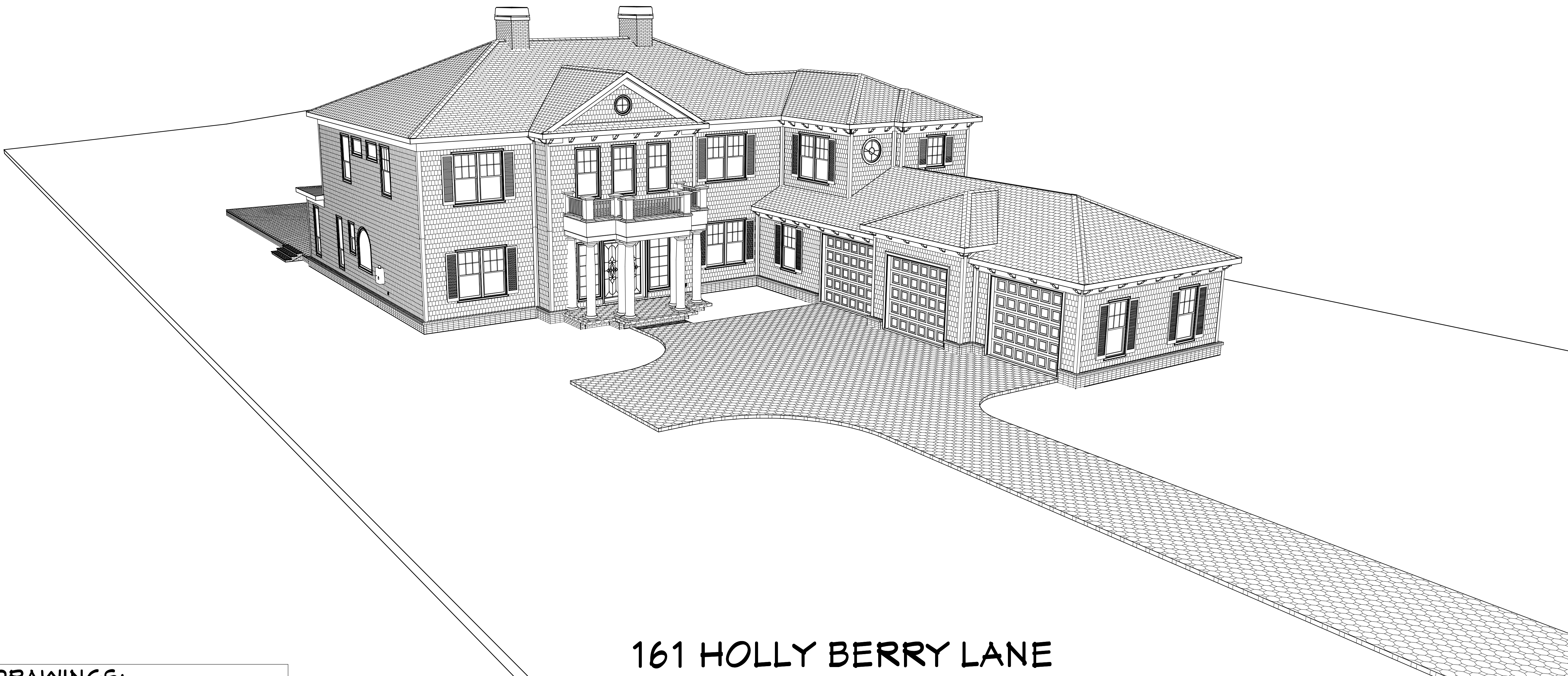


FUTURE HOME OF THE DONOVAN FAMILY

PERMIT PLAN: 12/9/2015



INDEX TO DRAWINGS:	
A-1:	COVER PAGE
A-2:	SITE PLAN
A-3:	FOUNDATION PLAN
A-4:	1ST FLOOR PLAN
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A-11:	1ST FLOOR ELEC PLAN
A-12:	2ND FLOOR ELEC PLAN
A-13:	EXTERIOR ISOMETRICS

161 HOLLY BERRY LANE
SAINT JOHNS, FL 32259
R/E#: 000381-0140
LOT 14, PORT ST. JOHN

BUILT BY:
TANK REHAB.COM, LLC
2030 E. ADAMS STREET
JACKSONVILLE, FL 32202
CGC1511024

COVER PAGE

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FUTURE HOME OF:
THE DONOVAN FAMILY
161 HOLLY BERRY LANE
SAINT JOHNS, FL 32259
LOT 14, PORT ST JOHN

Design Drawings
provided by:

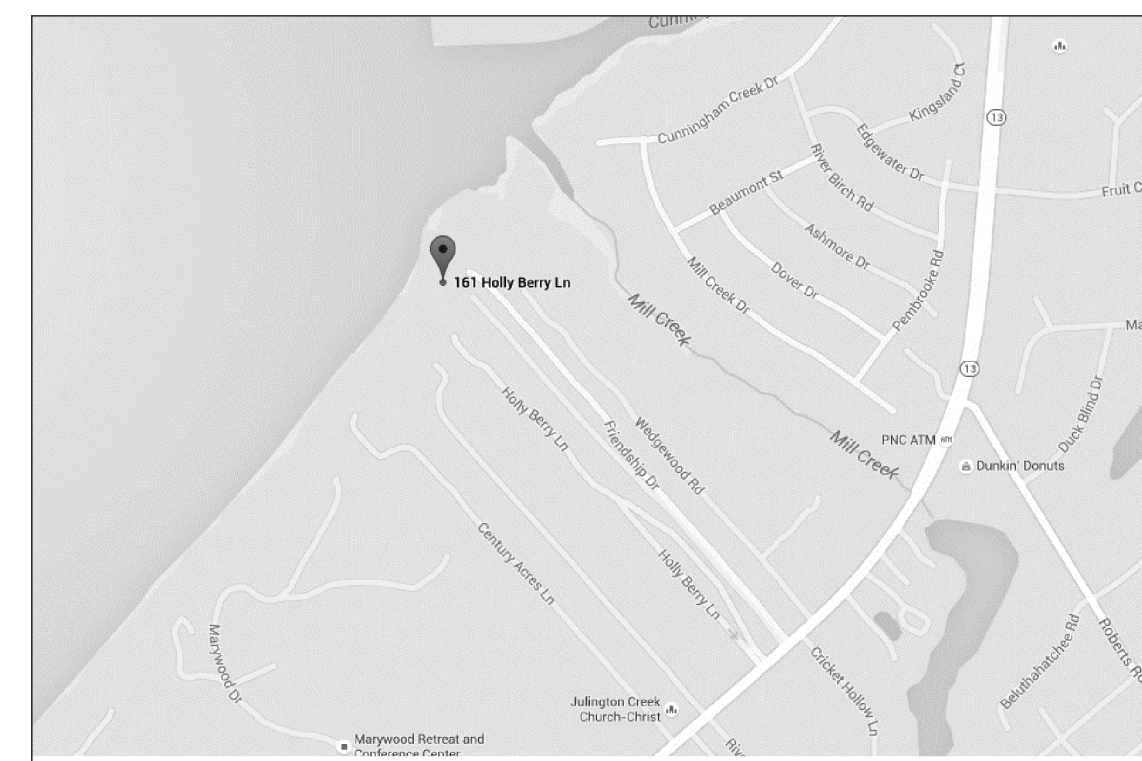
DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN SINCE 1989

