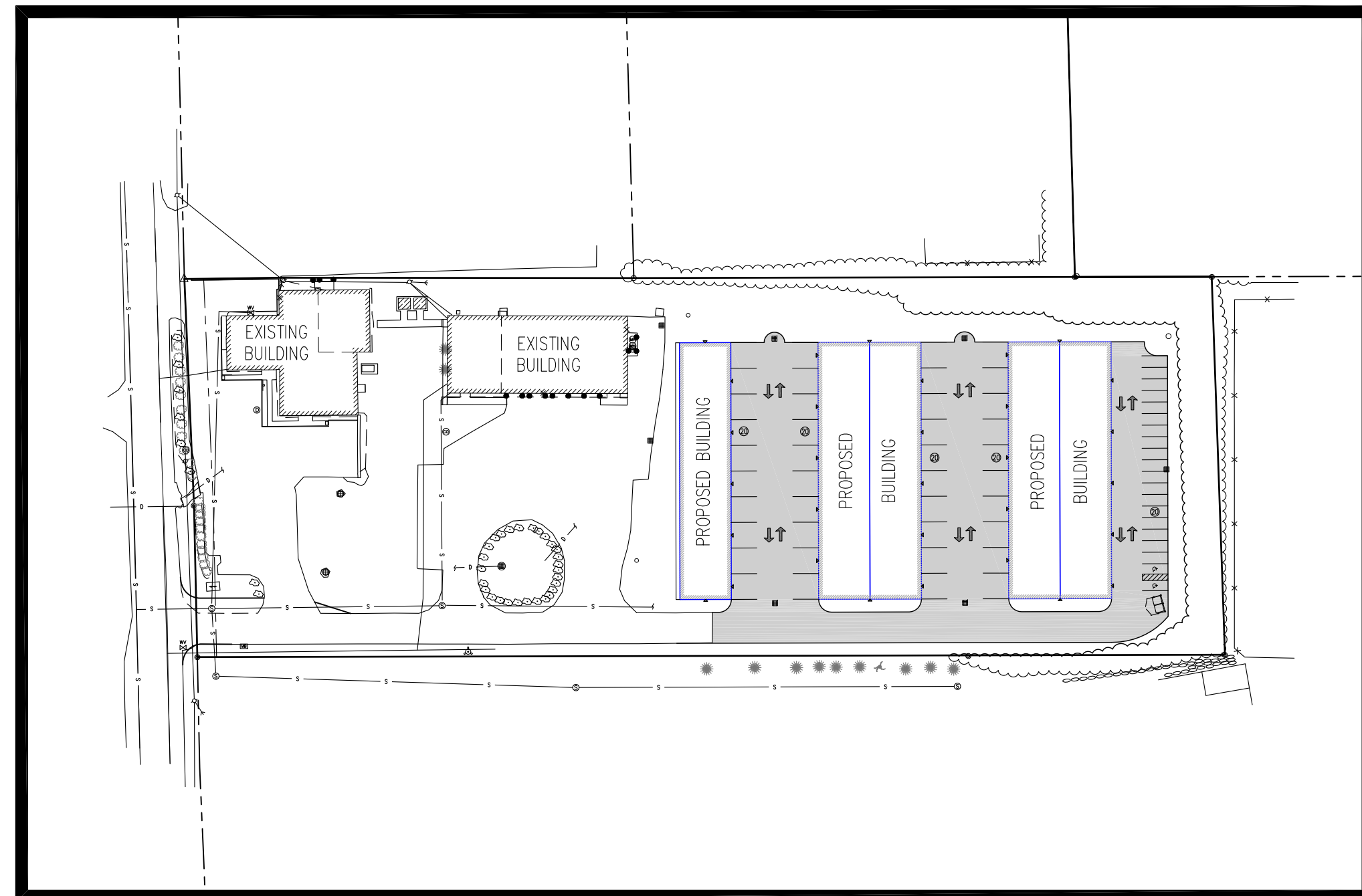


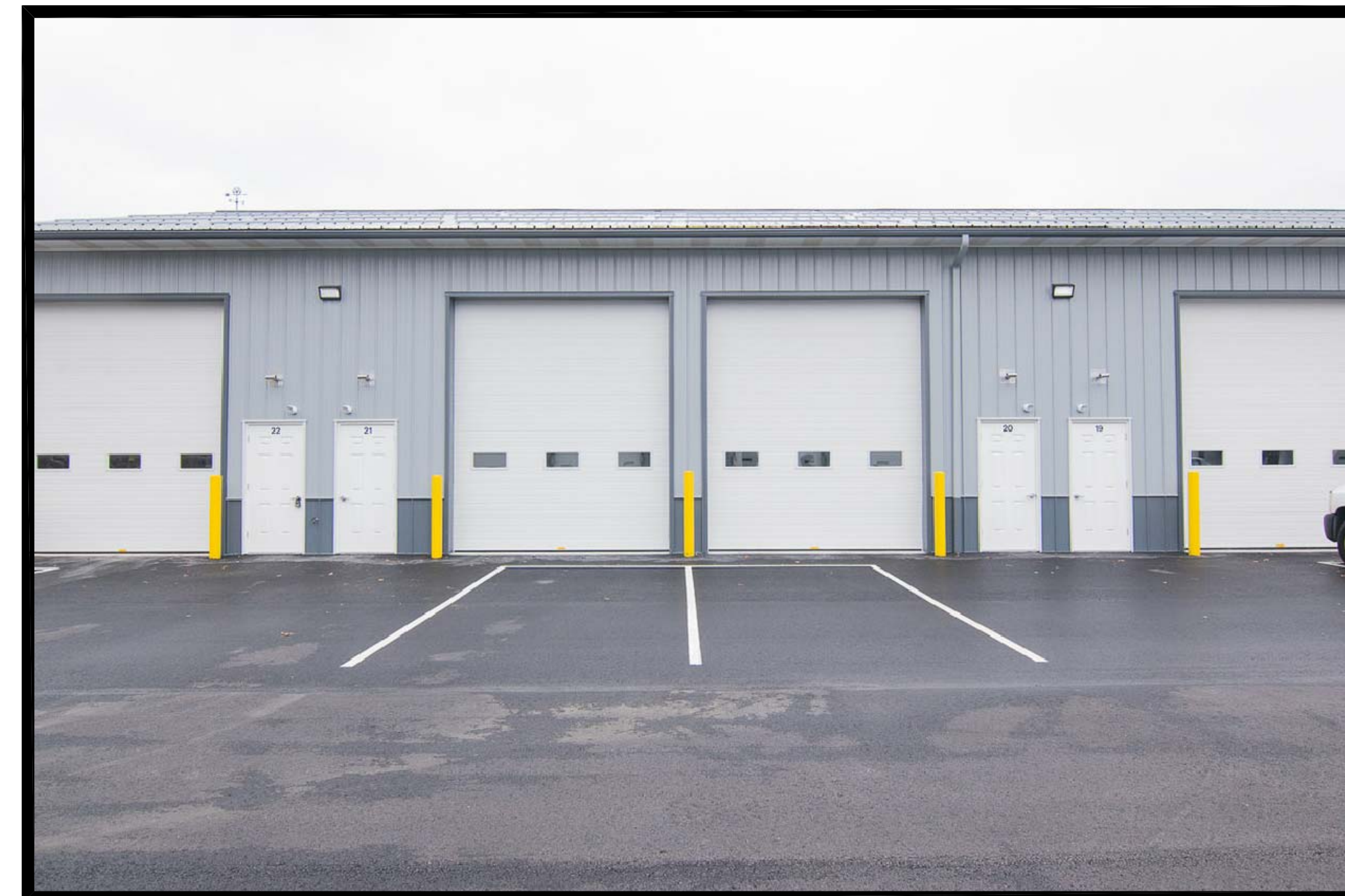
SITE PLAN CITY OF SOMERSWORTH CONTRACTOR OFFICE AND STORAGE BUILDINGS

187 ROUTE 108 (MAP 44, LOT 28)
SOMERSWORTH, NEW HAMPSHIRE

PREPARED FOR:
SOMERSWORTH INDUSTRIAL PARK, LLC
4023 DEAN MARTIN DRIVE
LAS VEGAS, NEVADA 89103



LOCUS AERIAL IMAGE
1:100



PROPOSED ELEVATION VIEW
NTS

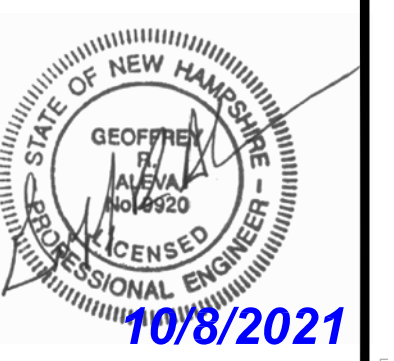
PLAN INDEX:

- A1 BOUNDARY PLAN
- EC1 EXISTING CONDITIONS PLAN
- L1 PROPOSED SITE PLAN
- L2 UTILITY PLAN
- L3 DRAINAGE PLAN
- L4 CONSTRUCTION DETAILS
- L5 FILTRATION BMP AND STRUCTURE DETAILS
- L6 MAINTENANCE PLAN
- PL PARKING LAYOUT PLAN
- SK1 EMERGENCY VEHICLE PATH
- LP1 LANDSCAPING PLAN
- LO1 SITE LIGHTING PLAN

OWNER: SOMERSWORTH INDUSTRIAL PARK, LLC
4023 DEAN MARTIN DRIVE
LAS VEGAS, NV 89103

SITE CIVIL ENGINEER: CIVIL CONSULTANTS
P.O. BOX 100
293 MAIN STREET
SOUTH BERWICK, ME 03908

LANDSCAPE ARCHITECT: SCOTT STRYNAR LANDSCAPE ARCHITECT, LLC
98 MEEHAN LANE
NORTH BERWICK, ME, 03906



© CIVIL CONSULTANTS
CIVIL CONSULTANTS
Engineers
Planners
Surveyors
P.O. Box 100
South Berwick
Maine
03908
207-384-2550
www.civcon.com

NO.	REVISIONS	DATE
3	REVISED PER PLANNING BOARD REVIEW	10/08/21
2	REVISED TO ADDRESS PLANNER COMMENTS	08/16/21
1	REVISED PER PLANNING BOARD REVIEW	07/01/21

RECORD OWNERS:
SOMERSWORTH INDUSTRIAL
PARK, LLC
ADDRESS:
4023 DEAN MARTIN DRIVE,
LAS VEGAS, NEVADA 89103

PROPOSED SITE PLAN
187 ROUTE 108 - TAX MAP 44, LOT 28
SOMERSWORTH, STRAFFORD COUNTY
NEW HAMPSHIRE

PREPARED FOR: SOMERSWORTH INDUSTRIAL PARK, LLC
CLIENT ADDRESS: 4023 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

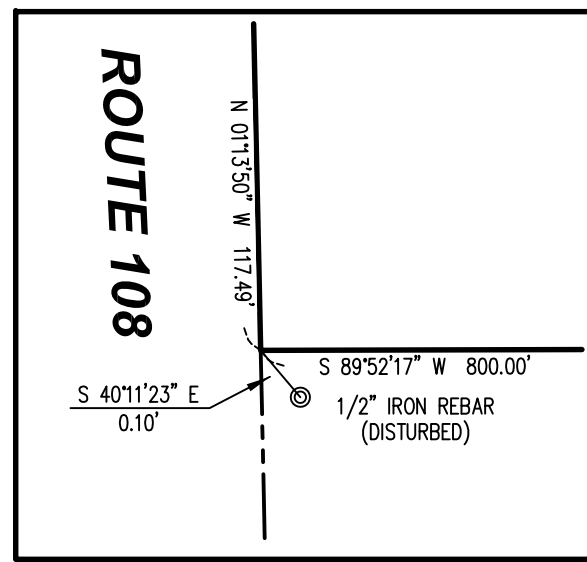
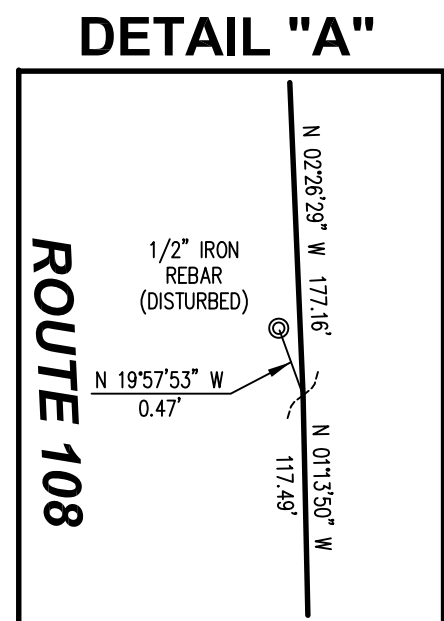
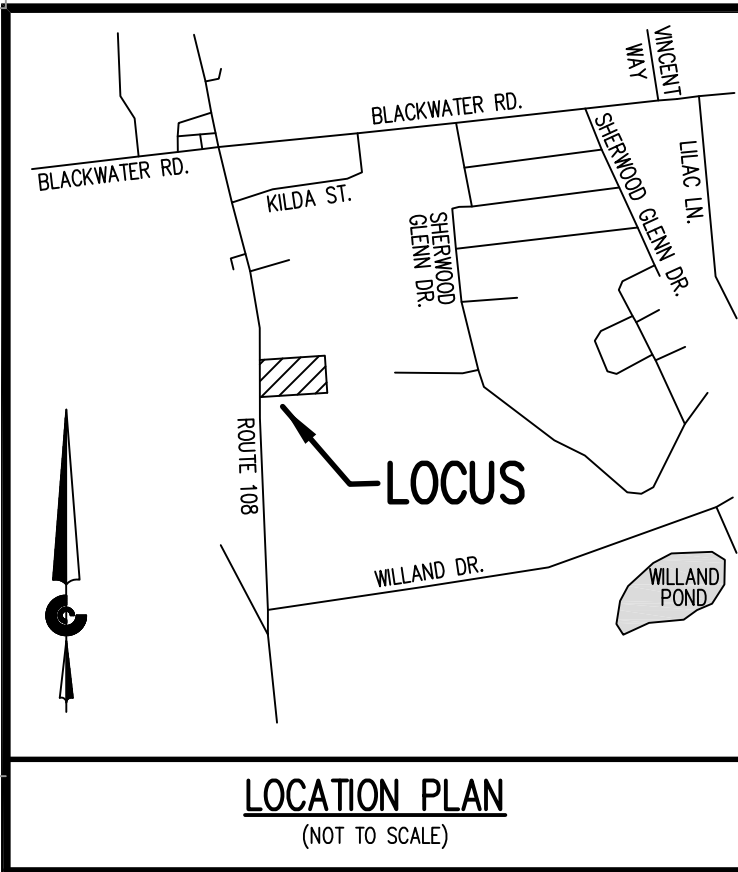
SCALE AS NOTED
0" = 1"
DATE: 06/11/2021
DRAWN BY: DRC
CHECKED BY: GRA
APPROVED BY: GRA

COVER SHEET

PROJECT NO: 20-203.01

CVR

SHEET: - OF -



NOTES:

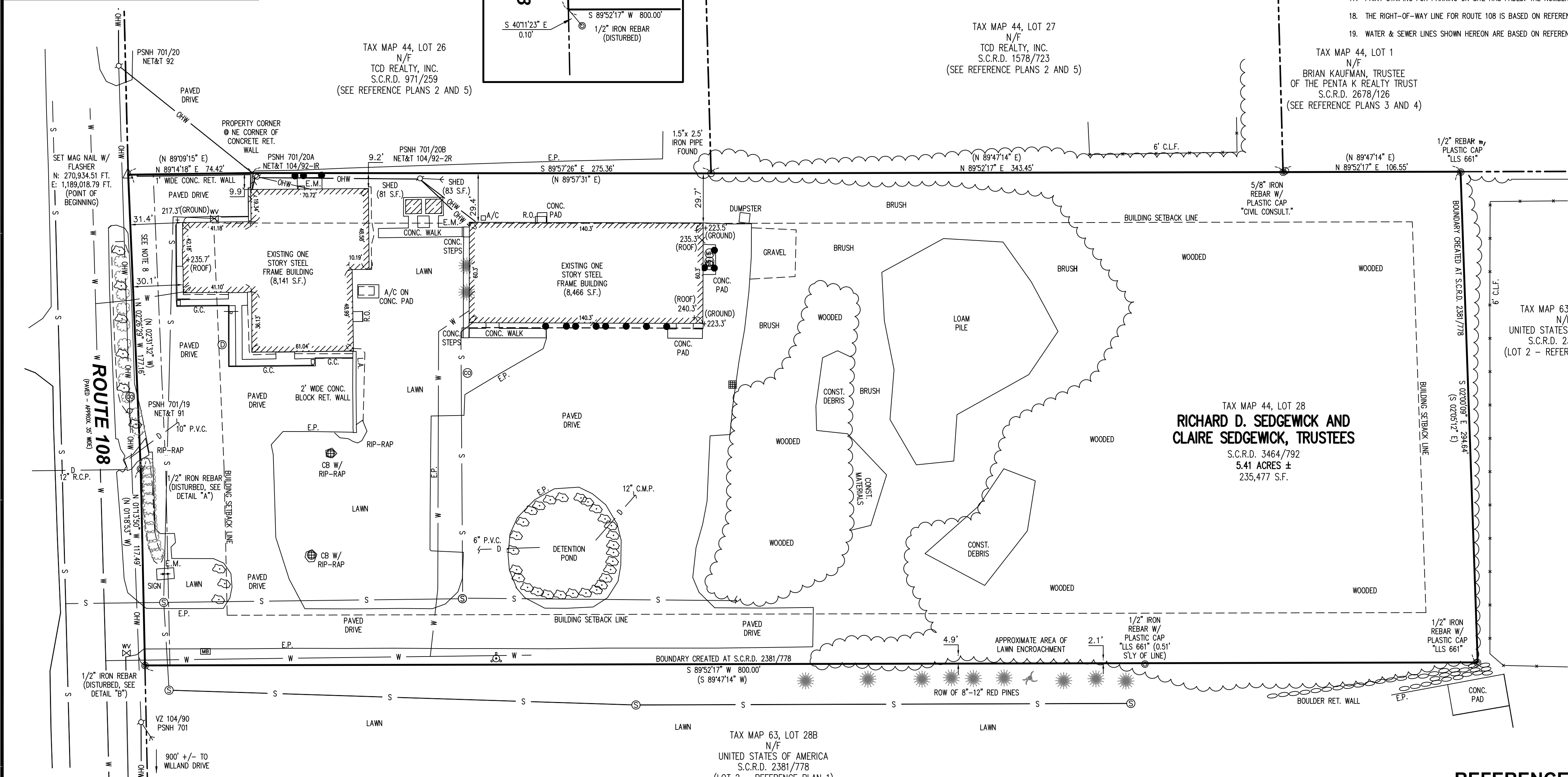
1. PLANIMETRIC DETAIL DEPICTED HEREON IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY BY CIVIL CONSULTANTS ON JULY 27, 2020.
2. NORTH AS DEPICTED HEREON IS REFERENCED TO GRID NORTH, NAD83, NEW HAMPSHIRE STATE PLANE COORDINATE SYSTEM. COORDINATE VALUES AND ORIENTATION ARE DERIVED FROM A GPS SURVEY COMPUTED UTILIZING THE NGS OPUS ON-LINE PROCESSING SERVICE. REFERENCE FRAME IS NAD83 2011 EPOCH 2010.0000. THE SURVEY IS TIED TO CORN STATIONS BOSTON WAAS 1 CORN (ZBNW), BARTLETT CORN (BARW) AND BRUNSWICK 1 CORN (BRU1). DISTANCES DEPICTED HEREON ARE GRID. TO CONVERT GRID DISTANCES TO GROUND DISTANCES, MULTIPLY THE GRID DISTANCE BY 1.0000689 (AVERAGE COMBINED SCALE FACTOR FOR PROJECT). BEARINGS WITHOUT PARENTHESES ARE GRID BEARINGS BASED ON THE CURRENT SURVEY. BEARINGS WITH PARENTHESES ARE BASED ON REFERENCE PLAN 1. ANGLES AT CORNERS ARE THE SAME COMPUTED FROM BOTH SOURCES.
3. ELEVATIONS DEPICTED HEREON ARE REFERENCED TO NAVD83, DERIVED FROM THE ABOVE REFERENCED GPS SURVEY. [TO CONVERT NAVD83 ELEVATIONS TO NGVD29 ELEVATIONS ADD 0.67']
4. **ASSESSOR'S INFORMATION:** CITY OF SOMERSWORTH TAX MAP 44, LOT 28
5. **RECORD OWNERS:** RICHARD D. SEDGEWICK AND CLAIRE SEDGEWICK, TRUSTEES UNDER THE RICHARD D. SEDGEWICK, REALTY TRUST
6. **DEED REFERENCE:** S.C.R.D. 3464/792
7. UTILITY INFORMATION DEPICTED HEREON IS COMPILED USING PHYSICAL EVIDENCE LOCATED IN THE FIELD. UTILITIES DEPICTED HEREON MAY NOT NECESSARILY REPRESENT ALL EXISTING UTILITIES. CONTRACTORS NEED TO CONTACT DISSAFE AND FIELD VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
8. THE LOCUS PARCEL IS SUBJECT TO A 15' WIDE UTILITY EASEMENT BENEFITING NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY AND PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE AS SET FORTH IN Y.C.R.D. 1666/525.
9. THE LOCUS PARCEL IS LOCATED IN "ZONE X", ON THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) FOR THE CITY OF SOMERSWORTH, STRAFFORD COUNTY, NEW HAMPSHIRE, VERSION NUMBER 2.2.2.1, COMMUNITY PANEL NUMBER 330151 0310, MAP REVISED SEPTEMBER 30, 2015. ZONE X IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN".

NOTES (CONT.):

11. THE SUBJECT PARCEL IS IN THE C1 (COMMERCIAL/INDUSTRIAL) ZONING DISTRICT. DIMENSIONAL AND DENSITY REGULATIONS FOR THE C1 ZONE ARE AS FOLLOWS: MINIMUM LOT AREA (COMMERCIAL USES)=40,000 SQUARE FEET; MINIMUM LOT AREA (INDUSTRIAL USES)=N/A; MINIMUM LOT FRONTAGE (COMMERCIAL USES)=200'; MINIMUM LOT FRONTAGE (INDUSTRIAL USES)=60' (APPLICABLE ONLY TO LOTS CREATED AFTER THE EFFECTIVE DATE OF THIS ZONING ORDINANCE AMENDMENT); MINIMUM FRONT YARD SETBACK (COMMERCIAL USES)=50'; MINIMUM FRONT YARD SETBACK (INDUSTRIAL USES)=50' (LOTS WHICH FRONT ON A MAJOR CITY ROAD, AS DETERMINED BY THE CITY ENGINEER, SHALL PROVIDE A MINIMUM FRONT SETBACK OF 70'. LOTS WHICH FRONT ON A STATE OWNED ROAD, AND FOR WHICH INDUSTRIAL USES ARE PROPOSED, MUST PROVIDE A MINIMUM DEVELOPMENT SETBACK OF 50'. A DEVELOPMENT SETBACK PROHIBITS NOT ONLY BUILDINGS, BUT ALSO PAVED AREAS, STORAGE YARDS AND ANY OTHER DEVELOPMENT OF LAND EXCEPT LANDSCAPING); MINIMUM SIDE YARD SETBACK (COMMERCIAL USES)=30'; MINIMUM SIDE YARD SETBACK (INDUSTRIAL USES)=25' [THE MINIMUM SIDE AND REAR BUILDING SETBACK SHALL BE DETERMINED BY THE REQUIREMENTS OUTLINED IN SECTION 10.C.4 OF THE CITY OF SOMERSWORTH SITE PLAN REVIEW REGULATIONS]; MAXIMUM BUILDING COVERAGE (COMMERCIAL USES)=40%; MAXIMUM BUILDING COVERAGE (INDUSTRIAL USES)=40%; MAXIMUM BUILDING HEIGHT (COMMERCIAL USES)=35'; MAXIMUM BUILDING HEIGHT (INDUSTRIAL USES)=40'; MAXIMUM DWELLING UNITS/GROSS ACRES=N/A. FOR COMPLETE ZONING INFORMATION REFER TO THE CITY OF SOMERSWORTH ZONING ORDINANCE. (NO ZONING REPORT WAS PROVIDED.)
12. BOTH BUILDINGS ON SITE DO NOT CONFORM TO CURRENT SIDE BUILDING SETBACK REQUIREMENT ALONG THE NORTHERLY BOUNDARY LINE. THE FRONT BUILDING DOES NOT CONFORM TO CURRENT FRONT SETBACK REQUIREMENT.
13. NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WAS OBSERVED. PHONE CONVERSATION WITH GREGORY SMITH OF N.H.D.O.T. CONFIRMS NO CURRENT PLANS FOR ALTERATION OF ROUTE 108 RIGHT-OF-WAY BOUNDARY.
14. NO EVIDENCE OF RECENT CONSTRUCTION OR EARTH MOVING WAS OBSERVED.
15. DURING THE COURSE OF THIS SURVEY PILES OF CONSTRUCTION DEBRIS, CONSTRUCTION MATERIALS, LOAM & THE REMNANTS OF HEAVY EQUIPMENT WERE OBSERVED, SHOWN HEREON.
16. NO CEMETERIES OR EVIDENCE OF BURIAL GROUNDS WERE OBSERVED ON THE SUBJECT PROPERTY.
17. PAINT STRIPING FOR PARKING ON SITE HAS FADED. THE NUMBER OF PARKING SPACES COULD NOT BE DETERMINED.
18. THE RIGHT-OF-WAY LINE FOR ROUTE 108 IS BASED ON REFERENCE PLAN 1.
19. WATER & SEWER LINES SHOWN HEREON ARE BASED ON REFERENCE PLAN 6.

LEGEND:

- ⊕ CATCH BASINS
- ⊙ SEWER CLEANOUT
- ⊕ REINFORCED CONCRETE PIPE CULVERT
- ⊕ SIGN
- ⊕ LAMP POLE
- ⊕ SHRUB OR SMALL ORNAMENTAL TREE
- ⊕ SANITARY SEWER MAN HOLE
- ⊕ FIRE HYDRANT
- ⊕ UTILITY POLE
- ⊕ WATER VALVE
- ⊕ EASEMENT
- ⊕ IRON PIPE FOUND
- ⊕ SQUARE FEET
- ⊕ BOULDER
- ⊕ UTILITY POLE GUY WIRE
- ⊕ ELECTRICAL METER
- ⊕ WATER SHUTOFF
- OHW OVERHEAD WIRES ELECTRIC, TELEPHONE, CABLE
- STRAFFORD COUNTY REGISTRY OF DEEDS DEED BOOK/PAGE
- NEW HAMPSHIRE STATE PLANE COORDINATES (NAD83)
- FOUND IRON ROD OR REBAR
- BOLLARD
- NOW OR FORMERLY BEARING BASED ON MSPCS GRID NORTH
- BEARING BASED ON PLAN NORTH-REFERENCE PLANS 1
- LOCUS PARCEL PROPERTY LINE
- ABUTTER PARCEL PROPERTY LINE
- EASEMENT PARCEL LINE
- BUILDING WALL LINE
- E.P. EDGE OF PAVEMENT
- R.O. ROOF OVERHANG
- CONC. CONCRETE
- REF. REFERENCE
- L.P.G. LIQUEFIED PETROLEUM GAS
- P.V.C. POLYVINYL CHLORIDE
- C.L.F. CHAINLINK FENCE
- G.C. GRANITE CURB
- RET. RETAINING
- MAG NAIL W/ FLASHER
- MAILBOX
- STORM SEWER MANHOLE
- STUMP
- BUILDING SETBACK LINE
- SPOT ELEVATION OR ROOF ELEVATION
- S UNDERGROUND SANITARY SEWER
- W UNDERGROUND WATER LINE
- D UNDERGROUND STORM SEWER



CERTIFICATION:

(CERTIFICATION IN ACCORDANCE WITH RSA 676:18-III - EFFECTIVE JANUARY 1, 1996) I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

THIS SURVEY WAS PERFORMED UNDER MY DIRECTION IN ACCORDANCE WITH THE ETHICS AND STANDARDS ESTABLISHED BY THE NEW HAMPSHIRE BOARD OF LICENSEURE FOR LAND SURVEYORS ON JANUARY 1, 2009 FOR AN URBAN LAND TITLE SURVEY.

TO (i) PATRIOT HOLDINGS, LLC, ITS LENDER AND CHICAGO TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-4, 6(a), 6(b), 7(a), 7(b)(2), 7(c), 8, 9, 11 (SURFACE OBSERVABLE UTILITIES ONLY), 12, 13, 14, 16, 19 & 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 27, 2020.

CHRISTOPHER H. MENDE, LLS 00792 DATE 9/16/2020
CIVIL CONSULTANTS

LEGAL DESCRIPTION:

RICHARD D. SEDGEWICK LIVING TRUST
100 HORNE STREET, DOVER, NH 03820
(S.C.R.D. Book 3464, Page 792)

All of the premises conveyed to Grantor by deed of Richard D. Sedgewick dated June 23, 1995, and recorded in the Somersworth County Registry of Deeds Book 1816 at Page 201

Less, all of the property conveyed to the United States of America by Deed dated September 26, 2001 and recorded in the Strafford County Registry of Deeds in Deed Book 2381 at Page 778.

SCHEDULE B, PART II, EXCEPTIONS

- VESTING DEED - DAC SEDGEWICK FAMILY LIVING TRUST TO RICHARD D. SEDGEWICK LIVING TRUST, DATED NOVEMBER 10, 2006, RECORDED AT S.C.R.D. 3464/792.
- ITEMS 1-7 NOT SURVEY ISSUES
- ITEM 8 - SUBJECT TO NOTES, FACTS AND CONDITIONS AS SHOWN ON PLAN 63/40
- ITEM 9 - EASEMENT - BOOK 1666, PAGE 525 - SHOWN HEREON (SEE NOTE 8 AND LOCATION ALONG EASTERLY LINE OF ROUTE 108)

UTILITY INFORMATION

1. THE FOLLOWING PUBLIC UTILITIES APPEAR TO BE AVAILABLE AT THE SITE FROM THE RIGHT OF WAY OF ROUTE 108: COMMUNICATIONS, ELECTRIC POWER, WATER, AND SEWER.
2. SURFACE VISIBLE EVIDENCE OF UTILITIES IS SHOWN HEREON. NO UNDERGROUND INVESTIGATION WAS PERFORMED. PRIOR TO CONSTRUCTION OR EXCAVATION ON SITE, PERSONS UNDERTAKING WORK SHALL CONTACT DISSAFE. WATER AND SEWER LINES ARE BASED ON REFERENCE PLAN 6. NO OTHER UTILITY PLANS WERE AVAILABLE.

LIST OF ENCROACHMENTS

1. OWNERS OF TAX MAP 63, LOT 28B ARE MOVING AND MAINTAINING AN AREA ALONG THE SOUTHERLY BOUNDARY OF THE LOCUS PARCEL.

REFERENCE PLANS:

1. "SUBDIVISION PLAN PREPARED FOR D & C SEDGEWICK FAMILY LIVING TRUST, TAX MAP 44, LOT NO. 28, 187 ROUTE 108, CITY OF SOMERSWORTH, COUNTY OF STRAFFORD, STATE OF NEW HAMPSHIRE", DATED JULY 24, 2001, LAST REVISED SEPTEMBER 25, 2001, PREPARED BY MCNEANEY SURVEY ASSOCIATES, INC., RECORDED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS AS PLAN NUMBER 63-40.
2. "PLAN OF LAND FOR TRI-CITY DOGHOUSE, SOMERSWORTH, NEW HAMPSHIRE", DATED JULY 26, 1988, PREPARED BY THOMAS F. MORAN INC., RECORDED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS AS PLAN NUMBER 34A-129.
3. "SUBDIVISION OF LAND OF STACKPOLE CONSTRUCTION CO., INC., BLACKWATER ROAD, SOMERSWORTH, NEW HAMPSHIRE", DATED JUNE 11, 1982, PREPARED BY CIVIL CONSULTANTS, RECORDED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS AS PLAN NUMBER 23A-97.
4. "PLAN OF A PORTION OF LAND OF JACOB C. & MARGARET O. WOLTERBEEK, ROUTE 16 - DOVER ROAD, SOMERSWORTH, N.H., TO BE PURCHASED BY ROBERT E. STACKPOLE", DATED AUGUST 7, 1981, PREPARED BY CIVIL CONSULTANTS, RECORDED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS AS PLAN NUMBER 17B-146.
5. "[THIS IS NOT A SUBDIVISION], PLAN OF LAND OF FRANCIS J. & MARION E. HOGAN, SOMERSWORTH, NEW HAMPSHIRE", DATED JUNE, 1971, BY ROBERT W. MCCORNE, RLS, RECORDED AT THE STRAFFORD COUNTY REGISTRY OF DEEDS AS PLAN NUMBER 17-115.
6. "PROPOSED 3 LOT COMMERCIAL SUBDIVISION, MAP 44, LOTS 28, 28A & 28B, THE SEDGEWICK PROJECT, ROUTE 108, SOMERSWORTH, NH, STRAFFORD COUNTY", DATED MARCH 27, 2006, LAST REVISED NOVEMBER 20, 2006, UNRECORDED, CIVIL CONSULTANTS PROJ. #01403.02.



