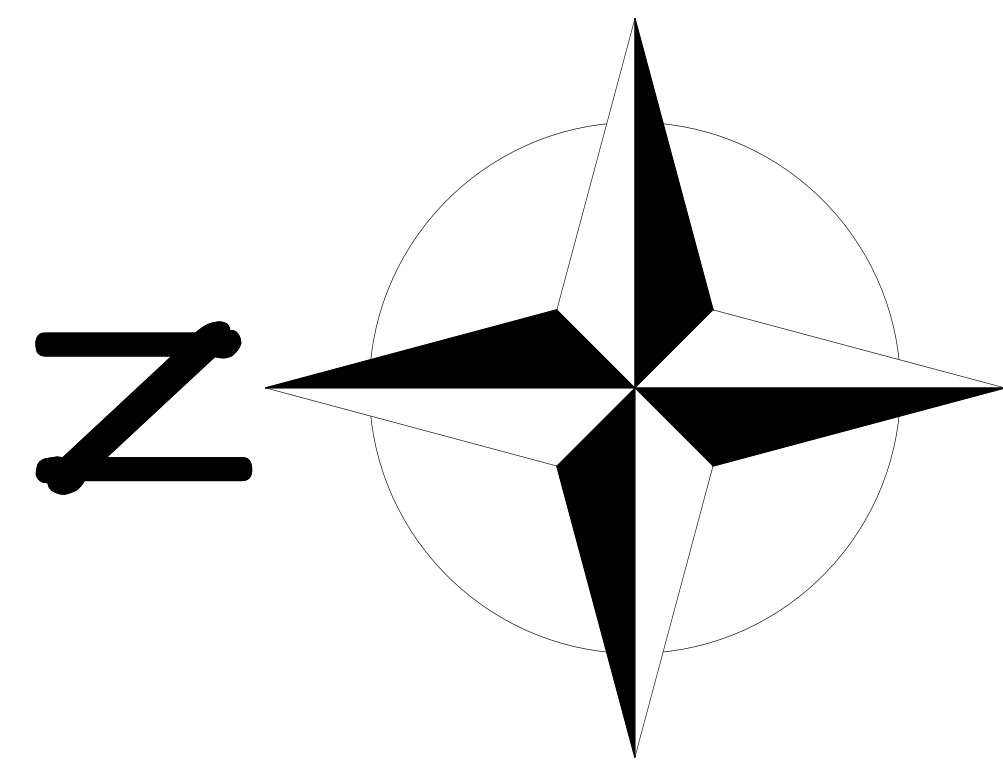
SCALE:
1/4" = 1'-0"

SHEET:	
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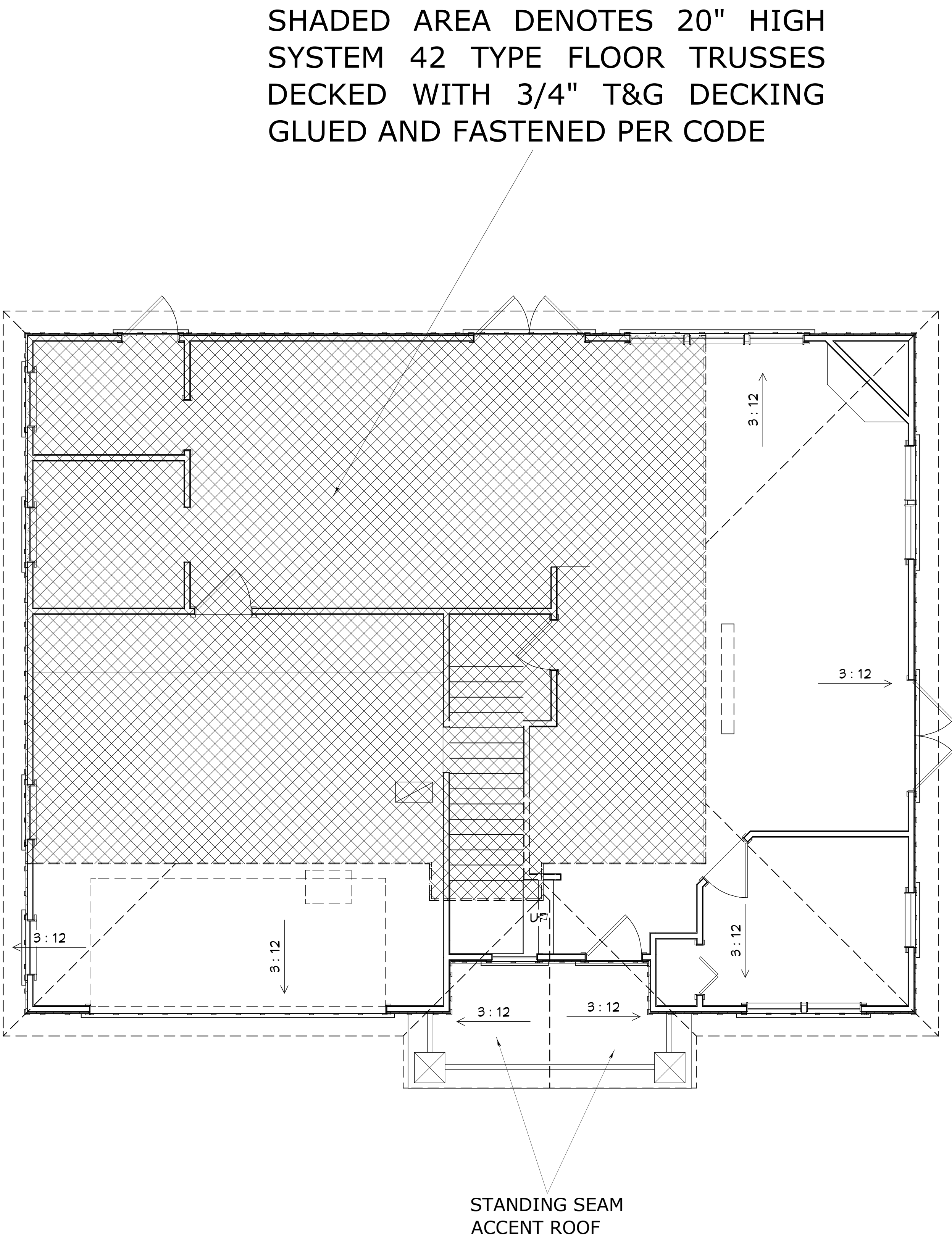
A-4

