

- B. THIS DESIGN HAS BEEN COMPLETED IN ACCORDANCE WITH PERTINENT STANDARDS, RECOMMENDED DESIGN SOIL PARAMETERS, AND ACCEPTED ENGINEERING DESIGN PROCEDURES AND IS BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME OF COMPLETION. THE DESIGN IS INTENDED TO MINIMIZE DIFFERENTIAL MOVEMENT RESULTING FROM THE HEAVING OF EXPANSIVE SOIL OR SETTLING OF SUBSURFACE SOILS. IT MUST BE RECOGNIZED THAT FOUNDATION COMPONENTS WILL UNDERGO MOVEMENT. ANY SUBSEQUENT OWNERS SHALL BE APPRAISED OF THE SOIL CONDITION AND ADVISED TO MAINTAIN GOOD PRACTICES IN THE FILL WITH REGARD TO SURFACE AND SUBSURFACE DRAINAGE, FRAMING OF PARTITIONS ABOVE FLOOR SLABS, AND FINISH WORK ABOVE THE FLOOR SLABS, ETC.
- B. DESIGN HAS BEEN BASED ON A NON-EXPANSIVE SOIL WITH AN ALLOWABLE SOIL BEARING CAPACITY OF 2000 psf, ACTIVE EFF = 30 pcf (LEVEL BACK SLOPE). NOTIFY THE ENGINEER OF RECORD AND CEASE CONSTRUCTION IF ADVERSE OR OTHERWISE NON-CONFORMING CONDITIONS ARE FOUND TO EXIST.
- C. BACKFILL ADJACENT TO FOUNDATION WALLS SHALL NOT BE PLACED UNTIL THE WALLS HAVE SUFFICIENT STRENGTH AND HAVE BEEN ANCHORED TO THE FLOOR SYSTEM ABOVE OR ADEQUATELY BRACED TO PREVENT DAMAGE TO THE WALL.
- D. REFER TO THE GEOTECHNICAL ENGINEER'S REPORT FOR ALL SOIL AND SITE/SLOPE REQUIREMENTS NECESSARY TO ACHIEVE MIN. 2000 psf SOIL BEARING CAPACITY. IN THE ABSENCE OF A GEOTECHNICAL ENGINEER'S REPORT, THE SITE/SOIL SHALL BE PREPARED TO THE SATISFACTION OF THE BUILDING OFFICIAL.
- E. ALL FOUNDATION PADS SHALL BE FORMED TO PROPER DIMENSIONS AS INDICATED ON THE DRAWINGS AND CENTERED ON COLUMN OR WALL, UNO.
- F. THE LOCATION OF FOUNDATION JOGS, STEPS, AND TOP OF WALL ELEVATIONS AND CONNECTIONS ARE CRITICAL TO FOUNDATION PERFORMANCE. THESE ITEMS MAY BE SHOWN ON THE PLANS BUT MAY CHANGE DURING THE ACTUAL CONSTRUCTION. AS A RESULT, THIS DESIGN CANNOT ADDRESS PROPER FOUNDATION CONFIGURATION UNLESS SHOWN OFFICIAALLY ON THE DRAWING.
- G. EXTREME CARE MUST BE USED THROUGHOUT CONSTRUCTION TO PREVENT MOVEMENT OF RETAINING/FOUNDATION WALLS UNTIL STRUCTURAL SYSTEM COMPLETION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADEQUATELY SHORE THE WALLS THROUGHOUT CONSTRUCTION TO MAINTAIN THE INTEGRITY OF THE DESIGN. IF UNSURE WHAT COURSE OF ACTION TO TAKE IN ORDER TO PROVIDE ADEQUATE TEMPORARY BRACING/SHORING, CONTACT THE ENGINEER OF RECORD FOR ADDITIONAL CONSULTATION PRIOR TO PROCEEDING.

A. ALL CONCRETE SLABS ON GRADE SHALL BE THE THICKNESS AS INDICATED ON THE DRAWINGS OVER MINIMUM 6 mil. POLYETHYLENE VAPOR BARRIER. SUCH SLABS SHALL BE REINFORCED WITH 6x6 W.I.4x14 WUM LAPPED 8" AT EDGES AND ENDS IN CONFORMANCE WITH ASTM-A 105, OR FIBER MESH REINFORCEMENT SHALL BE USED WITH THE MINIMUM 2" FIBER LENGTH AT (1) LB/YD COMPLYING WITH ASTM-C 116.

B. FILL UNDER CONCRETE SLABS SHALL BE CLEAN SAND FREE OF DEBRIS AND OTHER DELETERIOUS MATERIAL. FILL SHALL BE COMPACTED TO A DENSITY OF AT LEAST 95% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM-D 1557). FILL SHALL BE TREATED WITH TERMITE POISON BEFORE SLAB IS PLACED OR OTHER MEANS OF PROTECTING STRUCTURE FROM WDO'S MUST BE INSTALLED AT LATER DATE (BORACARE TERMITE TREATMENT SYSTEM).

C. FOOTINGS SHALL BE BUILT UPON UNDISTURBED SOIL OR UPON SOIL COMPACTED TO A DENSITY OF MIN. 95% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM-D 1557) FOR A DEPTH OF AT LEAST TWO FEET (2') BELOW THE BOTTOM OF THE FOOTING.

D. WHERE SHOWN, CORES OF BLOCK MASONRY SHALL BE FILLED WITH COARSE GROUT OR FEA GRAVEL CONCRETE WITH THE MINIMUM COMPRESSIVE STRENGTH OF 2500 psi AT 28 DAYS.

E. DETAIL REINFORCEMENT IN ACCORDANCE WITH ACI 315 DETAILING MANUAL. MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE AS FOLLOWS:

- CONCRETE CAST AGAINST EARTH - 3"
- FORMED CONCRETE EXPOSED TO EARTH OR WEATHER - 1 1/2"
- INTERIOR SLABS, WALLS - 3/4".

F. MINIMUM COMPRESSIVE DESIGN STRENGTH OF CONCRETE USED FOR FOUNDATION AND SLABS SHALL BE 2500 psi @ 28 DAYS.

G. REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 40. LUDINGMAN REINFORCING IN WALLS AND FOOTINGS SHALL BE CONTINUOUS AT CORNERS AND INTERSECTIONS. MATCHING CORNER BARS SHALL BE USED. MINIMUM LAP OF REINFORCING SHALL BE 40 BAR DIAMETERS, BUT NOT LESS THAN 20".

H. ALL CONCRETE OPERATIONS, INCLUDING BUT NOT LIMITED TO MIX DESIGN, MIXING, TRANSPORTING, PLACING, REINFORCING DETAILING AND PLACING, CURING, AND TESTING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS AND APPLICATION OF ACI 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE".

A. DETAIL, FABRICATE, AND OR ERECT STEEL ACCORDING TO AISC, "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL BUILDINGS", 9th EDITION.

B. STRUCTURAL STEEL SHALL BE ASTM A36, EXCEPT AS NOTED BELOW:

- PIPE - ASTM A53, TYPE E OR S, GR. B
- TUBE - ASTM A500

C. ALL BOLTS, ANCHOR BOLTS, AND THREADED RODS SHALL BE ASTM A307 UNLESS NOTED OTHERWISE.

D. HEX NUTS AND COUPLERS USED FOR BOLTS, ANCHOR BOLTS, AND THREADED RODS SHALL BE LOW CARBON STEEL AND MEET OR EXCEED THE CAPACITY OF THE CORRESPONDING ASTM A307, A36, SAE 1018 AND GRADE 2 BOLTS, ETC. HEX NUTS AND COUPLERS USED FOR HIGH STRENGTH BOLTS, ANCHOR BOLTS, AND THREADED RODS - ASTM A449 OR SIMILAR - SHALL BE HEAVY HEX ASTM A563 GRADE DH.

E. ALL WELDING SHALL BE BY A CERTIFIED WELDER IN ACCORDANCE WITH AWS D11.

- A. ALL MASONRY WORK SHALL BE IN ACCORDANCE WITH ACI 530/ASCE 5/ TMS 402 MASONRY BUILDING CODE.
- B. CONCRETE MASONRY UNITS SHALL BE ASTM C90-T5, HOLLOW LOAD-BEARING CONCRETE MASONRY UNITS, TYPE I, GRADE N-1, NORMAL WEIGHT, WITH A MINIMUM COMPRESSION STRENGTH OF 2000 psi ($F_m = 1500$ psi).
- C. MORTAR SHALL CONFORM TO ASTM C270 AND BE OF TYPE S.
- D. GROUT WHEN SPECIFIED, SHALL CONFORM TO ASTM C 416 WITH MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 psi. GROUT SHALL BE MIXED TO PROVIDE A SLUMP BETWEEN 8"-11".
- E. PROVIDE PRE-CAST CONCRETE LINTELS OVER ALL OPENINGS PER STRUCTURAL PLANS UNLESS NOTED OTHERWISE.
- F. LAP ALL VERTICAL REINFORCING A MINIMUM OF 20".
- G. PROVIDE HORIZONTAL JOINT REINFORCING AT 16" o/c VERTICALLY. REINFORCING WIRE SHALL CONFORM TO ASTM A82 AND ASTM A167 TYPE 304.

A. FRAMING LUMBER SHALL BE AS FOLLOWS OR BETTER:

- 2x RAFTERS/BEAMS/JOISTS - #2 SYP 19% MOISTURE CONTENT
- 1-JOISTS PROVIDED BY TRUS-JOIST OR EQUIVALENT
- ENGINEERED BEAMS PROVIDED BY TRUS-JOIST OR EQUIVALENT
- FLATES #2 SYP 19% MOISTURE CONTENT
- STUDS - SEE STRUCTURAL PLAN 19% MOISTURE CONTENT

B. ALL NAILS SHALL BE "COMMON" UNLESS NOTED OTHERWISE.

C. WHERE NOT OTHERWISE SHOWN ON PLANS, ALL NAILING OR SCREWING SHALL BE AS INDICATED IN THE CODES REFERENCED ABOVE. ALL SHEATHING MUST BE NAIL OR SCREWED AS DESIGNATED AND ADHESIVES SHALL NOT BE USED IN PLACE OF NAILING.

D. METAL CONNECTORS TO BE PROVIDED BY SIMPSON. REFER TO SIMPSON WOOD CONSTRUCTION CONNECTORS CATALOGUE FOR ADDITIONAL INFORMATION. ALTERNATE CONNECTORS W/ EQUIVALENT OR HIGHER ALLOWABLE LOADS MAY BE USED IN LIEU OF SPECIFIED COMPONENTS.

E. ALL EXTERIOR WALLS TO BE SHEATHED WITH APA OR TECO RATED SHEATHING AS DESIGNATED.

F. ENGINEERED COMPONENTS (TRUSSES, 1-JOISTS, ETC.) SHALL BE INSTALLED PER THE MANUFACTURERS SPECIFICATIONS AND JOISTS.

G. ALL PERMANENT BRACING OF TRUSS MEMBERS WITH CONTINUOUS LATERAL BRACES SHALL BE DIAGONALLY BRACED PER BC91 1-03, SPACED NOT MORE THAN 16' o/c AND PLACED NOT MORE THAN 4' FROM END OF CONTINUOUS LATERAL BRACE.

- A. ALL STRUCTURAL MEMBERS OF WOOD OR STRUCTURAL COMPOSITE LUMBER EXPOSED TO WEATHER OR IN DIRECT GROUND CONTACT (DECK/BALCONY BOARDS, JOISTS, POSTS, ETC.) SHALL BE PRESSURE PRESERVATIVE TREATED TO A LEVEL RATED FOR THE SPECIFIC APPLICATION. BORATE-TREATED WOOD SHALL NOT BE USED AS/FOR STRUCTURAL MEMBERS EXPOSED TO WEATHER OR IN DIRECT GROUND CONTACT UNLESS SPECIFICALLY RATED BY THE MANUFACTURER/TREATER AS ADEQUATE FOR THE USE.
- B. ALL INTERIOR WOOD-BASED MEMBERS IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE PRESERVATIVE TREATED TO RESIST DECAY.
- C. ALL METAL FASTENERS AND CONNECTORS EXPOSED TO WEATHER OR IN CONTACT WITH CORROSIVE MATERIALS (ACQ, CA-B, CBA-E, ETC.) SHALL BE Z-MAX COATED, HOT DIPPED GALVANIZED, STAINLESS STEEL OR OTHERWISE RATED BY THE MANUFACTURER FOR COMPATIBILITY WITH THE APPLICATION. THE EXTERIOR APPLICATION OF ANY MATERIAL TREATED WITH A PRESSURE PRESERVATIVE CONTAINING AMMONIA SHALL REQUIRE THE EXCLUSIVE USE OF STAINLESS STEEL FASTENERS AND CONNECTORS. THE USE OF ANY MATERIAL TREATED WITH THE PRESSURE PRESERVATIVE ACZA SHALL REQUIRE THE EXCLUSIVE USE OF STAINLESS STEEL FASTENERS AND CONNECTORS.
- D. STAINLESS STEEL AND ZINC-PLATED (Z-MAX, HDG, ETC.) FASTENERS AND CONNECTORS MAY NOT BE COMBINED. USE ONLY SS FASTENERS WITH SS CONNECTORS. USE ONLY ZINC-PLATED FASTENERS WITH ZINC-PLATED CONNECTORS.
- E. REGULAR INSPECTION AND MAINTENANCE OF WOOD, WOOD-BASED AND METAL PRODUCTS USED IN OUTDOOR OR OTHER CORROSIVE ENVIRONMENTS OR APPLICATIONS IS NECESSARY FOR CONTINUED, LONG-TERM SATISFACTORY PERFORMANCE.

- A. DESIGNING VOID TWELVE MONTHS AFTER DATE OF ORIGINAL ISSUE, UNLESS UPDATED TO CURRENT CODES AND PRACTICES APPLICABLE AT THAT TIME.
- B. DO NOT SCALE. REFER TO ARCHITECTURAL PLANS FOR ALL DIMENSIONS. IF DISCREPANCIES ARE FOUND BETWEEN PLANS, NOTIFY THIS OFFICE IMMEDIATELY.
- C. THESE DRAWINGS CONTAIN SPECIFIC INFORMATION INCLUDING, BUT NOT LIMITED TO, ARCHITECTURAL ELEMENTS, DIMENSIONS AND LOCATIONS PROVIDED BY OTHERS. THIS OFFICE IS NOT RESPONSIBLE FOR THE ACCURACY OF INFORMATION PROVIDED BY OR DERIVED FROM OTHER SOURCES.
- D. ALL DETAILS SHALL BE IN ACCORDANCE WITH INSTRUCTIONS FROM MANUFACTURER OR DESIGNER.
- E. IT IS THE INTENT OF THE ENGINEER OF RECORD THAT THIS WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. ALL CONTRACTORS ARE RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTING AND SHALL DO THEIR WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- F. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING WORK.
- G. THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE ENGINEER OF RECORD AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED WRITTEN CONSENT OF THE ENGINEER OF RECORD.
- H. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
- I. IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION.
- J. TEMPORARY BRACING: CONTRACTORS SHALL BE RESPONSIBLE FOR ALL TEMPORARY BRACING THAT IS REQUIRED DURING CONSTRUCTION TO KEEP THE STRUCTURE SAFE AND PLUMB UNTIL THE ENTIRE STRUCTURE IS IN PLACE. BRACING SHOWN ON THE STRUCTURAL DRAWINGS IS FOR THE COMPLETED STRUCTURE ONLY.

