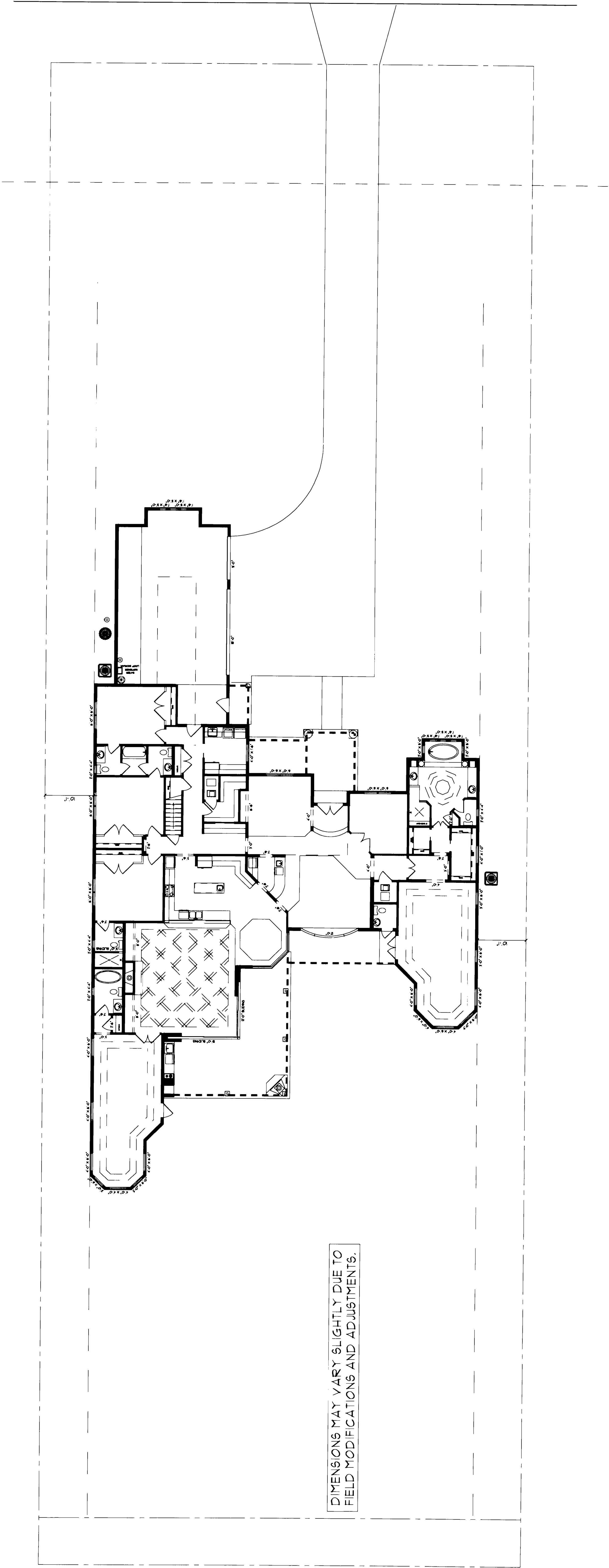


MEETS & BOUNDS, PETTY ESTATES
ST. JOHNS COUNTY, FLORIDA 32089
R/E #:

CONTRACTOR AND/OR OWNER SHALL VERIFY ALL DIMENSIONS, DETAILS AND SPECIFICATIONS PRIOR TO CONSTRUCTION. EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF ALL DOCUMENTS TO AVOID MISTAKES. CHIP MITCHELL SHALL NOT BE LIABLE FOR ERROR AFTER CONSTRUCTION HAS BEGUN.



DIMENSIONS MAY VARY SLIGHTLY DUE TO FIELD MODIFICATIONS AND ADJUSTMENTS.

