



# 7TH AVENUE BANYAN

## 3 STORY MIXED-USE BUILDING

LOTS 25,33,43 BLOCK 12

DELRAY BEACH, FL

### Owner:

MDG Banyan Delray Partners, LLC.  
227 West Monroe, Suite 5040  
Chicago, Illinois 60606

### Architect:

LDG I Living Designs Group Florida Architects, Inc.  
1005 Lake Avenue, Lake Worth, FL 33460  
www.ldgfla.com

### Photometric Consultant:

Sesco Lighting  
737 Shotgun Rd, Ft. Lauderdale FL, 33326

### Civil Engineer:

Envirodesign Associates Inc.  
298 Pineapple Grove Way, Delray Beach FL 33444  
www.envdesign.com

### Landscape Architect:

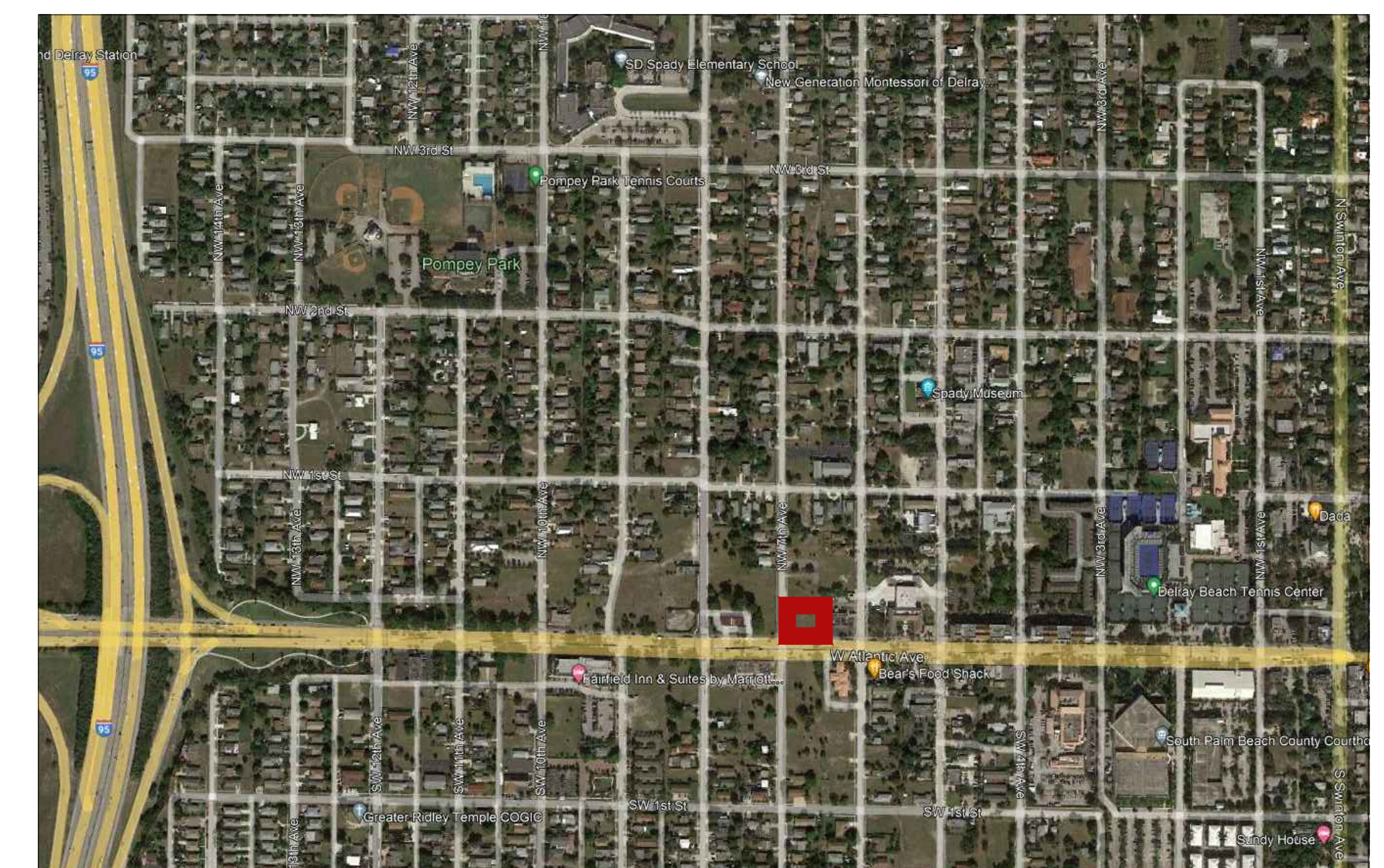
AGT Land Landscape Architecture  
132 N. Swinton Avenue, Delray Beach FL 33444

