

FUTURE HOME OF THE MILO FAMILY

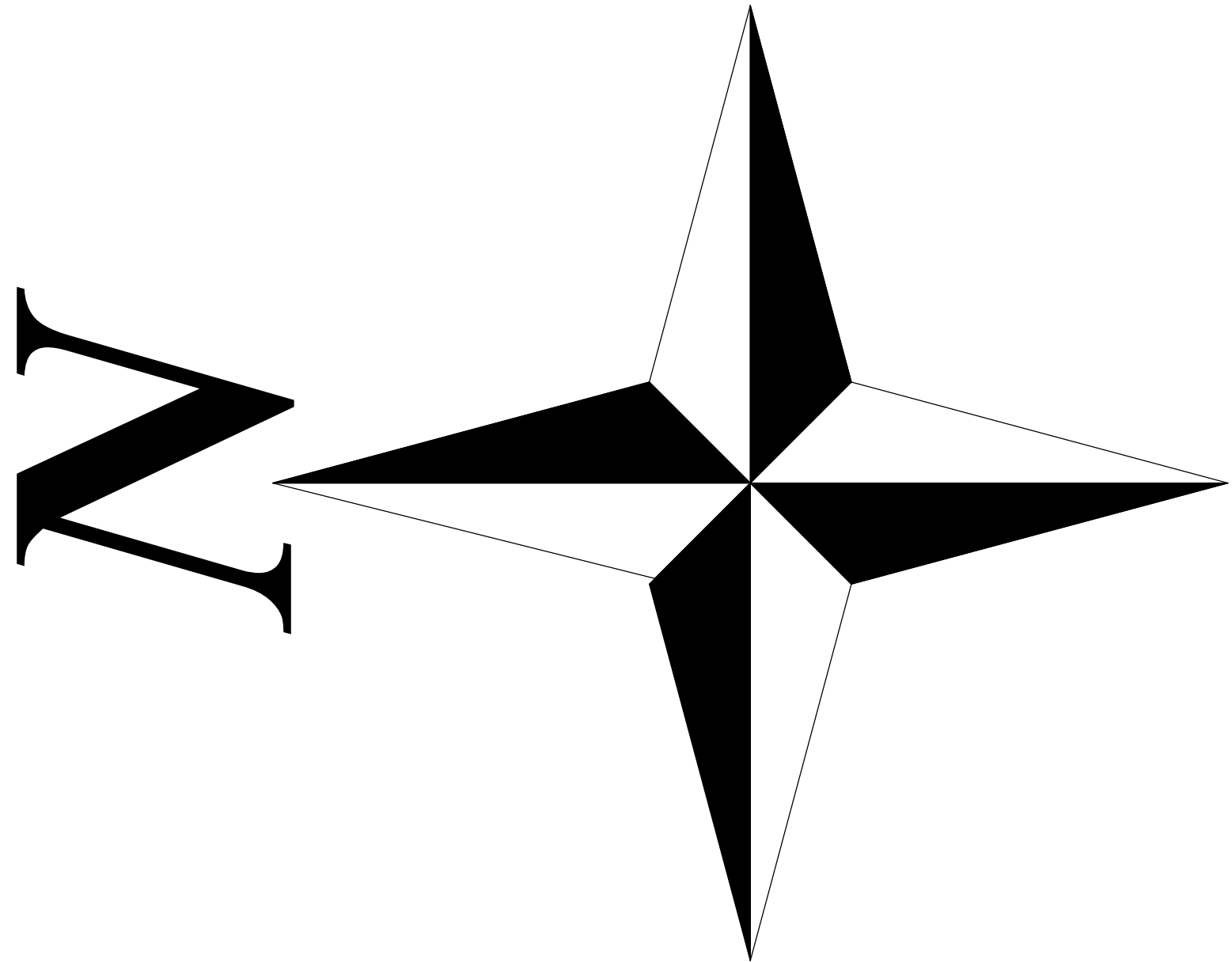
ENGINEERING SET 2.3.13



PONTE VEDRA SUBDIVISION, LOT 2
561 PONTE VEDRA BLVD
PONTE VEDRA BEACH, FLORIDA 32082 R/E #: 056160-0000
BUILT BY: TO BE DETERMINED

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CONTRACTOR, AND OR OWNER SHALL VERIFY ALL DIMENSIONS, DETAILS, AND SPECIFICATIONS PRIOR TO CONSTRUCTION. EVERY ATTEMPT
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BE LIABLE FOR ERROR AFTER CONSTRUCTION HAS BEGUN.

PLAN # 5012			
NO.	DESCRIPTION	BY	DATE
BUILT BY: TO BE DETERMINED			
PROJECT DESCRIPTION: THE MILO RESIDENCE 561 PONTE VEDRA BLVD PONTE VEDRA BEACH, FL 32082			
Bid Drawings provided by: Designs for Living, LLC RESIDENTIAL DESIGN & CONSULTING SINCE 1969 SERVING N/E FLORIDA SINCE 1978 904-730-7135			
DATE: 11/6/2012			
SCALE: N.T.S.			
SHEET: A-1			



HOMEOWNER WISHES THE POOL DECK TO BE THE SAME LEVEL AS THE SCREENED PORCH DUE TO AGING FATHER HAVING EASY ACCESS TO THE AREA.

SEA TURTLE PROTECTION: CODE REF-ENVIRONMENTAL PROTECTION STANDARDS RELATING TO THE PROTECTION OF SEA TURTLES: STATE STATUTE 50-241 ET-SEQ/.

SEC. 1201: PURPOSE AND INTENT: THE PURPOSE OF THIS ARTICLE IS TO PROTECT THE THREATENED & ENDANGERED SEA TURTLES WHICH NEST ALONG THE BEACHES OF ST.JOHNS COUNTY, FLORIDA AND TO ENCOURAGE SEA TURTLE NESTING ON ST.JOHNS COUNTY BEACHES BY MINIMIZING THE ARTIFICIAL LIGHT ON BEACHES (ORD #90-22 STATE STATUTE 5-11-90.

SEC. 1202: SEA TURTLE NESTING AREA 8: SEA TURTLES NEST OR ARE LIKELY TO NEST IN AN AREA OF THE BEACH FROM THE ST.JOHNS COUNTY LINE SOUTH TO THE ST.JOHNS COUNTY LINE.

SEC 1203: (a0 IT IS THE POLICY OF THE COUNTY TO MINIMIZE ARTIFICIAL LIGHT ILLUMINATING THE ENTIRE COASTAL BEACH OF THE COUNTY, AND SAID LIGHTING FOR NEW DEVELOPMENT SHALL BE REGULATED AS PROVIDED IN THIS SECTION. TO MEET THIS INTENT, BUILDING AND ELECTRICAL PLANS AND THE CONSTRUCTION OF SINGLE STORY OR MULTI STORY BUILDINGS OR STRUCTURES, SIGNS, COMMERCIAL OR OTHER STRUCTURES INCLUDING ELECTRICAL PLANS ASSOCIATED WITH PARKING LOTS, DUNE WALKOVERS OR OTHER ARTIFICIAL LIGHTING FOR REAL PROPERTY WITHIN THE INCORPORATED AND UNINCORPORATED REGULATED BOUNDARIES SHALL BE IN COMPLIANCE WITH THE FOLLOWING:

(1) LIGHT FIXTURES SHALL BE DESIGNED, POSITIONED, SHIELDED, OR OTHERWISE MODIFIED SUCH THAT THE SOURCE OF LIGHT AND ANY REFLECTIVE SURFACES OF THE FIXTURE SHALL BE DIRECTLY VISIBLE BY A PERSON WHO IS IN A STANDARD POSITION ON THE BEACH

(2) LIGHT SHALL NOT DIRECTLY ILLUMINATE THE BEACH DURING THE SEA TURTLE NESTING SEASON.

