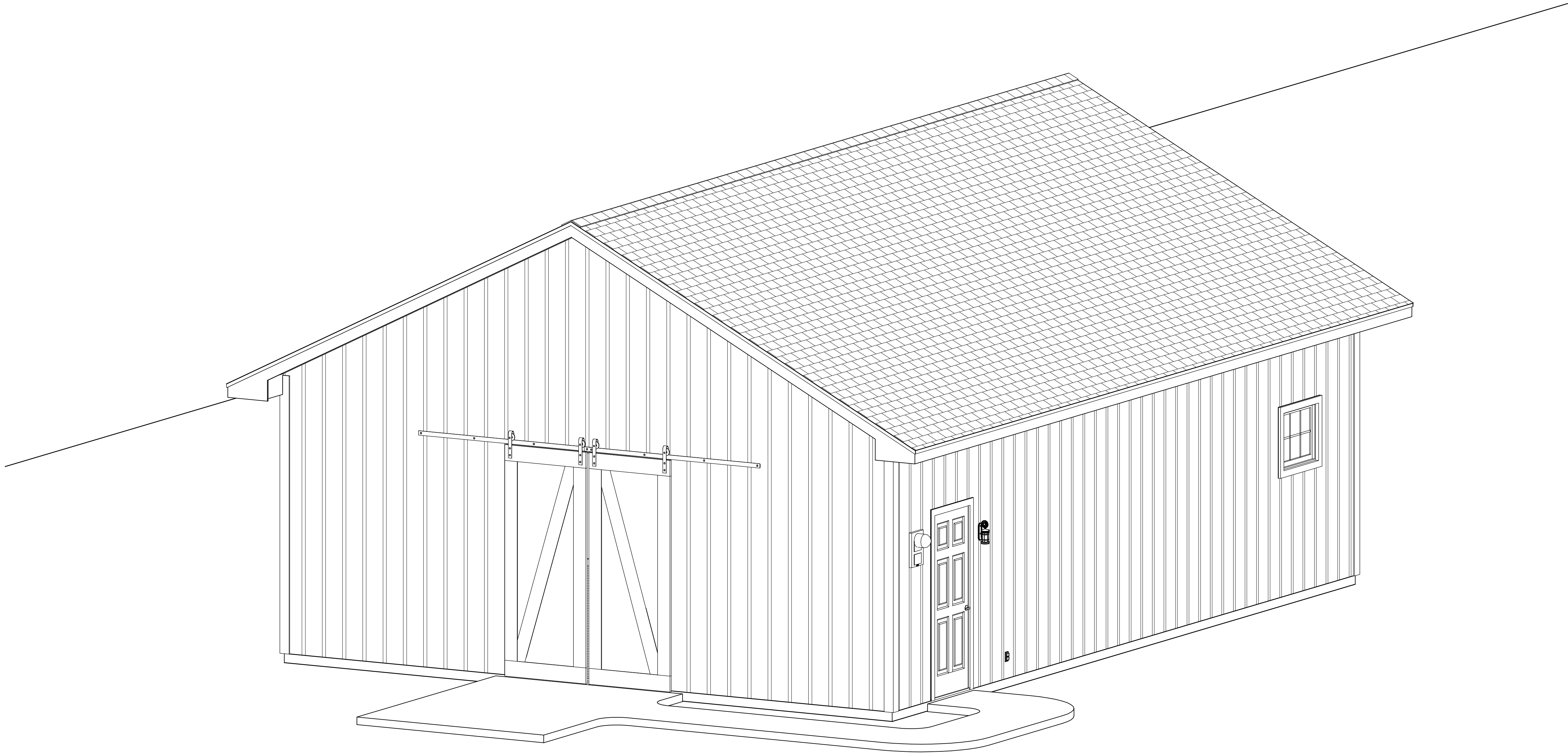


# UTILITY BARN FOR THE AKINS FAMILY

PERMIT PLAN SET 3/13/2017



9420 FORD ROAD  
BRYCEVILLE, FL 32009  
LOT 18, CALICO WOODS  
R/E #: 03-15-24-021W-0018-0000  
BUILT BY:  
OWNER-BUILDER  
MATT & STEPHANIE AKINS

INDEX TO DRAWINGS:	
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A-2:	SITE PLAN
A-3:	FOUNDATION PLAN
A-4:	FLOOR PLAN
A-5:	ELEVATIONS
A-6:	ELECTRICAL PLAN
A-7:	ROOF TRUSS PLAN
A-8:	ROOF TRUSS SECTIONS
A-9:	ISOMETRIC VIEWS
A-10:	BUILDING SECTION

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PLAN #  
1200

CLIENT APPROVAL SIGNATURE	DATE
MATT AKINS	
STEPHANIE AKINS	

BUILT BY:  
OWNER-BUILDER  
MATT & STEPHANIE AKINS  
5420 FORD ROAD  
BRYCEVILLE, FL 32009

PROJECT DESCRIPTION:  
UTILITY BARN FOR THE AKINS  
FAMILY  
9420 FORD ROAD  
BRYCEVILLE, FL 32009

Design Drawings  
provided by:  
DESIGNS FOR LIVING, LLC  
RESIDENTIAL DRAFTING SINCE 1999  
904-730-7135

DATE:
3/13/2017
SCALE:
N.T.S
SHEET:
A-1

FLOOD ZONE: X

# EXISTING HOME

9420 FORD ROAD

NOTE: CONFIRM ALL SETBACKS  
WITH OWNER

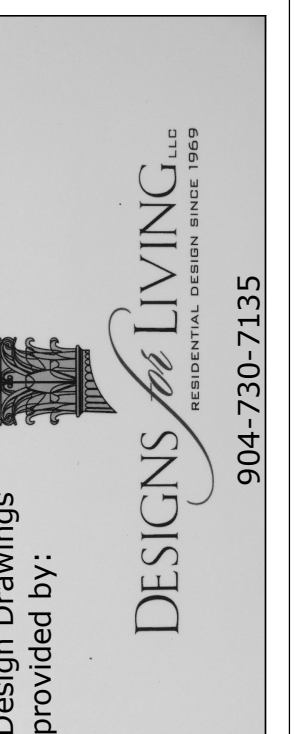
SITE CALCULATIONS:  
TOTAL LAND AREA: 1.0 ACRES= 43,560 S.F.  
HOME COVERAGE: 3,751 S.F.  
% OF BUILDING COVERAGE: 8.61%