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ROOF NOTES:
PITCH: 4/12 & 6/12
UNDERLAYMENT: SYNTHETIC FELT
ROOFING: ARCHITECTURAL F/G SHINGLES &
STANDING SEAM PAINTED ACCENTS PER PLAN
EAVE OVERHANG: 16"
GABLE OVERHANG: 12"
CONVENTIONAL & TRUSSED PER PLAN
FLOOR TRUSSES: 20" SYSTEM 42 TYPE
FLOOR DECKING: 3/4" T&G GLUED & SCREWED
SOFFITS: VINYL



IMPORTANT TRUSS ENGINEERING NOTES:
1. THE FIRST FLOOR TRUSSES ARE
STANDARD HEELS
2. THE SECOND FLOOR TRUSSES HAVE AN
ADDITIONAL 6" HIGHER THAN THE
STANDARD HEEL



1ST FLOOR ROOF/TRUSS PLAN

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2241

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provided by:

DESIGNS *for* LIVING, LLC
RESIDENTIAL DESIGN SINCE 1989
904-730-7135

PROJECT DESCRIPTION:

FUTURE HOME FOR THE LEWIS
FAMILY
3105 S 1ST STREET
JACKSONVILLE BEACH, FL 32250
R/E #: 181524-000

BUILT BY:

TOM TROUT, INC.
GENERAL CONTRACTORS
5569-1 BOWDEN ROAD CB0026189
JACKSONVILLE, FL 32216 904-737-5412

DATE:

6/9/2016

SCALE:

1/4" = 1'-0"

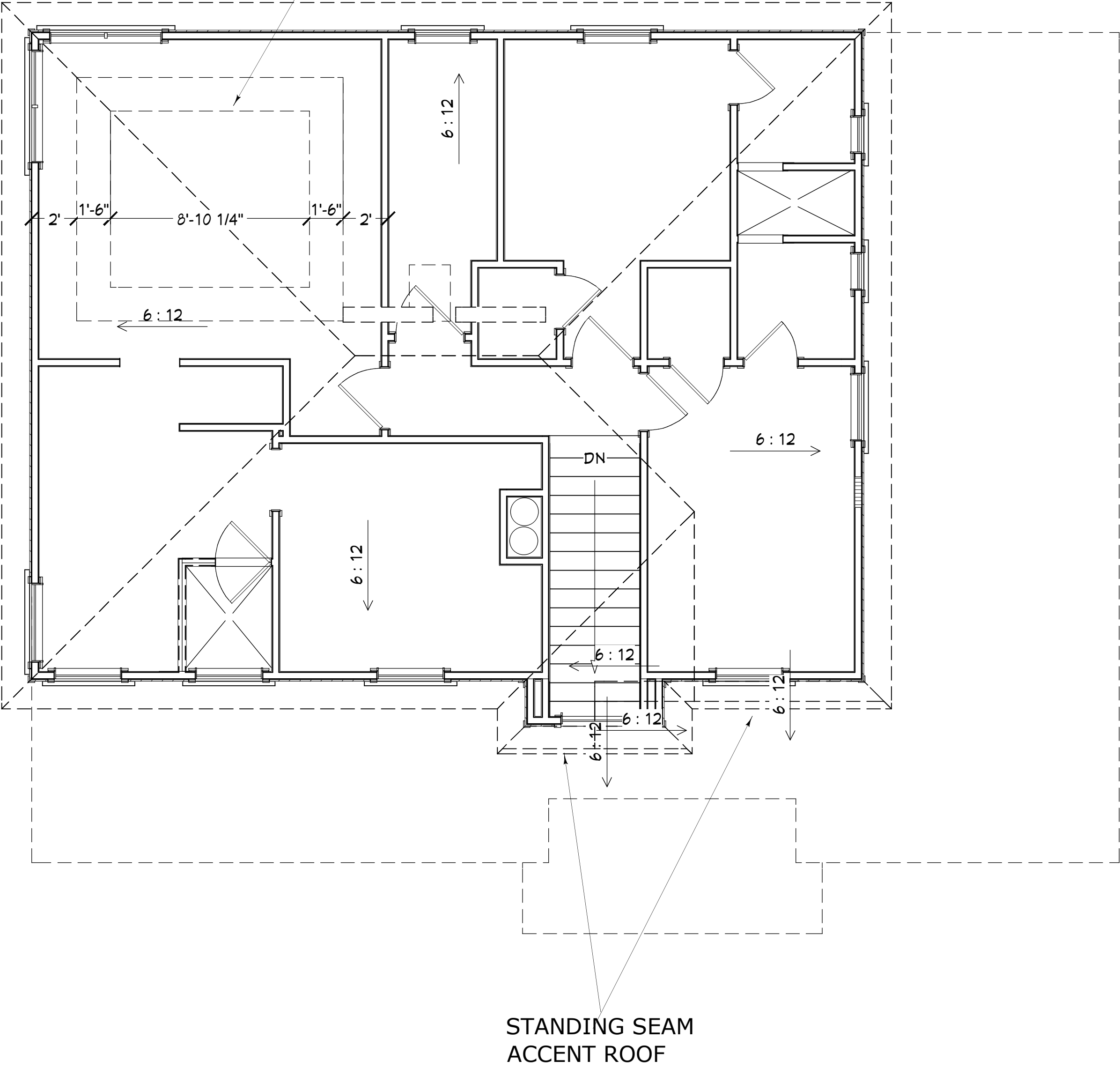
SHEET:

A-6

ROOF NOTES:
PITCH: 4/12 & 6/12
UNDERLAYMENT: SYNTHETIC FELT
ROOFING: ARCHITECTURAL F/G SHINGLES &
STANDING SEAM PAINTED ACCENTS PER PLAN
EAVE OVERHANG: 16"
GABLE OVERHANG: 12"
CONVENTIONAL & TRUSSED PER PLAN
FLOOR TRUSSES: 20" SYSTEM 42 TYPE
FLOOR DECKING: 3/4" T&G GLUED & SCREWED
SOFFITS: VINYL

IMPORTANT TRUSS ENGINEERING NOTES:
1. THE FIRST FLOOR TRUSSES ARE
STANDARD HEELS
2. THE SECOND FLOOR TRUSSES HAVE AN
ADDITIONAL 6" HIGHER THAN THE
STANDARD HEEL

IMPORTANT TRUSS ENGINEERING NOTE:
THERE IS A 2-STEP TRAY IN THE OWNER'S
SUITE WITH 9" STEP-UPS



2ND FLOOR ROOF/TRUSS PLAN

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JACKSONVILLE BEACH, FL 32250
R/E #: 181524-0000