(ref) NESTING SEASON: THE PERIOD FROM MAY 1ST THROUGH OCT. 31 OF EACH YEAR.

(3) TINTED GLASS, OR ANY WINDOW FILM APPLIED TO THE WINDOW GLASS WHICH MEET THE SHADING CRITERIA FOR TINTED GLASS, SHALL BE INSTALLED ON ALL WINDOWS OF SINGLE OR MULTI-STORY BUILDINGS OR STRUCTURES WITHIN LINE OF SIGHT OF THE BEACH IN THE REGULATED B OUNDARIES.

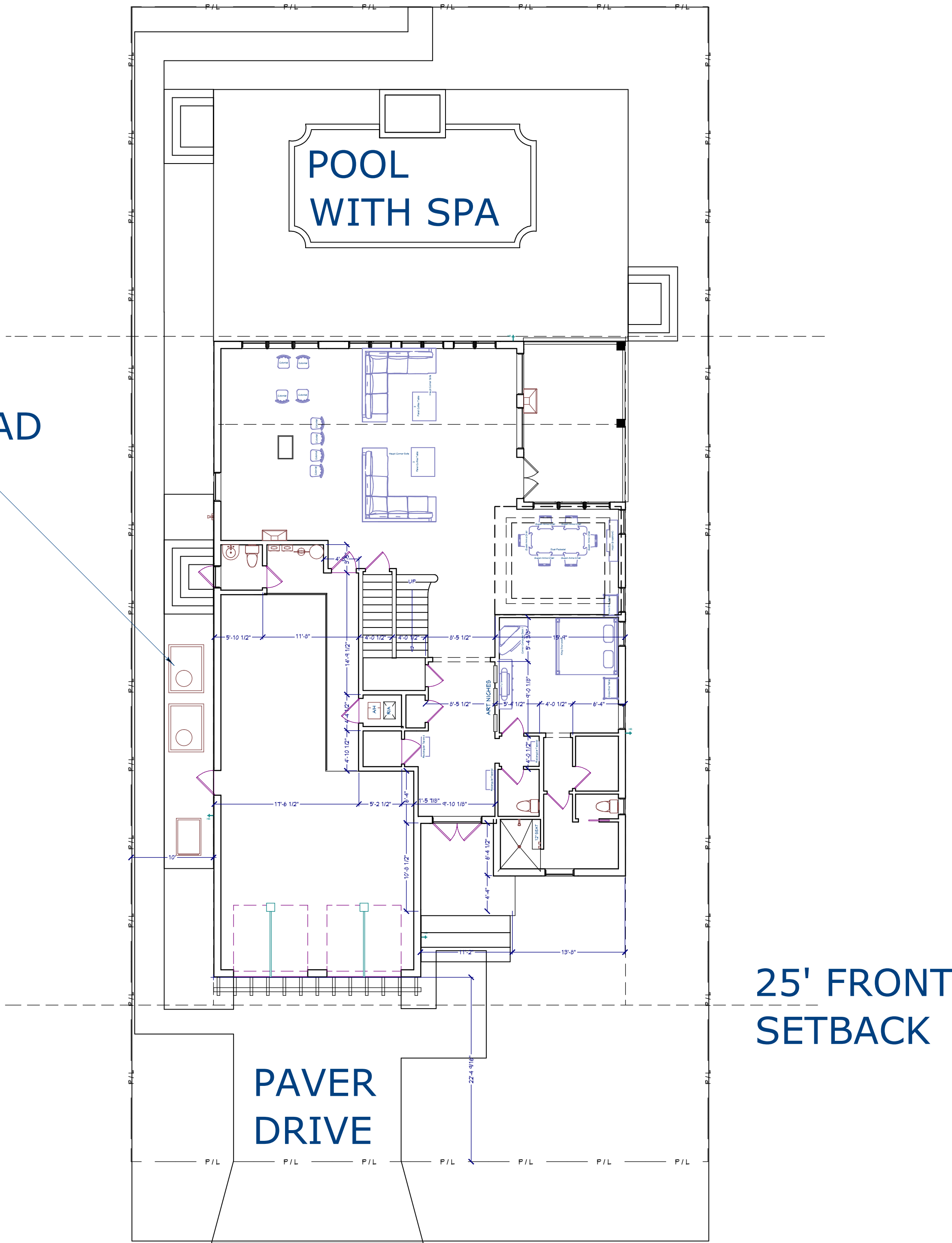
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(4) LIGHTS ILLUMINATING SIGNS SHALL BE SHIELDED OR SCREENED SUCH THAT THEY DO NOT ILLUMINATE THE BEACH AND THE SOURCE OF THE LIGHT SHALL NOT BE VISIBLE BY A PERSON WHO IS IN A STANDING POSITION ON THE BEACH.

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NOTE: LIGHTING CONTRACTOR TO SELECT COMPLIANT FIXTURES. SUBMIT MFGR'S SPECS AND CUT SHEETS. FIXTURES MUST SHOW COMPLIANCE WITH SEA TURTLE ORDINACE LOC 6.05.00, FBC SEC 104.2.1.

EQUIPMENT PAD



25' FRONT
SETBACK

PAVER
DRIVE

POOL
WITH SPA

SITE PLAN
SCALE: 1" = 10'-0"

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561 PONTE VEDRA BLVD
PONTE VEDRA BEACH, FL 32082

Bid Drawings provided by:

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904-730-7135

DATE:

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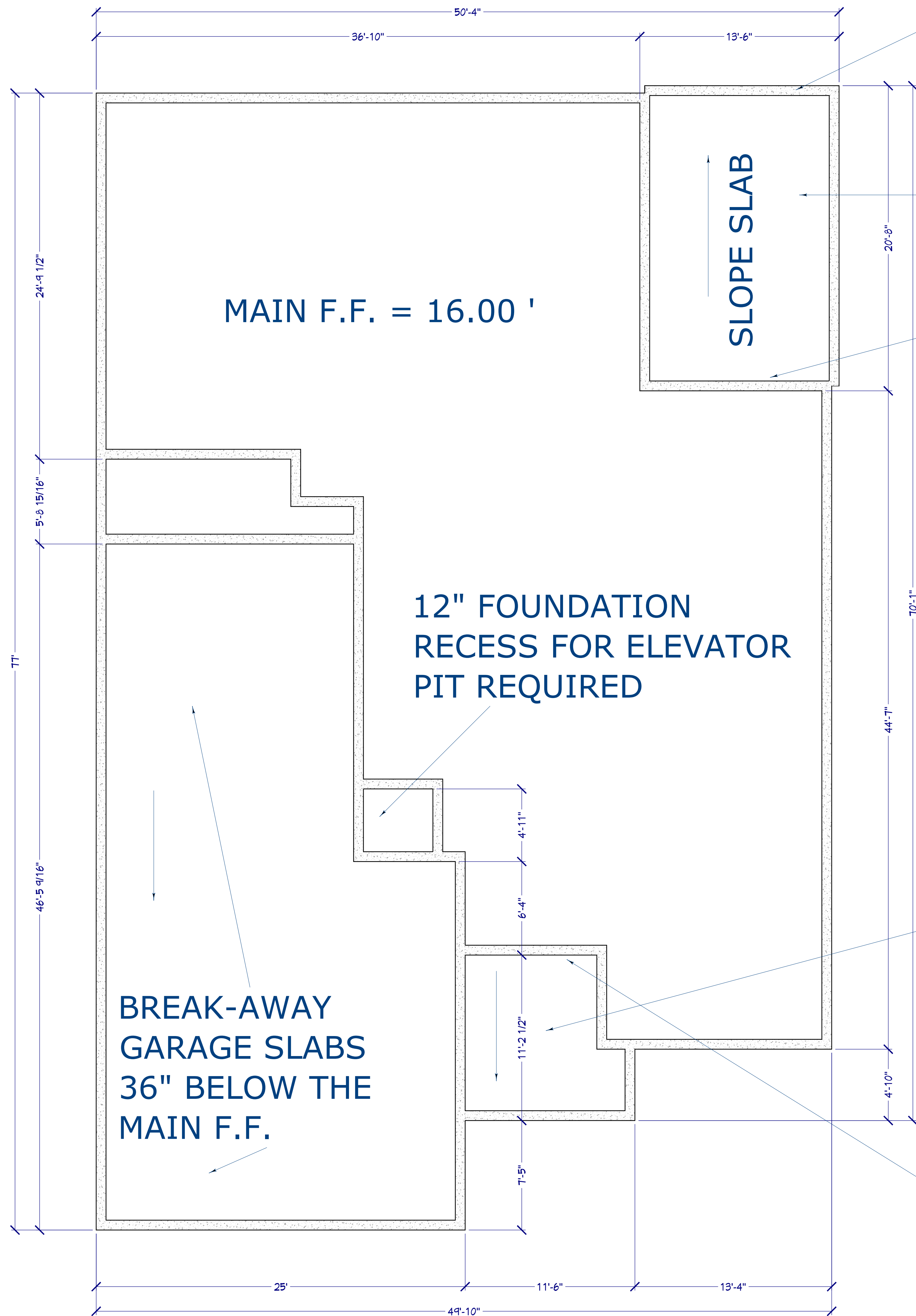
1" = 10'-0"

SHEET:

A-2

PLAN #
5012

NO.	DESCRIPTION	BY	DATE



F.F. = 15.50 '

MAIN F.F. = 16.00 '

SLOPE SLAB

F.F. = 15.67 '

4" STEP DOWN TO PORCH SLOPED 2" TO THE REAR

FOUNDATION DESIGN IS VERY COMPLEX ON DEEP AUGORCAST PILINGS WITH BREAKAWAY AND STRUCTURAL RAISED SLABS WITH DRAWINGS TO BE PROVIDED BY THE STRUCTURAL ENGINEER.

4" STEP DOWN TO PORCH SLOPED 2" TO THE FRONT

F.F. = 15.67 '

FOUNDATION PLAN

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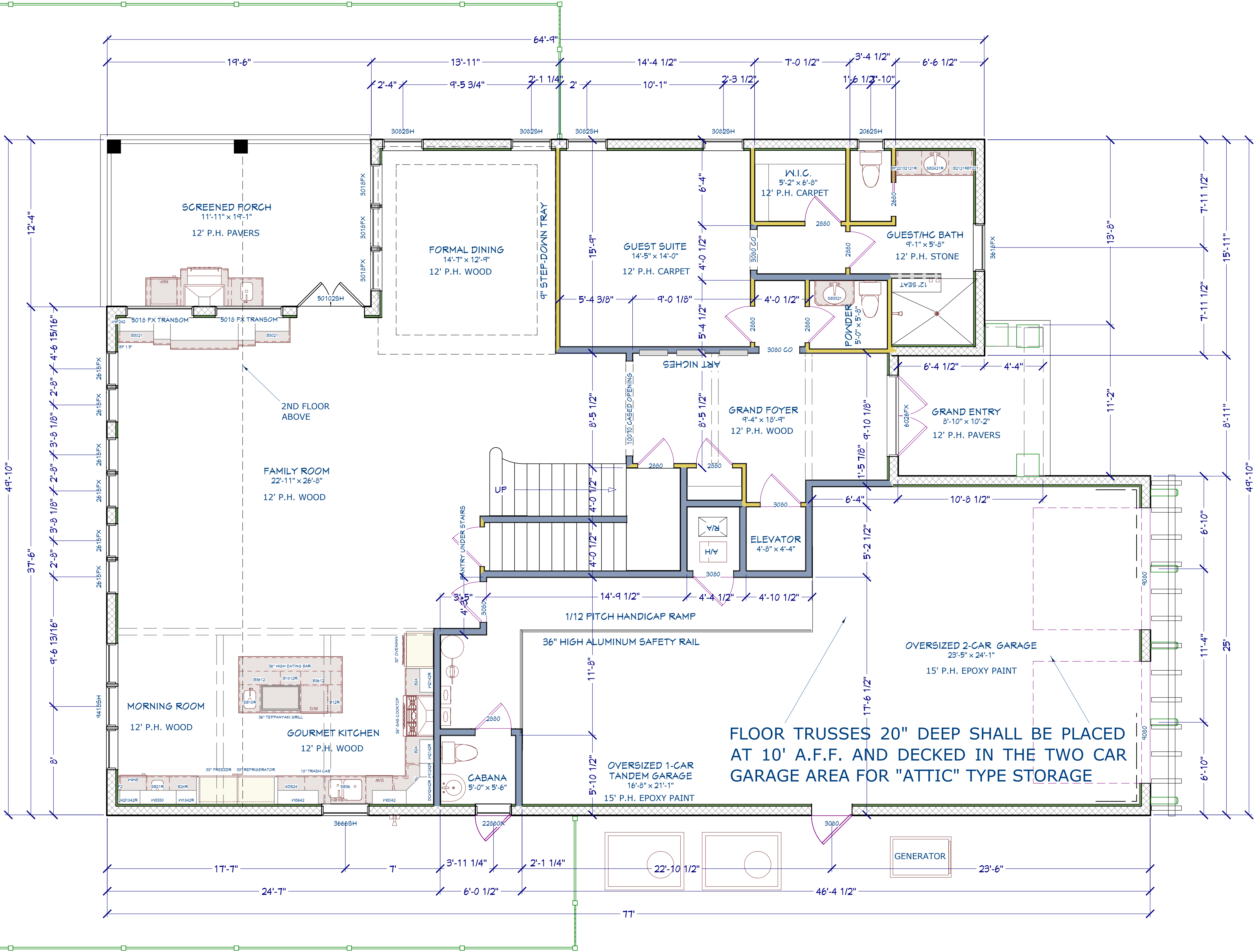
A-3

ALL 1ST FLOOR EXTERIOR WALLS CMU WITH 5/8" SKIP TROWEL STUCC PAINTED WITH SHERWIN WILLIAM LOXON XP MASONRY PAINT PER THE MFGR. LABEL.