## SITE INFORMATION

DATE	CLIENT APPROVAL SIGNATURE
	MATT AKINS
	STEPHANIE AKINS

OWNER-BUILDER  
MATT & STEPHANIE AKINS  
5420 FORD ROAD  
BRYCEVILLE, FL 32009

DESCRIPTION:  
LITY BARN FOR THE AKINS  
FAMILY  
9420 FORD ROAD  
BRYCEVILLE, FL 32009



3/13/2017

 $1'' = 20'-0''$ 

**A-2**

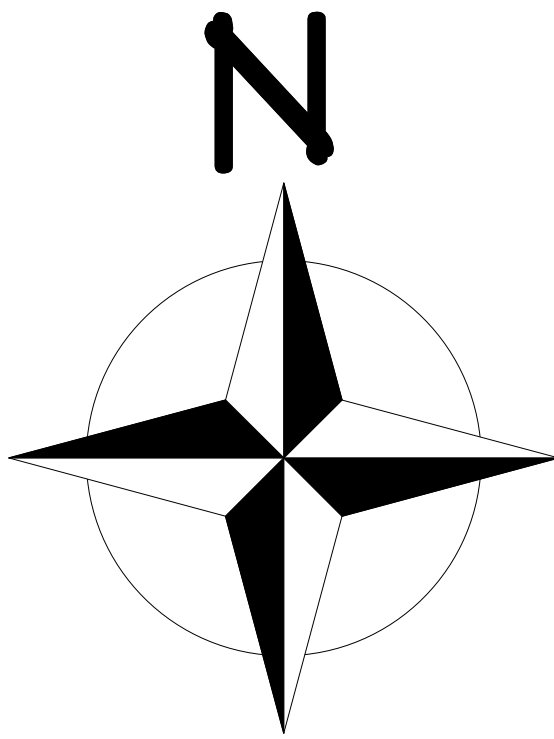
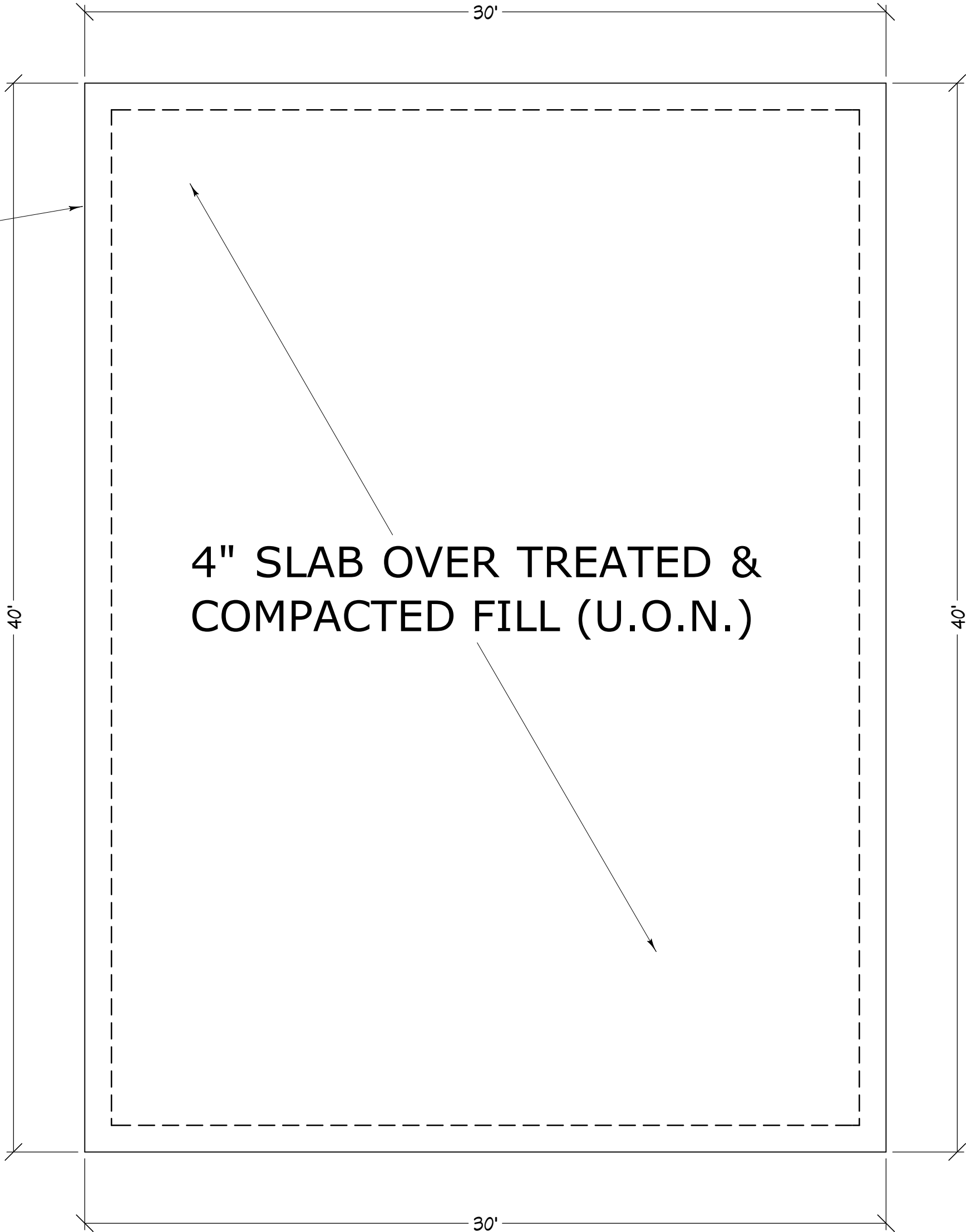
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FOUNDATION NOTES: SEE SPECIFICATIONS  
MONOLITHIC FOUNDATION 12"X20" FOOTERS (UON)  
W/2-#5 RODS CON'T SEE STRUCTURALS WITH  
INTEGRATED 5" EXTENSION BRICK LEDGE

CONSTRUCT FOUNDATION USING THE  
STRUCTURAL BUILDING ENGINEERS PLANS

CONTRACT NOTE: CONTRACT AND  
SPECIFICATIONS TAKE PRECEDENCE  
OVER THESE DRAWINGS. ANY CONFLICT  
WILL DEFAULT TO SAID DOCUMENTS.

8" ANCHOR BOLTS @ 32" O.C.-TYP



FOUNDATION PLAN

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DATE:
3/13/2017
SCALE:
1/4" = 1'-0"
SHEET:
A-3

Design Drawings provided by:



DESIGNS for LIVING, LLC  
RESIDENTIAL DESIGN SINCE 1999  
904-730-7135

PROJECT DESCRIPTION:  
UTILITY BARN FOR THE AKINS  
FAMILY  
9420 FORD ROAD  
BRYCEVILLE, FL 32009

BUILT BY:  
OWNER-BUILDER  
MATT & STEPHANIE AKINS  
5420 FORD ROAD  
BRYCEVILLE, FL 32009

CLIENT APPROVAL SIGNATURE	DATE
MATT AKINS	
STEPHANIE AKINS	

PLAN #  
1200



R302.11 Fireblocking.

In combustible construction, fireblocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space.

Fireblocking shall be provided in wood-frame construction in the following locations:

1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:
  - 1.1. Vertically at the ceiling and floor levels.
  - 1.2. Horizontally at intervals not exceeding 10 feet (3048 mm).
2. At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
3. In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7.
4. At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion. The material filling this annular space shall not be required to meet the ASTM E 136 requirements.
5. For the fireblocking of chimneys and fireplaces, see Section R1003.19.
6. Fireblocking of cornices of a two-family dwelling is required at the line of dwelling unit separation.

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

SECTION R310  
EMERGENCY ESCAPE AND RESCUE OPENINGS

R310.1 Emergency escape and rescue required. Basements, habitable attics and every sleeping room shall have at least one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, emergency egress and rescue openings shall be required in each sleeping room. Where emergency escape and rescue openings are provided they shall have a sill height of not more than 44 inches (1118 mm) above the floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with Section R310.3. The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. Emergency escape and rescue openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with Section R310.2. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.

Exceptions:

1. Basements used only to house mechanical equipment and not exceeding total floor area of 200 square feet (18.58 m2).
2. The emergency escape and rescue opening shall be permitted to open into a screen enclosure, open to the atmosphere, where a screen door is provided leading away from the residence.

R310.1.1 Minimum opening area.

All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m2).

Exception:

Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465 m2).

R310.1.2 Minimum opening height.

The minimum net clear opening height shall be 24 inches (610 mm).

