

FUTURE BARN FOR THE AKINS FAMILY

REVIEW PLAN SET 11/26/2016

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9420 FORD ROAD
BRYCEVILLE, FL 32009
BUILT BY:
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Design Drawings
provided by:

904-730-7135

DATE:
11/26/2016
SCALE:
N.T.S
SHEET:
A-1

PROJECT DESCRIPTION:
FUTURE BARN FOR THE AKINS
FAMILY
9420 FORD ROAD
BRYCEVILLE, FL 32009

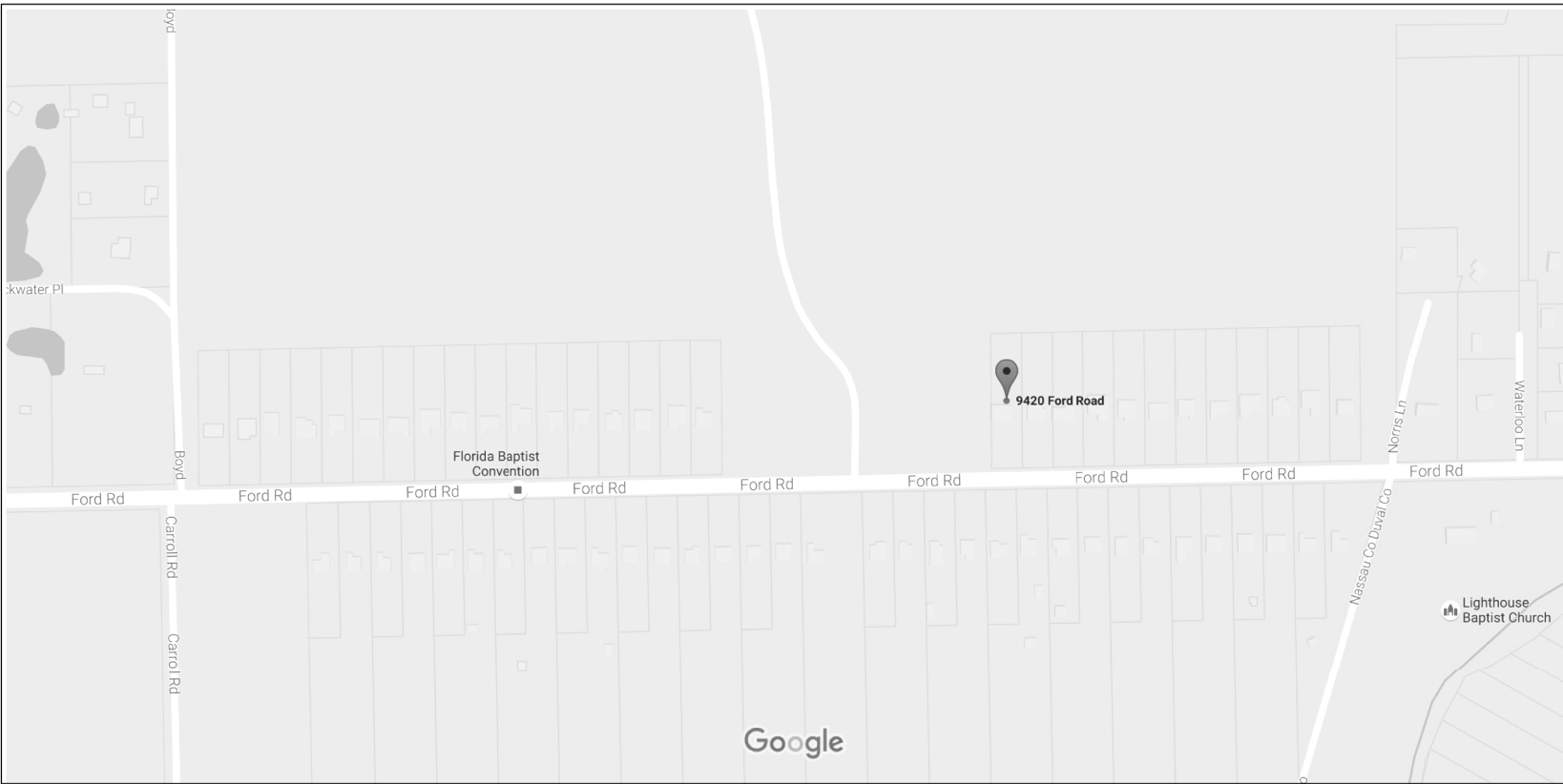
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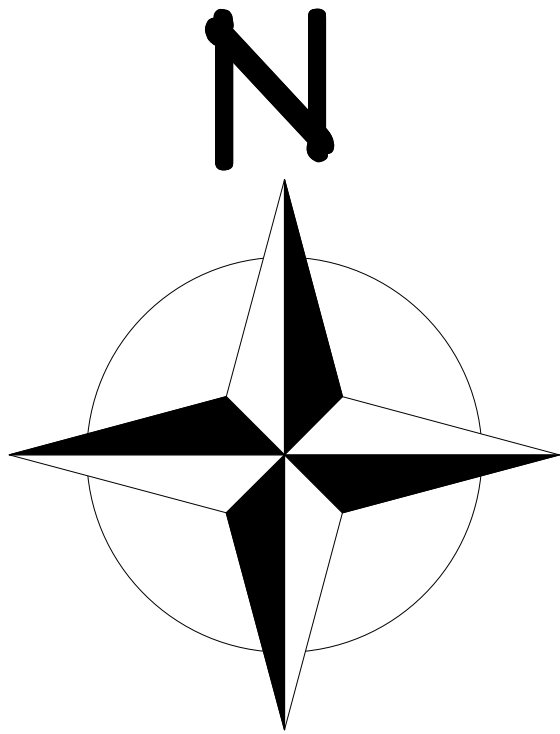
CLIENT	APPROVAL SIGNATURE	DATE
	MATT AKINS	
	STEPHANIE AKINS	

PLAN #
1200

SITE LOCATION



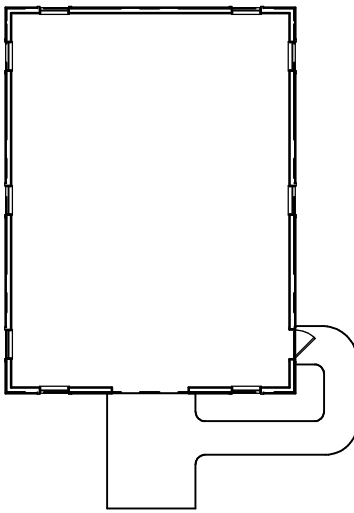
WATER: PRIVATE WELL
SEWER: PRIVATE SEPTIC
ELECTRIC: FPL



WIND DESIGN CRITERIA:
WIND SPEED: 120 MPH
EXPOSURE CATEGORY: "B"
BUILDING TYPE: ENCLOSED
BUILDING CATEGORY: II
IMPORTANCE FACTOR: 1.0
TOPOGRAPHY: FLAT
MEAN ROOF HEIGHT: -25 FT
BUILDING CODE: 2014 FBC-R

FLOOD ZONE: X

100.00'



435.60'

435.60'

100.00'

9420 FORD ROAD

LEGAL DESCRIPTION:
R/E #: 03-15-24-021W-0018-0000
CALICO WOODS SUBDIVISION
LOT 18, RECORDED O/R1426/1080, PB 6/374

NOTE: CONFIRM ALL SETBACKS
WITH BUILDER & OWNER

CONTRACT NOTE: CONTRACT AND
SPECIFICATIONS TAKE PRECEDENCE
OVER THESE DRAWINGS. ANY CONFLICT
WILL DEFAULT TO SAID DOCUMENTS.