BUILDING TYPE:	ENCLOSED
BUILDING CATEGORY:	II
WIND SPEED:	120mph (3 sec. gust)
WIND IMP. FACTOR:	1.00
WIND EXPOSURE:	B
INT. PRESSURE COEF.:	+0.18 / -0.18
TOP CHORD LL:	20 psf
TOP CHORD DL:	7 psf (SHINGLES)
BOTTOM CHORD LL:	10 psf
BOTTOM CHORD DL:	5 psf
FLOOR LL:	40 psf
FLOOR DL:	15 psf

2004 FBC-R w/ 2006 SUPPLEMENT
ASCE 7-02
2001 NDS
ACI 318-04

ROOF C & C PRESSURES

REFER TO DIAGRAM BELOW FOR ZONE LOCATIONS.

NET OPNG or TRIB. AREA IN Square Feet	ROOFS - PITCHES 3/12 ≤ 6/12					
	MAIN PORTION OF ROOF				ROOF OVERHANGS	
	①		② & ③		②	③
	POS. (+)	NEG. (-)	POS. (+)	NEG. (-)	NEG. (-)	NEG. (-)
< 20 ft	+14.9	-23.7	+14.9	-50.1		
20 < 50 ft	+13.6	-23.0	+13.6	-45.4	-63.2	-96.1
50 < 100 ft	+11.9	-22.2	+11.9	-39.3		-88.4
> 100 ft	+10.5	-21.5	+10.5	-34.7		-69.8

NET OPNG or TRIB. AREA IN Square Feet	ROOFS - PITCHES 6/12 ≤ 12/12					
	MAIN PORTION OF ROOF				ROOF OVERHANGS	
	①		② & ③		②	③
	POS. (+)	NEG. (-)	POS. (+)	NEG. (-)	NEG. (-)	NEG. (-)
< 20 ft	+23.7	-25.9	+23.7	-30.3	-50.8	-50.8
20 < 50 ft	+23.0	-24.6	+23.0	-29.0	-51.7	-51.7
50 < 100 ft	+22.2	-22.8	+22.2	-21.2	-54.4	-54.4
> 100 ft	+21.5	-21.5	+21.5	-25.9	-54.4	-54.4

WALLS

NET OPNG or TRIB. AREA IN Square Feet	WALLS			
	CORNER & ENDZONES		INTERIOR ZONES	
	POS. (+)	NEG. (-)	POS. (+)	NEG. (-)
< 20 ft	+25.9	-34.7	+25.9	-28.1
20 < 50 ft	+24.7	-32.4	+24.7	-26.9
50 < 100 ft	+23.2	-29.3	+23.2	-25.4
> 100 ft	+22.0	-26.9	+22.0	-24.2

GARAGE DOORS PARTIALLY IN END-ZONE

PRESSURES FOR GARAGE DOORS WITH ONE END (ONLY) EXTENDING MAX 5'-0" INTO AN END-ZONE. ALL PRESSURES NEGATIVE (-), EXCEPT AS NOTED.

DOOR SIZE	LENGTH (IN FEET) OF DOOR INTO END-ZONE					POS. (+) PSF
	1'	2'	3'	4'	5'	
	8' x 1' AND LARGER DOORS	-25.9	-26.4	-26.9	-27.4	
16' x 1' AND LARGER DOORS	-24.4	-24.6	-24.7	-24.9	-25.0	+22.0

GABLE ROOF

HIP ROOF

* = ENDZONE (SEE FR. SHEET)
 OFFICE

NOTE: THIS RESIDENCE IS NOT
LOCATED IN THE WIND-BORNE
DEBRIS AREA. WINDOW
PROTECTION IS NOT REQUIRED.

NO INSPECTION AFTER FINISHED
FLOOR IS CONSTRUCTED UNTIL THE
HIGHEST REQUIRED ELEVATION IS
CERTIFIED MINIMUM SPECIFIED
FINISHED FLOOR ELEVATION.

FEMA _____ ENG. 25.7

FEMA _____ ENG 21.2

10800749
018 Davis
120 Hilly Berry Ln

ZONING LOCATION APPROVAL

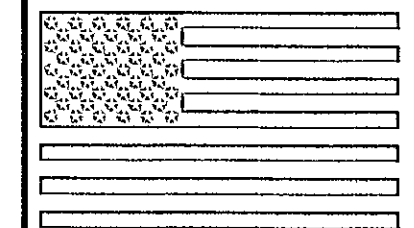
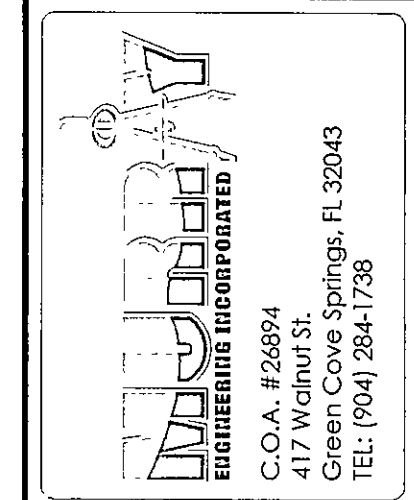
By _____ Date: _____

This zoning approval is limited to building setback requirements only. All other regulations are the responsibility of the owner. Notes: setbacks are measured to _____ WALL _____ EAVES

Maximum Building Height _____

STRUCTURE PLACEMENT
PER APPROVED SITE PLAN
IS NOT VERIFIED BY ANY
STANDARD COUNTY INSPECTION

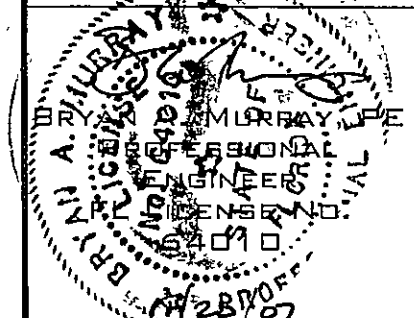
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DESIGNS FOR LIVING
LOT: 22 PORT ST. JOHNS
PLAN: 6727
S.J. JOHNS COUNTY, FLORIDA
GENERAL NOTES

DATE:	11/15/07
JOB NO.	J1426
DESIGN:	BAM
CHECKED:	BAM
REVISED:	-
REVISED:	-
REVISED:	-

PROJECT ENGINEER



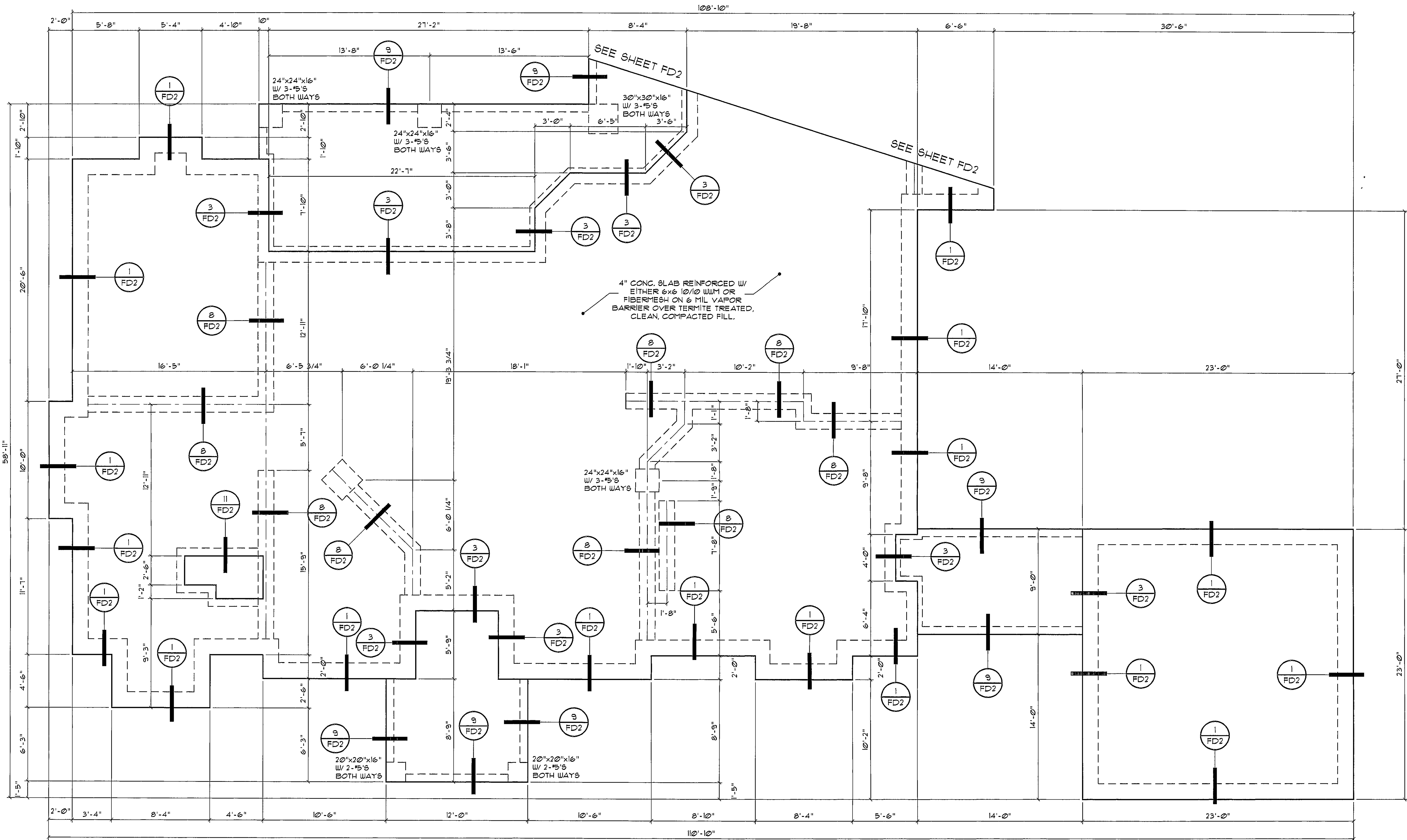
SHEET

CS

REVIEWED FOR CODE COMPLIANCE
 Review of these plans, and any Permits is void, under
 the Applicants "Clearance Guidelines" information are
 void if or when erroneous information from the
 Applicant is discovered. The issuance of a permit
 conveys no right to violate any governing Codes,
 Zoning or Engineering regulations.

BY:  Richard E. O'Connell
 St. Johns Co. Building Dept. P.N.278, B.N.4
 EUL3038, S.E.T.2

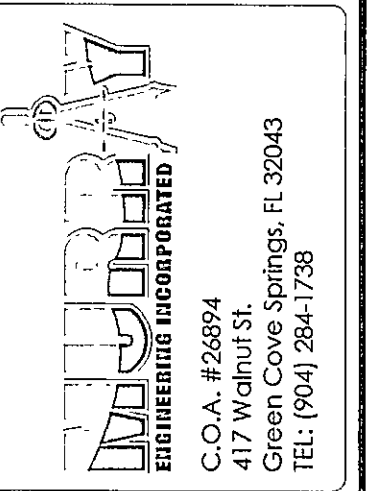
FEB 5 2008



NOTE: VERIFY ALL DIMENSIONS
AND CURB LOCATIONS W/
ARCHITECTURAL PLANS PRIOR
TO SLAB FOUR.

FOUNDATION PLAN
SCALE: 1/4"=1'-0"

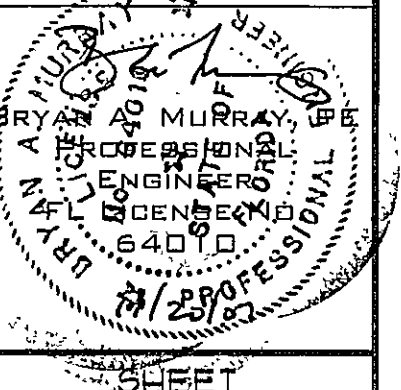
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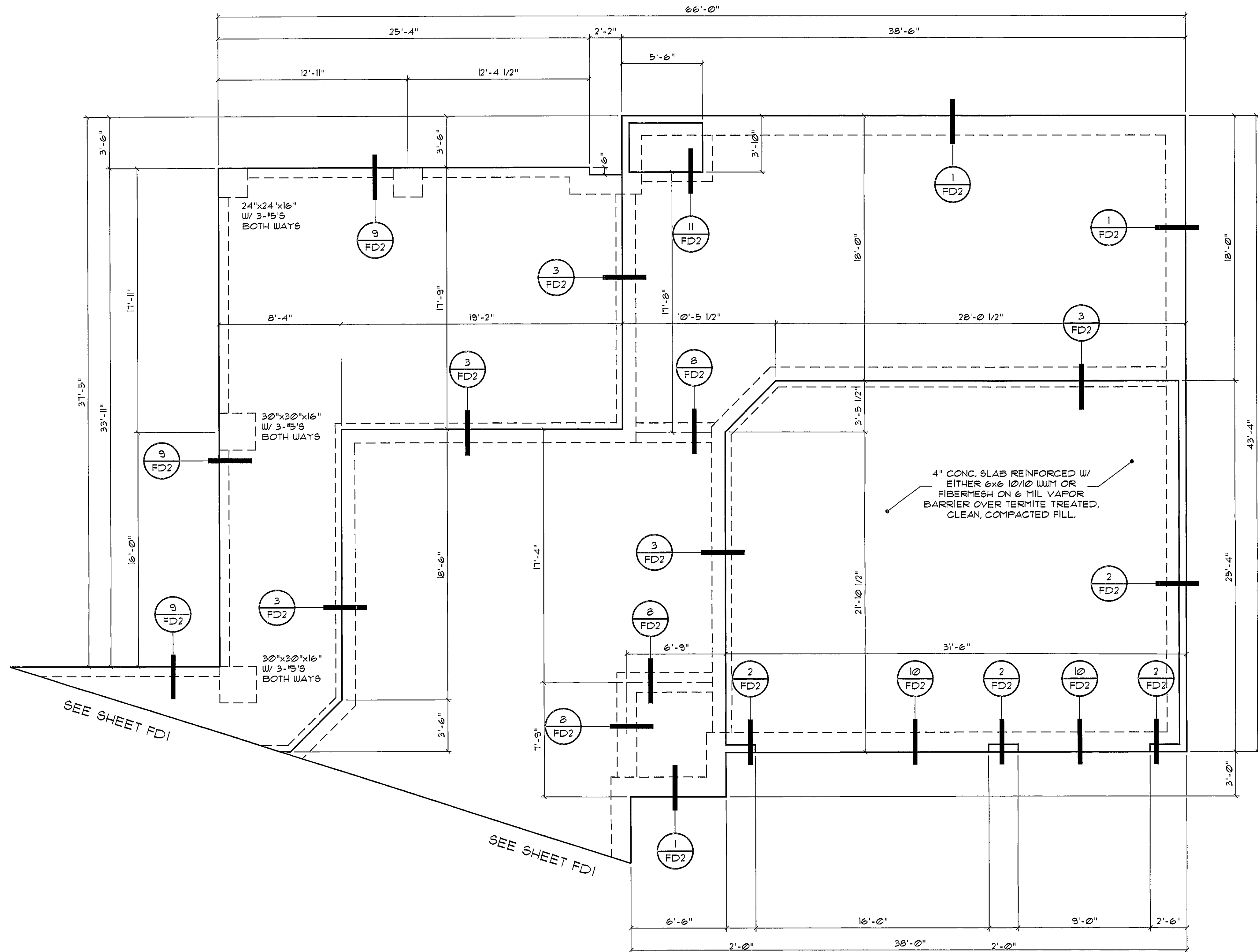
DESIGNS FOR LIVING
LOT: 22 PORT ST. JOHNS
PLAN: 6121
S.J. JOHNS COUNTY, FLORIDA
FOUNDATION PLAN

