

FUTURE HOME FOR THE GREW FAMILY

PERMIT SET: 6/29/2017



2439 S. PONTE VEDRA BLVD.
PONTE VEDRA BEACH, FL 32082
R/E #: 143050-0130

BUILT BY:
TOM TROUT, INC
5569-1 BOWDEN ROAD
JACKSONVILLE, FL 32216
CBC026189
904-737-5412

COVER PAGE

COPYRIGHT 2017: DESIGNS FOR LIVING, LLC. -Under section 102 of the Architectural Works Copyright Protection Act (title 17 of the United States Code) specific tact copyright laws apply to original design of a building created in any tangible medium of expression, including a constructed building or architectural plans, models, or drawings and is subject to copyright protection as an "architectural work" by Designs for Living, LLC. herein referred to as Designer. It is unlawful for anyone to copy these drawings, either in whole or in part, without the express written permission of the Designer. The use of any plans, specifications, electronic or hard copy prints shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Title to all works, specifically all drawings, specifications, and modified derivatives of any blueprints, e-files, drawings, or specifications remain the Designers without prejudice. VISUAL CONTACT with any of these drawings, or their purchase constitutes prima facie evidence of the acceptance of these restrictions! This has held precedent in the North Florida Court system! Any and all violations WILL result in legal action being taken and litigated damages to the full extent allowed by law! No exceptions and no excuses! Contractor &/or owner shall verify all dimensions, details, & specifications prior to construction. Every attempt shall be made to avoid mistakes. The Designer does not assume any liability for errors or omissions in the drawings, including after construction has begun. This copyright law is only valid on building designs created on or after December 1, 1990. Other errors after delivery via email or drawings created on or after December 1, 1990.

PLAN #
2046

CLIENT APPROVAL SIGNATURE	DATE
CHRIS GREW	
STEPHANIE GREW	

Design Drawings
provided by:

904-730-7135

PROJECT DESCRIPTION:

FUTURE HOME OF THE GREW
FAMILY
2439 S. PONTE VEDRA BLVD.
PONTE VEDRA BEACH, FLORIDA 32082
R/E #: 143050-0130

BUILT BY:

5569-1 BOWDEN ROAD CBC026189
JACKSONVILLE, FL 32216 904-737-5412

DATE:

6/29/2017

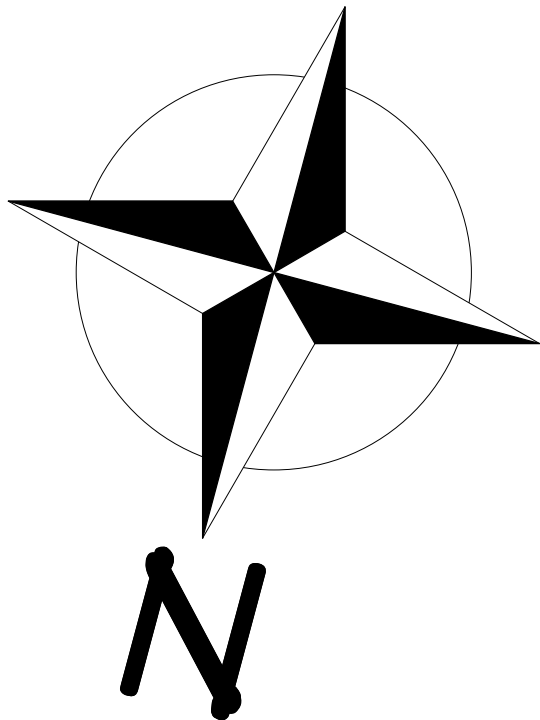
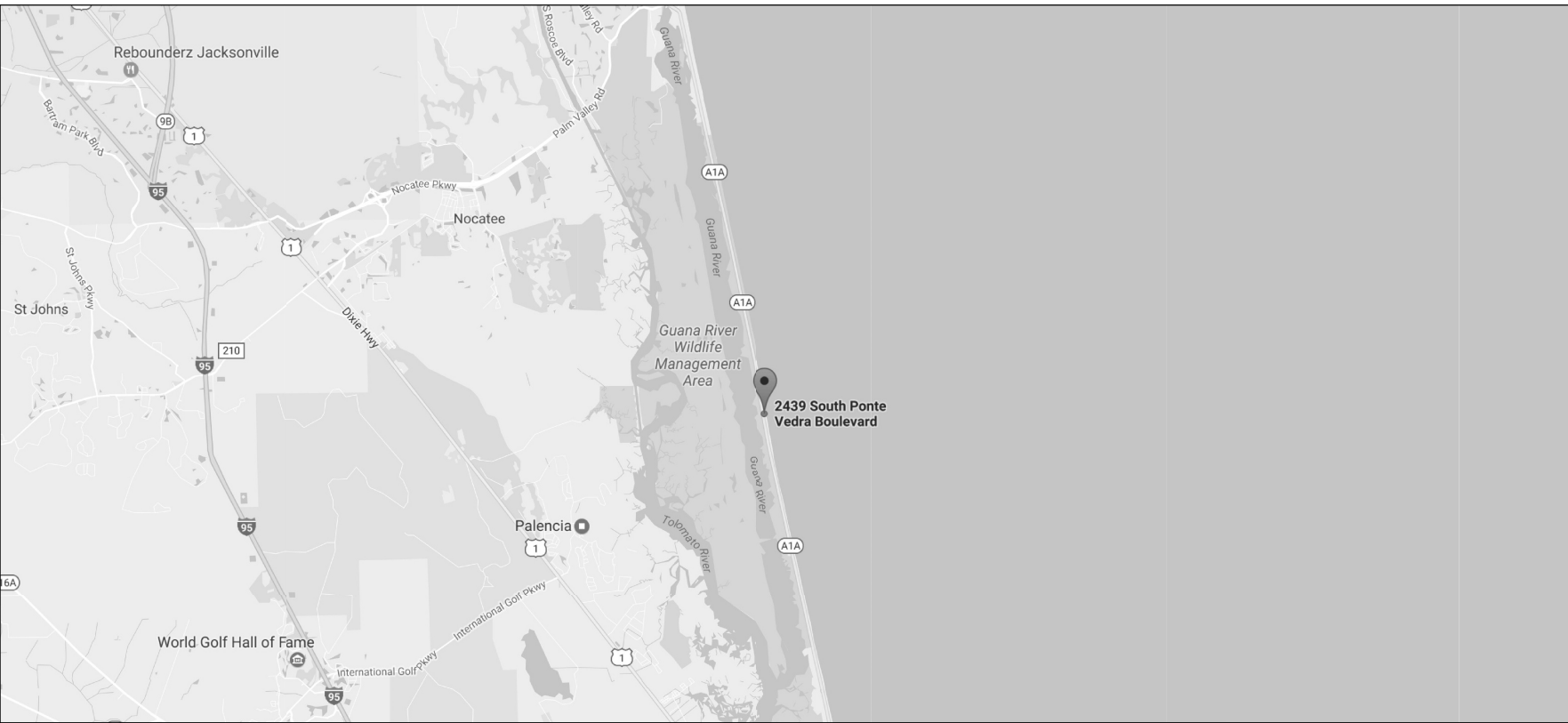
SCALE:

N.T.S.

SHEET:

A-1

SITE LOCATION



TYPE "B" DRAINAGE

WATER: JEA
SEWER: PRIVATE SEPTIC SYSTEM
ELECTRIC: JEA

SITE CALCULATIONS:
TOTAL LAND AREA: 0.46 ACRES= 20,038 S.F.
HOME COVERAGE: 108.42 S.F.
% OF BUILDING COVERAGE: 0.0541%
PARKING & HVAC COVERAGE: 16 S.F.
% OF STOOPS & HVAC COVERAGE: 0.0798%
TOTAL IMPERVIOUS: 0.1339%

NOTE: 1% MINIMUM SLOPE WILL BE PROVIDED FROM BUILDING TO DISCHARGE POINT PER SECTION 6.04.06H OF THE LAND DEVELOPMENT CODE.

PER LDC SECTION 4.01.09 ALL LIGHTING MUST MEET THESE REQUIREMENTS FOR OCEAN FRONT. A PRE-CONSULTATION AND FINAL INSPECTION WITH A TURTLE LIGHT OFFICER IS REQUIRED. CONTACT NATHAN OTTER @ 904-204-0323. HE HAS BEEN CONTACTED FOR THE INITIAL MEETING.