BUILT BY:

TOM TROUT
GENERAL CONTRACTOR

5569-1 BOWDEN ROAD CBC026189
JACKSONVILLE, FL 32216 904-737-5412

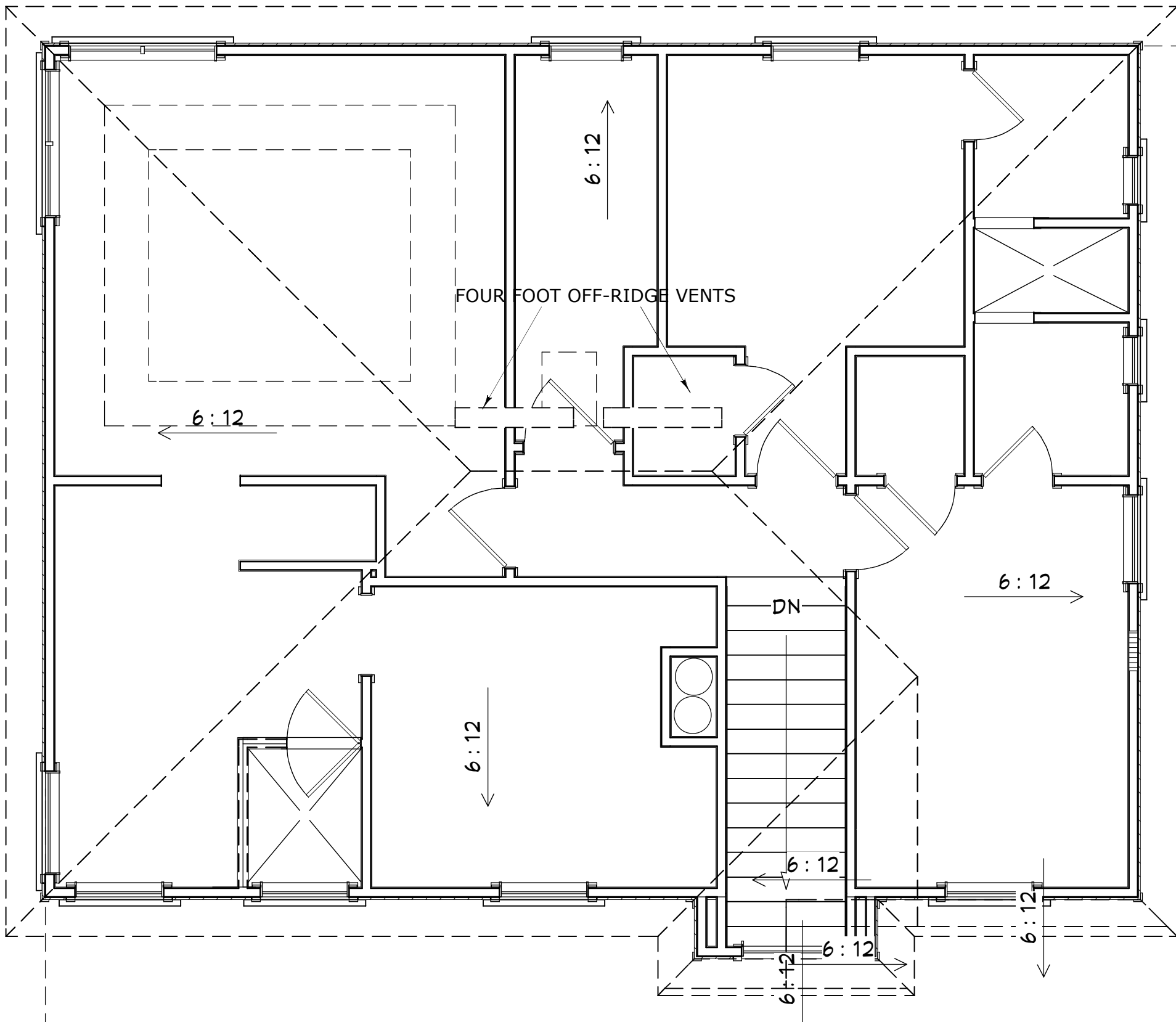
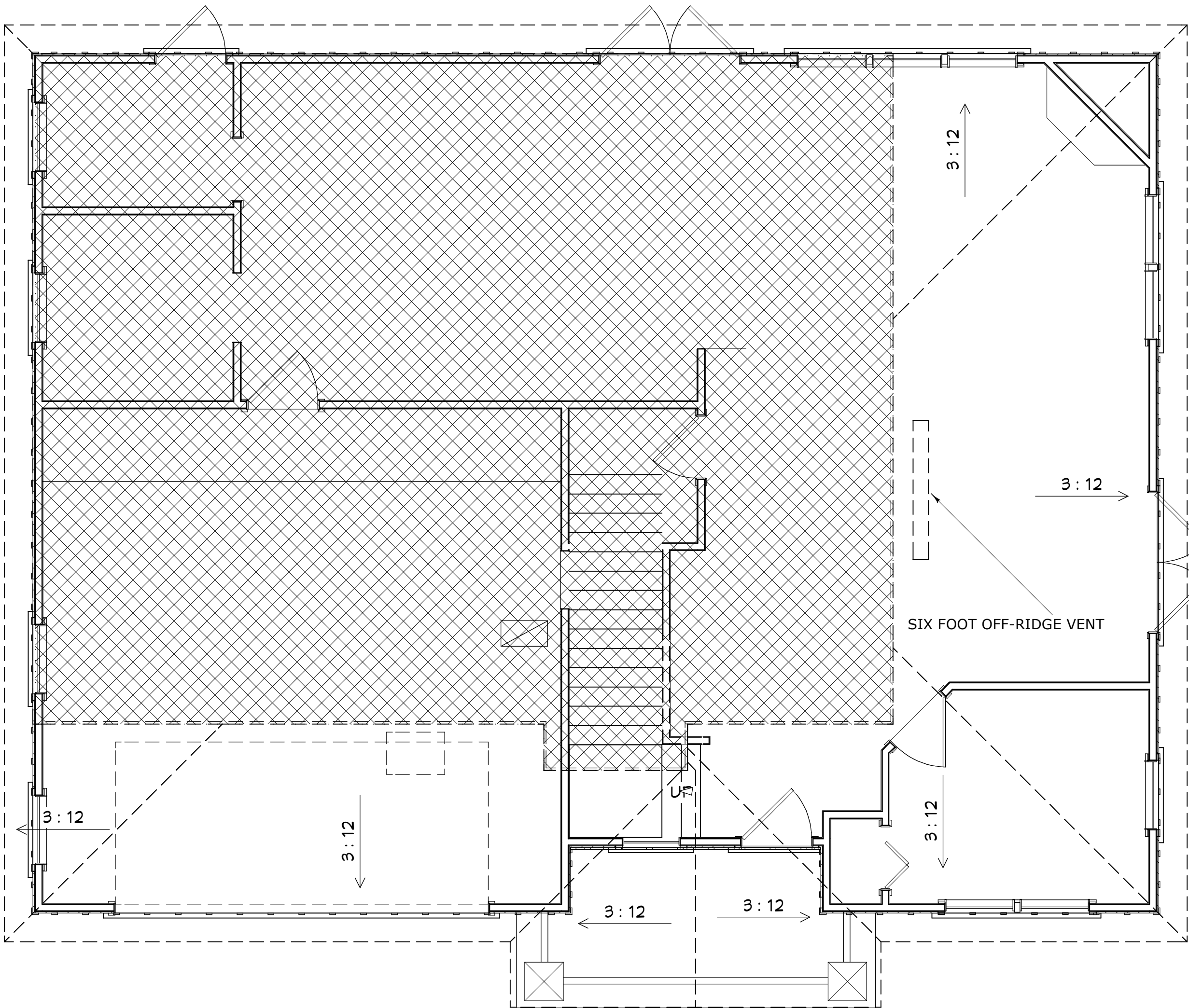
DATE:
6/9/2016