DATE:	11/15/01
JOB NO.:	J1426
DESIGN:	BAM
CHECKED:	BAM
REVISED:	-
REVISED:	-

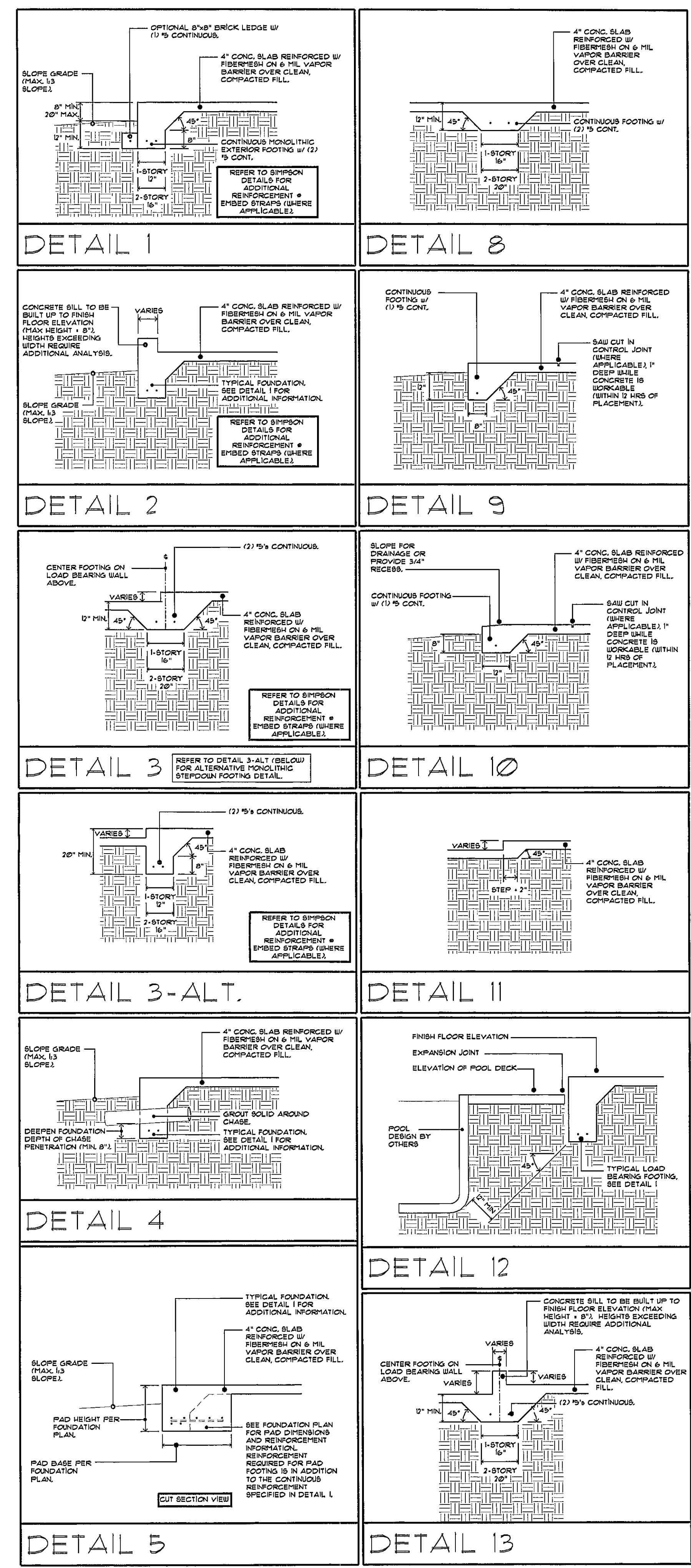
PROJECT ENGINEER



FD1



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



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DESIGNS FOR LIVING
LOT: 22 PORT ST. JOHNS
PLAN: 6121
S.J. JOHNS COUNTY, FLORIDA
FOUNDATION DETAILS

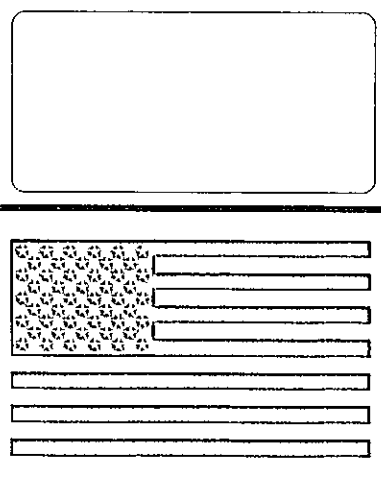
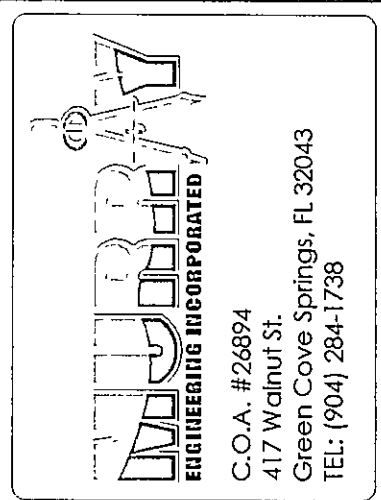
DATE:	11/15/01
JOB NO.:	J1426
DESIGN:	BAM
CHECKED:	BAM
REVISID:	-
REVISID:	-

PROJECT ENGINEER
Bryan A. Murray, P.E.
BRYAN A. MURRAY, P.E.
PROFESSIONAL ENGINEER
FL LICENSE NO. 64010
11/20/07

11/20/07

SHEET
FD2

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DESIGNS FOR LIVING
LOT: 22 PORT ST. JOHNS
PLAN: 6-121
S.J. JOHNS COUNTY, FLORIDA
FRAMING PLAN

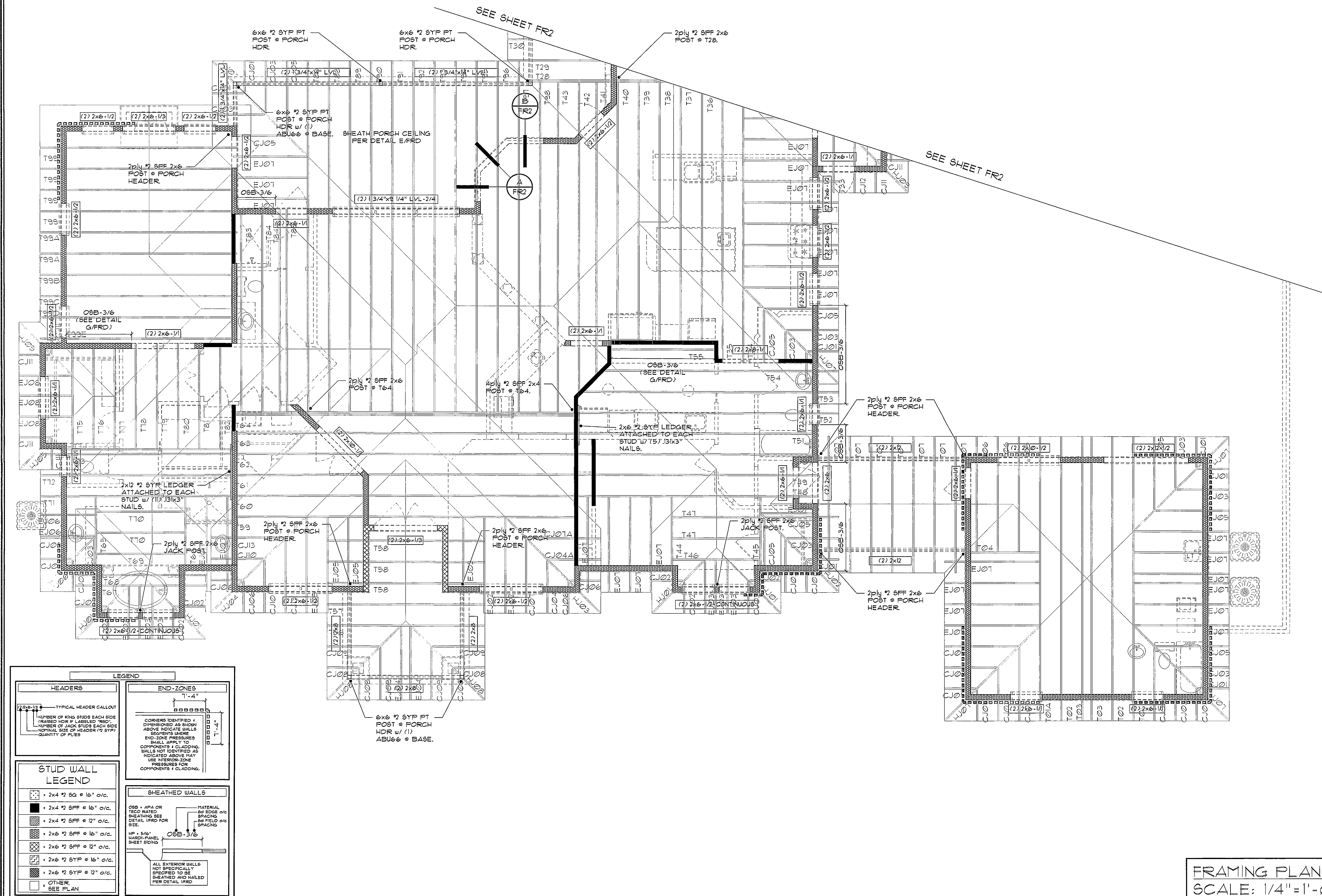
DATE:	11/15/01
JOB NO.	J1426
DESIGN:	BAM
CHECKED:	BAM
REVISID:	-
REVISID:	-

PROJECT ENGINEER

Bryan A. Murray
BRYAN A. MURRAY, PE
PROFESSIONAL
ENGINEER
FL LICENSE NO.
64010

11/20/01
SHEET

FR1



LEGEND

HEADERS

2x6-1/2" TYPICAL HEADER CALLOUT

NUMBER OF KING STUDS EACH SIDE (RAISED HDR IS LABELED "RS")

NUMBER OF JACK STUDS EACH SIDE (NOMINAL SIZE OF HEADER (2" SYP) QUANTITY OF PLIES)

STUD WALL LEGEND

- 2x4 #2 SG @ 16" o/c.
- 2x4 #2 SPF @ 16" o/c.
- 2x4 #2 SPF @ 12" o/c.
- 2x6 #2 SPF @ 16" o/c.
- 2x6 #2 SPF @ 12" o/c.
- 2x6 #2 SYP @ 16" o/c.
- 2x6 #2 SYP @ 12" o/c.
- OTHER
- SEE PLAN

END ZONES

T-4"

CORNERS IDENTIFIED & DIMENSIONED AS SHOWN ABOVE INDICATE WALLS SEGMENTS UNDER END-ZONE PRESSURES SHALL APPLY TO COMPONENTS & CLADDING. WALLS NOT IDENTIFIED AS INDICATED ABOVE MAY USE INTERIOR-ZONE PRESSURES FOR COMPONENTS & CLADDING.

SHEATHED WALLS

OSB - APA OR T&G RATED SHEATHING SEE DETAIL 1/RD FOR SIZE.

MATERIAL @ EDGE o/c SPACING @ FIELD o/c SPACING

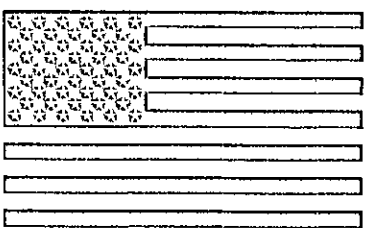
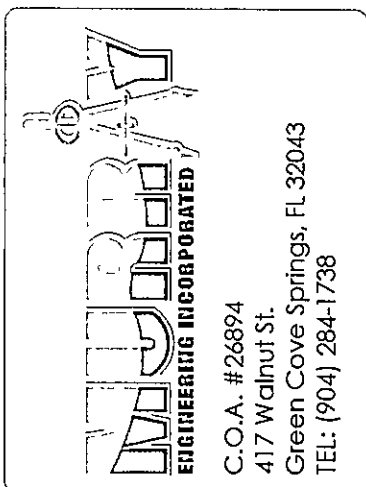
HP - 5/16" WARD: F&B SHEET SICKING

OSB-3/6

ALL EXTERIOR WALLS NOT SPECIFICALLY SPECIFIED TO BE SHEATHED AND Labeled PER DETAIL 1/RD

FRAMING PLAN
SCALE: 1/4"=1'-0"

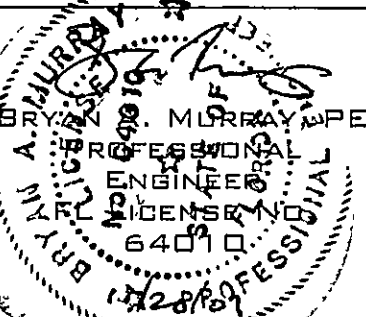
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DESIGNS FOR LIVING
LOT: 22 PORT ST. JOHNS
PLAN: 6121
S.J. JOHNS COUNTY, FLORIDA
FRAMING PLAN

DATE:	11/15/01
JOB NO.	J1426
DESIGN:	BAY
CHECKED:	BAY
REVISOR:	-
REVISION:	-

PROJECT ENGINEER



SHEET

FR2

LEGEND

STUD WALL LEGEND

- 2x4 #2 SG @ 16" o/c.
- 2x4 #2 SFF @ 16" o/c.
- 2x4 #2 SFF @ 12" o/c.
- 2x6 #2 SFF @ 16" o/c.
- 2x6 #2 SFF @ 12" o/c.
- 2x6 #2 SYP @ 16" o/c.
- 2x6 #2 SYP @ 12" o/c.
- OTHER, SEE PLAN

END ZONES

CORNERS IDENTIFIED & DIMENSIONED AS SHOWN ABOVE INDICATE WALLS RESISTING WIND END-ZONE PRESSURES. SMALL APPLY TO COMPONENTS & CLADDING. WALLS NOT IDENTIFIED AS RESISTING WIND PRESSURES FOR COMPONENTS & CLADDING.