FUTURE HOME OF THE MAI FAMILY
OWNER
MEETS & BOUNDS, PETTY ESTATES
ST. JOHNS COUNTY, FLORIDA
MAP BOOK 31, PAGES 62-69
PHONE: 904-612-0420
FAX: 904-230-3247

BUILDER

3105 PETTY

ESTATES

ROAD

DATE: 5/15/2003

SCALE: 1/4" = 1'-0"

R/E #:

FOOTAGES: (A.N.S.I.)
HEATED: 4549.77
ENTRY: 22388
COV. AREA: 15519
LANA: 46167
GARAGE: 922.67
PORCH: 34.74
EXTENSIONS: 52.33
SLAB AREA: 6245.06
UNDER ROOF: 6347.92

CUSTOM PLAN

3-CAR RIGHT CRTYD

SHEET

2

OF 7

GENERAL NOTES:

1. IT IS THE INTENT OF THE DESIGNER THAT ALL WORK BE IN CONFORMANCE WITH ALL REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENTS OF THE COUNTY HAVING JURISDICTION OVER THE CONSTRUCTION OF SINGLE FAMILY DWELLINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DO ALL WORK IN CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS AS STATED BY ALL LAWS.
2. THE CONTRACTOR AND HIS REPRESENTATIVES SHALL VERIFY ALL SITE CONDITIONS, AND ALL BUILDING DOCUMENTS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO REPORT ALL DISCREPANCIES IN THE DRAWINGS AND EXISTING CONDITIONS TO THE DESIGNER FOR CORRECTION PRIOR TO COMMENCING ANY WORK ON THE PROJECT.
3. THESE DOCUMENTS, AS INSTRUMENTS OF SERVICE, ARE THE PROPERTY OF THE DESIGNER WITHOUT PREJUDICE, AND MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESS WRITTEN CONSENT OF THE DESIGNER.
4. SUBSURFACE SOIL CONDITIONS WERE NOT PROVIDED TO THE DESIGNER, THEREFORE THE DESIGNER IS NOT RESPONSIBLE FOR ANY CONDITIONS WHICH ARE PRESENT. FOUNDATIONS ARE DESIGNED FOR A BEARING CAPACITY OF 2500 P.S.F. CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY DIFFERING SOIL CONDITIONS PRIOR TO COMMENCING ANY CONSTRUCTION.
5. STRUCTURAL ENGINEERING FOR WIND SHEAR HAS NOT BEEN PROVIDED, PLEASE FOLLOW THE NOTES PUT ON THE DRAWINGS BY THE STRUCTURAL ENGINEER. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR WIND SHEAR CALCULATIONS. THE CONTRACTOR SHALL RELY ON ALL STRUCTURAL ANALYSIS BY THE ENGINEER.
6. ALL DETAILS AND SECTIONS PROVIDED IN THESE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUCTED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.
7. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE PROPER BUILDING PROCEDURES AND SEQUENCING TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING THE CONSTRUCTION PROCESS.
8. THE CONTRACTOR SHALL CONFIRM ALL SITE DATA PRIOR TO COMMENCING CONSTRUCTION, AS FAR AS SETBACKS, RESTRICTIONS, EASEMENTS, ETC. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER FOR CORRECTION PRIOR TO COMMENCING CONSTRUCTION.

VIA CONTRACT NOTE: IT IS IMPORTANT TO REALIZE THAT THE SIGNED CONTRACT & WRITTEN SPECIFICATIONS TAKE PRECEDENCE OVER THE WORKING DRAWINGS AS TO WHAT IS INCLUDED OR NOT. ANY DISCREPANCIES BETWEEN THESE DRAWINGS SHALL BE GOVERNED BY THE SIGNED CONTRACT AND WRITTEN SPECIFICATIONS.

ALL DIMENSIONS APPROXIMATE.
COPYRIGHT 2000, RECHIP MITCHELL
DIMENSIONS MAY VARY SLIGHTLY DUE TO FIELD MODIFICATIONS AND ADJUSTMENTS.
LANDSCAPING DEFICIT IS NOT TO SCALE
AND MAY VARY AS TO MATURITY AND NUMBER.