904-730-7135

DATE:
12/9/2015
SCALE:
N.T.S.
SHEET:
A-1

1. ALL SERVICES ARE PUBLIC BY JEA-AVAILABILITY LETTER
2. THE EXISTING DEEP WELL IS STRICTLY FOR IRRIGATION

PORTALET: TO BE LOCATED AT THE FRONT SIDE OF THE PROPERTY
20 YD DUMPSTER: TO BE LOCATED AT THE FRONT SIDE OF THE PROPERTY
EXISTING TREES: TO BE PROTECTED BY TREE BARRIERS



WIND DESIGN CRITERIA:
WIND SPEED: 130 MPH
EXPOSURE CATEGORY: "D"
BUILDING TYPE: ENCLOSED
BUILDING CATEGORY: II
IMPORTANCE FACTOR: 1.0
TOPOGRAPHY: SLIGHT SLOPE
MEAN ROOF HEIGHT: -30 FT
BUILDING CODE: 2015 FBC-R

R/E #: 000381-0140

R2015-004400
SUBMISSION #3-12/9/2015

LOT 13: EXISTING SINGLE FAMILY HOME

FOUNDATION IS FOOTER AND STEMWALL TYPE

LANDSCAPE & IRRIGATION: PER THE ARB GUIDELINES
ENTRY STEPS: MEGA OLD TOWN GREY BASE PAVERS
WALKS & DRIVES: MEGA OLD TOWN GREY BASE PAVERS
SETBACKS:

LEGAL DESCRIPTION:

51/75-80 38-5-27
R/E #: 000381-0140
LOT 14, PORT ST. JOHN

SITE PLAN

PLAN #:
5579[illegible]

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FUTURE HOME OF:

THE DONOVAN FAMILY

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SAINT JOHNS, FL 32259
LOT 14, PORT ST JOHN

Design Drawings
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WORLD
RESIDENTIAL DESIGN SINCE 1969

904-730-7135

DATE:
12/9/2015

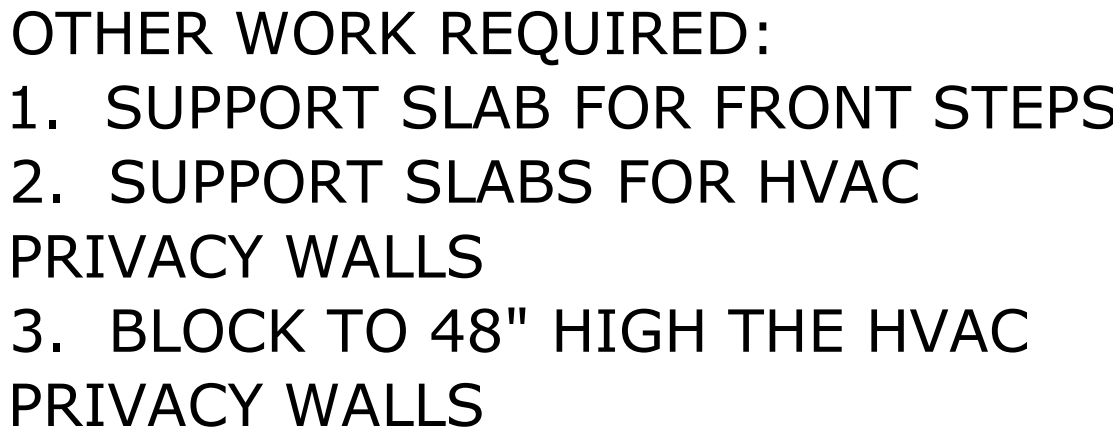
SCALE:

1'-0"=40'-0"

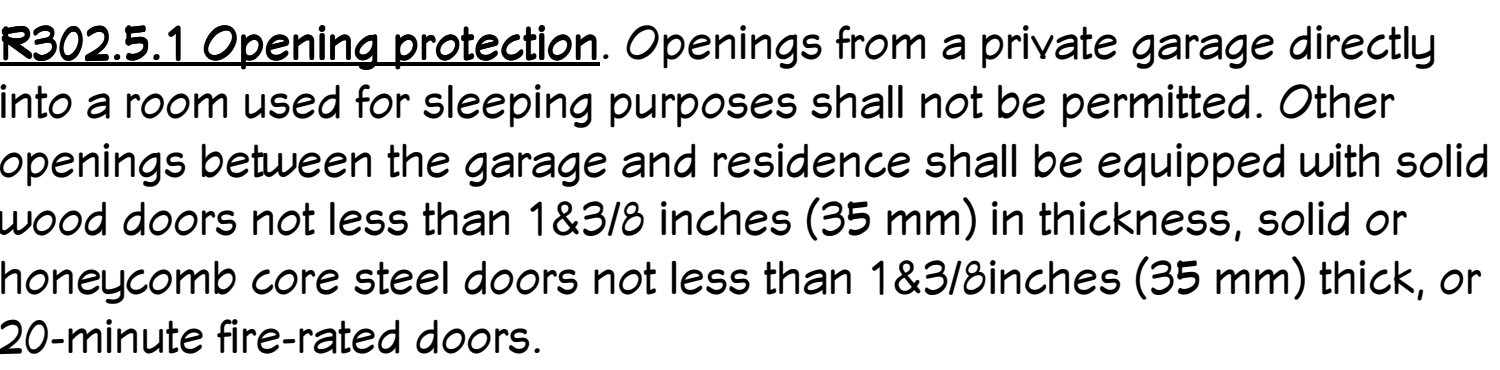
SHEET:

A-2

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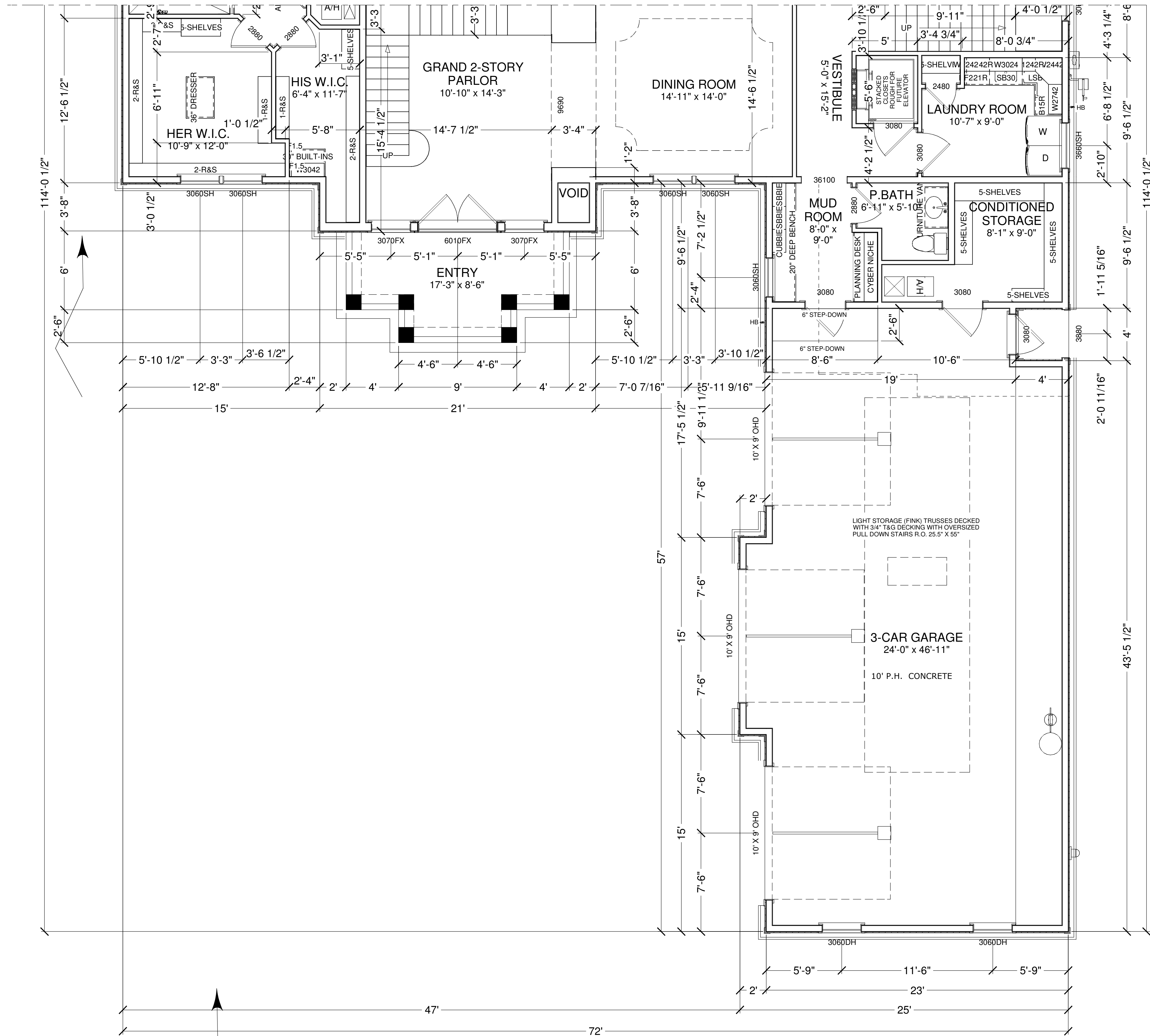


A-3



FOOTAGES (A.N.S.I.):	
1ST FLR HEATED:	3,300.87
2ND FLR HEATED:	2,279.06
TOTAL HEATED:	5,579.93
STORAGE:	101.17
COVERED PORCH:	211.98
GARAGE:	1,105.99
FAUX BALCONY:	124.50
ENTRY:	124.50
SIDE ENTRY:	15.55
SLAB EXTENSIONS:	37.00
SLAB AREA:	4,897.06
UNDER ROOF:	7,160.57

1ST FLOOR PLAN



R302.6 Dwelling/garage fire separation. The garage shall be separated as required by Table R302.6. Openings in garage walls shall comply with Section R302.5. This provision does not apply to garage walls that are perpendicular to the adjacent dwelling unit wall.

R302.5.1 Opening protection. Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and residence shall be equipped with solid wood doors not less than 1&3/8 inches (35 mm) in thickness, solid or honeycomb core steel doors not less than 1&3/8 inches (35 mm) thick, or 20-minute fire-rated doors.

