

LUCAS-STRANAHAN RENOVATIONS

REVIEW PLAN 4/2/2017



1236 SALT CREEK ISLAND DRIVE
PONTE VEDRA BEACH, FL 32082
LOT 14, SALT CREEK ISLAND
R/E #: 061861-0140
BUILT BY:
DOXA PROPERTIES, LLC
8862 CANOPY OAKS DRIVE
JACKSONVILLE, FLORIDA 32256
904-219-9279
CGC1504731

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DATE:

4/2/2017

SCALE:

N.T.S.

SHEET:

A-1

Design Drawings
provided by:

DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN SINCE 1998

904-730-7135

PROJECT DESCRIPTION:

LUCAS-STRANAHAN RENOVATIONS
1236 SALT CREEK ISLAND DRIVE
PONTE VEDRA BEACH, FL 32082

R/E#: 061861-0140

BUILT BY:

DOXA PROPERTIES, LLC
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JACKSONVILLE, FL 32256
904-219-9279 CGC1504731

CLIENT APPROVAL SIGNATURE

DATE

LOREN L. LUCAS

HARRIET A. STRANAHAN

PLAN #
1236-R

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

The drawing shows a foundation plan with the following dimensions and features:

- Overall Dimensions:**
 - Top: 8'-6" (left), 3'-10" (middle), 48'-2" (right), 3'-6" (far right)
 - Right: 12'-10" (top), 15'-6" (middle), 2'-2" (bottom right), 4'-10" (bottom right), 13' (bottom right), 28' (bottom right)
 - Bottom: 37' (left), 26'-6" (middle), 8'-6" (middle), 9'-8" (middle), 8'-6" (middle), 2' (middle), 2' (middle), 2' (middle), 2' (middle)
 - Left: 22' (top), 20' (bottom)
- Internal Dimensions and Features:**
 - Top: 36'-9 5/16" (left), 18'-6" (middle), 2'-0 11/16" (middle), 8 1/2" (middle)
 - Right: 3'-6" (middle), 7' (middle), 3'-6" (middle), 7' (middle)
 - Bottom: 37' (left), 26'-6" (middle), 8'-6" (middle), 9'-8" (middle), 8'-6" (middle), 2' (middle), 2' (middle), 2' (middle), 2' (middle)
- Foundation Layout:**
 - The foundation is shown as a complex, irregular shape with multiple rooms and corridors.
 - The foundation is shown with a thick, stippled border representing the foundation wall.
 - The foundation is shown with a thin, solid border representing the foundation floor.
 - The foundation is shown with a thin, dashed border representing the foundation ceiling.

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The drawing is a foundation plan for a building with a complex, irregular footprint. The foundation is shown as a thick, light-colored area with a darker outline. The plan includes several rooms and a large central area. Dimensions are provided in feet and inches, with some dimensions in feet only. The overall dimensions of the foundation are 135' by 28'. The drawing includes a contract note stating that the contract and specifications take precedence over the drawings.

Key dimensions and features include:

- Overall width: 135'
- Overall depth: 28'
- Room dimensions (approximate):
 - Top left: 37' x 22'
 - Top right: 48'-2" x 12'-10"
 - Bottom left: 37' x 20'
 - Bottom right: 26'-6" x 13'
- Foundation thickness: 1'-6"
- Foundation width: 3'-6"
- Foundation depth: 2'-0"
- Foundation area: 135' x 28' = 3780 sq ft