SITE & DRAINAGE PLAN

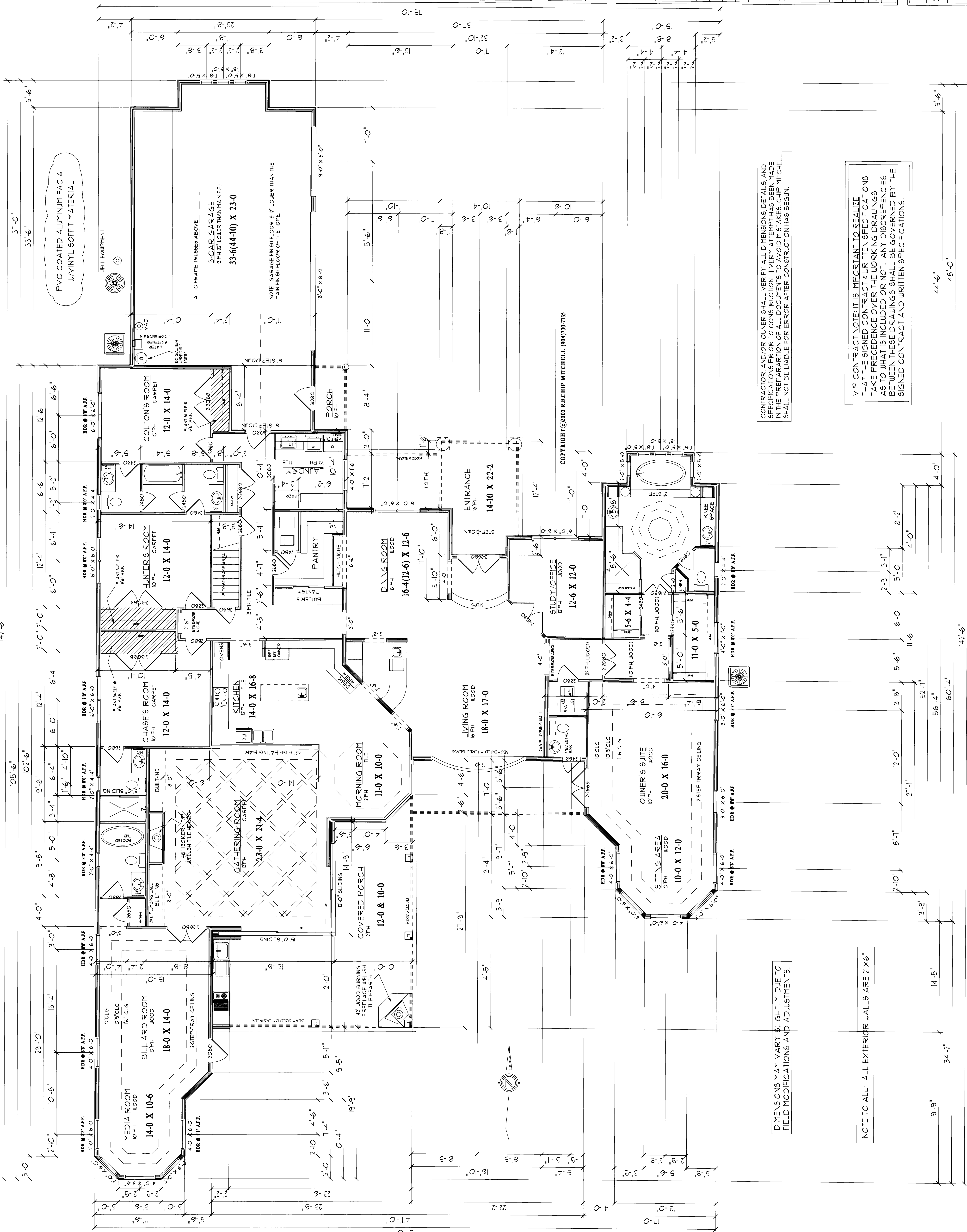
FUTURE HOME OF THE MAI FAMILY MEETS & BOUNDS, PETTY ESTATES STJOHNS COUNTY, FLORIDA MAP BOOK 31, PAGES 62-69 PHONE: 904-612-0420 FAX: 904-230-3247	OWNER BUILDER
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3105 PETTY
ESTATES
ROAD

ATE: 5/15/2003
SCALE: 1/4" = 1'-0"
E #:

OOTAGES: (A.N.S.I.)	
EATED:	4549.77
ENTRY:	22388
OV. AREA:	15519
NVAL:	461.67
ARAGE:	922.67
ORCH:	34.74
XTENSIONS:	52.33
AB AREA:	6245.06
UNDER ROOF:	6347.92