SITE CALCULATIONS:
TOTAL LAND AREA: 1.0 ACRES= 43,560 S.F.
HOME COVERAGE: 1,410.00 S.F.
% OF BUILDING COVERAGE: 14.10%
PARKING & HVAC COVERAGE: 818.84 S.F.
% OF STOOPS & HVAC COVERAGE: 8.19%
TOTAL IMPERVIOUS: 22.29%

SITE INFORMATION

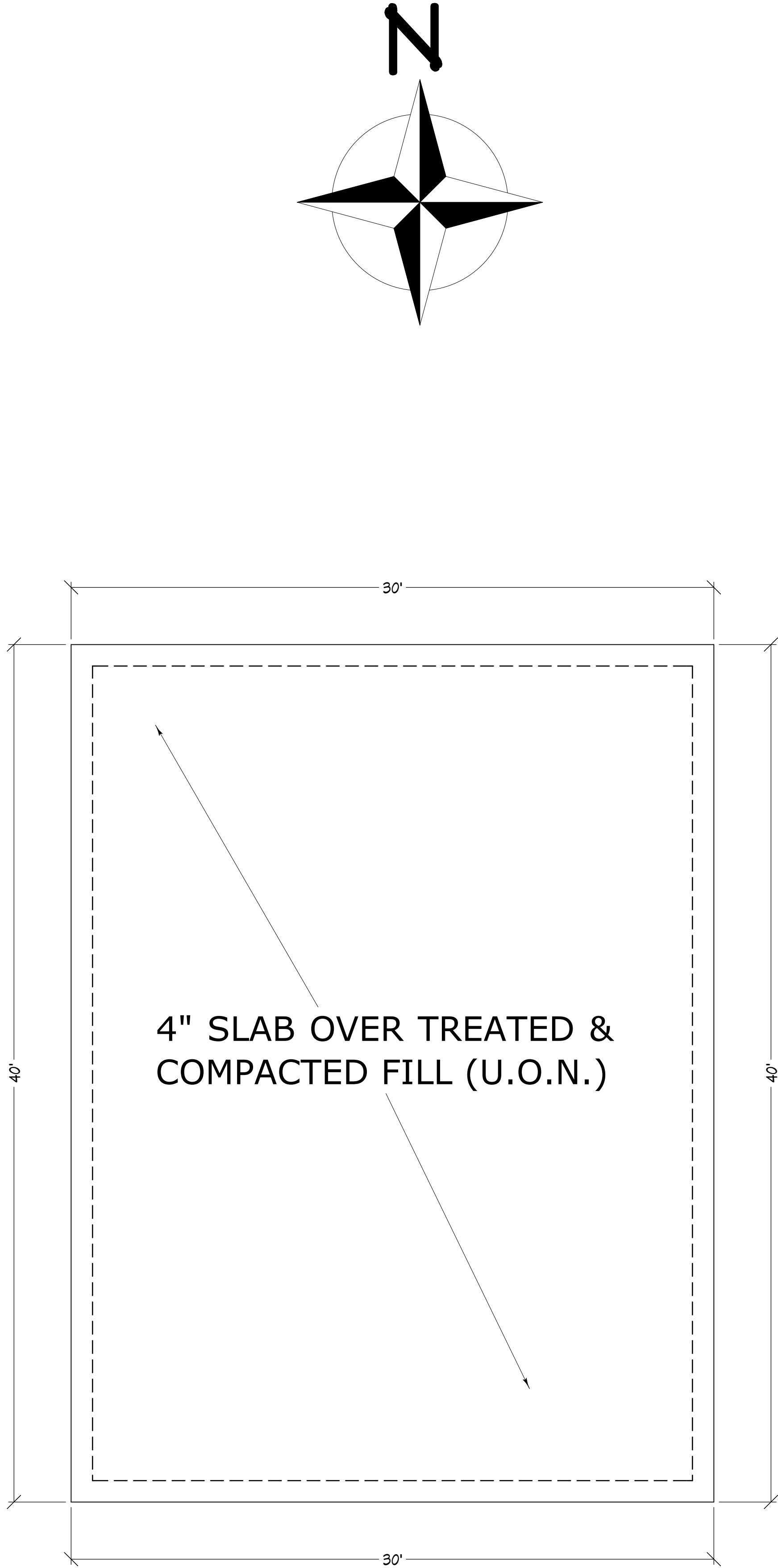
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PLAN # 1200		BUILT BY: TO BE DETERMINED	
CLIENT APPROVAL SIGNATURE	DATE	PROJECT DESCRIPTION: FUTURE BARN FOR THE ATKINS FAMILY 9420 FORD ROAD BRYCEVILLE, FL 32009	
		Design Drawings provided by: DESIGNS FOR LIVING, LLC RESIDENTIAL DESIGN SINCE 1998 904-730-7135	
MATT ATKINS			
STEPHANIE ATKINS		DATE:	11/26/2016
		SCALE:	1" = 20'-0"
		SHEET:	A-2

FOUNDATION NOTES: SEE SPECIFICATIONS
MONOLITHIC FOUNDATION 12"X20" FOOTERS (UON)
W/2-#5 RODS CON'T SEE STRUCTURALS WITH
INTEGRATED 5" EXTENSION BRICK LEDGE

CONSTRUCT FOUNDATION USING THE
STRUCTURAL BUILDING ENGINEERS PLANS

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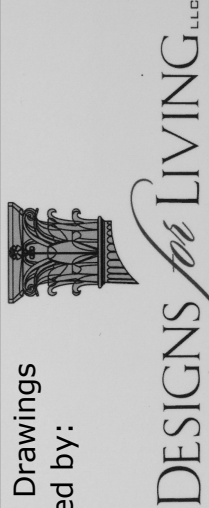


FOUNDATION PLAN

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DATE:
11/26/2016
SCALE:
1/4" = 1'-0"
SHEET:
A-3

Design Drawings provided by:



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RESIDENTIAL DESIGN SINCE 1998
904-730-7135

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FAMILY
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BRYCEVILLE, FL 32009

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PLAN #
1200

R302.11 Fireblocking.

In combustible construction, fireblocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space.

Fireblocking shall be provided in wood-frame construction in the following locations:

1. In concealed spaces of stud walls and partitions, including furred spaces and parallel rows of studs or staggered studs, as follows:
 - 1.1. Vertically at the ceiling and floor levels.
 - 1.2. Horizontally at intervals not exceeding 10 feet (3048 mm).
2. At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
3. In concealed spaces between stair stringers at the top and bottom of the run. Enclosed spaces under stairs shall comply with Section R302.7.
4. At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion. The material filling this annular space shall not be required to meet the ASTM E 136 requirements.
5. For the fireblocking of chimneys and fireplaces, see Section R1003.19.
6. Fireblocking of cornices of a two-family dwelling is required at the line of dwelling unit separation.