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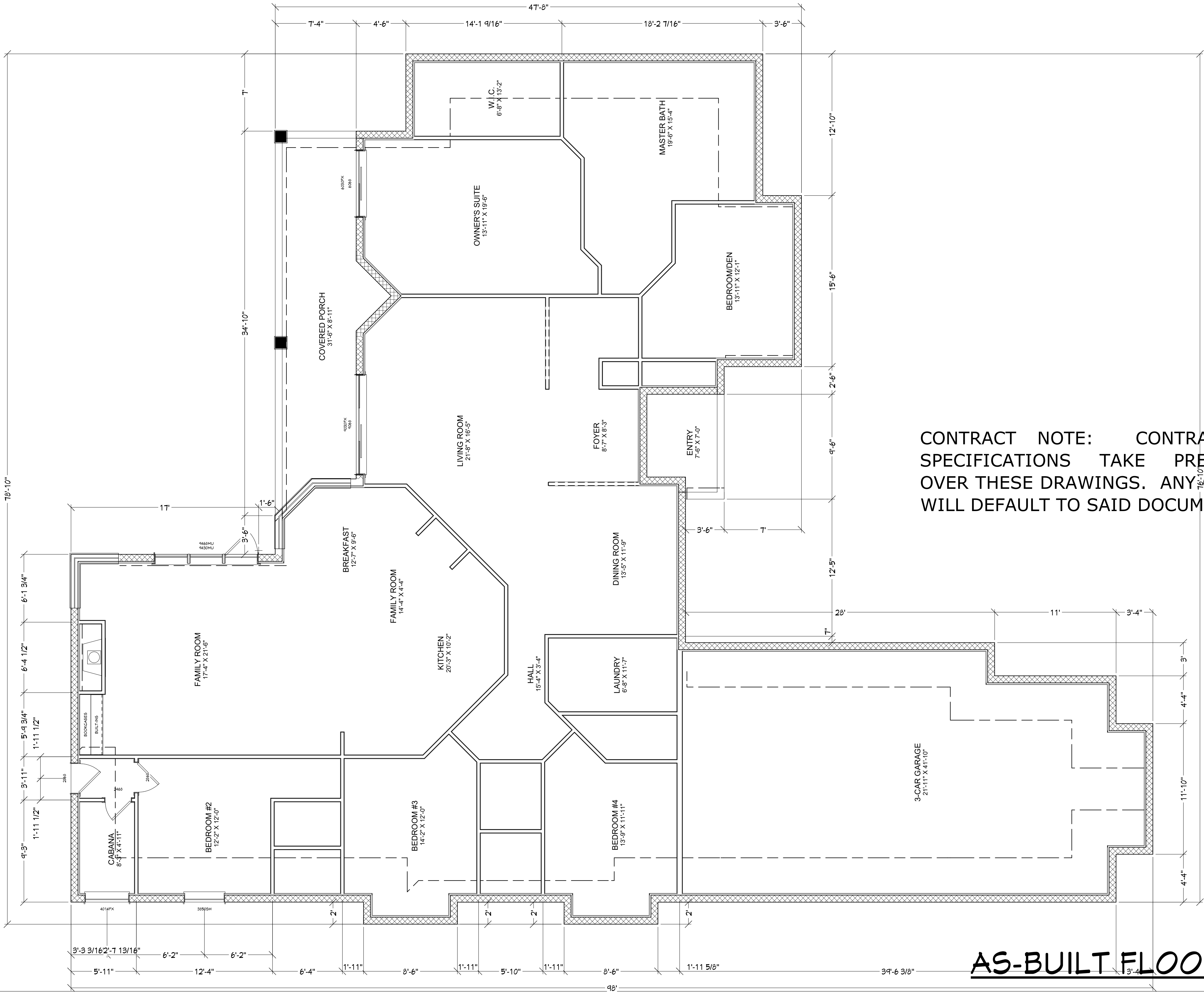
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The drawing is a foundation plan for a building with a complex, irregular footprint. The foundation is shown as a thick, light-colored area with a stippled texture, representing the concrete. The interior of the building footprint is white. Dimensions are provided in feet and inches, with some dimensions in feet only (e.g., 37', 20', 28'). The drawing includes a large rectangular section on the left (37' x 20'), a long horizontal section at the bottom (135' total length), and several smaller sections on the right and top. The right side features a series of steps and a small rectangular extension. The top section has a complex, jagged shape. The drawing is oriented with the top of the page being the front of the building. The title 'FOUNDATION PLAN' is written in large, bold, black capital letters at the bottom right.