CUSTOM PLAN
YEAR RIGHT CRTYD
SHEET
4
OF 7



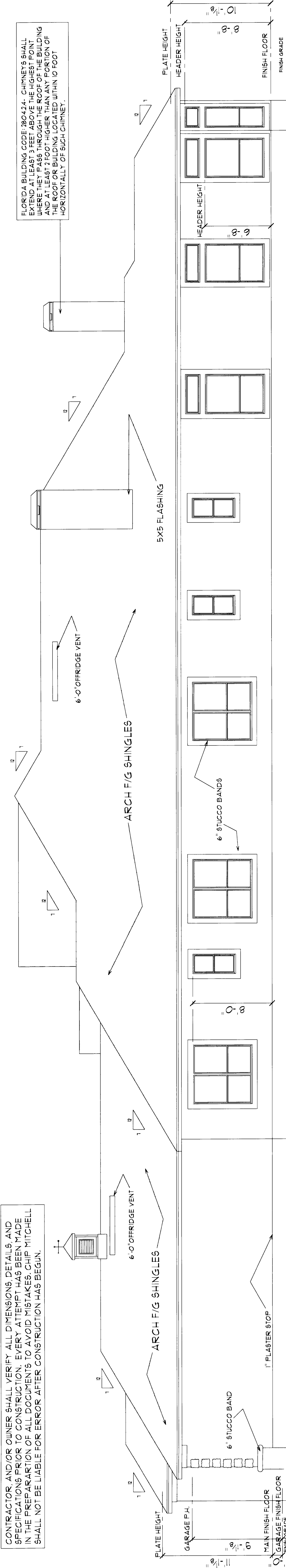
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VIP CONTRACT NOTE: IT IS IMPORTANT TO REALIZE THAT THE SIGNED CONTRACT & WRITTEN SPECIFICATIONS TAKE PRECEDENCE OVER THE WORKING DRAWINGS AS TO WHAT IS INCLUDED OR NOT. ANY DISCREPANCIES BETWEEN THESE DRAWINGS SHALL BE GOVERNED BY THE SIGNED CONTRACT AND WRITTEN SPECIFICATIONS.

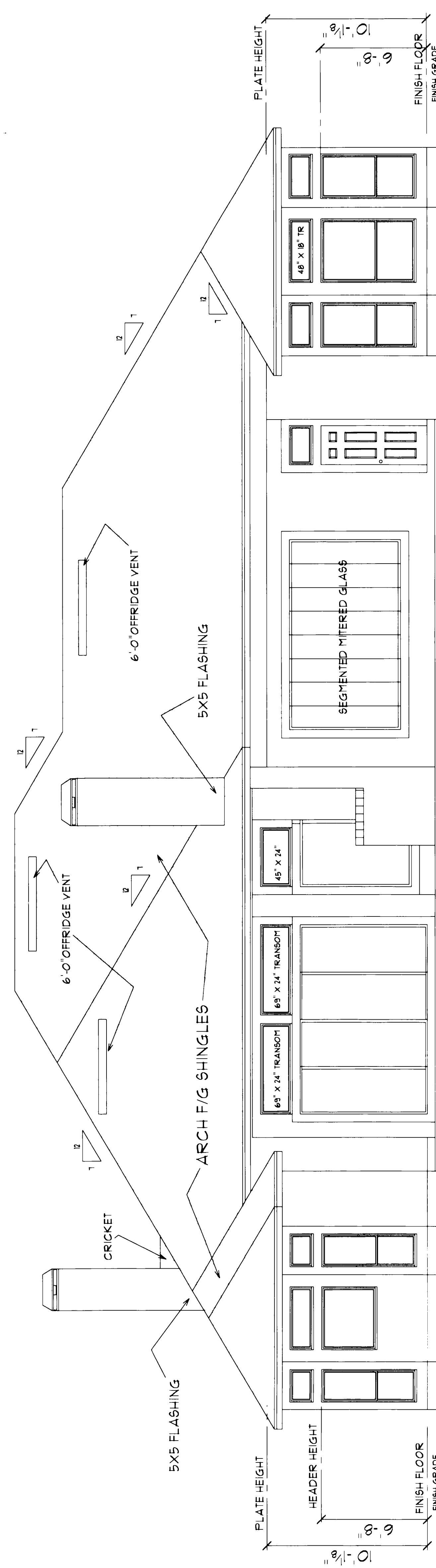
DIMENSIONS MAY VARY SLIGHTLY DUE TO FIELD MODIFICATIONS AND ADJUSTMENTS.