HVAC PAD LOCATION-A MINIMUM 5 FOOT FROM THE PROPERTY LINE SHALL BE MAINTAINED

PER THE LDC THE WIDTH OF THE DRIVEWAY AT THE PROPERTY LINE IS 18'-0" MAX

S 79 55' 43" W 239'

HOME WILL NOT ENCROACH SEAWARD INTO THE CCCL

NO DUNE ALTERATIONS ARE PLANNED. NO STRUCTURAL FILL IS BEING PLANNED. ALL WORK MUST MEET THE NFIP & FEMA COASTAL CONSTRUCTION STANDARDS AND FREE-OF-OBSTRUCTION REQUIREMENTS. JIM SCHOCK IS THE FEMA CORDINATOR FOR SJC AND CAN BE CONTACTED @ 904-827-6806

RAISED DECK IS BREAK-A-WAY DESIGN AND IS SEAWARD OF THE CCCL THUS REQUIRING A DEP GENERAL PERMIT. THE DECK WILL BE EITHER A SEPERATE BUILDING PERMIT OR A REVISION TO THE EXISTING ONCE THE DEP PERMIT IS ISSUED

PROJECTED GRAVEL FINISH FLOOR: 14.4' NAVD 1988

NOTE: OWNERS WISH TO KEEP AS MUCH NATURAL VEGETAION AS POSSIBLE CONSTRUCTION PERMITTING

THIS PROJECT COMPLIES WITH NFIP & FEMA COASTAL CONSTRUCTION STANDARDS AND FREE-OF-OBSTRUCTION REQUIRMENTS AND IS ON A DEEP PILE FOUNDATION

WIND DESIGN CRITERIA:
WIND SPEED: 130 MPH
EXPOSURE CATEGORY: "D"
BUILDING TYPE: ENCLOSED
BUILDING CATEGORY: II
IMPORTANCE FACTOR: 1.0
TOPOGRAPHY: FLAT
MEAN ROOF HEIGHT: -25 FT
BUILDING CODE: 2014 FBC-R

TREE REQUIREMENTS(LANDWARD OF CCCL):
0.204 ACRES X 40 INCHES/ACRE = 9 INCHES OF APPROVED TREES TO BE PLANTED. 70% OF THE REQUIRED TREES MUST BE CANOPY TYPE WITH NO MORE THAN 50% OF THE SAME SPECIES AND 50% MUST BE NATIVE PER THE SJC LAND DEVELOPMENT CODE 4.01.05.E1. ANY TREES WITHIN 10 FOOT OF BUILDING MUST HAVE TREE BARRIERS

ZONING: RS-2
SETBACKS PER LDC SECTION 6.01:
FRONT = 25'
SIDES = 8' MEASURED TO THE FURTHEST PROJECTION
REAR = 10'
MAX. HEIGHT: 35'

The applicant/owner/contractor shall immediately contact St. Johns County lot grading staff should modifications to the drainage plan be required during site development, based on actual field conditions.

ALL SETBACKS ARE MEASURED TO THE FURTHEST PROJECTION

NOTE: FOUNDATION IS MONOLITHIC ON DEEP PILE FOUNDATION SUPPORTS

LEGAL DESCRIPTION:
R/E #: 143050-0130
PONTE VEDRA BEACH,
LOT 13, BLOCK F
RECORDED O/R1425/1373

R2017-002897

PLAN #
2046

CLIENT APPROVAL SIGNATURE	DATE
CHRIS DREW	
STEPHANIE DREW	

Design Drawings provided by:

DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN PARTNERS
904-730-7135

PROJECT DESCRIPTION:
FUTURE HOME OF THE GREW FAMILY
2439 S. PONTE VEDRA BLVD.
PONTE VEDRA BEACH, FLORIDA 32082
R/E #: 143050-0130

BUILT BY:

TOM TROUT, INC.
GENERAL CONTRACTOR
5569-1 BOWDEN ROAD CBC026189
JACKSONVILLE, FL 32216 904-737-5412

DATE:
6/29/2017

SCALE:
1" = 20'-0"

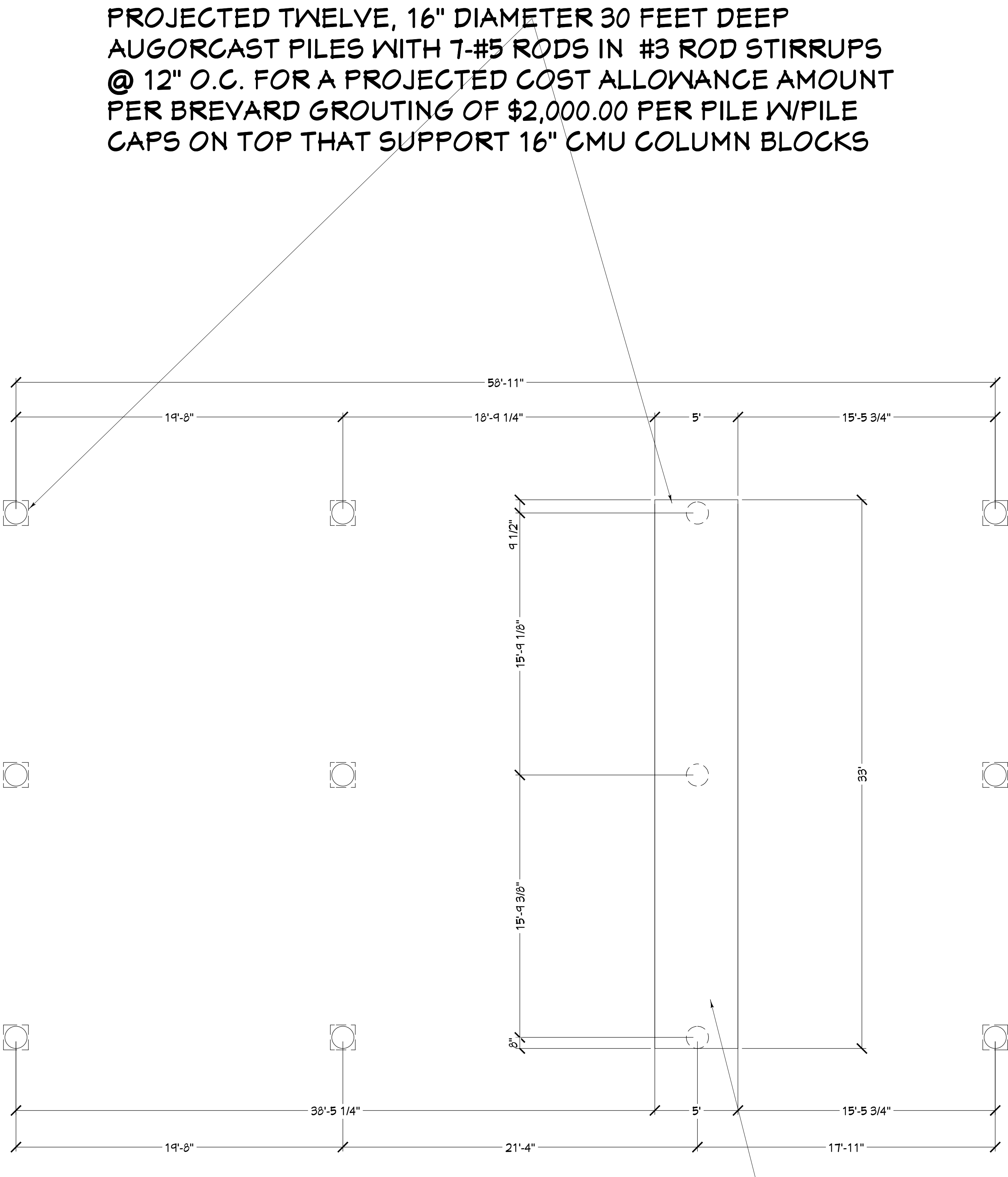
SHEET:

A-2

COPYRIGHT 2017: DESIGNS FOR LIVING, LLC. -Under section 102 of the Architectural Works Copyright Protection Act (title 17 of the United States Code) specific tact copyright laws apply to original design of a building created in any tangible medium of expression, including a constructed building or architectural plans, models, or drawings and is subject to copyright protection as an "architectural work" by Designs for Living, LLC. herein referred to as Designer. It is unlawful for anyone to copy these drawings, either in whole or in part, without the express written permission of the Designer. The use of any plans, specifications, electronic or hard copy prints shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Title to all works, specifically all drawings, specifications, and modified derivatives of any blueprints, e-files, drawings, or specifications remain the Designers without prejudice. VISUAL CONTACT with any of these drawings, or their purchase constitutes prima facie evidence of the acceptance of these restrictions. This has held precedent in the North Florida Court system. Any and all violations WILL result in legal action being taken and litigated damages to the full extent allowed by law. No exceptions and no excuses. Contractor &/or owner shall verify all dimensions, details, & specifications prior to construction. Every attempt shall be made to avoid errors and omissions. No responsibility shall be assumed for any errors or omissions. This copyright law is only valid on building designs created on or after December 1, 1990. Other errors after delivery via email of drawings including after construction has begun.