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SECTION R310
EMERGENCY ESCAPE AND RESCUE OPENINGS

R310.1 Emergency escape and rescue required. Basements, habitable attics and every sleeping room shall have at least one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, emergency egress and rescue openings shall be required in each sleeping room. Where emergency escape and rescue openings are provided they shall have a sill height of not more than 44 inches (1118 mm) above the floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with Section R310.3. The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. Emergency escape and rescue openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with Section R310.2. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.

Exceptions:

1. Basements used only to house mechanical equipment and not exceeding total floor area of 200 square feet (18.58 m2).
2. The emergency escape and rescue opening shall be permitted to open into a screen enclosure, open to the atmosphere, where a screen door is provided leading away from the residence.

R310.1.1 Minimum opening area.

All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m2).

Exception:

Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465 m2).

R310.1.2 Minimum opening height.

The minimum net clear opening height shall be 24 inches (610 mm).

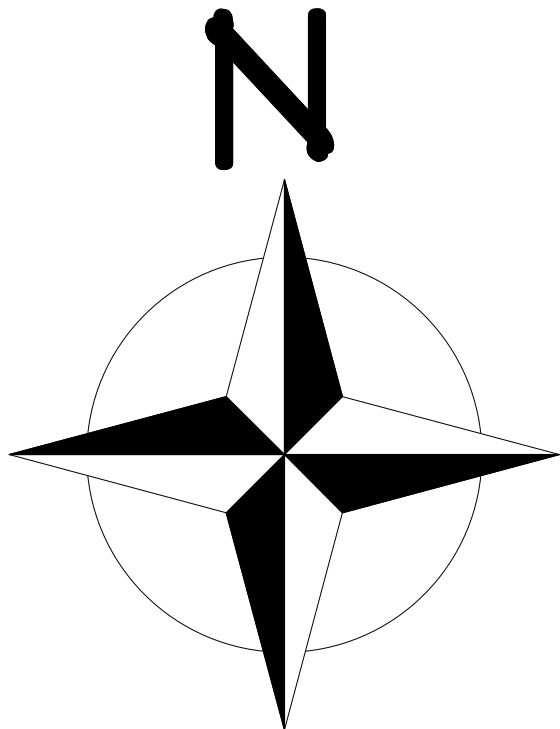
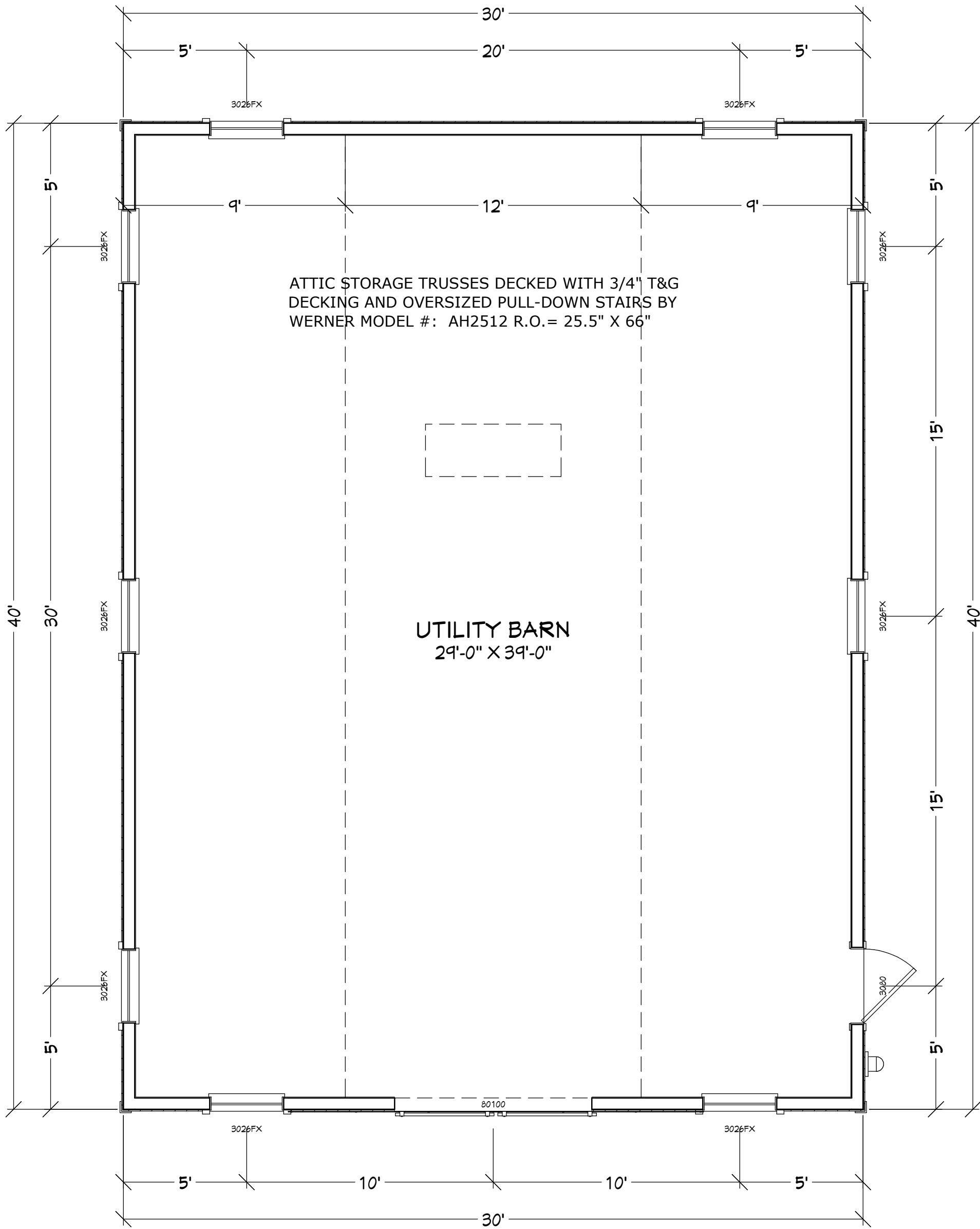
R310.1.3 Minimum opening width.

The minimum net clear opening width shall be 20 inches (508 mm).

R310.1.4 Operational constraints.

Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys, tools or special knowledge.

ALL EXTERIOR WALLS ARE 2X4
#2SPF @ 16" O.C. @ 12'-1&1/8"