### Consulting Arborist:

Sutton Consulting Arborist  
Lake Worth, FL 33460  
561-493-3310

## SITE PLAN APPROVAL SET

December 1st, 2021





GENERAL NOTES

1. ALL WORK PERFORMED SHALL COMPLY WITH THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS, INCLUDING THESE GENERAL NOTES. THE CONTRACTOR SHALL COORDINATE THE INTENT OF THE GENERAL NOTES WITH ALL TRADES.
2. SPECIFICATIONS, BOUND SEPARATELY, ARE PART OF THE CONTRACT DOCUMENTS
3. THE MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS. IF CONFLICT IS FOUND BETWEEN DRAWINGS, GENERAL NOTES, AND SPECIFICATIONS, CONSULT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
4. THE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF SUCH WORK. SHOULD THERE BE A DISCREPANCY BETWEEN ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEERS' DRAWINGS THAT WOULD CAUSE AN AWKWARD INSTALLATION, IT SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION BEFORE INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST.
5. DO NOT SCALE DRAWINGS. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, AND CONDITIONS AT THE SITE PRIOR TO COMMENCING WITH THE WORK, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING.
6. ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING THE SAME, OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
7. WHERE A TYPICAL CONDITION IS DETAILED, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS ARE THE SAME UNLESS SPECIFICALLY NOTED OR DETAILED OTHERWISE.
8. DIMENSIONS ARE TYPICALLY TO FACE OF FINISH UNLESS OTHERWISE NOTED.
9. FLOOR ELEVATIONS ARE TYPICALLY TO TOP OF FINISHED FLOOR UNLESS OTHERWISE NOTED.
10. CEILING HEIGHT DIMENSIONS ARE TO FINISHED SURFACES.
11. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE 2020 FLORIDA BUILDING CODE 7TH EDITION.
12. NO MATERIAL OR PRODUCT SUBSTITUTIONS SHALL BE MADE FROM THOSE INDICATED IN THE CONTRACT DOCUMENTS WITHOUT PRIOR REVIEW AND APPROVAL BY THE ARCHITECT.

CODE REQUIREMENTS

**APPLICABLE CODES:**  
BUILDING CODE - FLORIDA BUILDING CODE, BUILDING 2020  
MECHANICAL CODE - FLORIDA BUILDING CODE, MECHANICAL 2020  
PLUMBING CODE - FLORIDA BUILDING CODE, PLUMBING 2020  
ELECTRICAL CODE - NATIONAL ELECTRICAL CODE 2020 / NATIONAL FIRE ALARM CODE 2020  
FIRE CODE - FLORIDA FIRE PREVENTION CODE 7TH EDITION / NFPA 1 UNIFORM FIRE CODE 2021 EDITION  
LIFE SAFETY CODE - NFPA 101 LIFE SAFETY CODE 2021 EDITION  
ACCESSIBILITY CODE - FLORIDA BUILDING CODE - A, BUILDING 2020  
ENERGY CODE - FLORIDA BUILDING CODE, BUILDING 2020