HEADERS

TYPICAL HEADER CALLOUT

NUMBER OF KING STUDS EACH SIDE (RAISED SIDE IF LABELED "RSD")

NUMBER OF JACK STUDS EACH SIDE

NOMINAL SIZE OF HEADER (2 SYP) QUANTITY OF FLIES

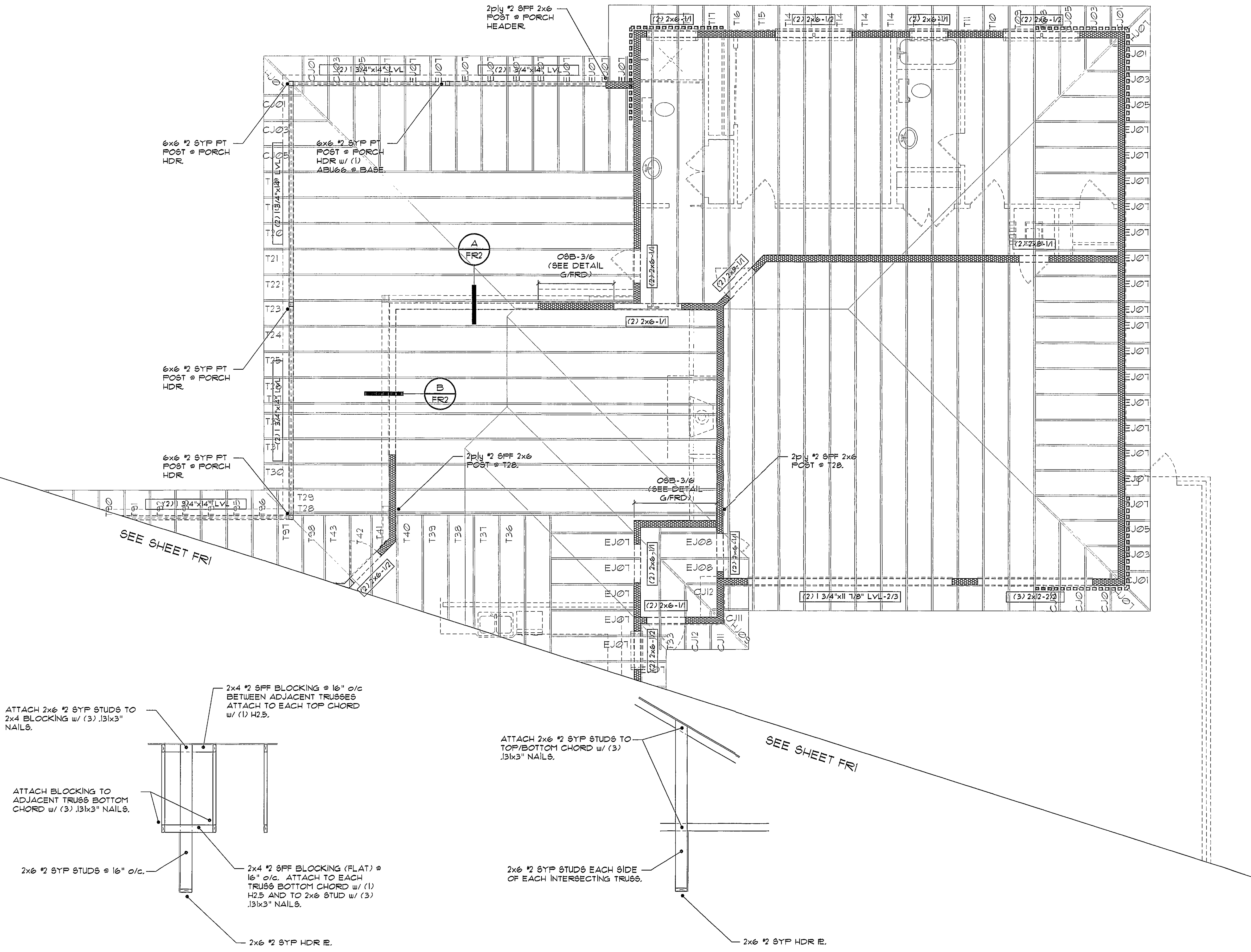
SHEATHED WALLS

OSB - APA OR TECO RATED SHEATHING SEE DETAIL W/RO FOR SIZE

HP - 5/16" HARD-PANEL SHEET SIDING

MATERIAL SPACING - 8" EDGE O/C - 16" FIELD O/C SPACING

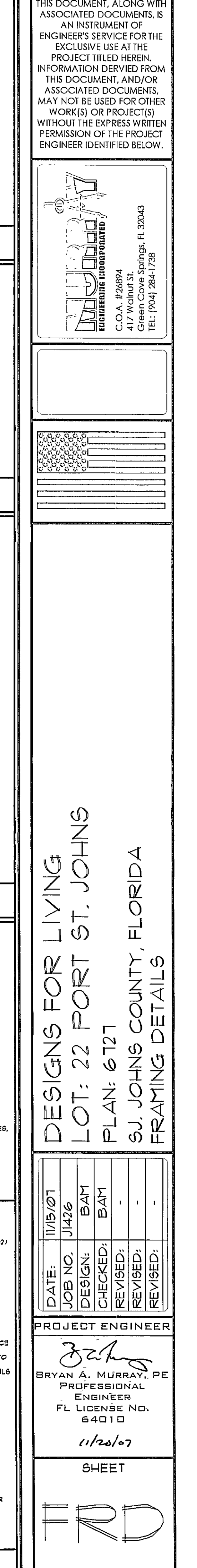
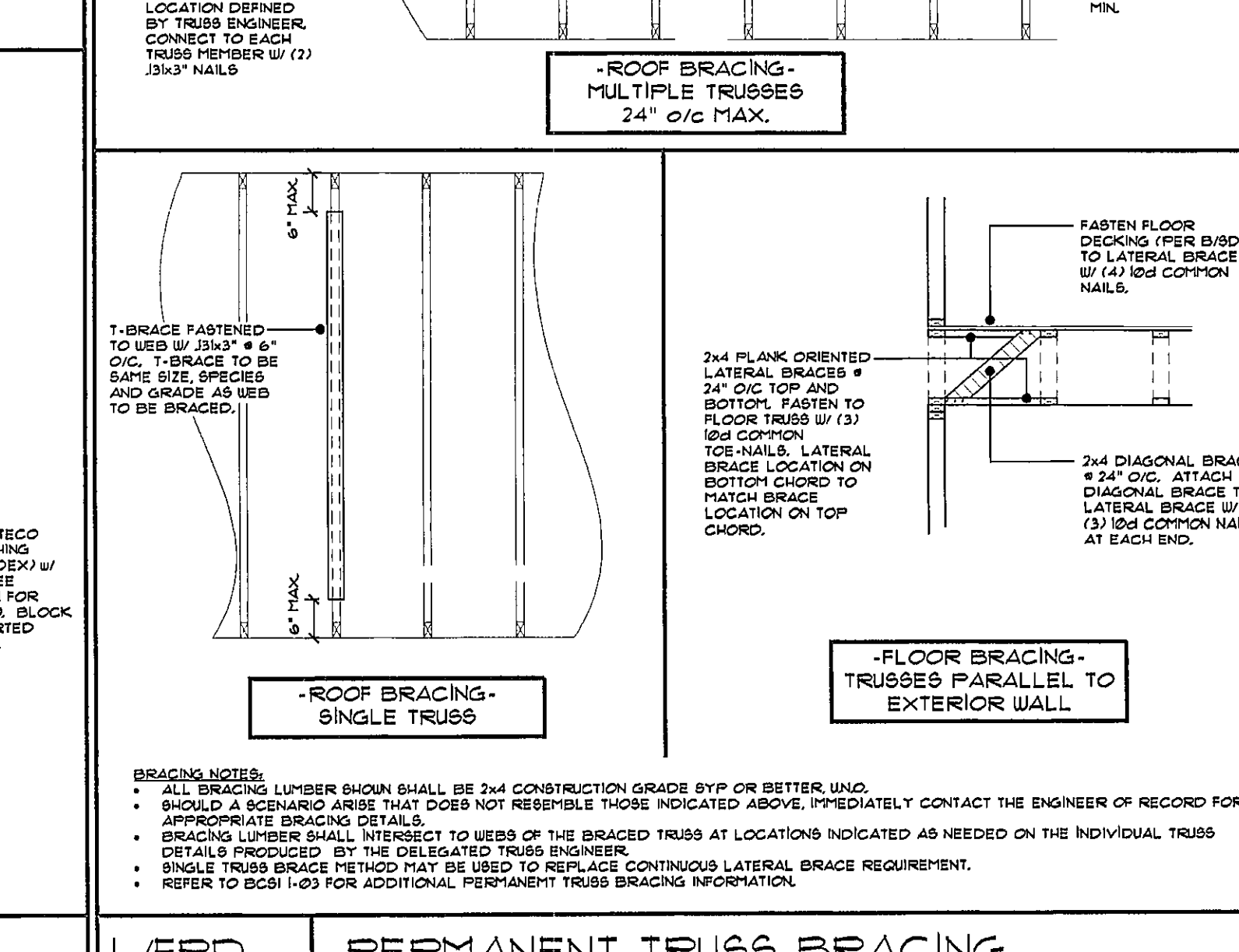
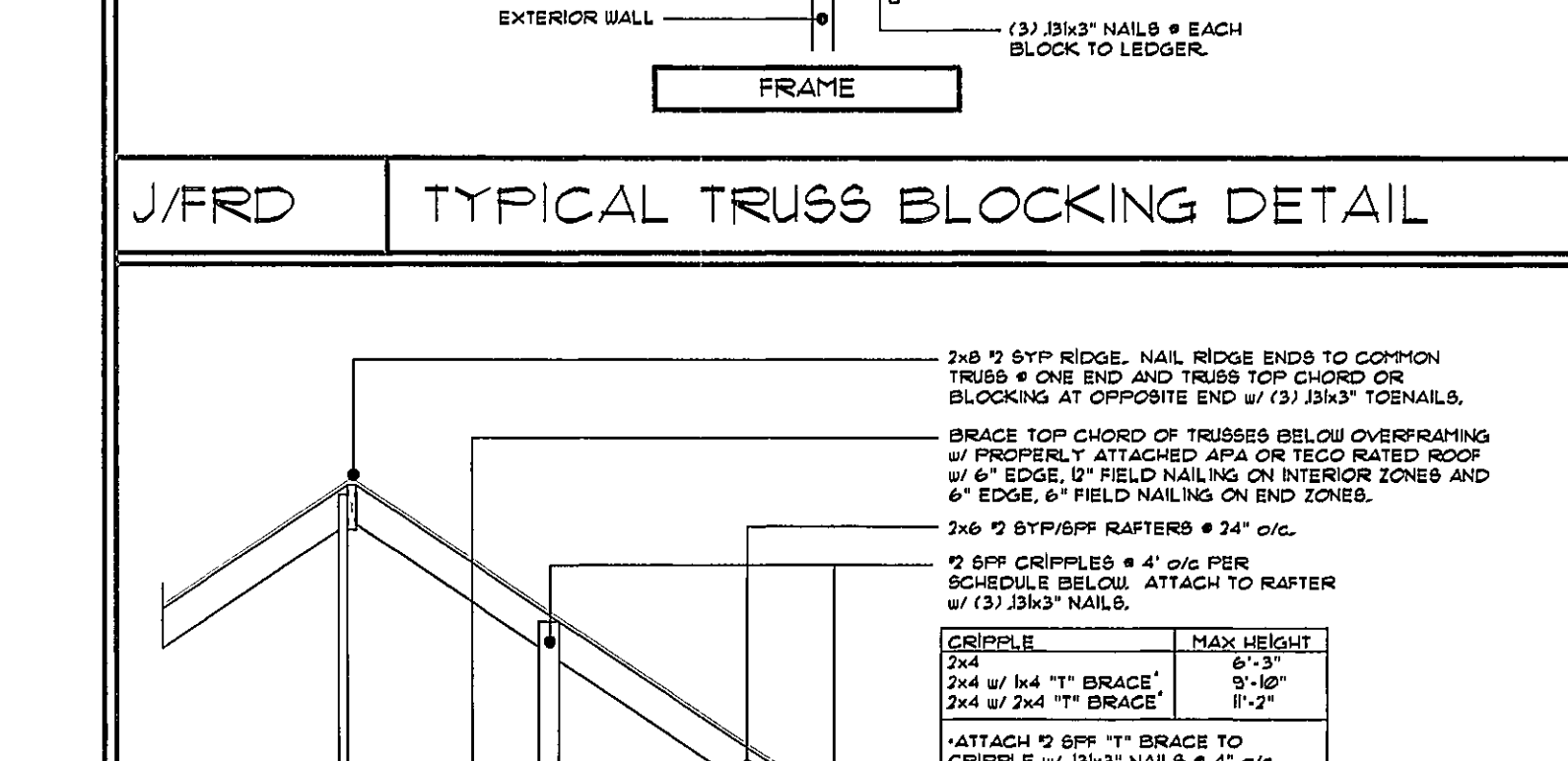
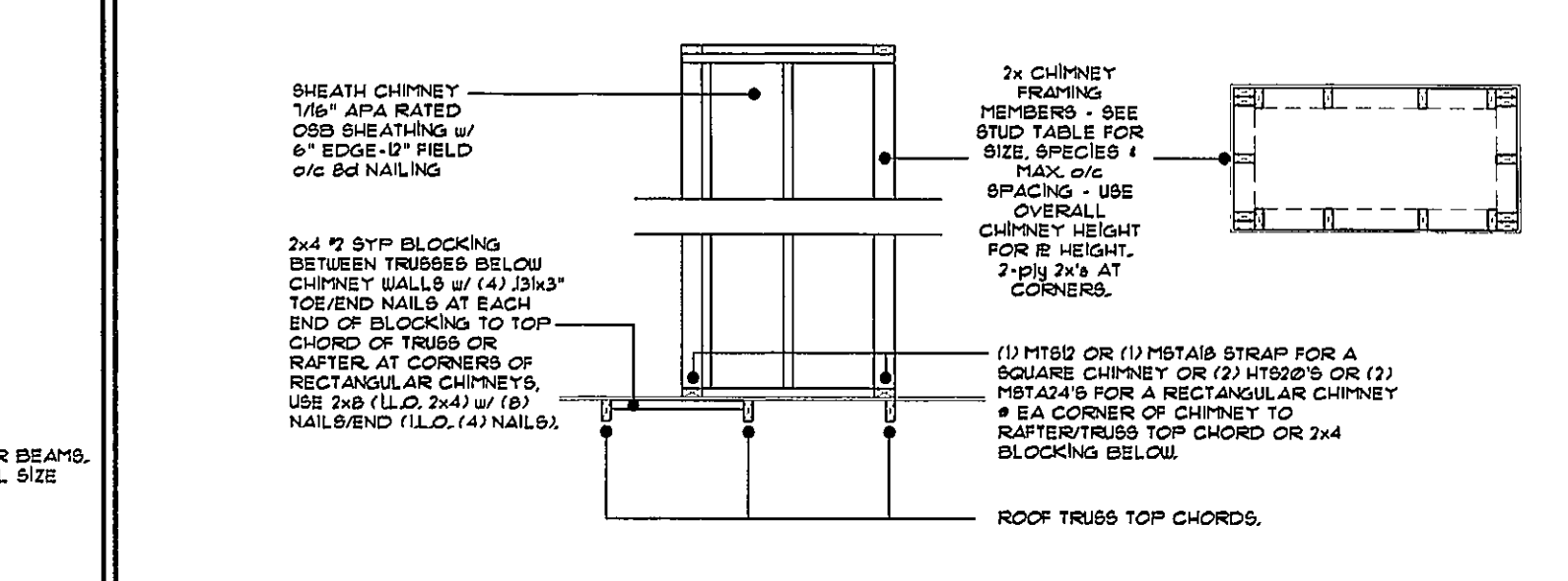
ALL EXTERIOR WALLS NOT SPECIFICALLY NOTED TO BE SHEATHED AND Nailed w/ 6d NAILS @ 6" EDGE AND 12" FIELD.