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PLAN #
1236-R

CLIENT APPROVAL SIGNATURE

DATE

BUILT BY:

DOXA PROPERTIES, LLC
8862 CANOPY OAKS DRIVE
JACKSONVILLE, FL 32256
904-219-9279 CGC1504721

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R/E#: 061861-0140

Design Drawings
provided by:

DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN SINCE 1999

904-730-7135

DATE:

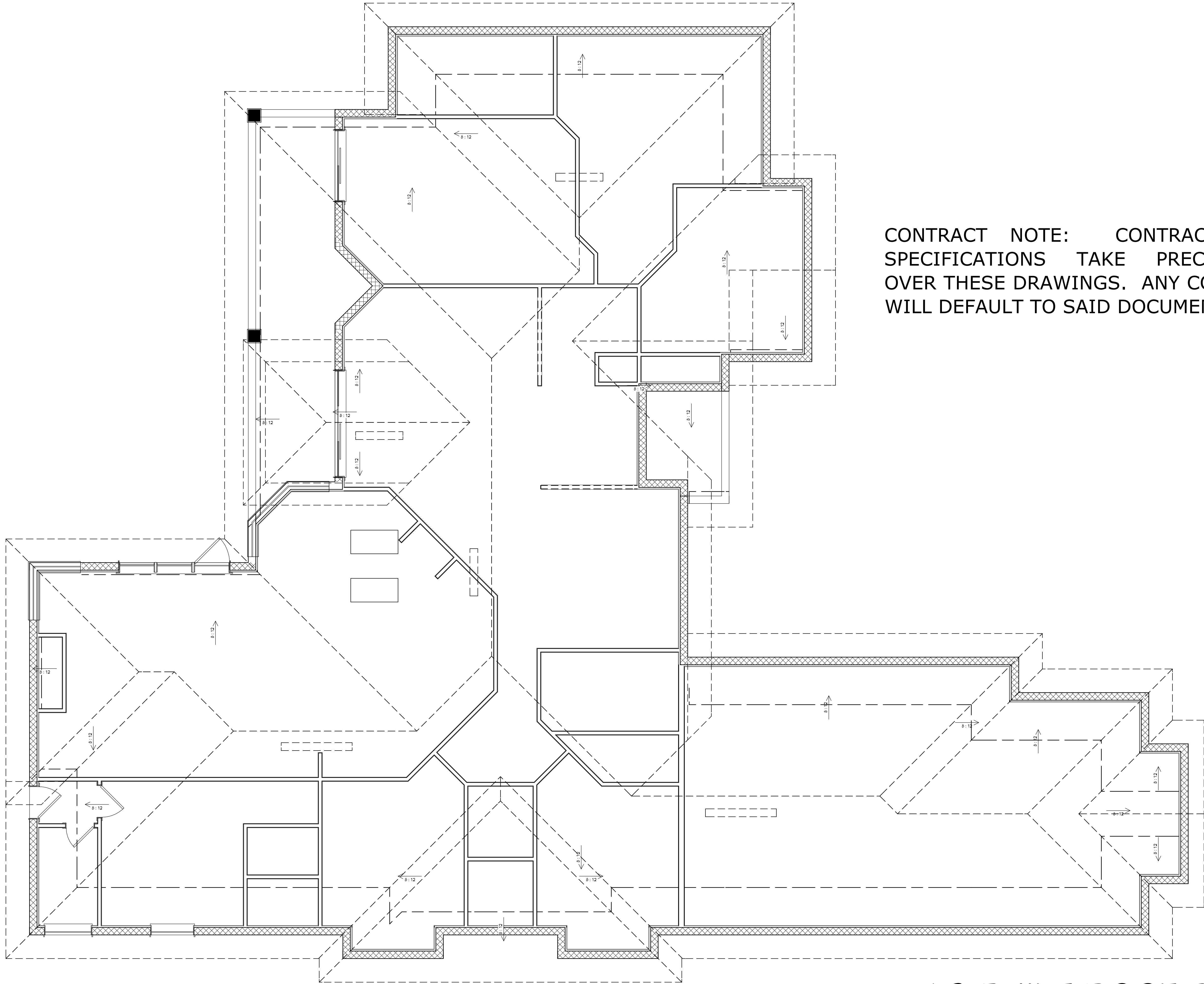
4/2/2017

SCALE:

1/4" = 1'-0"

SHEET:

A-3



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AS-BUILT ROOF PLAN

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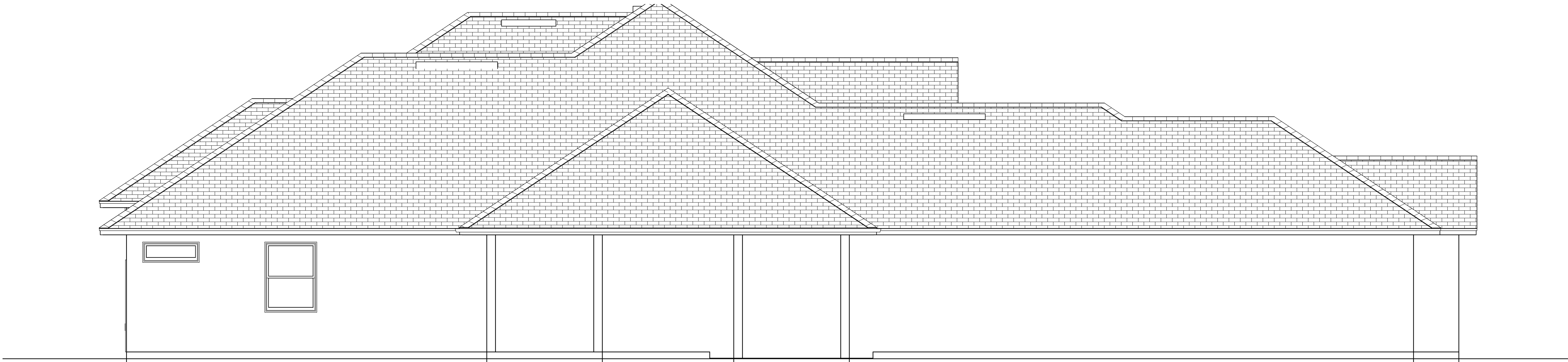
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1/4" = 1'-0"
SHEET:
A-4

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904-219-9279 CGC1504721

CLIENT APPROVAL SIGNATURE	DATE
LOREN L. LUCAS	
HARRIET A. STRANAHAN	

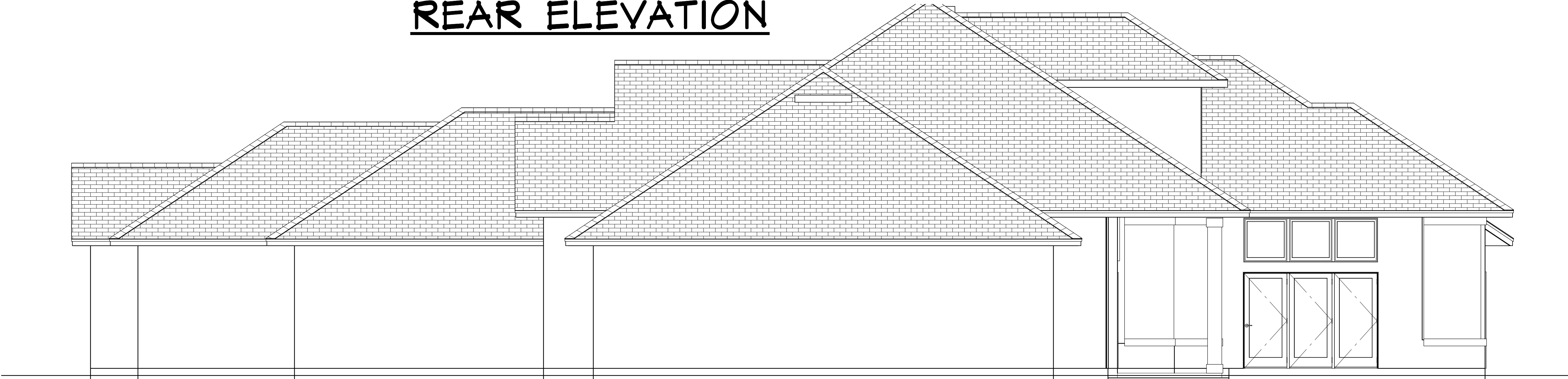
PLAN #
1236-R



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

AS-BUILT ELEVATIONS

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DATE:
4/2/2017

SCALE:
1/4" = 1'-0"

SHEET:
A-5



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AS-BUILT ISOMETRIC VIEWS

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DATE:

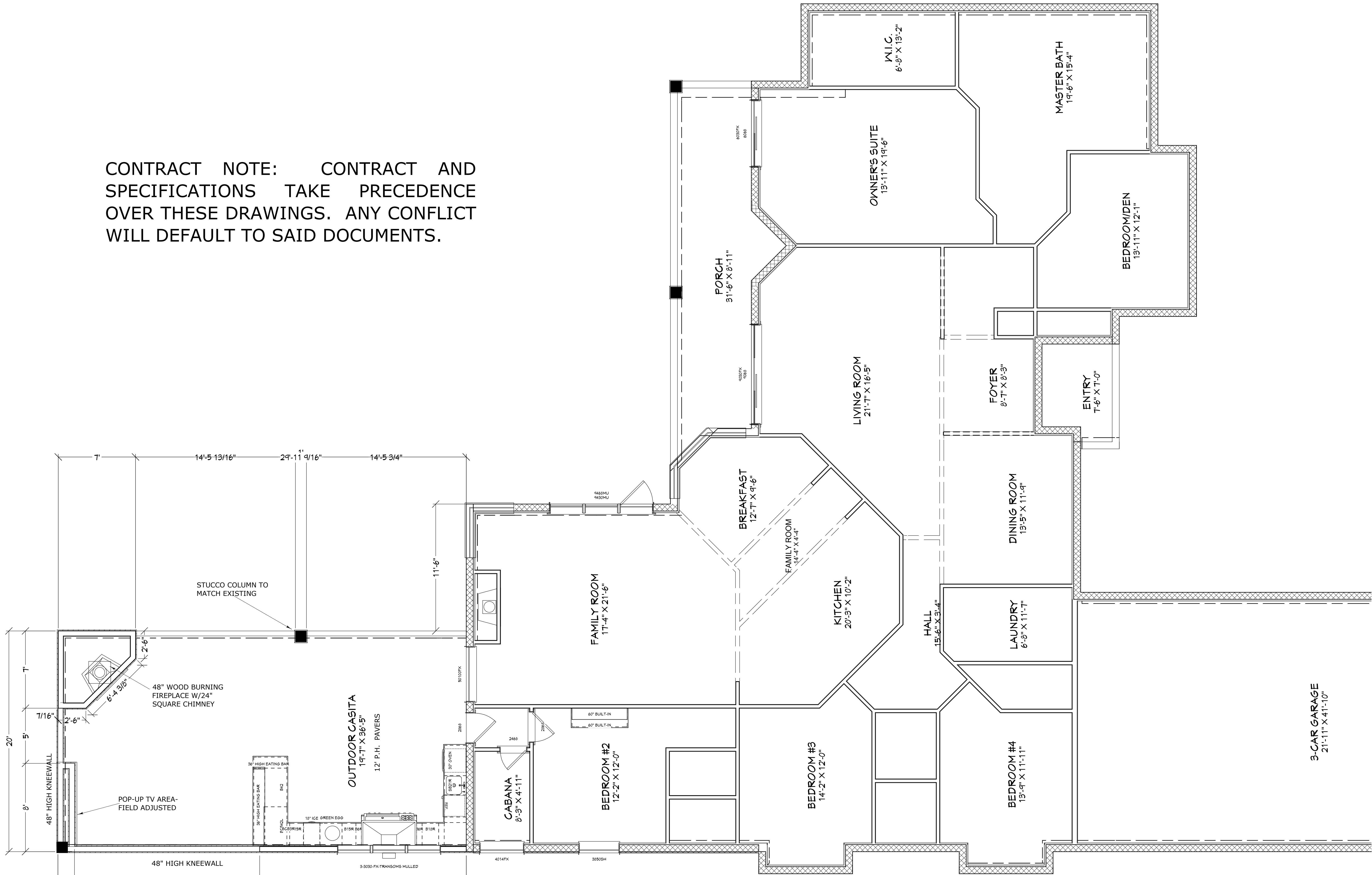
4/2/2017

SCALE:

N.T.S.