NOTE TO ALL: ALL EXTERIOR WALLS ARE 2"X6"

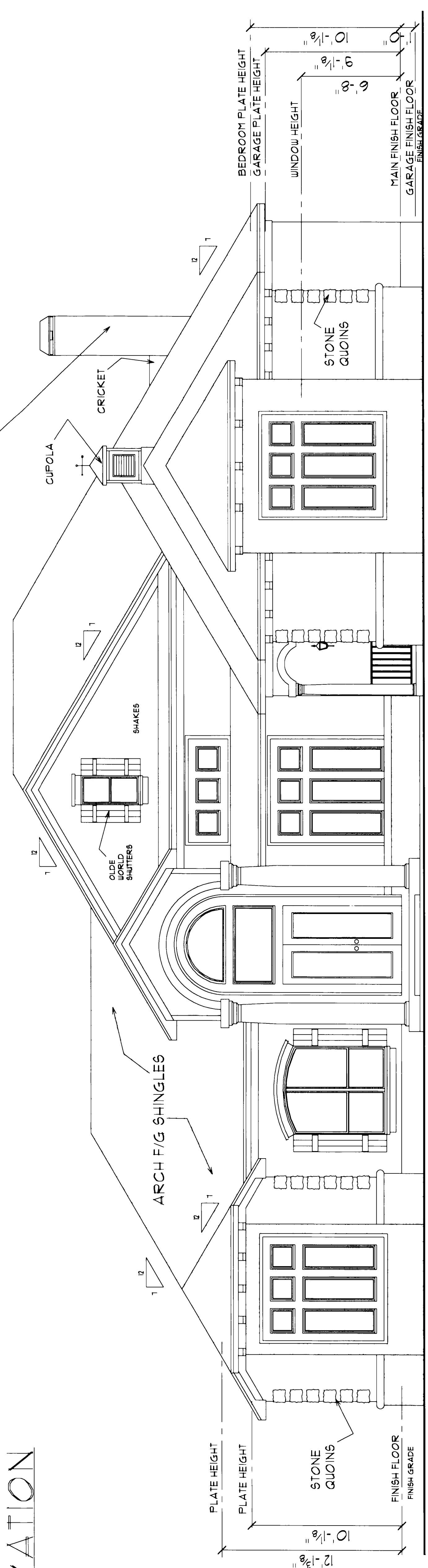
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EVALUATION