A
FR2 MITERED GLASS DETAIL

B
FRI MITERED GLASS DETAIL

FRAMING PLAN
SCALE: 1/4" = 1'-0"



McBride
ENGINEERING INCORPORATED

C.O.A. #26894
417 Walnut St.
Green Cove Springs, FL 32043
904-329-1790

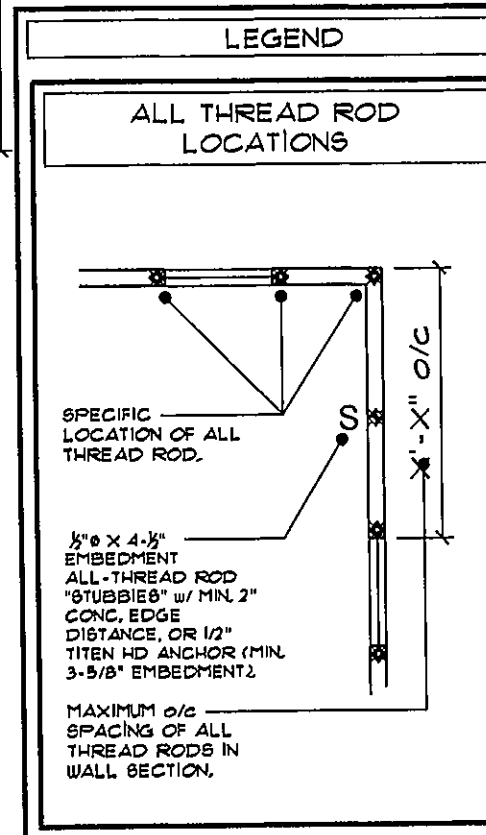
DATE:	11/15/07
JOB NO.	J1426
DESIGN:	BAM
CHECKED:	BAM
REVISED:	-
REVISED:	-
REVISED:	-

11/20/07

SHEET

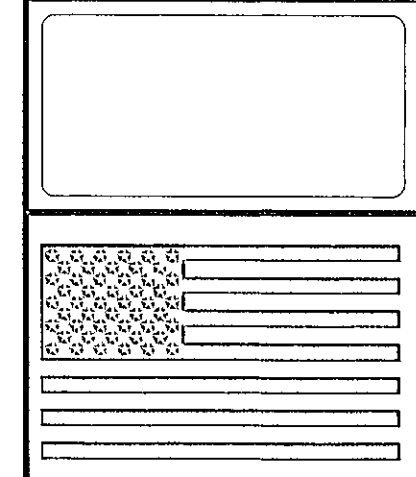
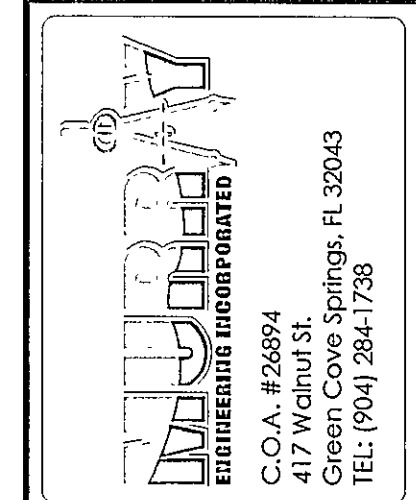
TD 1

OTHERWISE, FOLLOW SPECIFIC
CALL OUT ON PLAN.



TIE-DOWN PLAN
SCALE: 1/4" = 1'-0"

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DESIGNS FOR LIVING
LOT: 22 PORT ST. JOHNS
PLAN: 6121
S.J. JOHNS COUNTY, FLORIDA
TIE-DOWN PLAN

DATE:	11/15/07
JOB NO.:	J1426
DESIGN:	BAM
CHECKED:	BAM
REVISER:	-
REVISION:	-

PROJECT ENGINEER

Bryan A. Murray
BRYAN A. MURRAY, PE
PROFESSIONAL
ENGINEER
FL LICENSE NO.:
64010
1/20/07

SHEET

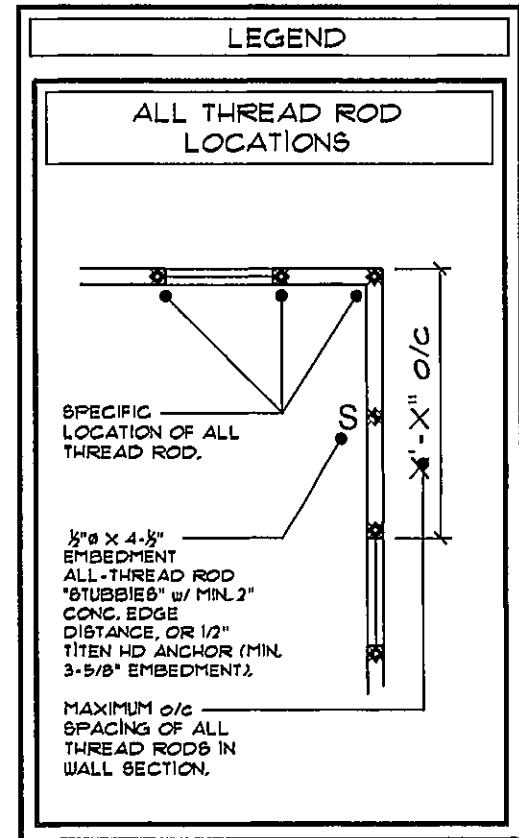
TD2

TIE DOWN SCHEDULE

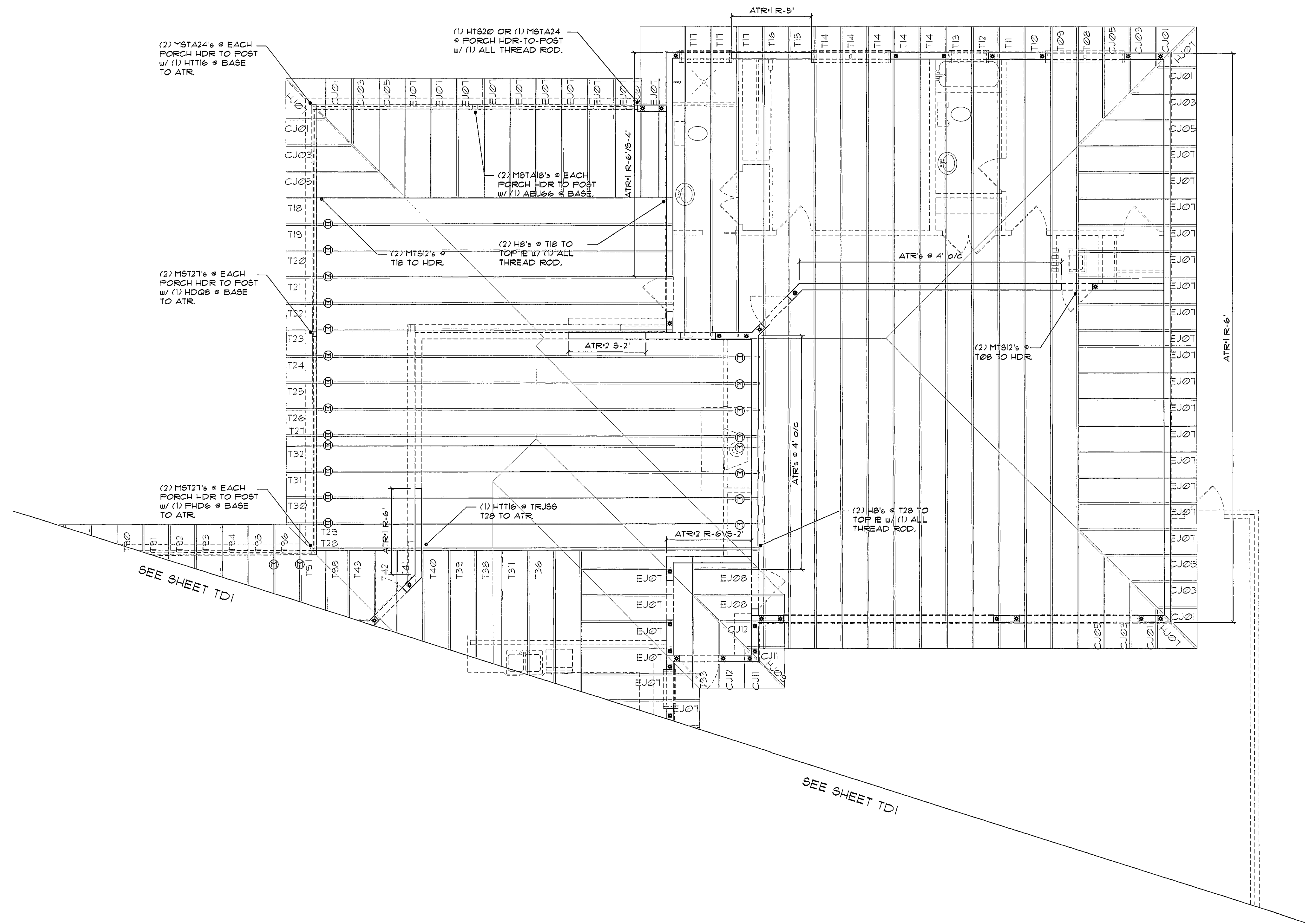
(1) H8 @ EACH TRUSS TO TOP R OR HEADER UNLESS DENOTED AS SHOWN:

⊙ = (1) MT512

OTHERWISE, FOLLOW SPECIFIC CALL OUT ON PLAN.



TIE-DOWN PLAN
SCALE: 1/4"=1'-0"