2439 PONTE VEDRA BLVD. SOUTH

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



PROJECTED TWELVE, 16" DIAMETER 30 FEET DEEP AUGORCAST PILES WITH 7-#5 RODS IN #3 ROD STIRRUPS @ 12" O.C. FOR A PROJECTED COST ALLOWANCE AMOUNT PER BREVARD GROUTING OF \$2,000.00 PER PILE W/PILE CAPS ON TOP THAT SUPPORT 16" CMU COLUMN BLOCKS

BEARING PAD INTEGRATED WITH THREE AUGORCAST IS 24" THICK WITH #5 REBAR REINFORCING AT 12" O.C. BOTH WAYS TOP AND BOTTOM

FOUNDATION PLAN

COPYRIGHT 2017: DESIGNS FOR LIVING, LLC. -Under section 102 of the Architectural Works Copyright Protection Act (title 17 of the United States Code) specific tact copyright laws apply to original design of a building created in any tangible medium of expression, including a constructed building or architectural plans, models, or drawings and is subject to copyright protection as an "architectural work" by Designs for Living, LLC. herein referred to as Designer. It is unlawful for anyone to copy these drawings, either in whole or in part, without the express written permission of the Designer. The use of any plans, specifications, electronic or hard copy prints shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Title to all works, specifically all drawings, specifications, and modified derivatives of any blueprints, e-files, drawings, or specifications remain the Designers without prejudice. VISUAL CONTACT with any of these drawings, or their purchase constitutes prima facie evidence of the acceptance of these restrictions! This has held precedent in the North Florida Court system! Any and all violations WILL result in legal action being taken and litigated damages to the full extent allowed by law! No exceptions and no excuses! Contractor &/or owner shall verify all dimensions, details, & specifications prior to construction. Every attempt shall be made to avoid mistakes. The Designer does not warrant the accuracy of the drawings and is not responsible for any errors or omissions. The Designer shall not be liable for copyright infringement or other errors after delivery via email of drawings including after construction has begun. This copyright law is only valid on building designs created on or after December 1, 1990.

BUILT BY:

TOM TROUT INC.
GENERAL CONTRACTOR

5569-1 BOWDEN ROAD CBC026189 904-737-5412
JACKSONVILLE, FL 32216

DATE:
6/29/2017

SCALE:
1/4" = 1'-0"

SHEET:
A-3

PROJECT DESCRIPTION:

FUTURE HOME OF THE GREW FAMILY

2439 S. PONTE VEDRA BLVD.
PONTE VEDRA BEACH, FLORIDA 32082
R/E #: 143050-0130

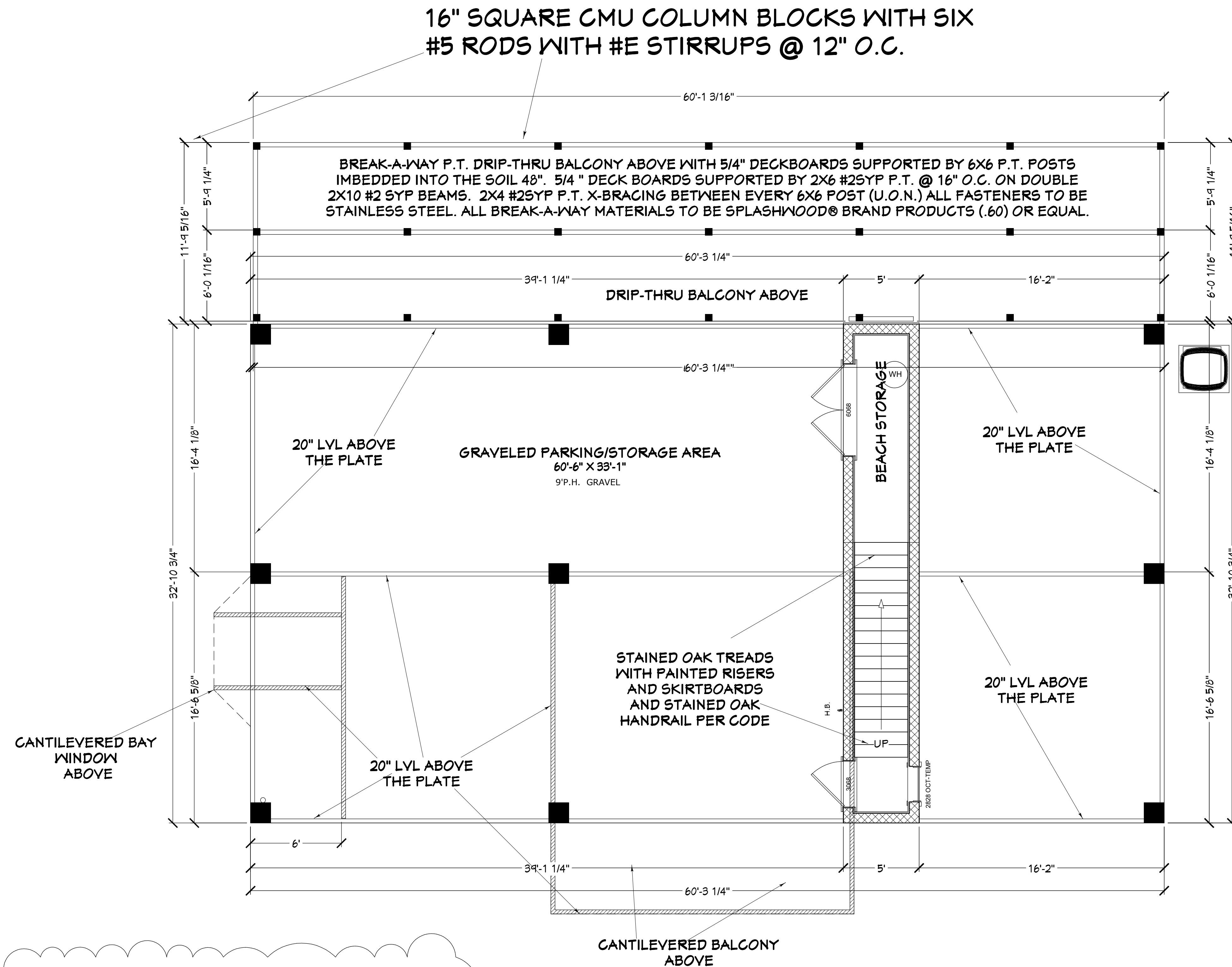
Design Drawings provided by:

DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN SINCE 1989

904-730-7135

CLIENT APPROVAL SIGNATURE	DATE
CHRIS GREW	
STEPHANIE GREW	

PLAN #
2046



R302.6 Dwelling garage fire separation. The garage shall be separated as required by Table R302.6. Openings in garage walls shall comply with Section R302.5. This provision does not apply to garage walls that are perpendicular to the adjacent dwelling unit wall.

TABLE R302.6 DWELLING/GARAGE SEPARATION

SEPARATION	MATERIAL
From the residence and attics	Not less than 1/2-inch gypsum board or equivalent applied to the garage side
From all habitable rooms above the garage	Not less than 5/8-inch Type X gypsum board or equivalent
Structure(s) supporting floor/ceiling assemblies used for separation required by this section	Not less than 1/2-inch gypsum board or equivalent
Garages located less than 3 feet from a dwelling unit on the same lot	Not less than 1/2-inch gypsum board or equivalent applied to the interior side of exterior walls that are within this area

TO MEET R302.6 ON THIS HOME THE FIRE RATED DRYWALL WILL BE COVERED WITH HARDI-PANELS FASTENED WITH 316 STSINLESS STEEL FASTENERS AND COMPOSITE BATTEN STRIPS

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

R302.7 Under-stair protection. Enclosed accessible space under stairs shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2-inch (12.7 mm) gypsum board.

R302.5.1 Opening protection. Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and residence shall be equipped with solid wood doors not less than 1&3/8 inches (35 mm) in thickness, solid or honeycomb core steel doors not less than 1&3/8inches (35 mm) thick, or 20-minute fire-rated doors. **NOTE: DOOR TO BE SELF-CLOSING**

1ST FLOOR PLATE HEIGHT IS 9' - 0" A.F.F. WITH BEAMS AND TRUSSES SECURED TO CMU WITH MUD ANCHORS

FOOTAGES (A.N.S.I.):	
1ST FLOOR HEATED:	92.50
2ND FLOOR HEATED:	1,953.88
TOTAL HEATED:	2,046.38
GRAVELED AREA:	1,812.74
3RD FLOOR STORAGE:	707.27
JOLIET BALCONY:	120.00
BREAK-A-WAY BALCONY:	721.67
CROW'S NEST:	212.00
1ST FLOOR STORAGE:	72.00
SLAB AREA:	164.50
UNDER ROOF:	2,906.82

1ST FLOOR PLAN

COPYRIGHT 2017: DESIGNS FOR LIVING, LLC. -Under section 102 of the Architectural Works Copyright Protection Act (title 17 of the United States Code) specific tact copyright laws apply to original design of a building created in any tangible medium of expression, including a constructed building or architectural plans, models, or drawings and is subject to copyright protection as an "architectural work" by Designs for Living, LLC. herein referred to as Designer. It is unlawful for anyone to copy these drawings, either in whole or in part, without the express written permission of the Designer. The use of any plans, specifications, electronic or hard copy prints shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Title to all works, specifically all drawings, specifications, and modified derivatives of any blueprints, e-files, drawings, or specifications remain the Designer's without prejudice. VISUAL CONTACT with any of these drawings, or their purchase constitutes prima facie evidence of the acceptance of these restrictions. This has held precedent in the North Florida Court system! Any and all violations WILL result in legal action being taken and litigated damages to the full extent allowed by law! No exceptions and no excuses! Contractor &/or owner shall verify all dimensions, details, & specifications prior to construction. Every attempt shall be made to avoid errors and omissions and the Designer shall not be liable for copyright infringement or other errors after delivery via email of drawings including after construction has begun. This copyright law is only valid on building designs created on or after December 1, 1990.