NOTE: WINDOWS TO BE PGT, LOW-E, VINYL, ARGON GAS, IMPACT RESISTENT AND COMPLY WITH 2010 FBC-RESIDENTIAL. SEE MANUFATURER'S SPECIFICATIONS

INSULATION NOTES: 1ST FLOOR AT CMU IS 1" HIGH-R BOARD HELD DOWN WITH 3/4" PT FURRING STRIPS. COMMON WALLS ARE SPRAYED WITH CELLULOSE OR FIBERGLASS. ALL WALLS TO HAVE SOUND BATTS OF R-13 OR BETTER. SOUND INSULATION BETWEEN THE FLOORS IS TWO INCHES OF CLOSED CELL SPRAY FOAM

FOOTAGES (A.N.S.I.):	
COVERED PORCH:	40.00
GARAGE:	1,047.67
1ST FLOOR HEATED:	2,175.01
2ND FLOOR HEATED:	2,817.22
TOTAL HEATED:	5,012.63
ENTRY:	104.52
SCREENED PORCH:	240.44
MARINER'S WALK:	498.30
PRIVATE BALCONY:	69.15
SLAB EXTENSIONS:	24.17
SLAB AREA:	3,591.81
TOTAL UNDER ROOF:	6,923.16



1ST FLOOR PLAN

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SHEET:
A-4

NOTE: SLOPE DECKS 1/4" PER FOOT
DECKING: 3/4" T&G DECKING TYPICAL
WATERPROOFING: MIRACOTE MEMBRANE WITH
THE MIRACOTE WATERPROOF SEALANT APPLIED
PER THE MANUFACTURER'S SPECIFICATIONS.
DECKS TO BE TILED OVER THE WATER PROOFED
MEMBRANE

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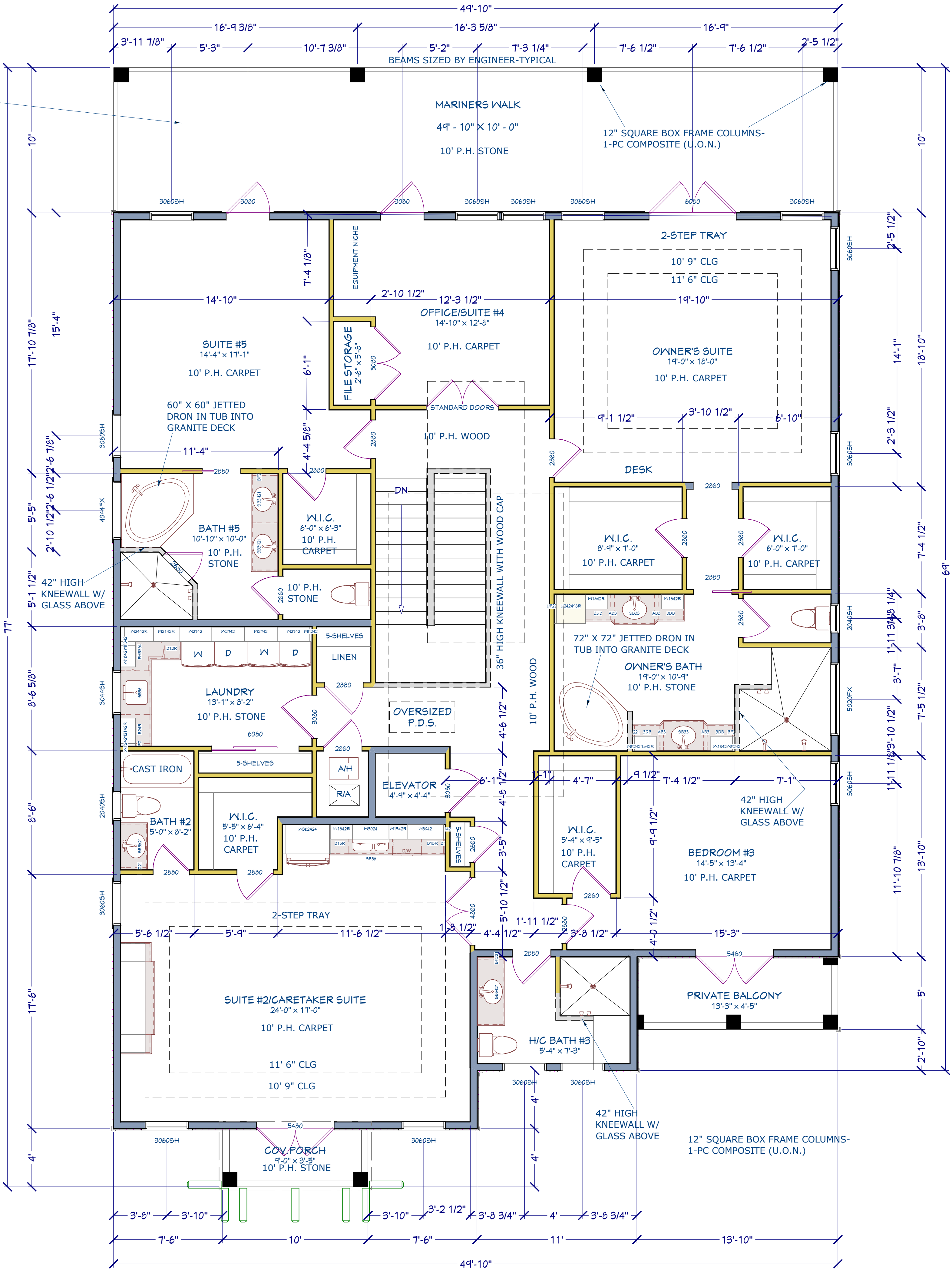
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INSULATION NOTES: 2ND FLOOR WALLS ARE SPRAYED
WITH CELLULOSE OR FIBERGLASS. ALL WALLS TO HAVE
SOUND BATTS OF R-13 OR BETTER. 5.5" OF SPRAY FOAM
WITH IGNITION BARRIER TO BE SPRAYED ON THE
UNDERSIDE OF ALL ROOF SHEATHING

ALL 2ND FLOOR EXTERIOR WALLS ARE 2X6 #2SPF
@ 16" O.C. SHEATHED WITH 7/16" ZIP WALL AND
COVERED WITH CERTAINTED VINYL SHAKE
SIDING OR EQUAL WITH CORNER BOARDS



2ND FLOOR PLAN

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1/4" = 1'-0"

SHEET:
A-5

TOP PORTION OF THE ROOF IS BASICALLY FLAT WITH ENOUGH FALL FOR WATER TO SHEET OFF THE ROOF. THIS "FLAT" ROOF IS TO MEET THE MAXIMUM HEIGHT RESTRICTIONS OF 35'

TRUSS DESIGNER TO BEAR ALL THE ROOF LOAD TO THE OUTSIDE BEAM AT THE REAR BALCONY.

NOTE: ROOFING TO BE STANDING SEAM ALUMINUM ROOF INSTALLED PER MFGR. SPECIFICATIONS

FLOOR TRUSSES ON THIS SIDE ARE 16" DEEP

STRUCTURAL STEEL I-BEAM 20" HIGH TO SUPPORT 2ND FLOOR WALL LOAD

FLOOR TRUSSES ON THIS SIDE ARE 20" DEEP

FLOOR TRUSSES 20" DEEP SHALL BE PLACED AT 10' A.F.F. AND DECKED IN THE TWO CAR GARAGE AREA FOR "ATTIC" STORAGE TYPE

ROOF NOTES: ROOF PITCH: 4/12
FLOOR TRUSSES: 20" SYSTEM 42 TYPE
DECKING: 3/4" T&G PLYTANIUM
ROOF SHEATHING: 1/2" OSB
SOFFITS: BEADED VINYL BY ROYAL 24" & 36" ON TURRETS
FASCIA: CPVC COATED ALUMINUM
ROOF: STANDING SEAM ROOF; SEE SPECIFICATIONS

ROOF PLAN

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REAR ELEVATION



FRONT ELEVATION

IMPORTANT FLASHING NOTE: ALL FLASHINGS TO BE 316 SERIES STAINLESS STEEL

NOTE: ROOFING TO BE STANDING SEAM ALUMINUM ROOF INSTALLED PER MFGR. SPECIFICATIONS

FRONT/REAR ELEVATIONS

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1/4" = 1'-0"

SHEET:

A-7

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NOTE: WINDOWS TO BE PGT, HIGH PERFORMANCE LOW-E WITH ARGON GAS, VINYL, IMPACT RESISTENT AND COMPLY WITH 2010 FBC-RESIDENTIAL. SEE MANUFATURER'S SPECIFICATIONS



LEFT ELEVATION



RIGHT ELEVATION

NOTE: ROOFING TO BE STANDING SEAM ALUMINUM ROOF INSTALLED PER MFG. SPECIFICATIONS

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SIDE ELEVATIONS

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1/4" = 1'-0"

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A-8

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DATE

BY

DESCRIPTION

NO.