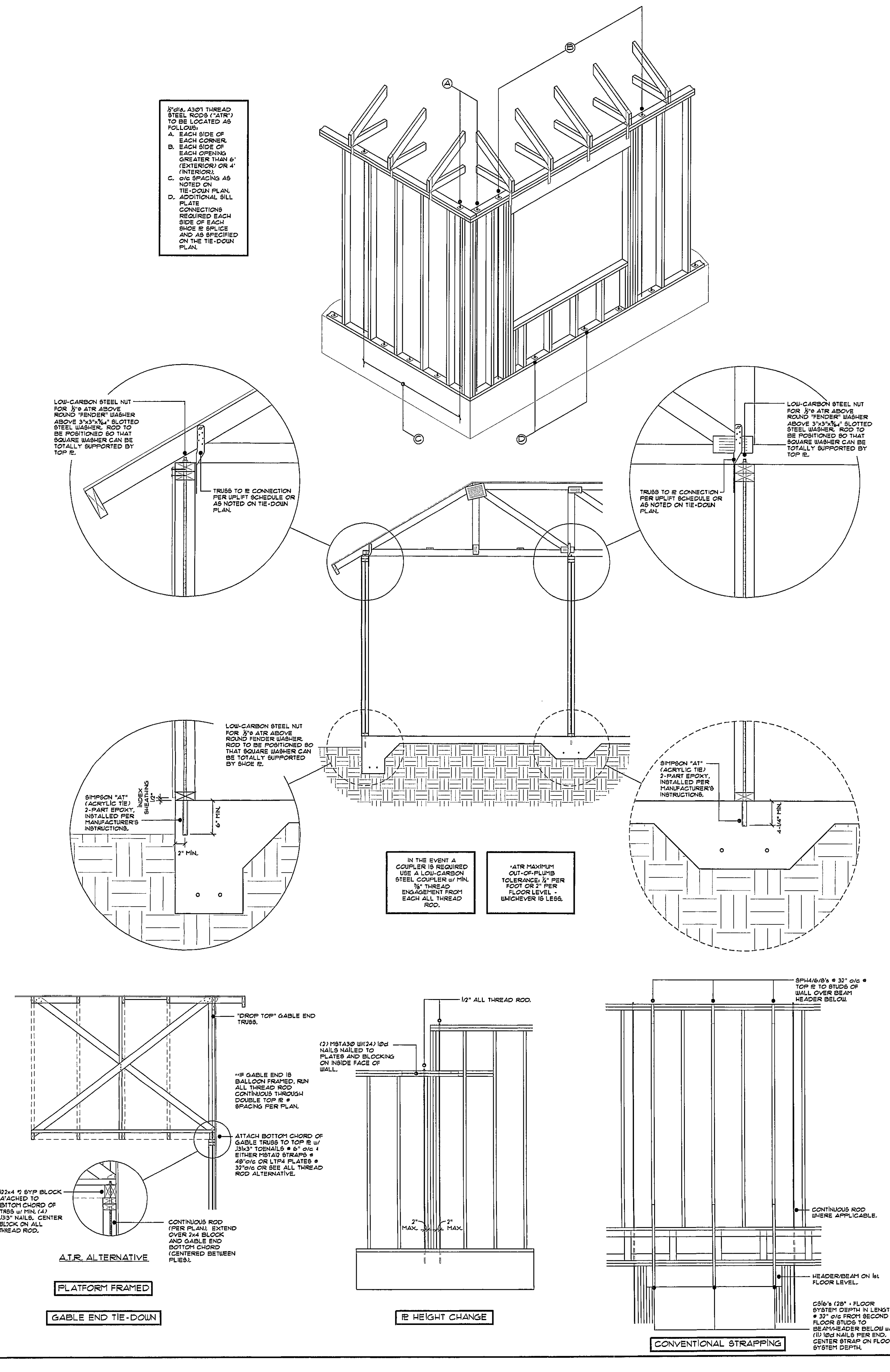
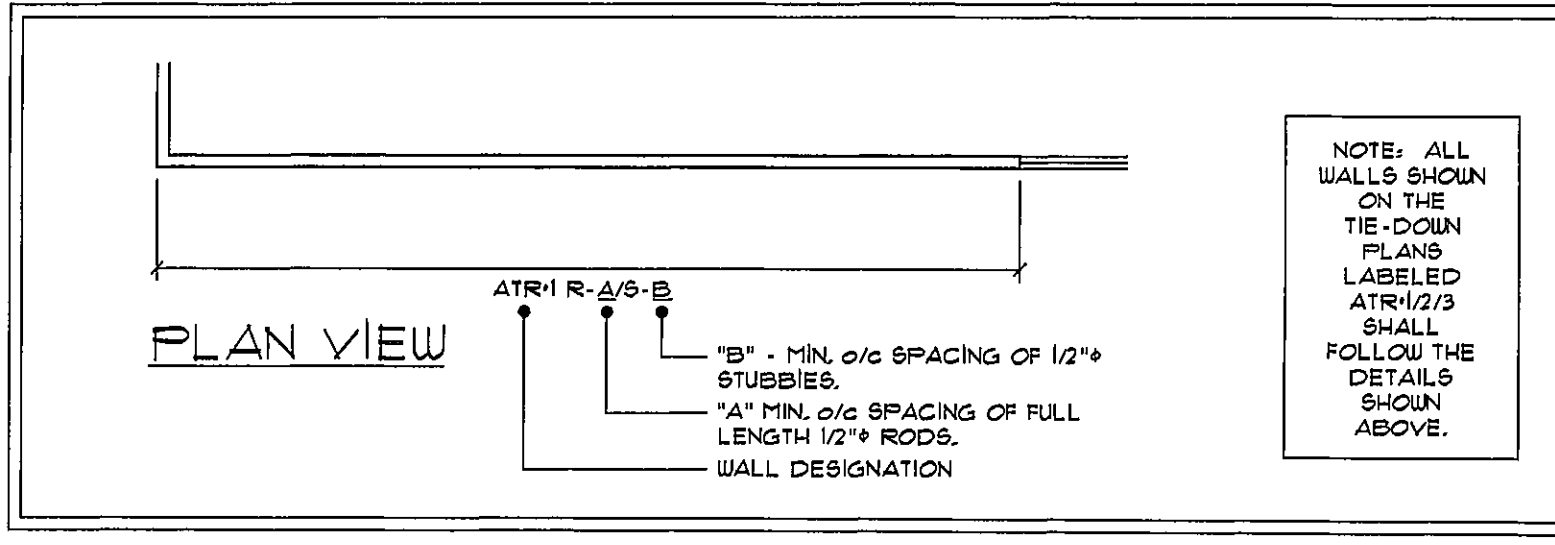


SEE SHEET TD1

SEE SHEET TD1

[illegible]

- * w/ MIN. 2-1/2" SPACING.
- ** w/ MIN. 4" SPACING.

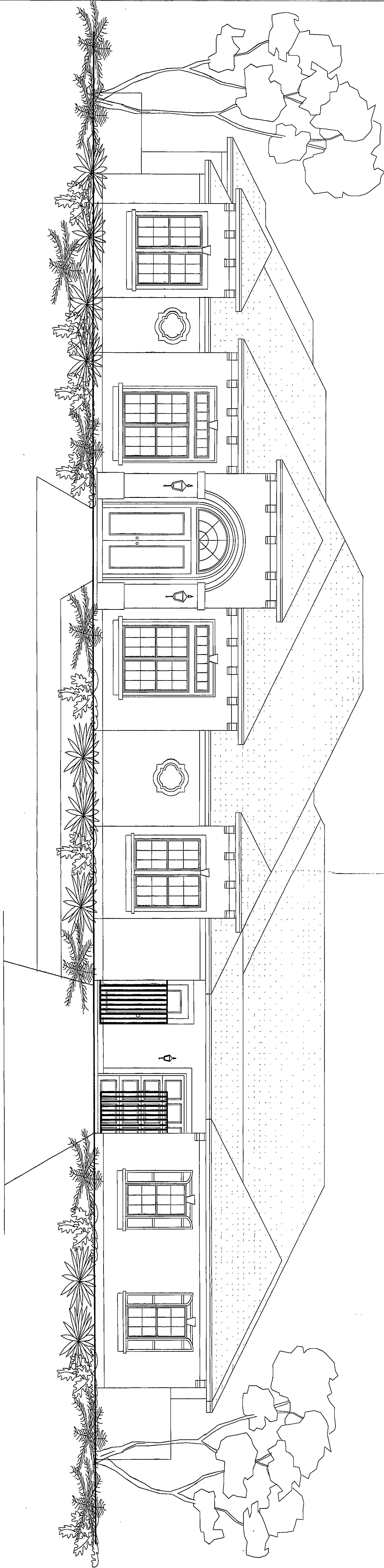


1. *Journal of the American Medical Association*, 2000; 284: 1039-1044.

FUTURE HOME OF THE DAVIS FAMILY

Lh09801

REVISED: A.R.C. 12/01/07



LOT 22, PORT ST. JOHNS
120 HOLLY BERRY LANE
ST. JOHNS, FLORIDA 32259

FINAL APP. APPROVAL
FINAL AND APPROVAL

INDEX TO DRAWINGS

- 1-COVER PAGE
- 2-SITE PLAN
- 3-FOUNDATION PLAN
- 4-FLOOR PLAN
- 5-ROOF PLAN
- 6-FRONT/REAR ELEVATIONS
- 7-LEFT/RIGHT ELEVATIONS
- 8-ELECTRICAL PLAN
- 9-FLASHING DETAILS

BUILT BY OWNER/BUILDER

HOME: 904-287-8484

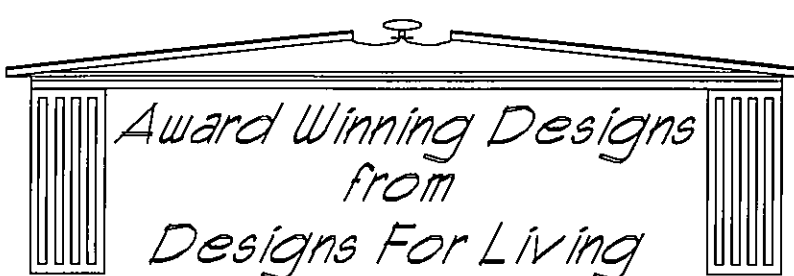
CELL: 904-703-3735

OFFICE: 904-542-0764, EXT: 238

DESIGNED BY DESIGNS FOR LIVING, LLC
SERVING N/E FLORIDA SINCE 1978

OFFICE: 904-730-7135
CELL: 904-993-2231

PRODUCTION
DRAWINGS
FROM:



SINCE
1969

SERVING N/E FLORIDA
SINCE 1978

MOBILE (904) 993-2231
OFFICE (904) 730-7135

DRAWN ESPECIALLY FOR: THE DAVIS FAMILY

BUILT BY: OWNER/BUILDER

SCALE: 1/4" = 1'0"

120 HOLLY BERRY LANE

DATE: 8/12/2007

R/E #: 000381 0220

DRAWN BY: R.E.M.

DWG. NO.

6727

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FIELD MODIFICATIONS AND ADJUSTMENTS.

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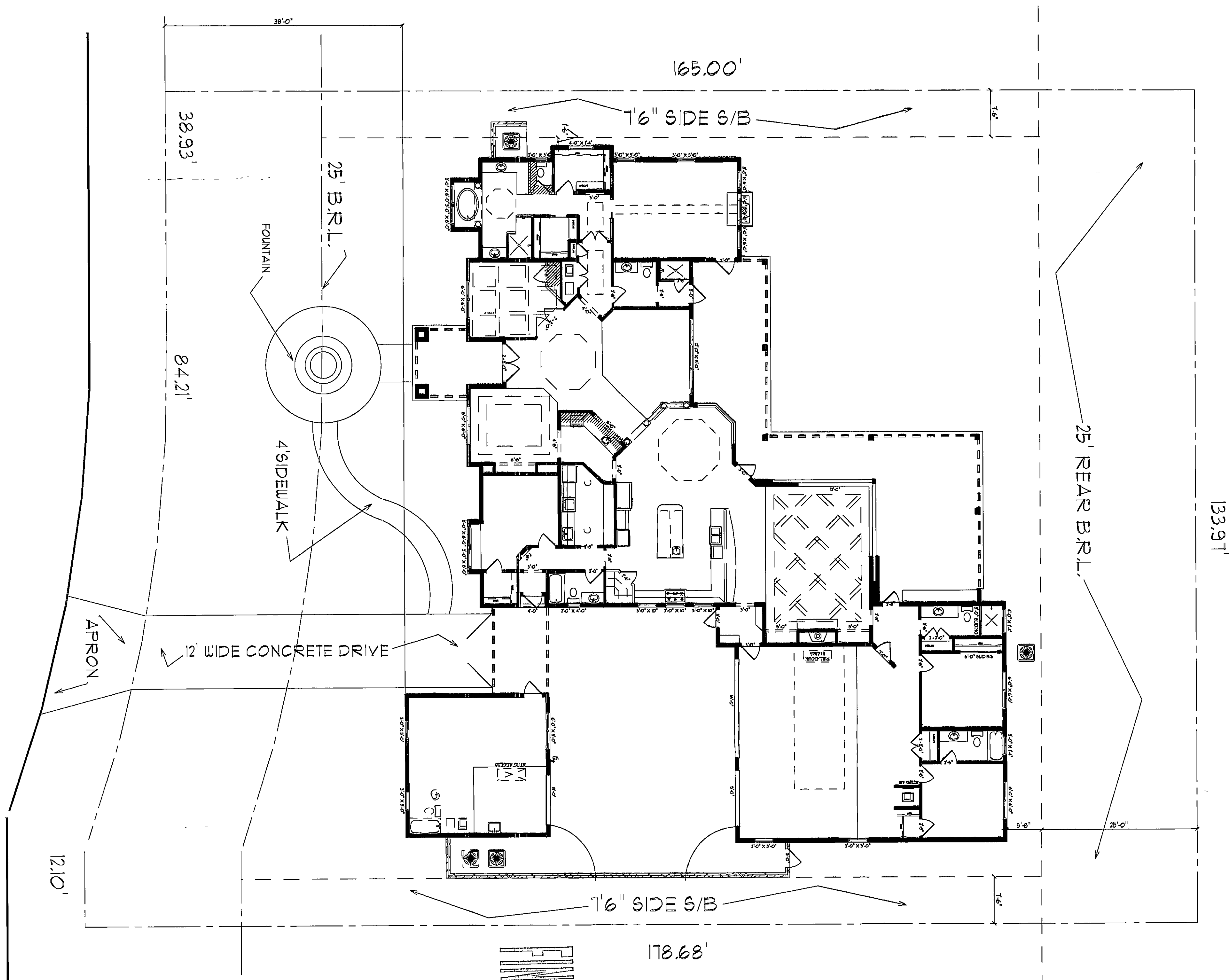
PAGE ONE
OF NINE

PURCHASERS' RIGHT TO USE THIS PLAN IS LIMITED TO A ONE TIME USE ON THE LOT, BLOCK, AND SUBDIVISION STATED HEREIN!

1. FULL 60D TOTAL YARD W/ #1 FLORATAM BASED ON ARCH GUIDELINES.
2. 18 YARDS OF CYRESS MULCH.
3. FULL IRRIGATION SYSTEM W/ ALLOWANCE OF \$2,500.00.
4. ALLOWANCES:
FULL 60D: \$155/P ALLET
PLANTS/TREES: \$3,500.00
MULCH: \$550.00

140-100 GAL LIVE OAK TREE
 140-60 GAL SILVER LEAF MAPLE
 24-G: 30 GAL GREEN ASH TREE
 14-PT: 14-GAL TRUNK PATIO TREE
 MULTI TRUNK 6.5X4
 3-PM: PODOCARPUS (15 GAL)
 CACROPHYLLUM
 COLUMN 5X2
 2-41: HIBISCUS 3X2
 40-LJ: LIGUSTRUM (3 GAL)
 40-1H: INDIAN HAWTHORN (3GAL)
 40-BH: DWARF BURFORD HOLLY
 (3 GAL)
 40-BU: BOXWOODS (3GAL)
 15-BJ: PARSONS JUNIPER
 12-GAL) 8" SPREAD
 20-AG: AZTEC GRASS (1GAL)
 15-M: MOREA INDICA (1 GAL)

120 HOLT BEER VAN
SETBACKS PER THE PJD:
FRONT: 25'



FINAL APPROVAL

STIPAN
REVISED: N/A

PRODUCTION
DRAWINGS
FROM:

Award Winning Designs
from
Designs For Living

SINCE
1968

1968

1968

SERVING N/E FLORIDA
SINCE 1978

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OFFICE (904) 730-7135

DRAWN ESPECIALLY FOR: THE DAVIS FAMILY	
BUILT BY: OWNER/BUILDER	
SCALE: 1" = 10' 0"	120 HOLLY BERRY LANE
DATE: 8/12/2007	R/E #: 000381 0220
DRAWN BY: R.E.M.	DWG. NO. 6727