ABBREVIATIONS

ABV	ABOVE	FOS	FACE OF STUD	PLAS	PLASTER
@	AT	FOUND	FOUNDATION	PL	PLATE
ACOUS	ACOUSTICAL	FSP	FIRE STAND PIPE	PLYWD	PLYWOOD
AFF	ABOVE FINISHED FLOOR	FT	FEET	PTD	PAINTED
ALUM	ALUMINUM	GALV	GALVANIZED	REQ'D	REQUIRED
BLDG	BUILDING	GD	GRADE	RL	RAIN LEADER
BLKG	BLOCKING	GR FL	GROUND FLOOR	RM	ROOM
BO	BOTTOM OF	GWB	GYPSUM WALL BOARD	RO	ROUGH OPENING
BOW	BOTTOM OF WALL	GYP	GYPSUM	SC	SOLID CORE
BOWF	BOTTOM OF WINDOW FRAME	HC	HANDICAPPED	SER	SERVICE
CER	CERAMIC	HD	HEADER	SHT	SHEET
CHAN	CHANNEL	HDWD	HARDWOOD	SIM	SIMILAR
CJ	CONTROL JOINT	HOR	HORIZONTAL	SPEC	SPECIFICATION
CL	CENTER LINE	HT	HEIGHT	SS	STAINLESS STEEL
CLOS	CLOSET	INSUL	INSULATION	STOR	STORAGE
CLR	CLEAR	JAN	JANITOR	STL	STEEL
CMU	CONCRETE MASONRY UNIT	JT	JOINT	STRUCT	STRUCTURAL
CO	CENTER OF	KIT	KITCHEN	SQ	SQUARE
COL	COLUMN	LCC	LEAD COATED COPPER	TEL	TELEPHONE
CONC	CONCRETE	LOC	LOCATION	TO	TOP OF
CONT	CONTINUOUS	MACH	MACHINE	TOC	TOP OF COPING
CT	CERAMIC TILE	MAS	MASONRY	TODF	TOP OF DOOR FRAME
DWG	DRAWING	MFR	MANUFACTURER	TOS	TOP OF STEEL
DN	DOWN	MECH	MECHANICAL	TOW	TOP OF WALL
EG	EXTERIOR GRADE	MIN	MINIMUM	TOWF	TOP OF WINDOW FRAME
EL	ELEVATION	MISC	MISCELLANEOUS	TYP	TYPICAL
ELEC	ELECTRICAL	MO	MASONRY OPENING	UNO	UNLESS NOTED OTHERWISE
EMER	EMERGENCY	MTNG	MEETING	VCT	VINYL COMPOSITE TILE
EQ	EQUAL	MTL	METAL	VEND	VENDING
EXP	EXPANSION	NIC	NOT IN CONTRACT	VERT	VERTICAL
EXT	EXTERIOR	NTS	NOT TO SCALE	VIN	VINYL
FD	FLOOR DRAIN	OC	ON CENTER	VNR	VENEER
FE	FIRE EXTINGUISHER	OH	OPPOSITE HAND	W/	WITH
FF	FINISH FLOOR	OPEN'G	OPENING	W/OUT	WITHOUT
FIN	FINISH	OPP	OPPOSITE	WD	WOOD
FL	FLOOR	P LAM	PLASTIC LAMINATE	WNDW	WINDOW

INDEX OF DRAWINGS

SHEET #	DRAWING TITLE
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ARCHITECTURAL	
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A0.21	REGULATING NOTES AND DETAILS
A0.22	SITE PLAN & COMPOSITE PLAN & REG. DETAILS
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A1.20	SECOND FLOOR PLAN
A1.30	THIRD FLOOR PLAN
A1.40	ROOF PLAN
A2.00	BUILDING ELEVATIONS
A2.10	PROPORTIONING ELEVATIONS
A2.20	COLORED ELEVATIONS AND MATERIALS
A3.00	STREETSCAPE SECTIONS AND SIGHT LINES
A3.10	3D VIEWS, VISUAL IMPACT & STREETS ELEV.
CIVIL	
C1	CIVIL SITE IMPROVEMENT PLAN
C2	PAVING & DRAINAGE DETAILS
C3	PAVING & DRAINAGE DETAILS
C4	GENERAL NOTES
C5	WATER & WASTEWATER DETAILS
C6	WATER & WASTEWATER DETAILS
C7	POLLUTION PREVENTION PLAN
CU-1	COMPOSITE UTILITY PLAN
LANDSCAPE	
TR-1	TREE DISPOSITION PLAN
HS-1	HARDSCAPE PLAN
LP-1	LANDSCAPE PLAN
LP-2	SPECIFICATIONS AND DETAILS
IR-1	IRRIGATION PLAN
PHOTOMETRIC CALCULATIONS	
ES-1	SITE LIGHTING PHOTOMETRIC PLAN
ES-2	EMERGENCY PHOTOMETRIC PLAN

SYMBOLS

	WORK POINT / DATUM POINT		INTERIOR ELEVATION DESIGNATION Elevation Identification Sheet where Elevation is drawn
	REVISION Revision Number		PLYWOOD
	SECTION DESIGNATION Section Identification Sheet where Section is drawn		GLASS
	WALL SECTION DESIGNATION Section Identification Sheet where Section is drawn		ACOUSTICAL TILE OR BOARD
	DETAIL DESIGNATION Detail Identification Sheet where Detail is drawn		GYPSUM WALLBOARD
	ROOM DESIGNATION Room Number		INSULATION, BATT
	DOOR SYMBOL Door Number		INSULATION, RIGID
	WINDOW TYPE / LOUVER TYPE		SAND / MORTAR / PLASTER
			CAST-IN-PLACE CONCRETE
			CONCRETE BLOCK
			BRICK
			STONE / MARBLE / GRANITE
			STEEL / METAL
			WOOD, FINISHED
			WOOD, FRAMING (THROUGH MEMBER)
			WOOD, FRAMING (INTERRUPTED MEMBER)

