

# "ROSEBANK"

## FUTURE HOME OF THE DUFFY FAMILY

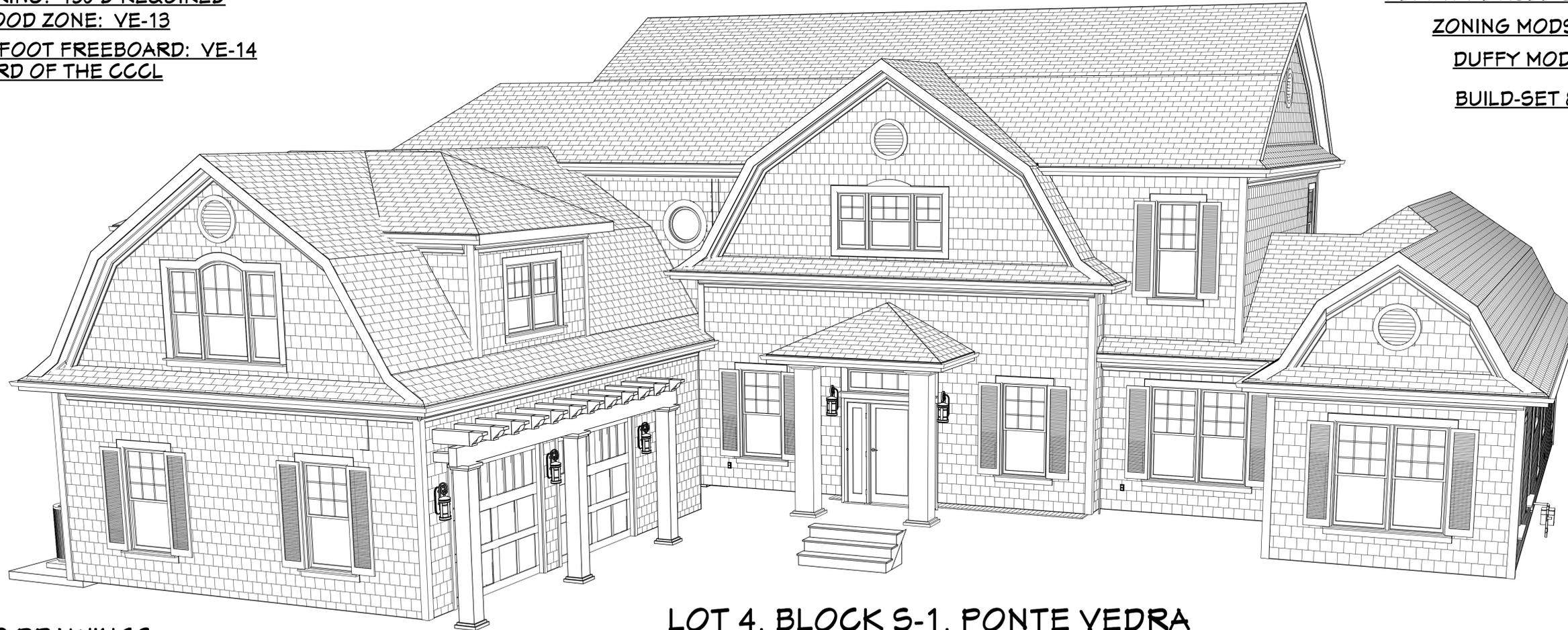
ENGINEERING: 130 D REQUIRED  
FEMA FLOOD ZONE: VE-13  
SJC ONE FOOT FREEBOARD: VE-14  
LANDWARD OF THE CCCL

PERMIT REVISED SET 7.1.2013

ZONING MODS 10.24.11

DUFFY MODS 9.7.12

BUILD-SET 8.25.13



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LOT 4, BLOCK S-1, PONTE VEDRA

723 PONTE VEDRA BLVD.

PONTE VEDRA BEACH, FL 32092

BUILT BY

HERITAGE HOMES OF JAX., INC.

2950 HALCYON LANE, SUITE 604

JACKSONVILLE, FL 32223

CGC 047108

904-886-0990

COVER PAGE

PLAN #:

6406

DATE

BY

DESCRIPTION

NO.

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PROJECT DESCRIPTION:

*Rosebank*  
Future Home of the Duffy Family  
723 Ponte Vedra Blvd.  
Ponte Vedra Beach, FL 32082

DRAWINGS PROVIDED BY:

Heritage Homes of  
Jax., Inc  
2950 Halcyon Lane  
Suite 604  
Jacksonville, FL 32223 904-886-0990  
CGC047108

DATE:

8/3/2017

SCALE:

N.T.S.

SHEET:

A-1

SEE SEPERATE SURVEYORS DRAWINGS

PLAN #:  
6406

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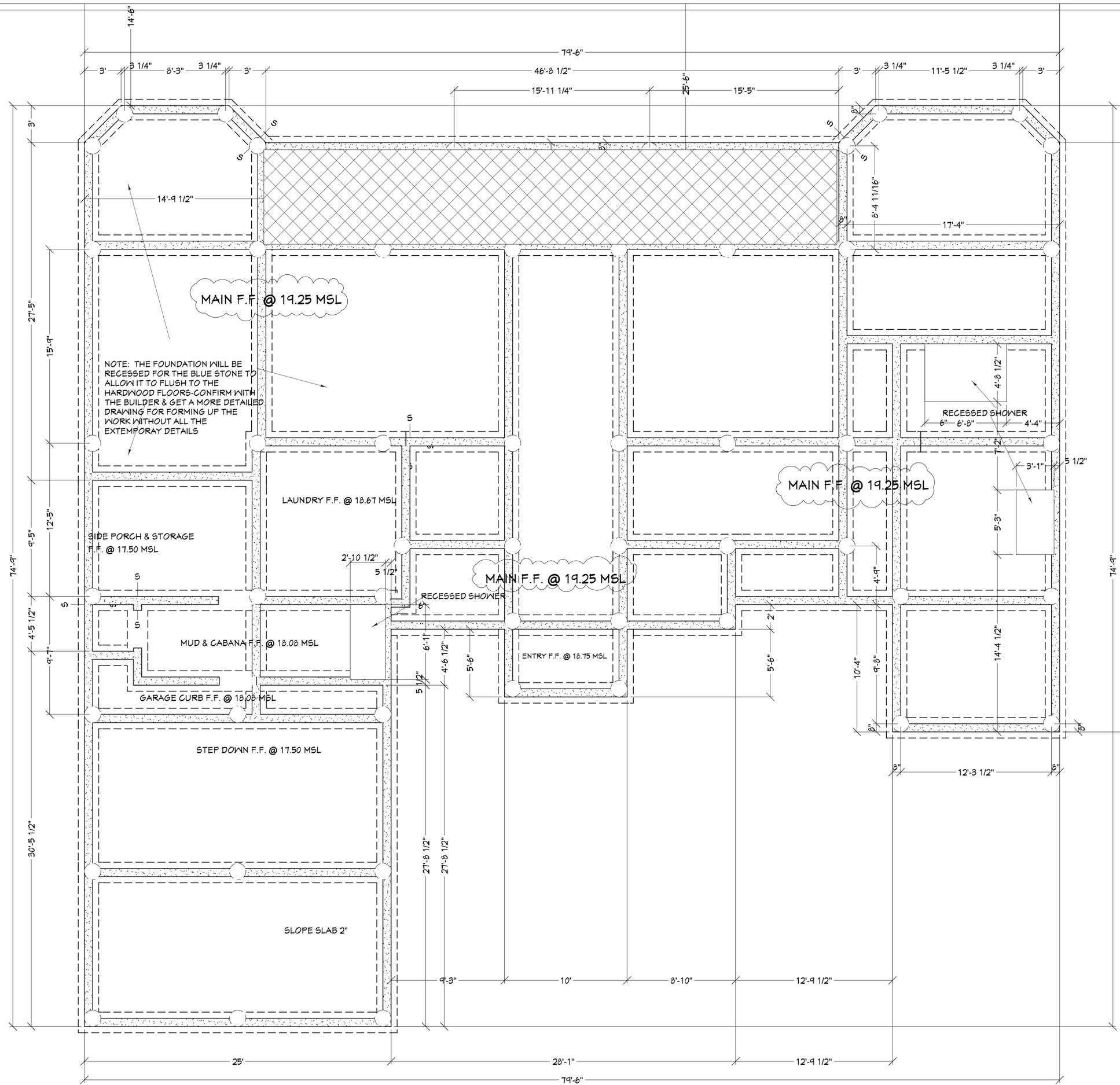
SCALE:

1"=20' - 0"

SHEET:

A-2

SITE PLAN



LIVING AREA  
2141 SQ FT

**SLAB NOTES:**  
 1. ALL SLABS ARE STRUCTURAL AND ARE 6" THICK (U.O.N.)  
 2. THERE WILL BE #5 REBAR BOTH WAYS AT 12" O.C. ON CHAIRS (U.O.N.)

**AUGERCAST PILING NOTES:**  
 1. DIAMETER IS 16" (UON)  
 2. REFER TO THE STRUCTURAL ENGINEERING SHEETS  
 3. THERE SHALL BE 6-#6 RODS IN A CAGE DOWN TO 35 FEET WITH #3 REBAR HOOP TIES AT 12" O.C VERTICALLY WITH A MINIMUM OF 3" OF COVER  
 4. THE SHADED CIRCLE REPRESENTS THE PROJECTED NUMBER OF PILING, PLUS WE WILL NEED TO PRICE IN FOUR ADDITIONAL FOR THE SWIMMING POOL

**BOND BEAM NOTES:**  
 1. WIDTH TO BE 16 INCHES AND DEPTH 24"  
 2. THERE WILL BE A CAGE OF SIX #6 REBAR HORIZONTALLY WITH #4 STIRRUPS AT NO GREATER THAN 72 INCHES O.C.

**CMU WALL NOTES:**  
 1. ALL CMU SHALL BE SOLIDLY FILLED  
 2. THE MAIN HOME SLAB HEIGHT IS BASED ON FOUR CMU  
 3. THE GARAGE STPS DOWN A TOTAL OF 21" FROM THE MAIN FLOOR  
 4. ALL EXPOSED CMU SHALL BE STUCCOED AND PAINTED BY THE STUCCO CONTRACTOR

**CONCRETE NOTES:** ALL CONCRETE SHALL BE 3000 PSI

**TERMITE TREATMENT:**  
 1. THE SLAB SHALL BE A COMPLETE TERMADORE PRE-TREATMENT WITH A PERIMETER TREATMENT AT THE COMPLETION OF THE HOME  
 2. THE FIRST FLOOR STUDS SHALL BE TREATED WITH BORACARE PRIOR TO DRYWALL

ENGINEERING: IS BY MURRAY ENGINEERING, INC. THEIR OFFICIAL DRAWINGS SHALL TAKE PRECEDENCE OVER THESE  
**FOUNDATION PLAN**