FOOTAGES (A.N.S.I.):	
UTILITY STORAGE:	1,200
ATTIC STORAGE:	480
SLAB AREA:	1,200
TOTAL UNDER ROOF:	1,200

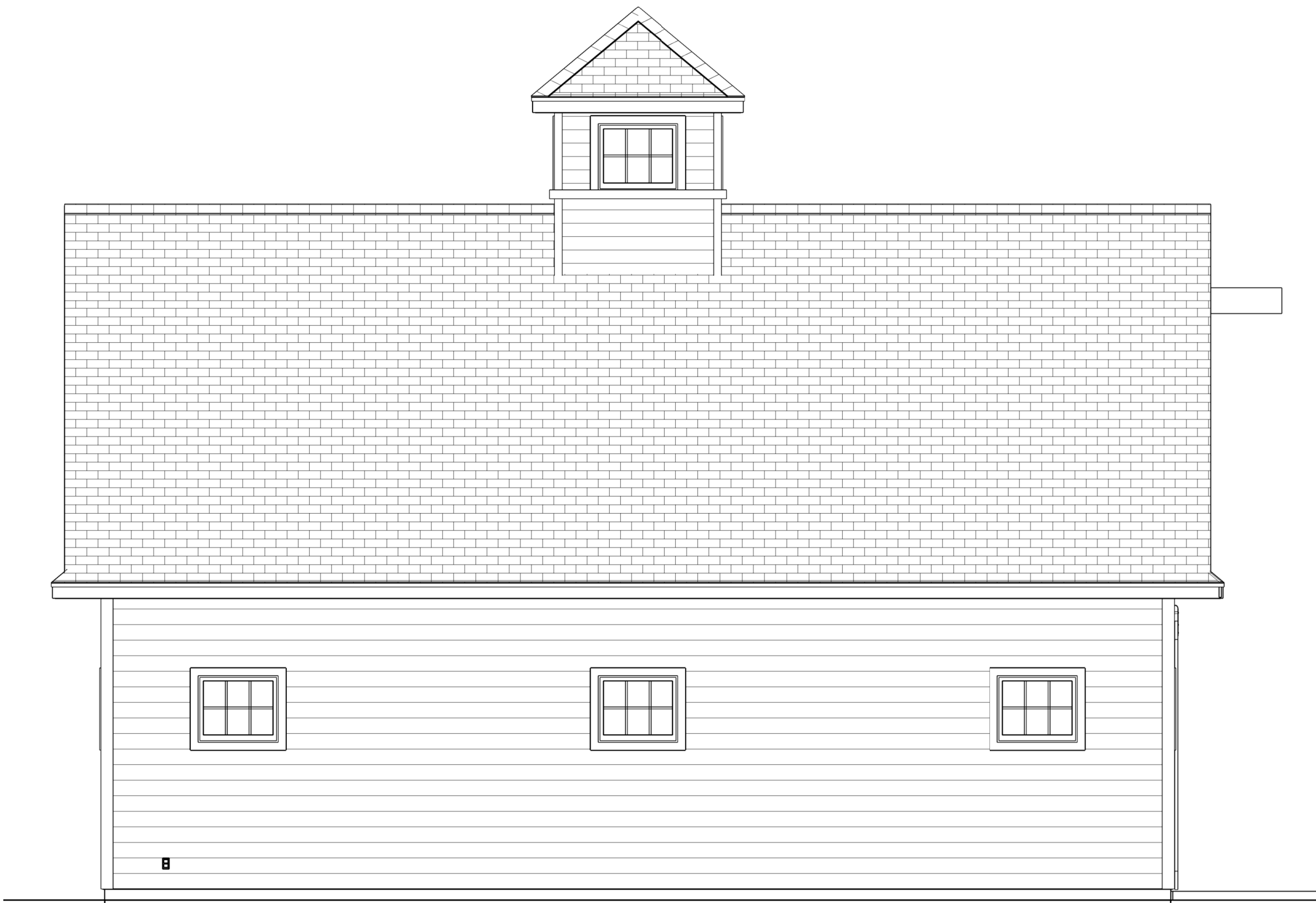
FLOOR PLAN

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		MATT AKINS	
		STEPHANIE AKINS	
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		9420 FORD ROAD	
		BRYCEVILLE, FL 32009	
Design Drawings provided by:		DESIGNS FOR LIVING, LLC RESIDENTIAL DESIGNER SINCE 1998 904-730-7135	
DATE:		11/26/2016	
SCALE:		1/4" = 1'-0"	
SHEET:		A-4	