INSULATION NOTES:
WALLS: 5.5" OPEN CELL FOAM
KNEEWALLS: 5.5" OPEN CELL FOAM
ATTIC: 5.5" OPEN CELL FOAM
FLOORS: 5.5" OPEN CELL FOAM

GARAGE PLAN

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CGC1511024 904-993-2231

FUTURE HOME OF:

THE DONOVAN FAMILY

161 HOLLY BERRY LANE
SAINT JOHNS, FL 32259
LOT 14, PORT ST JOHN

Design Drawings
provided by:

DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN SINCE 1989
904-730-7135

DATE:

12/9/2015

SCALE:

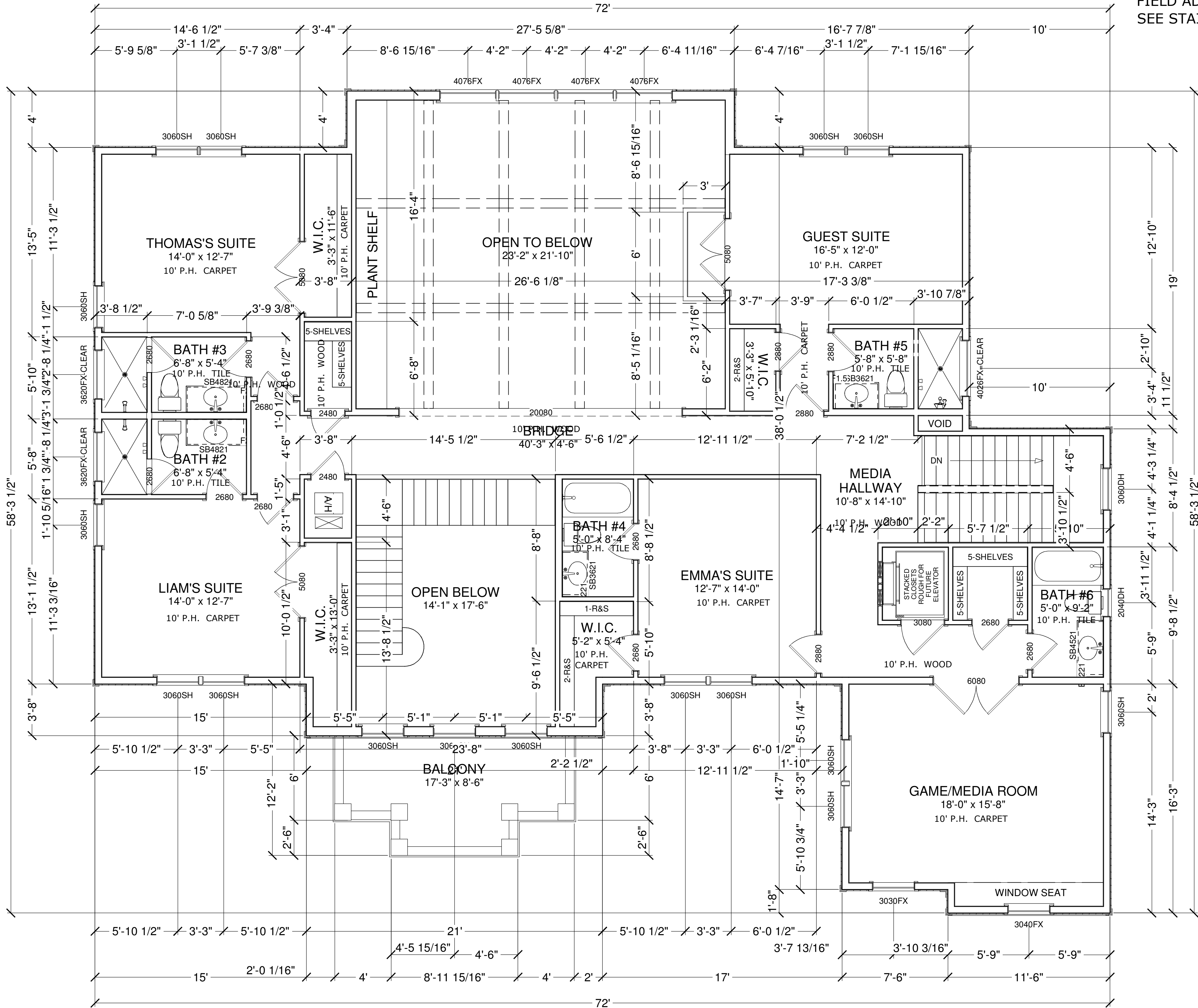
1/8" = 1'-0"

SHEET:

A-5

INSULATION NOTES:
WALLS: 5.5" OPEN CELL FOAM
KNEEWALLS: 5.5" OPEN CELL FOAM
ATTIC: 5.5" OPEN CELL FOAM
FLOORS: 5.5" OPEN CELL FOAM

STAIR NOTES PER FBCR-311.7:
PAINTED RISERS & SKIRT BOARDS
10" OAK TREADS W/1" NOSING
TOTAL RISE: 165.875"
TOTAL RISERS: 24 @ 6.911"
FIELD ADJUST AS REQUIRED
SEE STAIR NOTES PAGES A-13 & A-14



STAIR NOTES PER FBCR-311.7:
PAINTED RISERS & SKIRT BOARDS
10" OAK TREADS W/1" NOSING
TOTAL RISE: 165.875"
TOTAL RISERS: 22 @ 7.54"
FIELD ADJUST AS REQUIRED
SEE STAIR NOTES PAGES A-13 & A-14