NOTE: 300 AMP SERVICE USING TWO 150 AMP INTERNAL PANELS

WATER HEATERS: TWO NAVIEN 240A TANKLESS NATURAL GAS WATER HEATERS LOCATED IN THE GARAGE

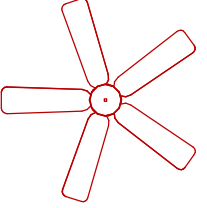
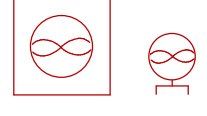
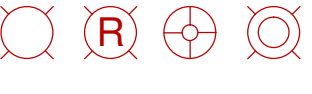





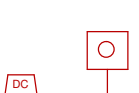

SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

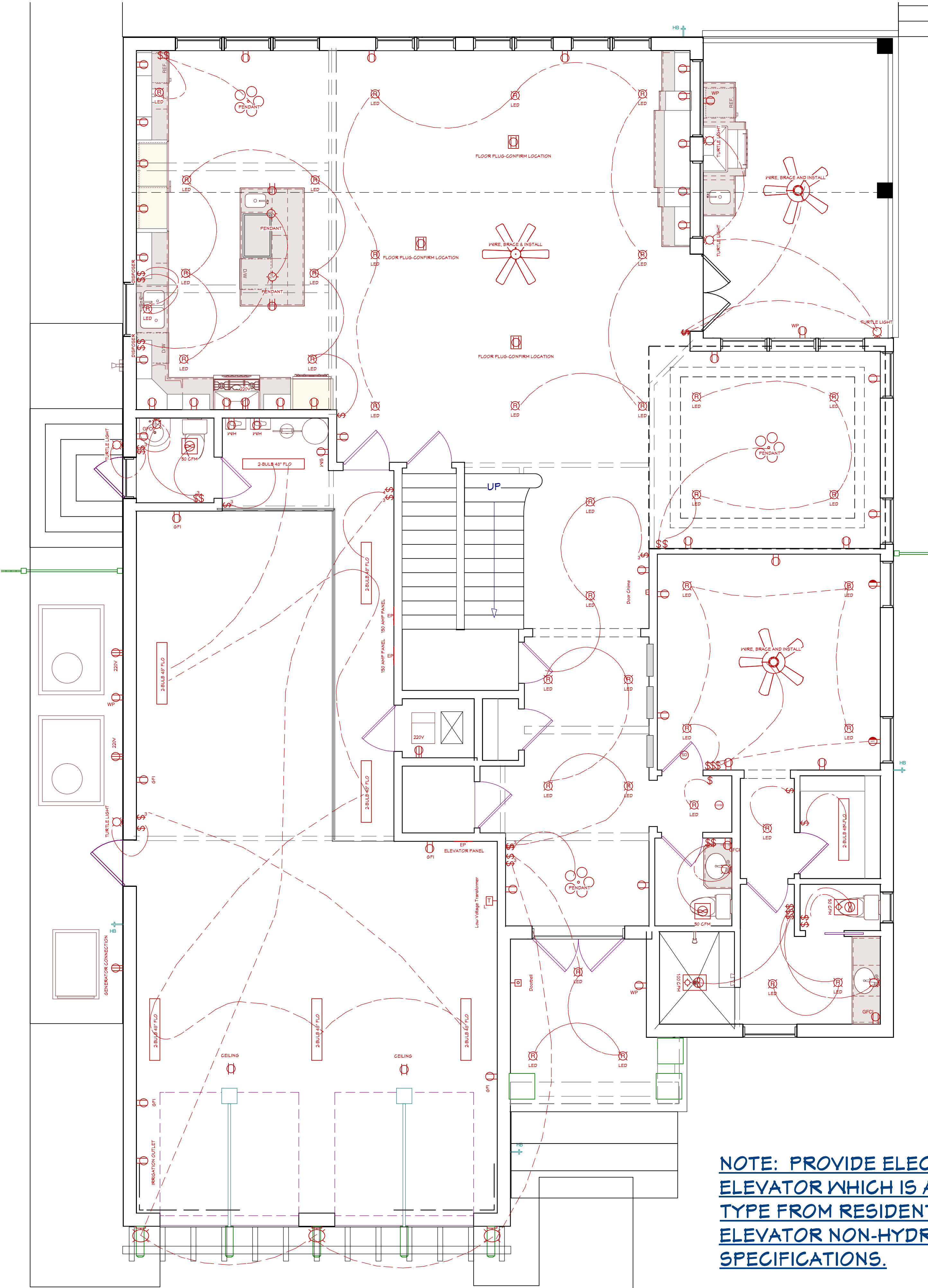
WIRE FOR POOL. CONNECTION OF POOL EQUIPMENT BY POOL CONTRACTOR.

LIGHT FIXTURE ALLOWANCE: \$10,000.00

CEILING FANS: WIRE, BRACE, AND INSTALL.

PROVINDE SWITCHING AND WIRING IN THE KITCHEN FOR ABOVE CABINET ROPE LIGHTING AND UNDERCABINET LED LIGHTING.

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel



NOTE: PROVIDE ELECTRICAL FOR ELEVATOR WHICH IS A TRACTION TYPE FROM RESIDENTIAL ELEVATOR NON-HYDRAULIC; SEE SPECIFICATIONS.

1ST FLOOR ELECTRICAL PLAN

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PLAN #
5012

NO.	DESCRIPTION	BY	DATE

BUILT BY: TO BE DETERMINED

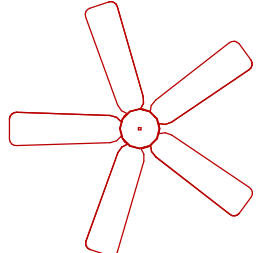
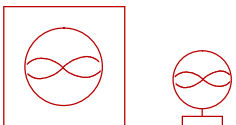