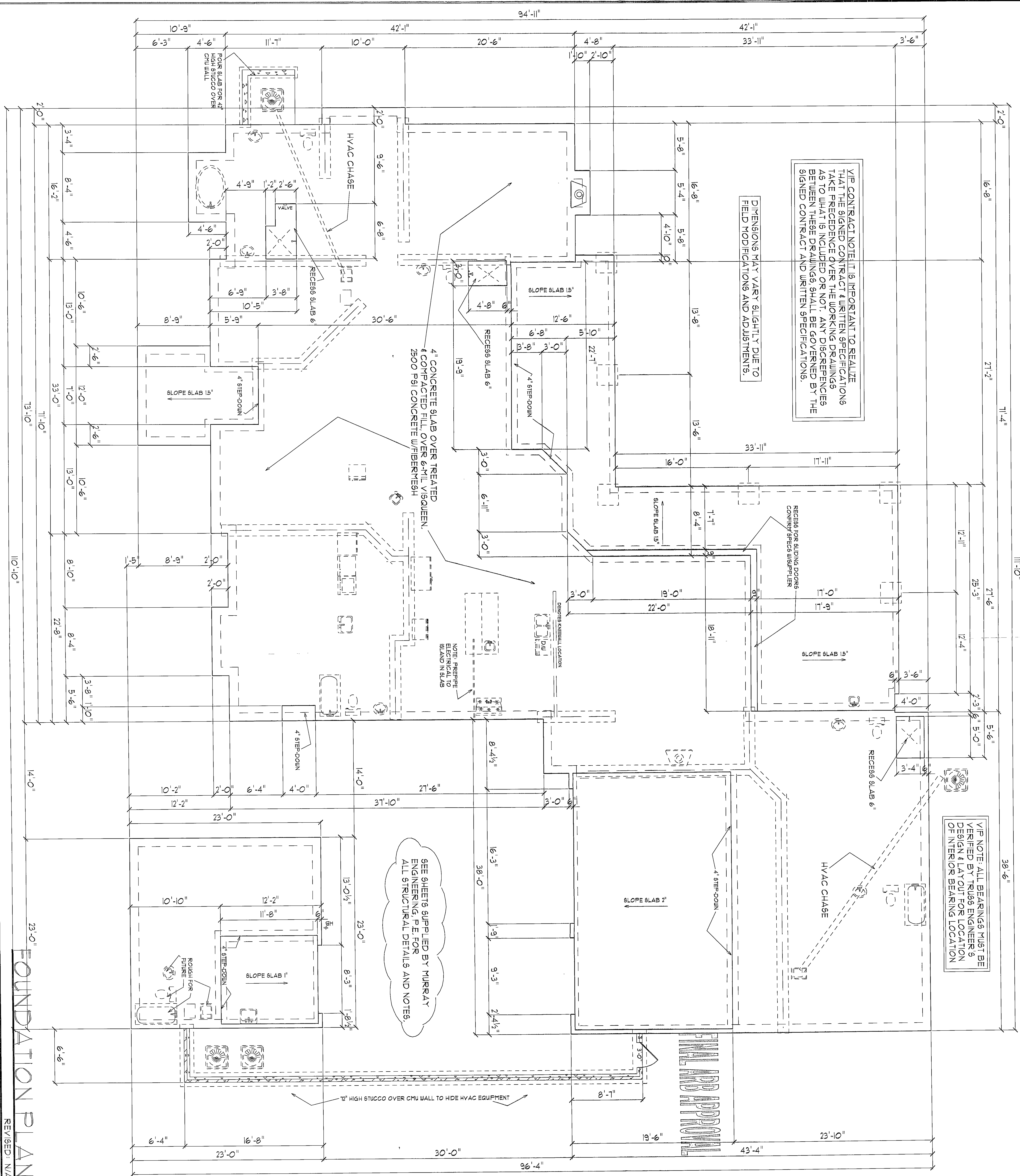
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If you would like to know more about His wonderful plan for your happiness, call us, or better yet read the Book of John in the New Testament of His Holy Word.

PAGE TWO
OF NINE



PRODUCTION DRAWINGS FROM:

Award Winning Designs from Designs For Living

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DRAWN ESPECIALLY FOR: **THE DAVIS FAMILY**

BUILT BY: **OWNER/BUILDER**

SCALE: **1/4" = 1'-0"**

DATE: **8/12/2007**

DRAWN BY: **R.E.M.**

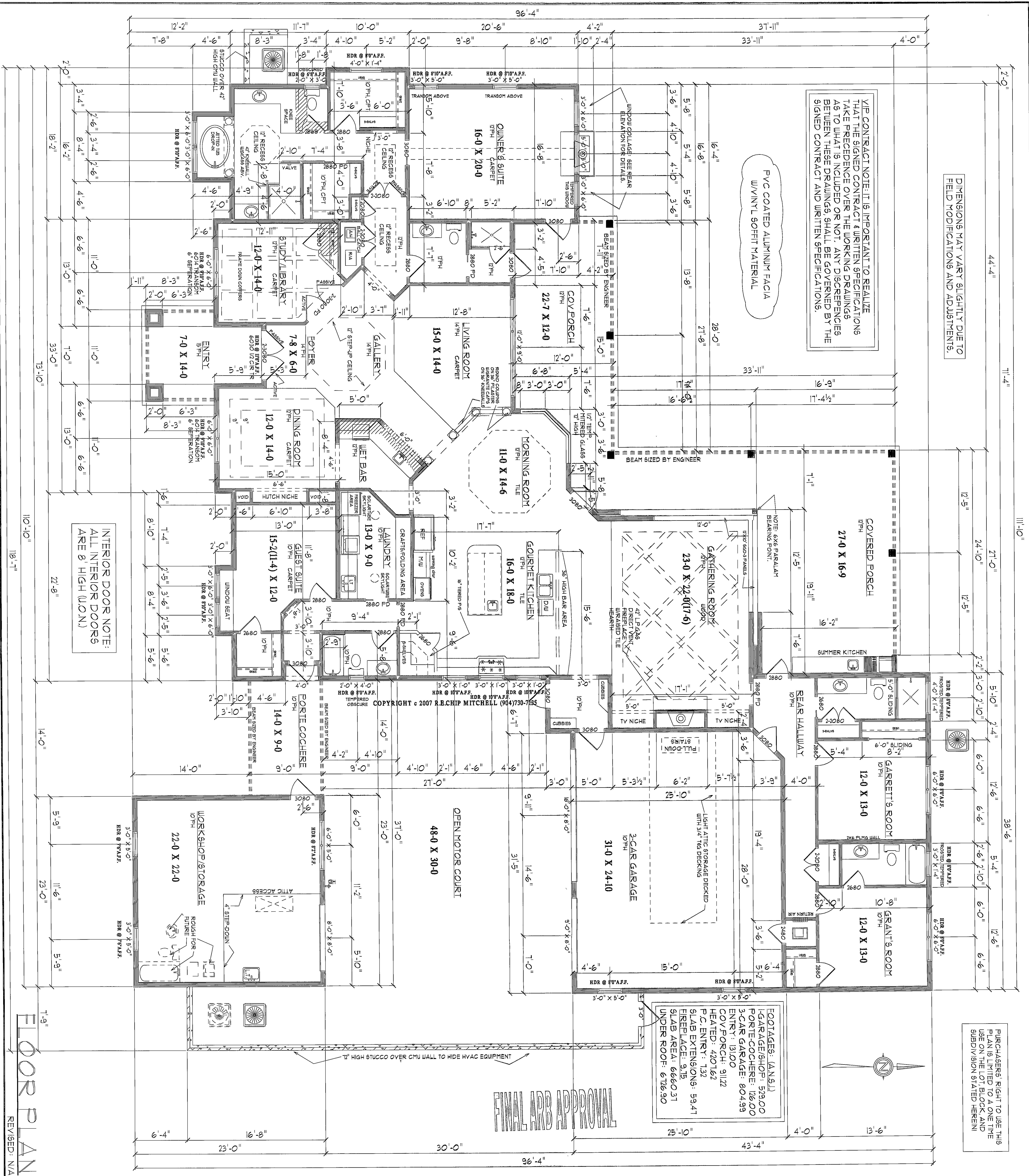
120 HOLLY BERRY LANE
R/E #: 0003810220
DWG. NO. **6727**

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PAGE THREE OF NINE



PRODUCTION DRAWINGS FROM:

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SINCE 1963

SERVING N/E FLORIDA SINCE 1978

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BUILT BY: OWNER/BUILDER

SCALE: 1/4" = 1'-0"

DATE: 8/12/2007

DRAWN BY: R.E.M.

120 HOLLY BERRY LANE

R/E #: 0003810220

DWG. NO. 6727

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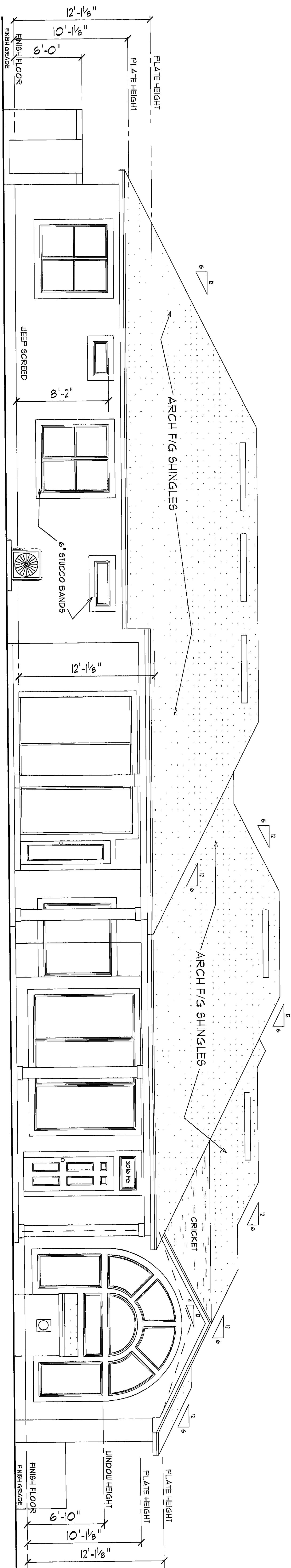
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PAGE FOUR OF NINE

WYNYL SOFFIT MATERIAL
PVC COATED ALUMINUM FACIA



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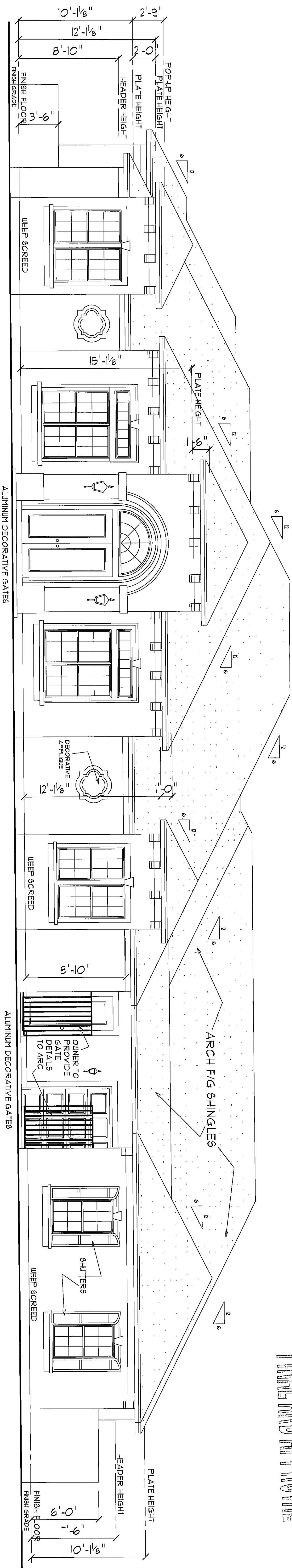
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XP STUCCO NOTE

APPLICATION REQUIREMENTS THAT MUST BE FOLLOWED

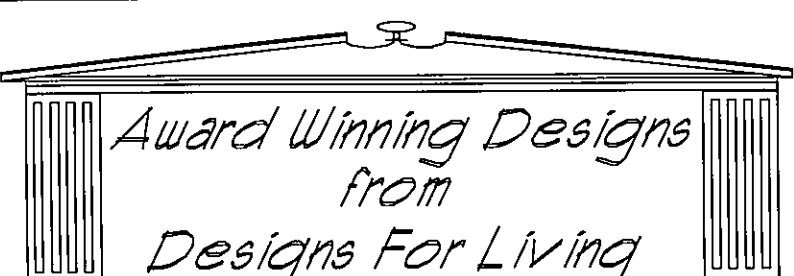
1. STUCCO SCREATCH COAT MUST BE APPLIED INTO THE WINDOW AND DOOR FRAMES PRIOR TO INSTALLING AN DECORATIVE BANDING.
2. A HORIZONTAL PLASTER STOP SHALL BE INSTALLED AT 4" BELOW THE FINISH FLOOR TO THE FOUNDATION.
3. THE FOUNDATION SHALL BE STUCCOED DIRECTLY TO THE BLOCK/CONCRETE WITHOUT USING ANY LATHING.
4. ALL WINDOW AND DOOR OPENINGS THAT DO NOT HAVE A ROOF OVERHANG WITHIN 20" SHALL HAVE A 1" BAND WITH A SLOPED TOP TO DIVERSY ANY WATER.

THE APPROPRIATE



FRONTIER REVEALS THE VASTIONS

REVISED: N/A



SERVING N/E FLORIDA
SINCE 1978

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BUILT BY: OWNER/BUILDER

SCALE: $1/4" = 1'0"$

120 HOLLY BERRY LANE

DATE: 8/12/2007

R/E #: 0003810220

BIBLIOGRAPHY

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His wonderful plan for your happiness, call us, or better yet read the Book of John in the New Testament of His Holy Word!