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AR#7991

SITE PLAN  
APPROVAL  
MIXED-USE BUILDING  
NW 7th Ave & Atlantic Ave  
Delray Beach, Florida

GENERAL NOTES &  
DRAWING INDEX

DATE: 12/01/2021  
SCALE: N.T.S.  
DRAWN BY: JSG, DAG  
CHECKED BY: JWS  
REFERENCE: 210205

DRAWING:

A0.01

Shared Parking Calculations Table											
		Weekday						Weekend			
		Night		Day		Evening		Day		Evening	
Use	Required	Midnight to 6 AM		9 AM to 4 PM		6 PM to Midnight		9 AM to 4 PM		6 PM to Midnight	
Residential	0	100%	0	60%	0	90%	0	80%	0	90%	0
Office ( 8,700 sf @ 1/500sf)	17.4	5%	0.87	100%	17.4	10%	1.74	10%	1.74	5%	0.87
Retail (4,350 sf @1/500sf)	8.7	5%	0.435	70%	6.09	90%	7.83	100%	8.7	70%	6.09
Hotel/ Residential Inn	0	80%	0	80%	0	100%	0	80%	0	100%	0
Restaurant (7,500sf @ 6/1000sf)	0	10%	0	50%	0	100%	0	50%	0	100%	0
Entertainment/Recreational (theatres, bowling alleys, etc)	0	10%	0	40%	0	100%	0	80%	0	100%	0
Reserved Parking	0	100%	0	100%	0	100%	0	100%	0	100%	0
Other		100%	0	100%	0	100%	0	100%	0	100%	0
TOTALS	26		1		23		10		10		7
The minimum number of parking spaces is the highest time period total at the bottom of the table.											
23 Total Spaces Required											

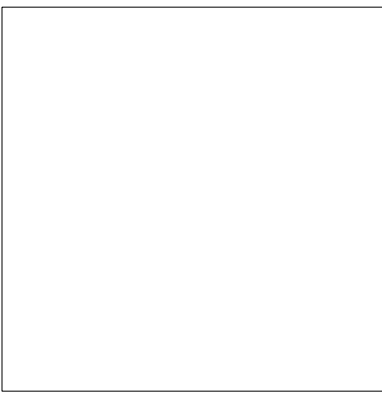
C.B.D. & C.B.D. OVERLAY SITE REGULATIONS				
REQUIREMENT	CODE LIMITATION	EXISTING	PROPOSED	NOTES
ZONING - LOT 25,33,43	N/A	CBD	CBD	
FUTURE LAND USE - LOT 25,33,43	N/A	COMMERCIAL CORE (CC)	COMMERCIAL CORE (CC)	
TOTAL LOT AREA	2,000	18,118	17,568	
TOTAL BUILDING AREA (GROSS)	N/A	N/A	16,490	
COVERED PARKING AREA	N/A	N/A	2,000	
F.A.R. - CBD	3.0	N/A	1.0525	
BUILDING HEIGHT	54'-0"	N/A	38'-0"	
NUMBER OF STORIES	4	N/A	3	
FRONT SETBACK	10'-0" - 15'-0"	N/A	SEE SITE PLAN	
REAR SETBACK	10'-0"	N/A	SEE SITE PLAN	
SIDE SETBACK	0'-0" EAST & 10'-0" - 15'-0" WEST	N/A	VARIES - SEE SITE PLAN	
CIVIC OPEN SPACE	< 20,000 SF = NO REQ.	N/A	N/A	
OFF-STREET LOADING	OFFICE 5,000-20,000 & RETAIL 3,000-10,000 SF = 1 BERT	N/A	1 BERT (12' X 30')	

BUILDING DATA AREAS (S.F.)				
	1ST FLOOR	2ND FLOOR	3RD FLOOR	TOTAL
RETAIL	4,350.0	0.0	0.0	4350.0
RESTAURANT	0.0	0.0	0.0	0.0
OFFICE (NET)	0.0	6,250.0	2,428.0	8678.0
COMMON AREAS **	0.0	2350.0	1112.0	3462.0
TOTAL AREA (GROSS)	4,350.0	8,600.0	3,540.0	16490.0

BICYCLE PARKING CALCULATION - COMMERCIAL USES				
USE	RATE	GROSS AREA (S.F.)	SPACES REQUIRED	SPACES PROVIDED
OFFICE	1 PER 5000 SF	12140	2.428000	
RETAIL	1 PER 2500 SF	4350	1.740000	
RESTAURANT	1 PER 2500 SF	0	0	
TOTAL		16490	4.168000	5 SPACES