PLAN #
2046

CLIENT APPROVAL SIGNATURE DATE
CHRIS DREW
STEPHANIE DREW

Design Drawings provided by:
DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN PARTNERS
904-730-7135

PROJECT DESCRIPTION:
FUTURE HOME OF THE GREW FAMILY
2439 S. PONTE VEDRA BLVD.
PONTE VEDRA BEACH, FLORIDA 32082
R/E #: 143050-0130

BUILT BY:
TOM TROUT INC.
GENERAL CONTRACTOR
5569-1 BOWDEN ROAD CBC026189
JACKSONVILLE, FL 32216 904-737-5412

DATE:
6/29/2017

SCALE:
1/4" = 1'-0"

SHEET:
A-4

SECTION R310

EMERGENCY ESCAPE AND RESCUE OPENINGS

R310.1 Emergency escape and rescue required. Basements, habitable attics and every sleeping room shall have at least one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, emergency egress and rescue openings shall be required in each sleeping room. Where emergency escape and rescue openings are provided they shall have a sill height of not more than 44 inches (1118 mm) above the floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with Section R310.3. The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. Emergency escape and rescue openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with Section R310.2. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.

Exceptions:

1. Basements used only to house mechanical equipment and not exceeding total floor area of 200 square feet (18.58 m2).
2. The emergency escape and rescue opening shall be permitted to open into a screen enclosure, open to the atmosphere, where a screen door is provided leading away from the residence.

R310.1.1 Minimum opening area.

All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m2).

Exception:

Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465 m2).

R310.1.2 Minimum opening height.

The minimum net clear opening height shall be 24 inches (610 mm).

R310.1.3 Minimum opening width.

The minimum net clear opening width shall be 20 inches (508 mm).

R310.1.4 Operational constraints.

Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys, tools or special knowledge.

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

R302.7 Under-stair protection. Enclosed accessible space under stairs shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2-inch (12.7 mm) gypsum board.

R302.12 Draftstopping. In combustible construction where there is usable space both above and below the concealed space of a floor/ceiling assembly, draftstops shall be installed so that the area of the concealed space does not exceed 1,000 square feet (92.9 m2). Draftstopping shall divide the concealed space into approximately equal areas. Where the assembly is enclosed by a floor membrane above and a ceiling membrane below, draftstopping shall be provided in floor/ceiling assemblies under the following circumstances:

1. Ceiling is suspended under the floor framing.
2. Floor framing is constructed of truss-type open-web or perforated members.

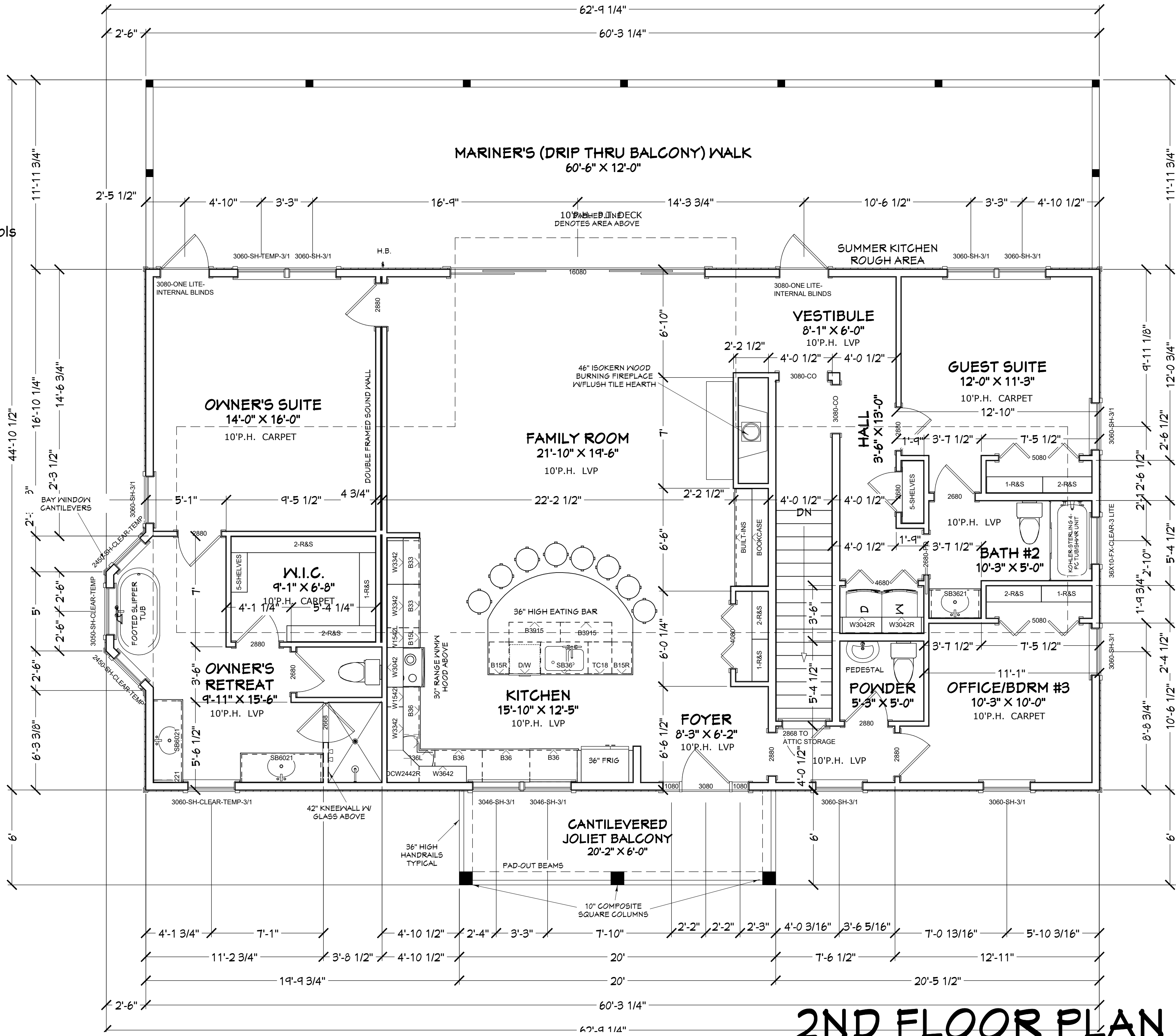
R302.12.1 Materials. Draftstopping materials shall not be less than 1/2-inch (12.7 mm) gypsum board, 3/8-inch (9.5 mm) wood structural panels or other approved materials adequately supported. Draftstopping shall be installed parallel to the floor framing members unless otherwise approved by the building official. The integrity of the draftstops shall be maintained

R302.12 Draftstopping. In combustible construction where there is usable space both above and below the concealed space of a floor/ceiling assembly, draftstops shall be installed so that the area of the concealed space does not exceed 1,000 square feet (92.9 m2). Draftstopping shall divide the concealed space into approximately equal areas. Where the assembly is enclosed by a floor membrane above and a ceiling membrane below, draftstopping shall be provided in floor/ceiling assemblies under the following circumstances:

1. Ceiling is suspended under the floor framing.
2. Floor framing is constructed of truss-type open-web or perforated members.

R302.12.1 Materials. Draftstopping materials shall not be less than 1/2-inch (12.7 mm) gypsum board, 3/8-inch (9.5 mm) wood structural panels or other approved materials adequately supported. Draftstopping shall be installed parallel to the floor framing members unless otherwise approved by the building official. The integrity of the draftstops shall be maintained

2ND FLOOR PLATE HEIGHT IS 10' - 1.125" A.F.F.



2ND FLOOR PLAN

COPYRIGHT 2017: DESIGNS FOR LIVING, LLC. -Under section 102 of the Architectural Works Copyright Protection Act (title 17 of the United States Code) specific tacit copyright laws apply to original design of a building created in any tangible medium of expression, including a constructed building or architectural plans, models, or drawings and is subject to copyright protection as an "architectural work" by Designs for Living, LLC, herein referred to as Designer. It is unlawful for anyone to copy these drawings, either in whole or in part, without the express written permission of the Designer. The use of any plans, specifications, electronic or hard copy prints shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Title to all works, specifically all drawings, specifications, and modified derivatives of any blueprints, e-files, drawings, or specifications remain the Designers without prejudice. VISUAL CONTACT with any of these drawings, or their purchase constitutes prima facie evidence of the acceptance of these restrictions. This has held precedent in the North Florida Court system. Any and all violations WILL result in legal action being taken and litigated damages to the full extent allowed by law. No exceptions and no excuses. Contractor &/or owner shall verify all dimensions, details, & specifications prior to construction. Every attempt has been made to avoid mistakes. The Designer and contractor are jointly and severally responsible for any errors or omissions. Copyright release approval and Design for Living, LLC logo are required for all reproductions. Copyright 2017 by K.E. Chip Mitchell shall not be liable for copyright infringement or other errors after delivery via email or drawings including after construction has begun. This copyright law is only valid on building designs created on or after December 1, 1990.