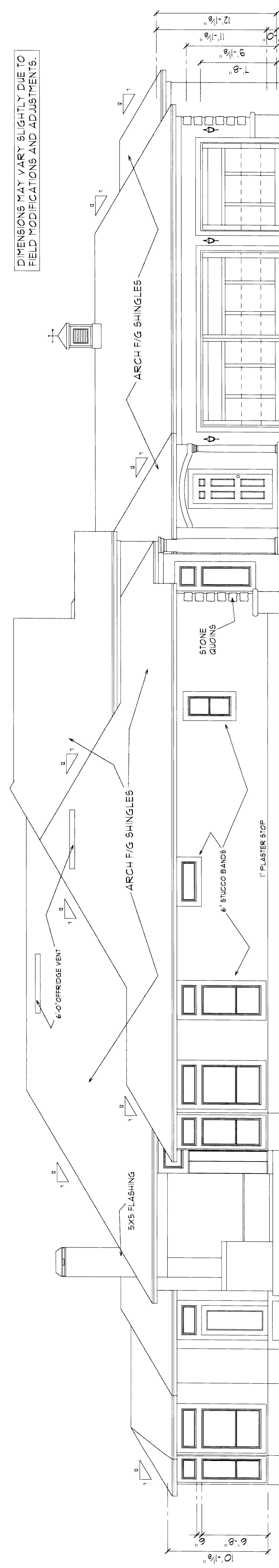


REAR ELEVATION



PVC COATED ALUMINUM FACIA
W/VINYL SOFFIT MATERIAL

FRONT ELEVATION



LETTERVATION

ELEVATIONS

FUTURE HOME OF THE MAI FAMILY		OWNER		BUILDER	
MEETS & BOUNDS, PETTY ESTATES		STJOHNS COUNTY, FLORIDA		MAP BOOK 31, PAGES 62-69	
		PHONE: 904-612-0420		FAX: 904-230-3247	

3105 PETTY
ESTATES
ROAD

DATE: 5/15/2003
SCALE: $1/4" = 1'-0"$
R/E #:

FOOTAGES: (A.N.S.I.)	
HEATED:	4549.77
ENTRY:	223.88
COV. AREA:	155.19
LANAL:	461.67
GARAGE:	922.67
PORCH:	34.74
EXTENSIONS:	52.33
SLAB AREA:	6245.06
UNDER ROOF:	6347.92

CUSTOM PLAN
3-CAR RIGHT CRTYD

SHEET
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OF 7

VIP STUCCO NOTE

APPLICATION REQUIREMENTS THAT MUST BE FOLLOWED

1. STUCCO SCRATCH COAT MUST BE APPLIED INTO THE WINDOW AND DOOR FRAMES PRIOR TO INSTALLING ANY DECORATIVE BANDING.
2. A HORIZONTAL PLASTER STOP SHALL BE INSTALLED AT 4" BELOW THE FINISH FLOOR TO THE FOUNDATION.
3. THE FOUNDATION SHALL BE STUCCOED DIRECTLY TO THE BLOCK/CONCRETE WITHOUT USING ANY LATHING.
4. ALL WINDOW AND DOOR OPENINGS THAT DO NOT HAVE A ROOF OVERHANG WITHIN 20" SHALL HAVE A 4" BAND WITH A SLOPED TOP TO DIVERTE AN WATER.

STANDARD BUILDING CODE: 80224- CHIMNEY'S SHALL
EXTEND AT LEAST 3 FEET ABOVE THE HIGHEST POINT
WHERE THEY PASS THROUGH THE ROOF OF THE BUILDING
AND AT LEAST 2 FOOT HIGHER THAN ANY PORTION OF
THE ROOF OR BUILDING LOCATED WITHIN 10 FOOT
HORIZONTALLY OF SUCH CHIMNEY.

VIP CONTRACT NOTE: IT IS IMPORTANT TO REALIZE THAT THE SIGNED CONTRACT & WRITTEN SPECIFICATIONS TAKE PRECEDENCE OVER THE WORKING DRAWINGS AS TO WHAT IS INCLUDED OR NOT. ANY DISCREPANCIES BETWEEN THESE DRAWINGS SHALL BE GOVERNED BY THE SIGNED CONTRACT AND WRITTEN SPECIFICATIONS.

PVC COATED ALUMINUM FACIA
W/VINYL SOFFIT MATERIAL

FIBERGLASS SHINGLES ON 30# FELT
 1/2" MIN. GAP BETWEEN ROOF COVER 2" @ 2' O.C. ROOF SLOPE
 6" X 16" MET. TRUSS ANGLERS
 SHIP. 1" x 10" AT ALL TRUSSES
 METAL DRIP EDGE
 EL. 8' 9" O. AFF.
 3/8" X 6" FASCIA
 OVER 2' X 4"
 HEADER HEIGHT PER PLAN
 VENTED SOFFIT
 2X10" HEADERS
 ALUMINUM WINDOW REFER
 TO FLOOR PLAN FOR
 DESIGNATION
 EXTERIOR WALL FINISH IS
 SYNTHETIC STUCCO
 OVER STRUCTURAL SHEATHING
 4" CONC. SLAB REINFORCED
 WITH 1" X 10" BARS @ 16" O.C.
 6" MIN. VAPOR BARRIER ON
 WELL COMPACTED TERMITIC
 TREATED FILL
 0' - 0" FIN. FLR.
 GROUND LEVEL 8" MINIMUM
 10" X 20" CONC. FOOTINGS @
 REINF. W/ 1/2" #5 REBAR
 #5 RODS ON CHAIRS
 20" MINIMUM
 EXTERIOR SECTION