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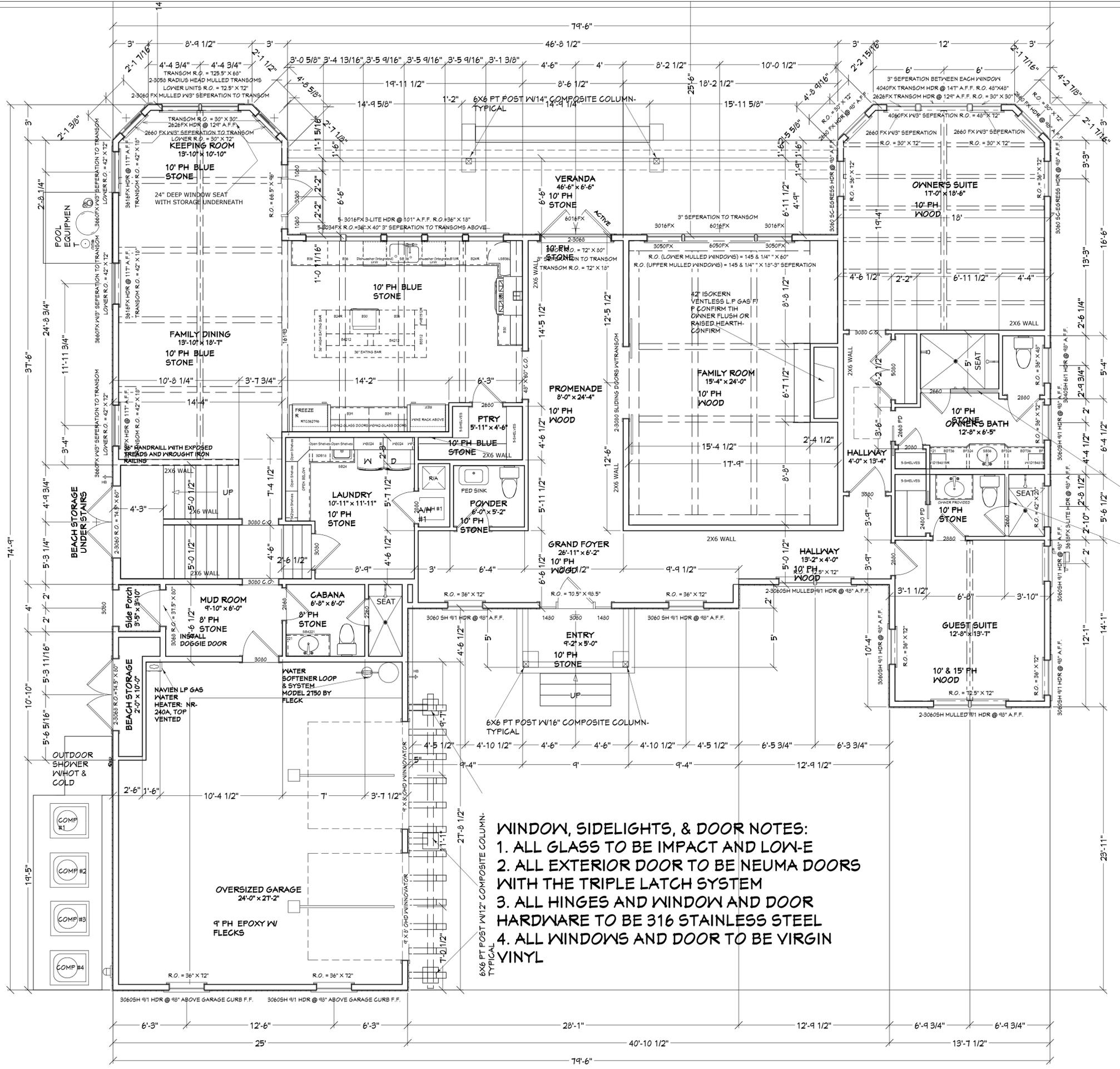
DATE:  
8/3/2017

SCALE:  
1/4" = 1' - 0"

SHEET:  
**A-3**

PLAN #:

6406



**INSULATION NOTES:**

1. SELECT "APX" SEMI-RIGID FOAM BY DEMILEC IS TO BE USED
2. WALLS AND ROOF TO BE 5"
3. BETWEEN FLOORS FOR SOUND SPRAY 3.5"
4. SOUND DEADENING SHALL BE PROVIDED BY NETTING ONE SIDE AND SPRAYING IN THE FOLLOWING AREAS: LAUNDRY, POWDER BATH, OWNER'S BATH, AND UPSTAIRS BATHS.
5. THE AREA ABOVE THE OWNER'S BATH DOES NOT REQUIRE AN IGNITION BARRIER PER THE ICC-ES REPOST #: ESR-3470

**FOOTAGES (A.N.S.I.):**

GARAGE:	671.88
BEACH STORAGE:	132.53
ENTRY:	45.00
VERANDA:	213.11
SIDE ENTRY:	16.00
1ST FLOOR HEATED:	3,022.60
2ND FLOOR HEATED:	1,365.26
VAULTED PLAY AREA:	653.67
TOTAL HEATED:	5,041.53
VOIDS, FRAMING:	196.68
EXTENTIONS:	80.01
SLAB AREA:	4,286.44
UNDER ROOF:	6,406.22

# 1ST FLOOR PLAN

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SHEET:  
**A-4**

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DATE:

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SCALE:

1/4" = 1' - 0"

SHEET:

A-5

**INSULATION NOTES:**

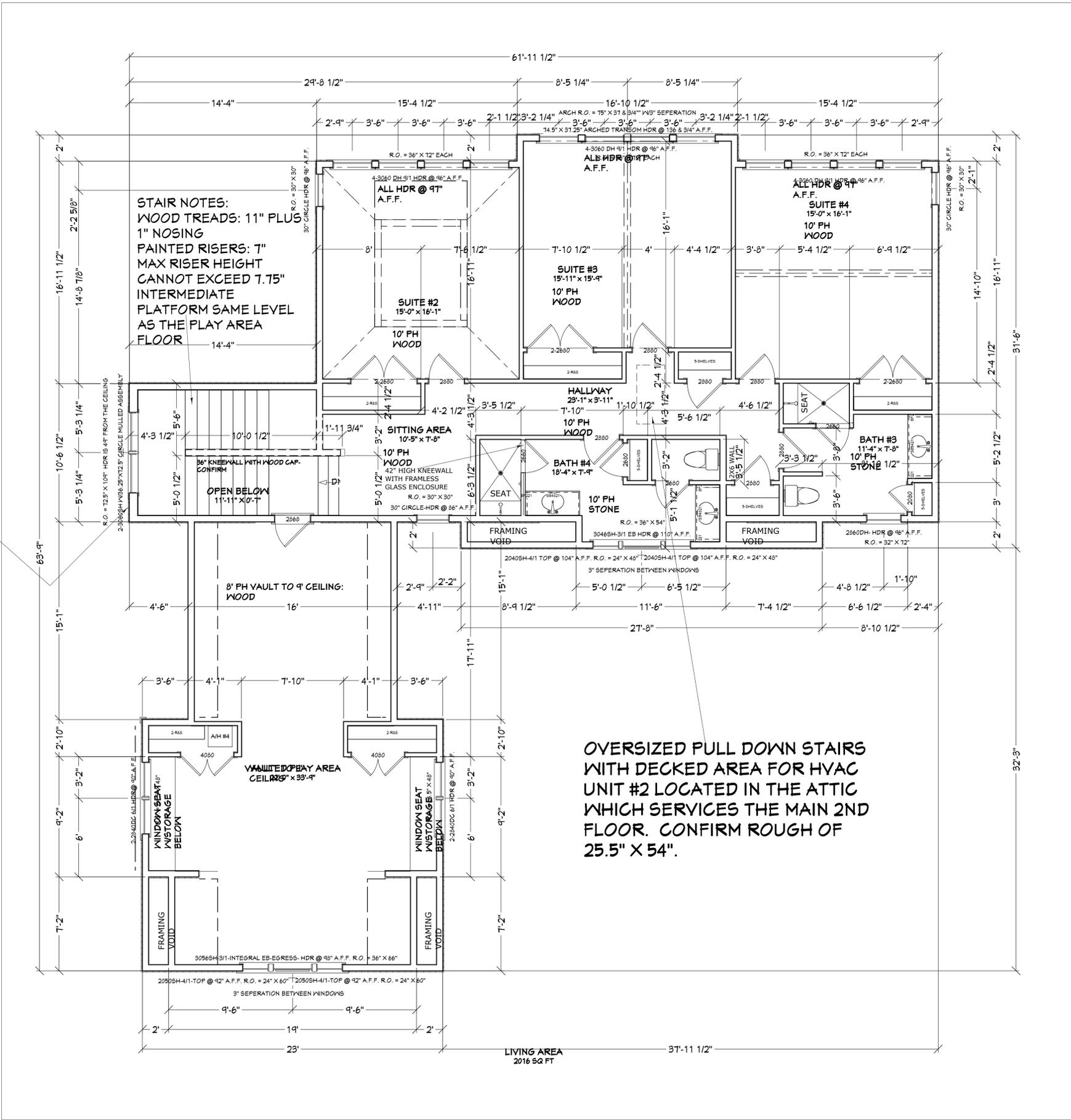
1. SELECT "APX" SEMI-RIGID FOAM BY DEMILEC IS TO BE USED
2. WALLS AND ROOF TO BE 5"
3. BETWEEN FLOORS FOR SOUND SPRAY 3.5"
4. SOUND DEADENING SHALL BE PROVIDED BY NETTING ONE SIDE AND SPRAYING IN THE FOLLOWING AREAS: LAUNDRY, POWDER BATH, OWNER'S BATH, AND UPSTAIRS BATHS.
5. THE AREA ABOVE THE OWNER'S BATH DOES NOT REQUIRE AN IGNITION BARRIER PER THE ICC-ES REPOST #: ESR-3470

**WINDOW NOTES: ALL WINDOW SILLS PER SECTION R612.2 ARE AT OR ABOVE THE MINIMUM 24 INCHES ABOVE THE FINISHED FLOOR REQUIRED BY THE CODE.**

**WINDOW, SIDELIGHTS, & DOOR NOTES:**

1. ALL GLASS TO BE IMPACT AND LOW-E
2. ALL EXTERIOR DOORS TO BE NEUMA DOORS WITH THE TRIPLE LATCH SYSTEM IN STAINLESS STEEL
3. ALL HINGES AND WINDOW AND DOOR HARDWARE TO BE STAINLESS STEEL
4. ALL WINDOWS AND DOOR TO BE VIRGIN VINTAGE