SCALE:
1/4" = 1'-0"

SHEET:
A-7

INSULATION NOTES:
WALLS: R-13 FIBERGLASS BATTS
ATTICS: R-30 BLOWN FIBERGLASS
KNEEWALLS: R-19 FIBERGLASS BATTS

ROOF & SOFFIT VENTILATION CALCULATIONS:
FBC-R 306.2 REQUIRES THAT OFF RIDGE VENTS AND SOFFIT VENTS BE EQUALLY DISTRIBUTED.
1. 1:150 REQUIRES 1 S/F OF VENTILATION FOR EVERY 150 S.F. OF ATTIC SPACE.
2. TOTAL AREA OF ATTIC TO BE VENTILATED = 1,862 S.F.
3. TOTAL FREE AREA OF VENTILATION REQUIRED FOR ATTIC = $1,862 \text{ S.F.} / 150 = 12.41 \text{ S.F.}$
4. CONVERT SQUARE FEET INTO SQUARE INCHES = $12.41 \text{ S.F.} \times 144 = 1,787.52 \text{ SQ. INCHES}$
5. LOCATION OF VENTS = 50% OFF-RIDGE
ROOF VENTS = $1,787.52 \times 0.50 = 893.76 \times 0.50 \text{ AT SOFFIT/EAVE} = 1,787.52 \times 0.50 = 893.76 \text{ SQ. INCHES}$
6. TOTAL SOFFIT VENTILATION AREA REQUIRED = AREA OF SOFFIT AVAILABLE FOR VENTILATION: $310 \text{ L.F.} \times 1.33 \text{ FT} = 412.30 \text{ SQ.FT.}$
VENTILATION AREA REQUIRED PER SQ.FT. OF SOFFIT = $893.76 \text{ SQ.IN.} / 412.30 \text{ SQ. FT.} = 2.17 \text{ SQ.IN./SQ.FT.}$
7. OFF-RIDGE VENTS = $893.76 \text{ SQ. IN.} / 68 \text{ SQ.IN} = 13.14 \text{ L.F OF OFF-RIDGE VENTS} = \text{ONE - SIX FOOT OFF-RIDGE VENTS PER PLAN \& TWO FOUR FOOT OFF-RIDGE VENTS}$



INSULATION & ROOF VENTILATION CALCS

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904-730-7135

PROJECT DESCRIPTION:
FUTURE HOME FOR THE LEWIS
FAMILY
3105 S 1ST STREET
JACKSONVILLE BEACH, FL 32250
R/E #: 181524-0000

BUILT BY:

TOM TROUT
GENERAL CONTRACTOR

5569-1 BOWDEN ROAD CBC026189
JACKSONVILLE, FL 32216 904-737-5412

DATE:
6/9/2016

SCALE:

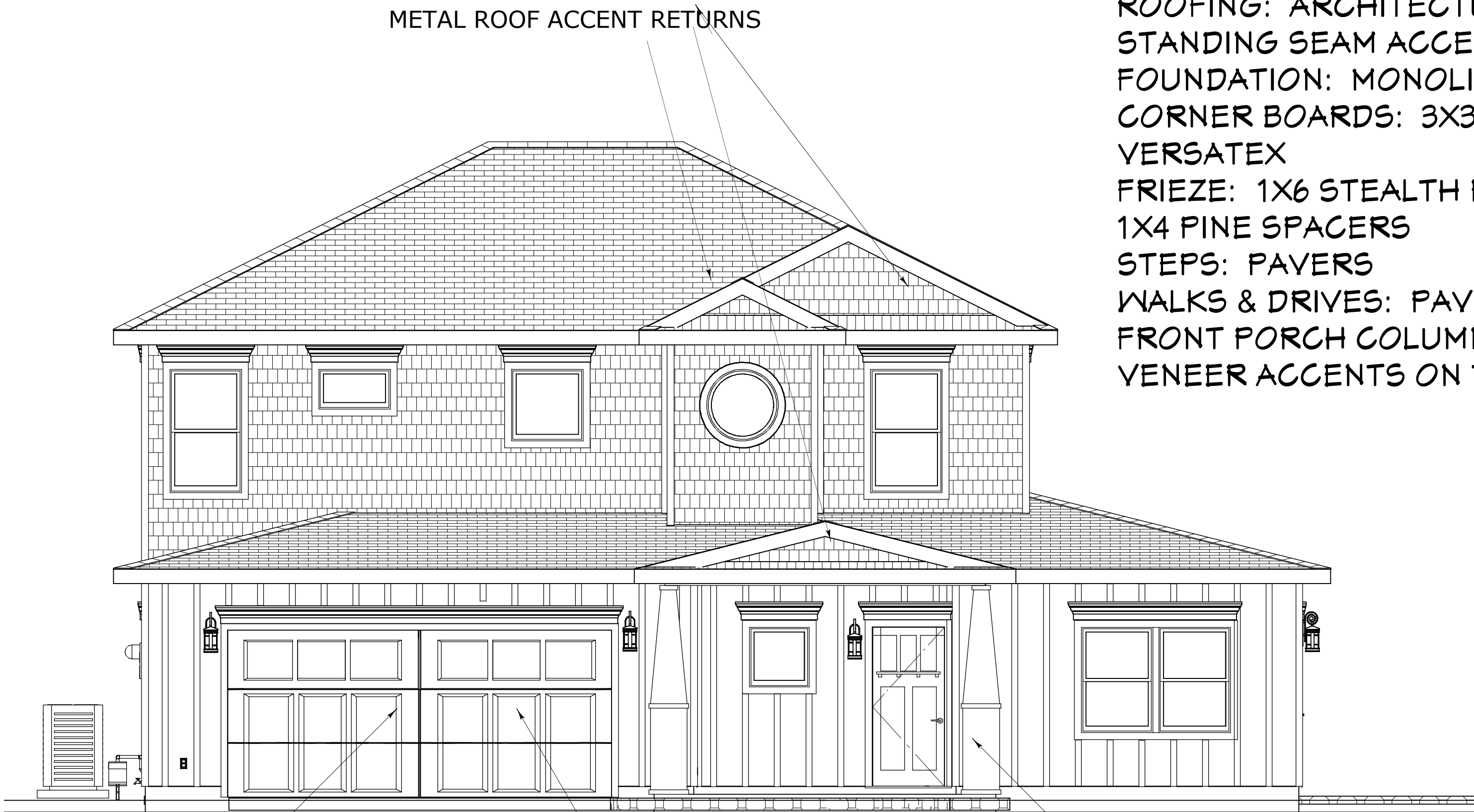
SHEET:
A-8



RIGHT ELEVATION



REAR ELEVATION



METAL ROOF ACCENT RETURNS

CRAFTSMAN STYLE GARAGE DOORS-EXACT DETAILS
PROVIDED BY BUILDERS CONTRACT & SPECIFICATIONS

CRAFTSMAN STYLE COLUMNS WITH
FAUX STONE BASE ACCENTS-TYP

FRONT ELEVATION

EXTERIOR NOTES:
1ST FLOOR: BOARD & BATTEN PAINTED
2ND FLOOR: HARDY SHAKE PAINTED
SOFFITS: BEADED VINYL
FASCIA: CPVC COATED ALUMINUM OVER 2X6 SUB-
FASCIA WITH 1X2 PT DRIP
ROOFING: ARCHITECTURAL FIBERGLASS & 26 GA.
STANDING SEAM ACCENTS PER PLAN
FOUNDATION: MONOLITHIC SLAB & FOOTERS
CORNER BOARDS: 3X3 STEALTH CORNERS BY
VERSATEX
FRIEZE: 1X6 STEALTH FRIEZE BY VERSATEX OVER
1X4 PINE SPACERS
STEPS: PAVERS
WALKS & DRIVES: PAVERS
FRONT PORCH COLUMNS TO HAVE FAUX STONE
VENEER ACCENTS ON THE BOTTOM



LEFT ELEVATION

ELEVATIONS

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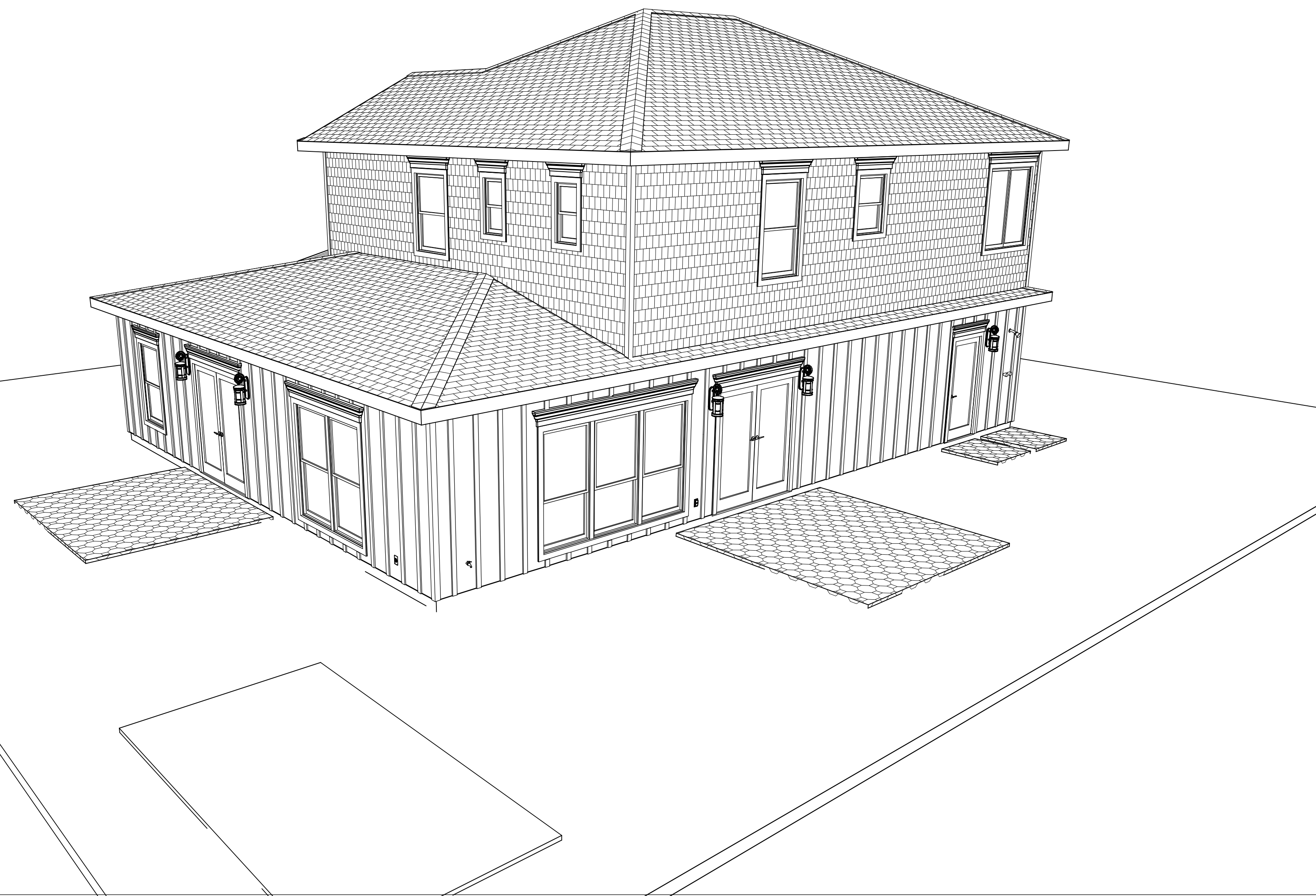
SCALE:

N.T.S.