10MPH WIND RESISTANCE RATING.
ASPHALT SHINGLES PER F.B.C. 15013.3.5. SEE SHINGLE SPEC SHEET.
FASTENERS PER F.B.C. 15013.3.6.
ATTACHMENTS PER F.B.C. 15013.1.1 SEE SHINGLE SPEC SHEET.
UNDERLAYMENT PER F.B.C. 15013.3.3. UNDERLAYMENT
APPLICATION PER F.B.C. 15013.3.2. ONE LAYER OF 15# FELT
LAPPED 2 INCHES & SUFFICIENTLY FASTENED. VALLEY FLASHINGS
PER F.B.C. 15013.3.2. FOR CLOSED VALLEYS, 26 GAUGE DRIP
EDGE PER F.B.C. 15013.3.3. OVERLAPPED 2 INCHES & NAILED
2 INCHES ON CENTER.

FUTURE HOME OF THE MAI FAMILY
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BUILDER
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ESTATES
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CUSTOM PLAN
3-CAR RIGHT CRTYD
SHEET 6 OF 7

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LECTURE PLAN

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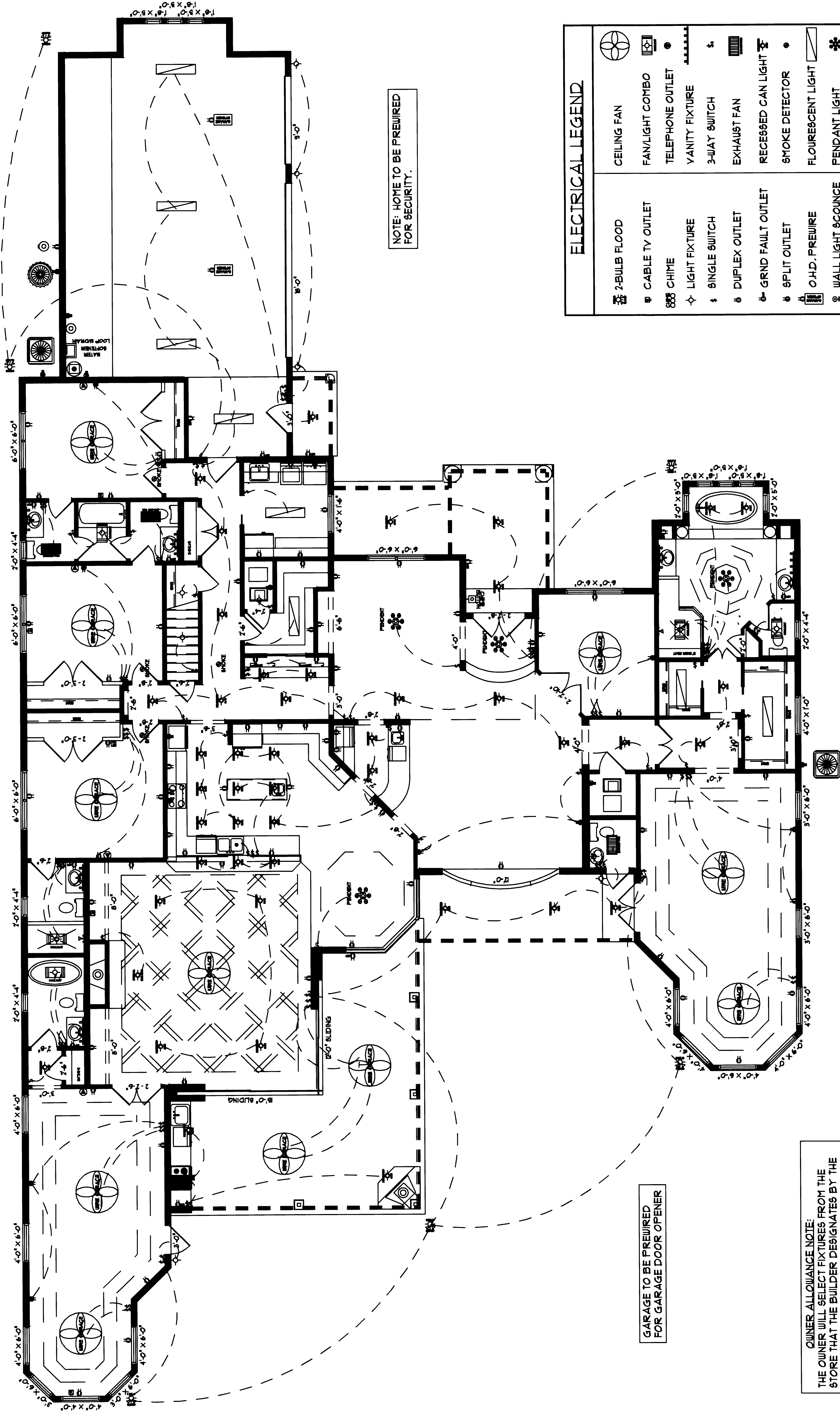
FUTURE HOME OF THE MAI FAMILY	
MEETS & BOUNDS, PRITY ESTATES STJOHNS COUNTY, FLORIDA MAP BOOK 3I, PAGES 62-69 PHONE: 904-612-0420 FAX: 904-230-3247	OWNER BUILDER

