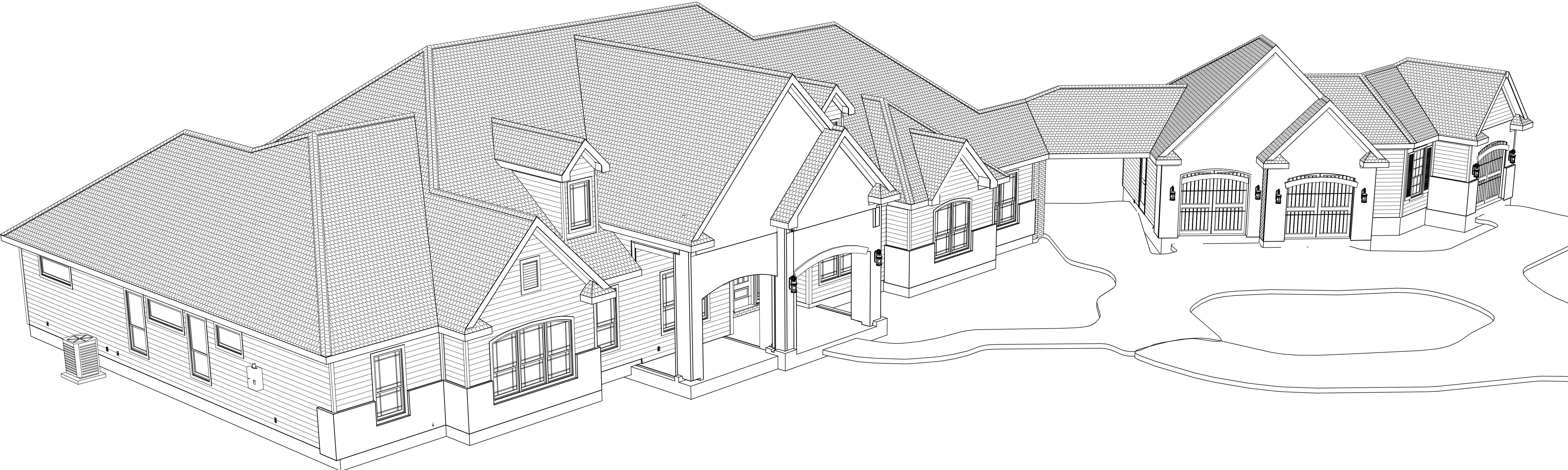


FUTURE HOME OF THE HANNA FAMILY

CONTRACT SET: 7/24/2016



426 TRIPLE CROWN LANE
SAINT JOHNS, FL 32259
R/E#: 010010-0190
WHITELOCK FARMS, LOT 19

BUILT BY:
BRAUGHTON CONSTRUCTION, INC.
CGC1510857
P.O. BOX 600623
JACKSONVILLE, FL 32260
904-669-1109

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PLAN # :
5066

NO.	DESCRIPTION	BY	DATE

BUILT BY:



BRAUGHTON
construction, inc.

(904) 699-1109 CGC1510857

PROJECT DESCRIPTION:
Future Home of the Hanna Family
426 Triple Crown Lane
Saint Johns, FL 32259
R/E # : 010010-0190

Bid Drawings provided by:
DESIGNS FOR LIVING,
LLC
SERVING NE FL SINCE 1969
Jacksonville, FL 32223
904-993-2231

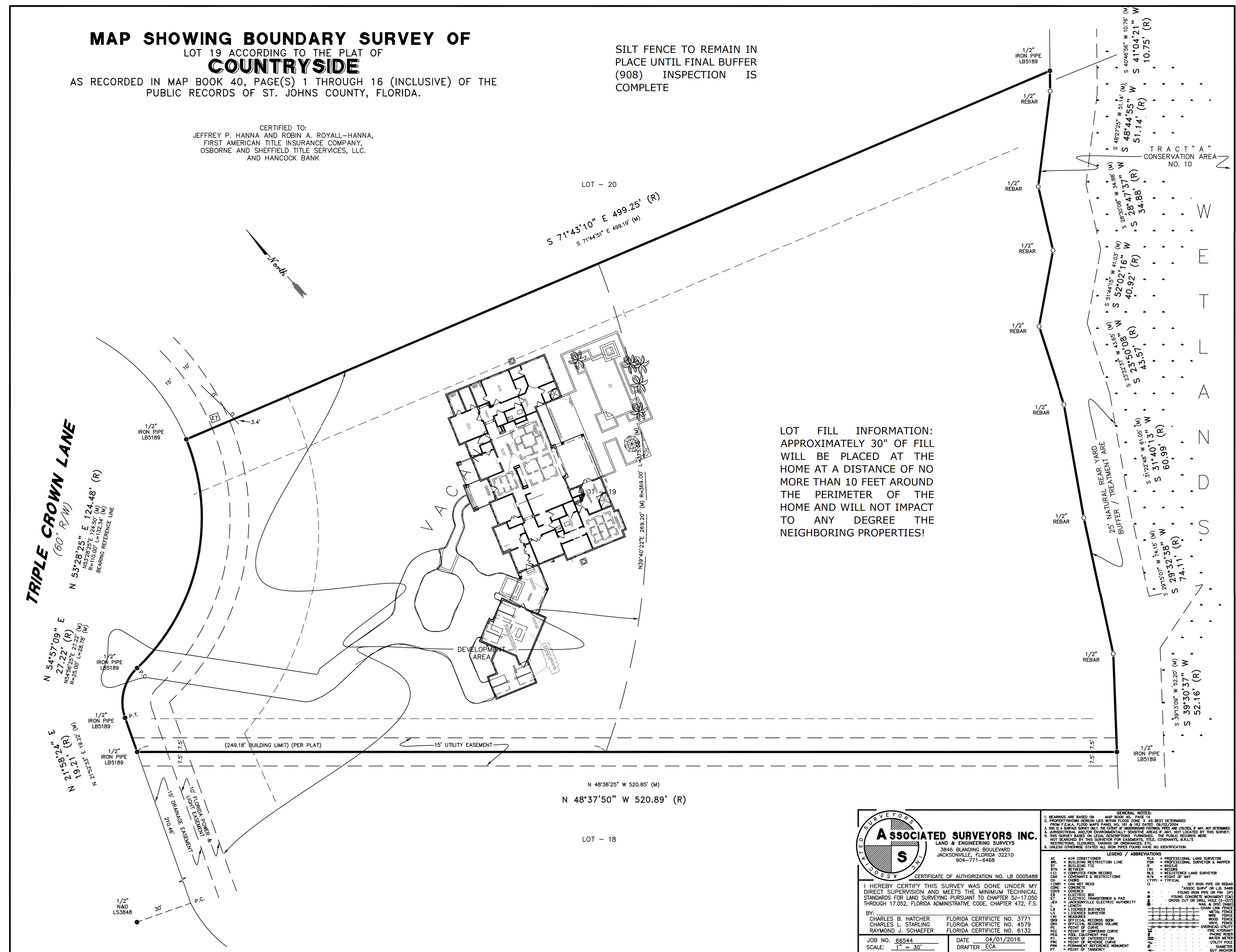
DATE:
7/24/2016

SCALE:
N.T.S.