PLAN #
2046

CLIENT APPROVAL SIGNATURE	DATE
CHRIS DREW	
STEPHANIE DREW	

Design Drawings provided by:

DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN PARTNERS

904-730-7135

PROJECT DESCRIPTION:
FUTURE HOME OF THE GREW FAMILY
2430 S. PONTE VEDRA BLVD.
PONTE VEDRA BEACH, FLORIDA 32082
R/E #: 143050-0130

BUILT BY:

TOM TROUT INC.
GENERAL CONTRACTOR

5569-1 BOWDEN ROAD CBC026189
JACKSONVILLE, FL 32216 904-737-5412

DATE:
6/29/2017
SCALE:
1/4" = 1'-0"
SHEET:
A-5

R302.11 Fireblocking.

In combustible construction, fireblocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space.

Fireblocking shall be provided in wood-frame construction in the following locations:

1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:
 - 1.1. Vertically at the ceiling and floor levels.
 - 1.2. Horizontally at intervals not exceeding 10 feet (3048 mm).
2. At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
3. In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7.
4. At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion. The material filling this annular space shall not be required to meet the ASTM E 136 requirements.
5. For the fireblocking of chimneys and fireplaces, see Section R1003.19.
6. Fireblocking of cornices of a two-family dwelling is required at the line of dwelling unit separation.

R302.7 Under-stair protection. Enclosed accessible space under stairs shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2-inch (12.7 mm) gypsum board.

IMPORTANT NOTE: THIS UPSTAIRS AREA AND THE ASSOCIATED STAIRWELL IS TOTALLY UNFINISHED- NO DRYWALL, TRIM, FLOORING, ETC.

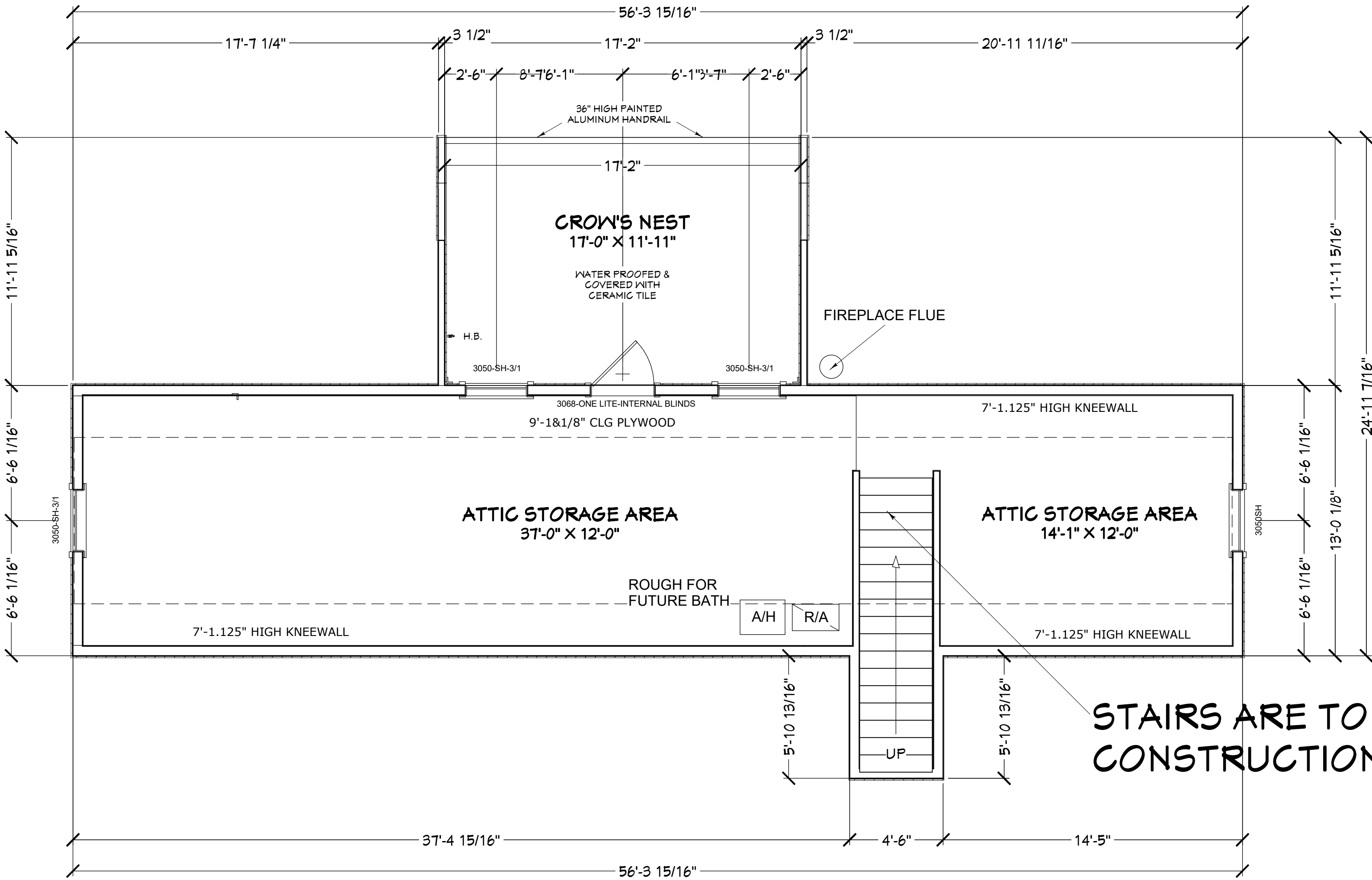
CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

ATTIC STORAGE AREA CREATED USING ATTIC FRAME TRUSSES WITH 2X12 #2 P.T. BOTTOM CHORDS DECKED WITH 3/4" T&G DECKING GLUED AND SCREWED

HYAC UNIT LOCATED HERE CONTROLS THE ENTIRE HOME AND IS A TWO ZONE SYSTEM

BALCONIES CREATED USING 2X10 #2 P.T. DECKED WITH 3/4" T&G DECKING GLUED AND SCREWED. SLOPE MUST BE A MINIMUM OF 1/4" PER FOOT. WATERPROOFING REQUIRED WITH TILE SURFACE ABOVE TO PROTECT THE WATERPROOFING

CEILING HEIGHT IS 9' - 1.125" A.F.F. WITH THE KNEEWALLS AT 7' - 1.125" A.F.F.



3RD FLOOR ATTIC STORAGE PLAN

COPYRIGHT 2017: DESIGNS FOR LIVING, LLC. -Under section 102 of the Architectural Works Copyright Protection Act (title 17 of the United States Code) specific tact copyright laws apply to original design of a building created in any tangible medium of expression, including a constructed building or architectural plans, models, or drawings and is subject to copyright protection as an "architectural work" by Designs for Living, LLC. herein referred to as Designer. It is unlawful for anyone to copy these drawings, either in whole or in part, without the express written permission of the Designer. The use of any plans, specifications, electronic or hard copy prints shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Title to all works, specifically all drawings, specifications, and modified derivatives of any blueprints, e-files, drawings, or specifications remain the Designers without prejudice. VISUAL CONTACT with any of these drawings, or their purchase constitutes prima facie evidence of the acceptance of these restrictions! This has held precedent in the North Florida Court system! Any and all violations WILL result in legal action being taken and litigated damages to the full extent allowed by law! No exceptions and no excuses! Contractor &/or owner shall verify all dimensions, details, & specifications prior to construction. Every attempt shall be made to avoid errors and omissions. The Designer does not warrant the accuracy of the drawings and shall not be liable for copyright infringement or other errors after delivery via email of drawings including after construction has begun. This copyright law is only valid on building designs created on or after December 1, 1990.