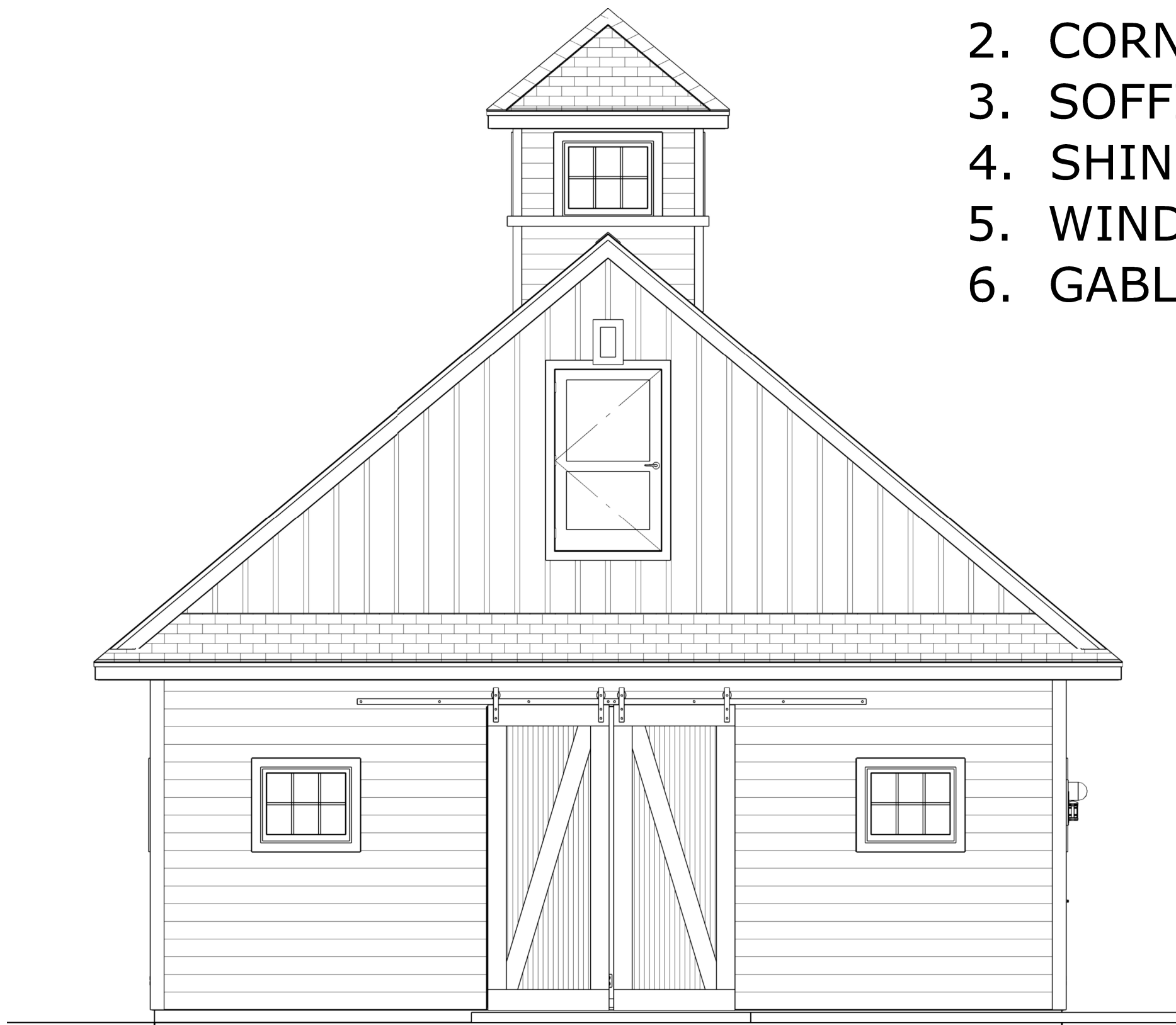
LEFT (WEST) ELEVATION



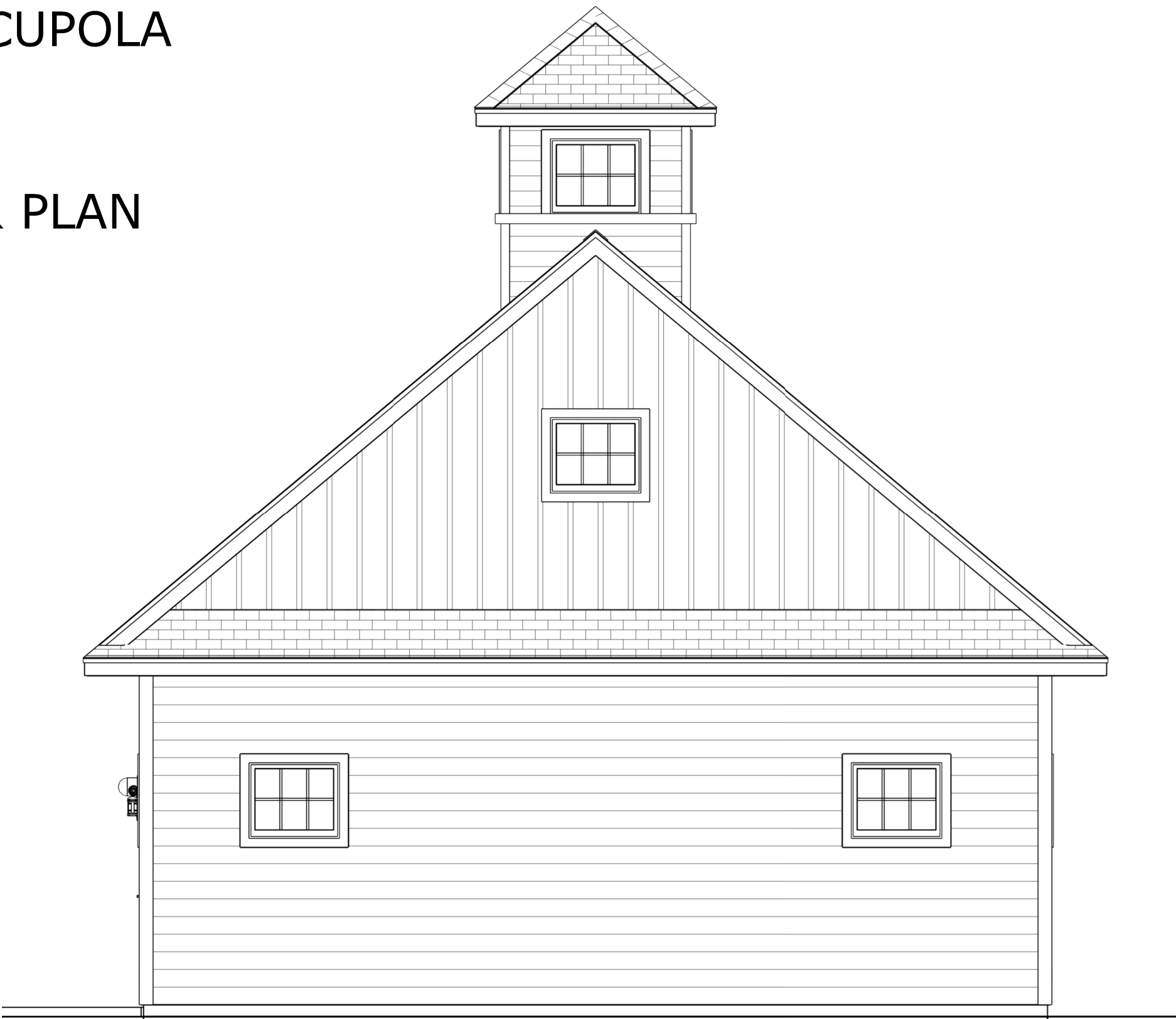
RIGHT (EAST) ELEVATION

- EXTERIOR NOTES:
- 1. CEMENTIOUS LAP SIDING EXTERIOR BELOW ROOF & CUPOLA
 - 2. CORNER BOARDS 5.5" MAIN AND 3.5" ON THE CUPOLA
 - 3. SOFFITS: BUILDER GRADE VENTED VINYL
 - 4. SHINGLES: FIBERGLASS
 - 5. WINDOWS: VINYL LOW-E WITH MUTTIONS PER PLAN
 - 6. GABLE ENDS SIDING: T&G CEMENTIOUS

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FRONT (SOUTH) ELEVATION



REAR (NORTH) ELEVATION

ELEVATIONS

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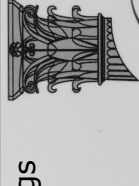
PLAN #
1200

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MATT AKINS	
STEPHANIE AKINS	

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FAMILY
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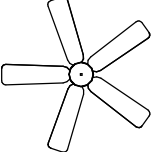
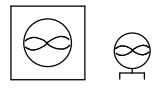
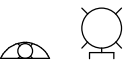
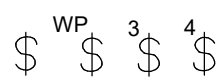
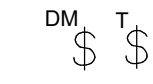
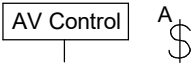
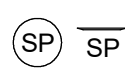
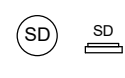


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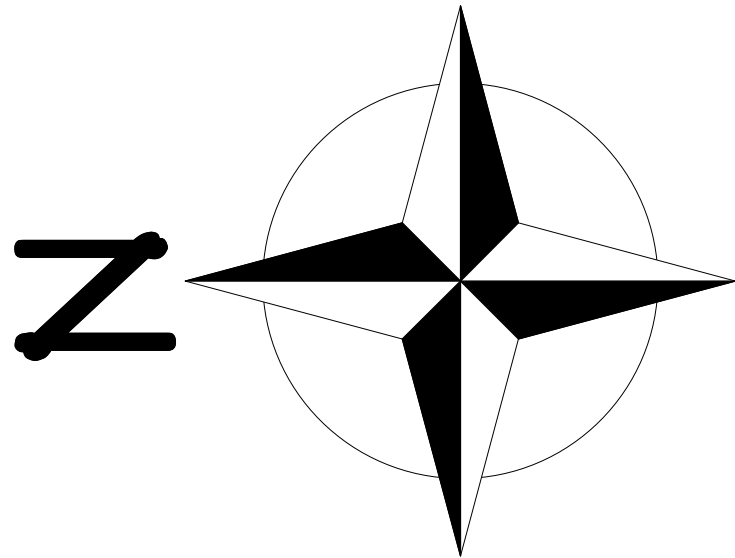
SCALE:
1/4" = 1'-0"