CIVIL CONSULTANTS
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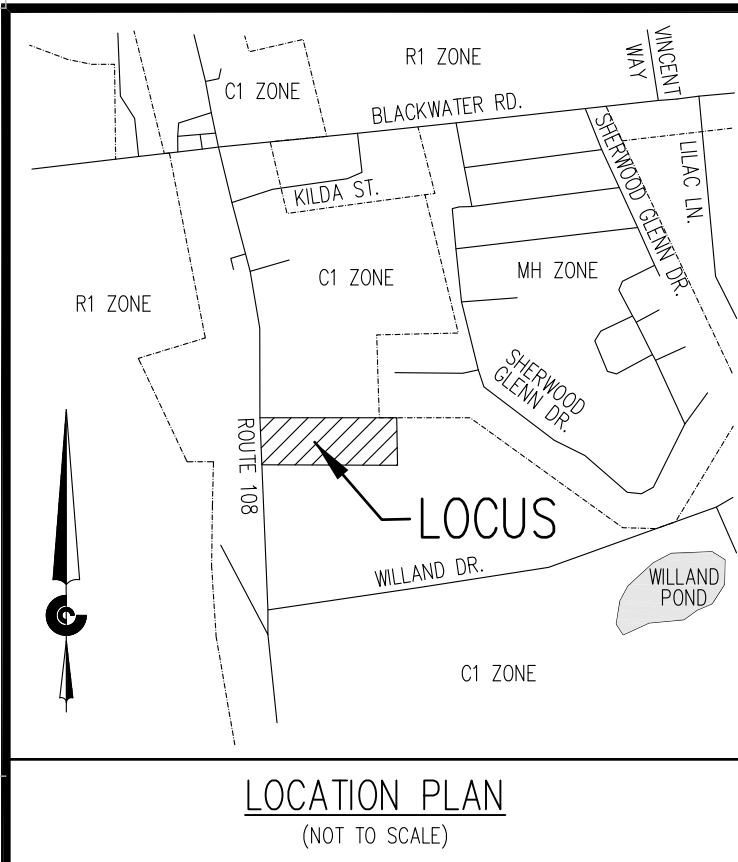
NO.	REVISIONS	INT.	DATE

RECORD OWNERS:
RICHARD D. SEDGEWICK
AND CLAIRE SEDGEWICK,
TRUSTEES UNDER THE
RICHARD D. SEDGEWICK
LIVING TRUST
ADDRESS:
15 LILAC LANE
SOMERSWORTH, NH
03878

**ALTA/NSPS LAND TITLE SURVEY OF LAND OF
RICHARD D. AND CLAIRE SEDGEWICK, TRUSTEES
187 ROUTE 108 - TAX MAP 44, LOT 28
SOMERSWORTH, STRAFFORD COUNTY
NEW HAMPSHIRE**
PREPARED FOR: PATRIOT HOLDINGS, LLC
CLIENT ADDRESS: 4023 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

DATE: 9/16/2020
DRAWN BY: CBS
CHECKED BY: CHM
APPROVED BY: CBS

ALTA/NSPS
LAND TITLE
SURVEY
PROJECT NO: 20-203.00
A1
SHEET: 1 OF 1



REFERENCE PLANS:

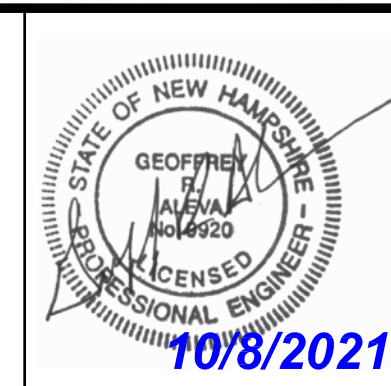
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NOTES:

1. PLANIMETRIC DETAIL DEPICTED HEREON IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY BY CIVIL CONSULTANTS ON JULY 27, 2020.
2. NORTH AS DEPICTED HEREON IS REFERENCED TO GRID NORTH, NAD83, NEW HAMPSHIRE STATE PLANE COORDINATE SYSTEM. COORDINATE VALUES AND ORIENTATION ARE DERIVED FROM A GPS SURVEY COMPUTED UTILIZING THE NGS OPUS ON-LINE PROCESSING SERVICE. REFERENCE FRAME IS NAD83 2011 EPOCH 2010.0000. THE SURVEY IS TIED TO CORS STATIONS BOSTON WAAS 1 CORS (ZBN), BARLETT CORS (BAR) AND BRUNSWICK 1 CORS (BRU). DISTANCES DEPICTED HEREON ARE GRID. TO CONVERT GRID DISTANCES TO GROUND DISTANCES, MULTIPLY THE GRID DISTANCE BY 1.0000689 (AVERAGE COMBINED SCALE FACTOR FOR PROJECT). BEARINGS WITHOUT PARENTHESES ARE GRID BEARINGS BASED ON THE CURRENT SURVEY. BEARINGS WITH PARENTHESES ARE BASED ON REFERENCE PLAN 1. ANGLES AT CORNERS ARE THE SAME COMPUTED FROM BOTH SOURCES.
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4. **ASSESSOR'S INFORMATION:** CITY OF SOMERSWORTH TAX MAP 44, LOT 28
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6. **DEED REFERENCE:** S.C.R.D. 4801/947
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11. WATER & SEWER LINES SHOWN HEREON ARE BASED ON REFERENCE PLAN 1.

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13. THERE ARE NO TREES GREATER THAN 12" CALIPER ON SITE.
14. THE SOILS SHOWN ON THIS PLAN ARE TAKEN FROM USDA NATURAL RESOURCES CONSERVATION SERVICE (NRCS) WEB SOIL SURVEY. A SMALL PORTION IN NORTHWEST CORNER OF LOT IS DESIGNATED AS MADE LAND (Mn). THIS AREA IS ENTIRELY IMPERVIOUS COVER. THE REMAINDER OF THE SITE IS HINCKLEY LOAMY SAND (HnS), WHICH IS EXCESSIVELY WELL DRAINED.

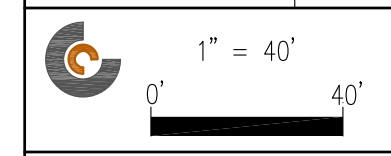


CIVIL CONSULTANTS
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 Planners
 Surveyors
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 South Berwick
 Maine
 03908
 207-384-2550
 www.civcon.com

NO.	REVISIONS	DATE
3	REVISED PER PLANNING BOARD REVIEW	10/08/21
2	REVISED TO ADDRESS PLANNER COMMENTS	08/16/21
1	REVISED PER PLANNING BOARD REVIEW	07/01/21

RECORD OWNERS:
 SOMERSWORTH INDUSTRIAL
 PARK, LLC
 ADDRESS:
 4023 DEAN MARTIN DRIVE,
 LAS VEGAS, NEVADA 89103

PROPOSED SITE PLAN
187 ROUTE 108 - TAX MAP 44, LOT 28
SOMERSWORTH, STRAFFORD COUNTY
NEW HAMPSHIRE
 PREPARED FOR: SOMERSWORTH INDUSTRIAL PARK, LLC
 CLIENT ADDRESS: 4023 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103



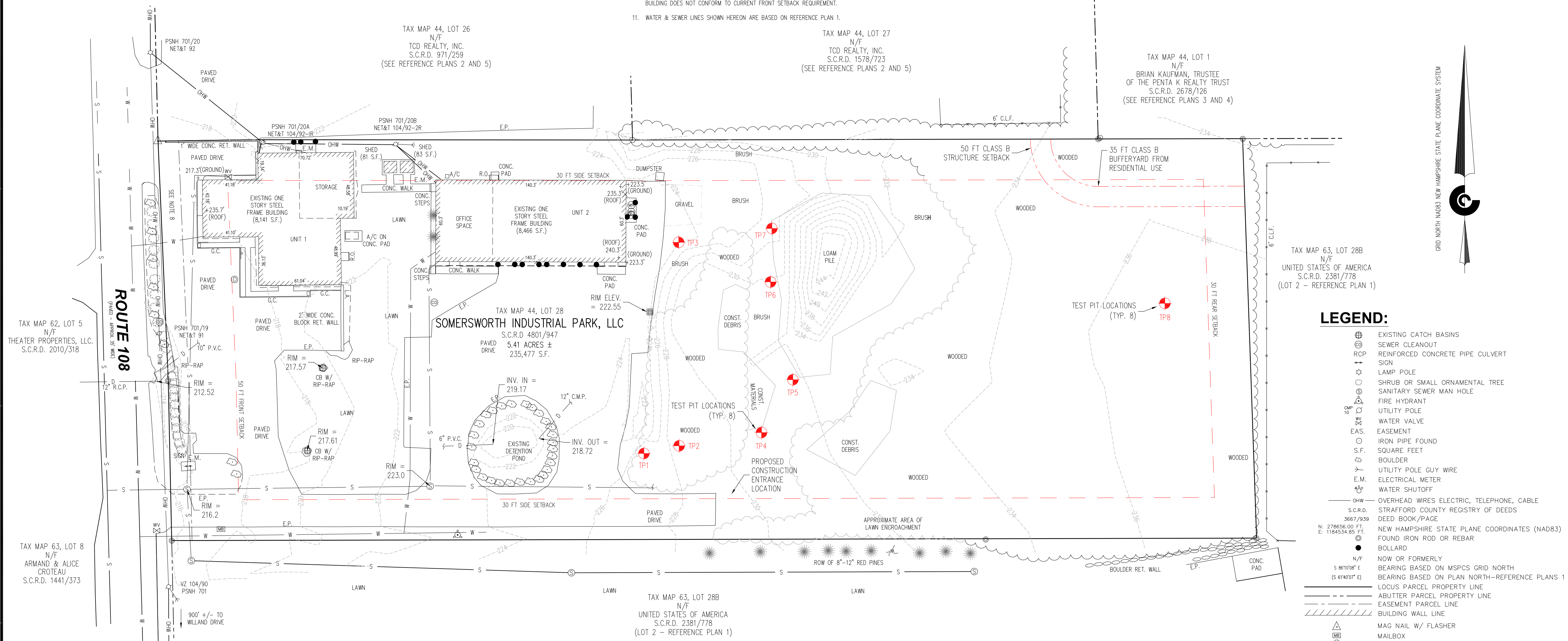
DATE: 06/11/2021
 DRAWN BY: DRC
 CHECKED BY: GRA
 APPROVED BY: GRA

EXISTING SITE PLAN

PROJECT NO: 20-203.01

EC1

SHEET: 1 OF 1

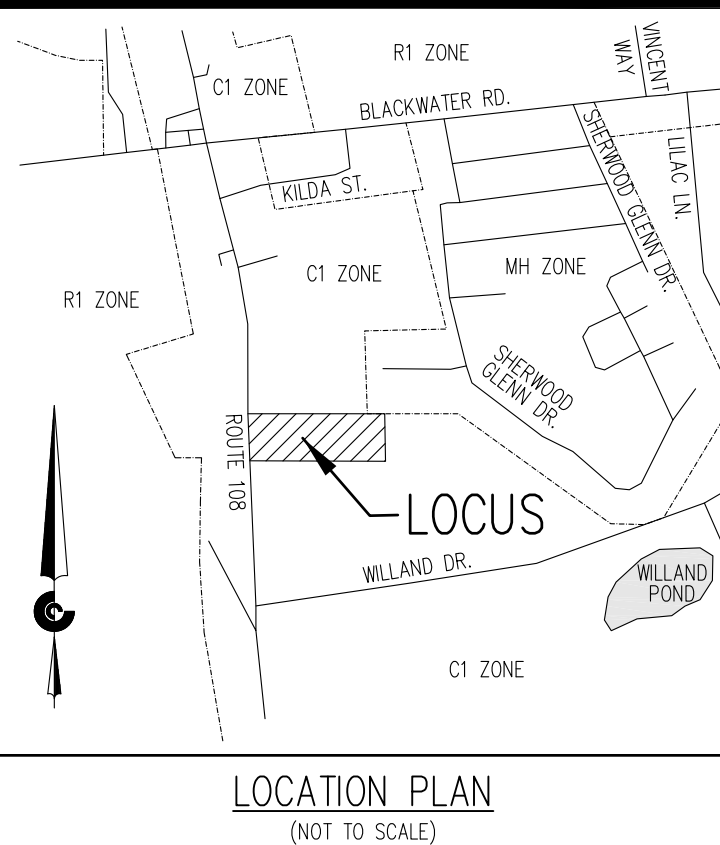


LEGEND:

- ⊕ EXISTING CATCH BASINS
- ⊕ SEWER CLEANOUT
- ⊕ REINFORCED CONCRETE PIPE CULVERT
- ⊕ SIGN
- ⊕ LAMP POLE
- ⊕ SHRUB OR SMALL ORNAMENTAL TREE
- ⊕ SANITARY SEWER MAN HOLE
- ⊕ FIRE HYDRANT
- ⊕ UTILITY POLE
- ⊕ WATER VALVE
- ⊕ EASEMENT
- ⊕ IRON PIPE FOUND
- ⊕ SQUARE FEET
- ⊕ BOULDER
- ⊕ UTILITY POLE GUY WIRE
- ⊕ E.M. ELECTRICAL METER
- ⊕ WATER SHUTOFF
- OHW OVERHEAD WIRES ELECTRIC, TELEPHONE, CABLE
- S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS
- 3667/939 DEED BOOK/PAGE
- NEW HAMPSHIRE STATE PLANE COORDINATES (NAD83)
- FOUND IRON ROD OR REBAR
- BOLLARD
- NOW OR FORMERLY
- BEARING BASED ON MSPCS GRID NORTH
- BEARING BASED ON PLAN NORTH—REFERENCE PLANS 1
- LOCUS PARCEL PROPERTY LINE
- ABUTTER PARCEL PROPERTY LINE
- EASEMENT PARCEL LINE
- BUILDING WALL LINE
- △ MAG NAIL W/ FLASHER
- ⊕ MAILBOX
- ⊕ STORM SEWER MANHOLE
- ⊕ STUMP
- BUILDING SETBACK LINE
- +235.7' EXISTING SPOT ELEVATION OR ROOF ELEVATION
- S UNDERGROUND SANITARY SEWER
- W UNDERGROUND WATER LINE
- D UNDERGROUND STORM SEWER

EXISTING COVERAGE INFO

LOT AREA	235,477 SF
EXISTING BUILDINGS	16,607 SF
EXISTING SHED	163 SF
GRAVEL	91 SF
PAVEMENT	50,226 SF
CONCRETE RET WALL	396 SF
CONCRETE WALK	2,079 SF
BLDG COVERAGE	16,770/235,477 = 7.12% < 40%



REFERENCE PLANS:

1. "ALTA/NSPS LAND TITLE SURVEY OF LAND OF RICHARD D. AND CLAIR SEDGWICK, TRUSTEES, 187 ROUTE 108, TAX MAP 44, LOT 28, SOMERSWORTH, STRAFFORD COUNTY, NEW HAMPSHIRE" DATED 9/16/2020, PREPARED BY CHRIS MENDE OF CIVIL CONSULTANTS LOCATED AT 293 MAIN STREET IN SOUTH BERKOW, MAINE.

SCOPE OF WORK

THE INTENT OF THIS PLAN IS TO SHOW THE PROPOSED CONTRACTOR STORAGE/OFFICE BUILDINGS AT 187 ROUTE 108 IN SOMERSWORTH, NH. THE WORK INVOLVES THE CONSTRUCTION OF 40,000 SF OF NEW BUILDINGS WITH ASSOCIATED ACCESS PAVEMENT AND PARKING AREAS. THE WORK WILL ALSO INCLUDE THE INSTALLATION OF DRAINAGE FACILITIES TO CAPTURE ADDITIONAL STORMWATER RUNOFF DUE TO THE NEW IMPERVIOUS AREAS.

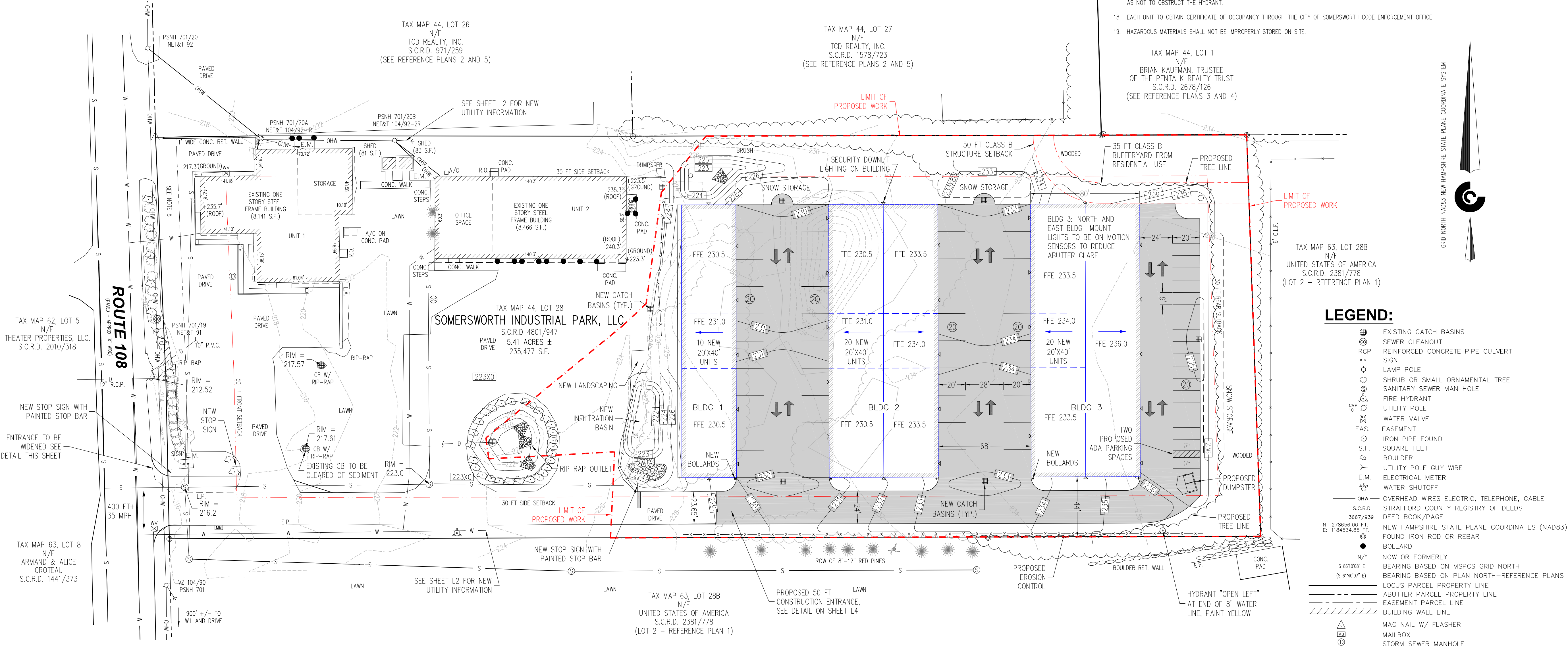
THE INTENT IS TO CREATE A LOCATION WHERE SMALL CONTRACTING BUSINESSES CAN RELOCATE TO A CENTRALIZED AREA TO PROVIDE OFFICE AND STORAGE AREA FOR THEIR BUSINESS. NO RETAIL USES WILL BE AT THIS FACILITY. THE NEW BUILDINGS WILL BE SPRINKLED AND CONNECTED TO CITY SERVICES.

NOTES:

1. PLANIMETRIC DETAIL DEPICTED HEREON IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY BY CIVIL CONSULTANTS ON JULY 27, 2020.
2. NORTH AS DEPICTED HEREON IS REFERENCED TO GRID NORTH, NAD83, NEW HAMPSHIRE STATE PLANE COORDINATE SYSTEM. COORDINATE VALUES AND ORIENTATION ARE DERIVED FROM A GPS SURVEY COMPUTED UTILIZING THE NGS OPUS ON-LINE PROCESSING SERVICE. REFERENCE FRAME IS NAD83 2011 EPOCH 2010.0000. THE SURVEY IS TIED TO CORS STATIONS BOSTON WAAS 1 CORS (ZBN1), BARLETT CORS (BAR1) AND BRUNSWICK 1 CORS (BRU1). DISTANCES DEPICTED HEREON ARE GRID. TO CONVERT GRID DISTANCES TO GROUND DISTANCES, MULTIPLY THE GRID DISTANCE BY 1.0000689 (AVERAGE COMBINED SCALE FACTOR FOR PROJECT). BEARINGS WITHOUT PARENTHESES ARE GRID BEARINGS BASED ON THE CURRENT SURVEY. BEARINGS WITH PARENTHESES ARE BASED ON REFERENCE PLAN 1. ANGLES AT CORNERS ARE THE SAME COMPUTED FROM BOTH SOURCES.
3. ELEVATIONS DEPICTED HEREON ARE REFERENCED TO NAVD88, DERIVED FROM THE ABOVE REFERENCED GPS SURVEY. [TO CONVERT NAVD88 ELEVATIONS TO NGVD29 ELEVATIONS ADD 0.67']
4. **ASSESSOR'S INFORMATION:** CITY OF SOMERSWORTH TAX MAP 44, LOT 28
5. **RECORD OWNERS:** SOMERSWORTH INDUSTRIAL PARK, LLC
6. **DEED REFERENCE:** S.C.R.D. 4801/947
7. UTILITY INFORMATION DEPICTED HEREON IS COMPILED USING PHYSICAL EVIDENCE LOCATED IN THE FIELD. UTILITIES DEPICTED HEREON MAY NOT NECESSARILY REPRESENT ALL EXISTING UTILITIES. CONTRACTORS NEED TO CONTACT DIGSAFE AND FIELD VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
8. THE LOCUS PARCEL IS LOCATED IN "ZONE X", ON THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) FOR THE CITY OF SOMERSWORTH, STRAFFORD COUNTY, NEW HAMPSHIRE, VERSION NUMBER 2.2.2.1, COMMUNITY PANEL NUMBER 330151 0310 E, MAP REVISED SEPTEMBER 30, 2015. ZONE X IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN".
9. BOTH EXISTING BUILDINGS ON SITE DO NOT CONFORM TO CURRENT SIDE BUILDING SETBACK REQUIREMENT ALONG THE NORTHERLY BOUNDARY LINE. THE FRONT BUILDING DOES NOT CONFORM TO CURRENT FRONT SETBACK REQUIREMENT.
10. WATER & SEWER LINES SHOWN HEREON ARE BASED ON REFERENCE PLAN 1.

NOTES (CONT.):

11. THE SUBJECT PARCEL IS IN THE C1 (COMMERCIAL/INDUSTRIAL) ZONING DISTRICT. DIMENSIONAL AND DENSITY REGULATIONS FOR THE C1 ZONE ARE AS FOLLOWS: MINIMUM LOT AREA (COMMERCIAL USES)=40,000 SQUARE FEET; MINIMUM LOT AREA (INDUSTRIAL USES)=N/A; MINIMUM LOT FRONTAGE (COMMERCIAL USES)=200'; MINIMUM LOT FRONTAGE (INDUSTRIAL USES)=60' (APPLICABLE ONLY TO LOTS CREATED AFTER THE EFFECTIVE DATE OF THIS ZONING ORDINANCE AMENDMENT); MINIMUM FRONT YARD SETBACK (COMMERCIAL USES)=50'; MINIMUM FRONT YARD SETBACK (INDUSTRIAL USES)=50' (LOTS WHICH FRONT ON A MAJOR CITY ROAD, AS DETERMINED BY THE CITY ENGINEER, SHALL PROVIDE A MINIMUM FRONT SETBACK OF 70'). LOTS WHICH FRONT ON A STATE OWNED ROAD, AND FOR WHICH INDUSTRIAL USES ARE PROPOSED, MUST PROVIDE A MINIMUM DEVELOPMENT SETBACK OF 50'. A DEVELOPMENT SETBACK PROHIBITS NOT ONLY BUILDINGS, BUT ALSO PAVED AREAS, STORAGE YARDS AND ANY OTHER DEVELOPMENT OF LAND EXCEPT LANDSCAPING; MINIMUM SIDE YARD SETBACK (COMMERCIAL USES)=30'; MINIMUM SIDE YARD SETBACK (INDUSTRIAL USES)=25'; MINIMUM REAR YARD SETBACK (COMMERCIAL USES)=30'; MINIMUM REAR YARD SETBACK (INDUSTRIAL USES)=25' [THE MINIMUM SIDE AND REAR BUILDING SETBACK SHALL BE DETERMINED BY THE REQUIREMENTS OUTLINED IN SECTION 10.0.4 OF THE CITY OF SOMERSWORTH SITE PLAN REVIEW REGULATIONS]; MAXIMUM BUILDING COVERAGE (COMMERCIAL USES)=40%; MAXIMUM BUILDING COVERAGE (INDUSTRIAL USES)=40%; MAXIMUM BUILDING HEIGHT (COMMERCIAL USES)=35'; MAXIMUM BUILDING HEIGHT (INDUSTRIAL USES)=40'; MAXIMUM DWELLING UNITS/GROSS ACRE=N/A. FOR COMPLETE ZONING INFORMATION REFER TO THE CITY OF SOMERSWORTH ZONING ORDINANCE. (NO ZONING REPORT WAS PROVIDED.)
12. APPROXIMATE WATER USAGE IS BASED ON NHDES SEPTIC DESIGN RULES (ENV-Wq 1000). WATER USAGE FOR OFFICE SPACE CAN BE DETERMINED BY OFFICE AREA OR EMPLOYEE COUNT. THERE ARE 50 PROPOSED UNITS, EACH UNIT WILL HAVE APPROXIMATELY 2 EMPLOYEES. FOR OFFICE USES WITHOUT CAFETERIA THE DESIGN FLOW IS 10 GPD/EMPLOYEE. DESIGN FLOW IS 50 x 2 x 10 = 1,000 GPD.
13. OUTDOOR STORAGE AND LONG TERM VEHICLE PARKING SHALL BE PROHIBITED. THERE SHALL BE NO OUTDOOR STOCKPILES OF CONTRACTOR SUPPLIES.
14. THE SITE DEVELOPMENT SHALL PROVIDE ADEQUATE PROTECTION FOR NEIGHBORING PROPERTIES AGAINST FIRE, NOISE, EXPLOSION, GLARE, ODOOR, AIR POLLUTION, HAZARDOUS WASTE, OR OTHER OBJECTIONABLE FEATURES OR NUISANCES. NOISE LEVELS SHALL NOT EXCEED SIXTY (60) DECIBELS DURING DAYTIME (7AM-7PM) AND SHALL NOT EXCEED FIFTY-FIVE (55) DECIBELS DURING THE NIGHTTIME (7PM-7AM). NOISY, ODOOR ACTIVITIES THAT PRODUCE CONTINUOUS, REGULAR OR FREQUENT ODOORS AND/OR EMISSIONS, DETECTABLE BEYOND THE BOUNDARY OF THE PROPERTY, IS PROHIBITED.
15. THE ROAD IS PRIVATE. ALL ADDRESSES WILL NEED TO CONFORM TO E911 REQUIREMENTS. THE ROAD NAME IS TO BE DETERMINED.
16. ALL EXCESS SNOW SHALL BE REMOVED FROM SITE.
17. FIRE HYDRANTS SHALL BE PERIODICALLY FLUSHED AND HAVE THE CAP REMOVED PERIODICALLY. SNOW AND VEGETATION SHALL BE REMOVED TO MAINTAIN ACCESS SO AS NOT TO OBSTRUCT THE HYDRANT.
18. EACH UNIT TO OBTAIN CERTIFICATE OF OCCUPANCY THROUGH THE CITY OF SOMERSWORTH CODE ENFORCEMENT OFFICE.
19. HAZARDOUS MATERIALS SHALL NOT BE IMPROPERLY STORED ON SITE.