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SITE PLAN  
APPROVAL  
MIXED-USE BUILDING  
NW 7th Ave & Atlantic Ave  
Delray Beach, Florida



REVISION:	DATE:

PROJECT DATA &  
CALCULATIONS

DATE: 12/01/2021  
SCALE: N.T.S.  
DRAWN BY: JSG, DAG  
CHECKED BY: JWS  
REFERENCE: 210205

DRAWING:  
  
A0.02





# A0.20



ADVANCED HIGH CEILING  
**Lance 6 - White Up / Down**



10 TYPICAL WALL SCONCE



9 TYPICAL 8FT LIGHT POLE

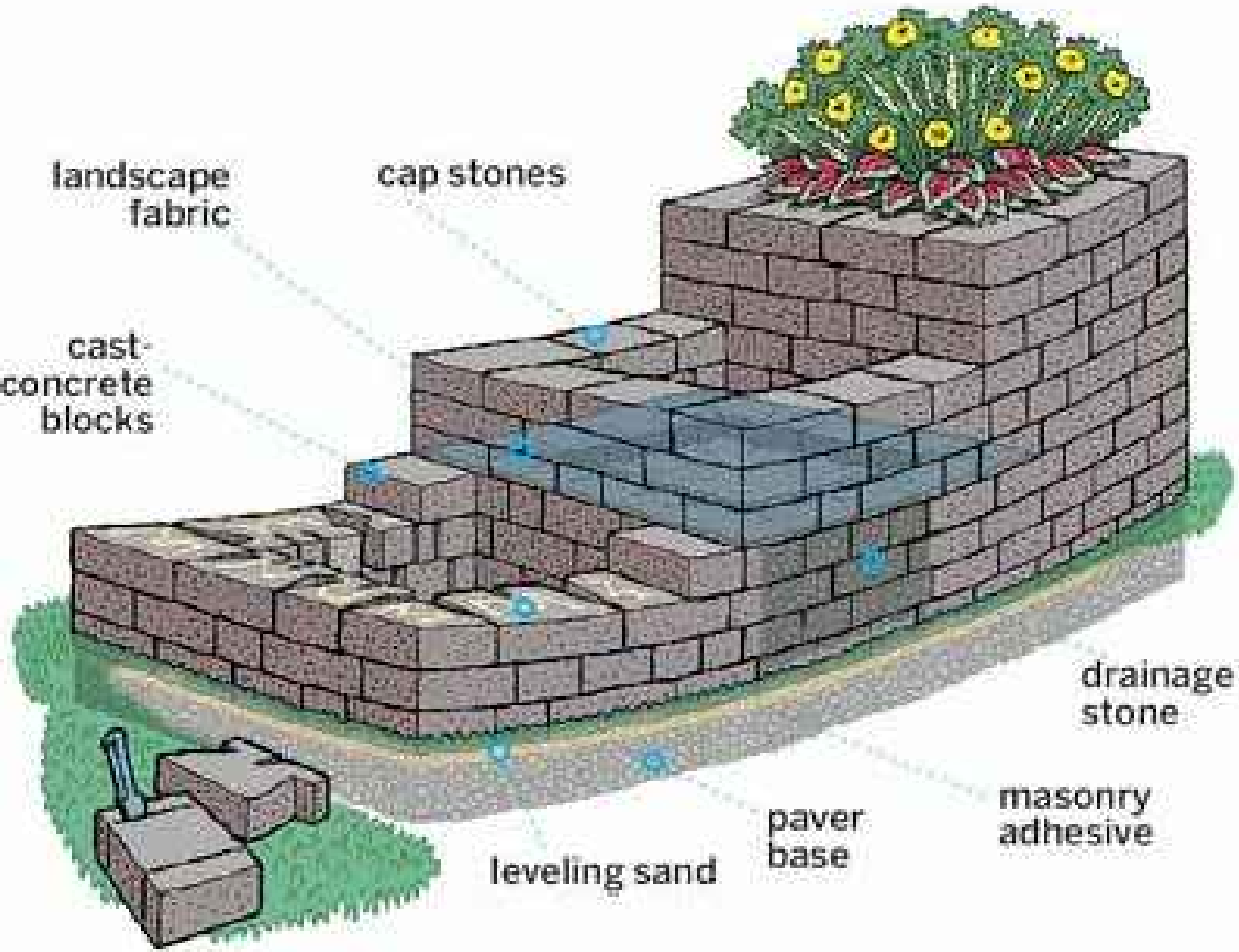
Site & Area

PureForm

P15 small square area light



8 TYPICAL PARKING POLE LIGHT



landscape fabric  
cap stones  
cast-concrete blocks  
drainage stone  
leveling sand  
paver base  
masonry adhesive