SHEET:
A-5

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

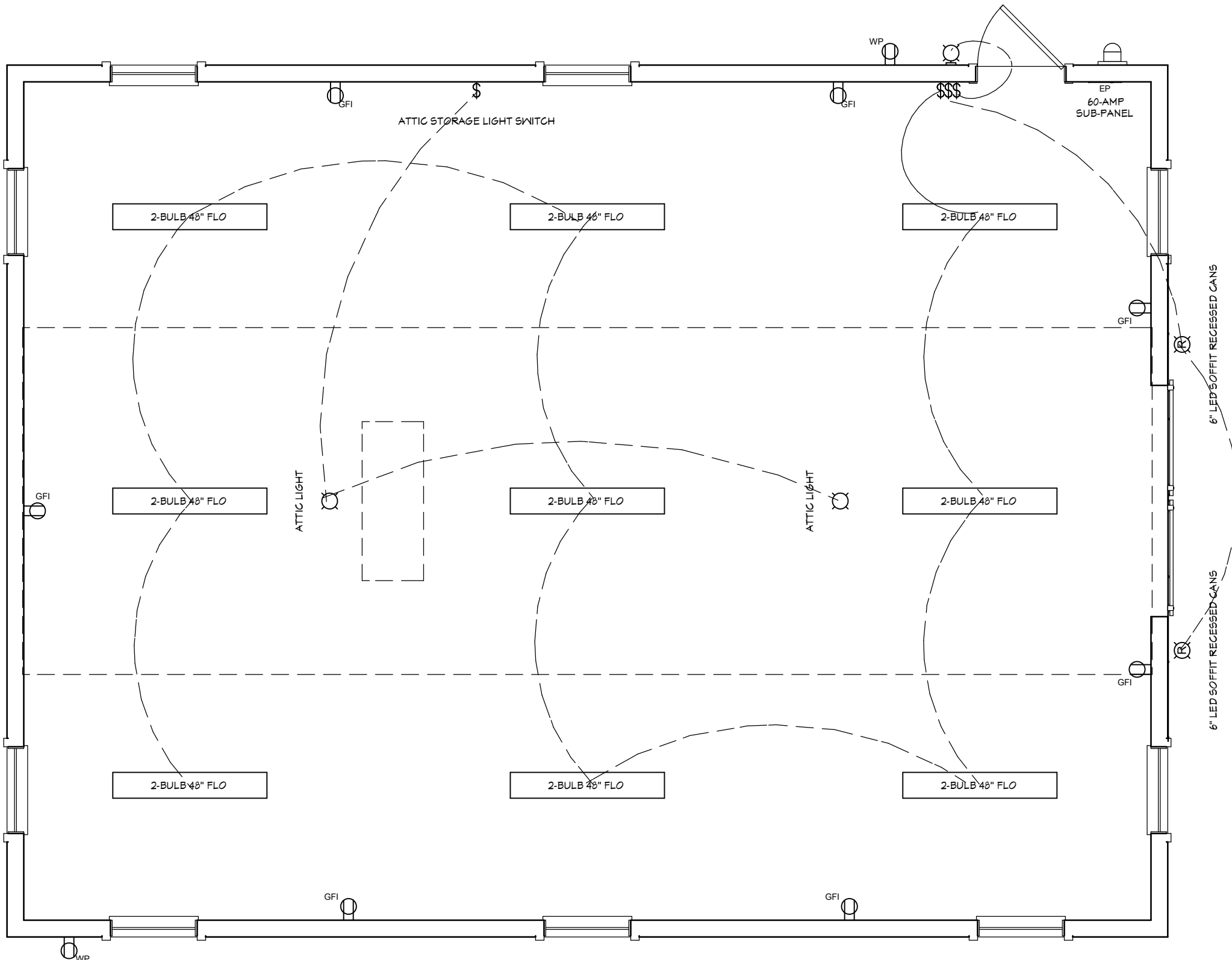
ELECTRICAL NOTES:

1. METER LOCATION TO BE DETERMINED, IF ALLOWABLE
2. PROPERTY HAS WELL & PRIVATE SEPTIC
3. SECURITY PRE-WIRE & TRIM -CONFIRM
4. PRE-WIRE & TRIM FOR CAT5/TV PER PLANS-CONFIRM
5. CONFIRM WITH OWNER ON STRUCTURED WIRING
6. ONE-100 AMP ELECTRICAL PANELS
7. CONFIRM ALL ELECTRICAL W/OWNER PRIOR TO WIRING ANYTHING



PER FBC-R-E3902.12 AFCI PROTECTION REQUIRED Arc-fault circuit-interrupter protection. All branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed AFCI, combination type.

PER FBC-R-E3901.7, NEC 210, E3901.7 & E3902.3 GFCI PROTECTION REQUIRED Bathrooms, garages, boathouses & accessory structures not intended as habitable rooms and limited to storage, work & similar uses. Outdoors, crawl spaces, unfinished basements, kitchen countertops. Outlets within 6 feet of laundry, utility or wet sinks. Balcony, deck or porch greater than 20 s.f. One at the front and back of the dwelling and at the condenser units.



EFFICACY NOTE: THE NEW FBC-R FBC EC R404.1 & R202 BUILDING CODE REQUIRES ALL INSIDE & OUTSIDE LIGHT FIXTURES WILL USE CFL OR LED LIGHT BULBS.

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ELECTRICAL PLAN

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STEPHANIE AKINS

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9420 FORD ROAD

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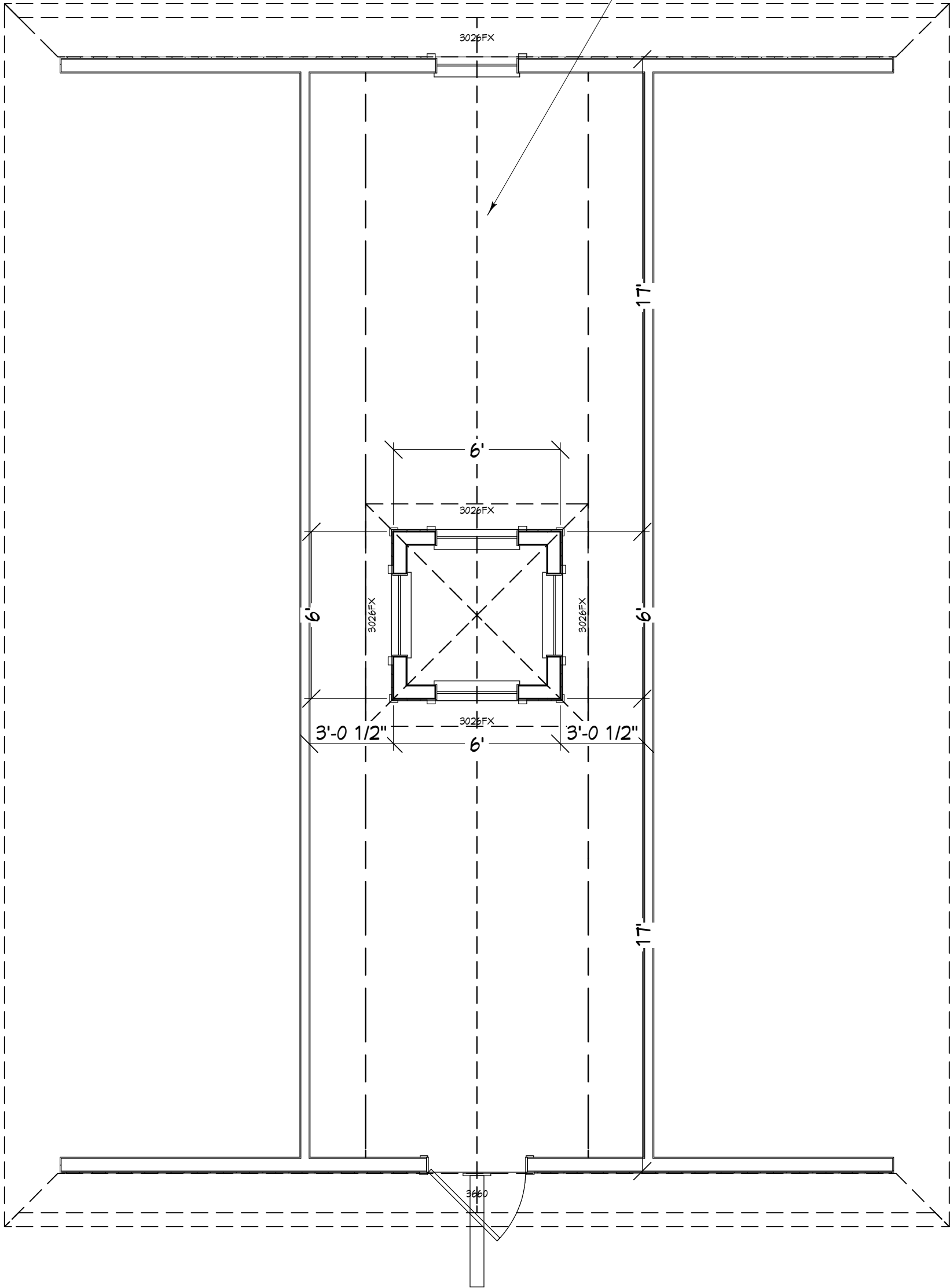
SHEET:

A-6

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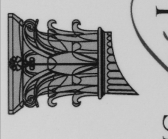
ROOF NOTES:
PITCH: 10/12
UNDERLAYMENT: SYNTHETIC FELT
ROOFING: FIBERGLASS SHINGLES
MAIN EAVE OVERHANG: 24"
DORMER EAVE OVERHANG: 12"
FASCIA: PLUMB CUT 2X6 WITH 1X2 DRIP OVER 2X4 SUB-FASCIA WITH CPVC COATED ALUMINUM OVERLAY
SOFFITS: BUILDER GRADE VENTILATED VINYL
GABLE OVERHANG: 18"
ATTIC FRAME TRUSSES WITH A 12 FOOT FLOOR WIDTH
DECKED WITH 3/4" T&G DECKING

CONTINUOUS RIDGE VENTS PER PLAN

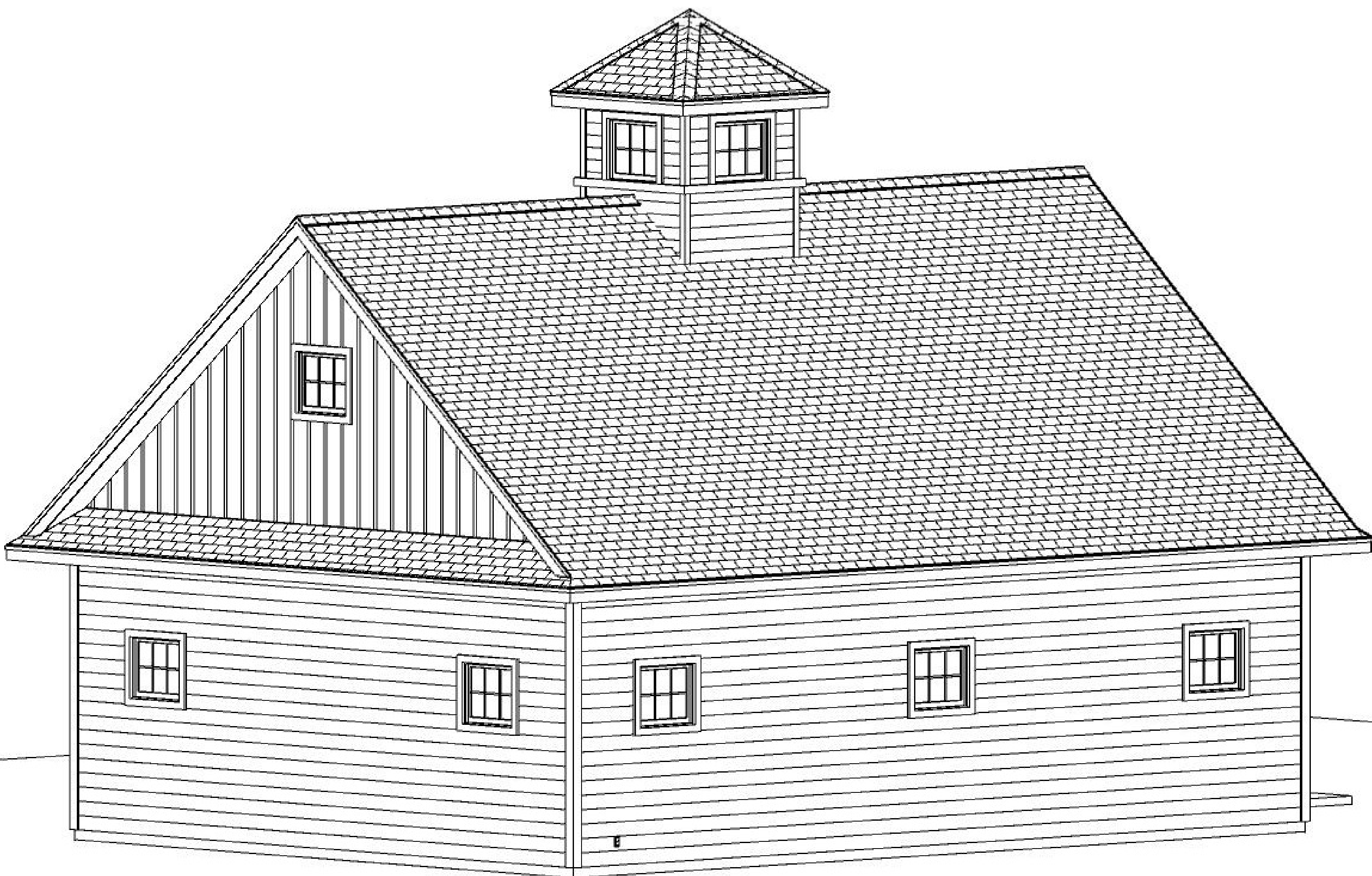
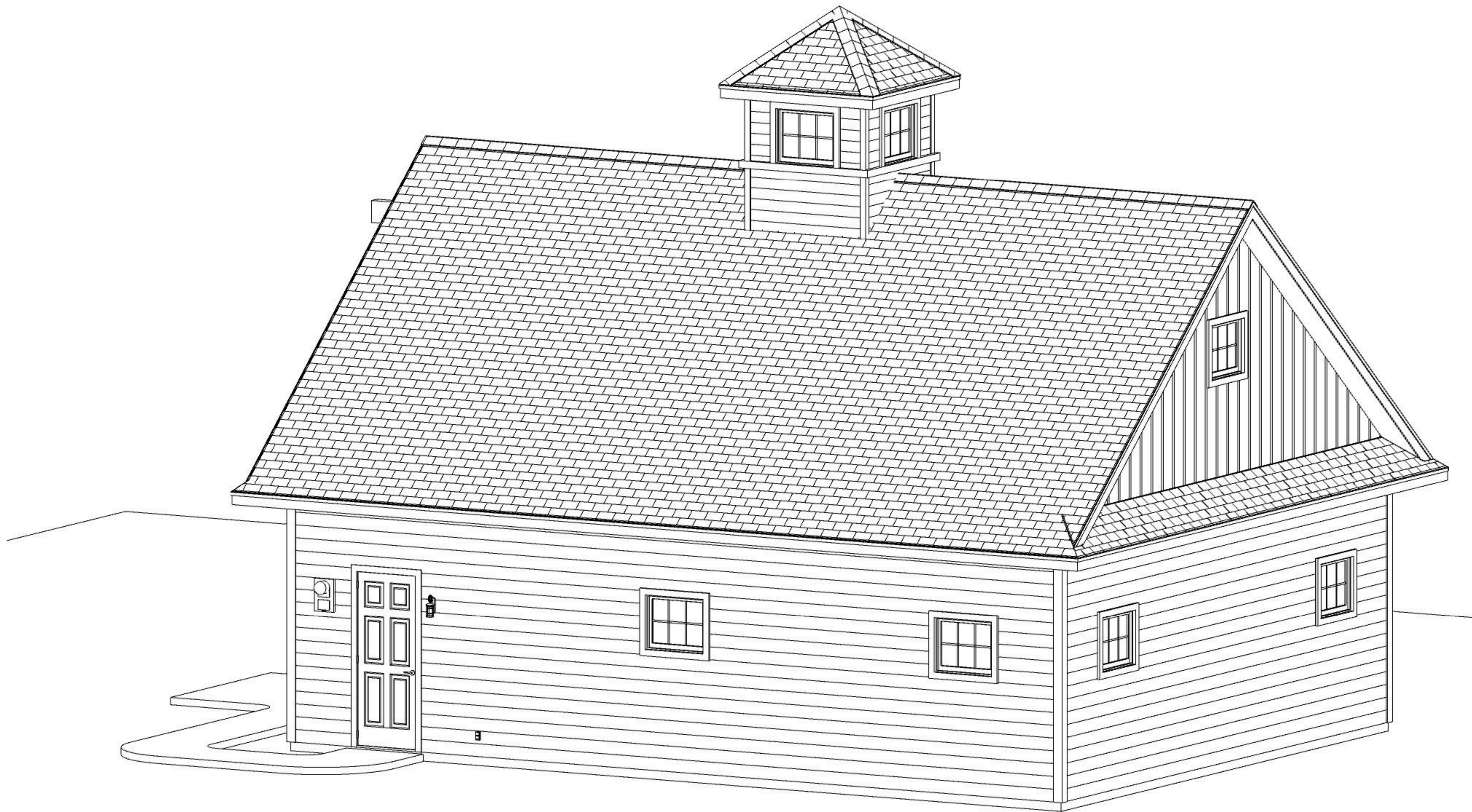