PLAN #
2046

CLIENT APPROVAL SIGNATURE
DATE

CHRIS DREW

STEPHANIE DREW

Design Drawings
provided by:

DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN PARTNERS
904-730-7135

PROJECT DESCRIPTION:

FUTURE HOME OF THE GREW
FAMILY
2439 S. PONTE VEDRA BLVD.
PONTE VEDRA BEACH, FLORIDA 32082
R/E #: 143050-0130

BUILT BY:

TOM TROUT INC.
GENERAL CONTRACTOR
5569-1 BOWDEN ROAD CBC026189
JACKSONVILLE, FL 32216 904-737-5412

DATE:

6/29/2017

SCALE:

1/4" = 1'-0"

SHEET:

A-6

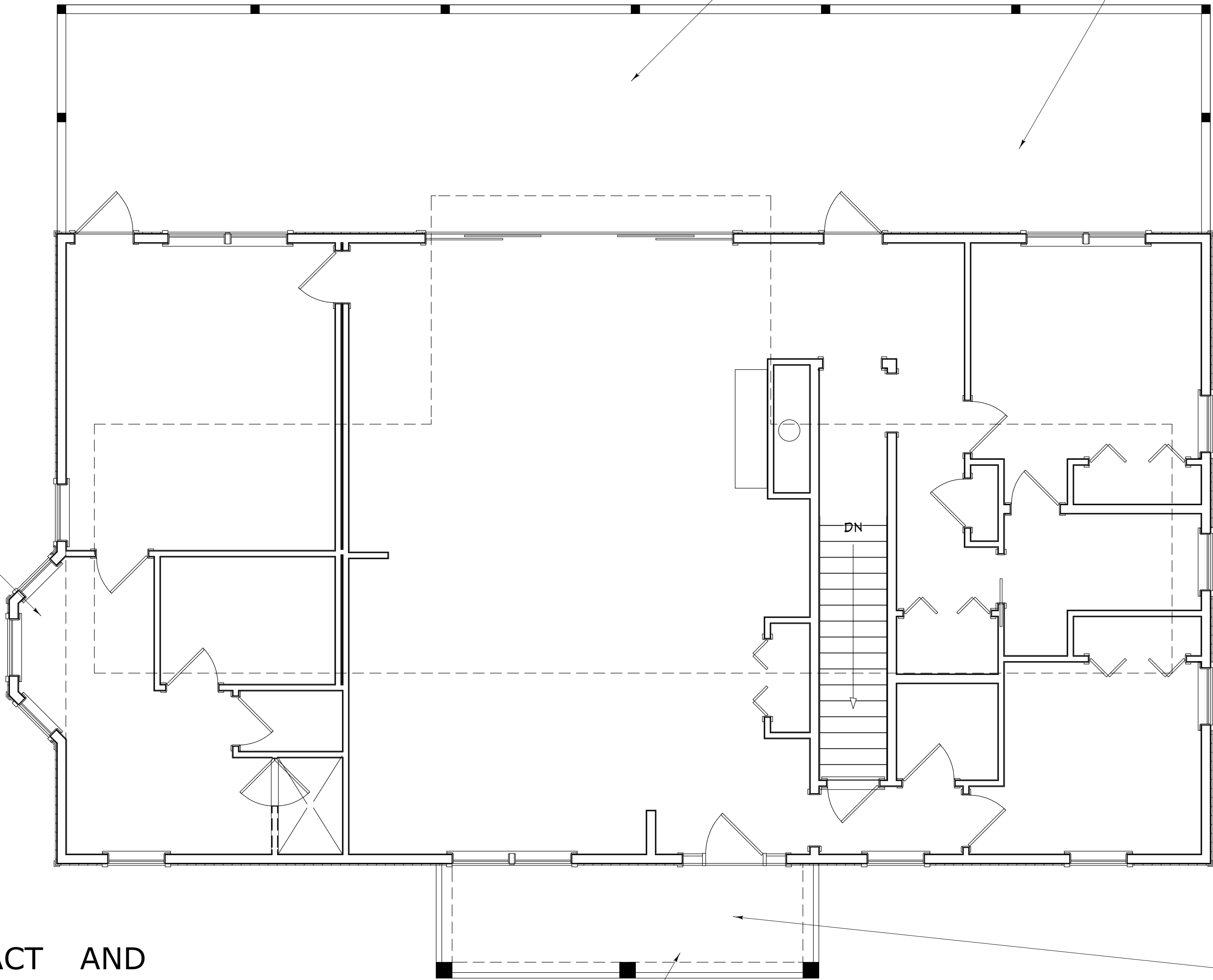
ROOF NOTES:
PITCH: 7/12 & 9/12 & 9.5/12
UNDERLAYMENT: SYNTHETIC FELT (U.O.N.)
ROOFING: LIFETIME ARCHITECTURAL FIBERGLASS SHINGLES
EAVE OVERHANG: 16"
GABLE OVERHANG: 12"
CONVENTIONAL & TRUSSED PER PLAN
FLOOR TRUSSES: 16" SYSTEM 42 TYPE BUCKETED INTO 1.75"X16"
LYL'S AS NOTED
LYL BEAMS: ABOVE THE PLATE EXCEPT AS NOTED ON SHEET A-4
FLOOR DECKING: 3/4" T&G GLUED & SCREWED

BALCONY NOTE: THIS IS A DRIP THROUGH
BALCONY WITH 5/4 P.T. DECK BOARDS
FASTENED TO #2 SYP P.T. @ 16" O.C.
SLOPED A MINIMUM OF 1/4" PER FOOT

THIS BAY WINDOW
IS CANTILEVERED

THIS BALCONY IS
CANTILEVERED

CONTRACT NOTE: CONTRACT AND
SPECIFICATIONS TAKE PRECEDENCE
OVER THESE DRAWINGS. ANY CONFLICT
WILL DEFAULT TO SAID DOCUMENTS.



1ST FLOOR TRUSS PLAN

COPYRIGHT 2017: DESIGNS FOR LIVING, LLC. -Under section 102 of the Architectural Works Copyright Protection Act (title 17 of the United States Code) specific tacit copyright laws apply to original design of a building created in any tangible medium of expression, including a constructed building or architectural plans, models, or drawings and is subject to copyright protection as an "architectural work" by Designs for Living, LLC. herein referred to as Designer. It is unlawful for anyone to copy these drawings, either in whole or in part, without the express written permission of the Designer. The use of any plans, specifications, electronic or hard copy prints shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Title to all works, specifically all drawings, specifications, and modified derivatives of any blueprints, e-files, drawings, or specifications remain the Designer's without prejudice. VISUAL CONTACT with any of these drawings, or their purchase constitutes prima facie evidence of the acceptance of these restrictions. This has held precedent in the North Florida Court system! Any and all violations WILL result in legal action being taken and litigated damages to the full extent allowed by law! No exceptions and no excuses! Contractor &/or owner shall verify all dimensions, details, & specifications prior to construction. Every attempt shall be made to avoid mistakes. The Designer does not assume any responsibility for errors or omissions in the drawings, including after construction has begun. This copyright law is only valid on building designs created on or after December 1, 1990. Other errors after delivery via email or drawings.

PLAN #
2046

CLIENT APPROVAL SIGNATURE DATE

CHRIS DREW

STEPHANIE DREW

Design Drawings
provided by:

DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN PART 1999
904-730-7135

PROJECT DESCRIPTION:

FUTURE HOME OF THE GREW
FAMILY
2439 S. PONTE VEDRA BLVD.
PONTE VEDRA BEACH, FLORIDA 32082
R/E #: 143050-0130

BUILT BY:

TOM TROUT, INC.
GENERAL CONTRACTOR
5569-1 BOWDEN ROAD CB026189
JACKSONVILLE, FL 32216 904-737-5412

DATE:

6/29/2017

SCALE:

1/4" = 1'-0"

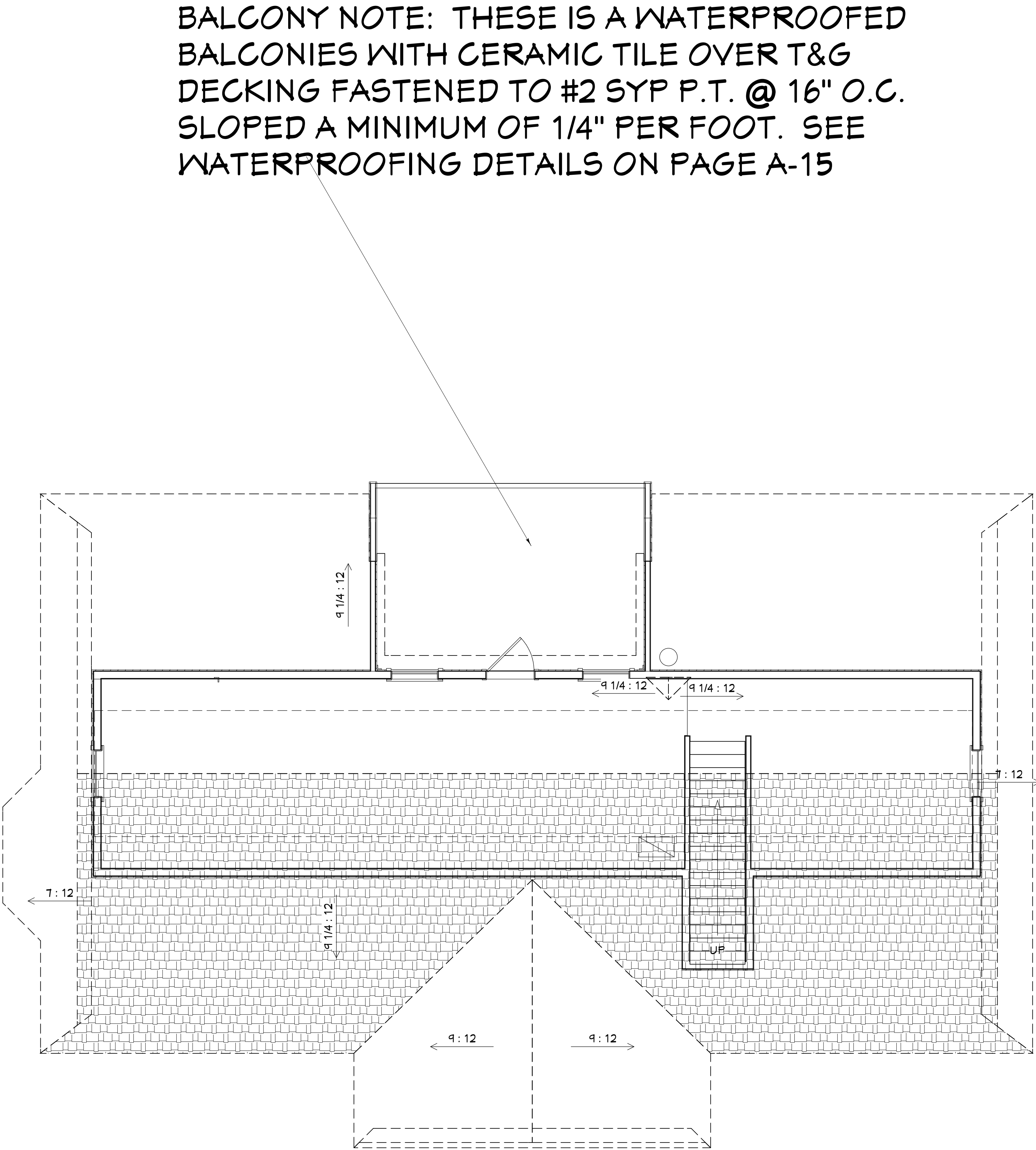
SHEET:

A-7

ROOF NOTES:
PITCH: 7/12 & 9/12 & 9.25/12
UNDERLAYMENT: SYNTHETIC FELT (U.O.N.)
ROOFING: LIFETIME ARCHITECTURAL
FIBERGLASS SHINGLES
EAVE OVERHANG: 16"
GABLE OVERHANG: 12"
CONVENTIONAL & TRUSSED PER PLAN
FLOOR TRUSSES: 16" SYSTEM 42 TYPE
BUCKETED INTO LVL'S
FLOOR DECKING: 3/4" T&G GLUED & SCREWED

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

UPPER STORAGE ROOMS CREATED WITH ATTIC FRAME TRUSSES WITH 2X12 BOTTOM CHORD



BALCONY NOTE: THESE IS A WATERPROOFED BALCONIES WITH CERAMIC TILE OVER T&G DECKING FASTENED TO #2 SYP P.T. @ 16" O.C. SLOPED A MINIMUM OF 1/4" PER FOOT. SEE WATERPROOFING DETAILS ON PAGE A-15

2ND FLOOR ROOF/TRUSS PLAN

COPYRIGHT 2017: DESIGNS FOR LIVING, LLC. -Under section 102 of the Architectural Works Copyright Protection Act (title 17 of the United States Code) specific tacit copyright laws apply to original design of a building created in any tangible medium of expression, including a constructed building or architectural plans, models, or drawings and is subject to copyright protection as an "architectural work" by Designs for Living, LLC. herein referred to as Designer. It is unlawful for anyone to copy these drawings, either in whole or in part, without the express written permission of the Designer. The use of any plans, specifications, electronic or hard copy prints shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Title to all works, specifically all drawings, specifications, and modified derivatives of any blueprints, e-files, drawings, or specifications remain the Designers without prejudice. VISUAL CONTACT with any of these drawings, or their purchase constitutes prima facie evidence of the acceptance of these restrictions! This has held precedent in the North Florida Court system! Any and all violations WILL result in legal action being taken and litigated damages to the full extent allowed by law! No exceptions and no excuses! Contractor &/or owner shall verify all dimensions, details, & specifications prior to construction. Every attempt shall be made to avoid mistakes. The Designer does not warrant the accuracy of the drawings and shall not be held responsible for any errors or omissions. This copyright law is only valid on building designs created on or after December 1, 1990. Other errors after delivery via email or drawings including after construction has begun. This copyright law is only valid on building designs created on or after December 1, 1990.

PLAN #
2046

CLIENT APPROVAL SIGNATURE

DATE

CHRIS GREW

STEPHANIE GREW

Design Drawings
provided by:

DESIGNS FOR LIVING, LLC

RESIDENTIAL DESIGN PART 1989

904-730-7135

PROJECT DESCRIPTION:

FUTURE HOME OF THE GREW
FAMILY

2439 S. PONTE VEDRA BLVD.
PONTE VEDRA BEACH, FLORIDA 32082
R/E #: 143050-0130

BUILT BY:

TOM TROUT, INC.

GENERAL CONTRACTOR

5569-1 BOWDEN ROAD CBC026189
JACKSONVILLE, FL 32216
904-737-5412

DATE:

6/29/2017

SCALE:

1/4" = 1'-0"

SHEET:

A-8

R1003.9 Termination.

Chimneys shall extend at least 2 feet (610 mm) higher than any portion of a building within 10 feet (3048 mm), but shall not be less than 3 feet (914 mm) above the highest point where the chimney passes through the roof.

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



REAR ELEVATION



FRONT ELEVATION

EXTERIOR NOTES:
1ST FLOOR: UNFINISHED CMU
2ND FLOOR: HARDI SHAKE PAINTED WITH HARDI-TRIMS
SOFFITS: BUILDER GRADE NON-VENTED VINYL
FASCIA: 1X8 OVER 2X6 SUB-FASCIA WITH 1X2 PT DRIP
ROOFING: LIFETIME ARCHITECTURAL SHINLGES
FOUNDATION: 16" AUGORCAST PILINGS
CORNER BOARDS: HARDI-TRIM
RAILING: PAINTED ALUMINUM
FRONT GABLES: HARDI-SHAKE
WALKS & DRIVES: 6" CRUSHED CONCRETE
CHIMNEY CAPS: PER MFGR SPECS

FRONT/REAR ELEVATIONS

COPYRIGHT 2017: DESIGNS FOR LIVING, LLC. -Under section 102 of the Architectural Works Copyright Protection Act (title 17 of the United States Code) specific tact copyright laws apply to original design of a building created in any tangible medium of expression, including a constructed building or architectural plans, models, or drawings and is subject to copyright protection as an "architectural work" by Designs for Living, LLC. herein referred to as Designer. It is unlawful for anyone to copy these drawings, either in whole or in part, without the express written permission of the Designer. The use of any plans, specifications, electronic or hard copy prints shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Title to all works, specifically all drawings, specifications, and modified derivatives of any blueprints, e-files, drawings, or specifications remain the Designer's without prejudice. VISUAL CONTACT with any of these drawings, or their purchase constitutes prima facie evidence of the acceptance of these restrictions! This has held precedent in the North Florida Court system! Any and all violations WILL result in legal action being taken and litigated damages to the full extent allowed by law! No exceptions and no excuses! Contractor &/or owner shall verify all dimensions, details, & specifications prior to construction. Every attempt shall be made to avoid errors and omissions. The Designer and Designer's firm shall not be liable for copyright infringement or other errors after delivery via email of drawings including after construction has begun. This copyright law is only valid on building designs created on or after December 1, 1990.

PLAN #
2046

CLIENT APPROVAL SIGNATURE DATE

CHRIS DREW

STEPHANIE DREW

Design Drawings
provided by:

DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN PARTNERS

904-730-7135

PROJECT DESCRIPTION:

FUTURE HOME OF THE GREW
FAMILY

2439 S. PONTE VEDRA BLVD.
PONTE VEDRA BEACH, FLORIDA 32082
R/E #: 143050-0130

BUILT BY:

TOM TROUT INC.
GENERAL CONTRACTOR

5569-1 BOWDEN ROAD CBC026189
JACKSONVILLE, FL 32216 904-737-5412

DATE:

6/29/2017

SCALE:

N.T.S.

SHEET:

A-9

R1003.9 Termination.

Chimneys shall extend at least 2 feet (610 mm) higher than any portion of a building within 10 feet (3048 mm), but shall not be less than 3 feet (914 mm) above the highest point where the chimney passes through the roof.