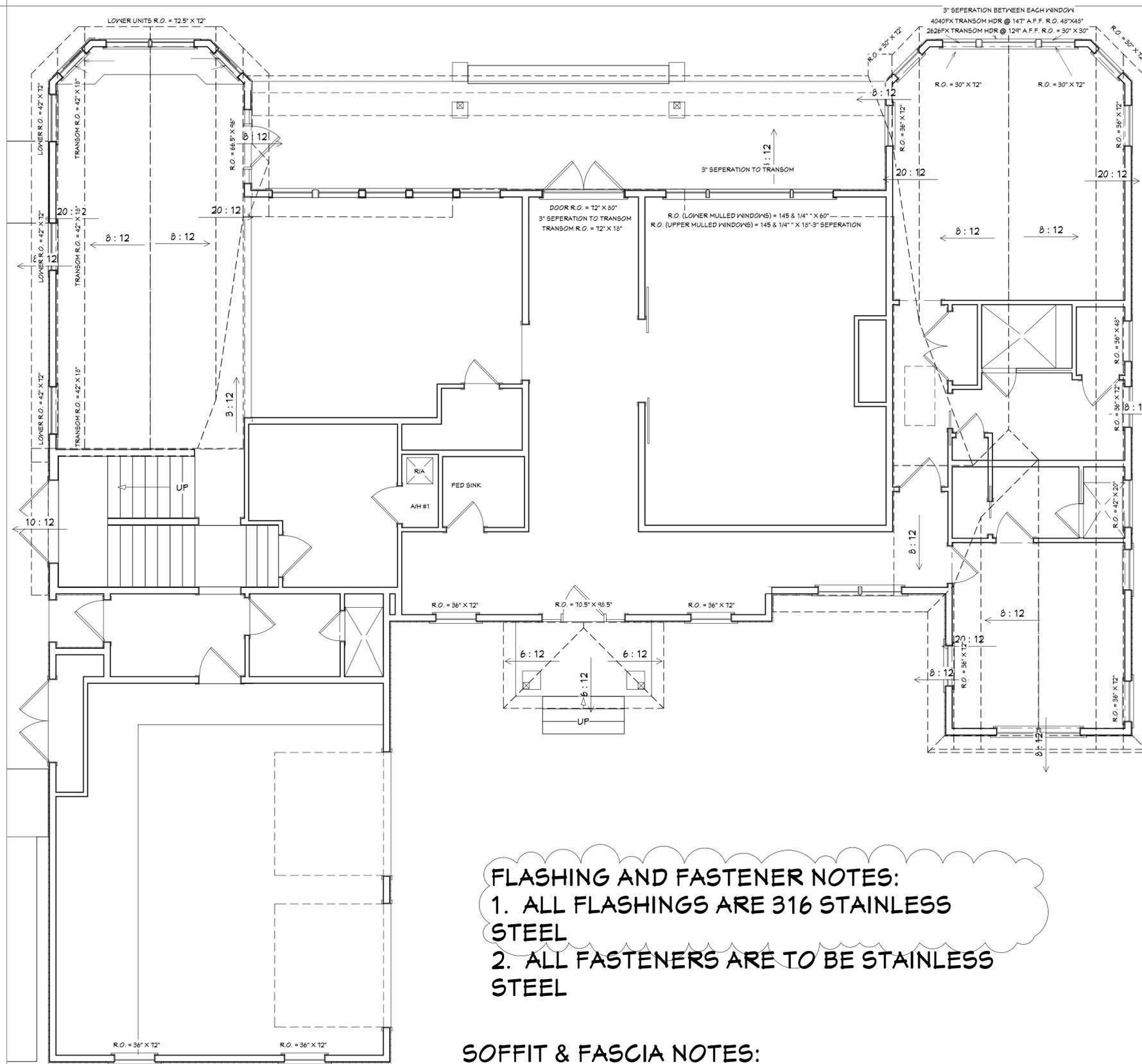
**2ND FLOOR PLAN**



2X8 STUDS AT STAIR WALL (U.O.N.)

OVERSIZED PULL DOWN STAIRS WITH DECKED AREA FOR HVAC UNIT #2 LOCATED IN THE ATTIC WHICH SERVICES THE MAIN 2ND FLOOR. CONFIRM ROUGH OF 25.5\"/>

2nd Floor



**FLASHING AND FASTENER NOTES:**

1. ALL FLASHINGS ARE 316 STAINLESS STEEL
2. ALL FASTENERS ARE TO BE STAINLESS STEEL

**SOFFIT & FASCIA NOTES:**

1. FASCIA IS PLUMB CUT USING 2"X8" WITH 1X2 PT DRIP
2. STANDARD SOFFIT OVERHANG IS 16"
3. STANDARD GABLE OVERHANG IS 12"

**SUB FASCIA NOTES: SUB FASCIA IS TO BE 2X6 WITH 1X2 P.T. DRIP TYPICAL.**

**AREA ABOVE THE OWNER'S BATH AND GUEST BATH TO BE CONVENTIONALLY FRAMED AND DECKED WITH 3/4" T&G DECKING WITH OVERSIZED PULL DOWN STAIRS. THE SECOND TANKLESS WATER HEATER WILL BE LOCATED IN THIS AREA (U.O.N.)**

**TRUSS, SHEATHING, AND SHINGLE NOTES:**

1. FLOOR TRUSSES: 20" SYSTEM 42 TYPE WITH 3/4" T&G DECKING GLUED AND SCREWED
2. ROOF TRUSSES ABOVE THE MORNING ROOM ARE PARALLEL CHORD SCISSOR TYPE WITH THE INSIDE PITCH @ 8/12 PITCH
3. OVERHANG IS 16" ON ALL STANDARD EAVES
4. GABEL ENDS ARE 12" OVERHANGS
5. OWNER'S & GUEST SUITE TRUSSES ARE SCISSOR TYPE WITH THE INSIDE AT 6/12 PITCH
6. ROOF SHEATHING IS PER STRUCTURAL ENGINEER
7. FRONT ENTRY IS TRUSSED.
8. UNDERLAYMENT FOR SHINGLES IS PEEL AND SEAL
9. SHINGLES ARE LIFETIME PRESIDENTIAL STYLE FIBERGLASS BY CERTAINTEED OR EQUAL

**1ST FLOOR TRUSS PLAN**

**PLAN #:**

**6406**

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 CGC047108

DATE:

8/3/2017

SCALE:

1/4" = 1' - 0"

SHEET:

**A-6**

**SOFFIT & FASCIA NOTES:**

1. FASCIA IS PLUMB CUT USING 2"X8" WITH 1X2 PT DRIP
2. STANDARD SOFFIT OVERHANG IS 16"
3. STANDARD GABLE OVERHANG IS 12"

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DATE:

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SCALE:

1/4" = 1' - 0"

SHEET:

A-7

**FLASHING AND FASTENER NOTES:**

1. ALL FLASHINGS ARE 316 STAINLESS STEEL
2. ALL FASTENERS ARE TO BE STAINLESS STEEL

**SUB FASCIA NOTES:** SUB FASCIA IS TO BE 2X6 COVERED WITH 1X6 PVC AND WITH 1X2 P.T. DRIP TYPICAL.

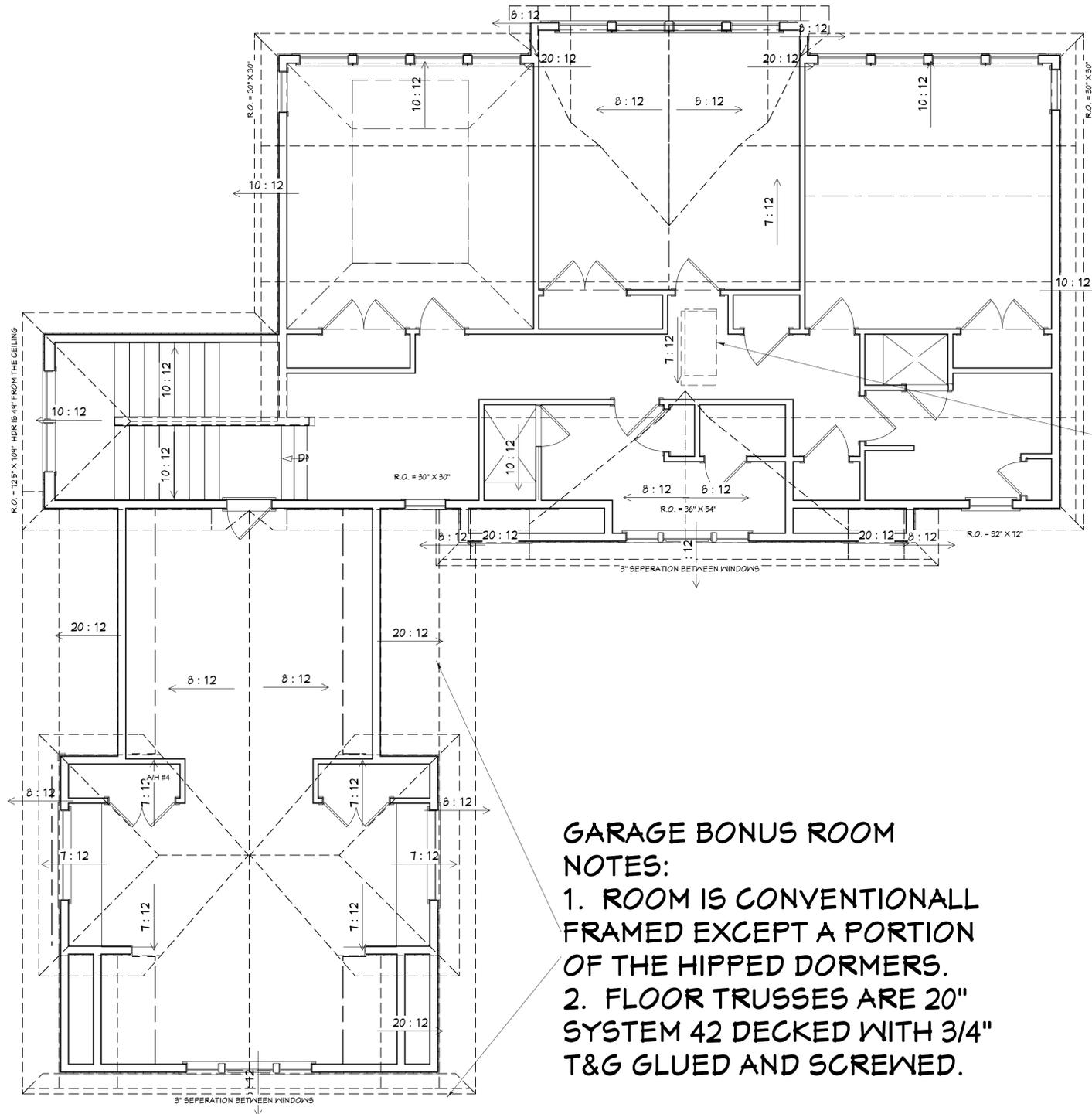
AREA AT THE 2ND FLOOR PULL DOWN STAIRS TO BE TRUSSED IN SUCH A WAY AS TO CREATE AN AREA TO BE DECKED WITH 3/4" T & G DECKING WITH OVERSIZED PULL DOWN STAIRS. THE UPSTAIRS HVAC UNIT WILL BE GOING IN THIS SPACE.

**TRUSS, SHEATHING, AND SHINGLE NOTES:**

1. GARAGE DORMERS ARE TRUSSED. THE REST IS CONVENTIONALLY FRAMED
2. THE OUTBOARD BEDROOMS HAVE INTERIOR PITCHES OF 6/12
3. THE CENTER BEDROOM HAS AN INTERIOR PITCH OF 5/12
4. ROOF IS SHEATHED PER ENGINEERING DETAILS
5. UNDERLAYMENT FOR SHINGLES IS PEEL & SEAL
6. SHINGLES ARE LIFETIME PRESIDENTIAL STYLE FIBERGLASS BY CERTAINTEED OR EQUAL

**GARAGE BONUS ROOM NOTES:**

1. ROOM IS CONVENTIONALL FRAMED EXCEPT A PORTION OF THE HIPPED DORMERS.
2. FLOOR TRUSSES ARE 20" SYSTEM 42 DECKED WITH 3/4" T&G GLUED AND SCREWED.



**2ND FLOOR TRUSS PLAN**

**EXTERIOR SHEATHING & SIDING**

- NOTES:**
1. WALL SHEATHING IS 1/2" ZIP WALL.
  2. EXTERIOR AND INTERIOR CORNERS ARE 1-PIECE PVC TRIMS
  3. SIDING IS CEDAR SHAKES INSTALLED PER ENGINEER'S NOTES
  4. ALL FASTENERS TO BE STAINLESS STEEL

**SOFFIT & FASCIA NOTES:**

1. FASCIA TO BE PVC COMPOSITE W/1X2 DRIP
2. SOFFITS TO BE NON-VENTED HARDI BOARD
3. ALL FASTENERS TO BE STAINLESS STEEL

**FREIZE NOTES:**

1. THE FREIZE WILL BE A 2-STEP TYPE
2. THE BUILDER SHALL PROVIDE THE COMPOSITE FINISH MATERIALS
3. THE FRAMER IS TO PROVIDE THE LABOR & MATERIAL 1X6 PINE SUB-WOOD TO ATTACH
4. FRAMER IS TO PROVIDE LABOR TO INSTALL THE COMPOSITE FREIZE MATERIALS



**FRONT (WEST) ELEVATION**



**REAR (EAST) ELEVATION**

**FRONT/REAR ELEVATIONS**

**EXTERIOR COLUMN NOTES:**  
ALL EXTERIOR COLUMNS TO BE ONE PIECE PERMACAST COMPOSITE TYPE FROM HB&G OR EQUAL

**FAUX GABLE VENT NOTES:**  
ALL FAUX VENTS TO BE VIRGIN VINYL PROVIDED BY THE SIDING COMPANY.

**FLASHING NOTES:** ALL OTHER FLASHINGS TO BE 316 SERIES STAINLESS STEEL

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1/4"=1' - 0"