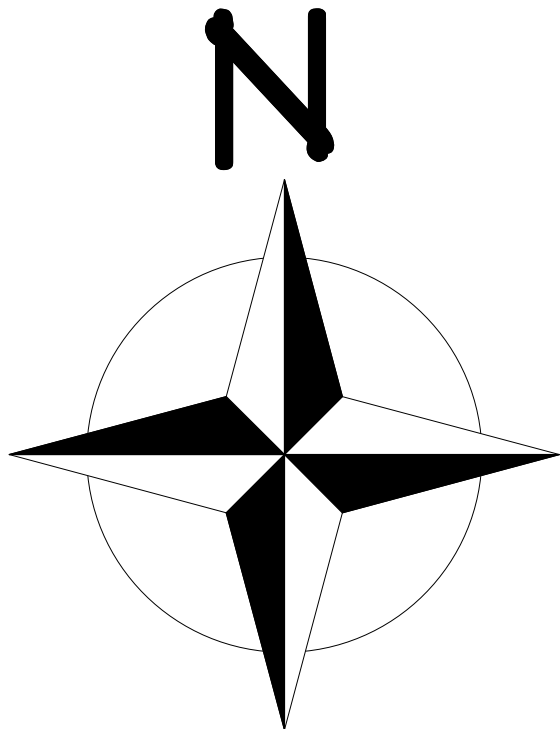
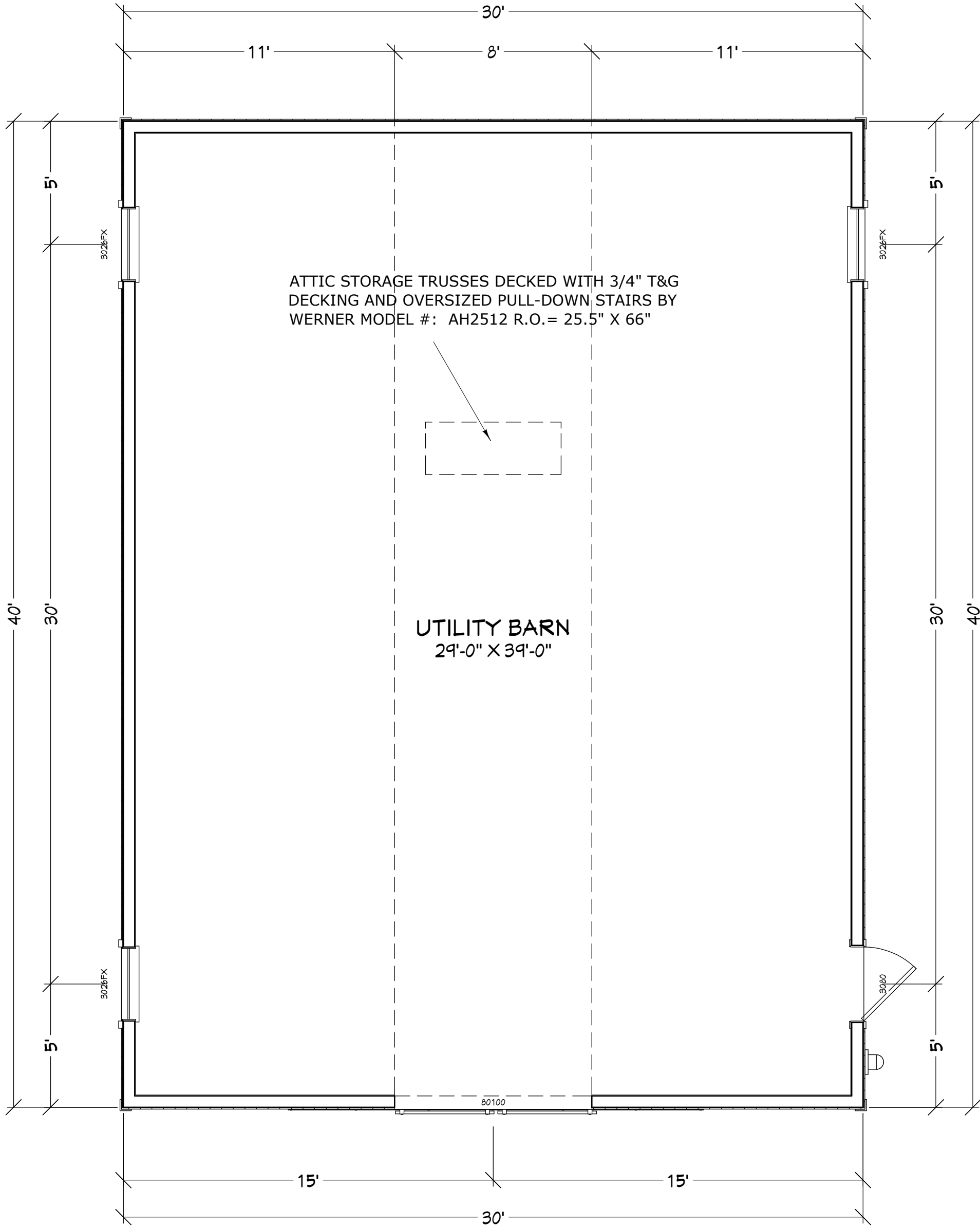
R310.1.3 Minimum opening width.

The minimum net clear opening width shall be 20 inches (508 mm).

R310.1.4 Operational constraints.

Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys, tools or special knowledge.

ALL EXTERIOR WALLS ARE 2X4  
#2SPF @ 16" O.C. @ 12'-1&1/8"



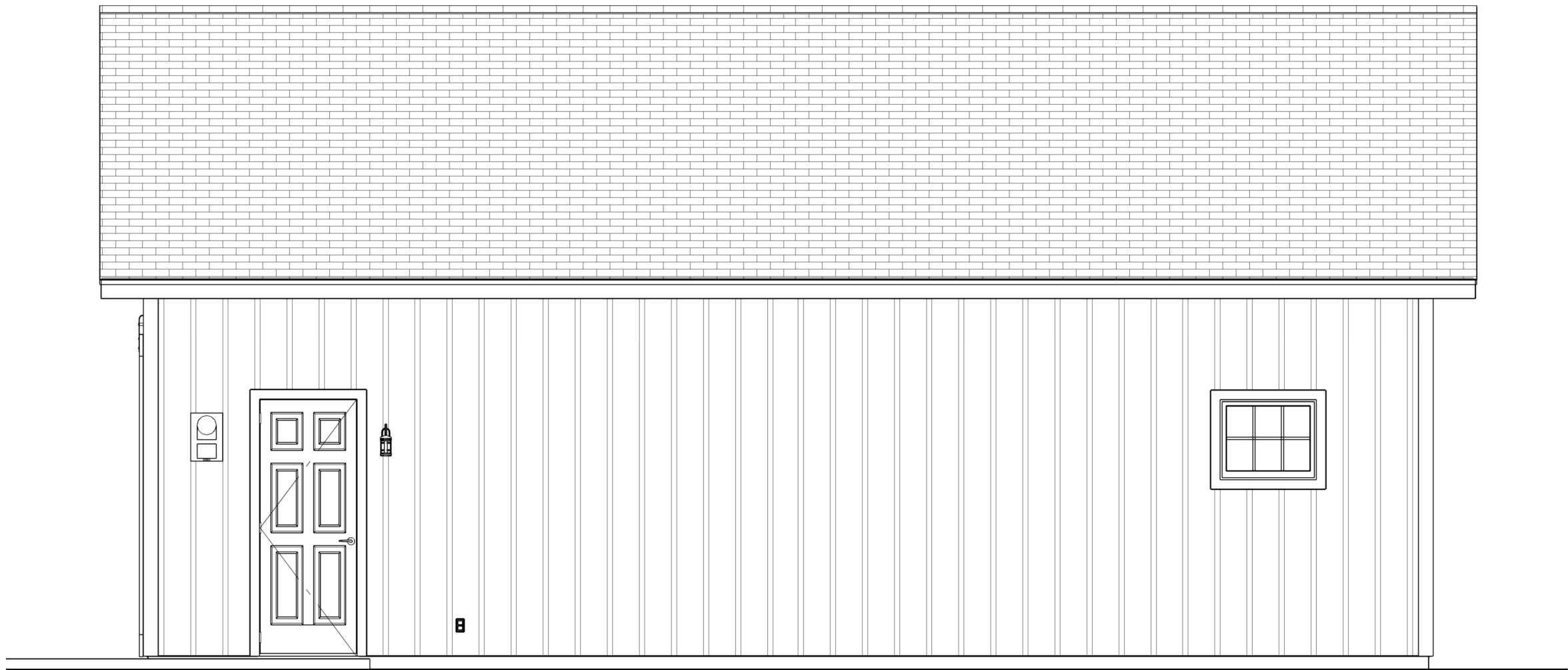
FOOTAGES (A.N.S.I.):	
UTILITY STORAGE:	1,200
ATTIC STORAGE:	480
SLAB AREA:	1,200
TOTAL UNDER ROOF:	1,200

FLOOR PLAN

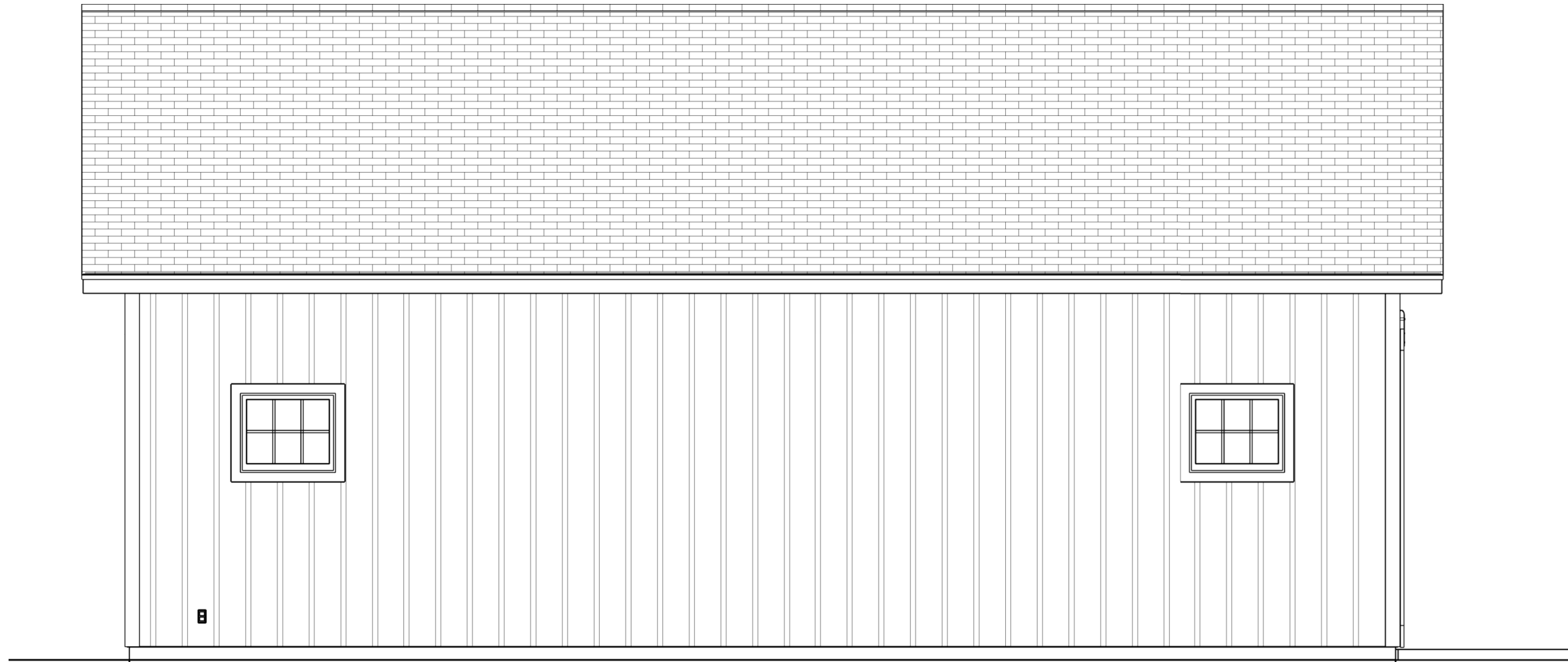
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PLAN # 1200	
CLIENT APPROVAL SIGNATURE	DATE
MATT AKINS	
STEPHANIE AKINS	
BUILT BY: OWNER-BUILDER MATT & STEPHANIE AKINS 5420 FORD ROAD BRYCEVILLE, FL 32009	
PROJECT DESCRIPTION: UTILITY BARN FOR THE AKINS FAMILY 9420 FORD ROAD BRYCEVILLE, FL 32009	
Design Drawings provided by: DESIGNS FOR LIVING, LLC RESIDENTIAL DESIGN SINCE 1998 904-730-7135	
DATE:	3/13/2017
SCALE:	1/4" = 1'-0"
SHEET:	A-4