PAGE FIVE
OF NINE

PAGE FIVE
OF NINE

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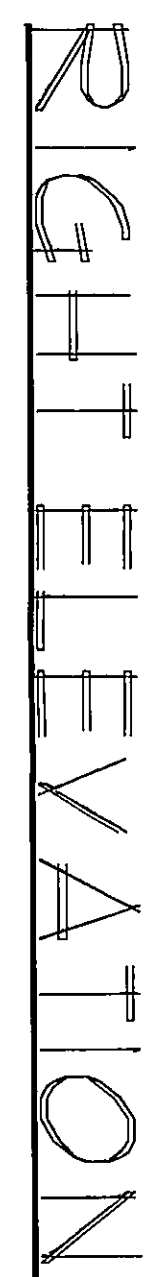
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VIP STUCCO NOTE

APPLICATION REQUIREMENTS THAT MUST BE FOLLOWED

1. STUCCO SCRATCH COAT MUST BE APPLIED INTO THE WINDOW AND DOOR FRAMES PRIOR TO INSTALLING ANY

127



TECHNICAL DRAWING

PRODUCTION
DRAWINGS
FROM:

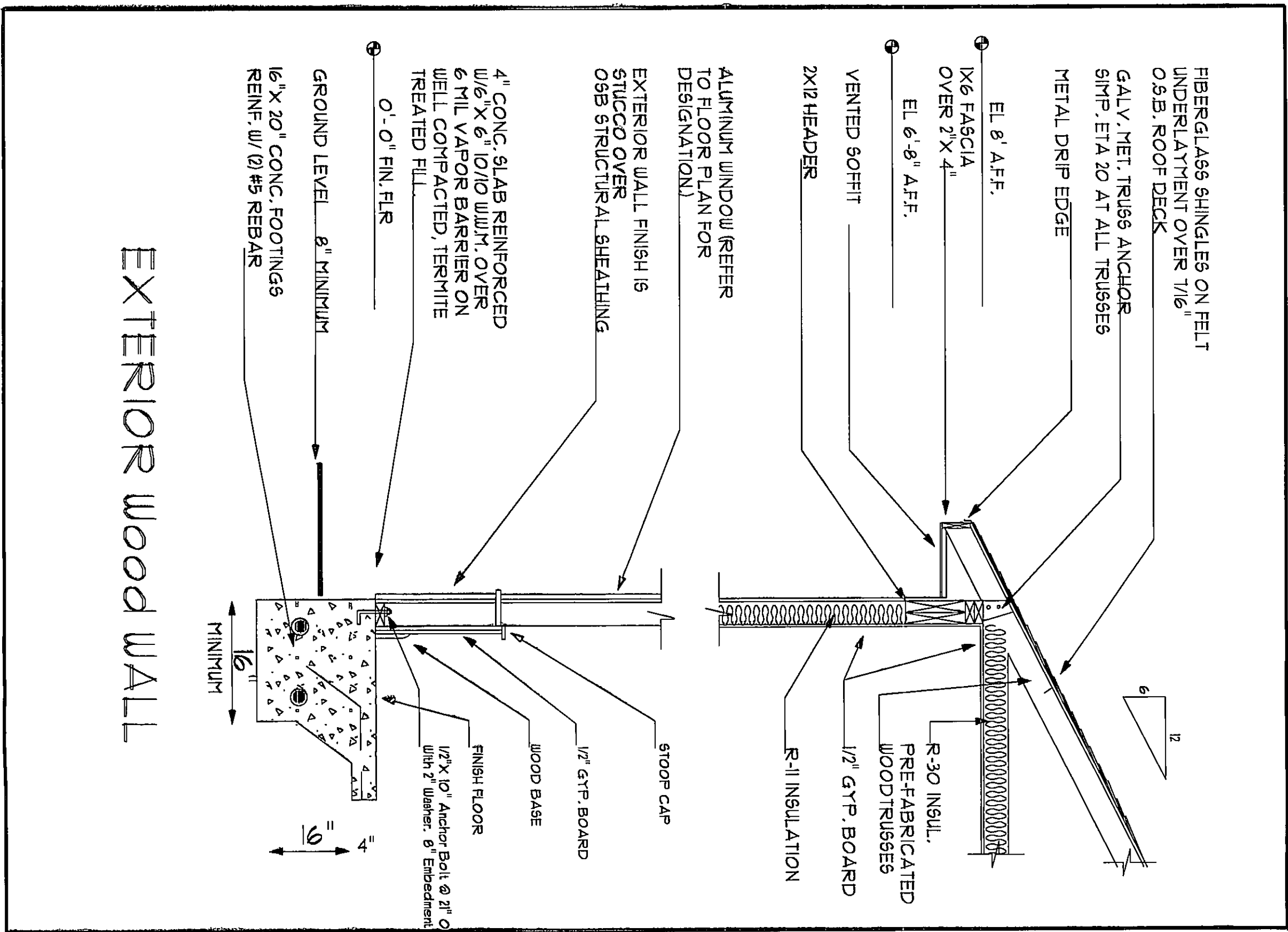
*Award Winning Designs
from
Designs For Living*

SINCE
1962

SERVING N/E FLORIDA
SINCE 1978

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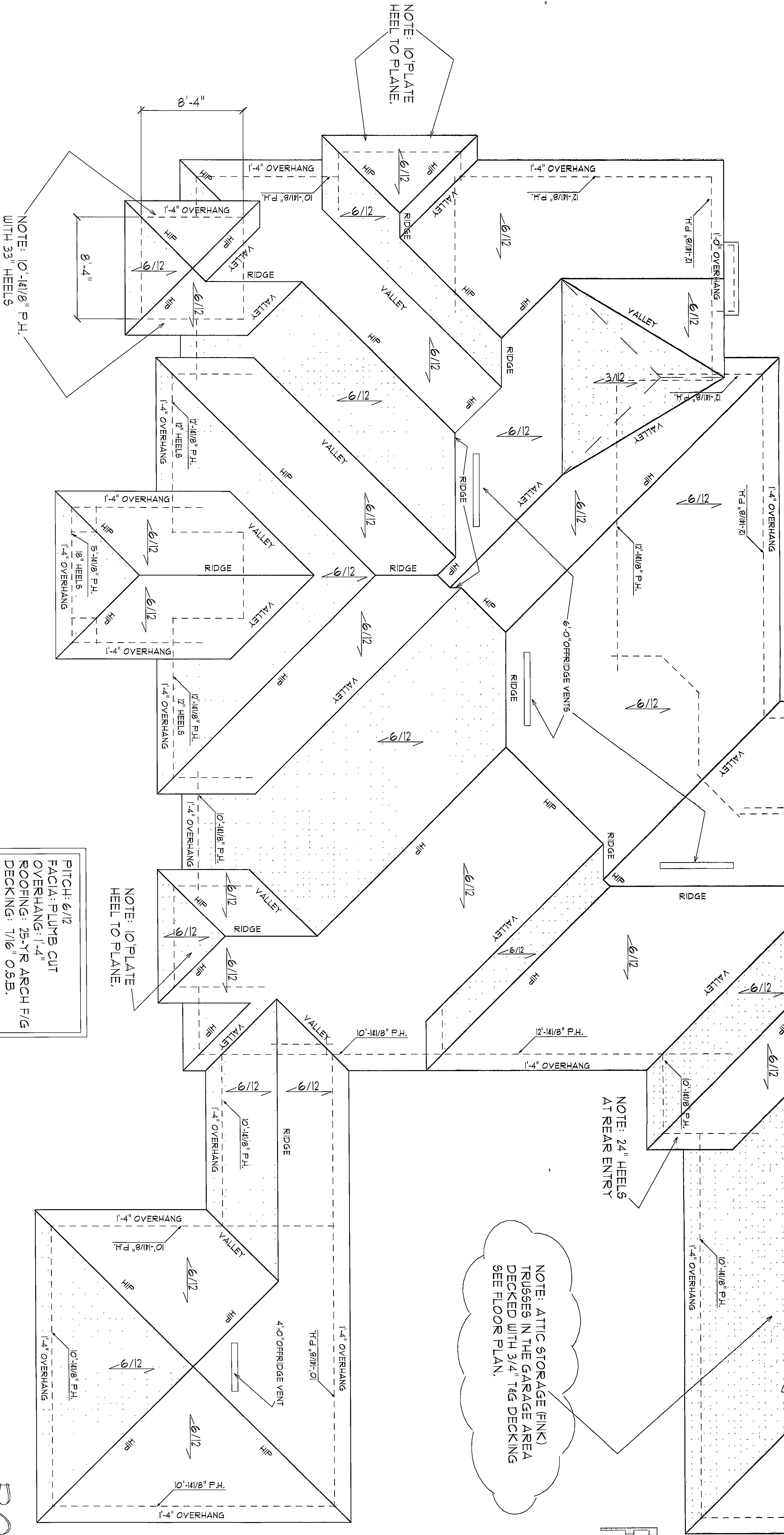
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BUILT BY: OWNER/BUILDER			
SCALE: 1/4" = 1'0"		120 HOLLY BERRY LANE	
DATE: 8/12/2007		R/E #: 0003310220	
DRAWN BY: R.E.M.		DWG. NO. 6727	



PVC COATED ALUMINUM FACIA
W/VINYL SOFFIT MATERIAL

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EXTERIOR wood wall



PITCH: 6/12
FACIA: PLUMB CUT
OVERHANG: 1'-4\"/>

NOTE: ATTIC STORAGE (PINK) TRUSSES IN THE GARAGE AREA DECKED WITH 3/4\"/>

NOTE: 24\"/>

PRE-ENGR. TRUSSES 24\"/>

ROOF PLAN

REVISED: N/A

PRODUCTION DRAWINGS FROM:

SERVING N/E FLORIDA SINCE 1978

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OFFICE (904) 130-7135

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SCALE: 1/4" = 1'0"	120 HOLLY BERRY LANE
DATE: 8/12/2007	R/E #: 0003810220
DRAWN BY: R.E.M.	DWG. NO. 6727

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PAGE SEVEN
OF NINE

ELECTRICAL LEGEND

2-BULB FLOOD	CEILING FAN	FAN/LIGHT COMBO
CABLE TV OUTLET	TELEPHONE OUTLET	TELEPHONE OUTLET
800 CHIME	VANITY FIXTURE	3-WAY SWITCH
LIGHT FIXTURE	EXHAUST FAN	RECESSED CAN LIGHT
SINGLE SWITCH	RECESSED CAN LIGHT	SMOKE DETECTOR
DUPLEX OUTLET	SMOKE DETECTOR	FLOURESCENT LIGHT
GRND FAULT OUTLET	FLOURESCENT LIGHT	PENDANT LIGHT
SPLIT OUTLET	PENDANT LIGHT	4-WAY SWITCH
O.H.D. PREWIRE	4-WAY SWITCH	
WALL LIGHT SCONCE		
EYEBALL RECESS CAN		

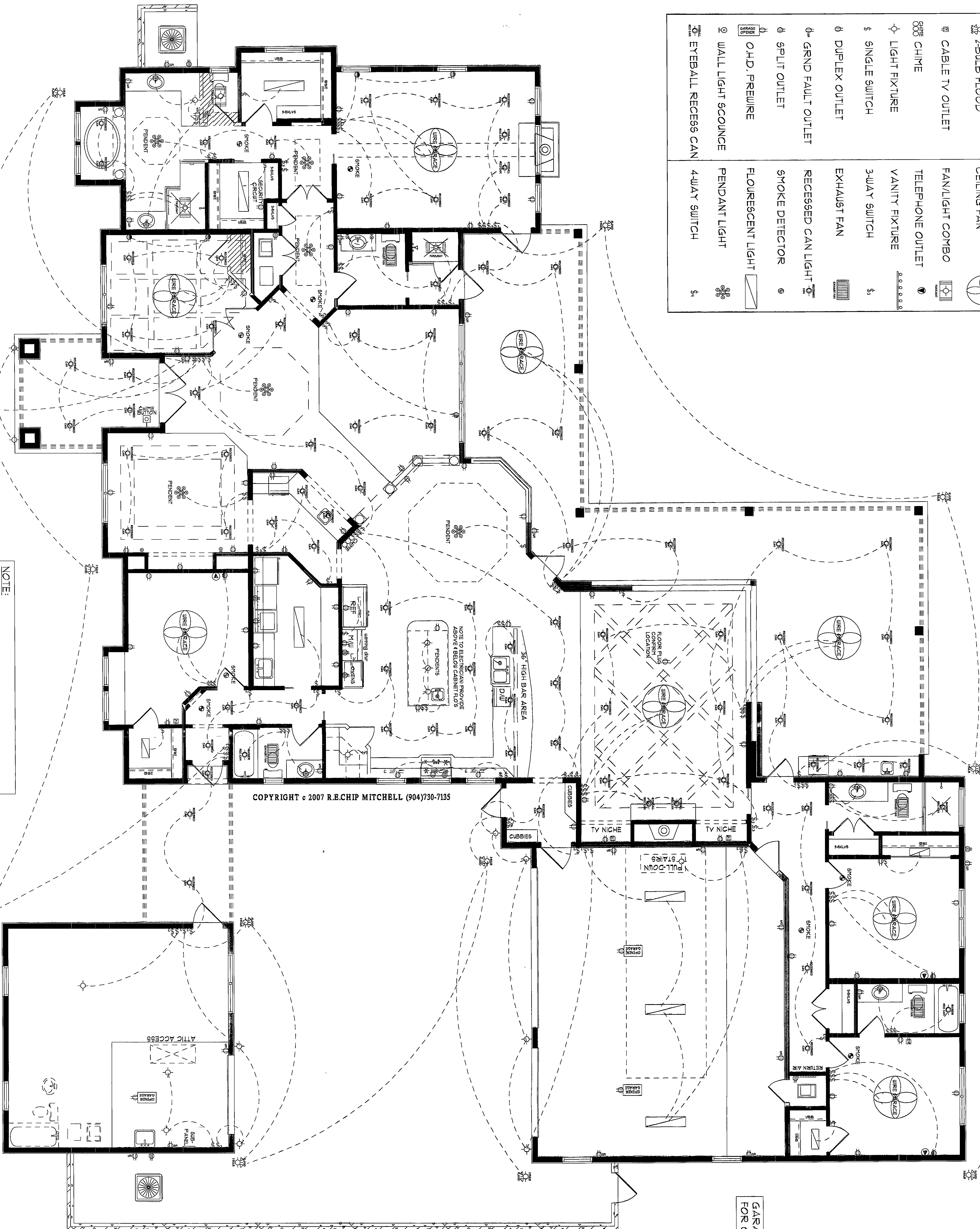
NOTE: HOME TO BE PREPARED FOR SECURITY.

PURCHASERS' RIGHT TO USE THIS PLAN IS LIMITED TO A ONE TIME USE ON THE LOT, BLOCK AND SUBDIVISION STATED HEREIN.

GARAGE TO BE PREPARED FOR GARAGE DOOR OPENER

FINAL ARB APPROVAL

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NOTE: PROVIDE SUFFICIENT POWER FOR FUTURE FRONT YARD FOUNTAIN.

NOTE: THE ELECTRICIAN SHALL FURNISH ALL RECESS CAN FIXTURES AND TRIMS TO INCLUDE ALL BULBS. THE ELECTRICIAN SHALL ALSO FURNISH ALL EXTERIOR FLOOD FIXTURES AND SHALL INCLUDE ALL BULBS FOR THEM. THE ELECTRICIAN SHALL ALSO PROVIDE ALL CABLE AND TELEPHONE TRIMS THAT THEY ROUGH IN.

ELECTRICAL PLAN
REVISED: N/A

PRODUCTION DRAWINGS FROM: **Award Winning Designs from Designs For Living**

SERVING N/E FLORIDA SINCE 1978

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OFFICE (904) 730-7135

DRAWN ESPECIALLY FOR: **THE DAVIS FAMILY**

BUILT BY: OWNER/BUILDER

SCALE: 1/4" = 1'0"

DATE: 8/12/2007

DRAWN BY: R.E.M.

120 HOLLY BERRY LANE

R/E #: 000381/0220

DWG. NO. 6727

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