SHEET:

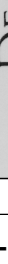
A-6

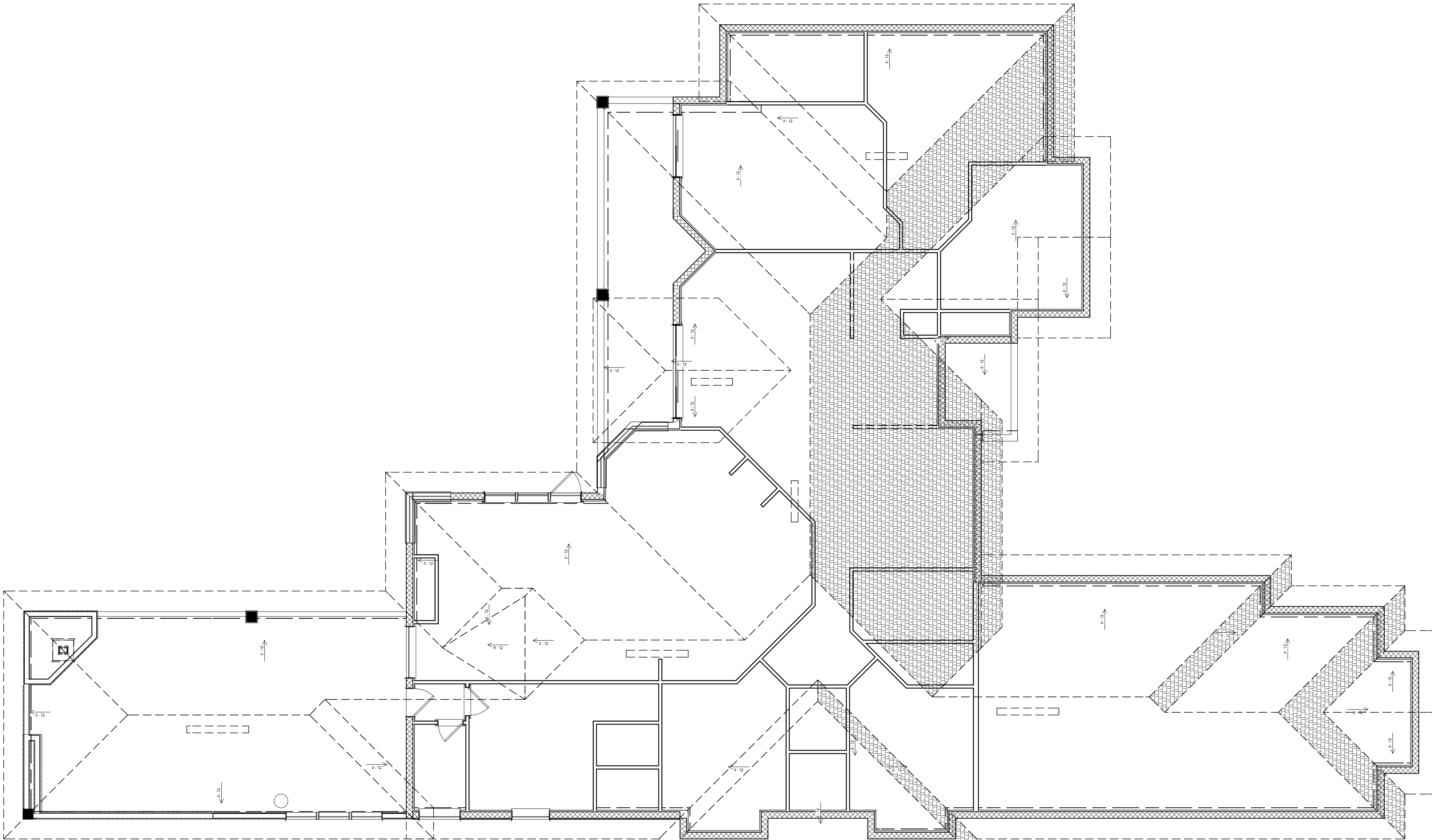
[illegible]

PROPOSED FLOOR PLAN

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PLAN #		DATE:
1236-R		4/2/2017
		SCALE:
		1/4" = 1'-0"
		SHEET:
A-7		

PROJECT DESCRIPTION: LUCAS-STRANAHAN RENOVATIONS 1236 SALT CREEK ISLAND DRIVE PONTE VEDRA BEACH, FL 32082 R/E#: 061861-0140	BUILT BY:	DOXA PROPERTIES, LLC 8862 CANOPY OAKS DRIVE JACKSONVILLE, FL 32256 904-219-9279 CGC1504721
	DESIGN DRAWINGS PROVIDED BY:	 DESIGNS by LIVING, LLC RESIDENTIAL DESIGN SINCE 1999 904-730-7135
	CLIENT APPROVAL SIGNATURE	LOREN L. LUCAS
	DATE	HARRIET A. STRANAHAN