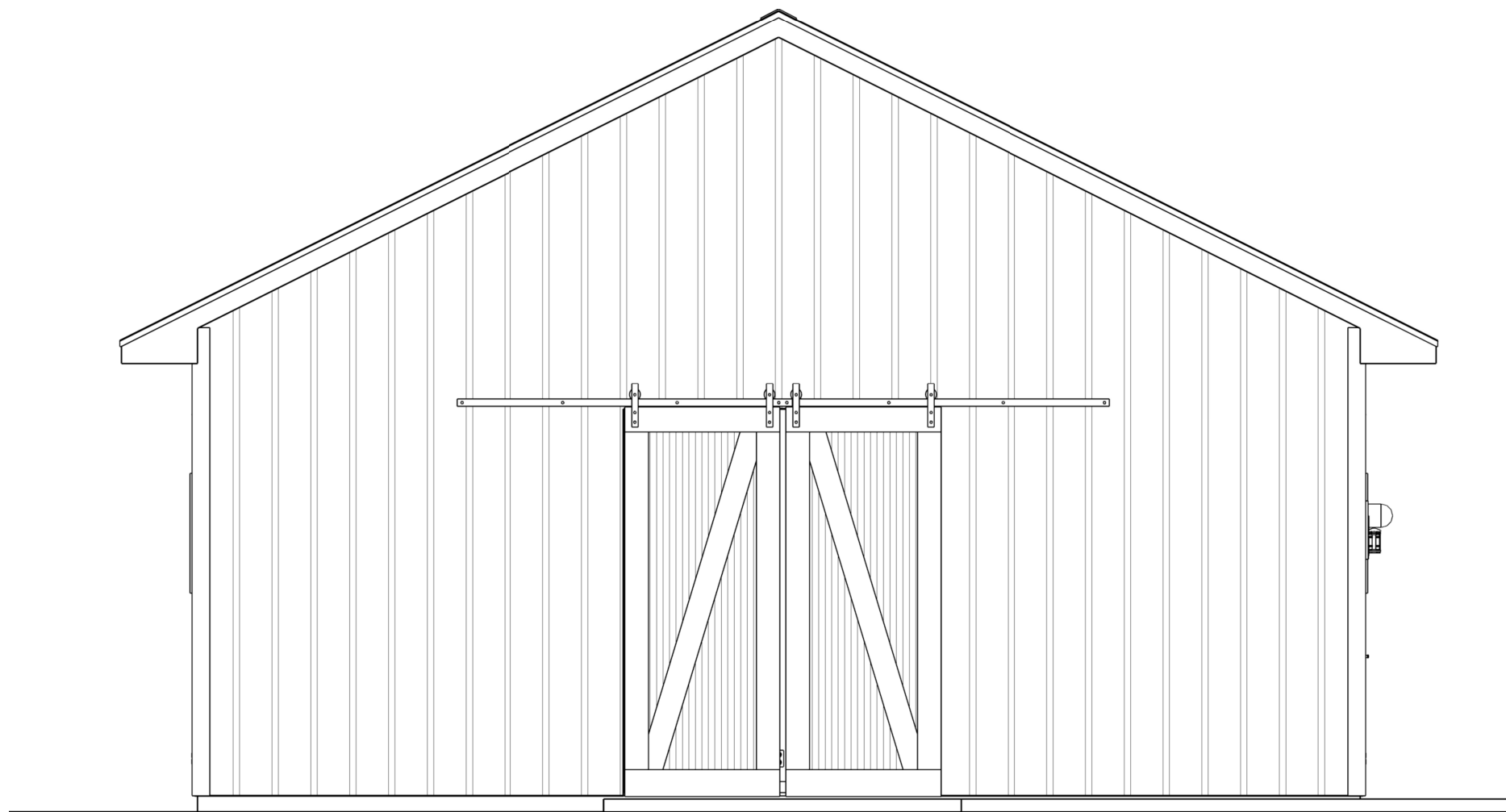


LEFT (WEST) ELEVATION



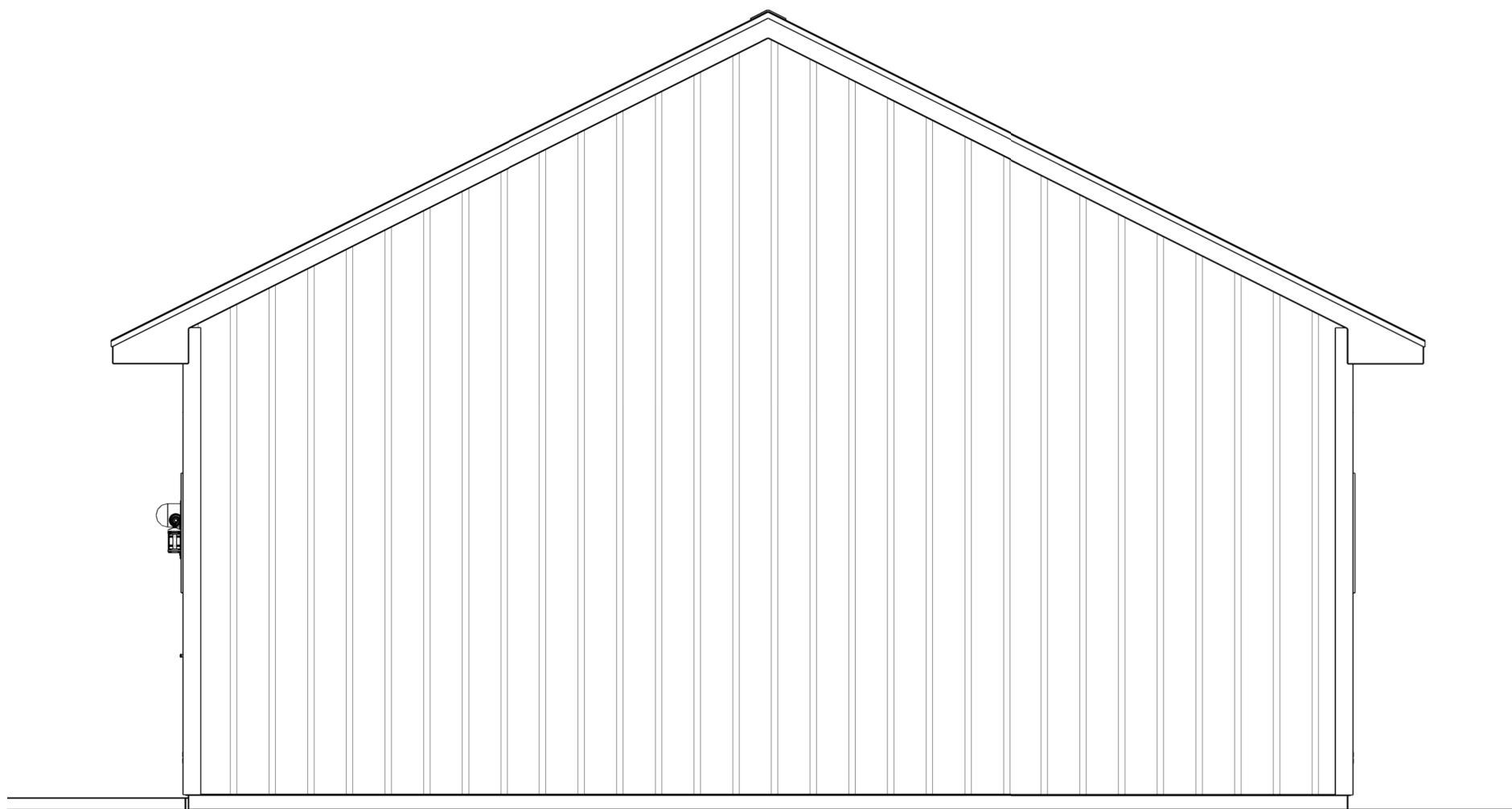
RIGHT (EAST) ELEVATION

- EXTERIOR NOTES:
- 1. 5/8" RB&B VERTICAL SIDING W/Z-FLASHING @ THE HORIZONTAL JOINTS
  - 2. CORNER BOARDS 5.5" MAIN
  - 3. SOFFITS: BUILDER GRADE VENTED VINYL
  - 4. SHINGLES: FIBERGLASS ARCHITECTURAL
  - 5. WINDOWS: METAL INDUSTRIES
  - 6. ROOF VENTING: CONTINUOUS RIDGE VENT



FRONT (SOUTH) ELEVATION

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



REAR (NORTH) ELEVATION

ELEVATIONS

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PLAN #  
1200

CLIENT APPROVAL SIGNATURE DATE

MATT AKINS

STEPHANIE AKINS

BUILT BY:

OWNER-BUILDER  
MATT & STEPHANIE AKINS  
5420 FORD ROAD  
BRYCEVILLE, FL 32009

PROJECT DESCRIPTION:

UTILITY BARN FOR THE AKINS  
FAMILY  
9420 FORD ROAD  
BRYCEVILLE, FL 32009

Design Drawings  
provided by:

DESIGNS FOR LIVING, LLC  
RESIDENTIAL DESIGN SINCE 1998  