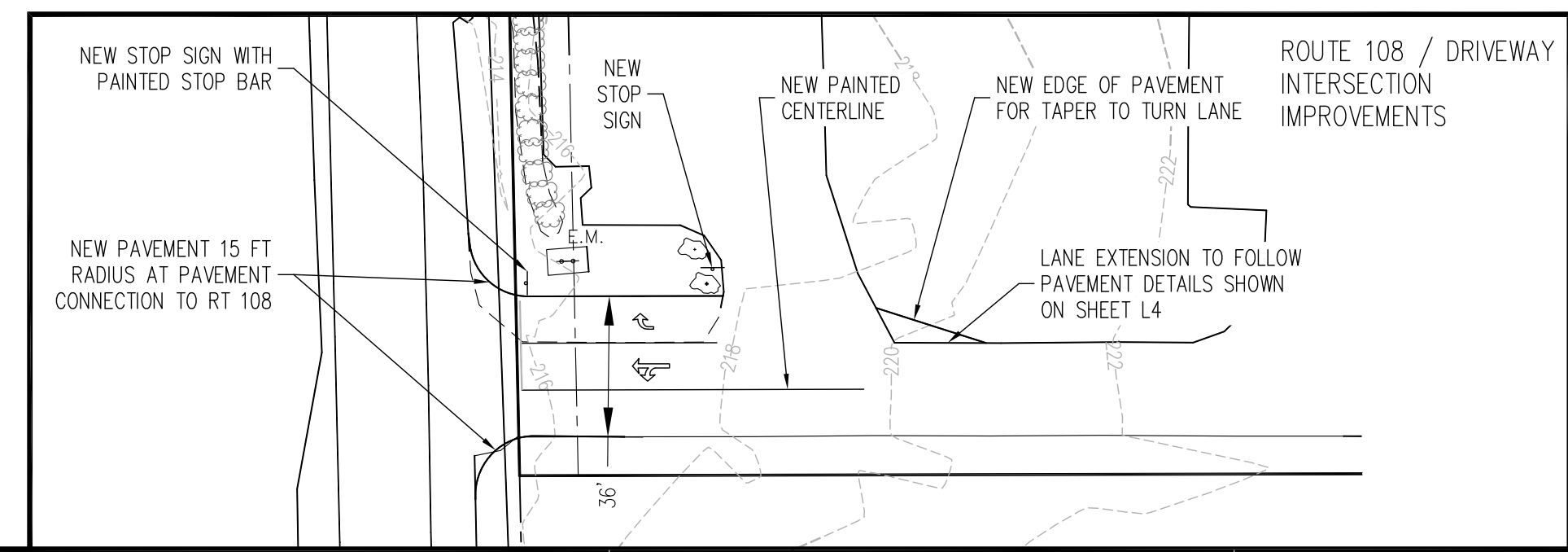


LEGEND:

- ⊕ EXISTING CATCH BASINS
- ⊙ SEWER CLEANOUT
- ⊕ RCP REINFORCED CONCRETE PIPE CULVERT
- ⊕ SIGN
- ⊕ LAMP POLE
- ⊕ SHRUB OR SMALL ORNAMENTAL TREE
- ⊕ SANITARY SEWER MAN HOLE
- ⊕ FIRE HYDRANT
- ⊕ UTILITY POLE
- ⊕ WATER VALVE
- EAS. EASEMENT
- ⊕ IRON PIPE FOUND
- S.F. SQUARE FEET
- ⊕ BOULDER
- ⊕ UTILITY POLE GUY WIRE
- E.M. ELECTRICAL METER
- ⊕ WATER SHUTOFF
- OHW OVERHEAD WIRES ELECTRIC, TELEPHONE, CABLE
- S.C.R.D. STRAFFORD COUNTY REGISTRY OF DEEDS
- 3667/939 DEED BOOK/PAGE
- N: 278656.00 FT. NEW HAMPSHIRE STATE PLANE COORDINATES (NAD83)
- E: 1184634.85 FT. FOUND IRON ROD OR REBAR
- ⊕ BOLLARD
- N/F NOW OR FORMERLY
- S 88°10'08" E BEARING BASED ON MSPCS GRID NORTH
- (S 81°40'07" E) BEARING BASED ON PLAN NORTH-REFERENCE PLANS 1
- ⊕ LOCUS PARCEL PROPERTY LINE
- ⊕ ABUTTER PARCEL PROPERTY LINE
- ⊕ EASEMENT PARCEL LINE
- ⊕ BUILDING WALL LINE
- ⊕ MAG NAIL W/ FLASHER
- ⊕ MAILBOX
- ⊕ STORM SEWER MANHOLE
- ⊕ STUMP
- BUILDING SETBACK LINE
- +235.7' EXISTING SPOT ELEVATION OR ROOF ELEVATION
- S UNDERGROUND SANITARY SEWER
- W UNDERGROUND WATER LINE
- D UNDERGROUND STORM SEWER
- PROPOSED CATCH BASINS
- [234] PROPOSED CONTOUR
- [230X20] PROPOSED SPOT ELEVATION
- PROPOSED TREELINE
- PROPOSED EROSION CONTROL

PROPOSED COVERAGE INFO

LOT AREA	235,477 SF
EXISTING BUILDINGS	16,607 SF
EXISTING SHED	163 SF
PROPOSED BUILDINGS	40,000 SF
GRAVEL	91 SF
PAVEMENT	96,442 SF
CONCRETE RET WALL	396 SF
CONCRETE WALK	2,079 SF
BLDG COVERAGE	56,770/235,477 = 24.1% < 40%



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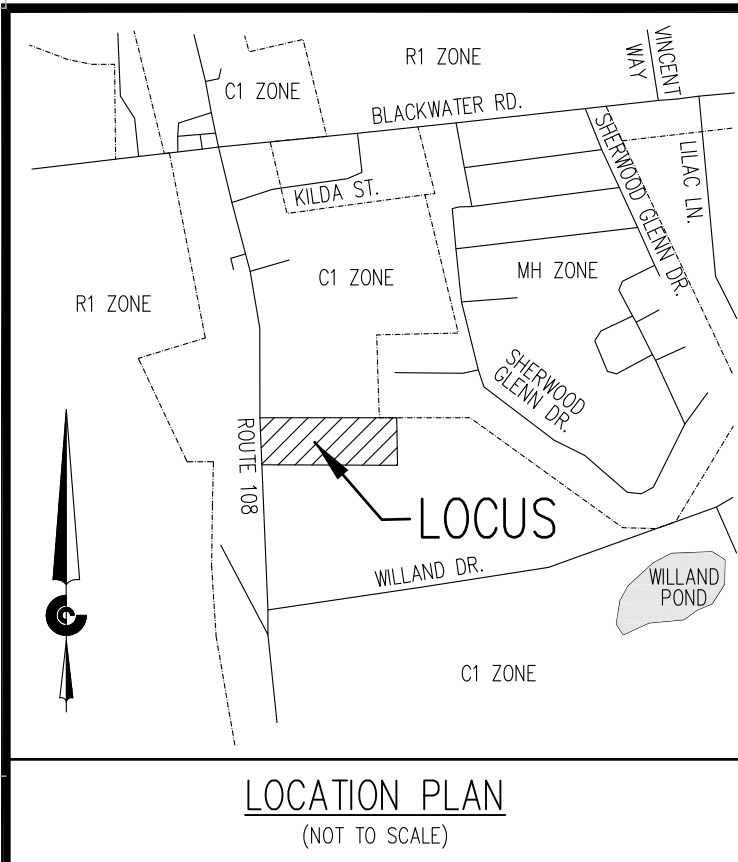
NO.	REVISIONS	DATE
3	REVISED PER PLANNING BOARD REVIEW	10/08/21
2	REVISED TO ADDRESS PLANNER COMMENTS	08/16/21
1	REVISED PER PLANNING BOARD REVIEW	07/01/21

RECORD OWNERS:
 SOMERSWORTH INDUSTRIAL
 PARK, LLC
 ADDRESS:
 4023 DEAN MARTIN DRIVE,
 LAS VEGAS, NEVADA 89103

PROPOSED SITE PLAN
187 ROUTE 108 - TAX MAP 44, LOT 28
SOMERSWORTH, STRAFFORD COUNTY
NEW HAMPSHIRE
 PREPARED FOR: SOMERSWORTH INDUSTRIAL PARK, LLC
 CLIENT ADDRESS: 4023 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

DATE: 06/11/2021
 DRAWN BY: DRC
 CHECKED BY: GRA
 APPROVED BY: GRA

PROPOSED SITE PLAN
 PROJECT NO: 20-203.01
L1
 SHEET: 1 OF 6



TAX MAP 44, LOT 27
N/F
TCD REALTY, INC.
S.C.R.D. 1578/723
(SEE REFERENCE PLANS 2 AND 5)

TAX MAP 44, LOT 1
N/F
BRIAN KAUFMAN, TRUSTEE
OF THE PENTA K REALTY TRUST
S.C.R.D. 2678/126
(SEE REFERENCE PLANS 3 AND 4)

WATER/SEWER USAGE

APPROXIMATE WATER USAGE IS BASED ON NHDES SEPTIC DESIGN RULES (ENV-Wq 1000). WATER USAGE FOR OFFICE SPACE CAN BE DETERMINED BY OFFICE AREA OR EMPLOYEE COUNT. THERE ARE 50 PROPOSED UNITS, EACH UNIT WILL HAVE APPROXIMATELY 2 EMPLOYEES. FOR OFFICE USES WITHOUT CAFETERIA THE DESIGN FLOW IS 10 GPD/EMPLOYEE. DESIGN FLOW IS 50 x 2 X 10 = 1,000 GPD.

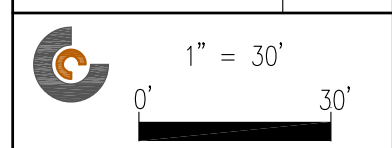


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NO.	REVISIONS	DATE
3	REVISED PER PLANNING BOARD REVIEW	10/08/21
2	REVISED TO ADDRESS PLANNER COMMENTS	08/16/21
1	REVISED PER PLANNING BOARD REVIEW	07/01/21

RECORD OWNERS:
SOMERSWORTH INDUSTRIAL
PARK, LLC
ADDRESS:
4023 DEAN MARTIN DRIVE,
LAS VEGAS, NEVADA 89103

PROPOSED SITE PLAN
187 ROUTE 108 - TAX MAP 44, LOT 28
SOMERSWORTH, STRAFFORD COUNTY
NEW HAMPSHIRE



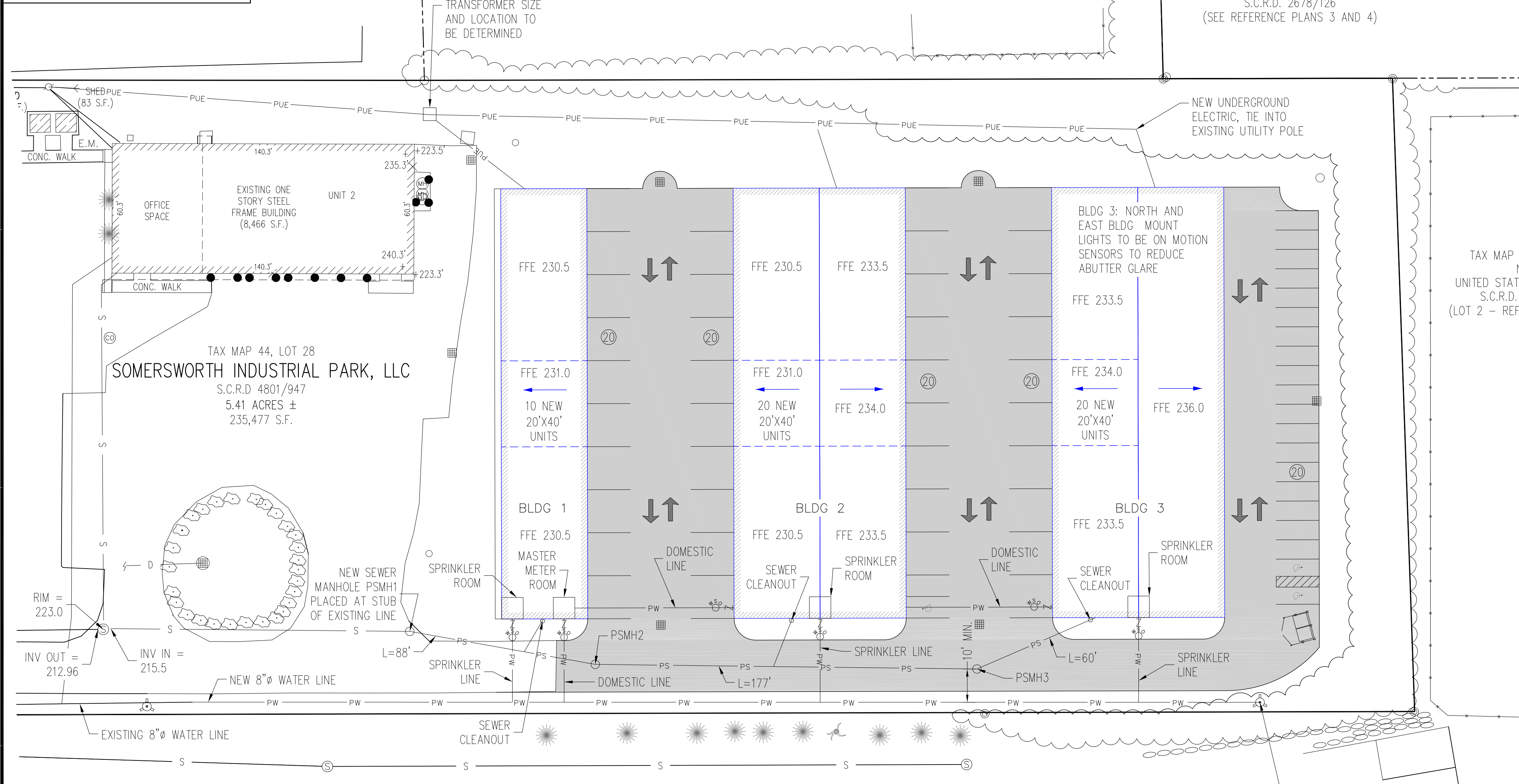
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DRAWN BY: DRC
CHECKED BY: GRA
APPROVED BY: GRA

PROPOSED UTILITIES PLAN

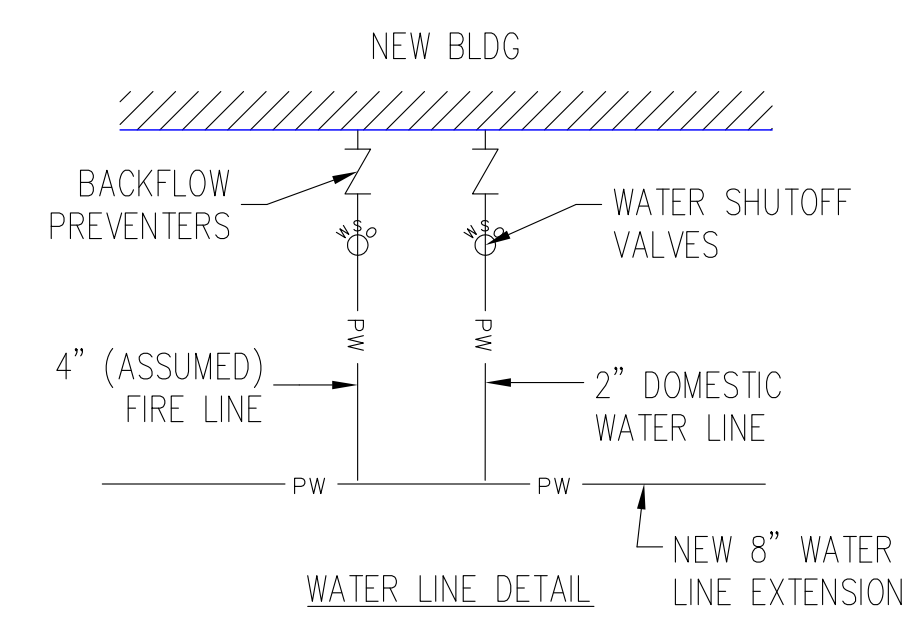
PROJECT NO: 20-203.01

L2

SHEET: 2 OF 6



TAX MAP 63, LOT 28B
N/F
UNITED STATES OF AMERICA
S.C.R.D. 2381/778
(LOT 2 - REFERENCE PLAN 1)



NOTE: SIZE OF SPRINKLER LINE TO BE DETERMINED BY FLOW TEST. 4" LINE ASSUMED.

SEWER TABLE

NAME	RIM	INV. IN	INV. OUT	INLET DROP
PSMH1	226.25	222.0	216.5±	YES
PSMH2	229.90	224.0	223.9	NO
PSMH3	233.30	227.1	227.0	NO

NOTE:

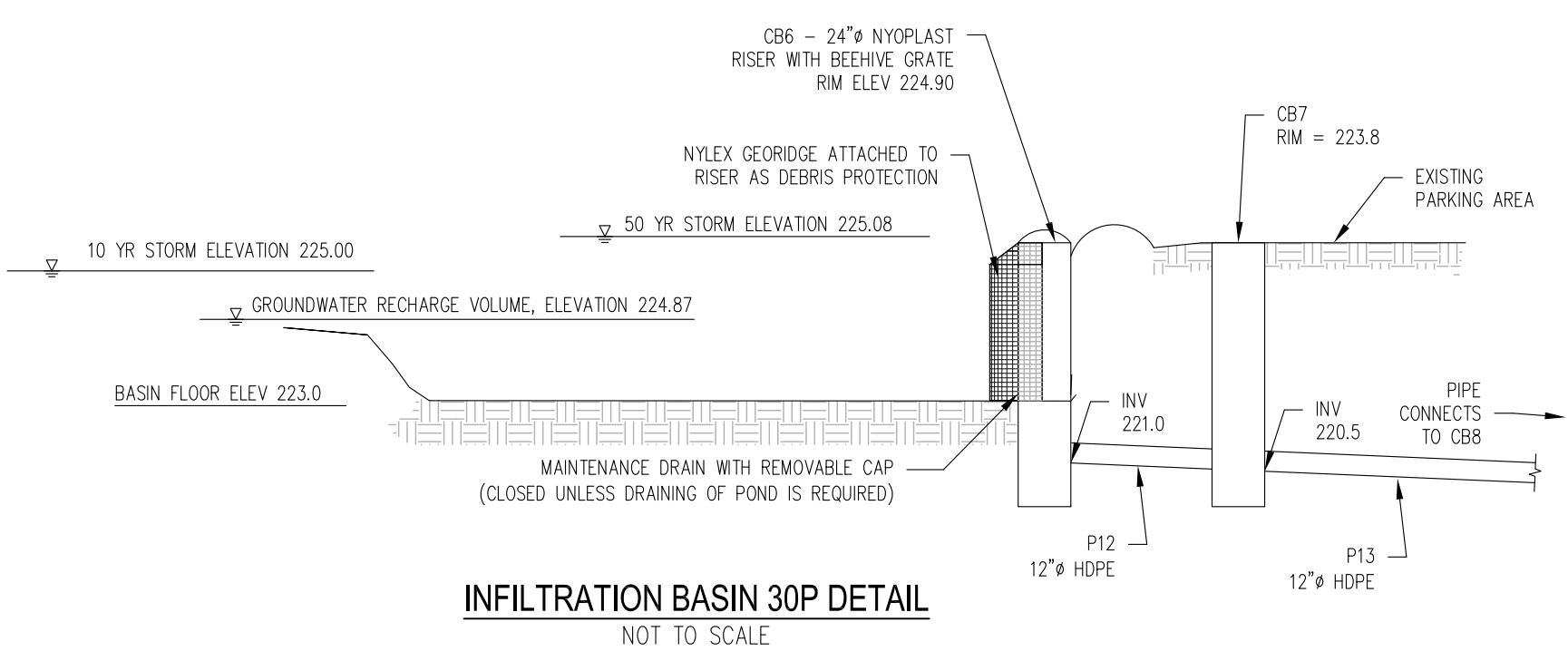
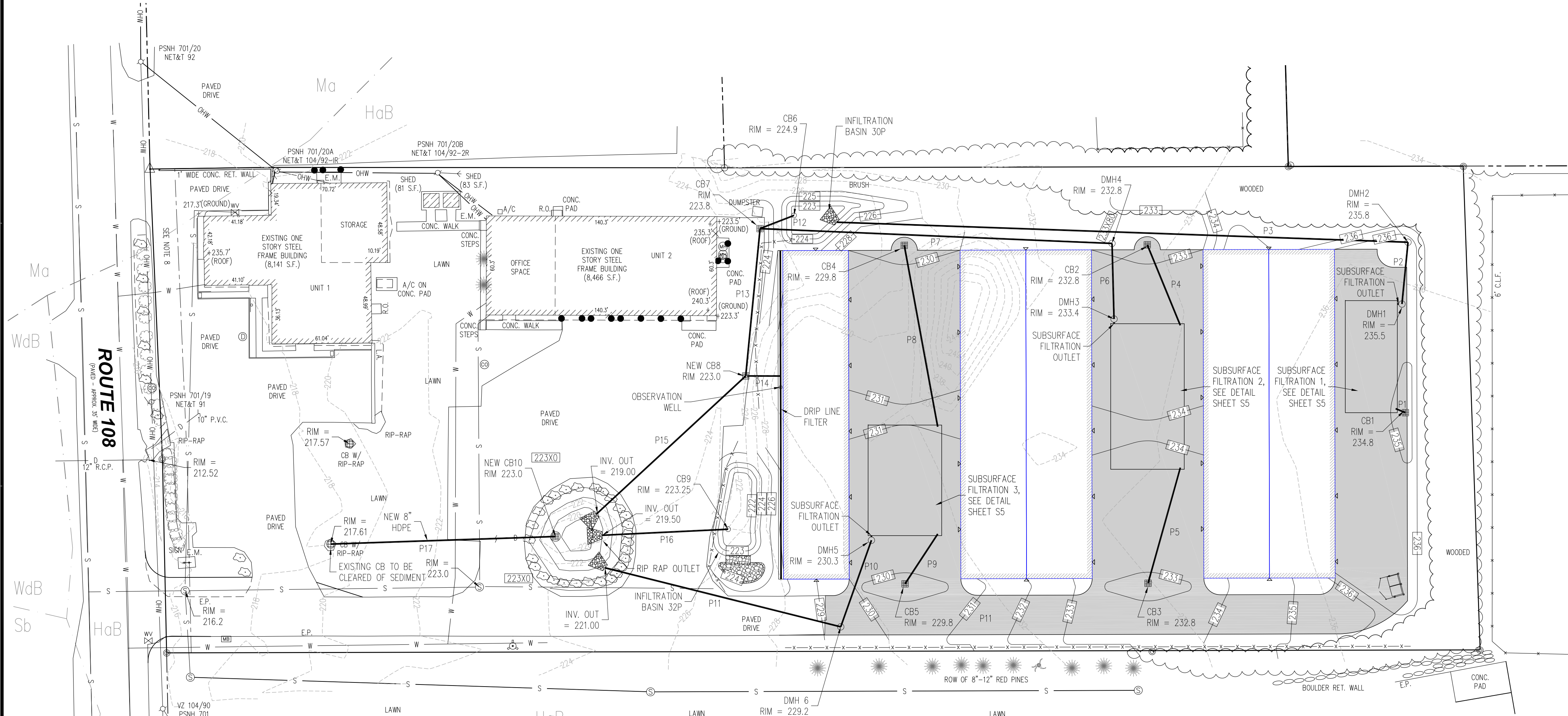
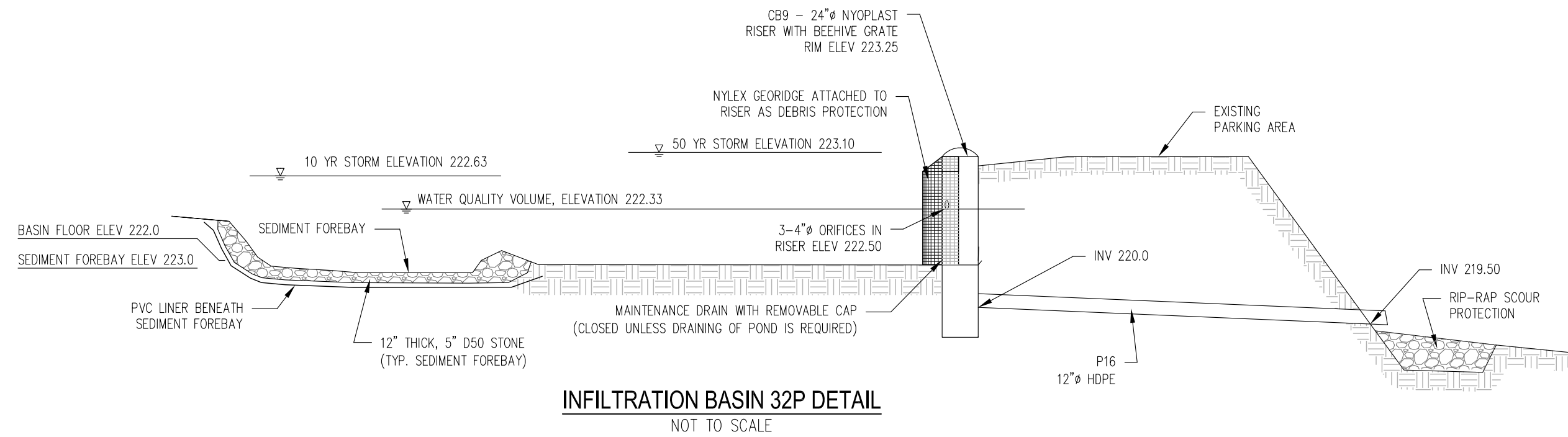
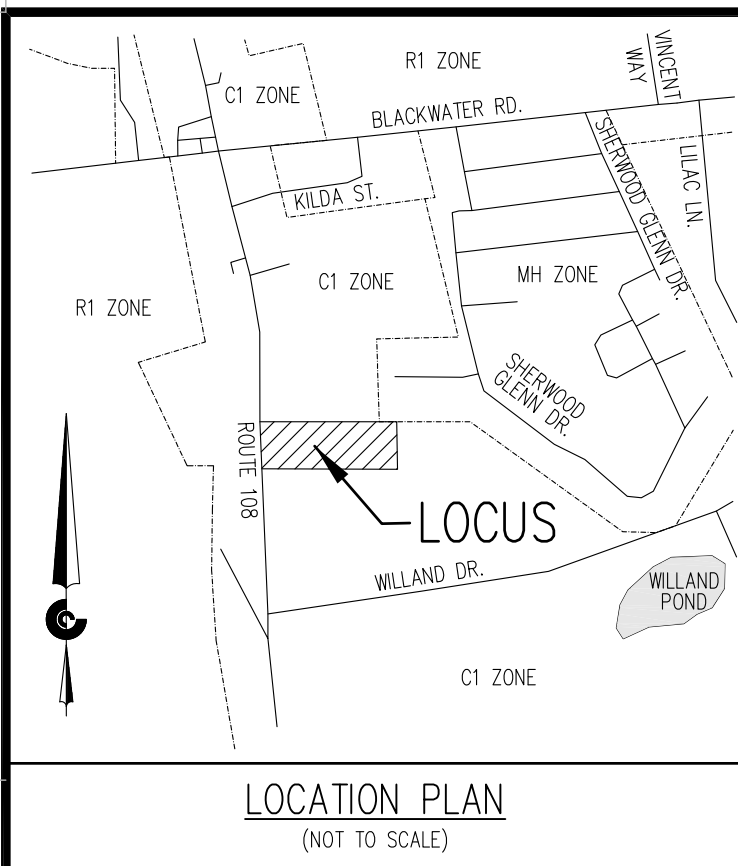
1. FIRE HYDRANTS SHALL BE PERIODICALLY FLUSHED AND HAVE THE CAP REMOVED PERIODICALLY. SNOW AND VEGETATION SHALL BE REMOVED TO MAINTAIN ACCESS SO AS NOT TO OBSTRUCT THE HYDRANT.

LEGEND:

- PW — PROPOSED WATER LINE
- PS — PROPOSED 6" PVC SEWER LINE
- PUE — PROPOSED UNDERGROUND ELECTRIC
- ⊕ — FIRE HYDRANT
- ⊕ — WATER SHUTOFF VALVE
- ⊕ — BACKFLOW PREVENTER

TAX MAP 63, LOT 28B
N/F
UNITED STATES OF AMERICA
S.C.R.D. 2381/778
(LOT 2 - REFERENCE PLAN 1)

HYDRANT "OPEN LEFT"
AT END OF 8" WATER
LINE, PAINT YELLOW



STORM DRAIN STRUCTURE SCHEDULE

STRUCTURE	TYPE*	RIM	INV. IN	DIAM.	INV. OUT	DIAM.
CB1	DS	234.80	---	---	231.75	10"
DMH1	STD	235.50	231.70	10"	228.08	12"
CB2	DS	232.80	---	---	228.10	8"
DMH2	STD	235.80	227.75	12"	227.66	12"
CB3	DS	232.80	---	---	229.75	10"
DMH3	STD	233.40	230.20	10"	225.17	12"
DMH4	STD	232.80	224.92	12"	224.75	12"
CB4	DS	229.80	---	---	226.75	10"
CB5	DS	229.80	---	---	226.75	10"
DMH5	STD	230.30	226.90	10"	222.66	12"
DMH6	STD	229.20	222.33	12"	222.25	12"
CB6	NP	224.90	---	---	221.00	12"
CB7	STD	223.80	220.75	12"	220.50	15"
CB8	STD	223.00	219.75	15"	219.66	15"
CB9	NP	223.25	222.50	4" (X3)	220.00	12"
CB10	STD	223.00	217.50	4" (X1)	217.50	8"
			221.25	6" (X1)		
			222.25	6" (X1)		

*CATCH BASIN TYPES:
 STANDARD = STD
 DEEP SUMP = DS
 NYOPLAST = NP

STORM LINE PIPE SCHEDULE

STRUCTURE	INV. IN	INV. OUT	SIZE AND MATERIAL	PIPE LENGTH	PIPE SLOPE
P1	231.75	231.58	10" PVC	5'	0.034' /'
P2	228.08	227.75	12" HDPE	38'	0.009' /'
P3	227.66	224.00	12" HDPE	350'	0.011' /'
P4	229.75	229.25	10" PVC	53'	0.009' /'
P5	229.75	229.25	10" PVC	73'	0.007' /'
P6	225.17	224.92	12" HDPE	46'	0.005' /'
P7	224.75	220.75	12" HDPE	215'	0.019' /'
P8	226.75	226.17	10" PVC	112'	0.005' /'
P9	226.75	226.17	10" PVC	37'	0.016' /'
P10	222.66	222.33	12" HDPE	57'	0.006' /'
P11	222.25	221.00	12" HDPE	147'	0.009' /'
P12	221.00	220.75	12" HDPE	20'	0.013' /'
P13	220.50	219.75	15" HDPE	90'	0.008' /'
P14	222.00	219.75	6" HDPE	20'	0.113' /'
P15	219.66	219.00	15" HDPE	123'	0.005' /'
P16	220.00	219.50	12" HDPE	77'	0.007' /'
P17	217.50	216.75	8" HDPE	137'	0.005' /'



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NO.	REVISIONS	DATE
3	REVISED PER PLANNING BOARD REVIEW	10/08/21
2	REVISED TO ADDRESS PLANNER COMMENTS	08/16/21
1	REVISED PER PLANNING BOARD REVIEW	07/01/21

RECORD OWNERS:
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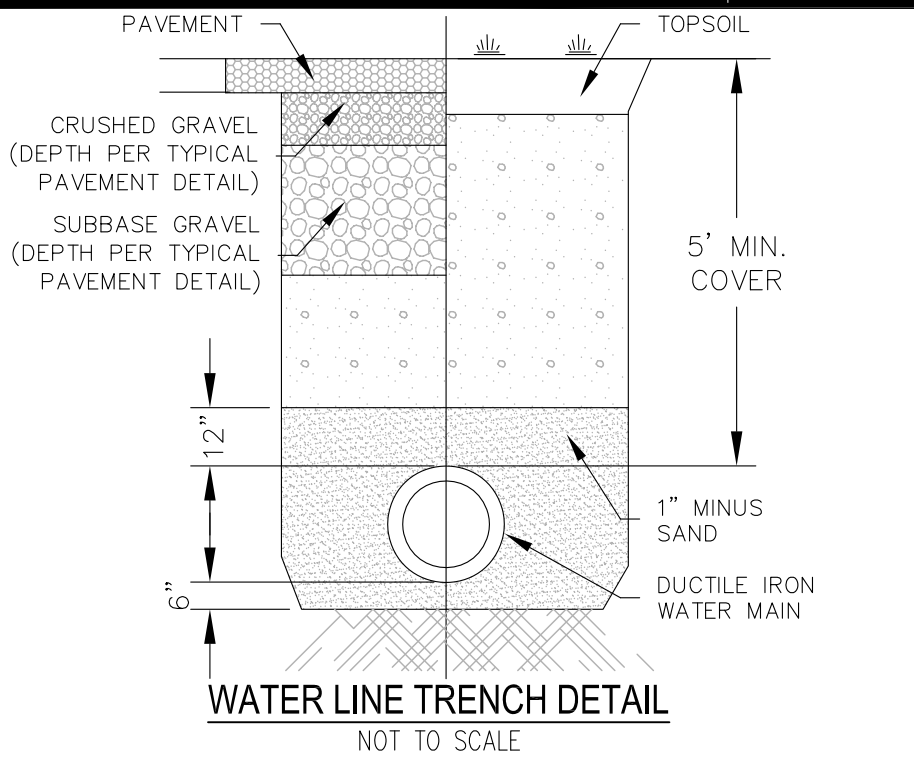
PROPOSED SITE PLAN
187 ROUTE 108 - TAX MAP 44, LOT 28
SOMERSWORTH, STRAFFORD COUNTY
NEW HAMPSHIRE
 PREPARED FOR: SOMERSWORTH INDUSTRIAL PARK, LLC
 CLIENT ADDRESS: 4023 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