7 TYPICAL PLANTER



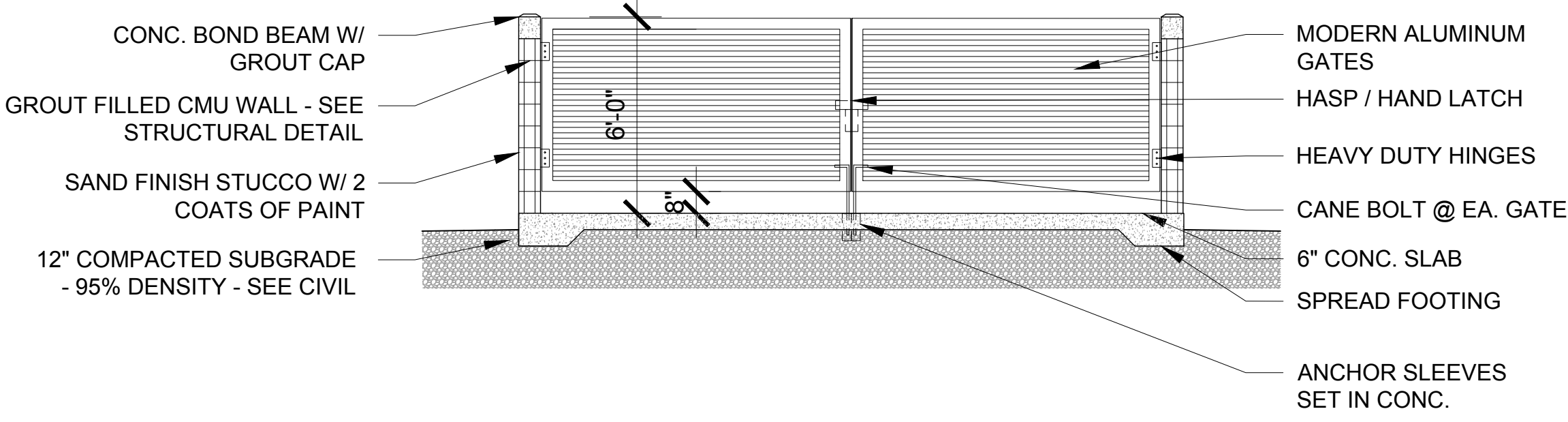
6 TYPICAL BENCH



5 TYPICAL BIKE RACK



7 DUMPSTER ENCLOSURE



CONC. BOND BEAM W/ GROUT CAP  
GROUT FILLED CMU WALL - SEE STRUCTURAL DETAIL  
SAND FINISH STUCCO W/ 2 COATS OF PAINT  
12" COMPACTED SUBGRADE - 95% DENSITY - SEE CIVIL  
MODERN ALUMINUM GATES  
HASP / HAND LATCH  
HEAVY DUTY HINGES  
CANE BOLT @ EA. GATE  
6" CONC. SLAB  
SPREAD FOOTING  
ANCHOR SLEEVES SET IN CONC.

3 DUMPSTER ENCLOSURE DETAIL

REGULATING NOTES

- PER LDR SECTION 4.4.3(F)(10) THE PROJECT WILL COMPLY WITH GREEN BUILDING PRACTICES SUCH AS CROSS-VENTILATION, ENERGY EFFICIENCY, AND GREEN BUILDING DESIGN.
- ALL EMERGENCY GENERATORS PROPOSED ON SITE WILL UTILIZE NATURAL GAS AS A FUEL SOURCE.
- ANTI-SKATE BOARD DEVICES WILL BE INSTALLED ON ALL PLANTERS & KNEEWALLS, TYP. FOR ALL SUBJECT PARCELS.
- ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH A FULLY AUTOMATED SPRINKLER SYSTEM THAT WILL PROVIDE COMPLETE COVERAGE OF ALL PLANT MATERIALS AND GRASS TO BE MAINTAINED. ALL SYSTEMS SHALL BE DESIGNED TO ALLOW HEAD-TO-HEAD COVERAGE (ONE HUNDRED (100) PERCENT WITH ONE HUNDRED (100) PERCENT OVERLAP.