904-730-7135

DATE:

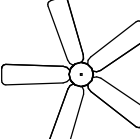
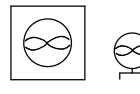






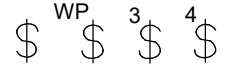

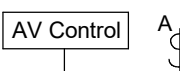

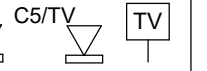




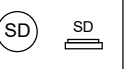

3/13/2017

SCALE:

1/4" = 1'-0"

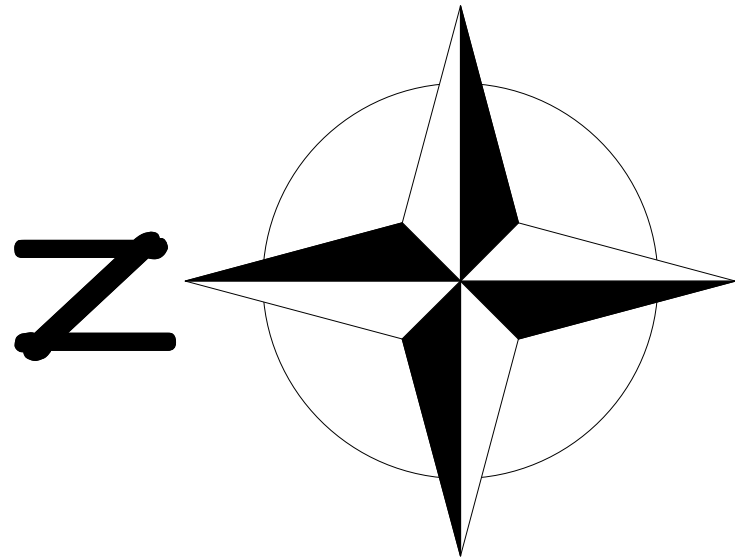
SHEET:

A-5

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

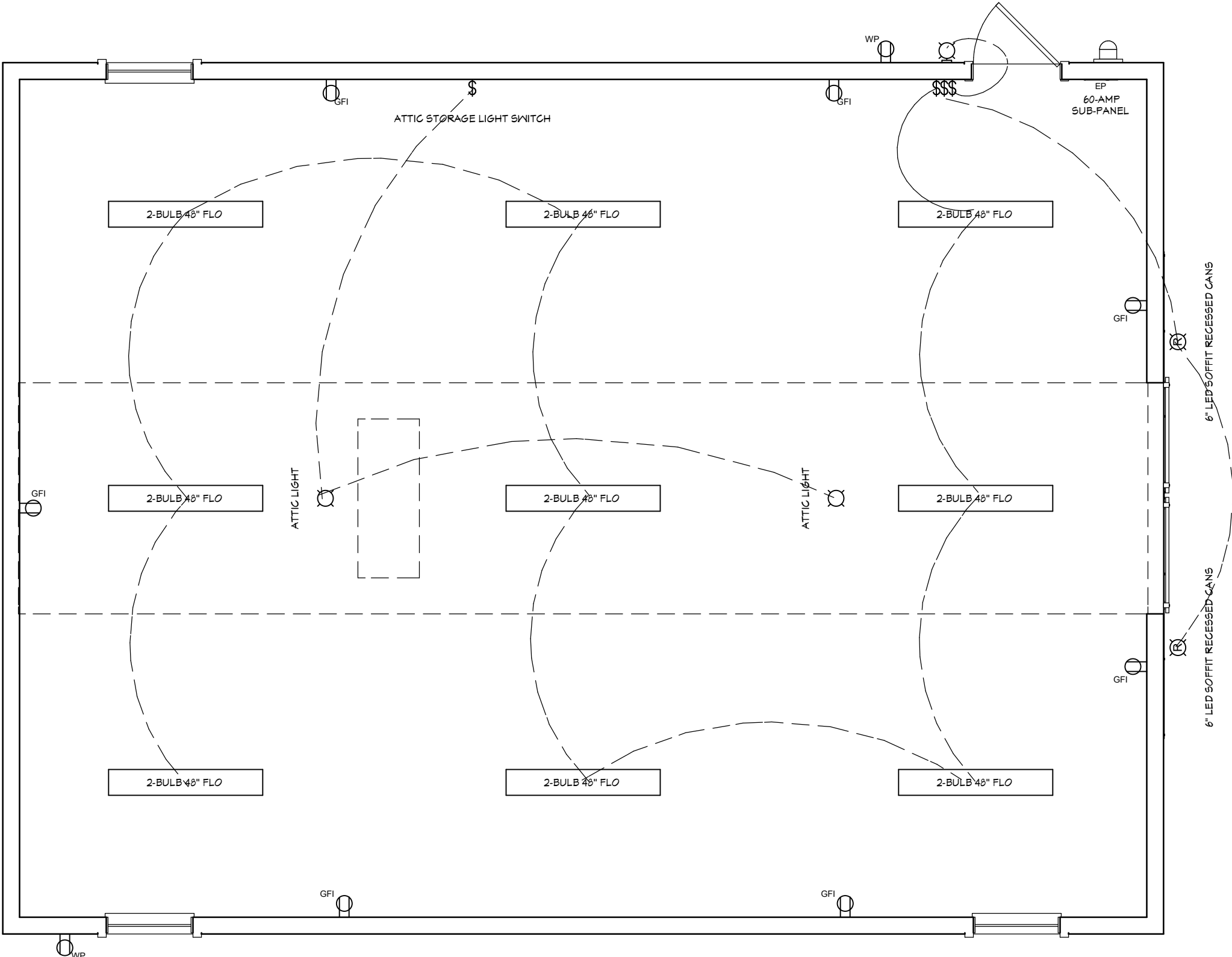
ELECTRICAL NOTES:

1. METER LOCATION TO BE DETERMINED, IF ALLOWABLE
2. PROPERTY HAS WELL & PRIVATE SEPTIC
3. SECURITY PRE-WIRE & TRIM -CONFIRM
4. PRE-WIRE & TRIM FOR CAT5/TV PER PLANS-CONFIRM
5. CONFIRM WITH OWNER ON STRUCTURED WIRING
6. ONE-100 AMP ELECTRICAL PANELS
7. CONFIRM ALL ELECTRICAL W/OWNER PRIOR TO WIRING ANYTHING



PER FBC-R-E3902.12 AFCI PROTECTION REQUIRED Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed AFCI, combination type.