DATE: 06/11/2021
 DRAWN BY: DRC
 CHECKED BY: GRA
 APPROVED BY: GRA

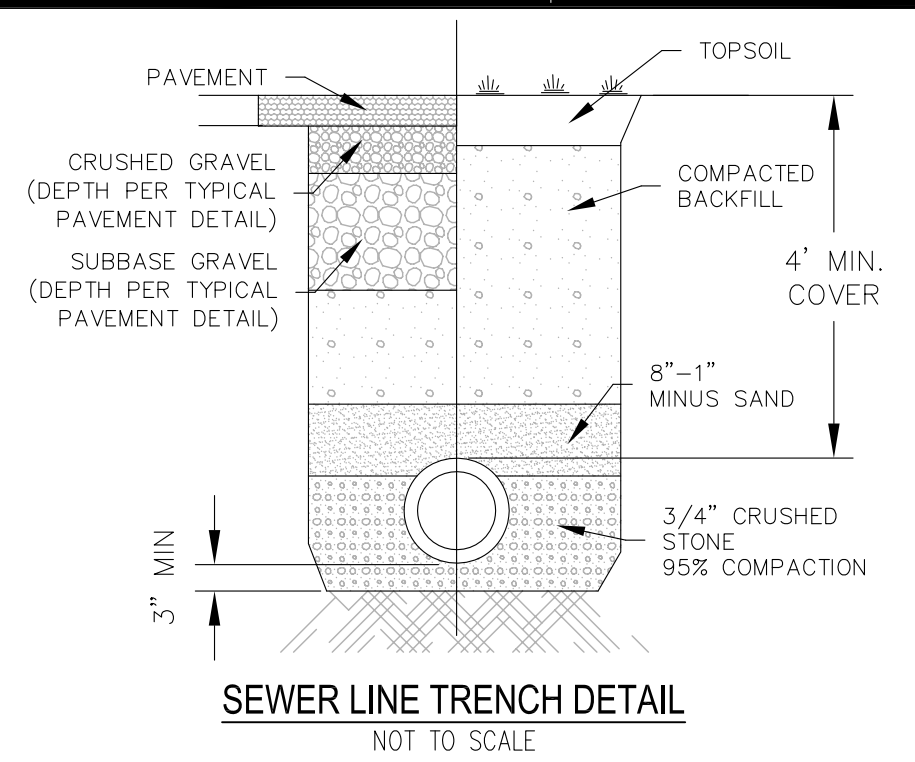
PROPOSED DRAINAGE PLAN

PROJECT NO: 20-203.01

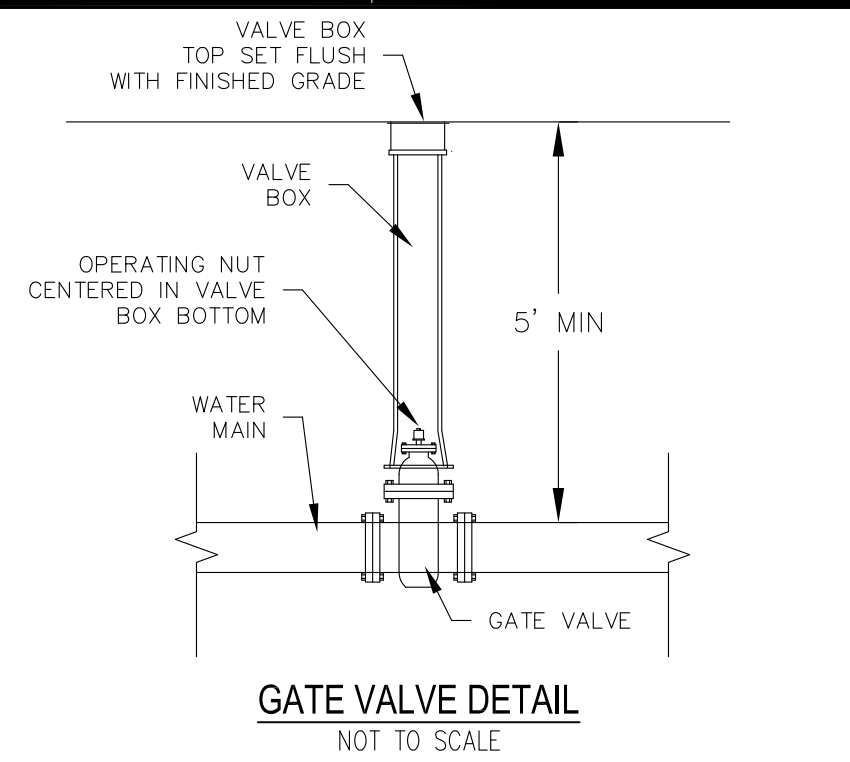
L3
 SHEET: 3 OF 6



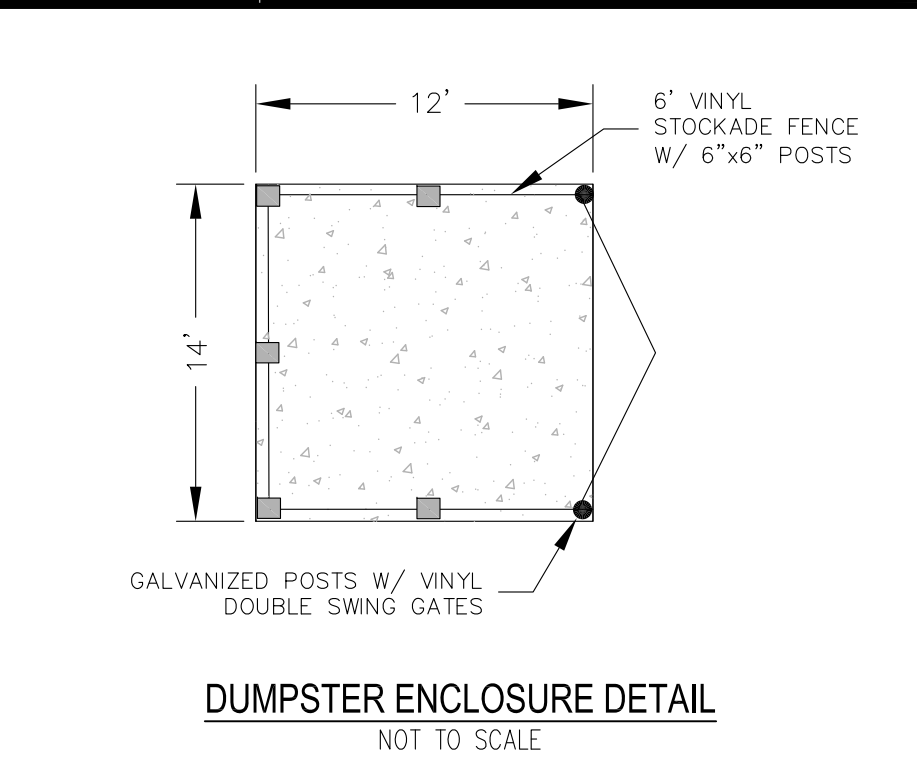
WATER LINE TRENCH DETAIL
NOT TO SCALE



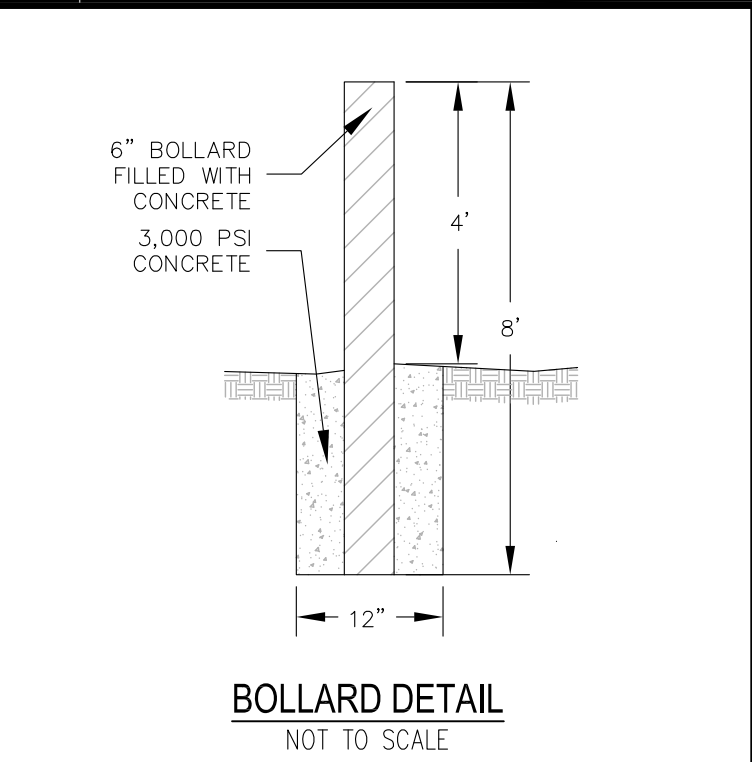
SEWER LINE TRENCH DETAIL
NOT TO SCALE



GATE VALVE DETAIL
NOT TO SCALE



DUMPSTER ENCLOSURE DETAIL
NOT TO SCALE



BOLLARD DETAIL
NOT TO SCALE

EROSION AND SEDIMENT CONTROL PRACTICES

- NO SOIL SHALL BE DISTURBED DURING THE PERIOD OF MARCH 1 THROUGH APRIL 15, NOR DURING ANY OTHER PERIOD WHEN SOILS ARE SATURATED DUE TO RAIN OR SNOW MELT.
- DISTURBED SOILS SHALL BE STABILIZED WITHIN ONE (1) WEEK FROM THE TIME IT WAS LAST ACTIVELY WORKED USING TEMPORARY OR PERMANENT MEASURES SUCH AS PLACEMENT OF RIPRAP, MULCH OR EROSION CONTROL BLANKET, OR OTHER COMPARABLE MEASURES.
- HAY OR STRAW MULCH SHALL BE APPLIED AT A RATE OF AT LEAST ONE (1) BALE PER 500 SQUARE FEET (1-2 TONS PER ACRE).
- IF MULCH IS LIKELY TO BE REMOVED DUE TO TO STEEP SLOPES OR WIND, IT SHALL BE ANCHORED WITH NETTING, PEG OR TWINE, OR OTHER SUITABLE METHOD AND SHALL BE MAINTAINED UNTIL A CATCH OF VEGETATION IS ESTABLISHED OVER THE ENTIRE DISTURBED AREA.
- IN ADDITION TO PLACEMENT OF RIPRAP, MULCH OR EROSION CONTROL BLANKETS, ADDITIONAL STEPS SHALL BE TAKEN WHERE NECESSARY IN ORDER TO PREVENT SEDIMENTATION OF THE WATER. EVIDENCE OF SEDIMENTATION INCLUDES VISIBLE GULLY EROSION, DISCOLORATION OF WATER BY SUSPENDED PARTICLES AND SLUMPING OF BANKS, SILT FENCES, STAKED HAY BALES AND OTHER SEDIMENTATION CONTROL MEASURES, WHERE PLANNED FOR, SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF WORK, BUT SHALL ALSO BE INSTALLED WHEREVER NECESSARY DUE TO SEDIMENTATION.
- MULCH OR OTHER TEMPORARY MEASURES SHALL BE MAINTAINED UNTIL THE SITE IS PERMANENTLY STABILIZED WITH VEGETATION OR OTHER PERMANENT CONTROL MEASURES AFTER WHICH TEMPORARY MEASURES WILL BE REMOVED.
- PERMANENT RE-VEGETATION OF ALL DISTURBED AREAS, USING NATIVE PLANT MATERIAL WHEN POSSIBLE, SHALL OCCUR WITHIN 30 DAYS FROM THE TIME THE AREAS WERE LAST ACTIVELY WORKED, OR FOR FALL AND WINTER ACTIVITIES, BY JUNE 15, EXCEPT WHERE PRECLUDED BY THE TYPE OF ACTIVITY (E.G. RIPRAP, ROAD SURFACES, ETC.). THE VEGETATIVE COVER SHALL BE MAINTAINED.
- DISPOSAL OF COLLECTED DEBRIS MUST BE IN CONFORMANCE WITH NEW HAMPSHIRE SOLID WASTE MANAGEMENT ACT (RSA 149-M).
- LIME AND FERTILIZER APPLICATION RATES SHALL NOT EXCEED THE FOLLOWING:

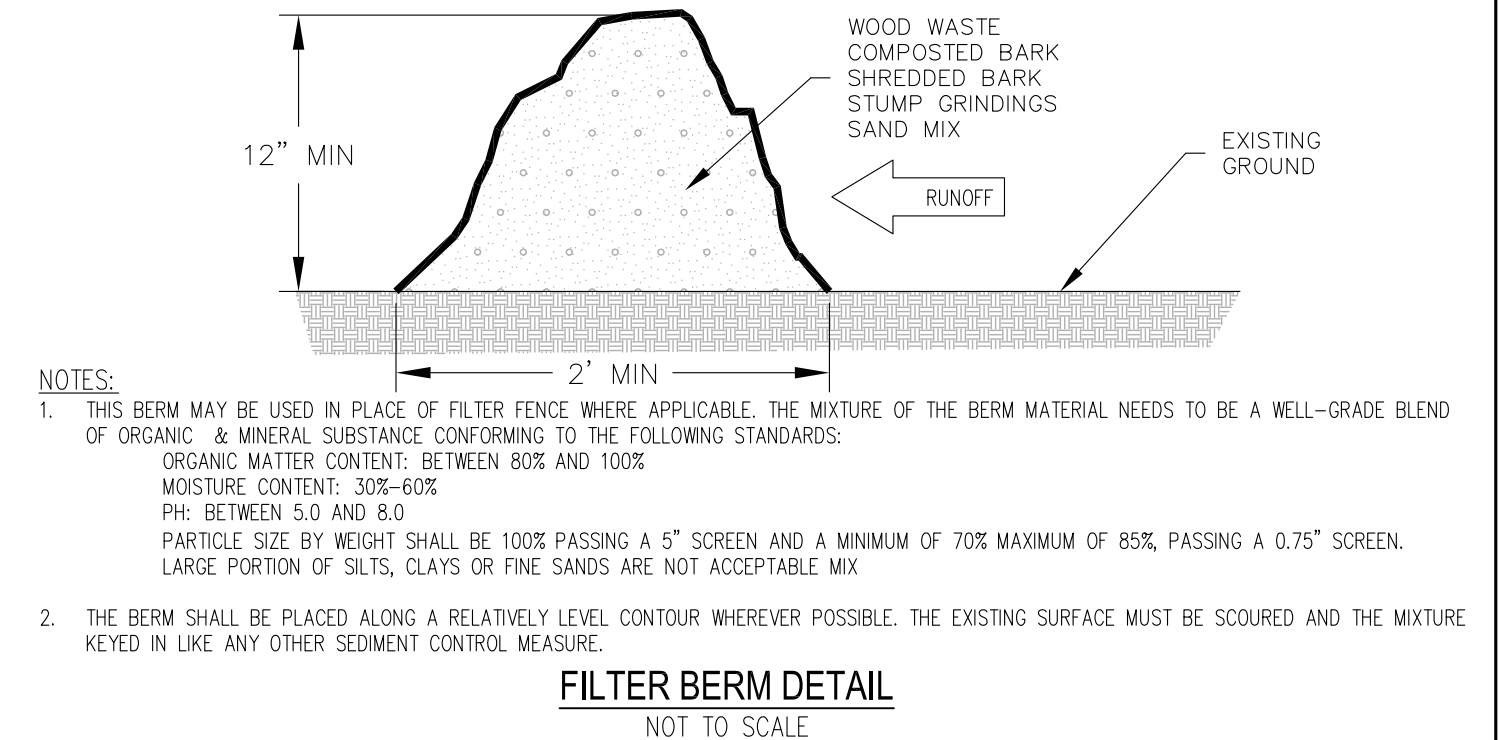
GROUND LIMESTONE: 3 TONS/ACRE (130 LBS./1000 S.F.)
FERTILIZER, 10-10-10 OF EQUIVALENT: 600 LBS./ACRE (14 LBS./1000 S.F.)

FERTILIZER SHALL NOT BE APPLIED BEFORE START OF THE GROWING SEASON NOR AFTER SEPTEMBER 30. FERTILIZED AREAS SHALL BE MULCHED TO REDUCE OFF-SITE TRANSPORT OF NUTRIENTS UNTIL USED BY VEGETATIVE GROWTH.

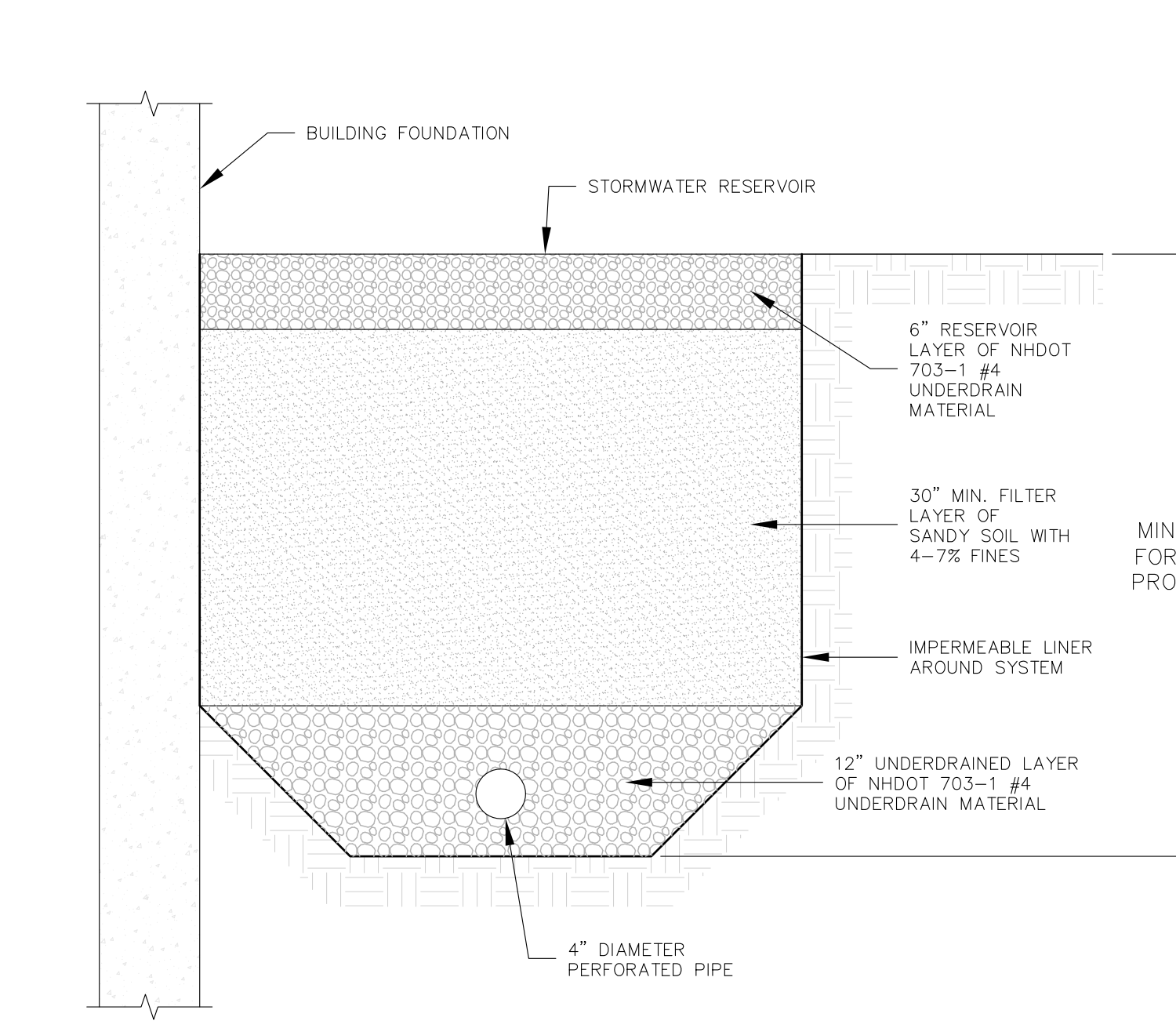
SEEDING MIXTURE AND SCHEDULE:
SPREAD TOPSOIL UNIFORMLY 6" DEEP OVER AREAS TO BE RECLAIMED. THE FOLLOWING SEED MIXTURE SHALL BE USED:

LAWNS:
KENTUCKY BLUEGRASS 0.46 LBS./1000 S.F.
CREEPING RED FESCUE 0.46 LBS./1000 S.F.
PERENNIAL RYE GRASS 0.11 LBS./1000 S.F.
TOTAL 1.03 LBS./1000 S.F.

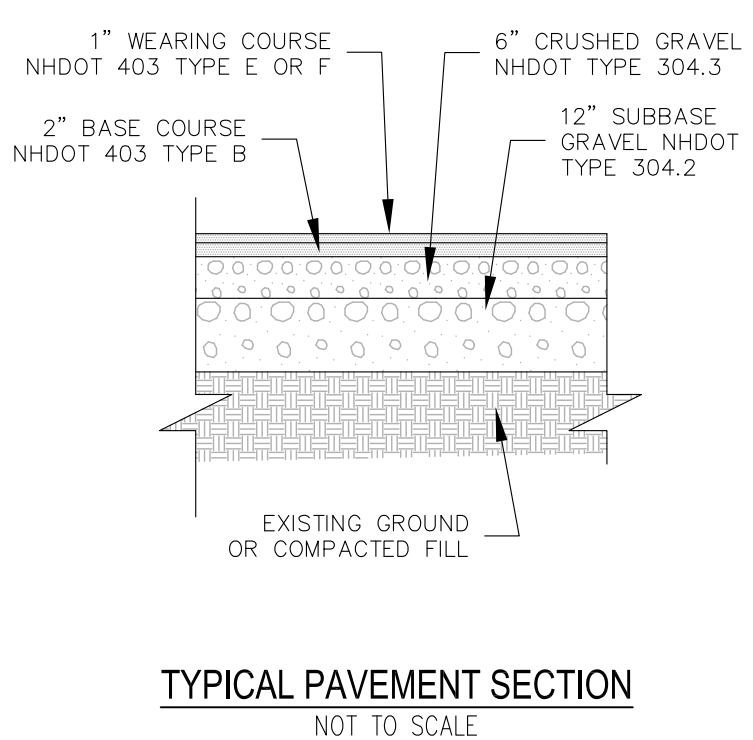
APPLY LIME AND FERTILIZER AS SPECIFIED UNDER THE EROSION AND SEDIMENTATION CONTROL NOTES. WORK INTO THE TOP (4) INCHES OF SOIL PRIOR TO SEEDING. AFTER SEEDING, APPLY MULCH HAY AS SPECIFIED. ON FLAT AREAS AND NOT EXPOSED TO WIND, THE MULCH WILL BE ANCHORED BY WETTING DOWN. IN OTHER AREAS, JUTE NETTING SHALL BE USED FOR ANCHORAGE. THE ABOVE SEEDING SCHEDULE IS APPLICABLE IF SEEDING DURING THE GROWING SEASON (APRIL 15 TO JUNE 15 AND AUGUST 30 TO SEPTEMBER 30). BETWEEN JUNE 15 AND AUGUST 30, SEEDING WILL BE DELAYED UNTIL AUGUST 30. IF SOIL IS DISTURBED BETWEEN OCTOBER 1 AND NOVEMBER 1, DELAY SEEDING UNTIL NOVEMBER 1. AFTER NOVEMBER 1 AND BEFORE A SNOW COVER FORMS, THE SAME PROCEDURE WILL BE FOLLOWED EXCEPT THE SEED RATE WILL BE DOUBLED. AFTER SNOW COVER AND BEFORE APRIL 15, SEEDING WILL BE DELAYED UNTIL APRIL 15. HAY MULCH WILL BE APPLIED AT A RATE OF 150 LBS./1000 SQUARE FEET. THIS WILL BE ANCHORED BY NON-ASPHALTIC TACKIFIER SPRAYED ON LAWNS AND JUTE NETTING IN DRAINAGE WAYS AND OTHER AREAS.



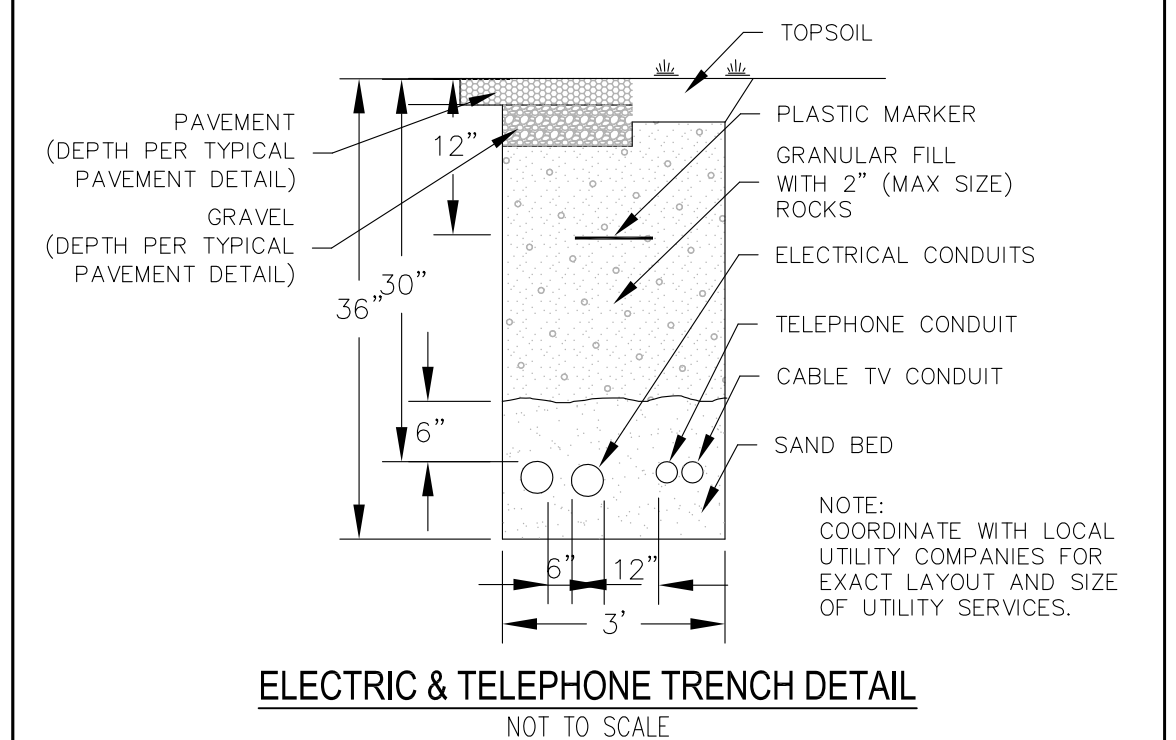
FILTER BERM DETAIL
NOT TO SCALE



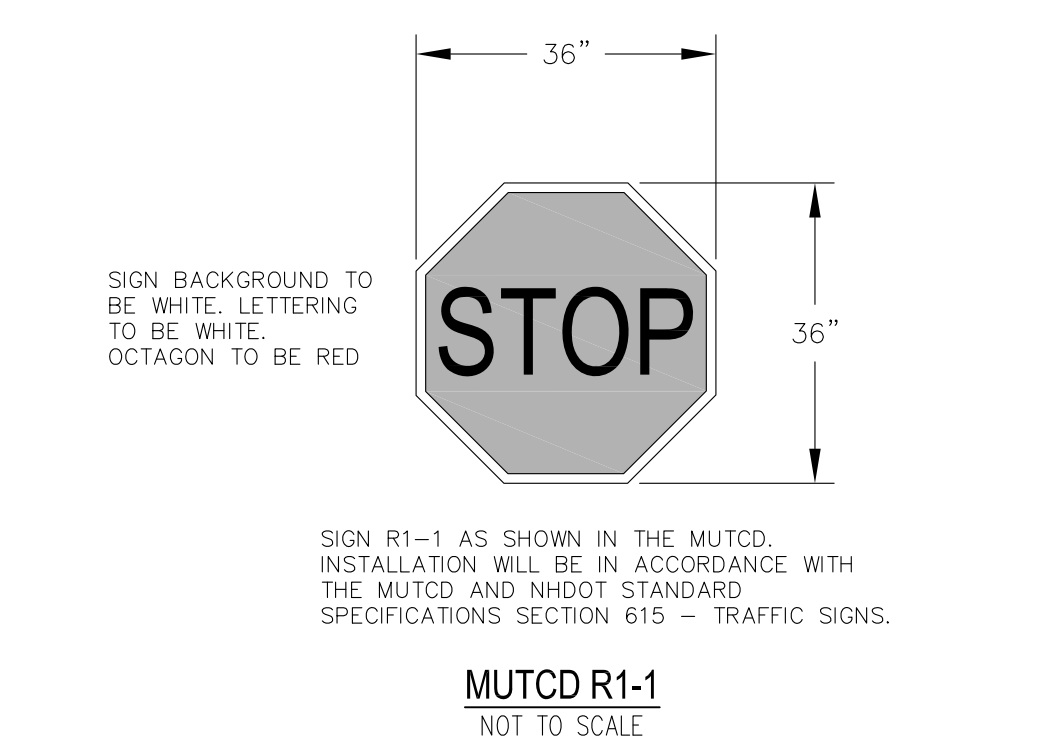
ROOF DRIPLINE FILTER SECTION
NOT TO SCALE



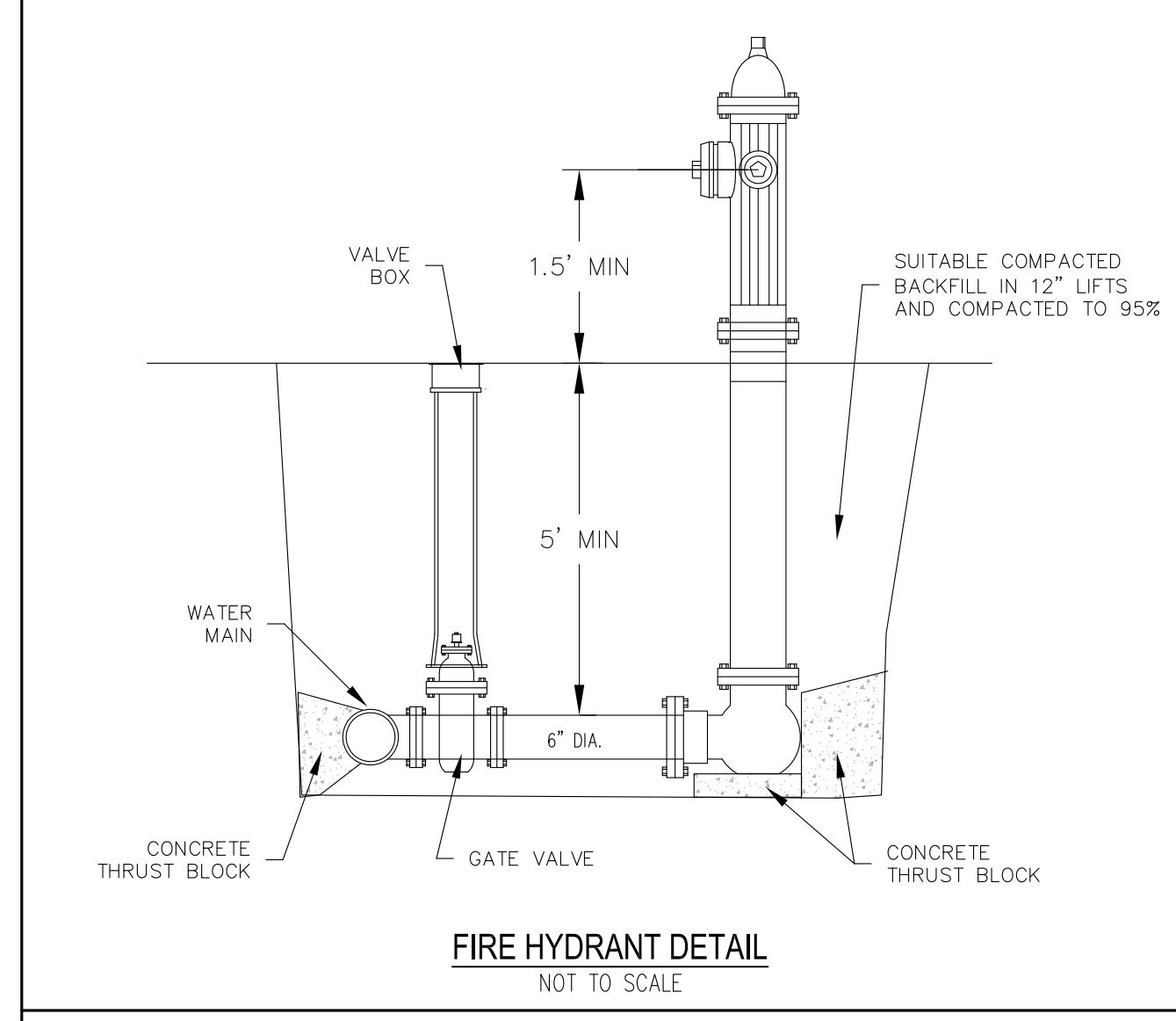
TYPICAL PAVEMENT SECTION
NOT TO SCALE



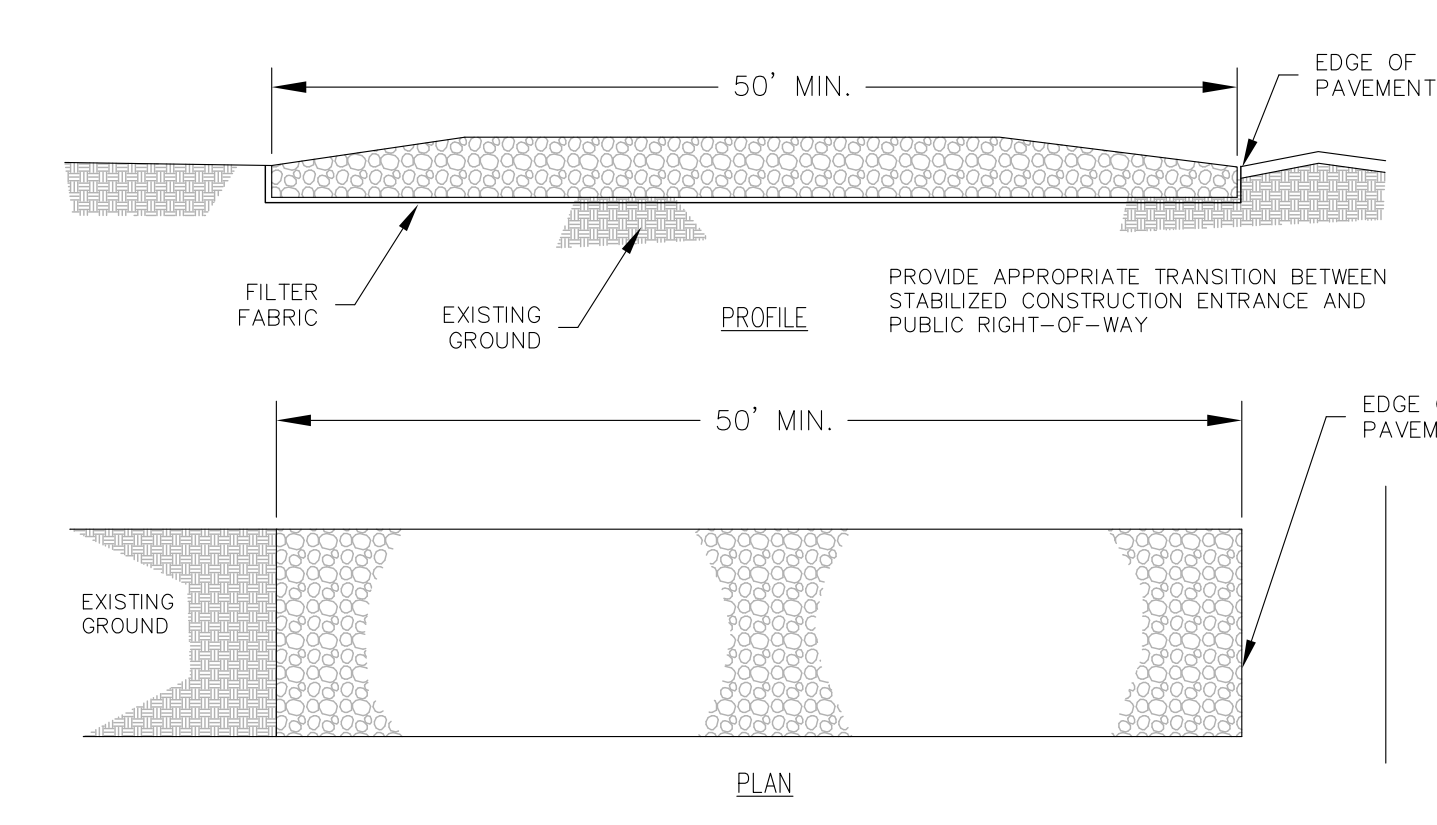
ELECTRIC & TELEPHONE TRENCH DETAIL
NOT TO SCALE