**SHEET:**

**A-8**

**EXTERIOR SHEATHING & SIDING NOTES:**

1. WALL SHEATHING IS 1/2" ZIP WALL.
2. EXTERIOR AND INTERIOR CORNERS ARE 1-PIECE PVC TRIMS
3. SIDING IS CEDAR SHAKES INSTALLED PER ENGINEER'S NOTES
4. ALL FASTENERS TO BE STAINLESS STEEL

**SOFFIT & FASCIA NOTES:**

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**RIGHT (SOUTH) ELEVATION**



**LEFT (NORTH) ELEVATION**

**EXTERIOR COLUMN NOTES:**  
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**FAUX GABLE VENT NOTES:**  
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**SIDE ELEVATIONS**

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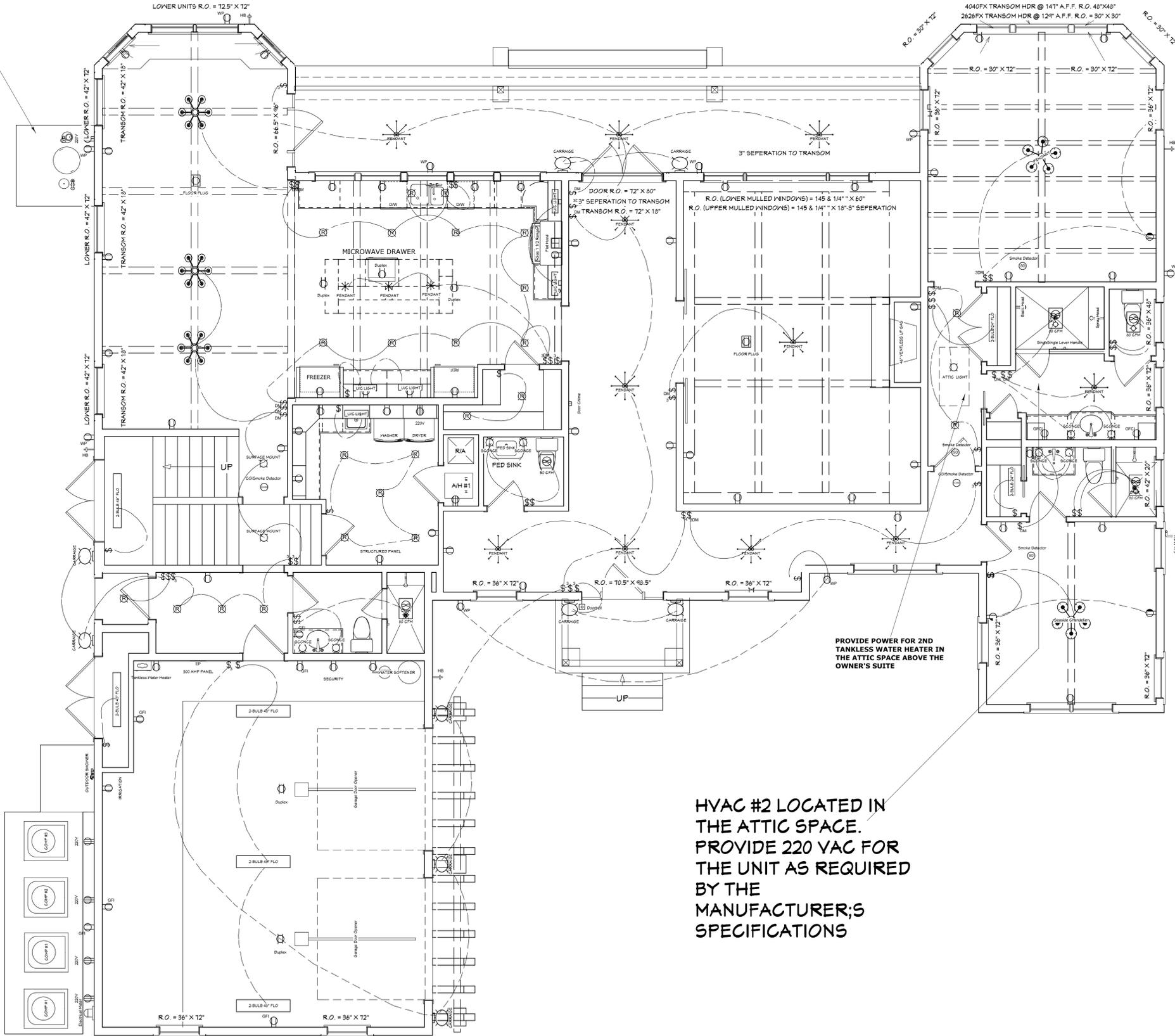
SCALE:

1/4"=1' - 0"

SHEET:

**A-9**

PROVIDE POWER FOR POOL EQUIPMENT



PROVIDE POWER FOR 2ND TANKLESS WATER HEATER IN THE ATTIC SPACE ABOVE THE OWNER'S SUITE

HYAC #2 LOCATED IN THE ATTIC SPACE. PROVIDE 220 VAC FOR THE UNIT AS REQUIRED BY THE MANUFACTURER'S SPECIFICATIONS

ELECTRICAL - DATA - AUDIO LEGEND

SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

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1ST FLOOR ELEC PLAN

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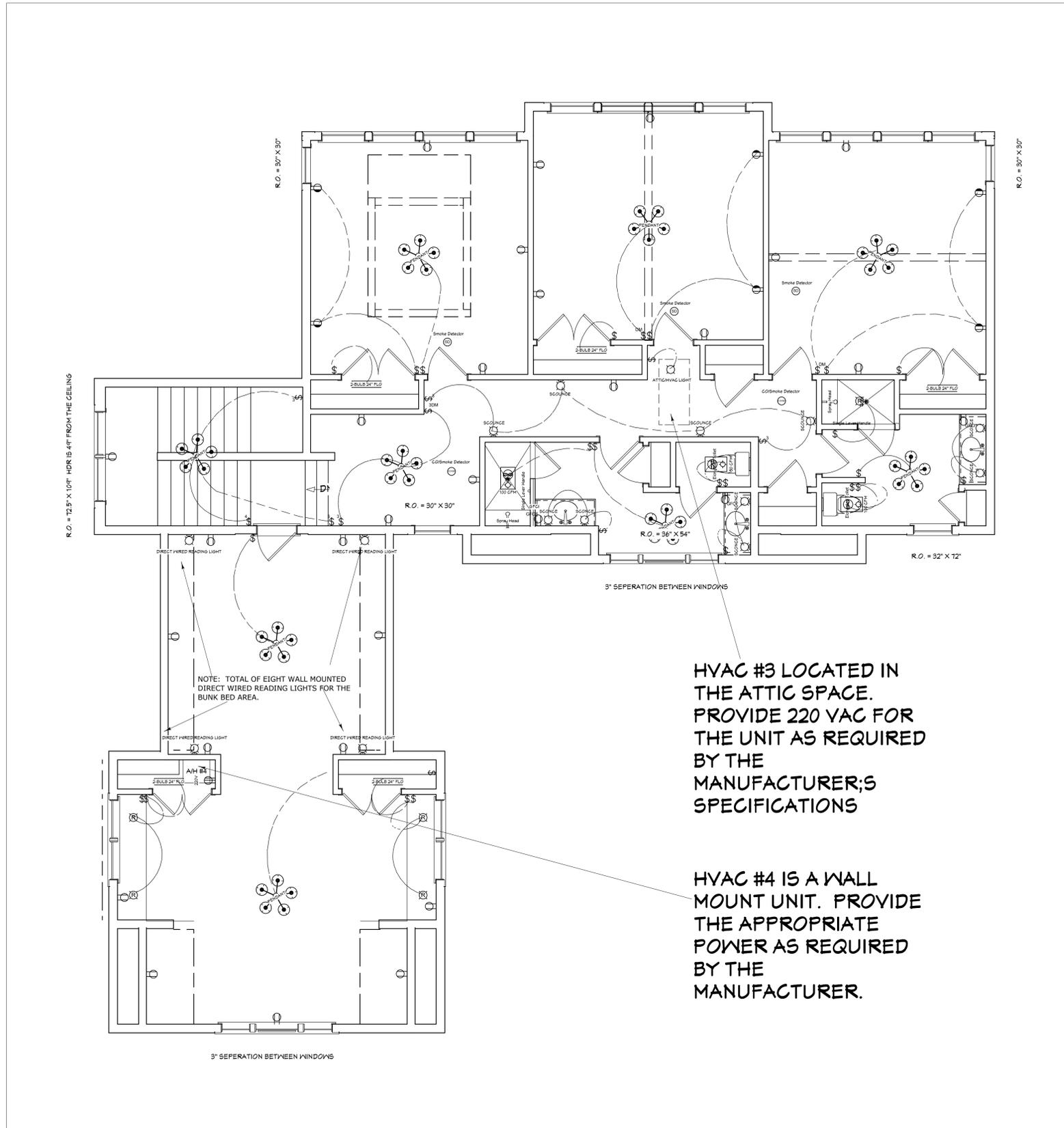
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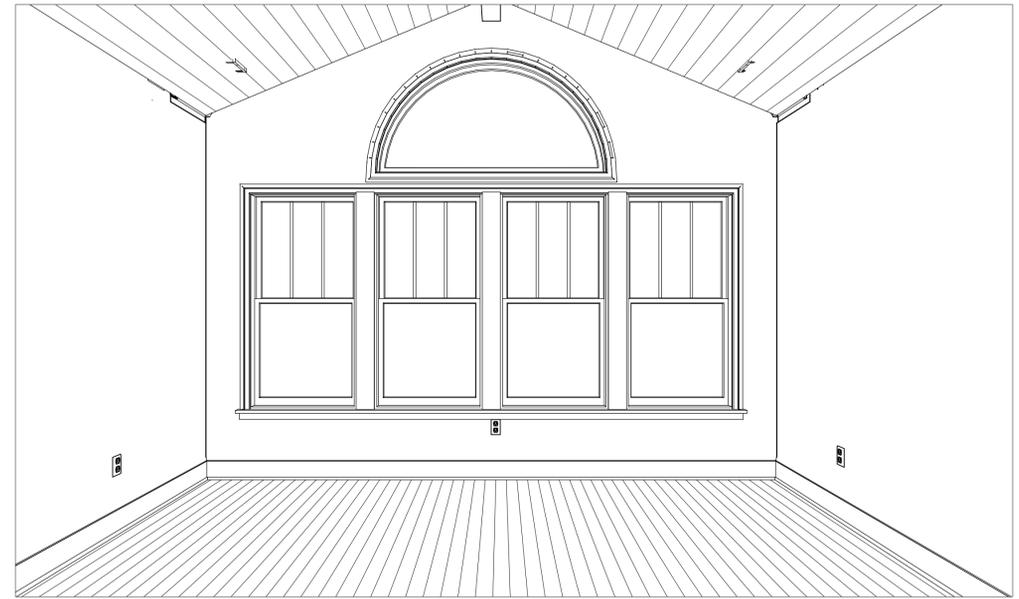


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	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

# 2ND FLOOR ELEC PLAN



**KITCHEN**



**SUITE #3**



**OWNER'S SUITE**



**MORNING ROOM**

**DETAILS**

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PROJECT DESCRIPTION:

**Rosebank**  
Future Home of the Duffy Family  
723 Ponte Vedra Blvd.  
Ponte Vedra Beach, FL 32082

DRAWINGS PROVIDED BY:

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2950 Halcyon Lane  
Suite 604  
Jacksonville, FL 32223 904-886-0990  
CGC047108

DATE:

8/3/2017

SCALE:

1/4" = 1' - 0"

SHEET:

**A-12**