SHEET:

A-9

1ST FLOOR: BOARD & BATTEN PAINTED
2ND FLOOR: HARDY SHAKE PAINTED
SOFFITS: BEADED VINYL
FASCIA: CPVC COATED ALUMINUM OVER 2X6 SUB-
FASCIA WITH 1X2 PT DRIP
ROOFING: ARCHITECTURAL FIBERGLASS & 26 GA.
STANDING SEAM ACCENTS PER PLAN
FOUNDATION: MONOLITHIC SLAB & FOOTERS
CORNER BOARDS: 3X3 STEALTH CORNERS BY
VERSATEX
FRIEZE: 1X6 STEALTH FRIEZE BY VERSATEX OVER
1X4 PINE SPACERS
STEPS: PAVERS
WALKS & DRIVES: PAVERS
FRONT PORCH COLUMNS TO HAVE FAUX STONE
VENEER ACCENTS ON THE BOTTOM



CONTRACT NOTE: BUILDERS
CONTRACT DOCUMENTS TAKE
PRECEDENCE OVER THESE DRAWINGS.
ANY CONFLICT DEFAULTS BACK TO THE
CONTRACT DOCUMENTS.

ISOMETRIC VIEWS

1				
2				
3				
4				
5				
6				
7				
8				
9				
10				



**FUTURE HOME FOR THE LEWIS
FAMILY**
3105 S 1ST STREET
JACKSONVILLE BEACH, FL 32250
R/E #: 181524-0000



DATE:
5/9/2016

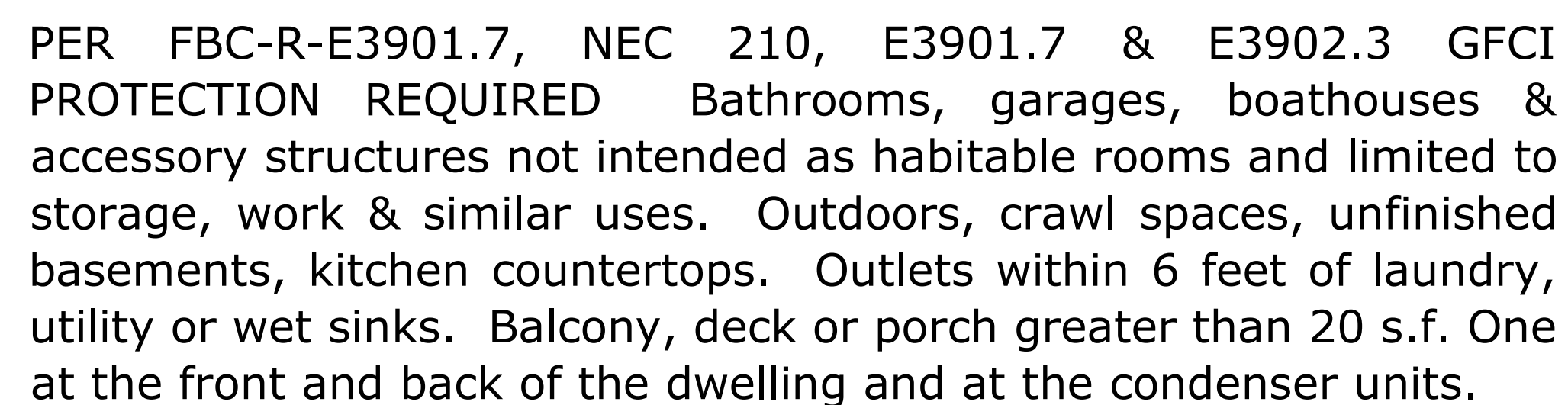
SCALE:

1/4" = 1'-0"

SHEET:

A-10

[illegible]



HOME TO BE PIPED FOR NATURAL GAS AS FOLLOWS:
RANGE, GRILL STUB, TANKLESS WATER HEATER,
DRYER & FIREPLACE, -CONFIRM ALL WITH OWNER. IT
HAS BEEN CONFIRMED THAT NATURAL GAS IS
AVAILABLE AT THE CORNER OF 1ST AND 31ST.

EFFICACY NOTE: THE NEW FBC-R FBC EC R404.1 & R202 BUILDING CODE REQUIRES ALL INSIDE & OUTSIDE LIGHT FIXTURES WILL USE CFL OR LED LIGHT BULBS.

PER FBC-R-E3902.12 AFCI PROTECTION REQUIRED Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed AFCI, combination type.

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

ELECTRICAL NOTES:

1. METER LOCATION TO BE CONFIRMED
2. PROPERTY HAS CITY WATER & SEWER
3. CONFIRM WITH OWNER ON STRUCTURED WIRING
4. WATER HEATER TO BE NATURAL GAS
5. SECURITY PRE-WIRE & TRIM -CONFIRM
6. PRE-WIRE & TRIM FOR CABLE PER PLANS
7. CONFIRM WITH OWNER ON STRUCTURED WIRING
8. 200 AMP ELECTRICAL PANEL
9. CONFIRM ALL ELECTRICAL W/OWNER PRIOR TO WIRING ANYTHING

1ST FLOOR ELECTRICAL PLAN

[illegible]

PROJECT DESCRIPTION:
FUTURE HOME FOR THE LEWIS
FAMILY
3105 S 1ST STREET
JACKSONVILLE BEACH, FL 32250
R/E #: 181524-0000



DATE:
6/9/2016

SCALE:

1/4" = 1'-0"

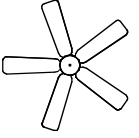
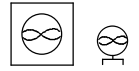
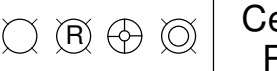
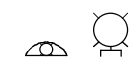
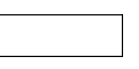
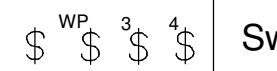
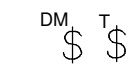
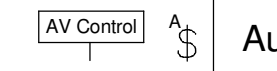
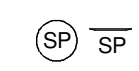
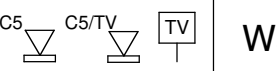
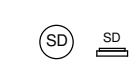
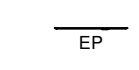
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A-11