ROOF PLAN

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PLAN # 1200		CLIENT APPROVAL SIGNATURE		DATE
		MATT AKINS		
		STEPHANIE AKINS		
BUILT BY:		TO BE DETERMINED		
PROJECT DESCRIPTION:		FUTURE BARN FOR THE ATKINS FAMILY		
		9420 FORD ROAD		
		BRYCEVILLE, FL 32009		
Design Drawings provided by:		 DESIGNS for LIVING, LLC RESIDENTIAL DESIGN SINCE 1998 904-730-7135		
DATE:		11/26/2016		
SCALE:		1/4" = 1'-0"		
SHEET:		A-7		

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.



- EXTERIOR NOTES:
1. CEMENTIOUS LAP SIDING EXTERIOR BELOW ROOF & CUPOLA
 2. CORNER BOARDS 5.5" MAIN AND 3.5" ON THE CUPOLA
 3. SOFFITS: BUILDER GRADE VENTED VINYL
 4. SHINGLES: FIBERGLASS
 5. WINDOWS: VINYL, LOW-E MUTTONS PER PLAN
 6. GABLE ENDS SIDING: T&G CEMENTIOUS

ISOMETRIC VIEWS

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PLAN # 1200	
CLIENT APPROVAL SIGNATURE	DATE
MATT AKINS	
STEPHANIE AKINS	
BUILT BY: TO BE DETERMINED	
PROJECT DESCRIPTION: FUTURE BARN FOR THE ATKINS FAMILY 9420 FORD ROAD BRYCEVILLE, FL 32009	
Design Drawings provided by: DESIGNS FOR LIVING, LLC RESIDENTIAL DESIGN SINCE 1998 904-730-7135	
DATE: 11/26/2016	
SCALE: N.T.S	
SHEET: A-8	

CONTRACT NOTE: CONTRACT AND SPECIFICATIONS TAKE PRECEDENCE OVER THESE DRAWINGS. ANY CONFLICT WILL DEFAULT TO SAID DOCUMENTS.

BOX-FRAME TRUSSES WITH 2X12 BOTTOM CHORDS DECKED WITH 3/4" T&G DECKING GLUED AND FASTENED PER CODE

10/12 PITCH

2X12 BOTTOM CHORD

MONOLITHIC FOOTERS & SLAB

MAXIMUM BUILDING HEIGHT

2ND FLOOR CEILING HEIGHT

2ND FINISHED FLOOR
1ST FLOOR P.H.

HEADER HEIGHT

1ST FINISHED FLOOR

8'-1 1/8"
3/4"
11 1/4"
12'-1 1/8"
8'
33'-2"

BUILDING CROSS-SECTION

DESIGN RIGHTS 2016: DESIGNS FOR LIVING, LLC. -Under section 102 of the Architectural Works Copyright Protection Act (title 17 of the United States Code) specific tact copyright laws apply to original design of a building created in any tangible medium of expression, including a constructed building or architectural plans, models, or drawings and is subject to copyright protection as an "architectural work" by Designs for Living, LLC. herein referred to as Designer. It is unlawful for anyone to copy these drawings, either in whole or in part, without the express written permission of the Designer. The use of any plans, specifications, electronic or hard copy prints shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Title to all works, specifically all drawings, specifications, and modified derivatives of any blueprints, e-files, drawings, or specifications remain the Designers without prejudice. VISUAL CONTACT with any of these drawings, or their purchase constitutes prima facie evidence of the acceptance of these restrictions! This has held precedent in the North Florida Court system! Any and all violations WILL result in legal action being taken and litigated damages to the full extent allowed by law! No exceptions and no excuses! Contractor &/or owner shall verify all dimensions, details, & specifications prior to construction. Every attempt is made to avoid mistakes. Incomplete drawings and omissions are assumed to be errors and are not to be relied upon for construction. This copyright law is only valid on building designs created on or after December 1, 1990. Other errors after delivery via email or drawings including after construction has begun. This copyright law is only valid on building designs created on or after December 1, 1990.

PLAN #
1200

CLIENT APPROVAL SIGNATURE

DATE

MATT AKINS

STEPHANIE AKINS

BUILT BY:

TO BE DETERMINED

PROJECT DESCRIPTION:

FUTURE BARN FOR THE ATKINS FAMILY

9420 FORD ROAD

BRYCEVILLE, FL 32009

Design Drawings provided by:

DESIGNS FOR LIVING, LLC

RESIDENTIAL DESIGN SINCE 1998

904-730-7135

DATE:

11/26/2016

SCALE:

1/2" = 1'-0"

SHEET:

A-9