3105 PETTY
ESTATES
ROAD

DATE: 5/15/2003
SCALE: 1/4" = 1'-0"
R/E #:

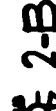
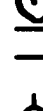
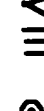
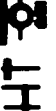
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HEATED:	4549.77
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COV. AREA:	15519
LANAL:	46167
GARAGE:	92267
PORCH:	3474
EXTENSIONS:	52333
SLAB AREA:	624506
UNDER ROOF:	634797

CUSTOM PLAN
3-CAR RIGHT CRTRD
SHEET
7
OF 7



NOTE: HOME TO BE PREWIRED FOR SECURITY.

ELECTRICAL LEGEND

 2-BULB FLOOD  CABLE TV OUTLET  CHIME  LIGHT FIXTURE  SINGLE SWITCH  DUPLEX OUTLET  GROUND FAULT OUTLET  SPLIT OUTLET  O.D. PREWIRE  WALL LIGHT & SOUNCE  EYEBALL RECESS CAN	 CEILING FAN  FAN/LIGHT COMBO  TELEPHONE OUTLET  VANITY FIXTURE  3-WAY SWITCH  EXHAUST FAN  RECESSED CAN LIGHT  SMOKE DETECTOR  FLOURESCENT LIGHT  PENDANT LIGHT  4-WAY SWITCH
---	---

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ELECTRICIAN PLEASE NOTE:
WIRING TO INCLUDE CIRCUIT FOR
POOL WITH PUMP AND LIGHT.

OWNER ALLOWANCE NOTE:
THE OWNER WILL SELECT FIXTURES FROM THE STORE THAT THE BUILDER DESIGNATES BY THE ALLOWANCE PROVIDED IN THE CONTRACT. THE OWNER SHALL NOTE THAT THE ALLOWANCE DOES INCLUDE THE FIXTURES INCLUDING BULBS, SALES TAXES, AND DELIVERY AS PART OF ALLOWANCE.

NOTE: THE ELECTRICIAN SHALL FURNISH ALL RECESSES CAN FIXTURES AND TRIMS, TO INCLUDE ALL BULBS. THE ELECTRICIAN SHALL ALSO FURNISH ALL EXTERIOR FLOOD FIXTURES AND SHALL INCLUDE ALL BULBS FOR THEM. THE ELECTRICIAN SHALL ALSO PROVIDE ALL CABLE AND TELEPHONE TRIMS THAT THEY ROUGH IN.

CONTRACTOR, AND/OR OWNER SHALL VERIFY ALL DIMENSIONS, DETAILS, AND SPECIFICATIONS PRIOR TO CONSTRUCTION. EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF ALL DOCUMENTS TO AVOID MISTAKES. CHIP MITCHELL SHALL NOT BE LIABLE FOR ERROR AFTER CONSTRUCTION HAS BEGUN.