PER FBC-R-E3901.7, NEC 210, E3901.7 & E3902.3 GFCI PROTECTION REQUIRED Bathrooms, garages, boathouses & accessory structures not intended as habitable rooms and limited to storage, work & similar uses. Outdoors, crawl spaces, unfinished basements, kitchen countertops. Outlets within 6 feet of laundry, utility or wet sinks. Balcony, deck or porch greater than 20 s.f. One at the front and back of the dwelling and at the condenser units.



EFFICACY NOTE: THE NEW FBC-R FBC EC R404.1 & R202 BUILDING CODE REQUIRES ALL INSIDE & OUTSIDE LIGHT FIXTURES WILL USE CFL OR LED LIGHT BULBS.

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

ELECTRICAL PLAN

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PLAN #  
1200

CLIENT APPROVAL SIGNATURE

DATE

MATT AKINS

STEPHANIE AKINS


BUILT BY:

OWNER-BUILDER  
MATT & STEPHANIE AKINS  
5420 FORD ROAD  
BRYCEVILLE, FL 32009

PROJECT DESCRIPTION:

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Design Drawings  
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DESIGNS for LIVING, LLC  
RESIDENTIAL DRAWING SINCE 1998  
904-730-7135

DATE:

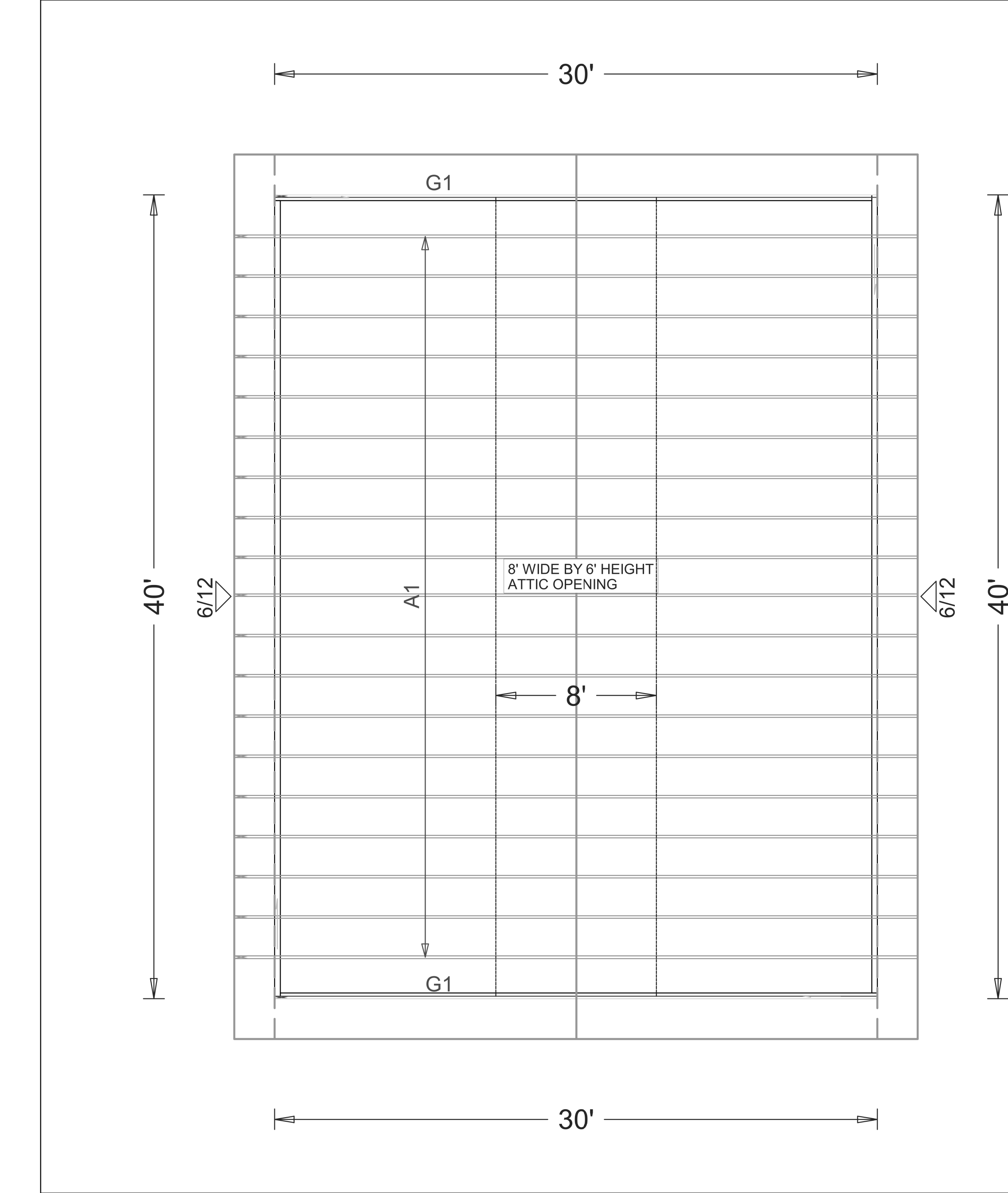
3/13/2017

SCALE

1/4" = 1'-0"

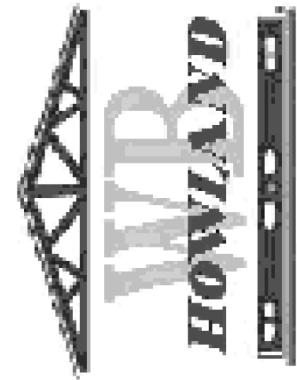
SHEET:

A-6



W.B. Howland Truss Co.  
610 11TH STREET SW  
Live Oak, FL 32064  
(386) 362-1235  
(386) 362-7124 (Fax)

ROOF PITCH: 6/12  
CLG PITCH: FLAT  
OVERHANG: 24"  
LOADING: 40  
WIND LOAD: 130  
EXPOSURE: C  
EXT WALLS: 2X4  
DATE: 1/24/2017



JOB #: 16-1110

Job Name: LONNIE MCDANIEL 30X40  
Customer: OWNER BUILDER  
Designer: JASON TAYLOR  
ADDRESS:  
SALESMAN: HOUSE  
: <Not Found>