2ND FLOOR PLAN

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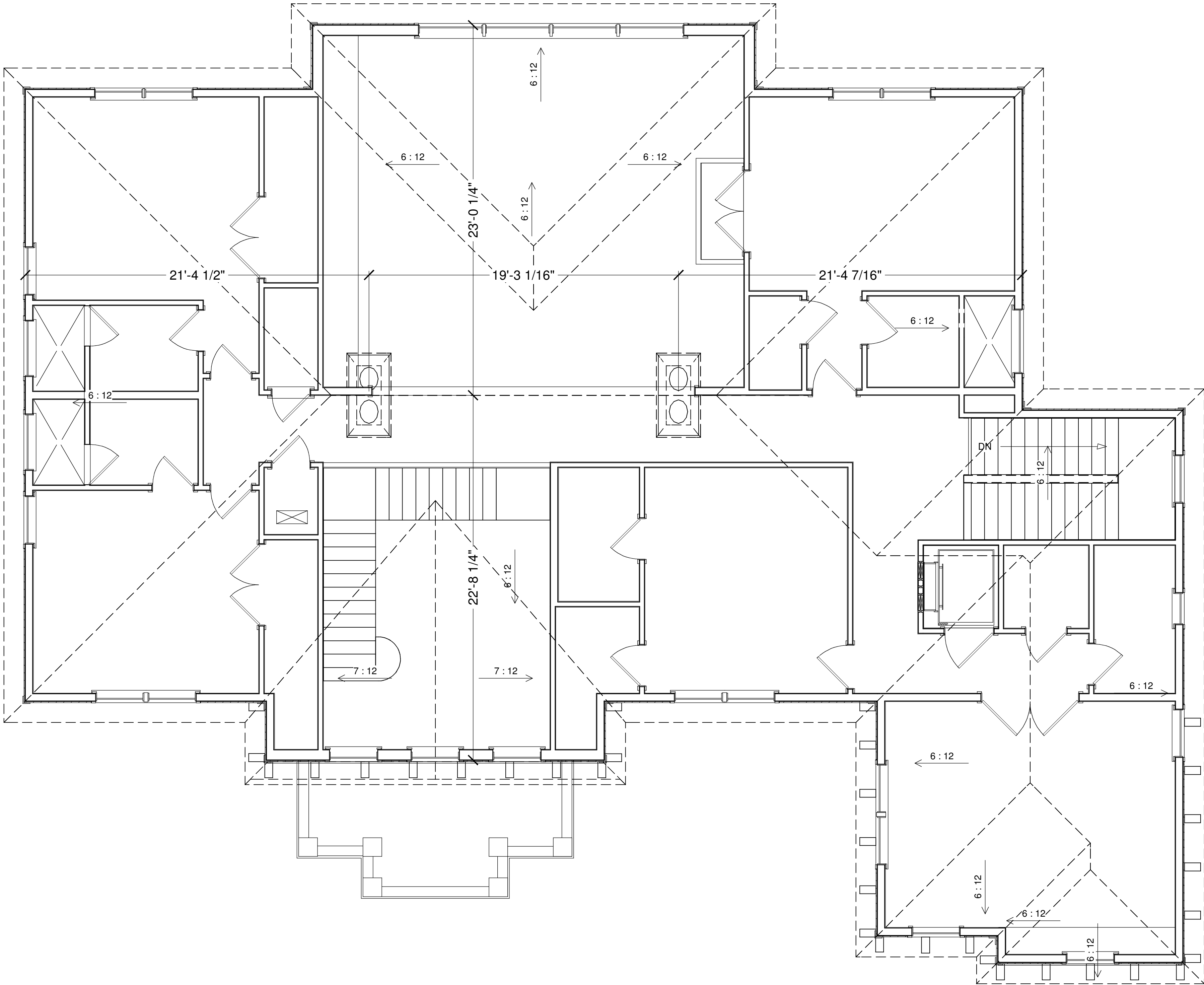
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904-730-7135

DATE:
12/9/2015

SCALE:
1/8" = 1'-0"

SHEET:
A-6

NOTE: THE CHIMNEYS ARE FAUX. THE ARE 30" X 60" AND



- TRUSS NOTES:
- FLOOR TRUSSES: 20" SYSTEM 42 TYPE
 - DECKING: 3/4" T&G OSB OR EQUAL
 - ROOF PITCH: 6/12
 - OVERHANG: 16"
 - ROOFING: LIFETIME ARCHITECTURAL F/G SHINGLES
 - FASCIA: PLUMB CUT 1X8 W/1X2 DRIP
 - SOFFITS: 3/8" SMOOTH HARDY PANEL, NON-VENTED
 - FRIEZE: 1X12 F/J CEDAR PAINTED WITH 3&5/8" F/J CROWN
 - CORBELS: PER PLAN

2ND FLOOR ROOF PLAN

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DATE:
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SCALE:
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SHEET:
A-8

FUTURE HOME OF:
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161 HOLLY BERRY LANE
SAINT JOHNS, FL 32259
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NO.	DESCRIPTION	BY	DATE

PLAN #:
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FRONT ELEVATION



REAR ELEVATION

FRONT/REAR ELEVATIONS

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SHEET:
A-9

SCALE:
1/8" = 1'-0"

DATE:
12/9/2015

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FUTURE HOME OF:
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161 HOLLY BERRY LANE
SAINT JOHNS, FL 32259
LOT 14, PORT ST JOHN

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NO.	DESCRIPTION	BY	DATE

PLAN #:
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LEFT ELEVATION



RIGHT ELEVATION

RIGHT/LEFT ELEVATIONS

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Design Drawings
provided by:



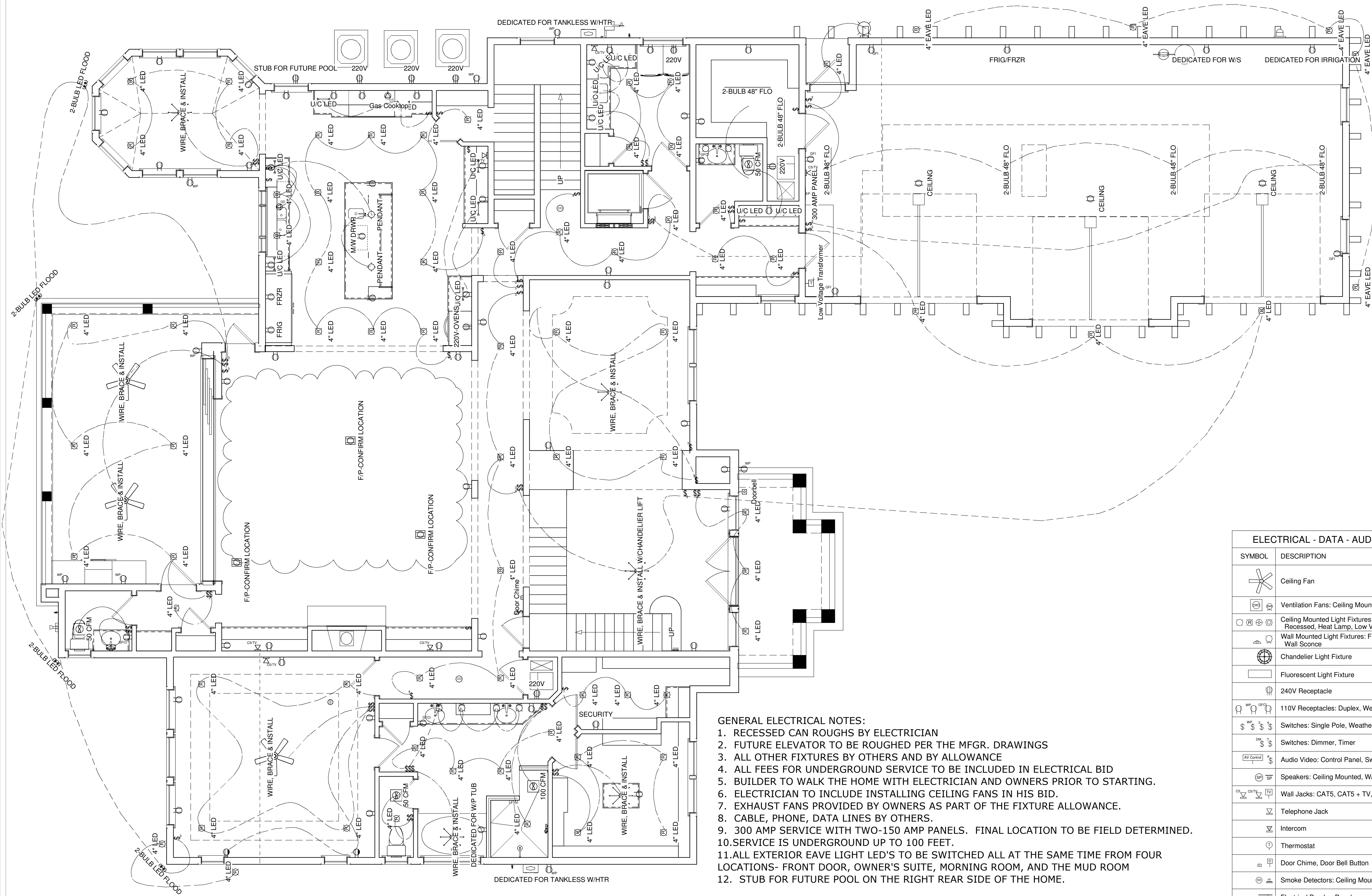
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RESIDENTIAL DESIGNER SINCE 1989
904-730-7135

DATE:
12/9/2015

SCALE:
1/8" = 1'-0"

SHEET:
A-10

NOTE: PROVIDE ELECTRICAL FOR TRACTION
TYPE ELEVATOR FROM RESIDENTIAL ELEVATOR,
INC.; SEE SPECIFICATIONS.
WWW.RESIDENTIALELEVATORS.COM



- GENERAL ELECTRICAL NOTES:
- 1. RECESSED CAN ROUGHS BY ELECTRICIAN
 - 2. FUTURE ELEVATOR TO BE ROUGHED PER THE MFR. DRAWINGS
 - 3. ALL OTHER FIXTURES BY OTHERS AND BY ALLOWANCE
 - 4. ALL FEES FOR UNDERGROUND SERVICE TO BE INCLUDED IN ELECTRICAL BID
 - 5. BUILDER TO WALK THE HOME WITH ELECTRICIAN AND OWNERS PRIOR TO STARTING.
 - 6. ELECTRICIAN TO INCLUDE INSTALLING CEILING FANS IN HIS BID.
 - 7. EXHAUST FANS PROVIDED BY OWNERS AS PART OF THE FIXTURE ALLOWANCE.
 - 8. CABLE, PHONE, DATA LINES BY OTHERS.
 - 9. 300 AMP SERVICE WITH TWO-150 AMP PANELS. FINAL LOCATION TO BE FIELD DETERMINED.
 - 10.SERVICE IS UNDERGROUND UP TO 100 FEET.
 - 11.ALL EXTERIOR EAVE LIGHT LED'S TO BE SWITCHED ALL AT THE SAME TIME FROM FOUR LOCATIONS- FRONT DOOR, OWNER'S SUITE, MORNING ROOM, AND THE MUD ROOM
 - 12. STUB FOR FUTURE POOL ON THE RIGHT REAR SIDE OF THE HOME.