MUTCD R1-1
NOT TO SCALE

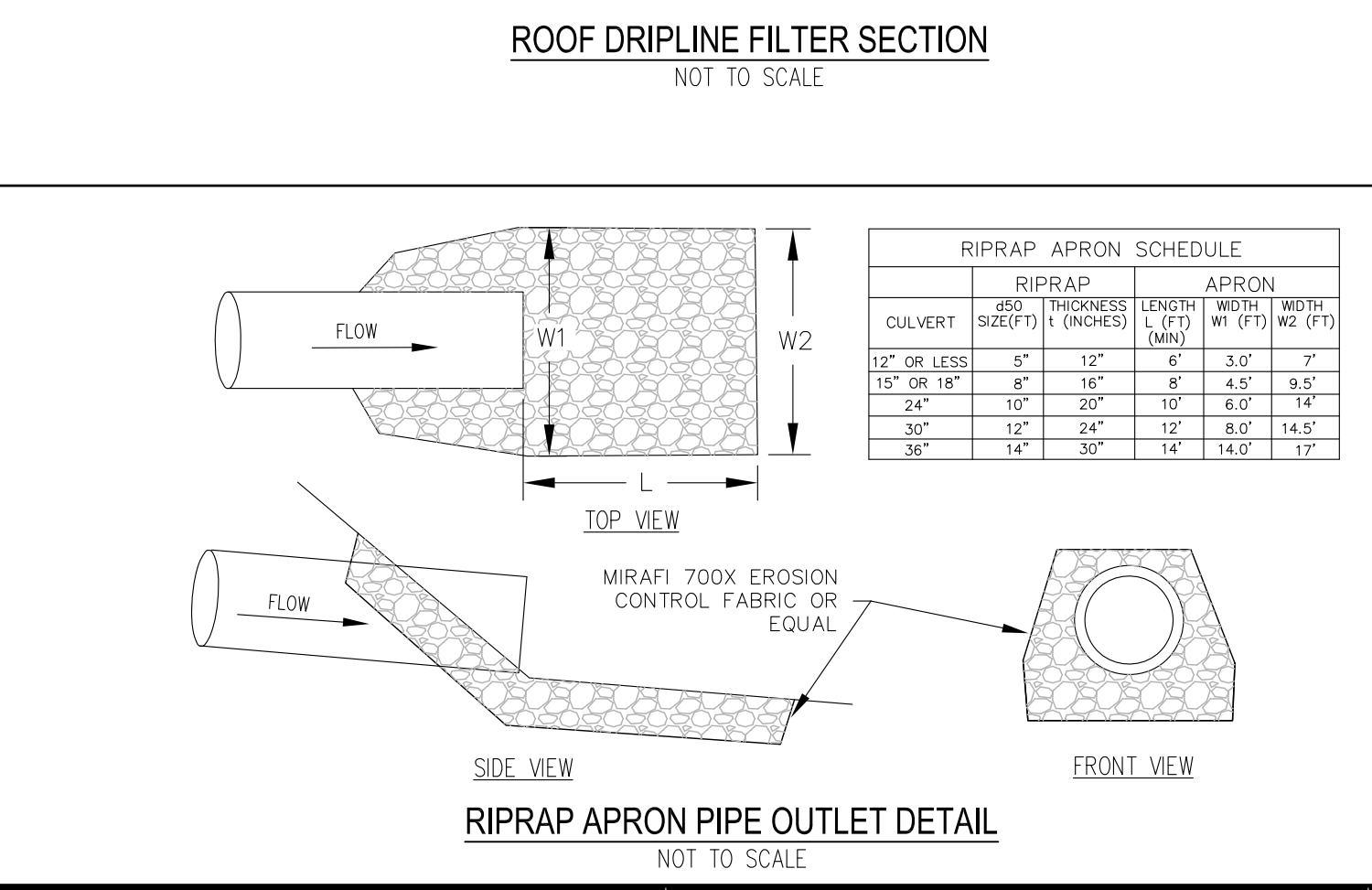


FIRE HYDRANT DETAIL
NOT TO SCALE



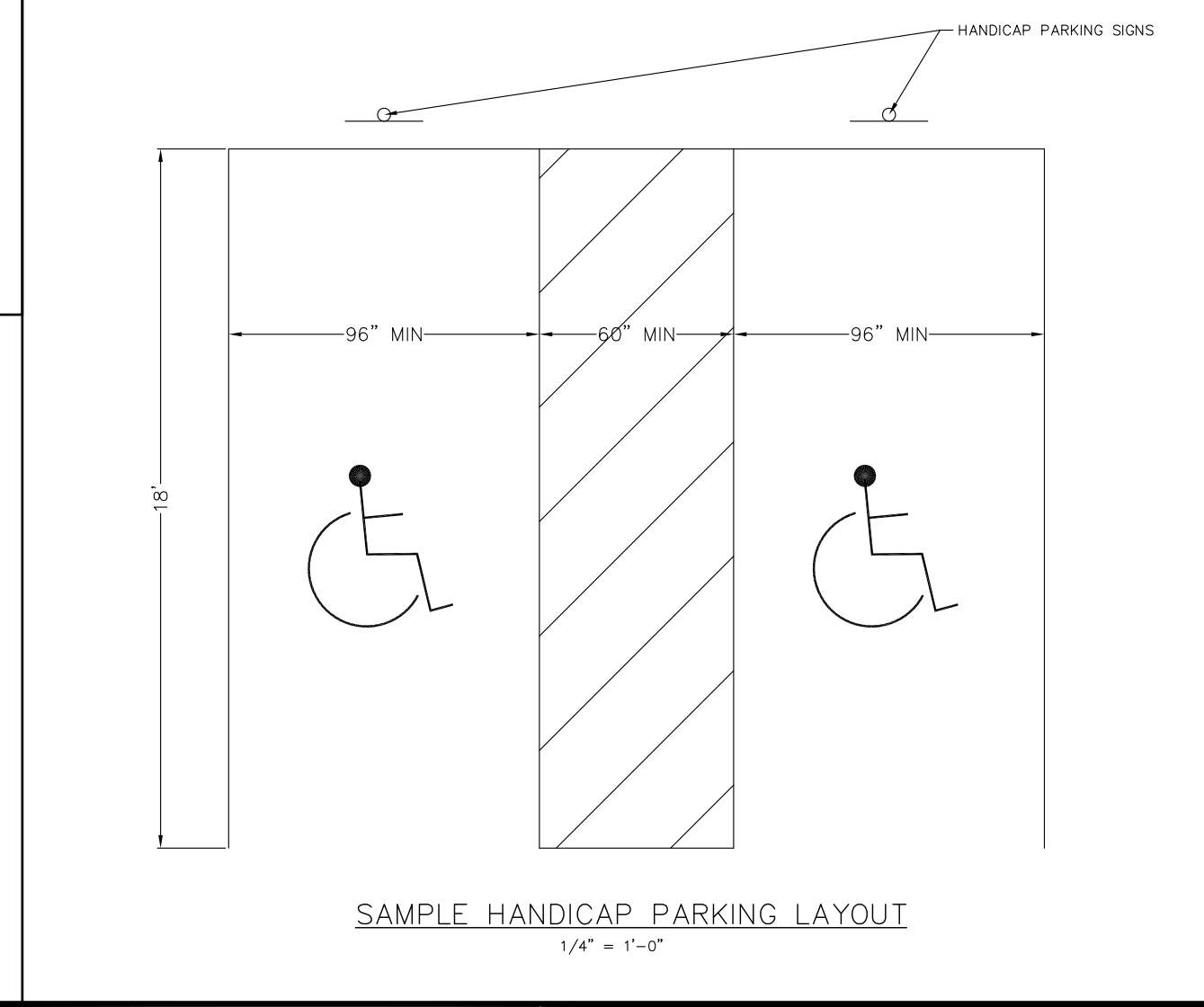
- CONSTRUCTION SPECIFICATIONS**
- STONE SIZE - AASHTO DESIGNATION M43, SIZE NO 2 (2-1/2" TO 1-1/2"). USE CRUSHED STONE.
 - LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
 - THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
 - WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 - WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATER COURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS, OR OTHER APPROVED METHODS.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED, ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

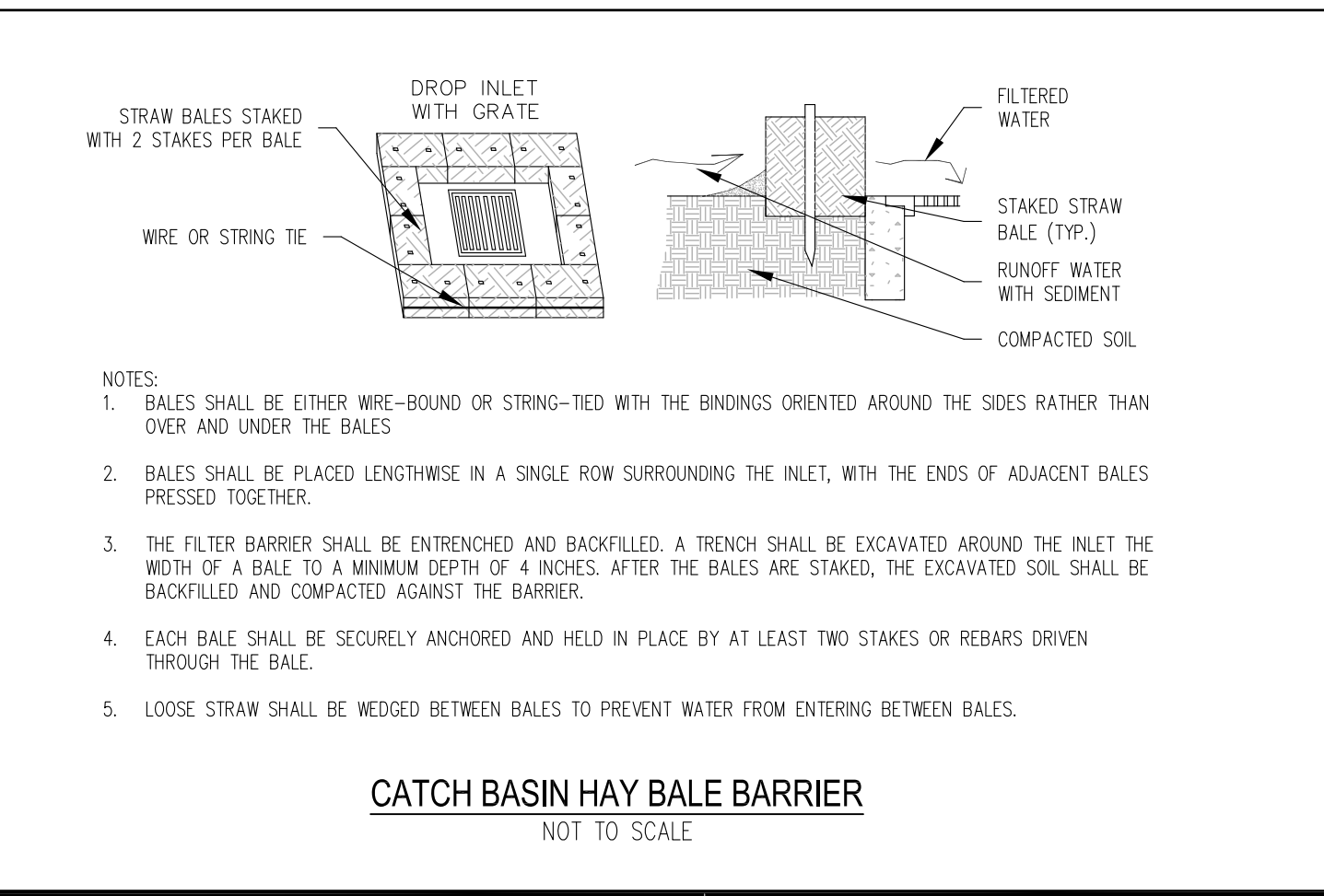


RIPRAP APRON PIPE OUTLET DETAIL
NOT TO SCALE

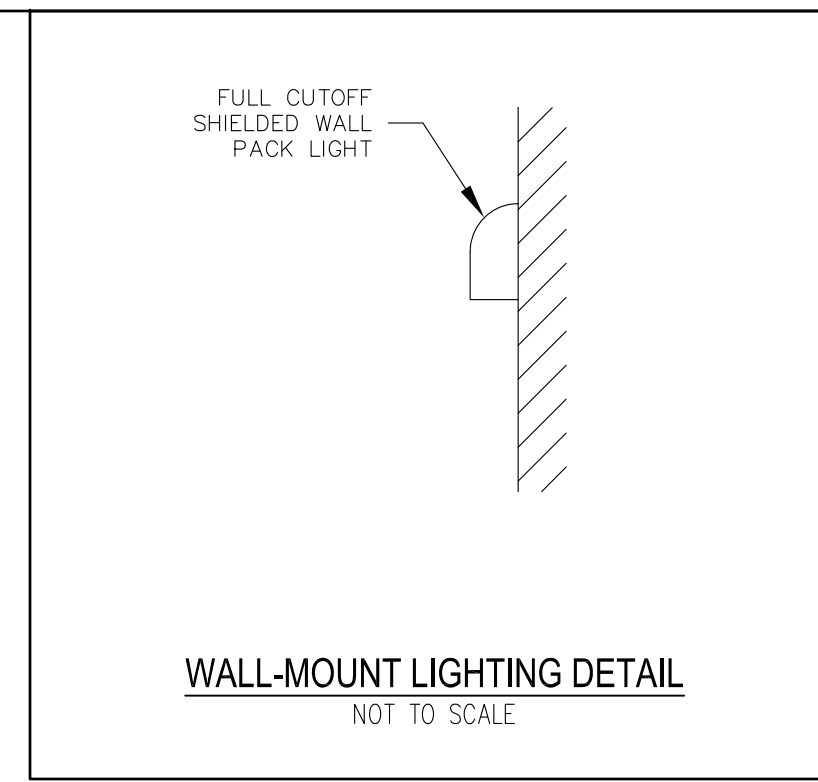
CULVERT SIZE (FT)	RIPRAP		APRON	
	THICKNESS (INCHES)	LENGTH (FT)	WIDTH (FT)	WIDTH (FT)
12" OR LESS	5"	12"	6"	3.0'
15" OR 18"	8"	16"	8"	4.5'
24"	10"	20"	10"	6.0'
30"	12"	24"	12"	8.0'
36"	14"	30"	14"	14.0'



SAMPLE HANDICAP PARKING LAYOUT
1/4" = 1'-0"



CATCH BASIN HAY BALE BARRIER
NOT TO SCALE



WALL-MOUNT LIGHTING DETAIL
NOT TO SCALE



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NO.	REVISIONS	INT.	DATE
3	REVISED PER PLANNING BOARD REVIEW	DRC	10/08/21
2	REVISED TO ADDRESS PLANNER COMMENTS	DRC	08/16/21
1	REVISED PER PLANNING BOARD REVIEW	DRC	07/01/21

RECORD OWNERS:
SOMERSWORTH INDUSTRIAL PARK, LLC
ADDRESS:
4023 DEAN MARTIN DRIVE,
LAS VEGAS, NEVADA 89103

PROPOSED SITE PLAN
187 ROUTE 108 - TAX MAP 44, LOT 28
SOMERSWORTH, STRAFFORD COUNTY
NEW HAMPSHIRE

PREPARED FOR: SOMERSWORTH INDUSTRIAL PARK, LLC
CLIENT ADDRESS: 4023 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