SHEET:
A-1

12,293/127196 = 9.66%

R/E #: 010010-0190

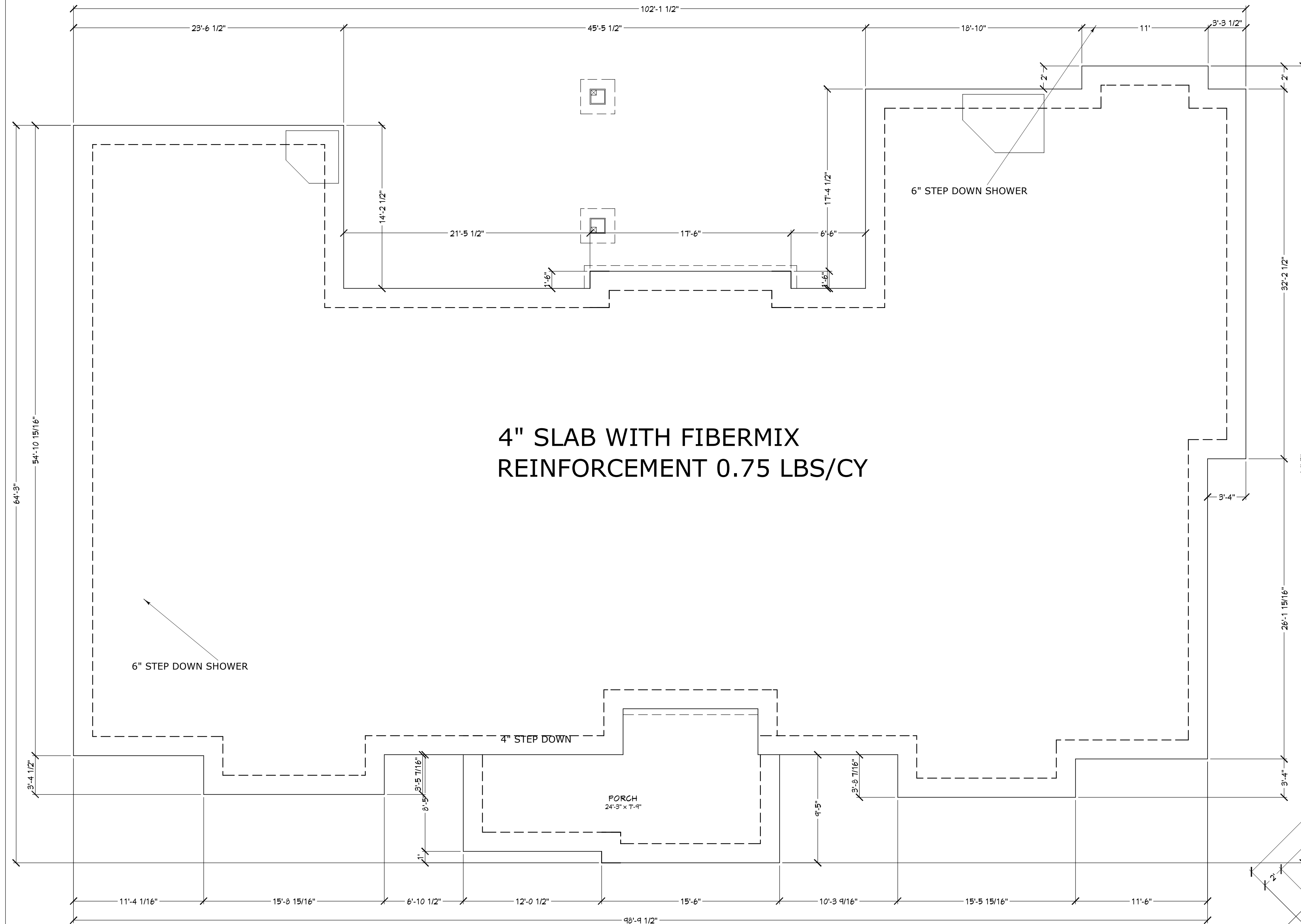


SITE PLAN

DATE:
7/24/2016
SCALE:
1" = 50' 0"
SHEET:
A-2

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CAUTION: 3/16" SCALE



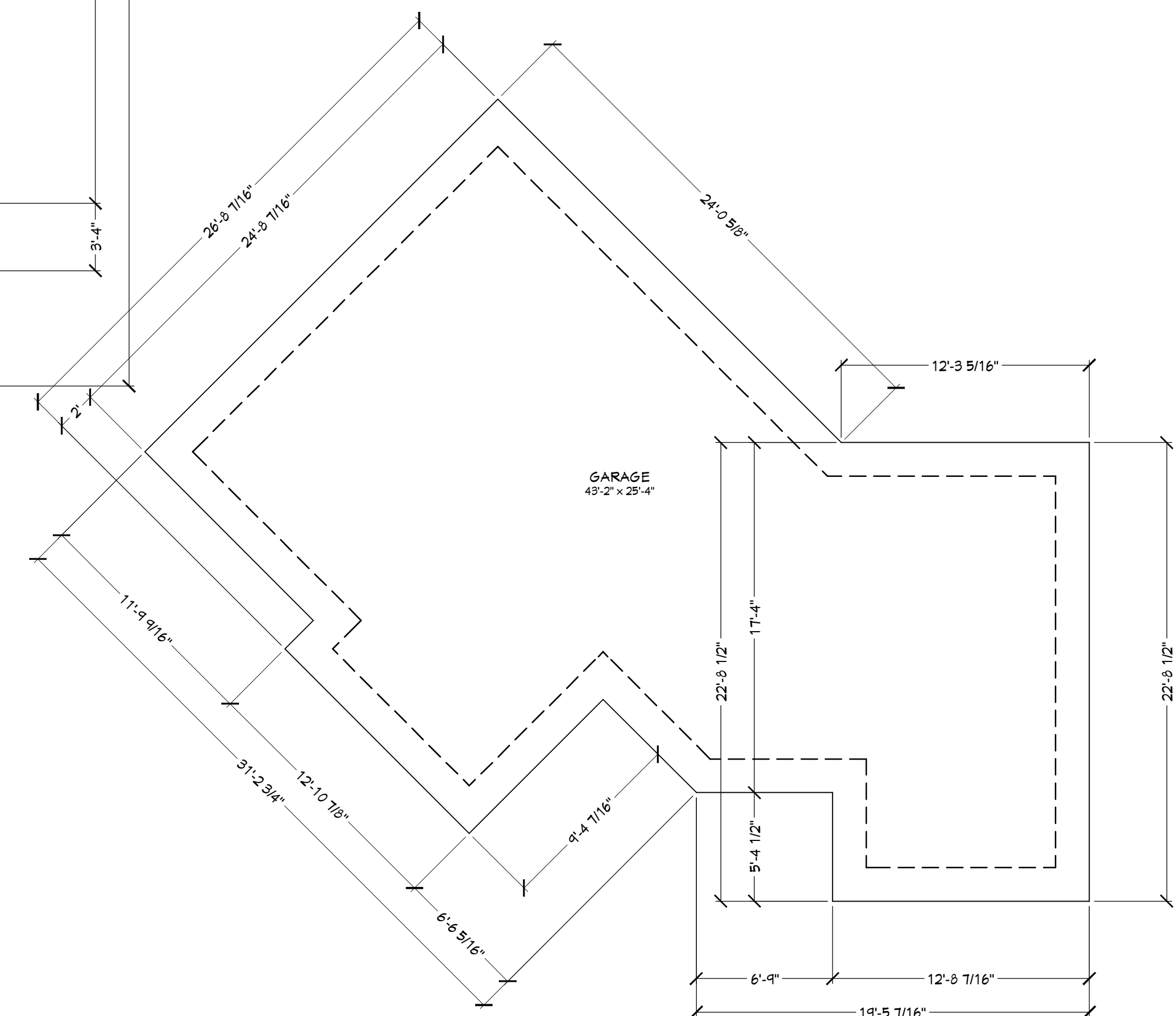
4" SLAB WITH FIBERMIX
REINFORCEMENT 0.75 LBS/CY

INSTALL CHASES FOR ISLAND AND FLOOR PLUGS AS REQUIRED

RUN PIPES FOR HVAC CHASES

MONOLITHIC GARAGE FOUNDATION
IS 12 INCHES LOWER THAN THE
MAIN HOUSE FOUNDATION

BOTH FOUNDATION ARE
MONOLITHIC SLAB & FOOTERS



FOUNDATION PLAN

PLAN #: 5066

NO.	DESCRIPTION	BY	DATE



PROJECT DESCRIPTION:
Future Home of the Hanna Family
 426 Triple Crown Lane
 Saint Johns, FL 32259
 R/E #: 010010-0190