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



RIGHT ELEVATION



LEFT ELEVATION

- EXTERIOR NOTES:
- 1ST FLOOR: UNFINISHED CMU
 - 2ND FLOOR: HARDI SHAKE PAINTED WITH HARDI-TRIMS
 - SOFFITS: BUILDER GRADE NON-VENTED VINYL
 - FASCIA: 1X8 OVER 2X6 SUB-FASCIA WITH 1X2 PT DRIP
 - ROOFING: LIFETIME ARCHITECTURAL SHINLGES
 - FOUNDATION: 16" AUGORCAST PILINGS
 - CORNER BOARDS: HARDI-TRIM
 - RAILING: PAINTED ALUMINUM
 - FRONT GABLES: HARDI-SHAKE
 - WALKS & DRIVES: 6" CRUSHED CONCRETE
 - CHIMNEY CAPS: PER MFGR SPECS

SIDE ELEVATIONS

COPYRIGHT 2017: DESIGNS FOR LIVING, LLC. -Under section 102 of the Architectural Works Copyright Protection Act (title 17 of the United States Code) specific tact copyright laws apply to original design of a building created in any tangible medium of expression, including a constructed building or architectural plans, models, or drawings and is subject to copyright protection as an "architectural work" by Designs for Living, LLC. herein referred to as Designer. It is unlawful for anyone to copy these drawings, either in whole or in part, without the express written permission of the Designer. The use of any plans, specifications, electronic or hard copy prints shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Title to all works, specifically all drawings, specifications, and modified derivatives of any blueprints, e-files, drawings, or specifications remain the Designers without prejudice. VISUAL CONTACT with any of these drawings, or their purchase constitutes prima facie evidence of the acceptance of these restrictions! This has held precedent in the North Florida Court system! Any and all violations WILL result in legal action being taken and litigated damages to the full extent allowed by law! No exceptions and no excuses! Contractor &/or owner shall verify all dimensions, details, & specifications prior to construction. Every attempt will be made to avoid mistakes. The Designer does not warrant, either explicitly or implicitly, that the drawings are free of errors and omissions. The Designer shall not be liable for copyright infringement or other errors after delivery via email or delivery via email after construction has begun. This copyright law is only valid on building designs created on or after December 1, 1990.

PLAN #
2046

CLIENT APPROVAL SIGNATURE	DATE
CHRIS DREW	
STEPHANIE DREW	

Design Drawings
provided by:

DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN BUILT 1989

904-730-7135

PROJECT DESCRIPTION:
FUTURE HOME OF THE GREW
FAMILY
2439 S. PONTE VEDRA BLVD.
PONTE VEDRA BEACH, FLORIDA 32082
R/E #: 143050-0130

BUILT BY:

TOM TROUT, INC.
GENERAL CONTRACTOR

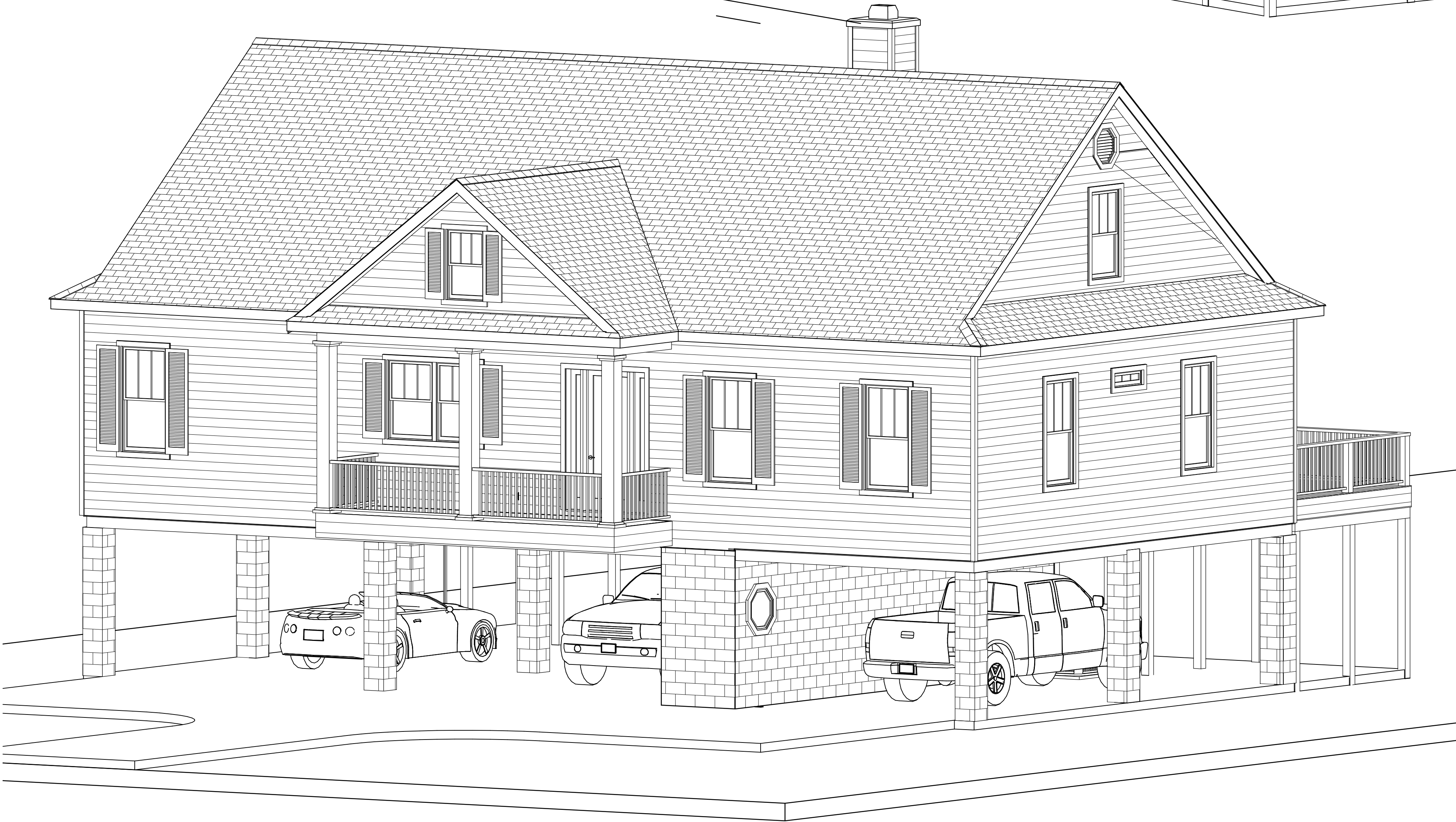
5569-1 BOWDEN ROAD CBC026189
JACKSONVILLE, FL 32216 904-737-5412

DATE:
6/29/2017
SCALE:
1/4" = 1'-0"
SHEET:
A-10

R1003.9 Termination.

Chimneys shall extend at least 2 feet (610 mm) higher than any portion of a building within 10 feet (3048 mm), but shall not be less than 3 feet (914 mm) above the highest point where the chimney passes through the roof.

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



EXTERIOR NOTES:
1ST FLOOR: UNFINISHED CMU
2ND FLOOR: HARDI SHAKE PAINTED WITH HARDI-TRIMS
SOFFITS: BUILDER GRADE NON-VENTED VINYL
FASCIA: 1X8 OVER 2X6 SUB-FASCIA WITH 1X2 PT DRIP
ROOFING: LIFETIME ARCHITECTURAL SHINLGES
FOUNDATION: 16" AUGORCAST PILINGS
CORNER BOARDS: HARDI-TRIM
RAILING: PAINTED ALUMINUM
FRONT GABLES: HARDI-SHAKE
WALKS & DRIVES: 6" CRUSHED CONCRETE
CHIMNEY CAPS: PER MFGR SPECS

ISOMETRIC VIEWS

COPYRIGHT 2017: DESIGNS FOR LIVING, LLC. -Under section 102 of the Architectural Works Copyright Protection Act (title 17 of the United States Code) specific tact copyright laws apply to original design of a building created in any tangible medium of expression, including a constructed building or architectural plans, models, or drawings and is subject to copyright protection as an "architectural work" by Designs for Living, LLC. herein referred to as Designer. It is unlawful for anyone to copy these drawings, either in whole or in part, without the express written permission of the Designer. The use of any plans, specifications, electronic or hard copy prints shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Title to all works, specifically all drawings, specifications, and modified derivatives of any blueprints, e-files, drawings, or specifications remain the Designer's without prejudice. VISUAL CONTACT with any of these drawings, or their purchase constitutes prima facie evidence of the acceptance of these restrictions! This has held precedent in the North Florida Court system! Any and all violations WILL result in legal action being taken and litigated damages to the full extent allowed by law! No exceptions and no excuses! Contractor &/or owner shall verify all dimensions, details, & specifications prior to construction. Every attempt will be made to avoid mistakes. The Designer does not warrant, endorse, or assume any responsibility for the accuracy of the drawings. Copyright release approval and design for living is a registered trademark of K.E. Chip Mitchell shall not be liable for copyright infringement or other errors after delivery via email of drawings including after construction has begun. This copyright law is only valid on building designs created on or after December 1, 1990.

PLAN #
2046

CLIENT APPROVAL SIGNATURE	DATE
CHRIS DREW	
STEPHANIE DREW	

Design Drawings
provided by:

DESIGNS FOR LIVING, LLC
RESIDENTIAL DESIGN BUILT 1989

904-730-7135

PROJECT DESCRIPTION:
FUTURE HOME OF THE GREW
FAMILY

2439 S. PONTE VEDRA BLVD.
PONTE VEDRA BEACH, FLORIDA 32082
R/E #: 143050-0130

BUILT BY:

TOM TROUT INC.
GENERAL CONTRACTOR

5569-1 BOWDEN ROAD CBC026189
JACKSONVILLE, FL 32216 904-737-5412

DATE:
6/29/2017
SCALE:
1/4" = 1'-0"
SHEET:
A-11