DATE: 06/11/2021
DRAWN BY: DRC
CHECKED BY: GRA
APPROVED BY: GRA

CONSTRUCTION DETAILS

PROJECT NO: 20-203.01

L4
SHEET: 4 OF 6



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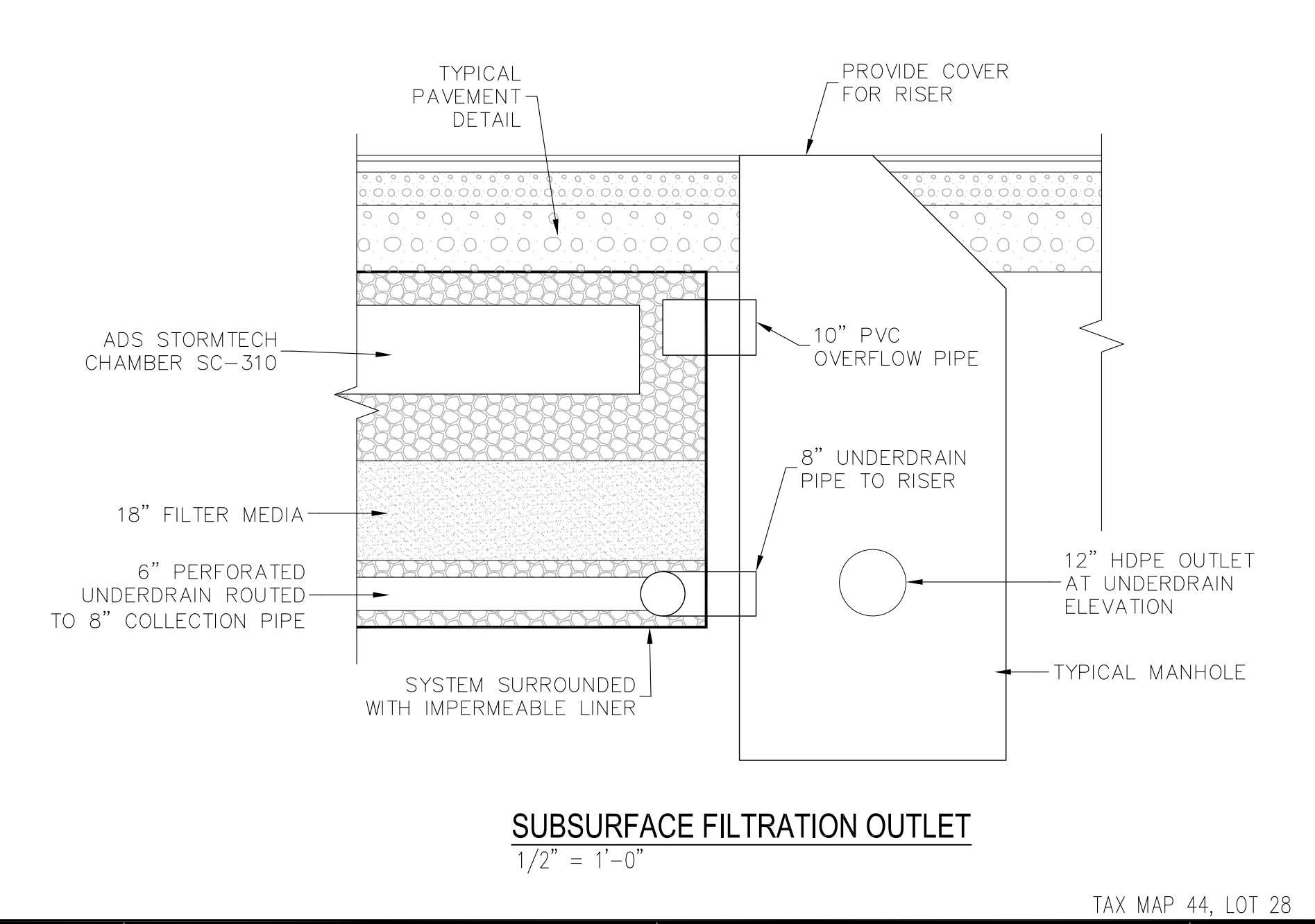
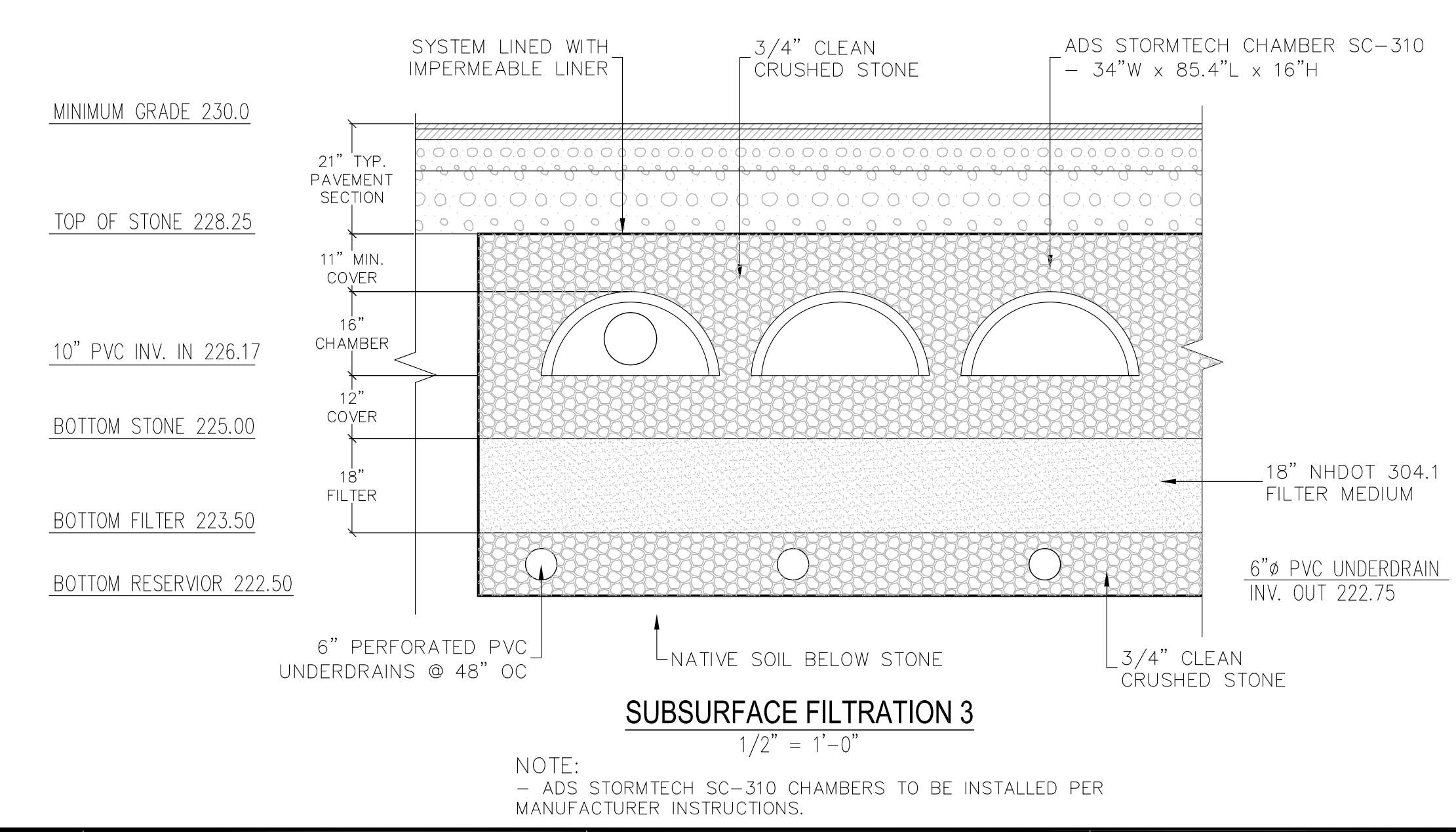
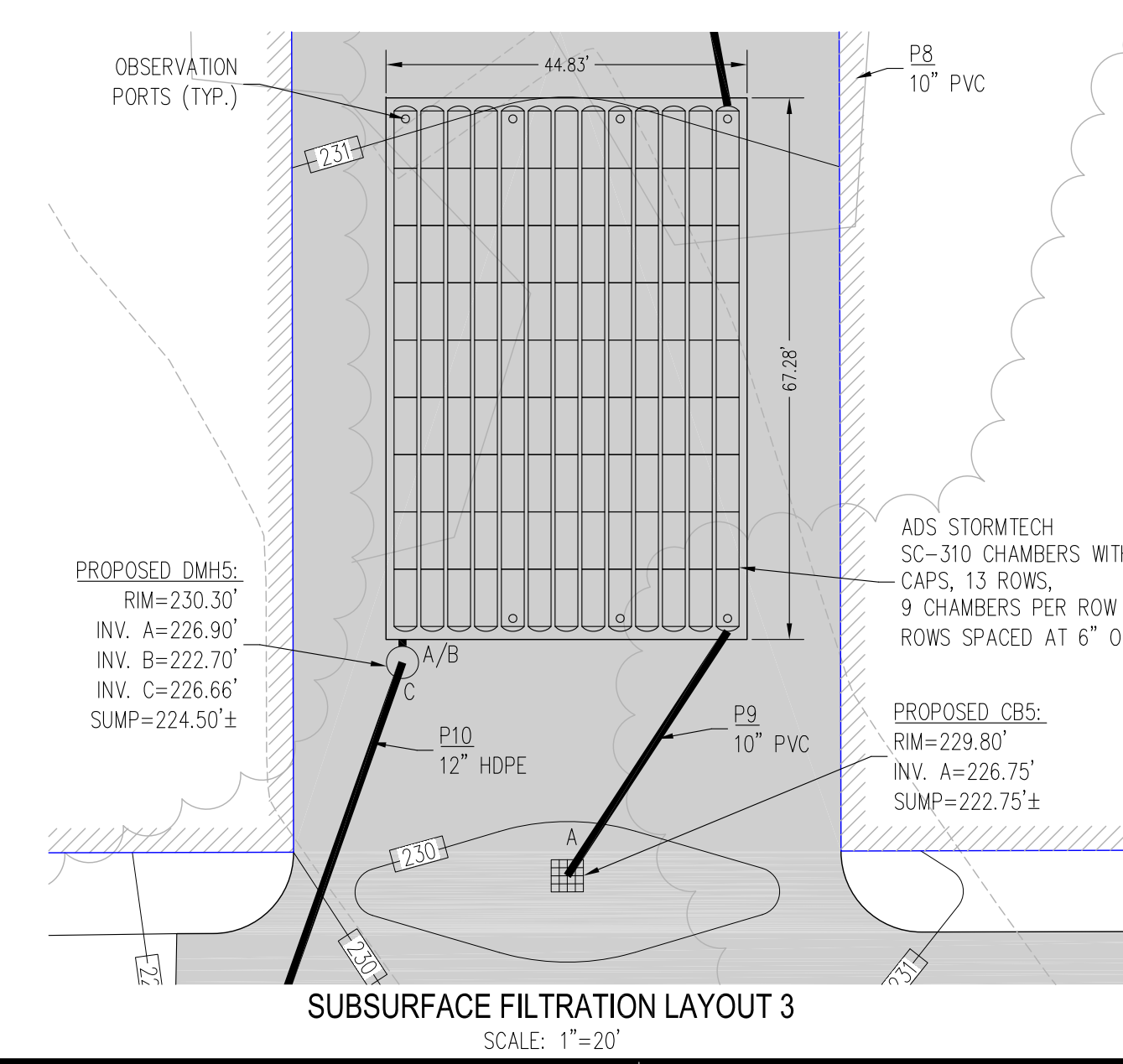
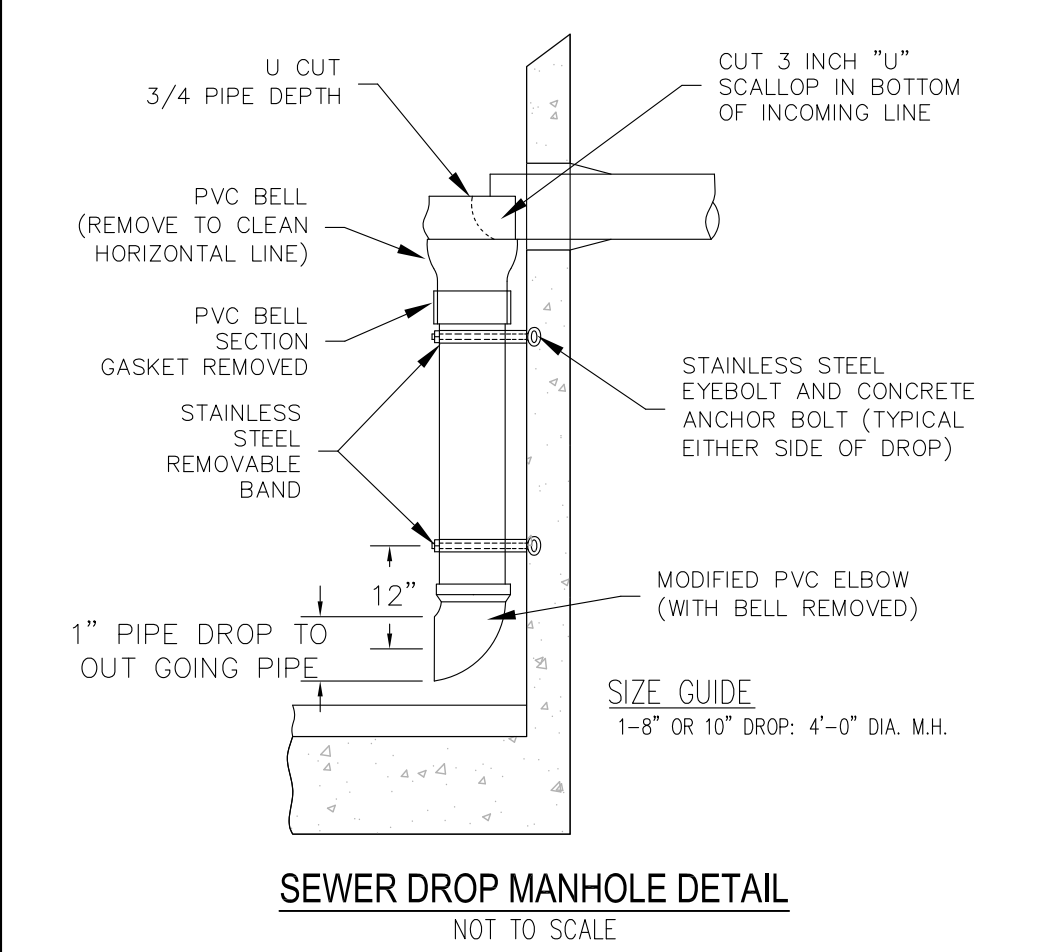
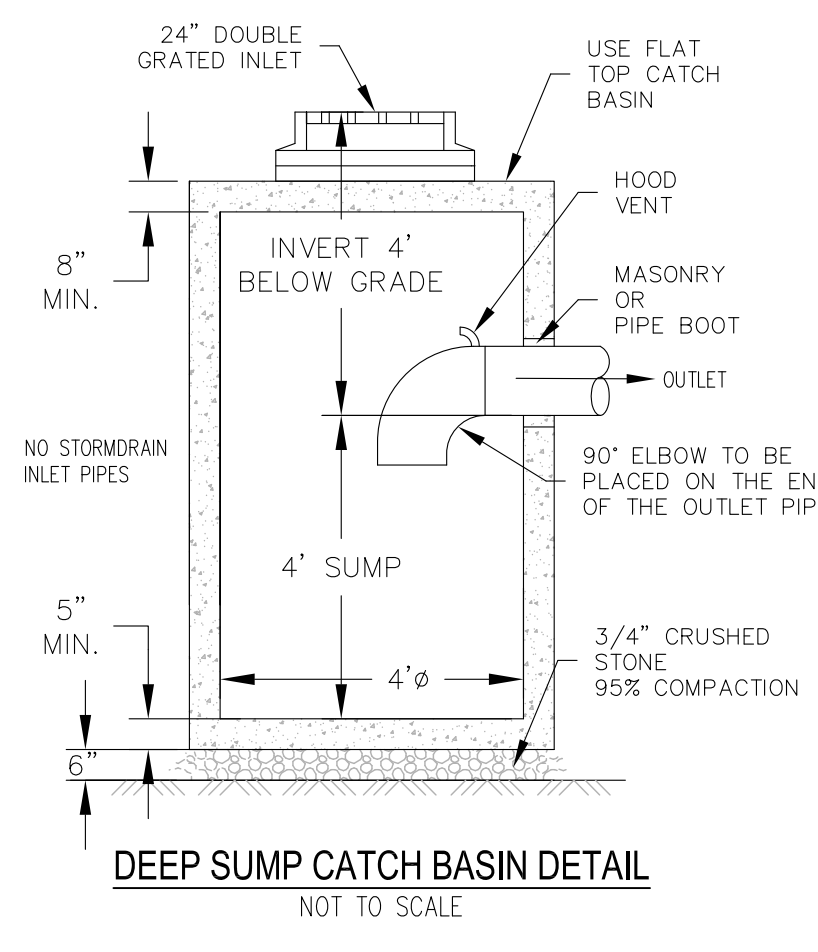
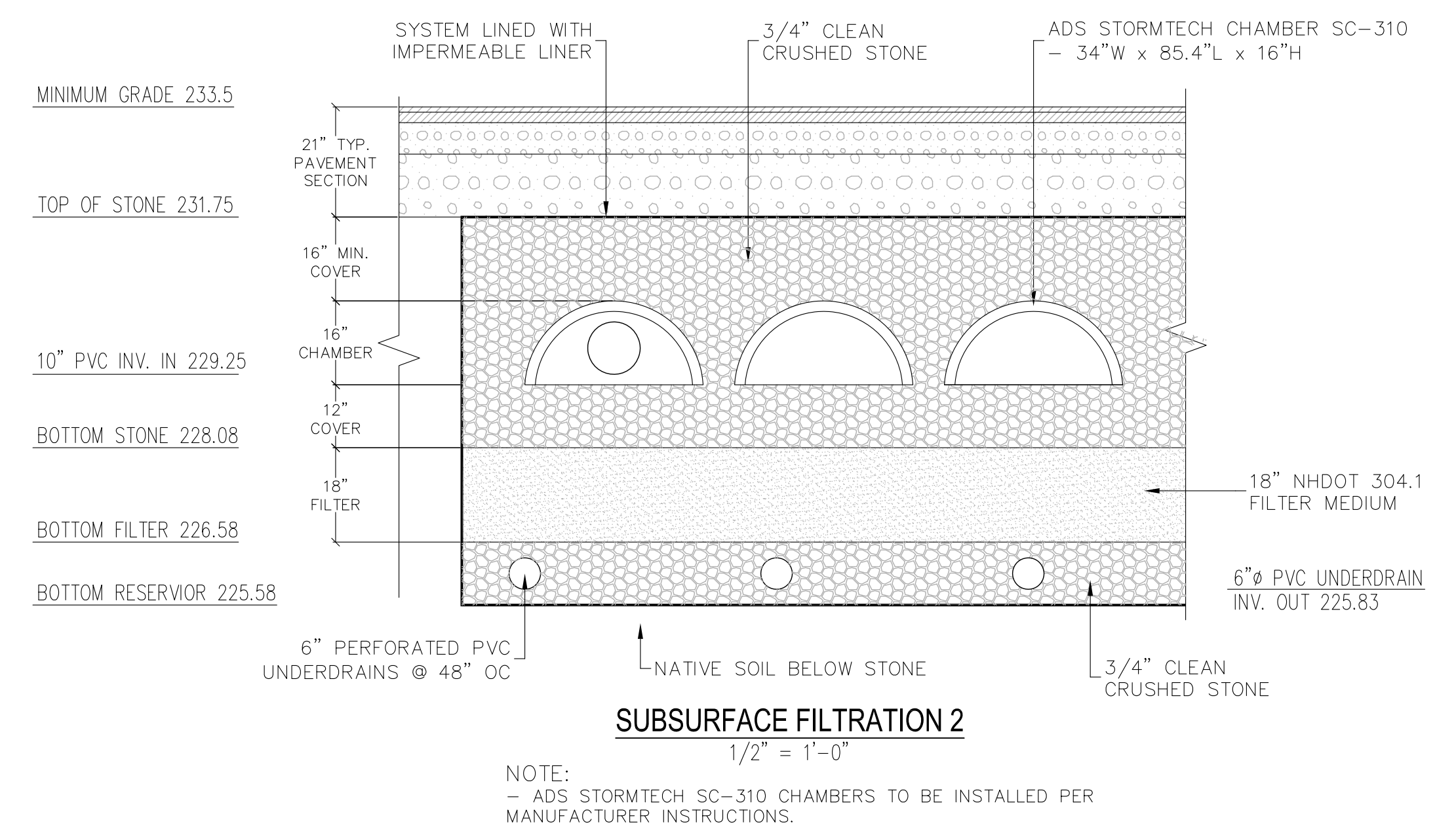
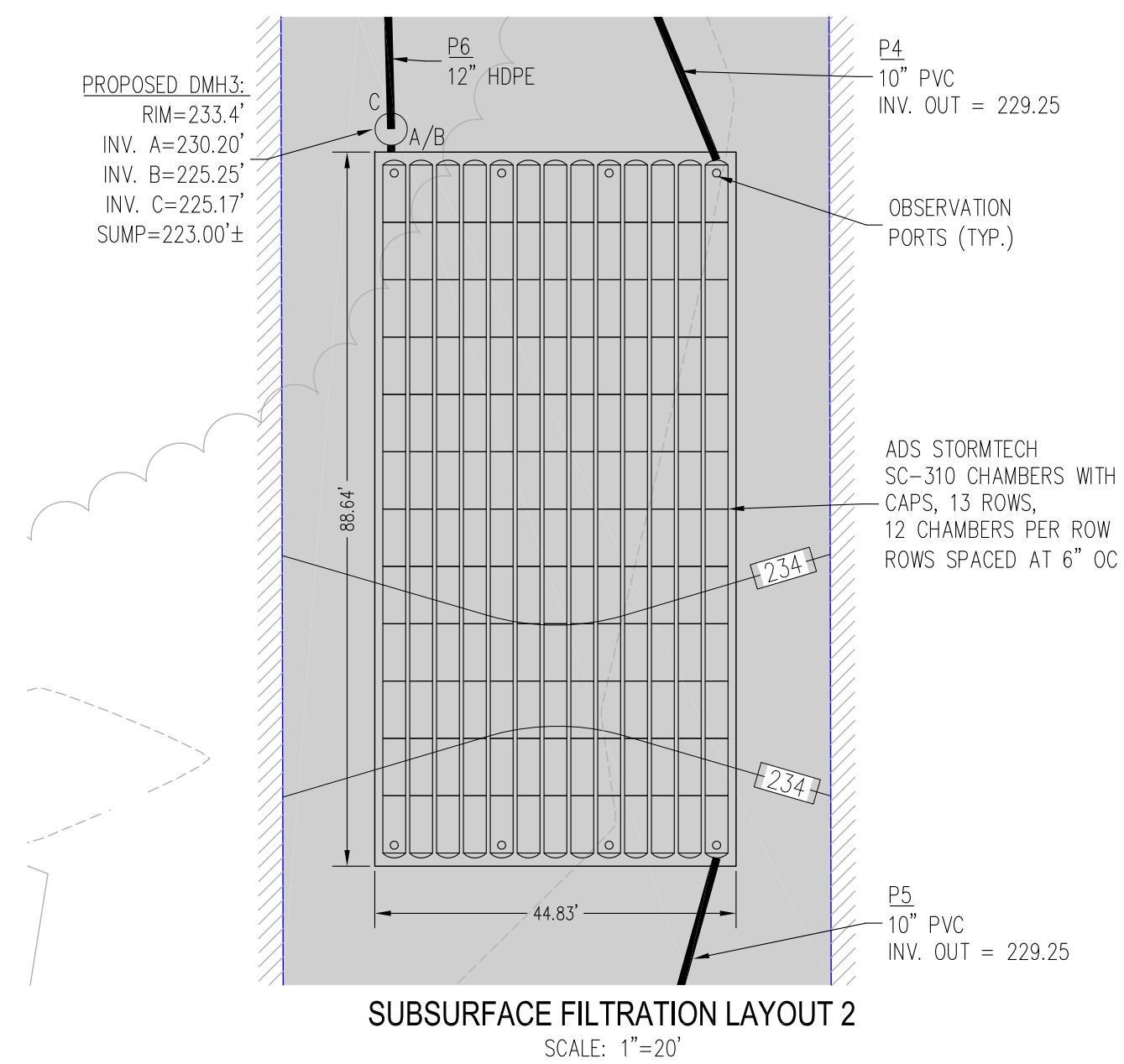
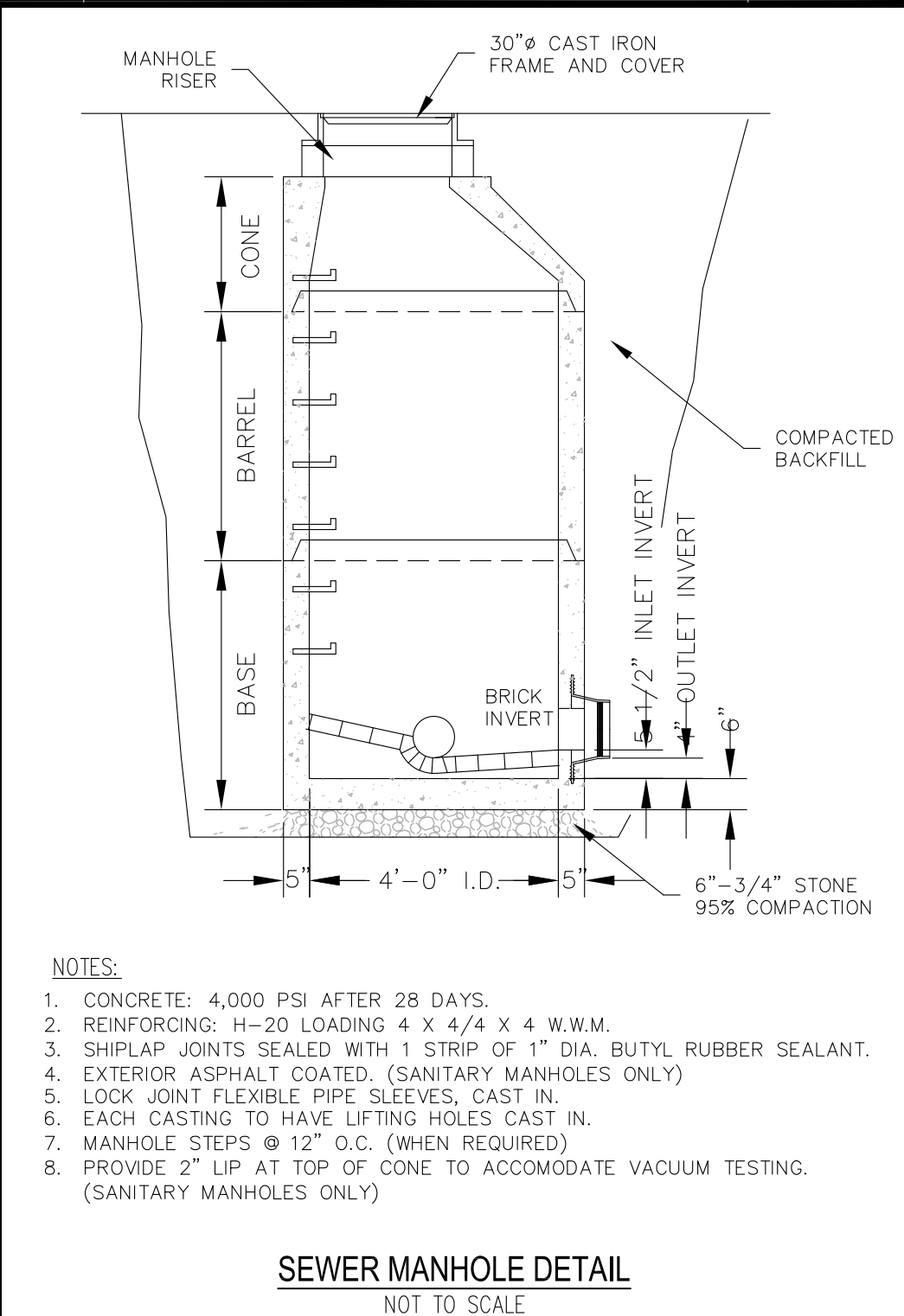
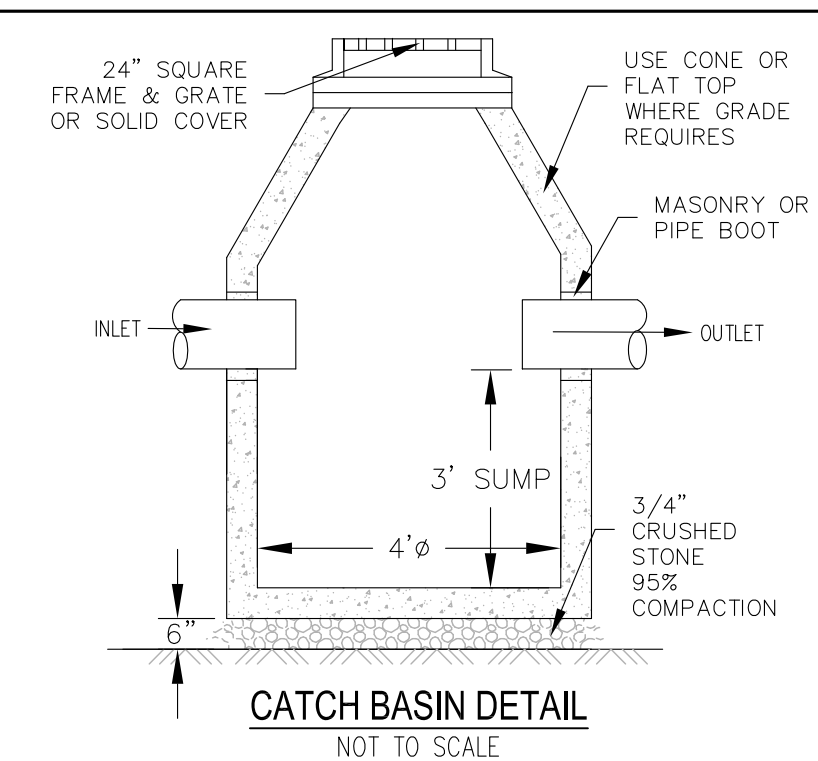
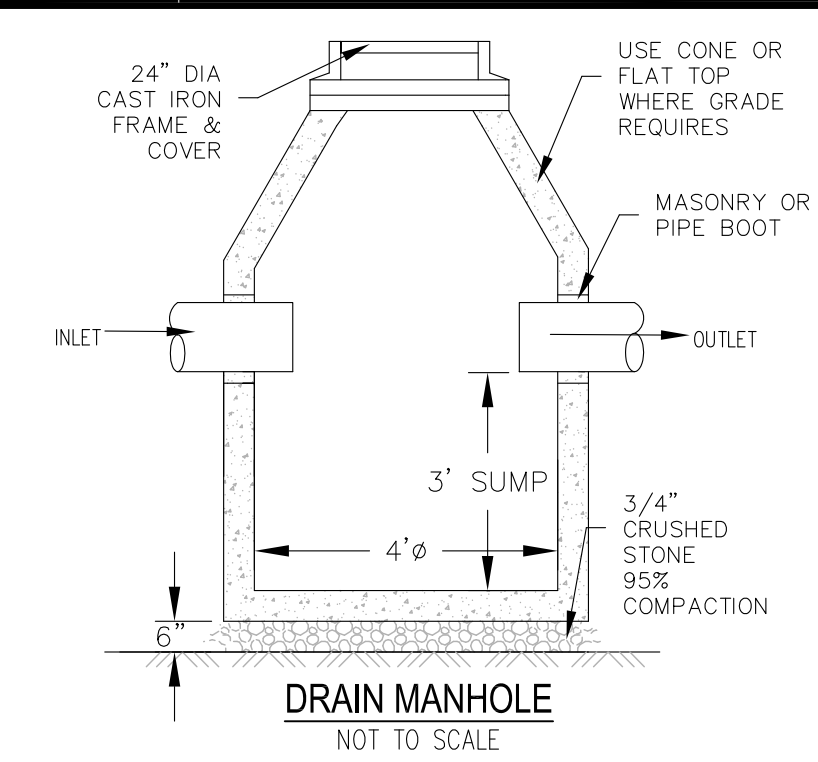
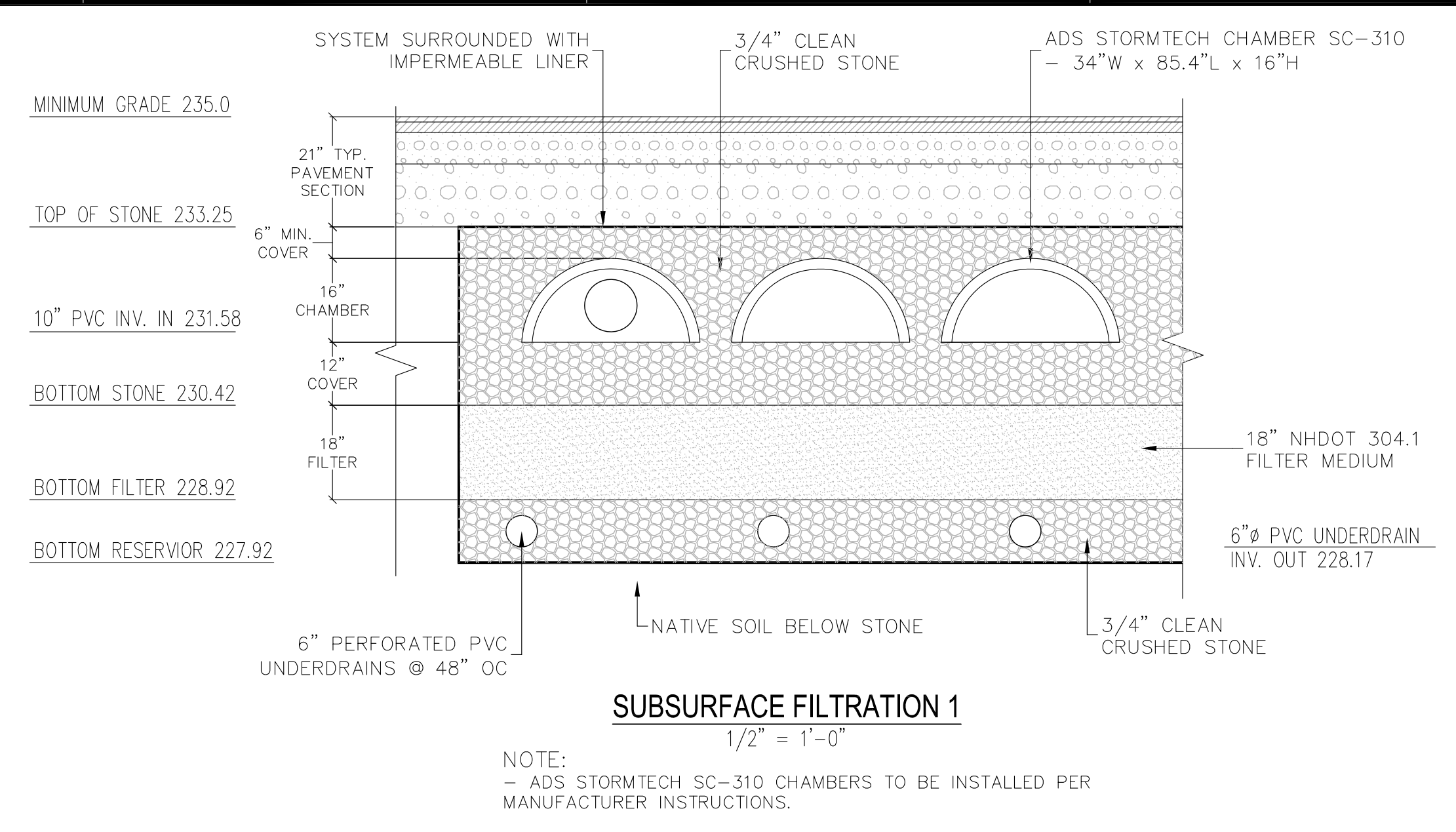
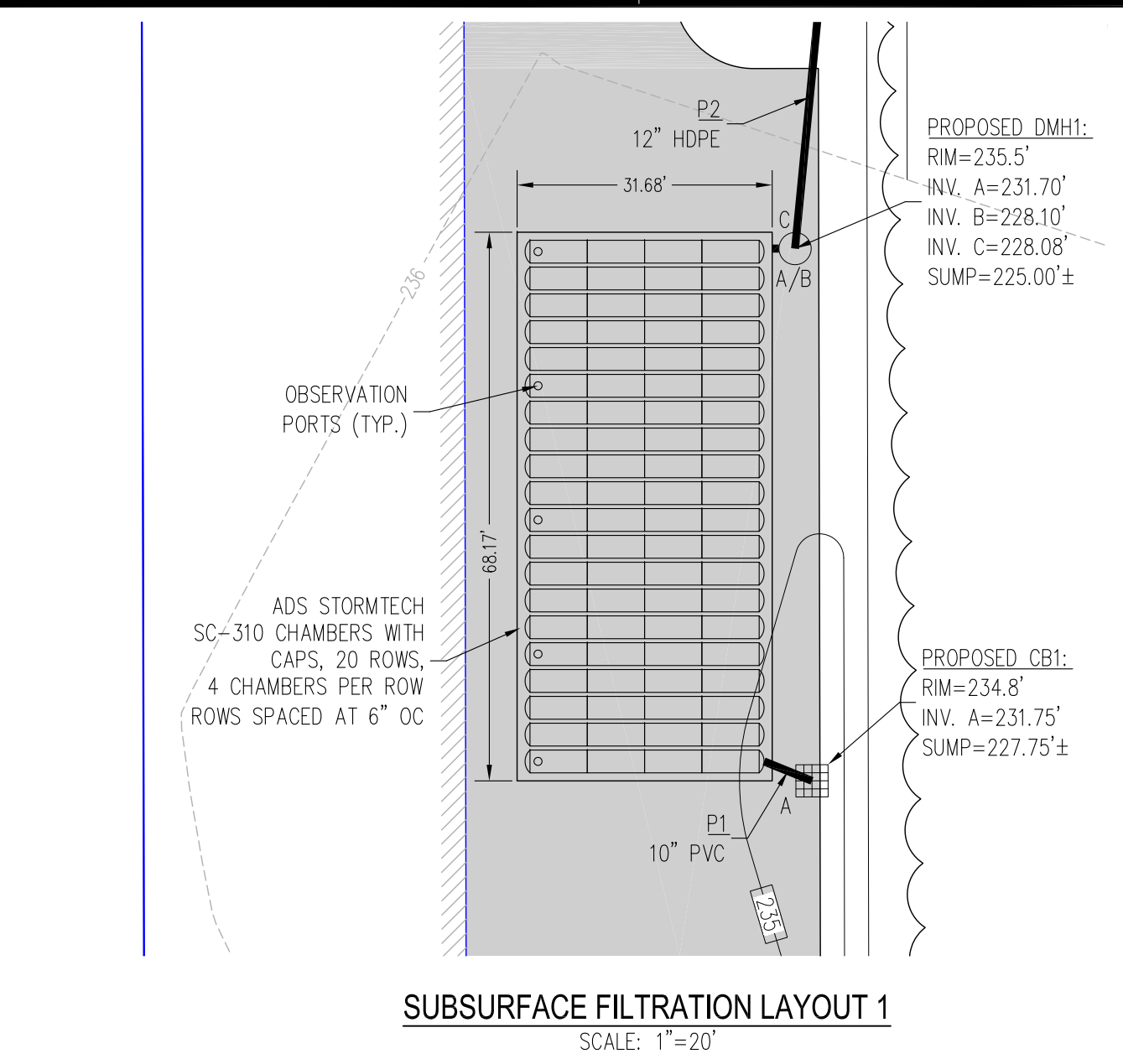
PREPARED FOR: SOMERSWORTH INDUSTRIAL PARK, LLC
 CLIENT ADDRESS: 4023 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

DATE: 06/11/2021
 DRAWN BY: DRC
 CHECKED BY: GRA
 APPROVED BY: GRA

FILTRATION
BMP AND STORMWATER
STRUCTURE DETAILS

PROJECT NO: 20-203.01

L5
 SHEET: 5 OF 6



MAINTENANCE PROCEDURES

THE FOLLOWING PROCEDURES WILL BE FOLLOWED FOR INITIAL AND LONG TERM MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES AT THIS SITE. NOTE: FOR THE PURPOSES OF THESE PROCEDURES, A MAJOR STORM IS ANY STORM THAT RESULTS IN 2 1/2" OF RUNOFF IN A 24 HOUR PERIOD. INSPECTION OF ALL EROSION CONTROL MEASURES WILL BE PERFORMED ON A WEEKLY BASIS AND AFTER MAJOR STORMS.

MAINTENANCE LOG

THE RESPONSIBLE PARTY SHALL ESTABLISH A MAINTENANCE LOG/PLAN FOR USE IN RECORDING MAINTENANCE ACTIVITIES. AS A MINIMUM, THE LOG SHALL INCLUDE THE DATE(S) OF ACTIVITIES, WHO PERFORMED THE DUTIES, WHAT WAS DONE (E.G. LOOKED AT DETENTION BERMS, CLEANED DROP INLETS, ETC.), THE RESULTS OF THE ACTIVITY (I.E. ALL STRUCTURES WERE IN GOOD SHAPE, OR, POND #10 NEEDS TO BE REPAIRED). IF ANY ITEM NEEDS TO BE REPAIRED, A FOLLOW-UP ENTRY SHALL SHOW THE DATE THAT REPAIRS WERE COMPLETED.

DETENTION BASINS & FILTRATION BASINS (INITIAL AND LONG TERM)

MAINTENANCE IS NECESSARY IF DETENTION BASINS ARE TO CONTINUE TO FUNCTION AS ORIGINALLY DESIGNED. THE RESPONSIBLE PARTY SHALL DESIGNATE AN INDIVIDUAL (OR COMPANY) TO MAINTAIN THE STRUCTURES AND THE BASIN AREA.

THE FOLLOWING MAINTENANCE SCHEDULE ARE ITEMS WHICH SHOULD BE CONSIDERED IN FORMULATING A MAINTENANCE PLAN:

- 1. EMBANKMENT – EMBANKMENTS SHOULD BE INSPECTED ANNUALLY TO DETERMINE IF ROOT BURROWS, WET AREAS, OR EROSION OF THE FILL IS TAKING PLACE.
- 2. VEGETATION – THE VEGETATED AREAS OF STRUCTURES SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH. LIME AND FERTILIZER SHOULD BE APPLIED AS NECESSARY AS DETERMINED BY SOIL TESTS. TREES AND SHRUBS SHOULD BE KEPT OFF THE EMBANKMENT AND EMERGENCY SPILLWAY AREAS.
- 3. INLETS – PIPE INLETS AND SPILLWAY STRUCTURES SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. ACCUMULATED DEBRIS AND SEDIMENT SHOULD BE REMOVED. IF PIPES ARE COATED, THE COATING SHOULD BE CHECKED AND REPAIRED AS NECESSARY.
- 4. OUTLETS – PIPE OUTLETS SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. THE CONDITION OF THE PIPES SHOULD BE NOTED AND REPAIRS MADE AS NECESSARY. INSPECTIONS SHOULD TAKE PLACE THEN MEASURES SHOULD BE TAKEN TO STABILIZE AND PROTECT THE AFFECTED AREA OF THE OUTLET.
- 5. SEDIMENT – SEDIMENT SHOULD BE CONTINUALLY CHECKED IN THE BASIN. WHEN SEDIMENT ACCUMULATES TO ACHIEVE THE PREDETERMINED DESIGN ELEVATION, THEN THE SEDIMENT SHOULD BE REMOVED AND PROPERLY DISPOSED OF.
- 6. SAFETY INSPECTIONS – ALL BERMS OVER 2' IN HEIGHT SHALL BE INSPECTED BY A QUALIFIED PROFESSIONAL ENGINEER EVERY 2 YEARS. THE DESIGNATED INDIVIDUAL SHOULD ALSO MAKE INSPECTIONS AFTER EVERY MAJOR STORM EVENT.
- 7. DRAWDOWN (FILTRATION ONLY) – FILTRATION BMPs SUCH AS GRAVEL WETLANDS, SAND FILTERS AND BIORETENTION BASINS SHALL BE INSPECTED AFTER ALL STORM EVENTS TO ENSURE THAT THE INSPECTIONS ARE TAKEN PLACE THEN MEASURES SHOULD BE TAKEN IF DRAWDOWN EXCEEDS 48 HOURS BED WILL REQUIRE REPLACEMENT AND REPLANTING.

LAND GRADING AND SLOPE STABILIZATION (INITIAL)

ALL SLOPES SHOULD BE CHECKED PERIODICALLY TO SEE THAT VEGETATION IS IN GOOD CONDITION. ANY RILLS OR DAMAGE FROM EROSION AND ANIMAL BURROWING SHOULD BE REPAIRED IMMEDIATELY TO AVOID FURTHER DAMAGE. IF SEEPS DEVELOP ON THE SLOPES, THE AREA SHOULD BE EVALUATED TO DETERMINE IF THE SEEP WILL CAUSE AN UNSTABLE CONDITION. SUBSURFACE DRAINS OR GRAVEL MULCHING MAY BE REQUIRED TO SOLVE SEEP PROBLEMS. DIVERSIONS, BERMS, AND WATERWAYS IN THE LAND GRADING AREA SHOULD BE CHECKED TO SEE THAT THEY ARE FUNCTIONING PROPERLY. PROBLEMS FOUND DURING THE INSPECTIONS SHOULD BE REPAIRED. AREAS REQUIRING RE-VEGETATION SHOULD BE REPAIRED. SLOPES AND ASSOCIATED PRACTICES UTILIZING VEGETATION SHOULD BE LIMED AND FERTILIZED AS NECESSARY TO KEEP THE VEGETATION HEALTHY. ENCROACHMENT OF UNDESIRABLE VEGETATION SUCH AS WEEDS AND WOODY GROWTH THAT IS NOT PLANNED SHOULD BE CONTROLLED TO AVOID PROBLEMS OF BANK STABILITY IN THE FUTURE.

OUTLET PROTECTION

OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APPRON.

ROCK RIPRAP (INITIAL & LONG TERM)

ROCK RIPRAP SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY BEFORE FURTHER DAMAGE CAN TAKE PLACE. WOODY VEGETATION SHOULD BE REMOVED FROM THE ROCK RIPRAP ANNUALLY BECAUSE TREE ROOTS WILL EVENTUALLY DISLODGE THE ROCK RIPRAP. IF THE RIPRAP IS ON A CHANNEL BANK, THE STREAM SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT BARS THAT MAY CHANGE FLOW PATTERNS WHICH COULD DAMAGE OR DISPLACE THE RIPRAP. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE RIPRAP.

STORM DRAIN INLET PROTECTION

ALL STRUCTURES SHALL BE INSPECTED AFTER SIGNIFICANT RAIN EVENTS AND REPAIRED AS NEEDED.

SEDIMENT SHALL BE REMOVED AND THE STORMDRAIN SEDIMENT BARRIER RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.

STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

ALL CATCHBASINS AND STORMDRAIN INLETS SHALL BE CLEANED AT THE END OF CONSTRUCTION AND AFTER THE SITE HAS BEEN FULLY STABILIZED.

STRAW OR HAY BALE BARRIER, SILT FENCE AND FILTER BERM
HAY BALE BARRIERS, SILT FENCES AND FILTER BERMS SHALL BE INSPECTED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. THEY SHALL BE REPAIRED IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OF THE EDGES OF THE BARRIER, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, SEDIMENT BARRIERS SHALL BE REPLACED WITH A TEMPORARY CHECK DAM.

SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THE DEPOSITS REACH APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE BARRIER.

FILTER BERMS SHOULD BE RESHAPED AS NEEDED.

SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHOULD BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

TEMPORARY CHECK DAMS

REGULAR INSPECTIONS MUST BE MADE TO ENSURE THAT THE CENTER OF THE CHECK DAM IS LOWER THAN THE EDGES. EROSION CAUSED BY HIGH FLOWS AROUND THE EDGES OF THE CHECK DAM MUST BE CORRECTED. IF EVIDENCE OF SILTATION IN THE WATER IS APPARENT DOWNSTREAM OF THE CHECK DAM, THE CHECK DAM MUST BE INSPECTED AND ADJUSTED.

CHECK DAMS MUST BE CHECKED FOR SEDIMENT ACCUMULATION AFTER EACH SIGNIFICANT RAINFALL. SEDIMENT MUST BE REMOVED WHEN IT REACHES ONE HALF THE ORIGINAL HEIGHT OF BEFORE.

IF IT POSSIBLE, LEAVE THE CHECK DAM IN PLACE PERMANENTLY. ANOTHER OPTION IS TO SPREAD STONE OR HAY ALONG THE DITCH INVERT TO PROVIDE ADDITIONAL PROTECTION. IN TEMPORARY DITCHES AND SWALES, CHECK DAMS MUST BE REMOVED WHEN A PERMANENT LINING HAS BEEN ESTABLISHED. IF A CHECK DAM MUST BE REMOVED FROM A GRAVEL LINED DITCH, WAIT UNTIL THE GRASS HAS MATURED TO PROTECT THE DITCH OR SWALE. THE AREA BENEATH THE CHECK DAM MUST BE SEEDED AND MULCHED AFTER THEY ARE REMOVED.