**SIGNS FOR LIVING,
LLC**
SERVING NE FL SINCE 1969
Jacksonville, FL 32223
904-993-2231

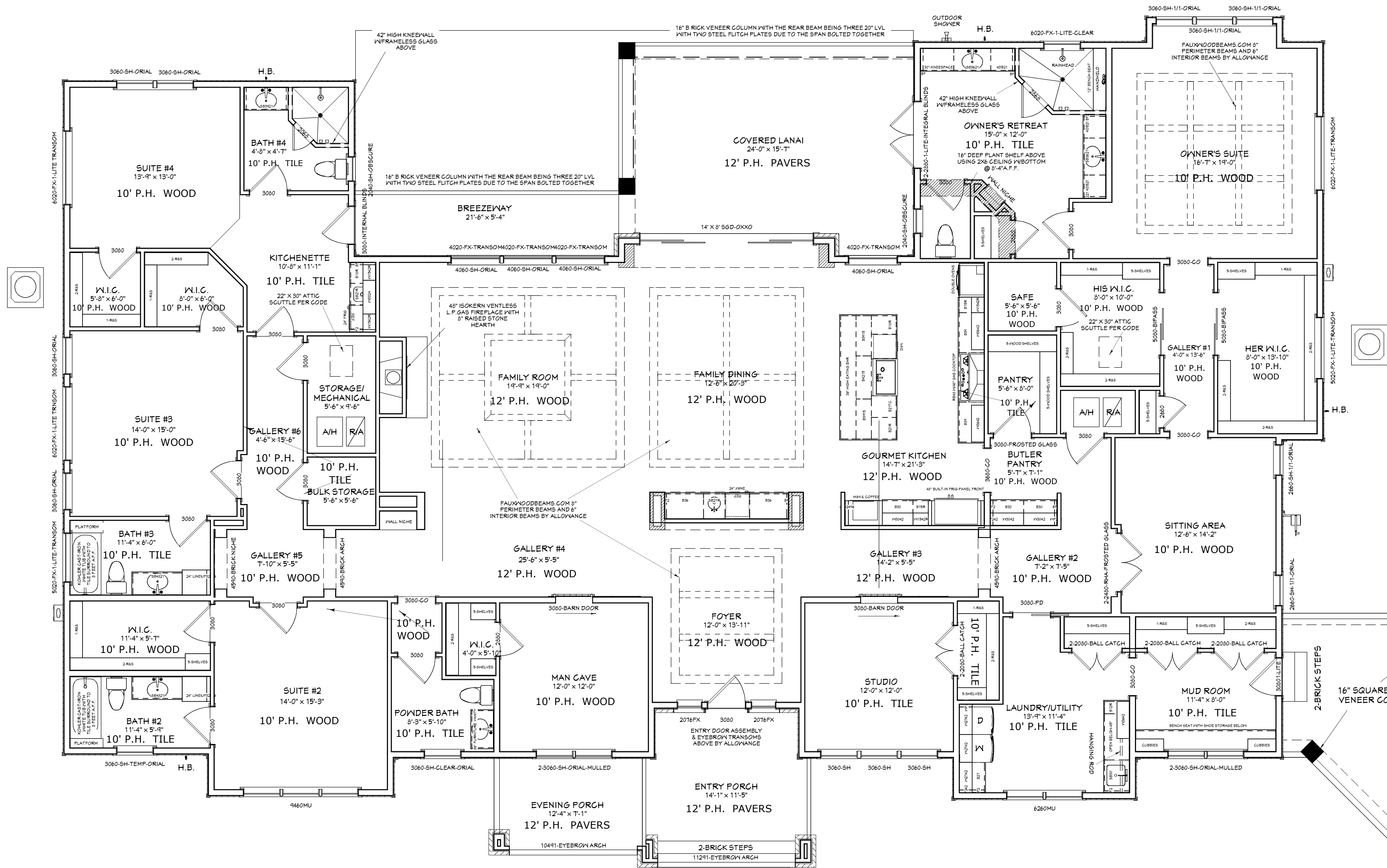
DATE:	
7/24/2016	

SCALE:
 $3/16" = 1'-0"$

SHEET:

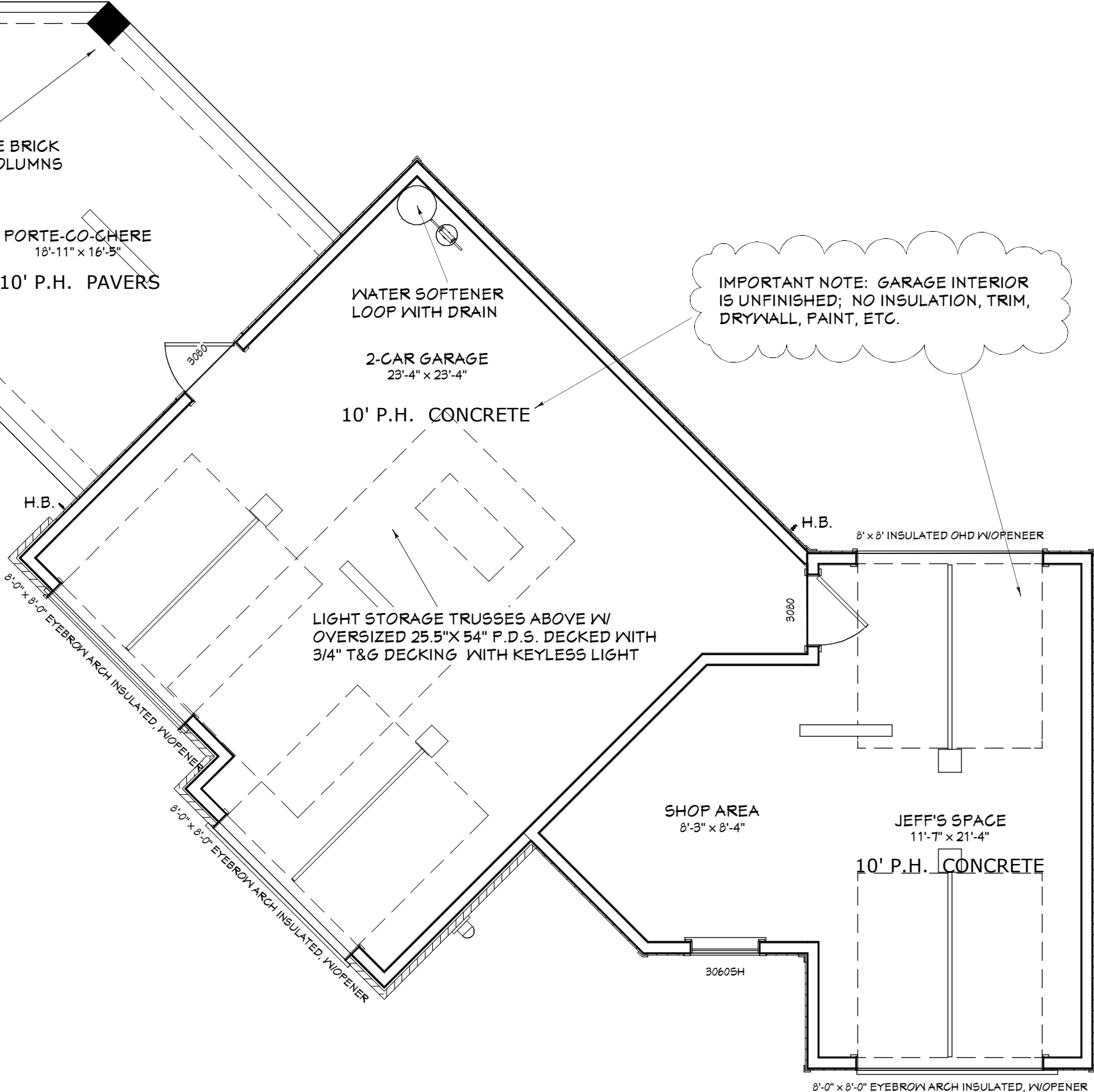
A-3

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FOOTAGES (A.N.S.I.):	
PORTE-COCHERE:	318.92
2-CAR GARAGE:	618.92
TOTAL HEATED:	5,066.14
COVERED ENTRY:	163.12
EVENING PORCH:	90.32
COVERED LANAI:	469.67
BREEZEWAY:	114.44
WORKSHOP/JEFF'S SPACE:	391.51
SLAB EXTENSIONS:	21.71
SLAB AREA:	6,351.72
TOTAL UNDER ROOF:	7,154.17

INSULATION NOTES:
WALLS: 5.5" OPEN CELL FOAM
KNEEWALLS: 5.5" OPEN CELL FOAM
ATTIC: 5.5" OPEN CELL FOAM



CAUTION: 3/16" SCALE

LIVING AREA
5012 sq ft

FLOOR PLAN

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PLAN # :
5066

NO.	DESCRIPTION	BY	DATE

BUILT BY:

BRAUGHTON

construction, inc.