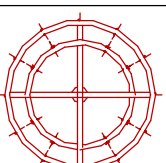


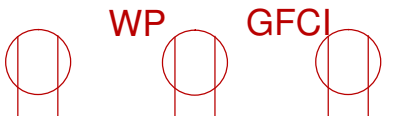











PROJECT DESCRIPTION:
THE MILO RESIDENCE
561 PONTE VEDRA BLVD
PONTE VEDRA BEACH, FL 32082

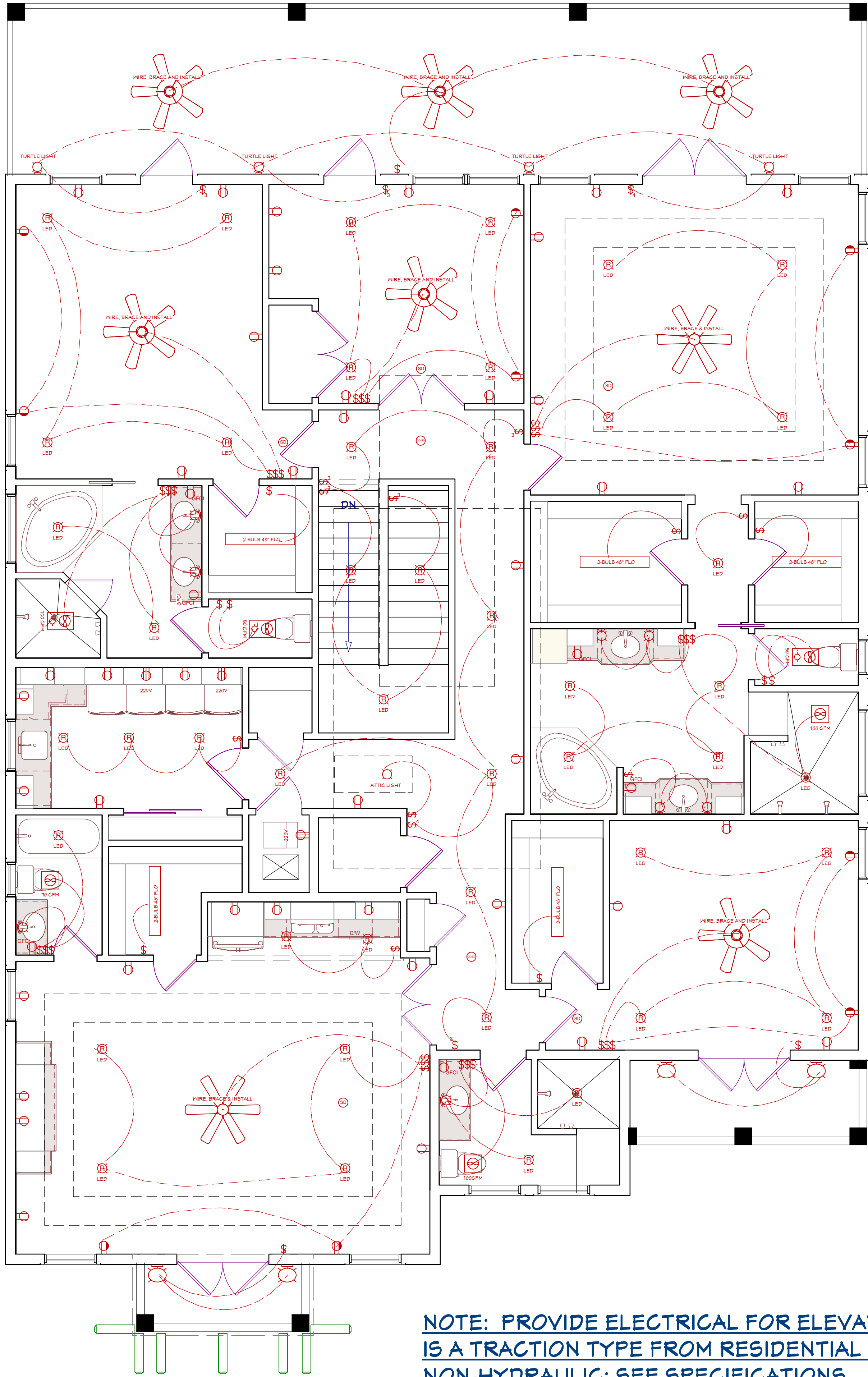
Bid Drawings provided by:
Designs for Living, LLC
RESIDENTIAL DESIGN & CONSULTING
SINCE 1969
SERVING N/E FLORIDA SINCE 1978
904-730-7135

DATE:
11/6/2012

SCALE:
3/16" = 1'-0"

SHEET:
A-9

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel



2ND FLOOR ELECTRICAL PLAN

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PLAN #
5012

NO.	DESCRIPTION	BY	DATE

BUILT BY: TO BE DETERMINED

PROJECT DESCRIPTION:
THE MILO RESIDENCE
561 PONTE VEDRA BLVD
PONTE VEDRA BEACH, FL 32082

Bid Drawings provided by:
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RESIDENTIAL DESIGN & CONSULTING
SINCE 1969
SERVING N/E FLORIDA SINCE 1978
904-730-7135

DATE:
11/6/2012

SCALE:
N.T.S.

SHEET:
A-10

SEA TURTLE PROTECTION: CODE REF-ENVIRONMENTAL PROTECTION STANDARDS RELATING TO THE PROTECTION OF SEA TURTLES: STATE STATUTE 50-241 ET-SEQ/.

SEC. 1201: PURPOSE AND INTENT: THE PURPOSE OF THIS ARTICLE IS TO PROTECT THE THREATENED & ENDANGERED SEA TURTLES WHICH NEST ALONG THE BEACHES OF ST.JOHNS COUNTY, FLORIDA AND TO ENCOURAGE SEA TURTLE NESTING ON ST.JOHNS COUNTY BEACHES BY MINIMIZING THE ARTIFICIAL LIGHT ON BEACHES (ORD #90-22 STATE STATUTE 5-11-90.

SEC. 1202: SEA TURTLE NESTING AREA 8: SEA TURTLES NEST OR ARE LIKELY TO NEST IN AN AREA OF THE BEACH FROM THE ST.JOHNS COUNTY LINE SOUTH TO THE ST.JOHNS COUNTY LINE.

SEC 1203: (a0 IT IS THE POLICY OF THE COUNTY TO MINIMIZE ARTIFICIAL LIGHT ILLUMINATING THE ENTIRE COASTAL BEACH OF THE COUNTY, AND SAID LIGHTING FOR NEW DEVELOPMENT SHALL BE REGULATED AS PROVIDED IN THIS SECTION. TO MEET THIS INTENT, BUILDING AND ELECTRICAL PLANS AND THE CONSTRUCTION OF SINGLE STORY OR MULTI STORY BUILDINGS OR STRUCTURES, SIGNS, COMMERCIAL OR OTHER STRUCTURES INCLUDING ELECTRICAL PLANS ASSOCIATED WITH PARKING LOTS, DUNE WALKOVERS OR OTHER ARTIFICIAL LIGHTING FOR REAL PROPERTY WITHIN THE INCORPORATED AND UNINCORPORATED REGULATED BOUNDARIES SHALL BE IN COMPLIANCE WITH THE FOLLOWING:

(1) LIGHT FIXTURES SHALL BE DESIGNED, POSITIONED, SHIELDED, OR OTHERWISE MODIFIED SUCH THAT THE SOURCE OF LIGHT AND ANY REFLECTIVE SURFACES OF THE FIXTURE SHALL BE DIRECTLY VISIBLE BY A PERSON WHO IS IN A STANDARD POSITION ON THE BEACH

(2) LIGHT SHALL NOT DIRECTLY ILLUMINATE THE BEACH DURING THE SEA TURTLE NESTING SEASON.

(ref) NESTING SEASON: THE PERIOD FROM MAY 1ST THROUGH OCT. 31 OF EACH YEAR.

(3) TINTED GLASS, OR ANY WINDOW FILM APPLIED TO THE WINDOW GLASS WHICH MEET THE SHADING CRITERIA FOR TINTED GLASS, SHALL BE INSTALLED ON ALL WINDOWS OF SINGLE OR MULTI-STORY BUILDINGS OR STRUCTURES WITHIN LINE OF SIGHT OF THE BEACH IN THE REGULATED B OUNDARIES.