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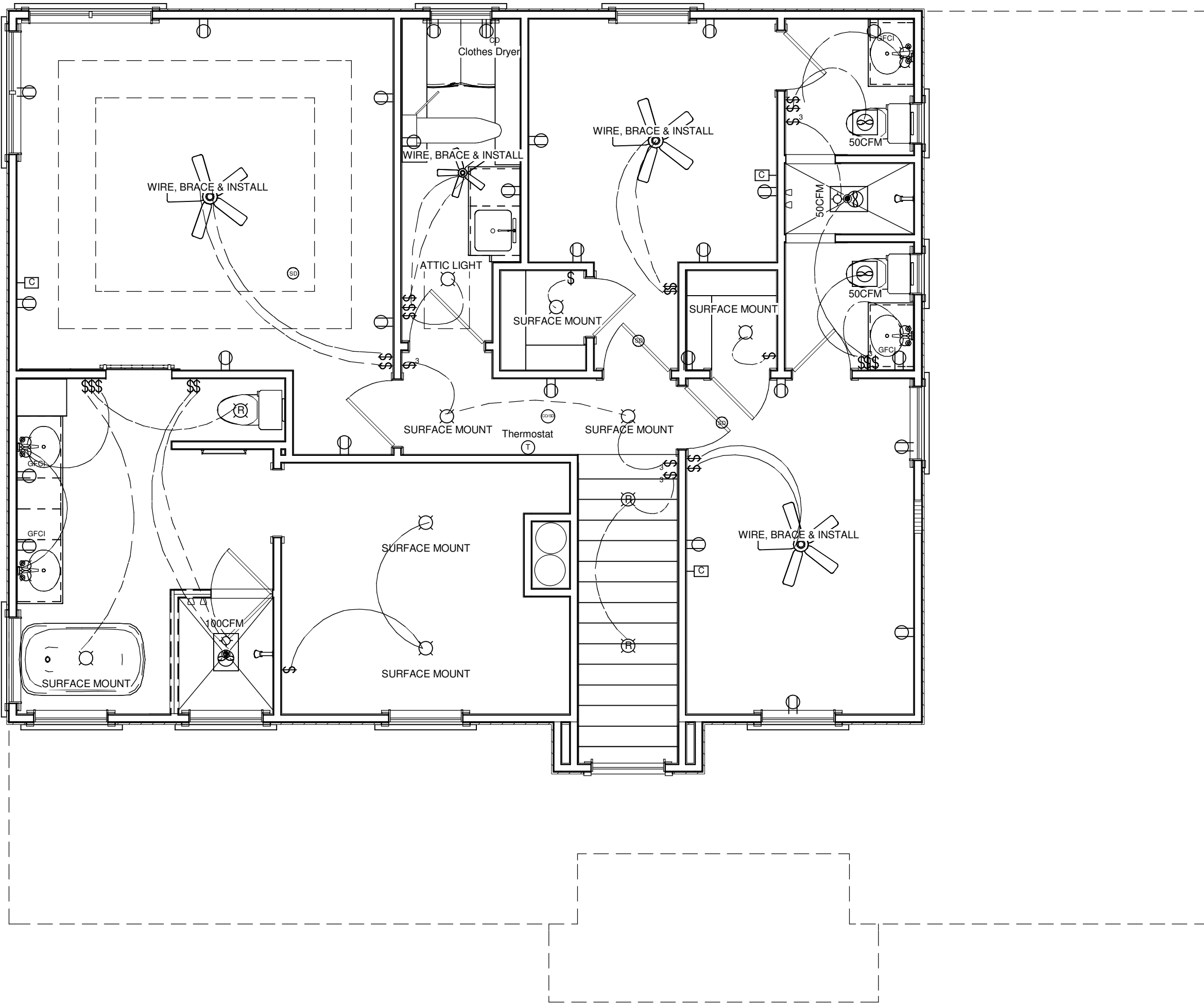
PER FBC-R-E3901.7, NEC 210, E3901.7 & E3902.3 GFCI PROTECTION REQUIRED Bathrooms, garages, boathouses & accessory structures not intended as habitable rooms and limited to storage, work & similar uses. Outdoors, crawl spaces, unfinished basements, kitchen countertops. Outlets within 6 feet of laundry, utility or wet sinks. Balcony, deck or porch greater than 20 s.f. One at the front and back of the dwelling and at the condenser units.

EFFICACY NOTE: THE NEW FBC-R FBC EC R404.1 & R202 BUILDING CODE REQUIRES ALL INSIDE & OUTSIDE LIGHT FIXTURES WILL USE CFL OR LED LIGHT BULBS.

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

HOME TO BE PIPED FOR NATURAL GAS AS FOLLOWS: RANGE, GRILL STUB, TANKLESS WATER HEATER, DRYER & FIREPLACE, -CONFIRM ALL WITH OWNER. IT HAS BEEN CONFIRMED THAT NATURAL GAS IS AVAILABLE AT THE CORNER OF 1ST AND 31ST.

PER FBC-R-E3902.12 AFCI PROTECTION REQUIRED Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed AFCI, combination type.



- ELECTRICAL NOTES:
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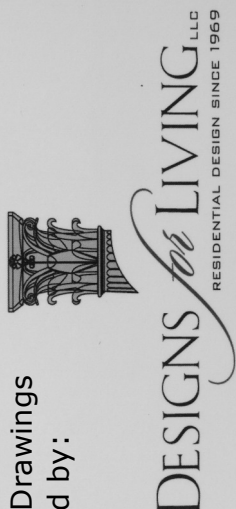
2ND FLOOR ELECTRICAL PLAN

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PLAN #
2241

NO.	DESCRIPTION	BY	DATE

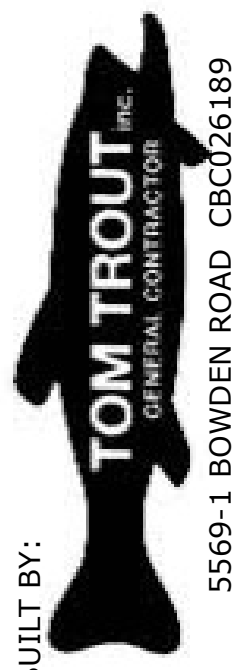
Design Drawings
provided by:

**DESIGNS FOR LIVING, LLC**
RESIDENTIAL DESIGNER SINCE 1989

904-730-7135

PROJECT DESCRIPTION:
FUTURE HOME FOR THE LEWIS FAMILY
3105 S 1ST STREET
JACKSONVILLE BEACH, FL 32250
R/E #: 181524-0000

BUILT BY:

**TOM TROUT, INC.**
GENERAL CONTRACTORS

5569-1 BOWDEN ROAD CBC026189
JACKSONVILLE, FL 32216 904-737-5412

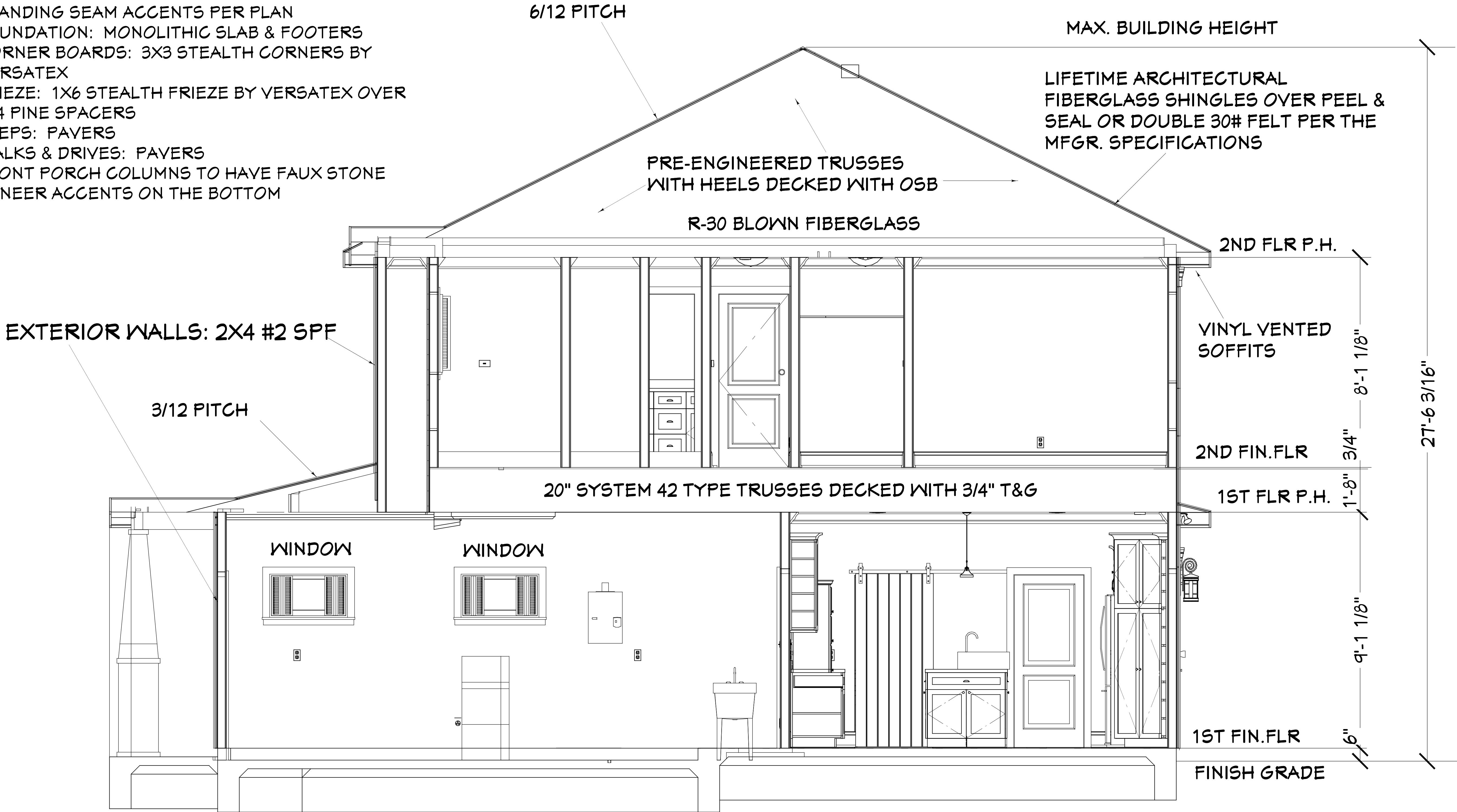
DATE:
6/9/2016

SCALE:
1/4" = 1'-0"

SHEET:
A-12

EXTERIOR NOTES:
1ST FLOOR: BOARD & BATTEN PAINTED
2ND FLOOR: HARDY SHAKE PAINTED
SOFFITS: BEADED VINYL
FASCIA: CPVC COATED ALUMINUM OVER 2X6 SUB-
FASCIA WITH 1X2 PT DRIP
ROOFING: ARCHITECTURAL FIBERGLASS & 26 GA.
STANDING SEAM ACCENTS PER PLAN
FOUNDATION: MONOLITHIC SLAB & FOOTERS
CORNER BOARDS: 3X3 STEALTH CORNERS BY
VERSATEX
FRIEZE: 1X6 STEALTH FRIEZE BY VERSATEX OVER
1X4 PINE SPACERS
STEPS: PAVERS
WALKS & DRIVES: PAVERS
FRONT PORCH COLUMNS TO HAVE FAUX STONE
VENEER ACCENTS ON THE BOTTOM

INSULATION NOTES:
WALLS: R-13 FIBERGLASS BATTS
ATTICS: R-30 BLOWN FIBERGLASS
KNEEWALLS: R-19 FIBERGLASS BATTS



MONOLITHIC FOOTERS AND SLAB OVER COMPACTED FILL: SEE STRUCTURAL ENGINEERS DRAWINGS

CONTRACT NOTE: BUILDERS CONTRACT DOCUMENTS TAKE PRECEDENCE OVER THESE
DRAWINGS. ANY CONFLICT DEFAULTS BACK TO THE CONTRACT DOCUMENTS.

BUILDING SECTION

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PLAN #
2241

NO.	DESCRIPTION	BY	DATE

Design Drawings
provided by:

DESIGNS FOR LIVING,
RESIDENTIAL DESIGNER SINCE 1989

904-730-7135

PROJECT DESCRIPTION:
FUTURE HOME FOR THE LEWIS
FAMILY
3105 S 1ST STREET
JACKSONVILLE BEACH, FL 32250
R/E #: 181524-0000

BUILT BY:

TOM TROUT
GENERAL CONTRACTOR

5569-1 BOWDEN ROAD CBC026189
JACKSONVILLE, FL 32216 904-737-5412

DATE:
6/9/2016

SCALE:
1/2" = 1'-0"

SHEET:
A-13