CGC1510857

(904) 699-1109

PROJECT DESCRIPTION:

Future Home of the Hanna Family
426 Triple Crown Lane
Saint Johns, FL 32259
R/E #: 010010-0190

Bid Drawings provided by:

DESIGNS FOR LIVING,
LLC
SERVING NE FL SINCE 1969
Jacksonville, FL 32223
904-993-2231

DATE:

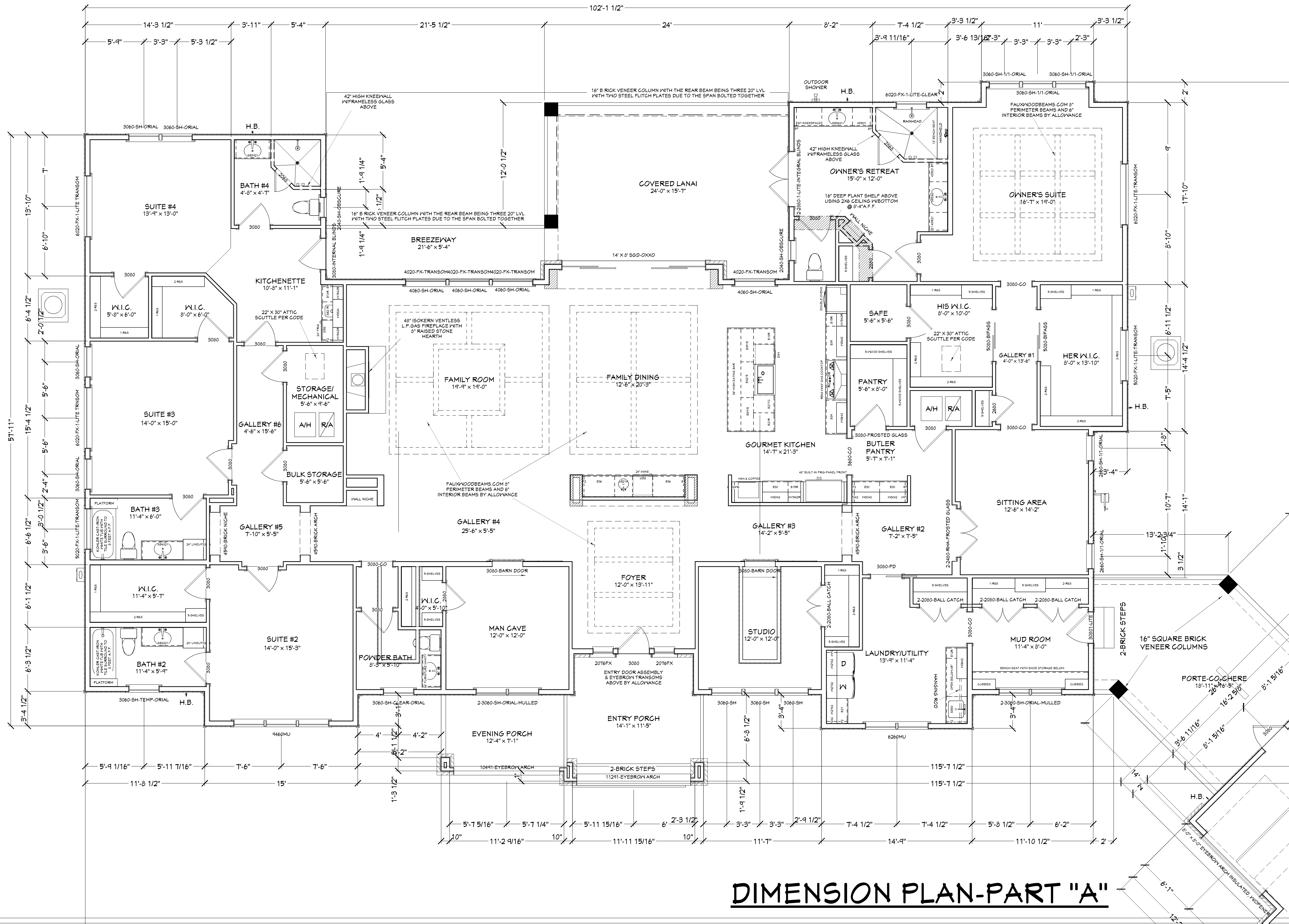
7/24/2016

SCALE:

3/16" = 1'-0"

SHEET:

A-4



DIMENSION PLAN-PART "A"

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PLAN # :
5066

NO.	DESCRIPTION	BY	DATE

BUILT BY:



CGC1510857
(904) 699-1109

PROJECT DESCRIPTION:

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426 Triple Crown Lane
Saint Johns, FL 32259
R/E #: 010010-0190

Bid Drawings provided by:

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SERVING NE FL SINCE 1969
Jacksonville, FL 32223
904-993-2331

DATE:

7/24/2016

SCALE:

1/4" = 1'-0"

SHEET:

A-5

R302.11 Fireblocking.
In combustible construction, fireblocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space.
Fireblocking shall be provided in wood-frame construction in the following locations:
1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:
1.1. Vertically at the ceiling and floor levels.
1.2. Horizontally at intervals not exceeding 10 feet (3048 mm).
2. At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
3. In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7.
4. At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion. The material filling this annular space shall not be required to meet the ASTM E 136 requirements.
5. For the fireblocking of chimneys and fireplaces, see Section R1003.19.
6. Fireblocking of cornices of a two-family dwelling is required at the line of dwelling unit separation.

R302.5.1 Opening protection. Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and residence shall be equipped with solid wood doors not less than 1&3/8 inches (35 mm) in thickness, solid or honeycomb core steel doors not less than 1&3/8inches (35 mm) thick, or 20-minute fire-rated doors. NOTE: DOOR TO BE SELF-CLOSING

SECTION R310
EMERGENCY ESCAPE AND RESCUE OPENINGS

R310.1 Emergency escape and rescue required. Basements, habitable attics and every sleeping room shall have at least one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, emergency egress and rescue openings shall be required in each sleeping room. Where emergency escape and rescue openings are provided they shall have a sill height of not more than 44 inches (1118 mm) above the floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with Section R310.3. The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. Emergency escape and rescue openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with Section R310.2. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.

Exceptions:

1. Basements used only to house mechanical equipment and not exceeding total floor area of 200 square feet (18.58 m2).
2. The emergency escape and rescue opening shall be permitted to open into a screen enclosure, open to the atmosphere, where a screen door is provided leading away from the residence.

R310.1.1 Minimum opening area.

All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m2).

Exception:

Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465 m2).

R310.1.2 Minimum opening height.

The minimum net clear opening height shall be 24 inches (610 mm).

R310.1.3 Minimum opening width.

The minimum net clear opening width shall be 20 inches (508 mm).