STABILIZED CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD)

THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. WHEN THE CONTROL PAD BECOMES INEFFECTIVE, THE STONE SHALL BE REMOVED ALONG WITH THE COLLECTED SOIL MATERIAL AND REDISTRIBUTED ON SITE IN A STABLE MANNER. THE ENTRANCE SHOULD THEN BE RECONSTRUCTED. THE CONTRACTOR SHALL SWEEP OR WASH PAVEMENT AT EXITS, WHICH HAVE EXPERIENCED MUD-TRACKING ONTO THE PAVEMENT OR TRAVELED WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH AGGREGATE, WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES OR WATERWAYS.

CULVERTS
UNDERGROUND CULVERTS MUST BE MAINTAINED BY KEEPING INLETS, TRASH GUARDS, AND COLLECTION BOXES AND STRUCTURES CLEAN AND FREE OF MATERIALS THAT CAN REDUCE THE FLOW. ALL LEAKS SHALL BE REPAIRED TO ENSURE PROPER FUNCTIONING OF THE CULVERT. ANIMAL GUARDS MUST BE INSPECTED AND MAINTAINED IN PROPER WORKING ORDER.

ROAD DITCH TURN OUT
AFTER CONSTRUCTION, DITCH TURNOUTS NEED TO BE CAREFULLY INSPECTED FOR ANY SIGNS OF CHANNELIZATION AND REPAIRED. IT WILL BE NECESSARY TO REMOVE SEDIMENT FROM THE DITCH TURNOUT TRENCH WHEN THE SWALE IS FULL AND THE STRUCTURE IS NO LONGER FUNCTIONING PROPERLY.

VEGETATED SWALE
TIMELY MAINTENANCE IS IMPORTANT TO KEEP THE VEGETATION IN THE SWALE IN GOOD CONDITION. MOWING SHOULD BE DONE FREQUENTLY ENOUGH TO KEEP THE VEGETATION IN PROGRESSIVE CONDITION AND TO CONTROL ENCROACHMENT OF WEEDS AND WOODY VEGETATION, HOWEVER IT SHOULD NOT BE MOWED TOO CLOSELY SO AS TO REDUCE THE FILTERING EFFECT. FERTILIZE ON AN "AS NEEDED" BASIS TO KEEP THE GRASS HEALTHY. OVER FERTILIZATION CAN RESULT IN THE SWALE BECOMING A SOURCE OF POLLUTION.

THE SWALE SHOULD BE INSPECTED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE THE CONDITION OF THE SWALE. RILLS AND DAMAGED AREAS SHOULD BE PROMPTLY REPAIRED AND RE-VEGETATED AS NECESSARY TO PREVENT FURTHER DETERIORATION.

PROJECT MAINTENANCE ITEMS:
THE DEVICES THAT WILL REQUIRE MAINTENANCE FOR THIS PROJECT ARE: GRAVEL WETLAND, OUTLET PROTECTION, ROCK RIPRAP, STABILIZED CONSTRUCTION ENTRANCE, CULVERT AND VEGETATED SWALE.

OVERWINTER CONSTRUCTION

THE WINTER CONSTRUCTION PERIOD IS FROM NOVEMBER 1 THROUGH APRIL 15. IF THE CONSTRUCTION SITE IS NOT STABILIZED WITH PAVEMENT, A ROAD GRAVEL BASE, 75% FERTILIZER VEGETATION COVER OR RIPRAP BY NOVEMBER 15 THEN THE SITE NEEDS TO BE PROTECTED WITH OVER WINTER STABILIZATION. AN AREA CONSIDERED OPEN IS ANY AREA NOT STABILIZED WITH PAVEMENT; VEGETATION, MULCHING, EROSION CONTROL MATS, RIPRAP OR GRAVEL BASE ON A ROAD.

WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME. LIMIT THE EXPOSED AREA TO THOSE AREAS WHERE FURTHER WORK IS EXPECTED TO BE UNDER TAKEN DURING THE PROCEEDING 15 DAYS AND THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. ALL AREA SHALL BE CONSIDERED TO BE DENUDED UNTIL THE SUBBASE GRAVEL IS INSTALLED IN ROADWAY AREAS OR THE AREAS OF FUTURE LOAM AND SEED HAVE BEEN LOAMED, SEEDED AND MULCHED. A COVER OF EROSION CONTROL MIX PERFORMS THE BEST.

ANY ADDED MEASURES, WHICH MAY BE NECESSARY TO CONTROL EROSION/SEDIMENTATION MUST BE INSTALLED. THESE MAY BE DEPENDENT UPON SITE CONDITIONS, THE ACTUAL SITE SIZE AND WEATHER CONDITIONS.

TO MINIMIZE AREAS WITHOUT EROSION CONTROL PROTECTION, CONTINUATION OF EARTHWORK OR EXCAVATION ON ADDITIONAL AREAS SHOULD BE AVOIDED. THE NATURAL SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED.

1. NATURAL RESOURCES PROTECTION
ANY AREAS WITHIN 100 FEET FROM ANY NATURAL RESOURCES, IF NOT STABILIZED WITH A MINIMUM OF 75% MATURE VEGETATION CATCH, SHALL BE MULCHED BY DECEMBER 1 AND ANCHORED WITH PLASTIC NETTING OR PROTECTED WITH AN EROSION CONTROL COVER.

DURING WINTER CONSTRUCTION, A DOUBLE ROW OF SEDIMENT BARRIERS (I.E. SILT FENCE BACKED WITH HAY BALES OR EROSION CONTROL MIX) WILL BE PLACED BETWEEN ANY NATURAL RESOURCE AND THE DISTURBED AREA. PROJECTS CROSSING THE NATURAL RESOURCE SHALL BE PROTECTED A MINIMUM DISTANCE OF 100 FEET ON EITHER SIDE FROM THE RESOURCE. EXISTING PROJECTS NOT STABILIZED BY DECEMBER 1 SHALL BE PROTECTED WITH THE SECOND LINE OF SEDIMENT BARRIER TO ENSURE FUNCTIONALITY DURING THE SPRING THAW AND RAINS.

2. SEDIMENT BARRIERS
DURING FROZEN CONDITIONS, SEDIMENT BARRIERS MAY CONSIST OF EROSION CONTROL MIX BERMS OR ANY OTHER RECOGNIZED SEDIMENT BARRIERS AS FROZEN SOIL PREVENTS THE PROPER INSTALLATION OF HAY BALES AND SEDIMENT SILT FENCES.

3. MULCHING
ALL AREA SHALL BE CONSIDERED TO BE DENUDED UNTIL SEEDED AND MULCHED. HAY AND STRAW MULCH SHALL BE APPLIED AT A RATE OF 150 LB. PER 1,000 SQUARE FEET OR 3 TONS/ACRE (TWICE THE NORMAL ACCEPTED RATE OF 75 LBS./1,000 S.F. OR 1.5 TONS/ACRE) AND SHALL BE PROPERLY ANCHORED. EROSION CONTROL MIX MUST BE APPLIED WITH A MINIMUM 4 INCH THICKNESS.

MULCH SHALL NOT BE SPREAD ON TOP OF SNOW. THE SNOW WILL BE REMOVED DOWN TO A ONE INCH DEPTH OR LESS PRIOR TO APPLICATION.

AFTER EACH DAY OF FINAL GRADING, THE AREA WILL BE PROPERLY STABILIZED WITH ANCHORED HAY OR STRAW OR EROSION CONTROL MATTING.

AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED OR ADEQUATELY ANCHORED SO THAT GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH.

BETWEEN THE DATES OF NOVEMBER 1 AND APRIL 15, ALL MULCH SHALL BE ANCHORED BY EITHER MULCH NETTING, ASPHALT EMULSION CHEMICAL, TRACK OR WOOD CELLULOSE FIBER. THE COVER WILL BE CONSIDERED SUFFICIENT WHEN THE GROUND SURFACE IS NOT VISIBLE THROUGH THE MULCH.

AFTER NOVEMBER 1ST, MULCH AND ANCHORING OF ALL EXPOSED SOIL SHALL OCCUR AT THE END OF EACH FINAL GRADING WORKDAY.

4. SOIL STOCKPILES
STOCKPILES OF SOIL OR SUBSOIL WILL BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR WITH A FOUR-INCH LAYER OF EROSION CONTROL MIX. THIS WILL BE DONE WITHIN 24 HOURS OF STOCKING AND REESTABLISHED PRIOR TO ANY RAINFALL OR SNOWFALL. ANY SOIL STOCKPILE WILL NOT BE PLACED (EVEN COVERED WITH MULCH) WITHIN 100 FEET FROM ANY NATURAL RESOURCES.

5. SEEDING
BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES FINISHED AREAS SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED.

DORMANT SEEDING MAY BE SELECTED TO BE PLACED PRIOR TO THE PLACEMENT OF MULCH AND EROSION CONTROL BLANKETS. IF DORMANT SEEDING IS USED FOR THE SITE, ALL DISTURBED AREAS SHALL RECEIVE 4" OF LOAM AND SEED AT AN APPLICATION RATE OF 5LBS/1,000 S.F. ALL AREAS SEEDED DURING THE WINTER WILL BE INSPECTED IN THE SPRING FOR ADEQUATE CATCH. ALL AREAS INSUFFICIENTLY VEGETATED (LESS THAN 75% CATCH) SHALL BE REVEGETATED BY REPLACING LOAM, SEED AND MULCH.

OVERWINTER STABILIZATION

1. STABILIZATION OF DITCHES AND CHANNELS

ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. ALL GRASS-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15. IF A DITCH OR CHANNEL IS NOT GRASS-LINED BY OCTOBER 15, THEN ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE DITCH FOR LATE FALL AND WINTER.

INSTALL A SOD LINING IN THE DITCH: A DITCH MUST BE LINED WITH PROPERLY INSTALLED SOD BY OCTOBER 15. PROPER INSTALLATION INCLUDES: PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL, AND ANCHORING THE SOD AT THE BASE OF THE DITCH WITH JUTE OR PLASTIC MESH TO PREVENT THE SOD FROM SLOUGHING DURING FLOW CONDITIONS.

INSTALL A STONE LINING IN THE DITCH: A DITCH MUST BE LINED WITH STONE RIPRAP BY OCTOBER 15. A REGISTERED PROFESSIONAL ENGINEER MUST BE HIRED TO DETERMINE THE STONE SIZE AND LINING THICKNESS NEEDED TO WITHSTAND THE ANTICIPATED FLOW VELOCITIES AND FLOW DEPTHS WITHIN THE DITCH. IF NECESSARY, THE CONTRACTOR WILL REGRADE THE DITCH PRIOR TO PLACING THE STONE LINING SO TO PREVENT THE STONE LINING FROM REDUCING THE DITCH'S CROSS-SECTIONAL AREA.

2. STABILIZATION OF DISTURBED SLOPES
ALL STONE-COVERED SLOPES MUST BE CONSTRUCTED AND STABILIZED BY NOVEMBER 15. ALL SLOPES TO BE VEGETATED MUST BE SEEDED AND MULCHED BY OCTOBER 15. THE DEVELOPER SHALL CONSIDER ANY AREA HAVING A GRADE GREATER THAN 15% TO BE A SLOPE. IF A SLOPE TO BE VEGETATED IS NOT STABILIZED BY OCTOBER 15, THEN ONE OF THE FOLLOWING ACTIONS MUST BE TAKEN TO STABILIZE THE SLOPE FOR LATE FALL AND WINTER.

STABILIZE THE SOIL WITH TEMPORARY VEGETATION AND EROSION CONTROL MATS: BY SEPTEMBER 15, THE DISTURBED SLOPE MUST BE SEEDED WITH WINTER RYE AT A SEEDING RATE OF 3 POUNDS PER 1,000 SQUARE FEET AND THEN INSTALL EROSION CONTROL MATS OR ANCHORED MULCH OVER THE SEEDING. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR FAILS TO COVER AT LEAST 85% OF THE SLOPE BY OCTOBER 15, THEN THE CONTRACTOR WILL COVER THE SLOPE WITH A LAYER OF EROSION CONTROL MIX OR WITH STONE RIPRAP AS DESCRIBED IN THE FOLLOWING STANDARDS.

STABILIZE THE SOIL WITH SOD: THE DISTURBED SLOPE MUST BE STABILIZED WITH PROPERLY INSTALLED SOD BY OCTOBER 15. PROPER INSTALLATION INCLUDES THE CONTRACTOR PINNING THE SOD ONTO THE SLOPE WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL. THE CONTRACTOR WILL NOT USE LATE-SEASON SOD INSTALLATION TO STABILIZE SLOPES HAVING A GRADE GREATER THAN 33% (3H:1V) OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.

STABILIZE THE SOIL WITH EROSION CONTROL MIX: EROSION CONTROL MIX MUST BE PROPERLY INSTALLED BY NOVEMBER 15. THE CONTRACTOR WILL NOT USE EROSION CONTROL MIX TO STABILIZE SLOPES HAVING GRADES GREATER THAN 50% (2H:1V) OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.

STABILIZE THE SOIL WITH STONE RIPRAP: PLACE A LAYER OF STONE RIPRAP ON THE SLOPE BY NOVEMBER 15. THE DEVELOPMENT'S OWNER WILL HIRE A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE NEEDED FOR STABILITY ON THE SLOPE AND TO DESIGN A FILTER LAYER FOR UNDERNEATH THE RIPRAP.

3. STABILIZATION OF DISTURBED SOILS
STABILIZE THE SOIL WITH TEMPORARY VEGETATION: BY SEPTEMBER 15, SEED THE DISTURBED SOIL WITH WINTER RYE AT A SEEDING RATE OF 3-LBS PER 1,000 SQUARE FEET, LIGHTLY MULCH THE SOIL WITH HAY OR STRAW AT 75-LBS PER 1,000 SQUARE FEET, AND ANCHOR THE MULCH WITH PLASTIC NETTING. MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR COVER AT LEAST 75% OF THE DISTURBED SOIL BEFORE OCTOBER 15, THEN MULCH THE AREA FOR OVERWINTER PROTECTION AS DESCRIBED BELOW.

STABILIZE THE SOIL WITH SOD: STABILIZE THE DISTURBED SOIL WITH PROPERLY INSTALLED SOD BY OCTOBER 15. PROPER INSTALLATION INCLUDES PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL.

STABILIZE THE SOIL WITH MULCH: BY NOVEMBER 15, MULCH THE DISTURBED SOIL BY SPREADING HAY OR STRAW AT A RATE OF AT LEAST 150-LBS PER 1,000 SQUARE FEET ON THE AREA SO THAT NO SOIL IS VISIBLE THROUGH THE MULCH. IMMEDIATELY AFTER APPLYING THE MULCH, ANCHOR THE MULCH WITH PLASTIC NETTING TO PREVENT WIND FROM MOVING THE MULCH OFF OF THE DISTURBED SOIL.

AREAS WITHIN 75' OF ANY STREAM OR WETLAND SHALL RECEIVE TEMPORARY STABILIZATION WITHIN 2 DAYS BEFORE ANY SIGNIFICANT RAINFALL.

DEWATERING NOTES:

- 1. ANY DEWATERING PITS SHALL BE OBSERVED AND REVIEWED ON A CONTINUOUS BASIS. IF AT ANY TIME THE PIT IS OVERWHELMED BY DEWATERING FLOWS, OR IF IT BECOMES APPARENT THAT IT WILL BE OVERWHELMED (INDICATED BY REACHING 75% CAPACITY), THE CONTRACTOR SHALL CEASE DEWATERING ACTIVITIES AND CONTACT THE ENGINEER TO REVISE THE DEWATERING PLAN AS REQUIRED. WORK SHALL BE HALTED UNTIL THE DEWATERING FACILITIES ARE FUNCTIONAL AND PERFORMING AS INTENDED.
- 2. PUMP LOCATIONS WILL BE DETERMINED DURING EXCAVATION AS GROUNDWATER IS ENCOUNTERED. PUMP SIZES SHALL BE SUFFICIENT TO ALLOW WORK IN EXCAVATED AREAS TO BE PERFORMED IN THE DRY.
- 3. THE SOIL CONDITION AT THE ENTRANCE OF THE DEWATERING PIT SHALL BE MONITORED AND THE AREA SHALL BE CLEARED OF SEDIMENT AS IT ACCRUES. AT NO POINT SHALL SEDIMENT HINDER OR PREVENT FLOW TO THE RECEIVING SOILS.
- 4. SOILS HAVE POOR POTENTIAL FOR HIGH INFILTRATION RATES. CONTRACTOR SHALL REVIEW THE RECEIVING SOIL AT THE BASE OF THE PIT PRIOR TO DIRECTING WATER INTO THE AREA, WITH ANY MODIFICATIONS IN DESIGN TO BE REVIEWED AND APPROVED BY THE ENGINEER AND CONTRACTOR.
- 5. UNDER NO CIRCUMSTANCES SHALL WATER BE DIRECTLY RELEASED TO THE STORM DRAIN SYSTEM OR SANITARY SEWER.
- 6. IF DURING THE WORK, PETROLEUM-LIKE OIL, STAINING OR SHEEN OR OTHER SUSPECT HAZARDOUS ENVIRONMENTAL CONDITION IS NOTED, STOP WORK AND NOTIFY THE ENGINEER.

HAY BALE BARRIER MAINTENANCE NOTES:

- 1. HAY BALE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH SIGNIFICANT RAINFALL (2" IN 24 HOURS) AND AT LEAST DAILY DURING PROLONGED RAINFALL. THEY SHALL BE REPAIRED IMMEDIATELY IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM.
- 2. SEDIMENT DEPOSITS ACCUMULATED AT THE BARRIERS SHOULD BE REMOVED AND DISPOSED PROPERLY AFTER THE EMPTYING OF THE DEWATERING PIT.

DIRTBAG MAINTENANCE NOTES:

- 1. DIRTBAG MUST BE MONITORED DURING USE. THE DIRTBAG CAN ACCOMMODATE A MAXIMUM FLOW RATE OF 750 GALLONS PER MINUTE.
- 2. PLACE THE BAG ON AGGREGATE TO MAXIMIZE WATER FLOW THROUGH THE SURFACE AREA OF THE BAG.
- 3. DIRTBAG IS FULL WHEN IT CAN NO LONGER EFFICIENTLY FILTER SEDIMENT OR ALLOW WATER TO PASS AT A REASONABLE RATE.

4. STABILIZATION OF ROAD OR PARKING SURFACES
AFTER NOVEMBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.

MAINTENANCE

MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION SEASON. AFTER EACH RAINFALL, SNOW STORM OR PERIOD OF THAWING AND RUNOFF, THE SITE CONTRACTOR SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUOUS FUNCTION.

FOLLOWING THE TEMPORARY AND OR FINAL SEEDING AND MULCHING, THE CONTRACTOR SHALL IN THE SPRING INSPECT AND REPAIR ANY DAMAGES AND/OR BARE SPOTS. AN ESTABLISHED VEGETATIVE COVER MEANS A MINIMUM OF 85% TO 90% OF AREAS VEGETATED WITH VIGOROUS GROWTH.

STABILIZATION SCHEDULE BEFORE WINTER

- SEPTEMBER 15** ALL DISTURBED AREAS MUST BE SEEDED AND MULCHED. ALL SLOPES MUST BE STABILIZED, SEEDED AND MULCHED. ALL GRASS-LINED DITCHES AND CHANNELS MUST BE STABILIZED WITH MULCH OR AN EROSION CONTROL BLANKET.
- OCTOBER 15** IF THE SLOPE IS STABILIZED WITH AN EROSION CONTROL BLANKET AND SEEDED, ALL DISTURBED AREAS TO BE PROTECTED WITH ANNUAL GRASS MUST BE SEEDED AT A SEEDING RATE OF 3-LBS PER 1,000 SQUARE FEET AND MULCHED.
- NOVEMBER 1** ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15. THEN ONE OF THE FOLLOWING ACTIONS MUST BE CONSTRUCTED BY THIS DATE.
- DECEMBER 1** ALL DISTURBED AREAS WHERE GROWTH OF VEGETATION FAILS TO BE AT LEAST THREE INCHES TALL OR AT LEAST 85% OF THE DISTURBED SOIL IS COVERED BY VEGETATION, MUST BE PROTECTED FOR OVER-WINTER.

GRADATION OF TRENCH/CATCH BASIN BACKFILL	
SEVE NO.	PERCENT BY WEIGHT PASSING STANDARD SEVE
3"	100
5"	50 TO 85
4	40 TO 75
200	10 TO 35
	0 TO 5

EROSION AND SEDIMENT CONTROL PRACTICES

- 1. NO SOIL SHALL BE DISTURBED DURING THE PERIOD OF MARCH 1 THROUGH APRIL 15 UNLESS APPROVED BY THE ENGINEER, NOR DURING ANY OTHER PERIOD WHEN SOILS ARE SATURATED DUE TO RAIN OR SNOW MELT.
- 2. DISTURBED SOILS SHALL BE STABILIZED WITHIN ONE (1) WEEK FROM THE TIME IT WAS LAST ACTIVELY WORKED USING TEMPORARY OR PERMANENT MEASURES SUCH AS PLACEMENT OF RIPRAP, MULCH OR EROSION CONTROL BLANKET, OR OTHER COMPARABLE MEASURES.
- 3. HAY OR STRAW MULCH SHALL BE APPLIED AT A RATE OF AT LEAST ONE (1) TONS PER 500 SQUARE FEET (1-2 TONS PER ACRE).
- 4. IF MULCH IS LIKELY TO BE REMOVED DUE TO STEEP SLOPES OR WIND, IT SHALL BE ANCHORED WITH NETTING, PEG OR TWINE, OR OTHER SUITABLE METHOD AND SHALL BE MAINTAINED UNTIL A CATCH OF VEGETATION IS ESTABLISHED OVER THE ENTIRE DISTURBED AREA.
- 5. IN ADDITION TO PLACEMENT OF RIPRAP, MULCH OR EROSION CONTROL BLANKETS, ADDITIONAL STEPS SHALL BE TAKEN WHERE NECESSARY IN ORDER TO PREVENT SEDIMENTATION OF THE WATER. EVIDENCE OF SEDIMENTATION INCLUDES VISIBLE GULLY EROSION, DISCOLORATION OF WATER BY SUSPENDED PARTICLES AND SLUMPING BANKS, SILT FENCES, STAKED HAY BALES AND OTHER SEDIMENTATION CONTROL MEASURES, WHERE PLANNED FOR, SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF WORK, BUT SHALL ALSO BE INSTALLED WHEREVER NECESSARY DUE TO SEDIMENTATION.
- 6. MULCH OR OTHER TEMPORARY MEASURES SHALL BE MAINTAINED UNTIL THE SITE IS PERMANENTLY STABILIZED WITH VEGETATION OR OTHER PERMANENT CONTROL MEASURES AFTER WHICH TEMPORARY MEASURES WILL BE REMOVED.
- 7. PERMANENT RE-VEGETATION OF ALL DISTURBED AREAS, USING NATIVE PLANT MATERIAL WHEN POSSIBLE, SHALL OCCUR WITHIN 30 DAYS FROM THE TIME THE AREAS WERE LAST ACTIVELY WORKED, OR FOR FALL AND WINTER ACTIVITIES, BY JUNE 15, EXCEPT WHERE PRELUDED BY THE TYPE OF ACTIVITY (E.G. RIPRAP, ROAD SURFACES, ETC.). THE VEGETATIVE COVER SHALL BE MAINTAINED.
- 8. DISPOSAL OF COLLECTED DEBRIS MUST BE IN CONFORMANCE WITH MAINE SOLID WASTE LAW, TITLE 38 MRSA SECTION 1301 ET. SEQ.
- 9. LIME AND FERTILIZER APPLICATION RATES SHALL NOT EXCEED THE FOLLOWING:
GROUND LIMESTONE: 3 TONS/ACRE (130 LBS./1000 S.F.)
FERTILIZER: 10-10-10 OF EQUIVALENT: 600 LBS./ACRE (14 LBS./1000 S.F.)

FERTILIZER SHALL NOT BE APPLIED BEFORE START OF THE GROWING SEASON NOR AFTER SEPTEMBER 30. FERTILIZED AREAS SHALL BE MULCHED TO REDUCE OFF-SITE TRANSPORT OF NUTRIENTS UNTIL COVER BY VEGETATIVE GROWTH.

TABLE 4-3 SOURCE: MINNICK, E.L. AND H.T. MARSHALL (AUG 1992)

NOTES:
1. WETLAND CANARY GRASS IS ON THE INVASIVE SPECIES WATCH LIST DUE TO ITS RAPID AGGRESSIVE GROWTH AND ITS ABILITY TO MOVE INTO ADJACENT WETLANDS AND OUT-COMPETE OTHER DESIRABLE WETLAND PLANTS. CAUTION SHOULD BE USED WHEN PLANTED NEAR WETLANDS
2. FOR HEAVY USE ATHLETIC FIELDS, CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.
3. THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION RECOMMENDS RED CLOVER TO SUBSTITUTE FOR CROWN VETCH OR BIRDSFOOT TREFLOIL IF THEY ARE GOING TO BE MOWED TO A HEIGHT OF 4 INCHES OR LESS. RED CLOVER (ALSIKE VARIETY) SHOULD BE SEEDED AT A RATE OF

TABLE 4-3 SEED MIXTURES FOR PERMANENT STABILIZATION			
MIXTURE	SPECIES	POUNDS PER ACRE	POUNDS PER 1,000 SF
A	TALL FESCUE	20.00	0.45
	REDFEST	2.00	0.05
	TOTAL	42.00	0.95
B	TALL FESCUE	15.00	0.35
	CROWN VETCH OR	-	-
	FLATPEA	30.00	0.75
TOTAL	45.00 OR 55	0.95 OR 1.35	
C	TALL FESCUE	20.00	0.45
	BIRDSFOOT TREFLOIL	8.00	0.20
	TOTAL	48.00	1.10
D	BIRDSFOOT TREFLOIL	10.00	0.25
	REDFEST	5.00	0.10
	REED CANARYGRASS ¹	15.00	0.35
TOTAL	30.00	0.70	
E	TALL FESCUE	20.00	0.45
	FLATPEA	30.00	0.75
	TOTAL	50.00	1.20
F			

INTENT OF PLAN

THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING AND PROPOSED PARKING SPACES AT 187 ROUTE 108 IN SOMERSWORTH, NH. CURRENTLY, THERE ARE NO PARKING STRIPES IN THE EXISTING PARKING LOTS. IF STRIPED AS SHOWN ON THIS PLAN, THE DANCE STUDIO PROVIDES APPROXIMATELY 15 SPACES WHILE THE AMBULANCE SERVICE PROVIDES APPROXIMATELY 30 SPACES.

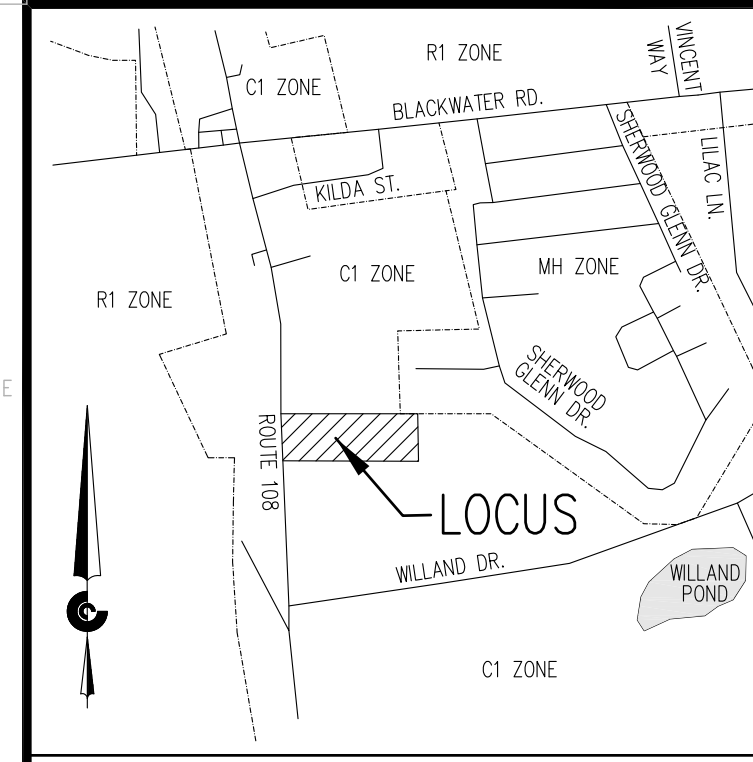
THE NEW CONTRACTOR OFFICE AND STORAGE DEVELOPMENT PROPOSES 100 PARKING SPACES, 2 FOR EACH UNIT. THE INTENT IS TO STRIPE BETWEEN EACH INTERIOR UNIT AS SHOWN ON THIS PLAN SO THAT THE OWNER OF EACH UNIT MAY UTILIZE THEIR PARKING AREA AS THEY REQUIRE. THIS ALSO MEANS THAT THERE IS SUFFICIENT SPACE FOR ADA PARKING WITHOUT REQUIRING SPECIFIC SPACES TO BE DESIGNATED. THIS ALSO ELIMINATES THE REQUIREMENT FOR CERTAIN UNITS TO BE DESIGNATED AS ADA ACCESSIBLE ONLY. THIS LAYOUT PROVIDES THE OPTION FOR ADA ACCESSIBLE PARKING AT ALL UNITS, ALLOWING A GREATER FLEXIBILITY FOR THE OWNER AND TENANTS ALIKE.