FIRE DEPARTMENT NOTES

- THIS PROJECT WILL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE 5TH EDITION - THE FLORIDA SPECIFIC NFPA 101 FIRE CODE 2021 EDITION AND THE FLORIDA SPECIFIC NFPA 101 LIFE SAFETY CODE 2021 EDITION.
- FIRE PUMPS (IF NEEDED) WILL BE LOCATED ON GROUND LEVEL.
- FIRE ALARM CONTROL PANELS FOR EACH BUILDING WILL BE IN A FIRE SPRINKLER PROTECTED ROOM WHICH WILL BE ACCESSIBLE TO THE FIRE DEPARTMENT AT GRADE LEVEL, WHERE CONDITIONS MEET NFPA 72 NATIONAL FIRE ALARM CODE 2021 EDITION.
- ALL FIREFIGHTING ACCESS POINTS TO BE LABELED AND PLACED ON THE REGULATING PLAN.
- A KEY BOX WILL BE LOCATED ON AN OUTSIDE LOCATION TO THE MAIN LOBBY ENTRY AREAS THAT LEAD TO THE ELEVATOR CORE. A NOTE TO THIS EFFECT WILL BE PLACED ON THE SITE PLAN.
- LIFE SAFETY PLANS WILL BE PROVIDED FOR ALL BUILDINGS IN THE ENGINEERED BUILDING PERMIT DRAWINGS. A NOTE TO THIS EFFECT WILL BE PLACED ON SITE PLAN.