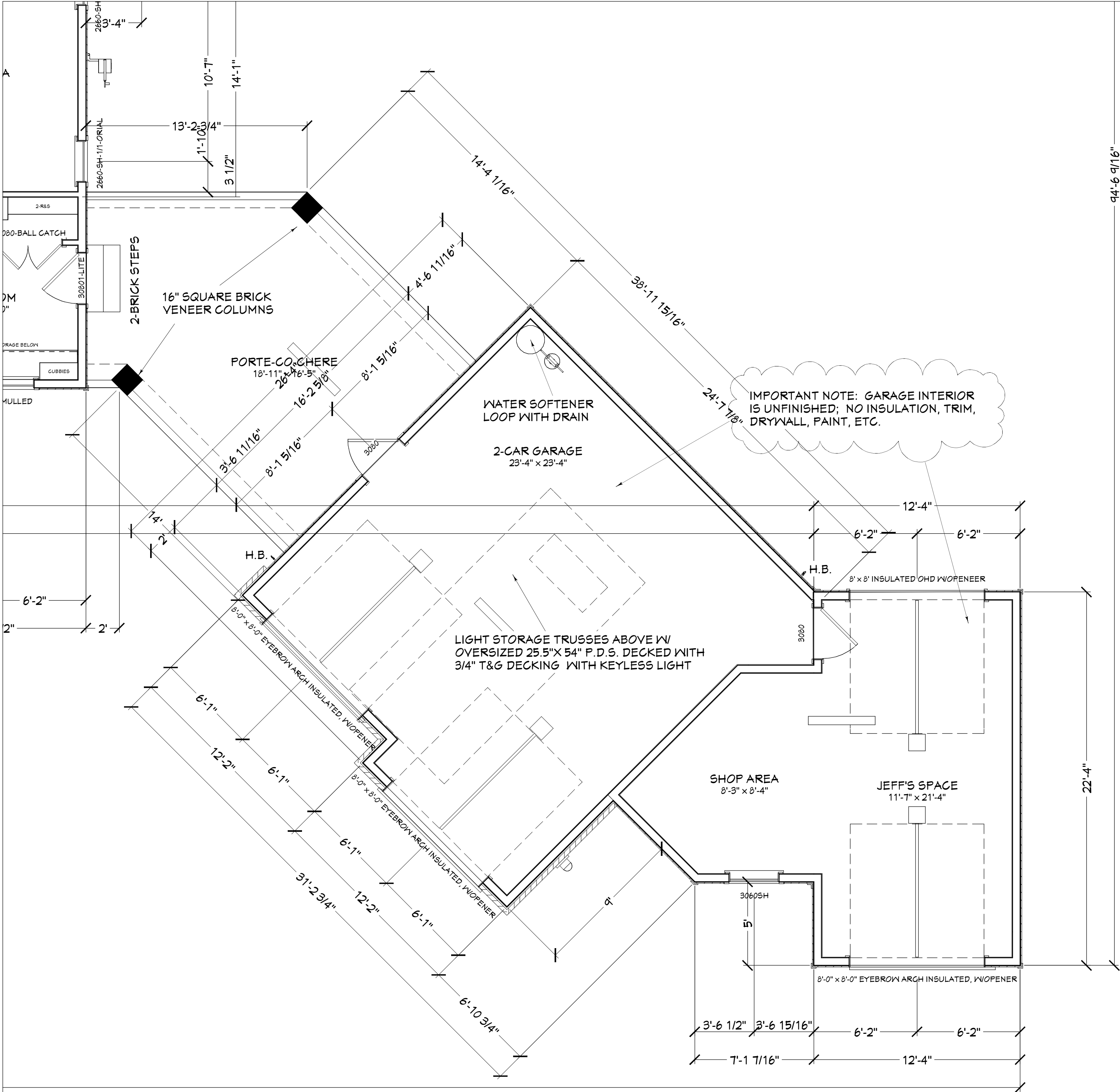
R310.1.4 Operational constraints.

Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys, tools or special knowledge.

R302.12 Draftstopping. In combustible construction where there is usable space both above and below the concealed space of a floor/ceiling assembly, draftstops shall be installed so that the area of the concealed space does not exceed 1,000 square feet (92.9 m2). Draftstopping shall divide the concealed space into approximately equal areas. Where the assembly is enclosed by a floor membrane above and a ceiling membrane below, draftstopping shall be provided in floor/ceiling assemblies under the following circumstances:

1. Ceiling is suspended under the floor framing.
2. Floor framing is constructed of truss-type open-web or perforated members.

R302.12.1 Materials. Draftstopping materials shall not be less than 1/2-inch (12.7 mm) gypsum board, 3/8-inch (9.5 mm) wood structural panels or other approved materials adequately supported. Draftstopping shall be installed parallel to the floor framing members unless otherwise approved by the building official . The integrity of the draftstops shall be maintained



DIMENSION PLAN-PART "B"

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PLAN # :
5066

NO.	DESCRIPTION	BY	DATE

BUILT BY:



Broughton
construction, inc.

(904) 699-1109
CGC1510857

PROJECT DESCRIPTION:

Future Home of the Hanna Family
426 Triple Crown Lane
Saint Johns, FL 32259
R/E #: 010010-0190

Bid Drawings provided by:

DESIGNS FOR LIVING, LLC
SERVING NE FL SINCE 1969
Jacksonville, FL 32223
904-993-2231

DATE:

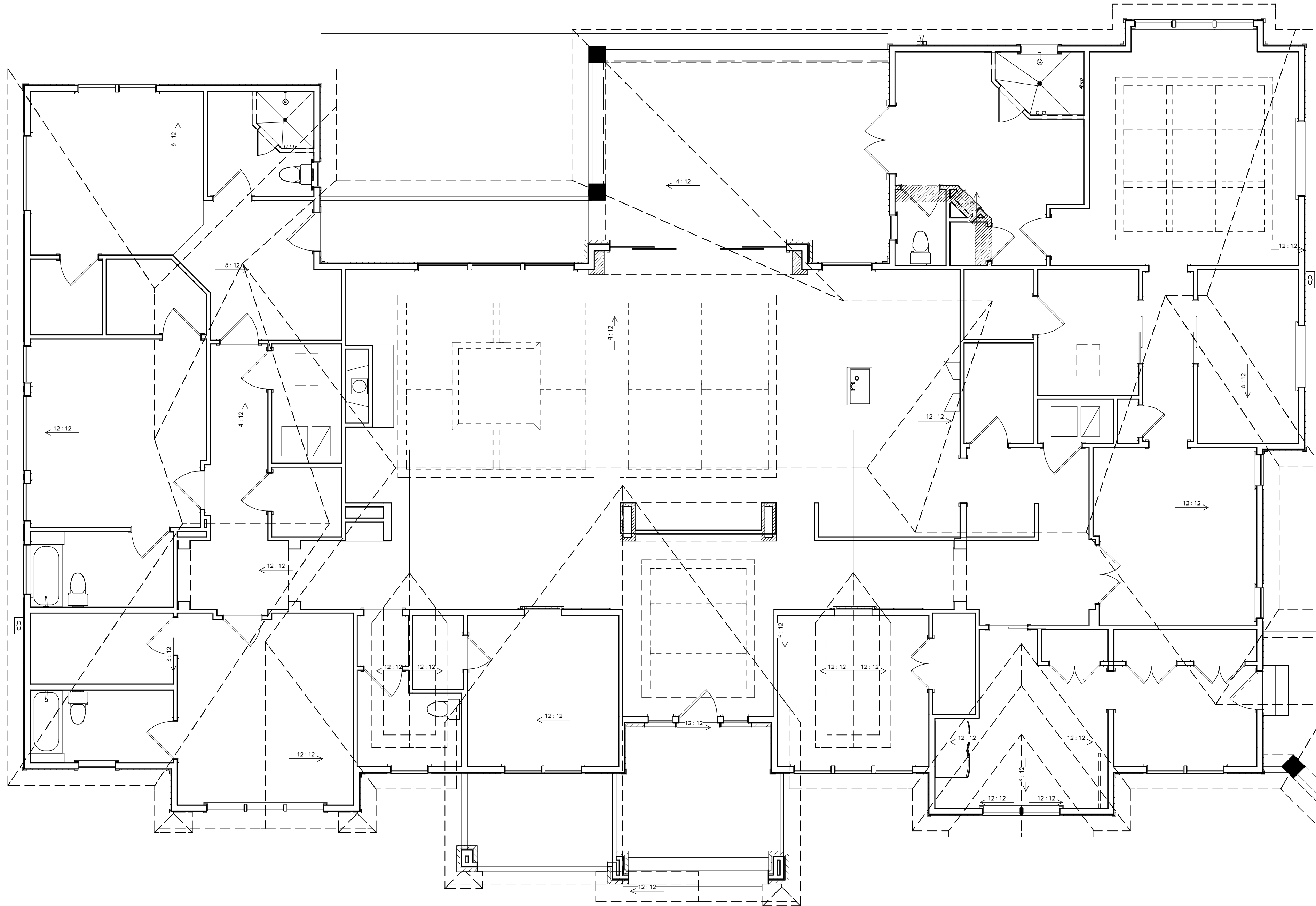
7/24/2016

SCALE:

1/4" = 1'-0"

SHEET:

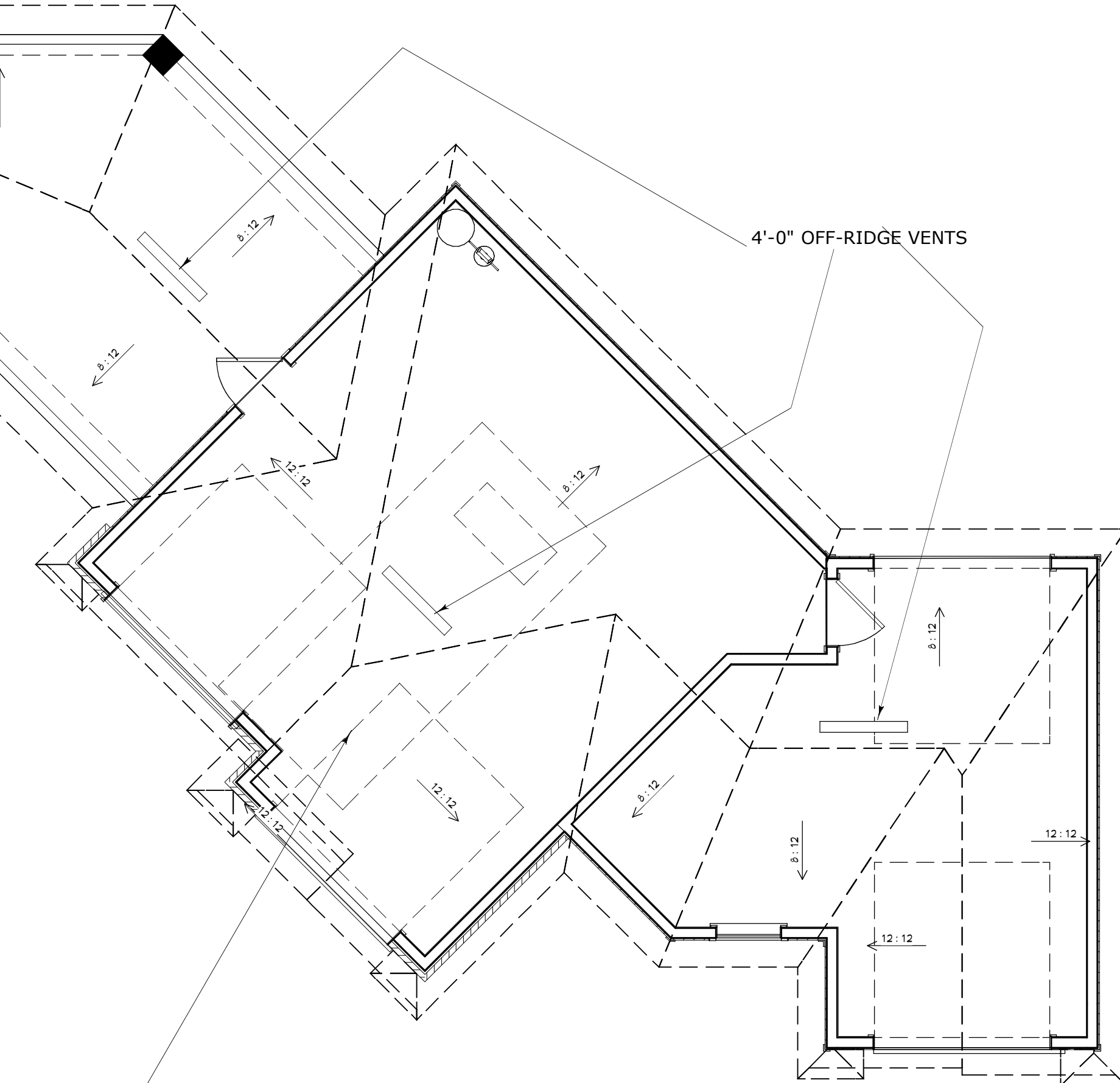
A-6



CAUTION: 3/16" SCALE

INSULATION NOTES:

- 1. MAIN HOME IS 5.5" OPEN CELL FOAM IN THE EXTERIOR WALLS AND 5.5" OPEN CELL FOAM AGAINST THE ROOF SHEATHING AND GABLE ENDS AS REQUIRED.**
- 2. FIBERGLASS BATTS FOR SOUND ATTENUATION TO BE INSTALLED IN ALL BATH AND LAUNDRY ROOM WALLS.**
- 3. THE GARAGE AND SHOP ARE NOT INSULATED**



LIGHT STORAGE TRUSSES DESIGNED FOR MAXIMUM STORAGE, DECKED WITH 3/4" T&G DECKING, OVERSIZED PULL DOWN STAIRS WITH SWITCHED KEYLESS LIGHT

ROOF NOTES:

ROOF PITCH: 4/12, 8/12, 9/12 & 10/12 (U.O.N.)

OVERHANG: 16" PAST THE EXTERIOR FINISH

CABLE OVERHANGS: 12" (U.O.N.)

SHINGLES: LIFETIME ARCHITECTURAL

FELT: SYNTHETIC FELT

EYEBROW RETURNS: 36"

TRUSS HEEL NOTE: VARIES DUE TO COMPOUND PITCH ROOFS

GARAGE ATTIC STORAGE TRUSSES WITH SPACING FOR OVERSIZED PULL DOWN STAIRS

NOTE TO TRUSS DESIGNER: THIS IS A VERY COMPLEX MULTI-O\PITCH ROOF SYSTEM-IF YOU ARE CONFUSED PLEASE CALL CHIP @ 904-993-2231

ROOF PLAN

PLAN # :
5066

NO.	DESCRIPTION	BY	DATE

BUILT BY:

BRAUGHTON
construction, inc.

(904) 699-1109 CGC1510857

PROJECT DESCRIPTION:
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426 Triple Crown Lane
Saint Johns, FL 32259
R/E #: 010010-0190

Bid Drawings provided by:
DESIGNS FOR LIVING,
LLC
SERVING NE FL SINCE 1969
Jacksonville, FL 32223
904-993-2231

DATE:
7/24/2016

SCALE:
3/16" = 1'-0"