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

1ST FLOOR ELEC PLAN

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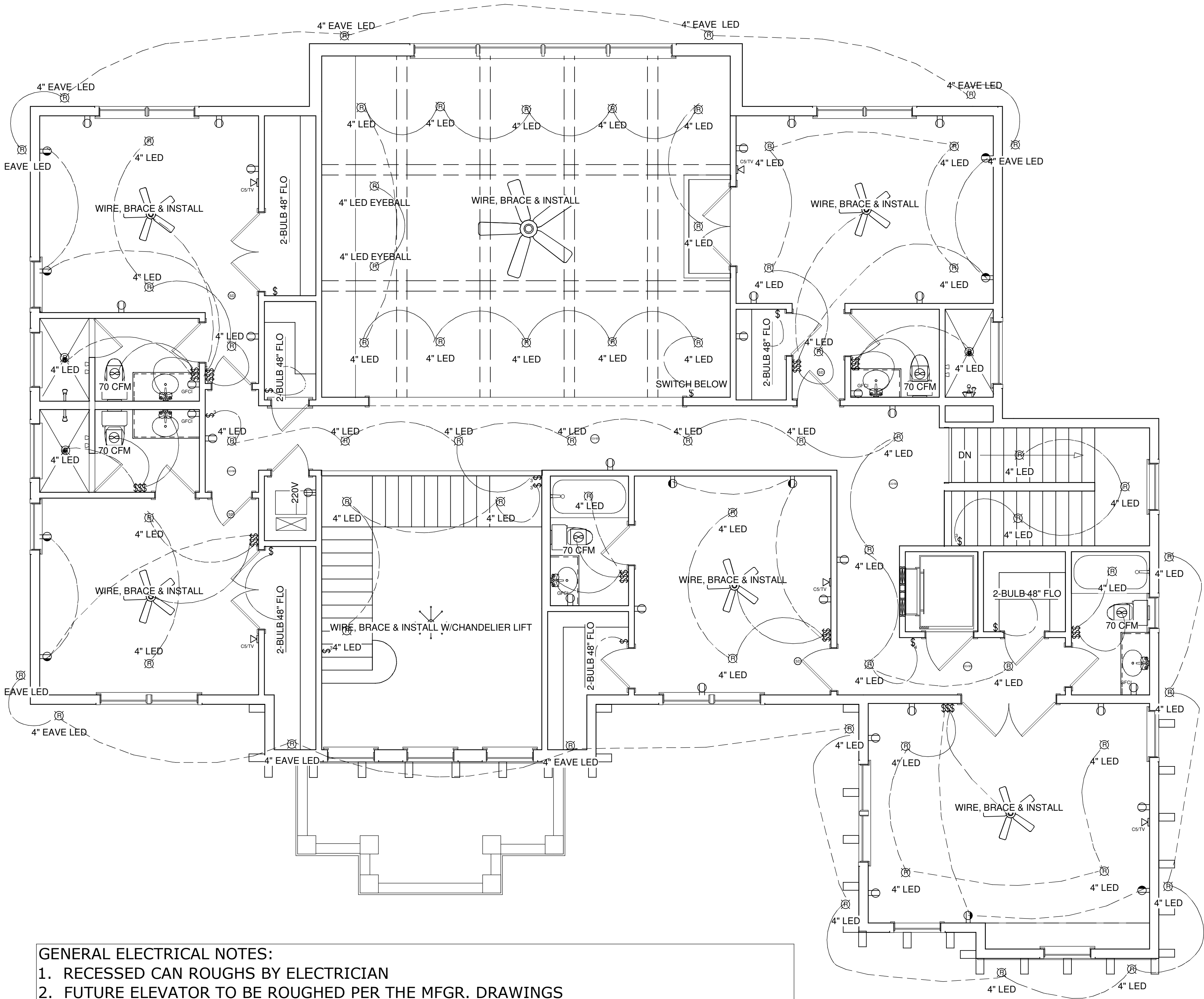
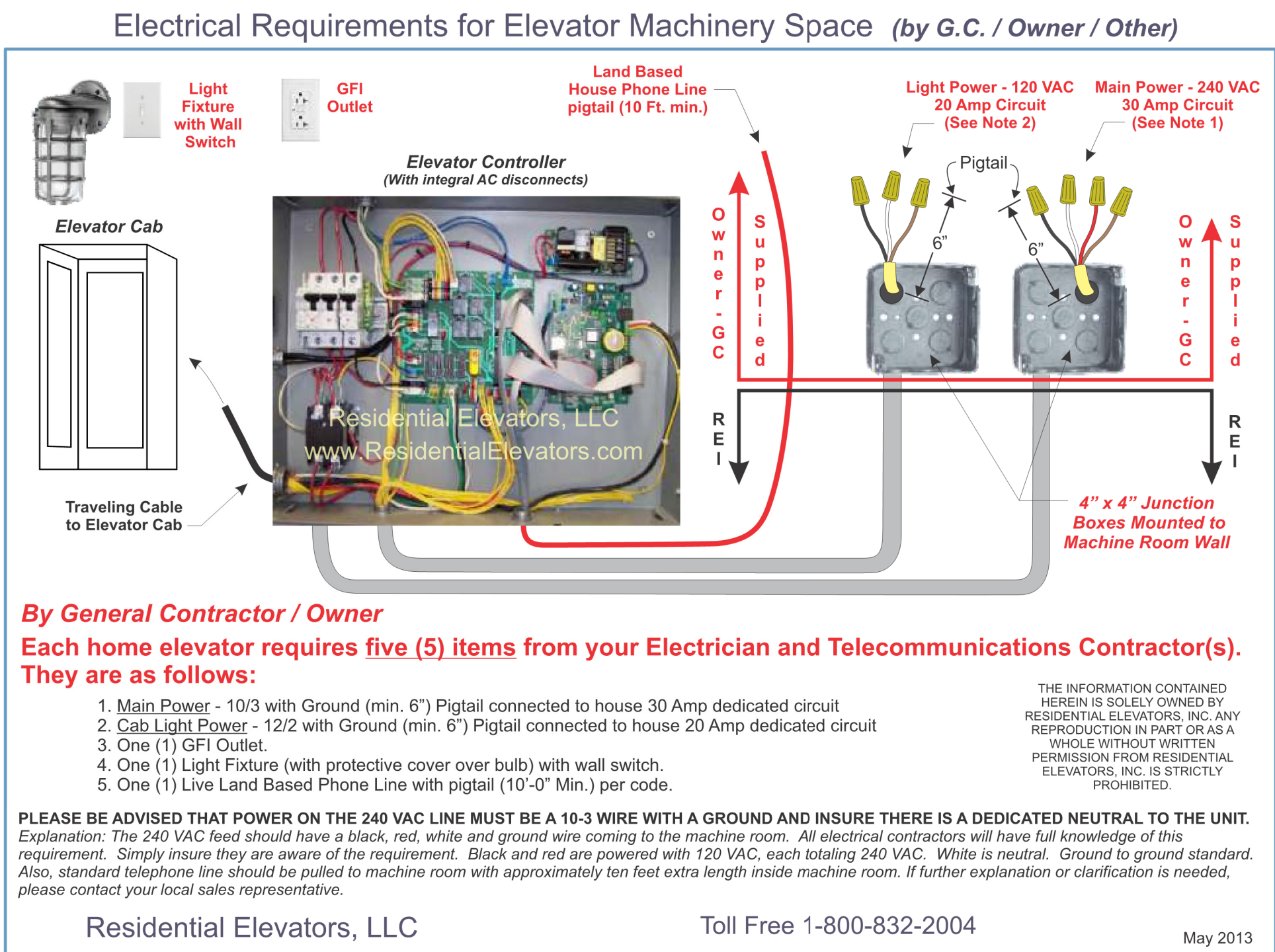
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RESIDENTIAL DESIGNER SINCE 1989
904-730-7135

DATE:
12/9/2015

SCALE:
1/8" = 1'-0"

SHEET:
A-11

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel



GENERAL ELECTRICAL NOTES:

1. RECESSED CAN ROUGHS BY ELECTRICIAN
2. FUTURE ELEVATOR TO BE ROUGHED PER THE MFGR. DRAWINGS
3. ALL OTHER FIXTURES BY OTHERS AND BY ALLOWANCE
4. ALL FEES FOR UNDERGROUND SERVICE TO BE INCLUDED IN ELECTRICAL BID
5. BUILDER TO WALK THE HOME WITH ELECTRICIAN AND OWNER'S REPRESENTATIVE STARTING.
6. ELECTRICIAN TO INCLUDE INSTALLING CEILING FANS IN HIS BID.
7. EXHAUST FANS PROVIDED BY OWNERS AS PART OF THE FIXTURE ALLOWANCE.
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9. 300 AMP SERVICE WITH TWO-150 AMP PANELS. FINAL LOCATION TO BE FIELD DETERMINED.
10. SERVICE IS UNDERGROUND UP TO 100 FEET.
11. ALL EXTERIOR EAVE LIGHT LED'S TO BE SWITCHED ALL AT THE SAME TIME FROM FOUR LOCATIONS- FRONT DOOR, OWNER'S SUITE, MORNING ROOM, AND THE MUD ROOM
12. STUB FOR FUTURE POOL ON THE RIGHT REAR SIDE OF THE HOME.

LIGHTS & FANS IN FAMILY ROOM
ARE ILLUSTRATED ON THE FLOOR
BELOW FOR SWITCHING PURPOSES

2ND FLOOR ELEC PLAN

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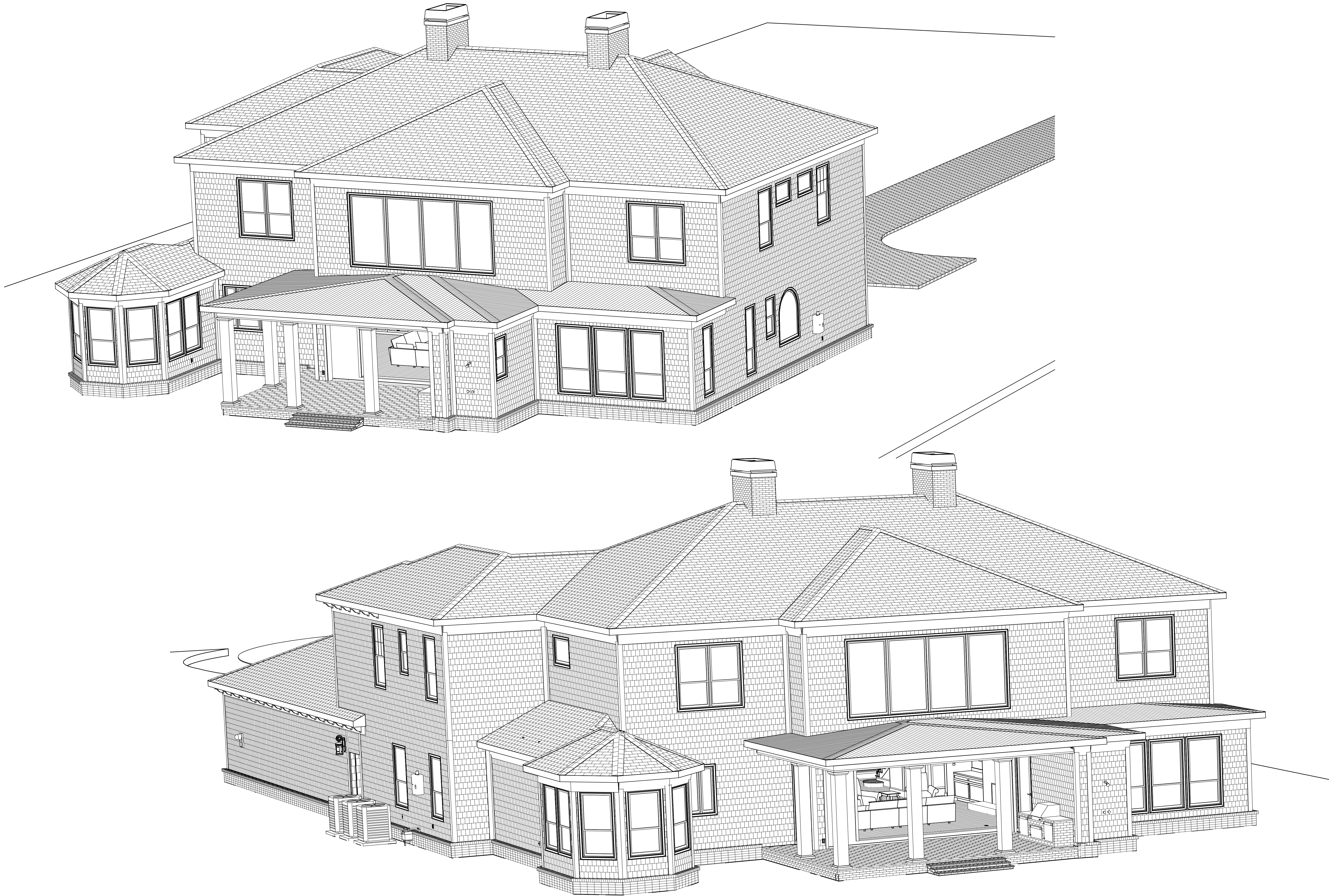
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904-730-7135

DATE:
12/9/2015

SCALE:
1/8" = 1'-0"

SHEET:
A-12



EXTERIOR ISOMETRICS

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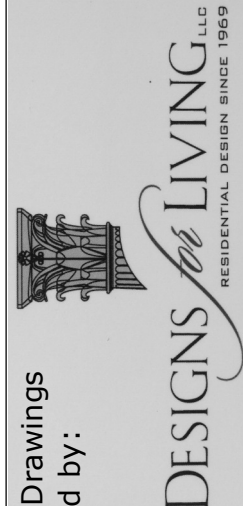
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FUTURE HOME OF:

THE DONOVAN FAMILY

161 HOLLY BERRY LANE
SAINT JOHNS, FL 32259
LOT 14, PORT ST JOHN

BUILT BY:

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2030 E. ADAMS STREET
JACKSONVILLE, FLORIDA 32202
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PLAN #:

5579