PARKING SPACES

THE EXISTING PARKING LOTS DO NOT CONTAIN STRIPED PARKING SPACES. THE LOTS COULD PROVIDE THE FOLLOWING NUMBER OF PARKING SPACES IF STRIPED AS SHOWN ON THIS PLAN:

SOLE CITY DANCE	±21 SPACES
STEWART'S AMBULANCE SERVICE	±30 SPACES
CONTRACTOR OFFICE AND STORAGE	100 SPACES

IF STRIPED, THE TOTAL PARKING COUNT (151 SPACES) REQUIRES 6 ADA SPACES, 6 HAVE BEEN PROVIDED

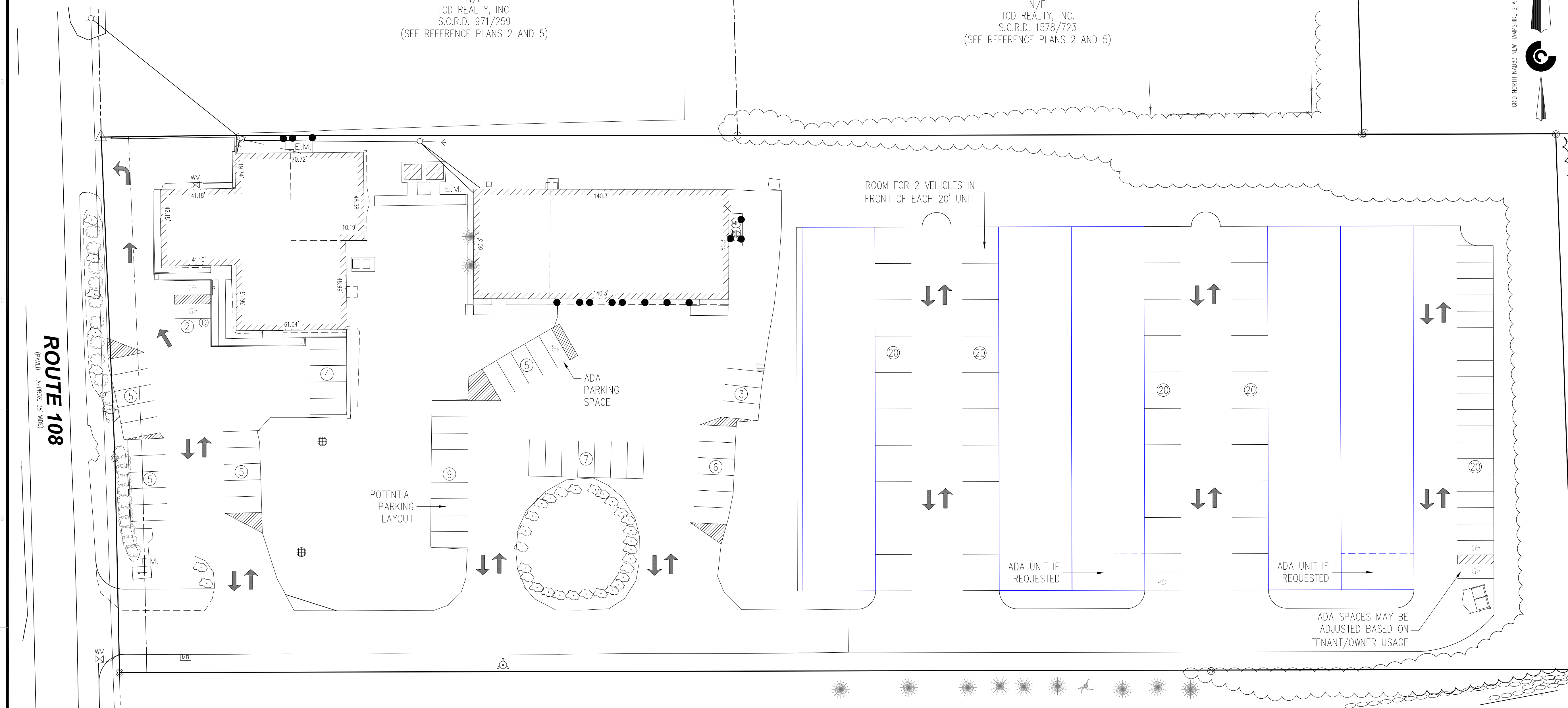


LOCATION PLAN
(NOT TO SCALE)

TAX MAP 44, LOT 26
N/F
TCD REALTY, INC.
S.C.R.D. 971/259
(SEE REFERENCE PLANS 2 AND 5)

TAX MAP 44, LOT 27
N/F
TCD REALTY, INC.
S.C.R.D. 1578/723
(SEE REFERENCE PLANS 2 AND 5)

ROOM FOR 2 VEHICLES IN FRONT OF EACH 20' UNIT



ROUTE 108
(PAVED - APPROX. 35' WIDE)



© CIVIL CONSULTANTS
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NO.	REVISIONS	DATE
3	REVISED PER PLANNING BOARD REVIEW	10/08/21
2	REVISED TO ADDRESS PLANNER COMMENTS	08/16/21
1	REVISED PER PLANNING BOARD REVIEW	07/01/21

RECORD OWNERS:
SOMERSWORTH INDUSTRIAL PARK, LLC
ADDRESS:
4023 DEAN MARTIN DRIVE,
LAS VEGAS, NEVADA 89103

PROPOSED SITE PLAN
187 ROUTE 108 - TAX MAP 44, LOT 28
SOMERSWORTH, STRAFFORD COUNTY
NEW HAMPSHIRE

PREPARED FOR: SOMERSWORTH INDUSTRIAL PARK, LLC
CLIENT ADDRESS: 4023 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

DATE: 06/11/2021
DRAWN BY: DRC
CHECKED BY: GRA
APPROVED BY: GRA

PARKING LAYOUT PLAN

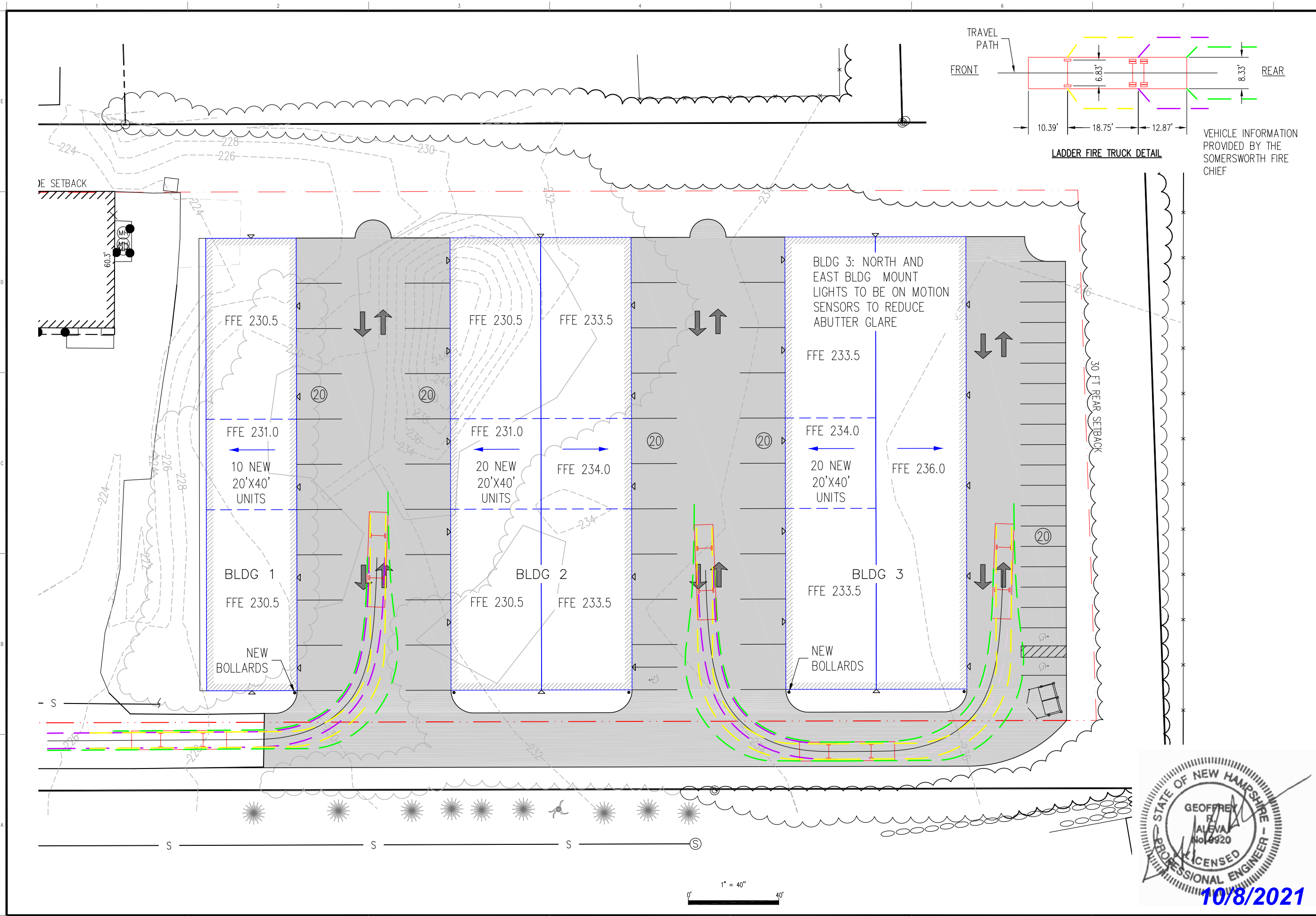
PROJECT NO: 20-203.01

PL

SHEET: 1 OF 1

TAX MAP 63, LOT 28B
N/F
UNITED STATES OF AMERICA
S.C.R.D. 2381/778
(LOT 2 - REFERENCE PLAN 1)

TAX MAP 44, LOT 28



CIVIL CONSULTANTS
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 Engineers
 Planners
 Surveyors
 P.O. Box 100
 South Berwick
 Maine
 03908
 207-384-2550
 www.civcon.com

NO.	REVISIONS	INT.	DATE
3	REVISED PER PLANNING BOARD REVIEW	DRC	10/08/21
2	REVISED TO ADDRESS PLANNER COMMENTS	DRC	08/16/21
1	REVISED PER PLANNING BOARD REVIEW	DRC	07/01/21

RECORD OWNERS:
 SOMERSWORTH INDUSTRIAL
 PARK, LLC
 ADDRESS:
 4023 DEAN MARTIN DRIVE,
 LAS VEGAS, NEVADA 89103

PROPOSED SITE PLAN
187 ROUTE 108 - TAX MAP 44, LOT 28
SOMERSWORTH, STRAFFORD COUNTY
NEW HAMPSHIRE

PREPARED FOR:
 SOMERSWORTH INDUSTRIAL PARK, LLC
 4023 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

CLIENT ADDRESS:

DATE: 06/11/2021
 DRAWN BY: DRC
 CHECKED BY: GRA
 APPROVED BY: GRA

**EMERGENCY
 VEHICLE
 PATH**

PROJECT NO: 20-203.01

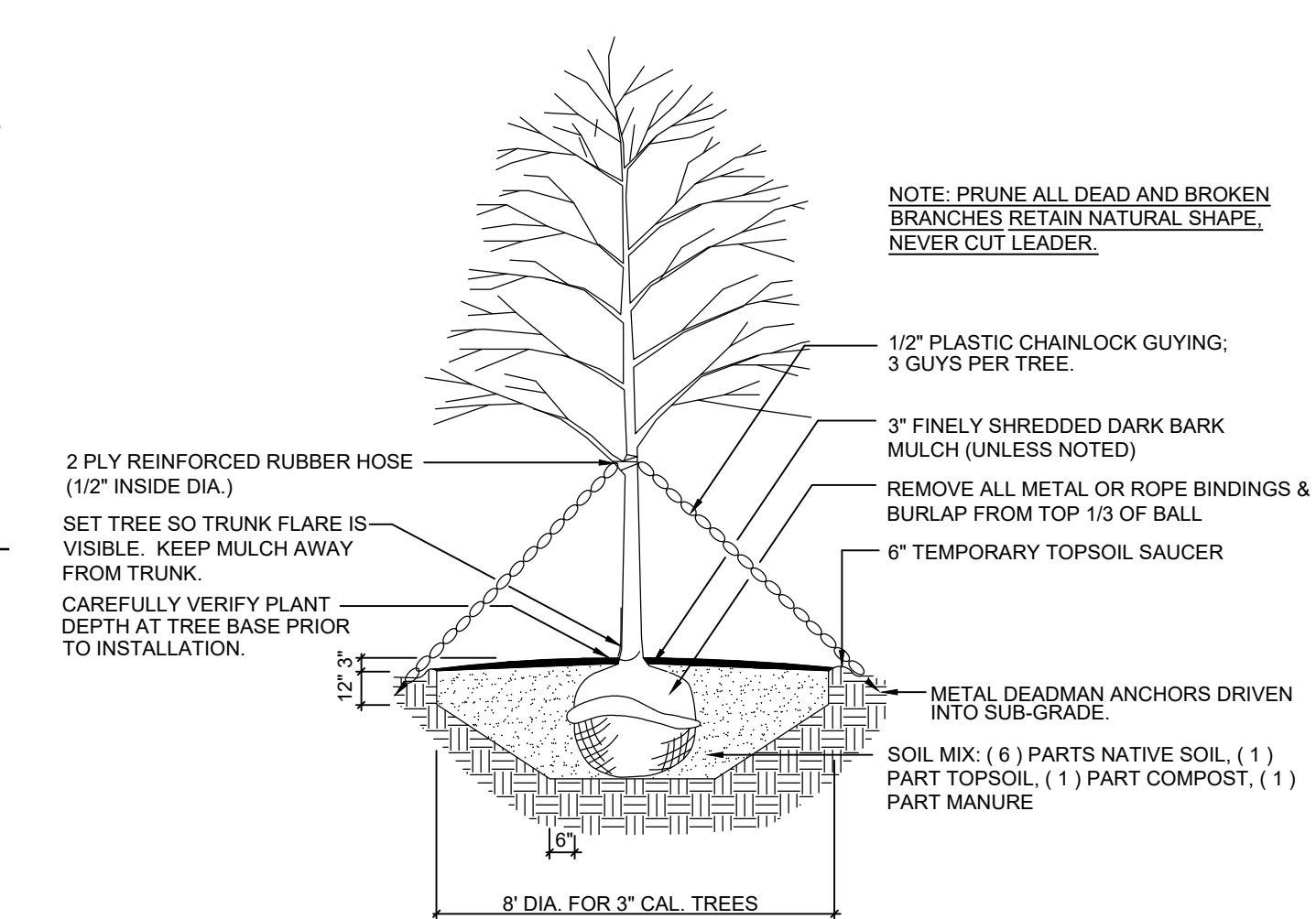
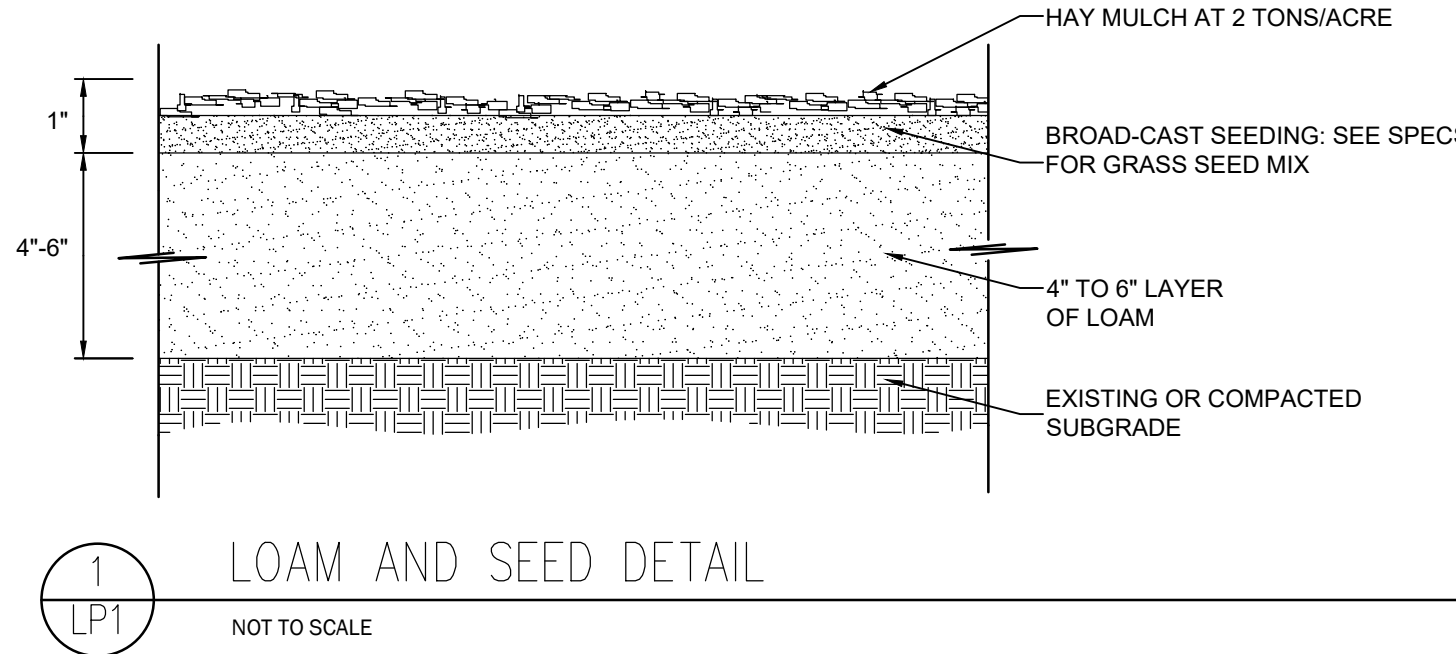
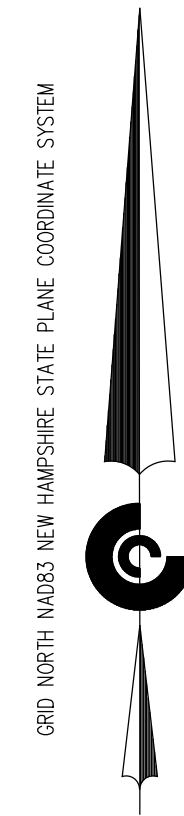
SK1

SHEET: 1 OF 1



PLANTING NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE PLAN.
2. ANY SUBSTITUTION OF SPECIFIED PLANTS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT. ONLY NATIVE SPECIES AND/OR VARIETIES WILL BE ACCEPTABLE.
3. ALL TREE, SHRUB, VINE, AND PLANT BED (GROUNDCOVERS, PERENNIALS, BULBS, ETC.) LOCATIONS SHALL BE STAKED OR MARKED BY CONTRACTOR AND THEN APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO PLANTING. CONTRACTOR MUST GIVE A MINIMUM 3 DAY NOTICE BETWEEN STAKING AND PLANTING.
4. ALL PLANTS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK (LATEST ADDITION) AS SET FORTH BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
5. ALL PLANTS SHALL BE DELIVERED TO THE SITE FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE EXISTENCE OF UNDERGROUND UTILITIES, THE LOCATION OF WHICH SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY EXCAVATION OPERATIONS. SHOULD THE LOCATION OF PROPOSED PLANTINGS CONFLICT WITH ANY OF SAID UTILITIES, ADJUST PLANT LOCATIONS ACCORDINGLY AFTER CONSULTATION WITH THE LANDSCAPE ARCHITECT.
7. MULCH PLANTING BEDS AND TREE PITS WITH 3" FINELY SHREDDED AND AGED PINE BARK MULCH OR AS SPECIFIED ON THE PLAN.
8. ALL DISTURBED LAWN AREAS TO BE LOAMED AND SEEDDED AS NECESSARY AT NO ADDITIONAL COST TO OWNER(S).
9. PLANTING TREES AND SHRUBS: EXCAVATE PLANTING PITS WITH SLOPING SIDES, AND WITH BOTTOM OF EXCAVATION RAISED IN CENTER FOR DRAINAGE. LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION, AND LOOSEN SOIL ON SIDES OF SLOPES. SET PLANTS IN CENTER OF PIT WITH TOP OF BALL RAISED SLIGHTLY ABOVE FINISH GRADES. PLACE A SETTING LAYER OF COMPACTED PLANTING MIX. REMOVE BURLAP AND WIRE BASKETS FROM TOP OF BALLS. ON SIDES, FOLD BACK WIRE AND REMOVE UPPER PORTIONS OF BURLAP. DO NOT USE PLANT IF ROOT BALL IS CRACKED OR BROKEN. IF CONTAINER, REMOVE CONTAINER AND SCOUR PERIMETER SOIL AND ROOTS. PLACE PLANTING MIX AROUND BALL/CONTAINER IN LAYERS, TAMPING TO ELIMINATE VOIDS AND AIR POCKETS. DO NOT COVER TOP OF ROOT BALL. PRUNE, THIN, AND SHAPE AFTER PLANTING.
10. GRADES SHOWN REPRESENT PROPOSED GRADES PER CONTRACT. CONTRACTOR TO VERIFY GRADES AS NEEDED.
11. PLANT MATERIALS SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER PLANTING. ANY DEAD, UNSIGHTLY, OR UNHEALTHY PLANTS SHALL BE REPLACED IN KIND AT NO COST TO THE OWNER(S).
12. THE CONTRACTOR SHALL REPLACE OR REPAIR TO ORIGINAL CONDITION ANY AND ALL UTILITIES, PAVING, CURBING, ETC., DAMAGED AS A RESULT OF THEIR OPERATIONS AT NO ADDITIONAL COST TO THE OWNER(S).
13. A PRE-CONSTRUCTION MEETING SHALL BE HELD PRIOR TO LANDSCAPE CONTRACTOR BEGINNING CONSTRUCTION OR ORDERING PLANT MATERIALS.

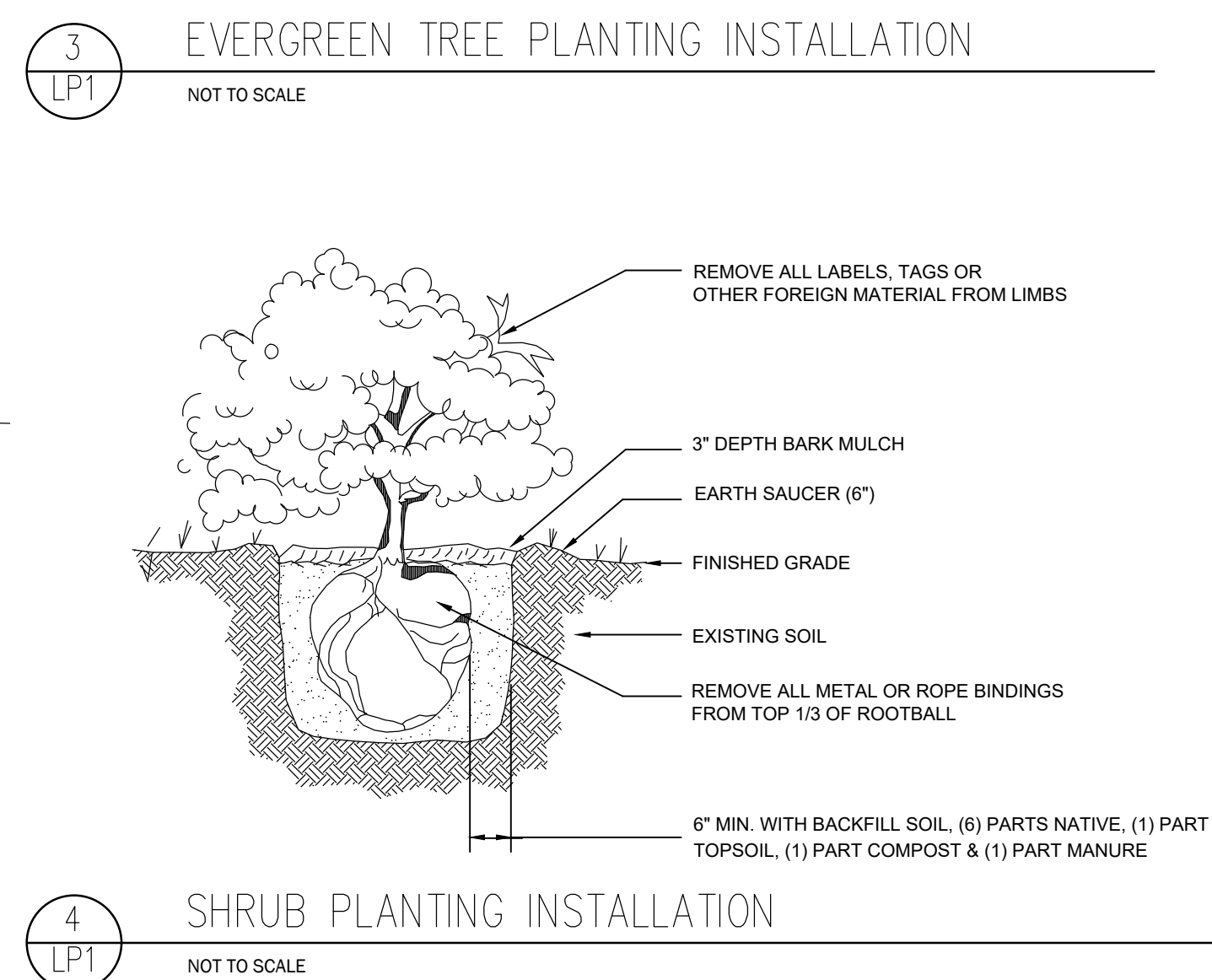
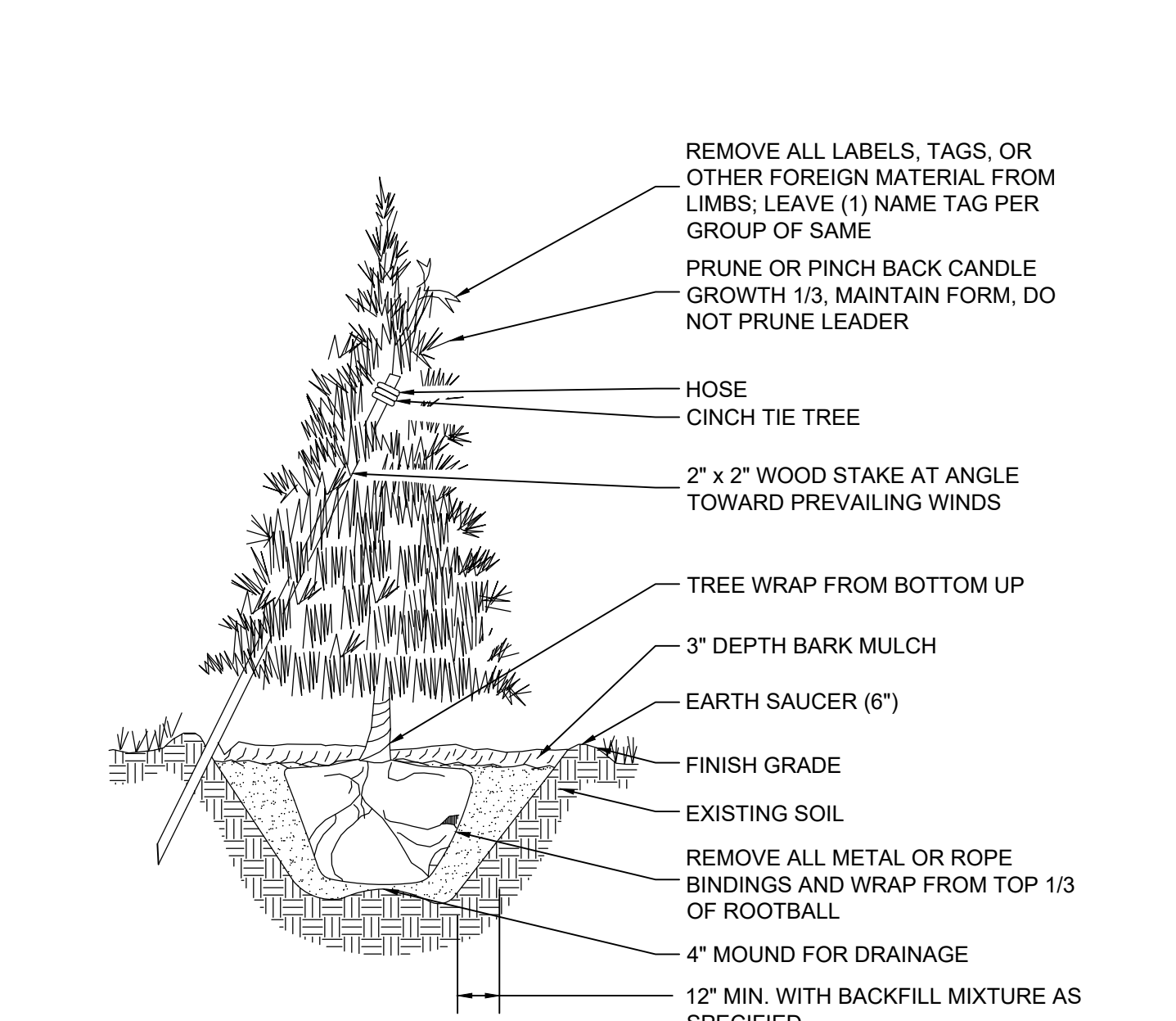


REFERENCE PLANS:

1. "ALTA/NSPS LAND TITLE SURVEY OF LAND OF RICHARD D. AND CLAIR SEDGWICK, TRUSTEES, 187 ROUTE 108, TAX MAP 44, LOT 28, SOMERSWORTH, STRAFFORD COUNTY, NEW HAMPSHIRE" DATED 9/16/2020, PREPARED BY CHRIS MENDE OF CIVIL CONSULTANTS LOCATED AT 293 MAIN STREET IN SOUTH BERWICK, MAINE.

PLANT LIST

QTY	NAME	LATIN	SIZE
7	OCTOBER GLORY RED MAPLE	ACER RUBRUM 'OCTOBER GLORY'	2.5-3" CAL.
6	WHITE PINE	PINUS STROBUS	6-7 FT HT.
5	WHITE SPRUCE	PICEA GLAUCA	6-7 FT HT.
13	BURKWOOD VIBURNUM	VIBURNUM X BURKWOODII	3-3.5 FT HT.
16	RED-OSIER DOGWOOD	CORNUS STOLONIFERA	3-3.5 FT HT.
18	RED SPRITE WINTERBERRY	ILEX VERTICILLATA 'RED SPRITE'	2.5-3 FT HT.
42	HAMELN GRASS	PENNISETUM ALOPECUROIDES 'HAMELN'	3 GAL.



PROGRESS PRINT FOR REVIEW
6/25/2021

Plan prepared by:
SCOTT STRYNAR
LANDSCAPE ARCHITECT, LLC
Landscape Architect
98 Meehan Lane
North Berwick Maine 03906
207-957-4441
www.scottstrynar.com

NO.	REVISIONS	INT.	DATE

RECORD OWNERS:
SOMERSWORTH INDUSTRIAL PARK, LLC
ADDRESS:
4023 DEAN MARTIN DRIVE,
LAS VEGAS, NEVADA 89103

PROPOSED SITE PLAN
187 ROUTE 108 - TAX MAP 44, LOT 28
SOMERSWORTH, STRAFFORD COUNTY
NEW HAMPSHIRE

PREPARED FOR: SOMERSWORTH INDUSTRIAL PARK, LLC
CLIENT ADDRESS: 4023 DEAN MARTIN DRIVE, LAS VEGAS, NV 89103

DATE: 02/22/2021
DRAWN BY: SS
CHECKED BY: SS
APPROVED BY: SS

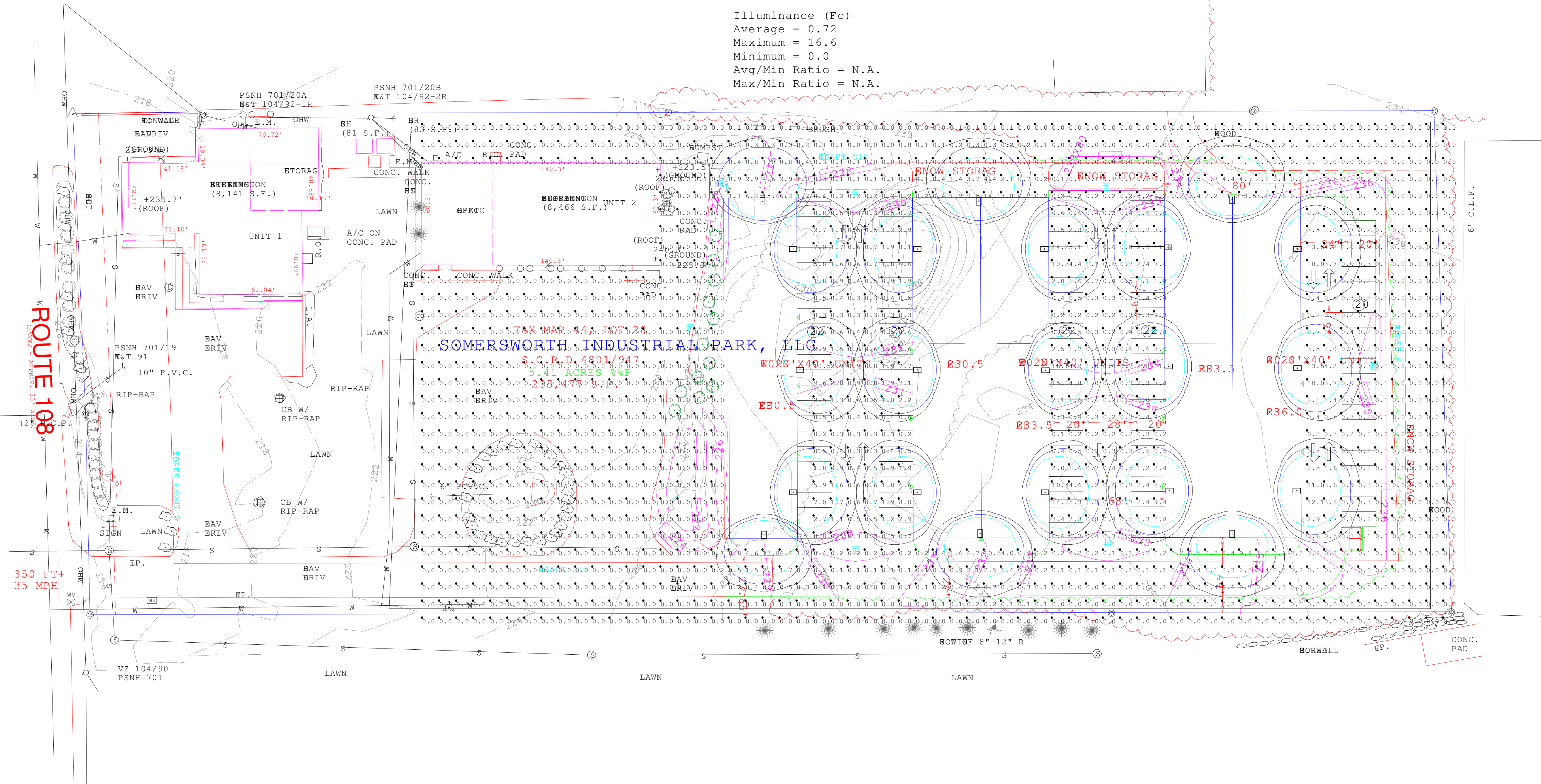
PROPOSED PLANTING PLAN

PROJECT NO: 20-203.01

LP1

SHEET: 1 OF 5

StatArea_2
 Illuminance (Fc)
 Average = 0.72
 Maximum = 16.6
 Minimum = 0.0
 Avg/Min Ratio = N.A.
 Max/Min Ratio = N.A.



Luminaire Schedule			
Symbol	Qty	Label	Description
+	21	WP	AXCS5A MOUNTED 12FT ABOVE GRAD

#	Date	Comments
Revisions		

Drawn By:
 Checked By:
 Date: 4/5/2021
 Scale:

SOMRTHERSWORTH
 Lighting