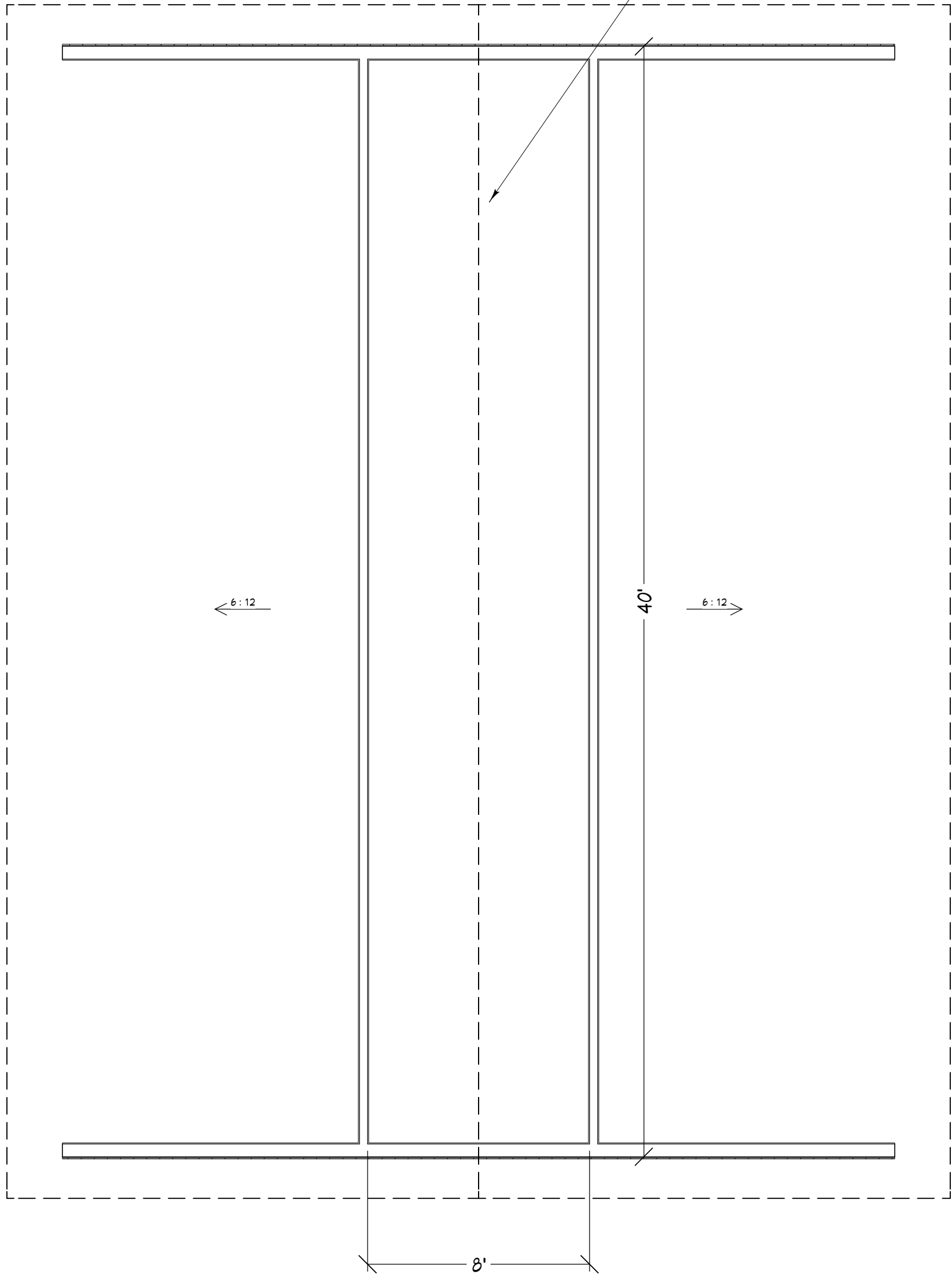
JOB NO:  
16-1110

PAGE NO:  
1 OF 1

**ROOF NOTES:**  
PITCH: 6/12  
UNDERLAYMENT: SYNTHETIC FELT  
ROOFING: FIBERGLASS SHINGLES  
MAIN EAVE OVERHANG: 24"  
FASCIA: PLUMB CUT 2X6 WITH 1X2 DRIP OVER 2X4 SUB-FASCIA WITH CPVC COATED ALUMINUM OVERLAY  
SOFFITS: BUILDER GRADE VENTILATED VINYL  
GABLE OVERHANG: 18"  
ATTIC FRAME TRUSSES WITH A 8 FOOT FLOOR WIDTH DECKED WITH 3/4" T&G DECKING  
SHEATHING: 7/16"APA RATED SHEATHING W/8d RING SHANK NAILS @ 6" O.C. ON THE EDGES AND 6" O.C. ON INTERMEDIATE FRAMING ON PRE-ENGINEERED TRUSSES  
ROOF VENTING: CONTINUOUS RIDGE VENT

WIND LOAD: 130 EXPOSURE: "C"

CONTINUOUS RIDGE VENTS PER PLAN



CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

## ROOF TRUSS PLAN

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Design Drawings  
provided by:



904-730-7135

DATE:

3/13/2017

SCALE:

1/4" = 1'-0"

SHEET:

A-7

PROJECT DESCRIPTION:

UTILITY BARN FOR THE AKINS  
FAMILY  
9420 FORD ROAD  
BRYCEVILLE, FL 32009

BUILT BY:

OWNER-BUILDER  
MATT & STEPHANIE AKINS  
5420 FORD ROAD  
BRYCEVILLE, FL 32009

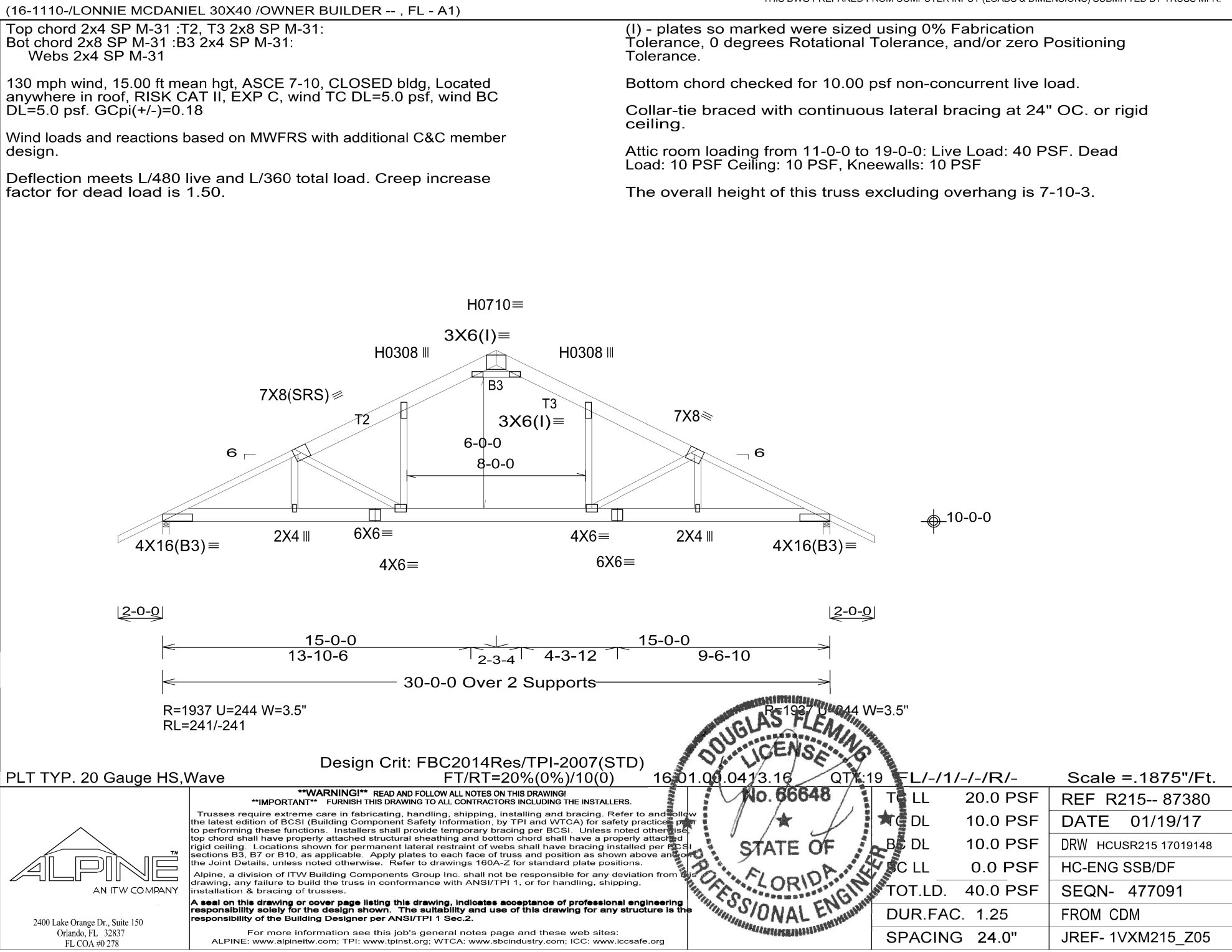
CLIENT APPROVAL SIGNATURE DATE

MATT AKINS

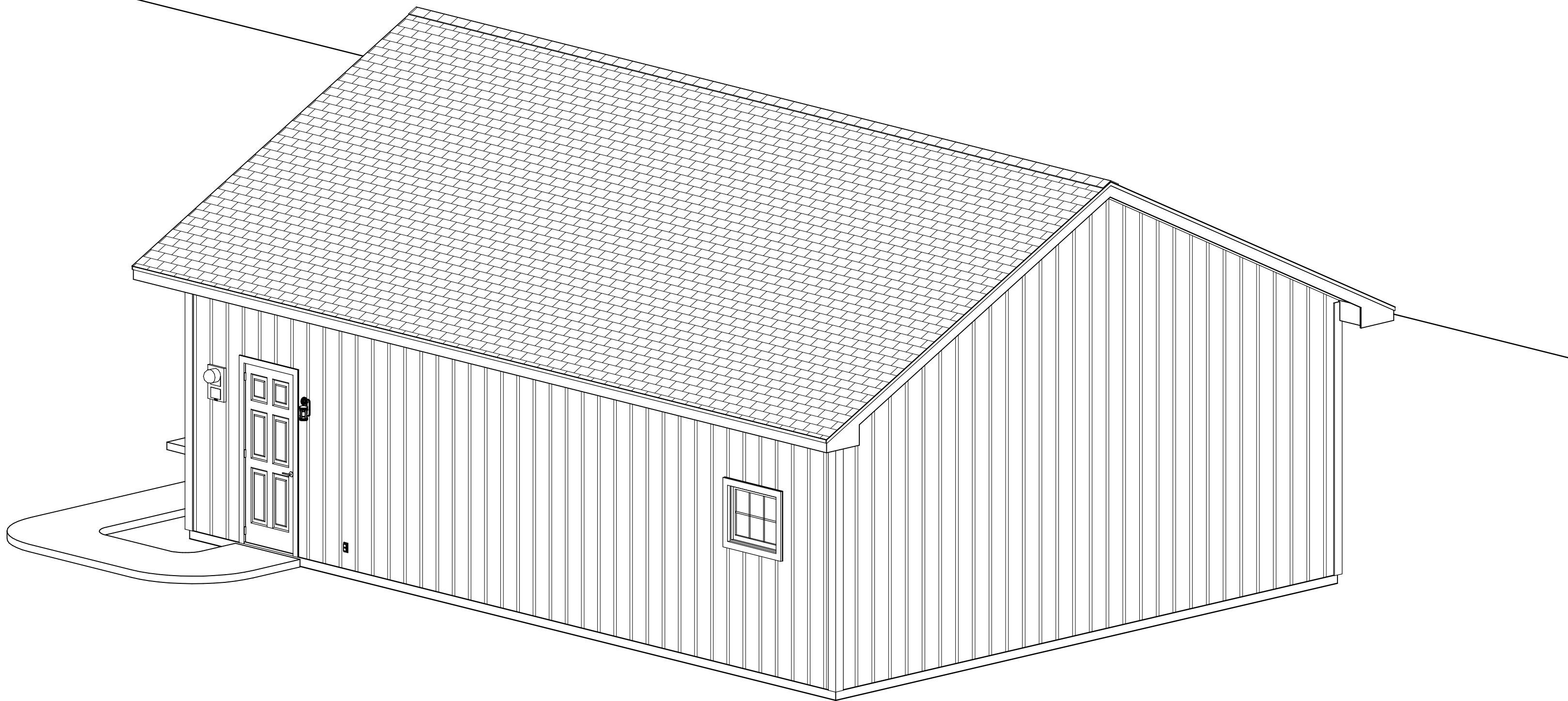
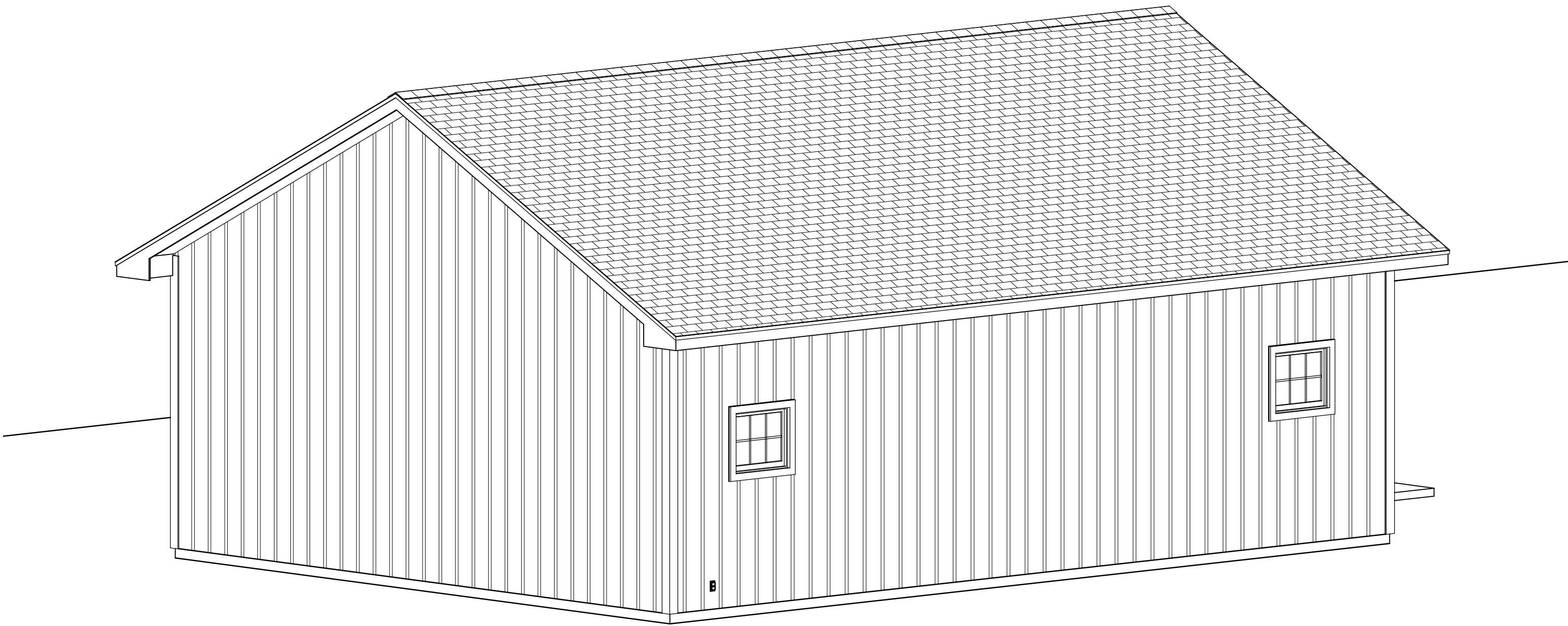
STEPHANIE AKINS

PLAN #  
1200





- EXTERIOR NOTES:
1. 5/8" RB&B VERTICAL SIDING W/Z-FLASHING @ THE HORIZONTAL JOINTS
  2. CORNER BOARDS 5.5" MAIN
  3. SOFFITS: BUILDER GRADE VENTED VINYL
  4. SHINGLES: FIBERGLASS ARCHITECTURAL
  5. WINDOWS: METAL INDUSTRIES
  6. ROOF VENTING: CONTINUOS RIDGE VENT



CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

ISOMETRIC VIEWS

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Design Drawings  
provided by:

**DESIGNS FOR LIVING, LLC**  
RESIDENTIAL DRAWING SINCE 1998

904-730-7135

DATE:
3/13/2017
SCALE:
N.T.S
SHEET:
A-9

PROJECT DESCRIPTION:  
UTILITY BARN FOR THE AKINS  
FAMILY  
9420 FORD ROAD  
BRYCEVILLE, FL 32009

BUILT BY:  
OWNER-BUILDER  
MATT & STEPHANIE AKINS  
5420 FORD ROAD  
BRYCEVILLE, FL 32009

CLIENT APPROVAL SIGNATURE	DATE
MATT AKINS	
STEPHANIE AKINS	

PLAN #  
1200



CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

- EXTERIOR NOTES:
- 1. 5/8" RB&B VERTICAL SIDING W/Z-FLASHING @ THE HORIZONTAL JOINTS
  - 2. CORNER BOARDS 5.5" MAIN
  - 3. SOFFITS: BUILDER GRADE VENTED VINYL
  - 4. SHINGLES: FIBERGLASS ARCHITECTURAL
  - 5. WINDOWS: METAL INDUSTRIES
  - 6. ROOF VENTING: CONTINUOUS RIDGE VENT

BOX-FRAME TRUSSES WITH 2X12 BOTTOM CHORDS DECKED WITH 3/4" T&G DECKING GLUED AND FASTENED PER CODE

STRUCTURAL ENGINEERS  
DETAILS TAKE PRECEDENCE

6/12 PITCH

VENTED BUILDER GRADE VINYL SOFFITS W/CPVC COATED ALUMINUM FASCIA OVER 1X2 DRIP AND 2X6 SUBFASCIA

RB&B 5/8" VERTICAL SIDING NAILED AT 3" O.C. IN THE FIELD AND 6" O.C. IN THE PERIMETER W/8D NAILS (U.O.N.)

HURRICANE CLIPS AT ALL TRUSSES (U.O.N.)

2X12 BOTTOM CHORD

ALL HEADERS TO BE 3-2X12'S (U.O.N.) CRIPPLES & KINGS PER CONVENTIONAL STANDARDS

MONOLITHIC FOOTERS & SLAB

12"X20" MONOLITHIC FOOTER WITH 2-#5 RODS CONTINUOUS ON CHAIRS @ 6'-0" O.C. MAX AND 4" INTEGRATED SLAB, 2500 PSI CONCRETE, WITH FIBERMESH 3/4#/SYD

MAXIMUM BUILDING HEIGHT

STORAGE CEILING HEIGHT

STORAGE FINISHED FLOOR

1ST FLOOR P.H.

HEADER HEIGHT

1ST FINISHED FLOOR

BUILDING CROSS-SECTION

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PLAN #  
1200

CLIENT APPROVAL SIGNATURE	DATE
MATT AKINS	
STEPHANIE AKINS	

BUILT BY:  
OWNER-BUILDER  
MATT & STEPHANIE AKINS  
5420 FORD ROAD  
BRYCEVILLE, FL 32009

PROJECT DESCRIPTION:  
UTILITY BARN FOR THE AKINS  
FAMILY  
9420 FORD ROAD  
BRYCEVILLE, FL 32009

Design Drawings  
provided by:  
DESIGNS FOR LIVING, LLC  
RESIDENTIAL DESIGN SINCE 1999  
904-730-7135

DATE:

3/13/2017

SCALE:

1/2" = 1'-0"

SHEET:

A-10