SHEET:
A-7

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FRONT ELEVATION

CAUTION: 3/16" SCALE



REAR ELEVATION

FRONT/REAR ELEVATIONS

PLAN # :
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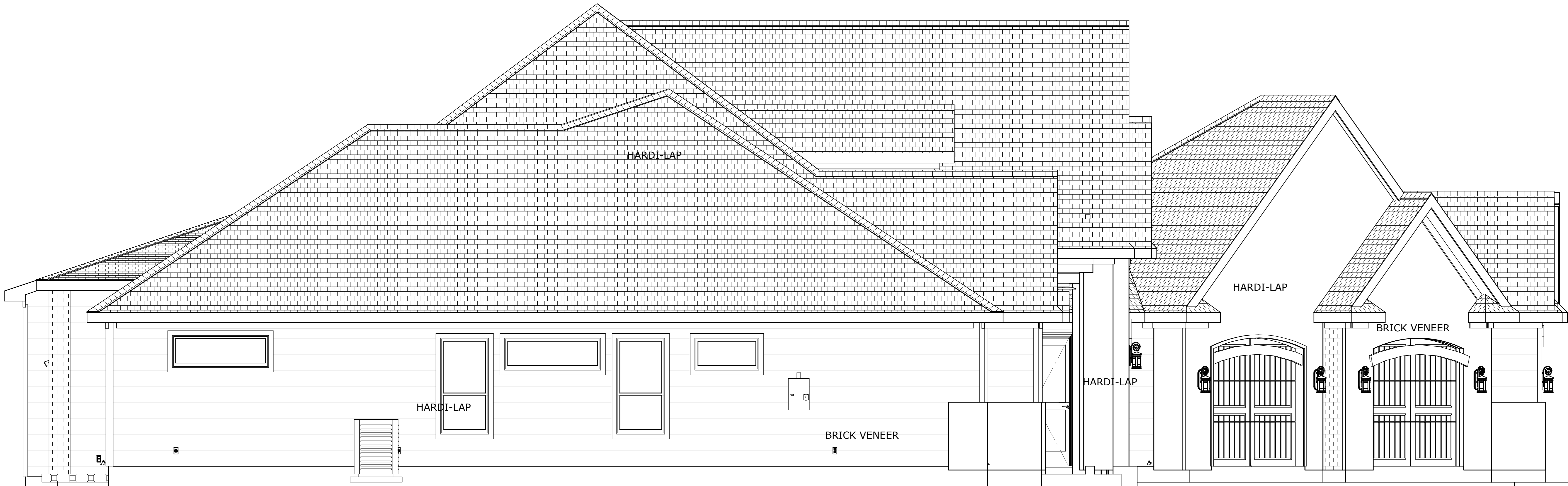
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904-993-2231

DATE:
7/24/2016

SCALE:
3/16" = 1'-0"

SHEET:
A-8

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LEFT ELEVATION



RIGHT ELEVATION

SIDE ELEVATIONS

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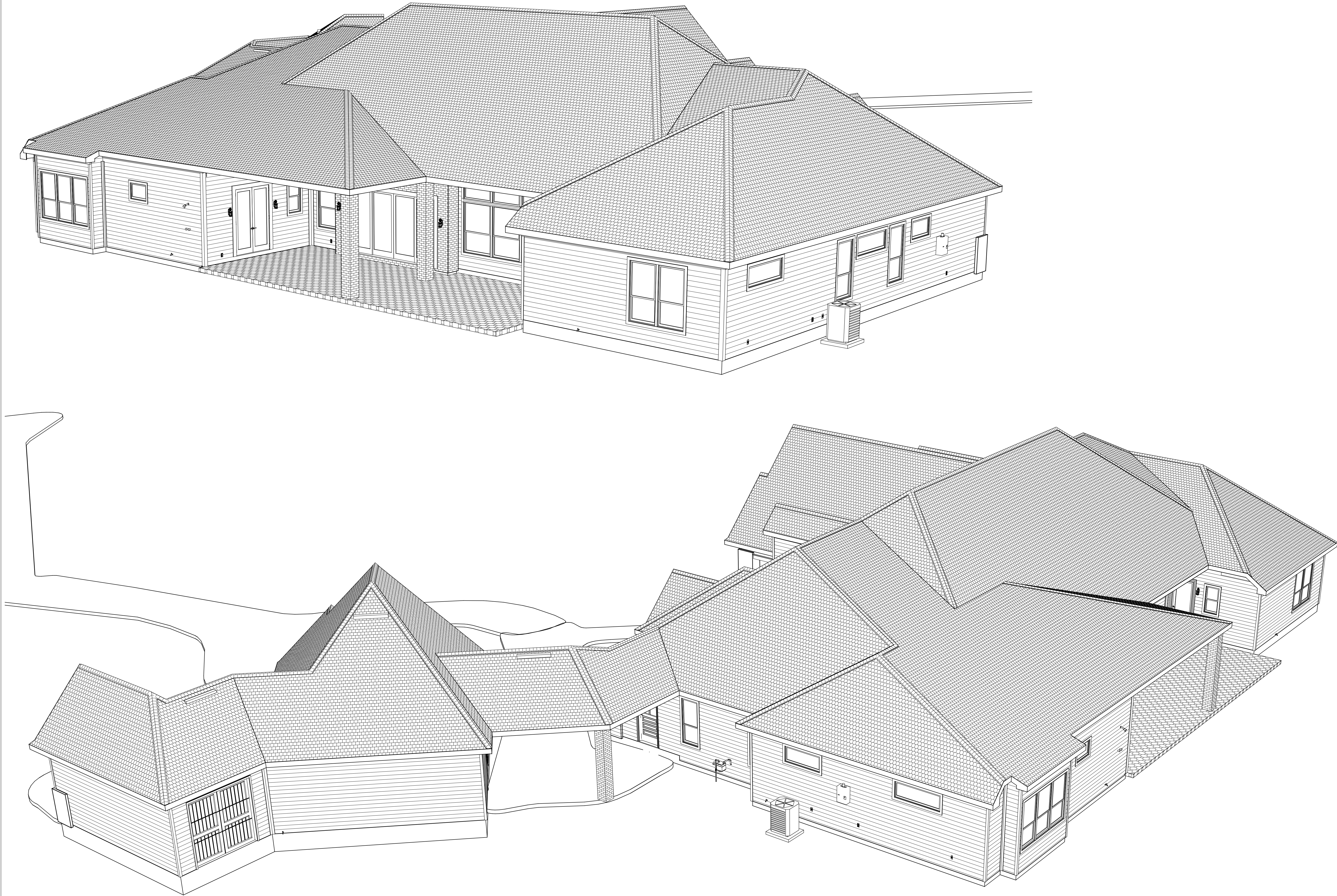
7/24/2016

SCALE:

1/4" = 1'-0"

SHEET:

A-9



ORTHOGRAPHIC VIEWS

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904-993-2231

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7/24/2016
SCALE:
N.T.S
SHEET:
A-10

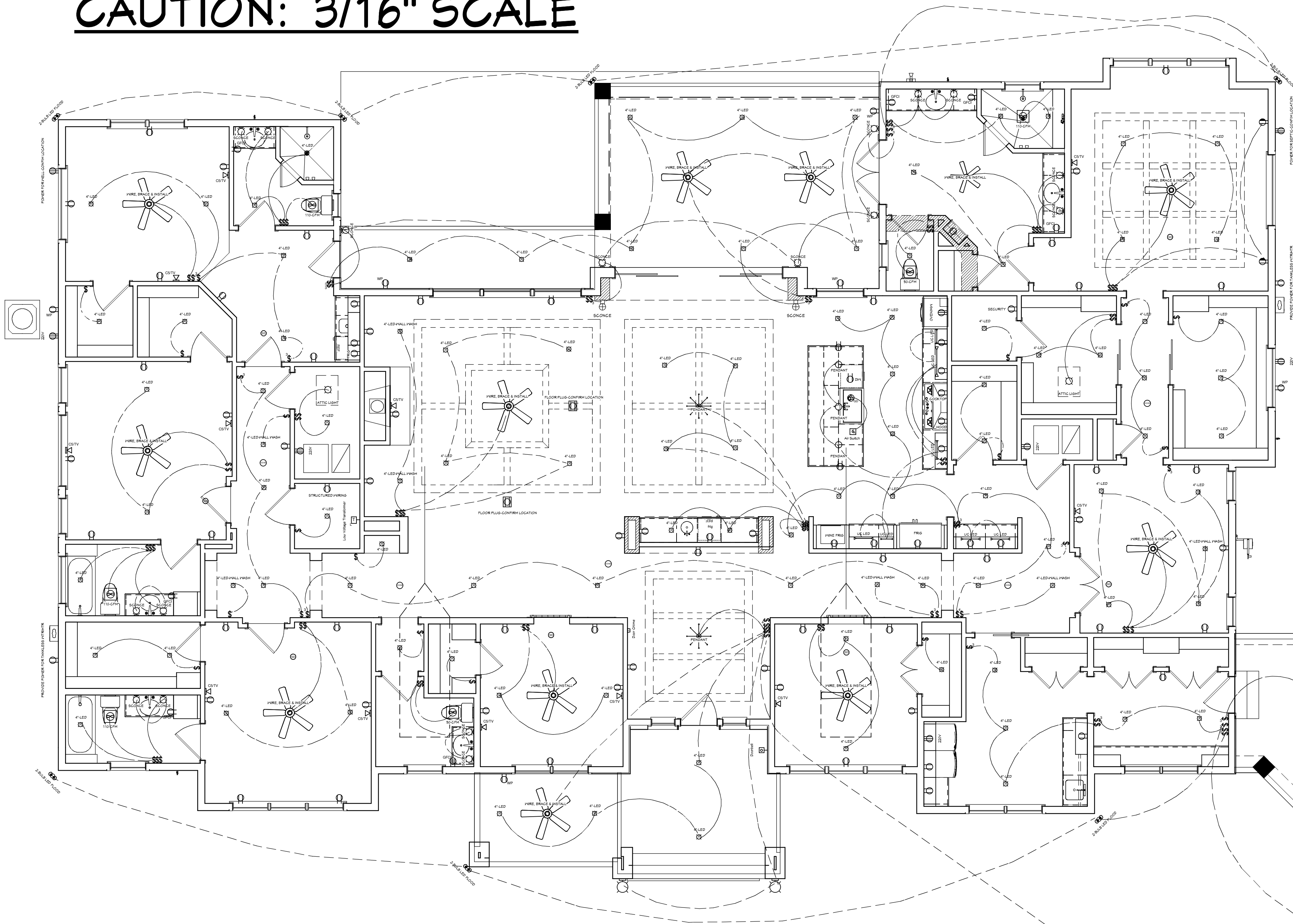
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NO.	DESCRIPTION	BY	DATE