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PROPOSED ROOF PLAN

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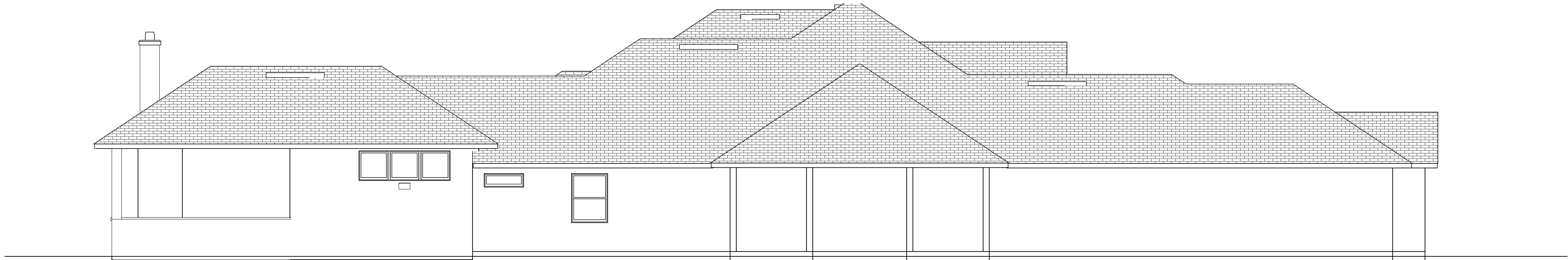
PROJECT DESCRIPTION:
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DATE:
4/2/2017
SCALE:
3/16" = 1'-0"
SHEET:
A-8

CLIENT APPROVAL SIGNATURE	DATE
LOREN L. LUCAS	
HARRIET A. STRANAHAN	

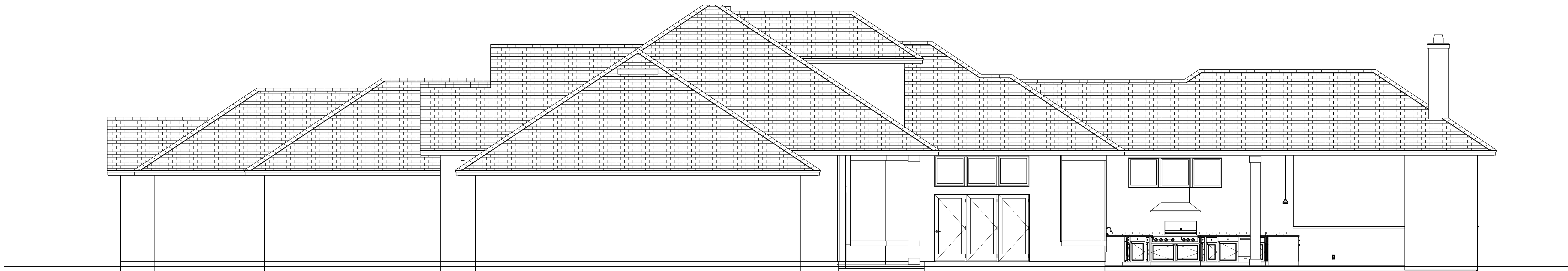
PLAN #
1236-R



LEFT ELEVATION



REAR ELEVATION



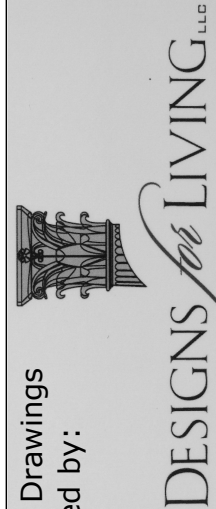
RIGHT ELEVATION

PROPOSED ELEVATIONS

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HARRIET A. STRANAHAN

DATE

DATE:

4/2/2017

SCALE:

3/16" = 1'-0"

SHEET:

A-9

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PROPOSED ISOMETRICS

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