(ref) MEANS ANY GLASS TREATED TO ACHIEVE AN INDUSTRY APPROVED, INSIDE-TO-OUTSIDE LIGHT TRANSMITTANCE VALUE OF 45 PERCENT OR LESS. SUCH TRANSMITTANCE IS LIMITED TO THE VISIBLE SPECTRUM (400 TO 700 NANOMETERS) AND IS MEASURED AS THE PERCENTAGE OF LIGHT THAT IS TRANSMITTED THROUGH THE GLASS.

(4) LIGHTS ILLUMINATING SIGNS SHALL BE SHIELDED OR SCREENED SUCH THAT THEY DO NOT ILLUMINATE THE BEACH AND THE SOURCE OF THE LIGHT SHALL NOT BE VISIBLE BY A PERSON WHO IS IN A STANDING POSITION ON THE BEACH.

(5) THE PROVISIONES OF THIS SECTION, AS AMENDED, SHALL NOT APPLY TO ANY STRUCTURES FOR WHICH A BUILDING PERMIT HAS BEEN ISSUED PRIOR TO ADOPTION OF THIS ORDINANCE. OTHERWISE, EXISTING DEVELOPMENT SHALL COMPLY WITH SECTION 1204.

NOTE: LIGHTING CONTRACTOR TO SELECT COMPLIANT FIXTURES. SUBMIT MFGR'S SPECS AND CUT SHEETS. FIXTURES MUST SHOW COMPLIANCE WITH SEA TURTLE ORDINACE LOC 6.05.00, FBC SEC 104.2.1.



NOTE: WINDOWS TO BE PGT, LOW-E, VINYL, ARGON GAS, IMPACT RESISTENT AND COMPLY WITH 2010 FBC-RESIDENTIAL. SEE MANUFATURER'S SPECIFICATIONS

ORTHOGRAPHIC VIEWS

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5012

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PROJECT DESCRIPTION:
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561 PONTE VEDRA BLVD
PONTE VEDRA BEACH, FL 32082

Bid Drawings provided by:
Designs for Living, LLC
RESIDENTIAL DESIGN & CONSULTING
SINCE 1969
SERVING N/E FLORIDA SINCE 1978
904-730-7135

DATE:
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SCALE:
1/4" = 1'-0"

SHEET:

A-11

2ND FLOOR EXTERIOR WALLS TO BE 2X6 #2SPF @ 16" O.C. WITH THE EXTERIOR CERTAINTED DOUBLE 7" STRAIGHT VINYL SIDING AND THE WALLS INSULATED WITH SPRAYED IN CELLULOSE OR FIBERGLASS.

ATTIC INSULATION IS 5.5" OPEN CELL FOAM APPLIED PER CODE WITH AN IGNITION BARRIER

PRE-ENGINEEERED TRUSSES TO SUPPORT ALUMINUM STANDING SEAM ROOF

20" SYSTEM 42 TYPE TRUSSES ON THE 2ND FLOOR HEATED AREAS

STRUCTURAL PILING & BREAK AWAY FOUNDATION PER ENGINEER'S DETAILS

CROSS-SECTION

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904-730-7135

DATE:

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SCALE:

1/2" = 1'-0"

SHEET:

A-12

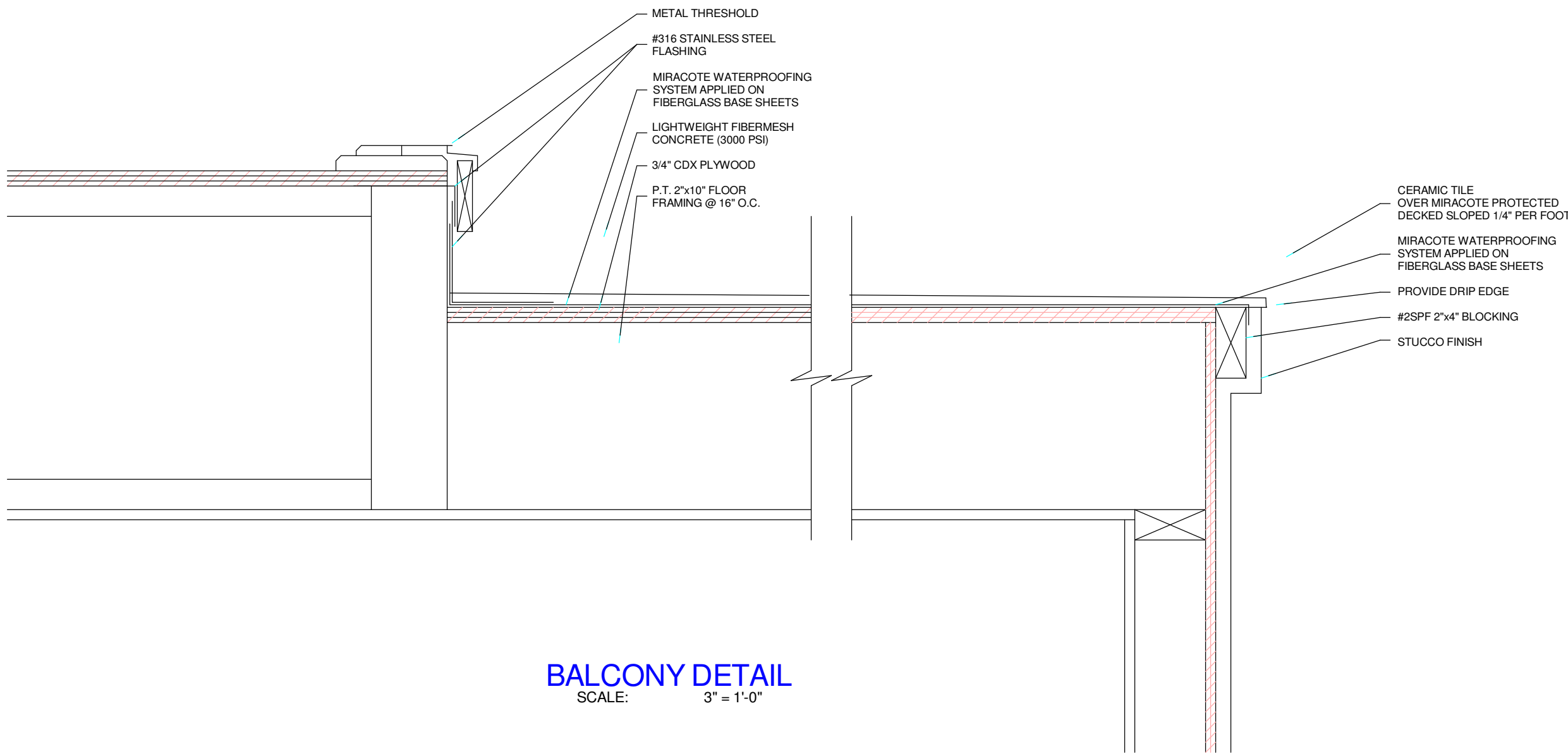
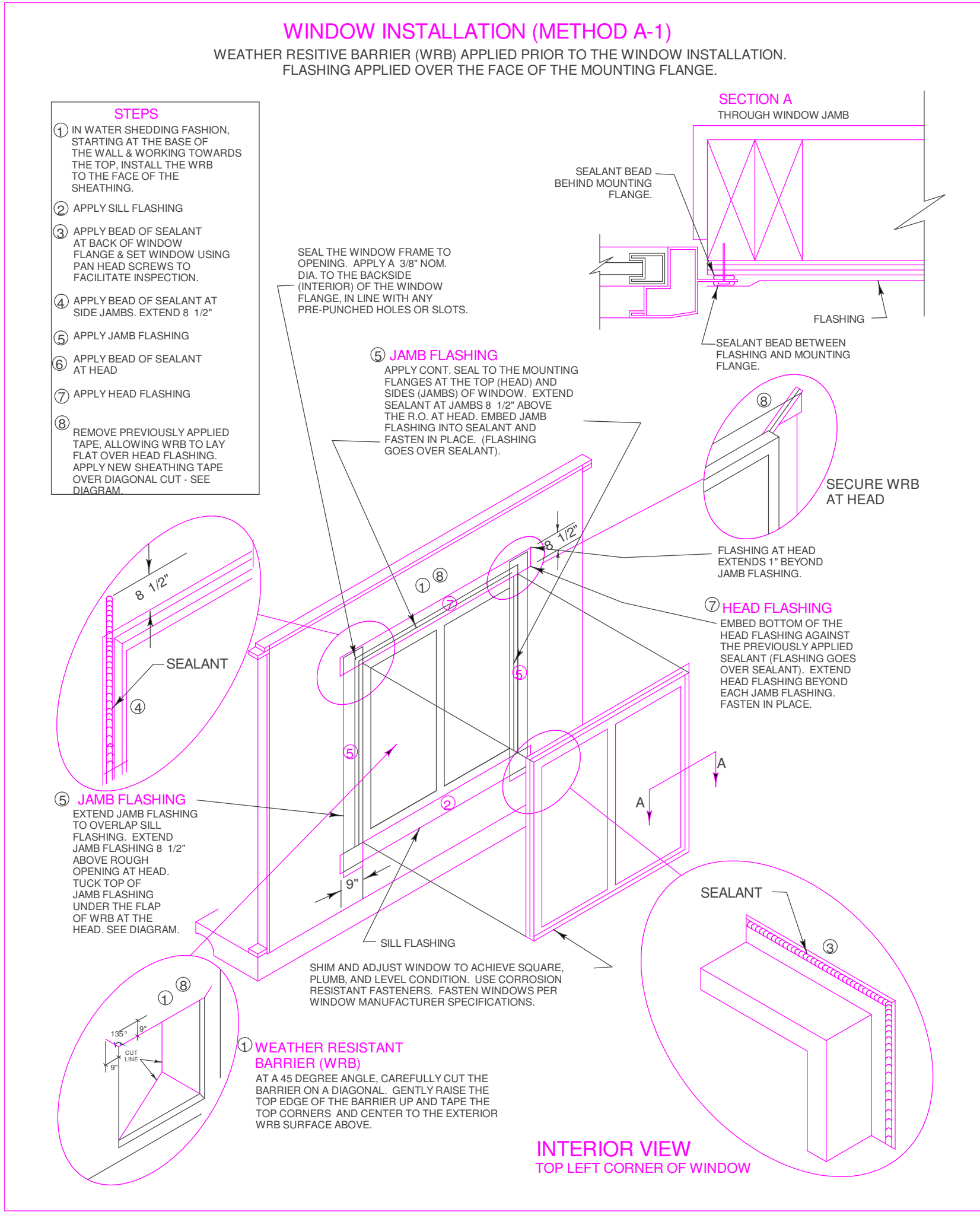
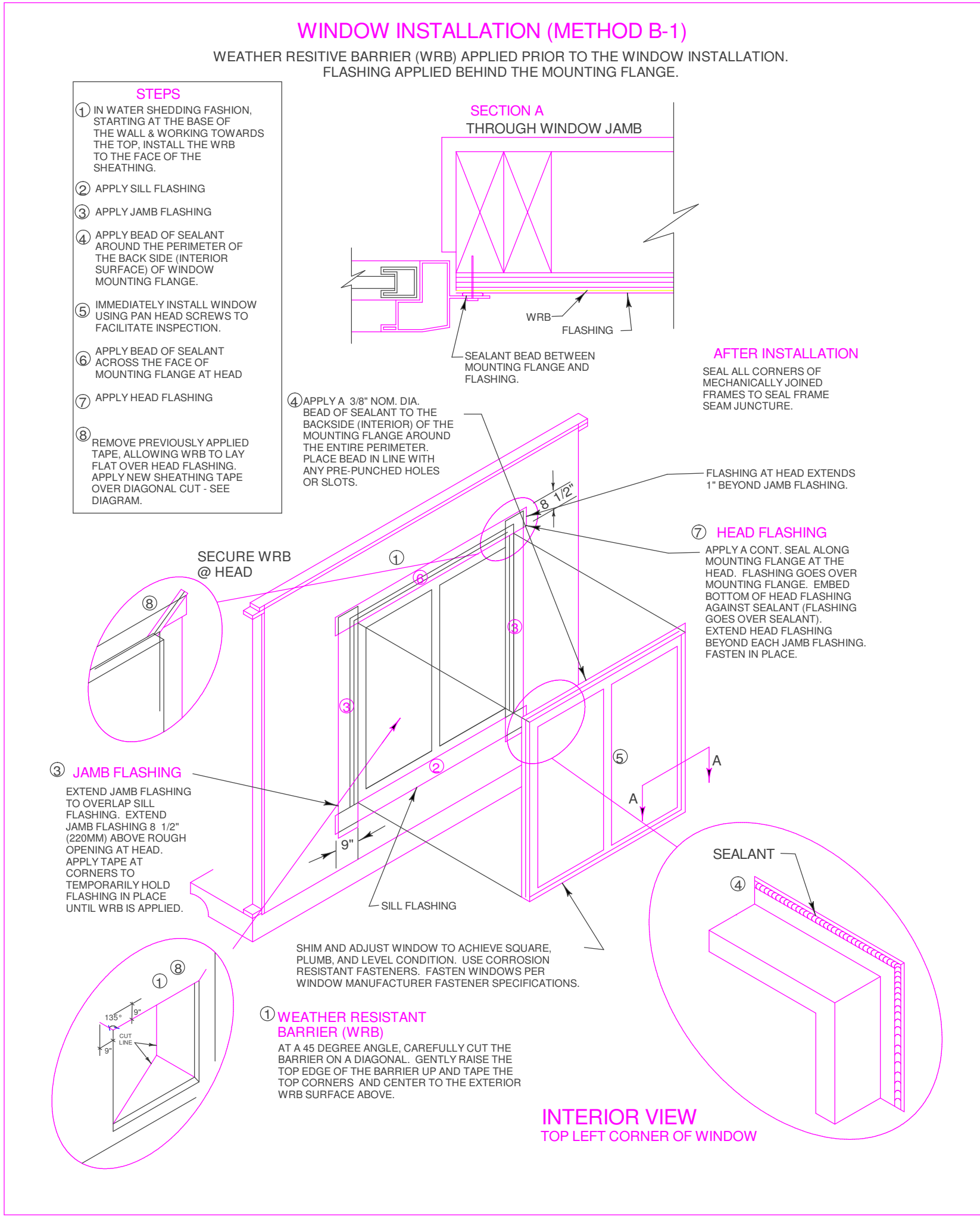
PLAN #
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NO.

DESCRIPTION

BY

DATE



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A-13

TYPICAL DETAILS