PLAN # :
5066

CAUTION: 3/16" SCALE



PER FBC-R-E3901.7, NEC 210, E3901.7 & E3902.3 GFCI PROTECTION REQUIRED Bathrooms, garages, boathouses & accessory structures not intended as habitable rooms and limited to storage, work & similar uses. Outdoors, crawl spaces, unfinished basements, kitchen countertops. Outlets within 6 feet of laundry, utility or wet sinks. Balcony, deck or porch greater than 20 s.f. One at the front and back of the dwelling and at the condenser units.

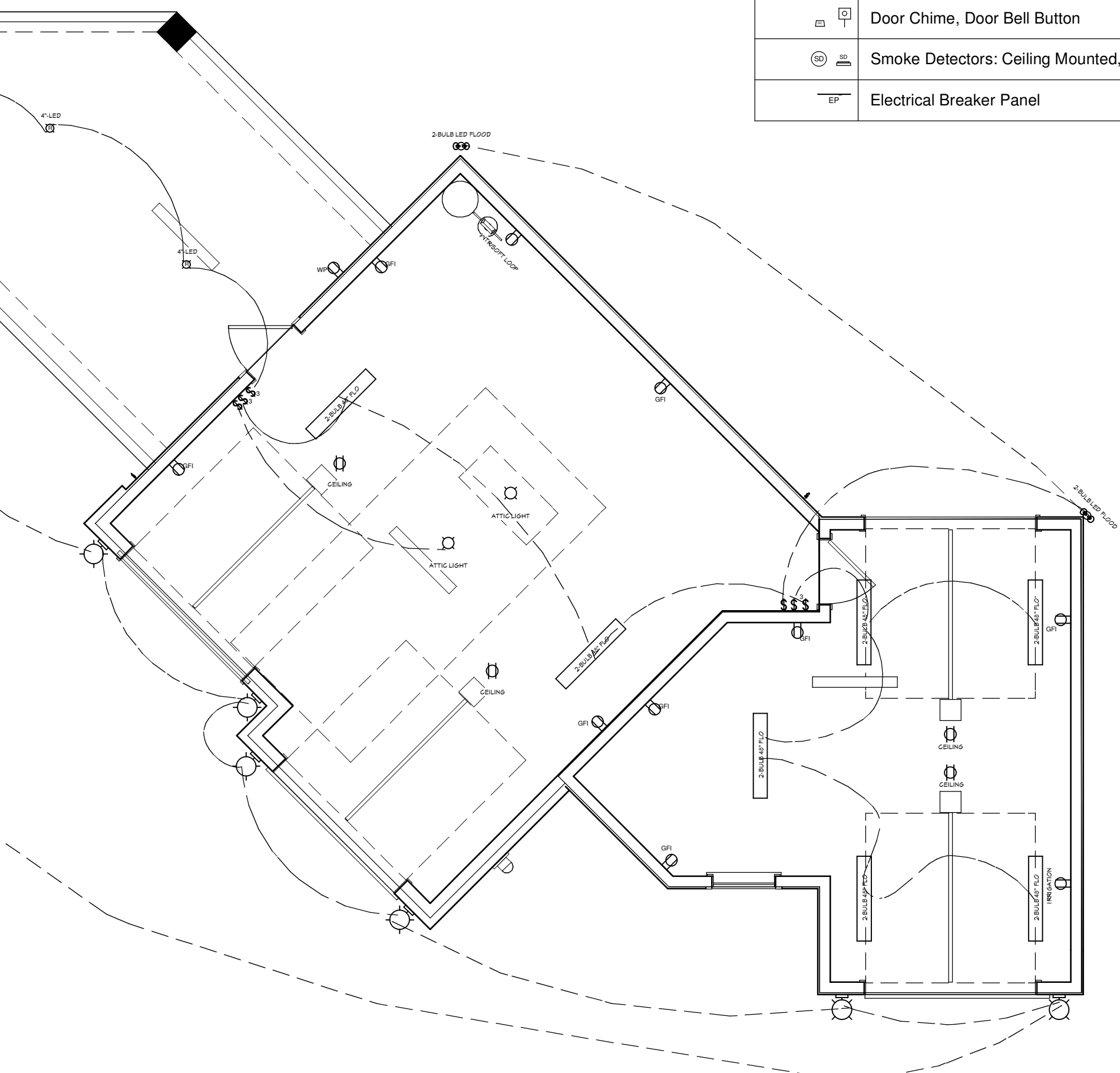
PER FBC-R-E3902.12 AFCI PROTECTION REQUIRED Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed AFCI, combination type.

- ELECTRICAL NOTES:
1. WELL LOCATION TO BE CONFIRMED
 2. PROPERTY HAS PRIVATE WELL & PRIVATE SEPTIC
 4. WATER HEATERS TO BE TANKLESS L.P. GAS
 5. SECURITY PRE-WIRE & TRIM
 6. PRE-WIRE & TRIM FOR CAT5/TV PER PLANS
 7. CONFIRM WITH OWNER ON STRUCTURED WIRING
 8. TWO-150 AMP ELECTRICAL PANELS FOR A TOTAL OF 300 AMP SERVICE
 9. CONFIRM ALL ELECTRICAL W/OWNER PRIOR TO WIRING ANYTHING
 - 10.CONFIRM THE SECONDARY PANEL TO THE GARAGE AND SHOP AREA
 - 11.CONFIRM POWER LOCATIONS FOR SEPTIC & WELL

HOME TO BE PIPED FOR LP GAS AS FOLLOWS:
RANGETOP, GRILL STUB, FIRE PIT, LOG
LIGHTERS & DRYER-CONFIRM ALL WITH
OWNER. ALSO, THERE WILL BE A BURIED L.P.
GAS TANK 250-300 GALLON-CONFIRM

EFFICACY NOTE: THE NEW
FBC-R FBC EC R404.1 & R202
BUILDING CODE REQUIRES ALL
INSIDE & OUTSIDE LIGHT
FIXTURES WILL USE CFL OR
LED LIGHT BULBS.

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel



CAUTION: 3/16" SCALE

ELECTRICAL PLAN

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PLAN # :
5066

NO.	DESCRIPTION	BY	DATE

BUILT BY:

(904) 699-1109
CGC1510857

PROJECT DESCRIPTION:
Future Home of the Hanna Family
426 Triple Crown Lane
Saint Johns, FL 32259
R/E #: 010010-0190

Bid Drawings provided by:

DESIGNS FOR LIVING, LLC
SERVING NE FL SINCE 1969
Jacksonville, FL 32223
904-993-2231

DATE:

7/24/2016

SCALE:

3/16" = 1'-0"

SHEET:

A-11