BUILDING AREA AND USES

1ST FLOOR: 4,350 SF  
RETAIL: 4,350 SF GROSS

2ND FLOOR: 8,600 SF  
OFFICE NET: 6,565 SF

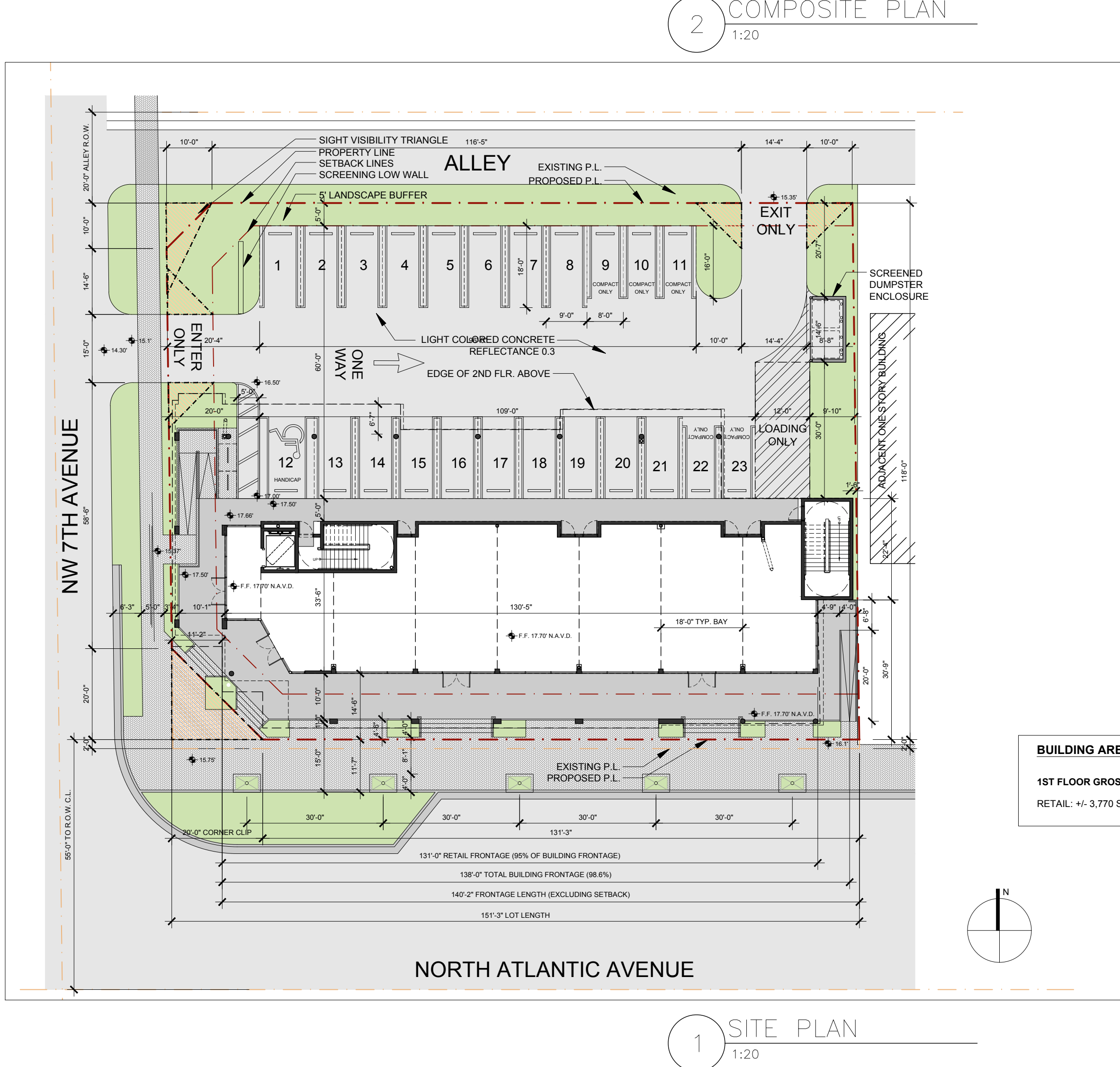
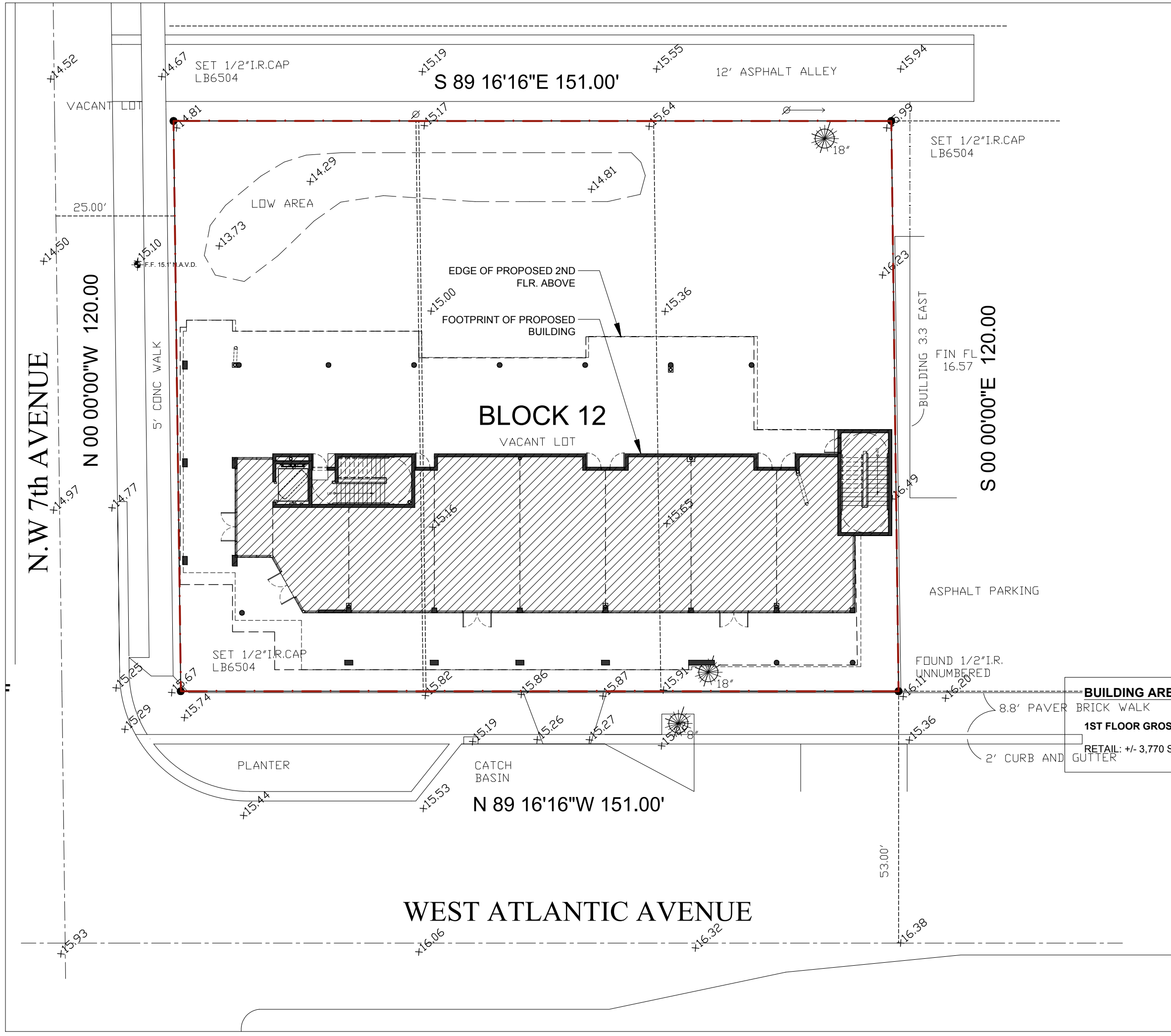
3RD FLOOR: 3,286 SF  
OFFICE: 2,135 SF

TOTAL BUILDING AREA: 16,236 SF

GENERAL NOTES:

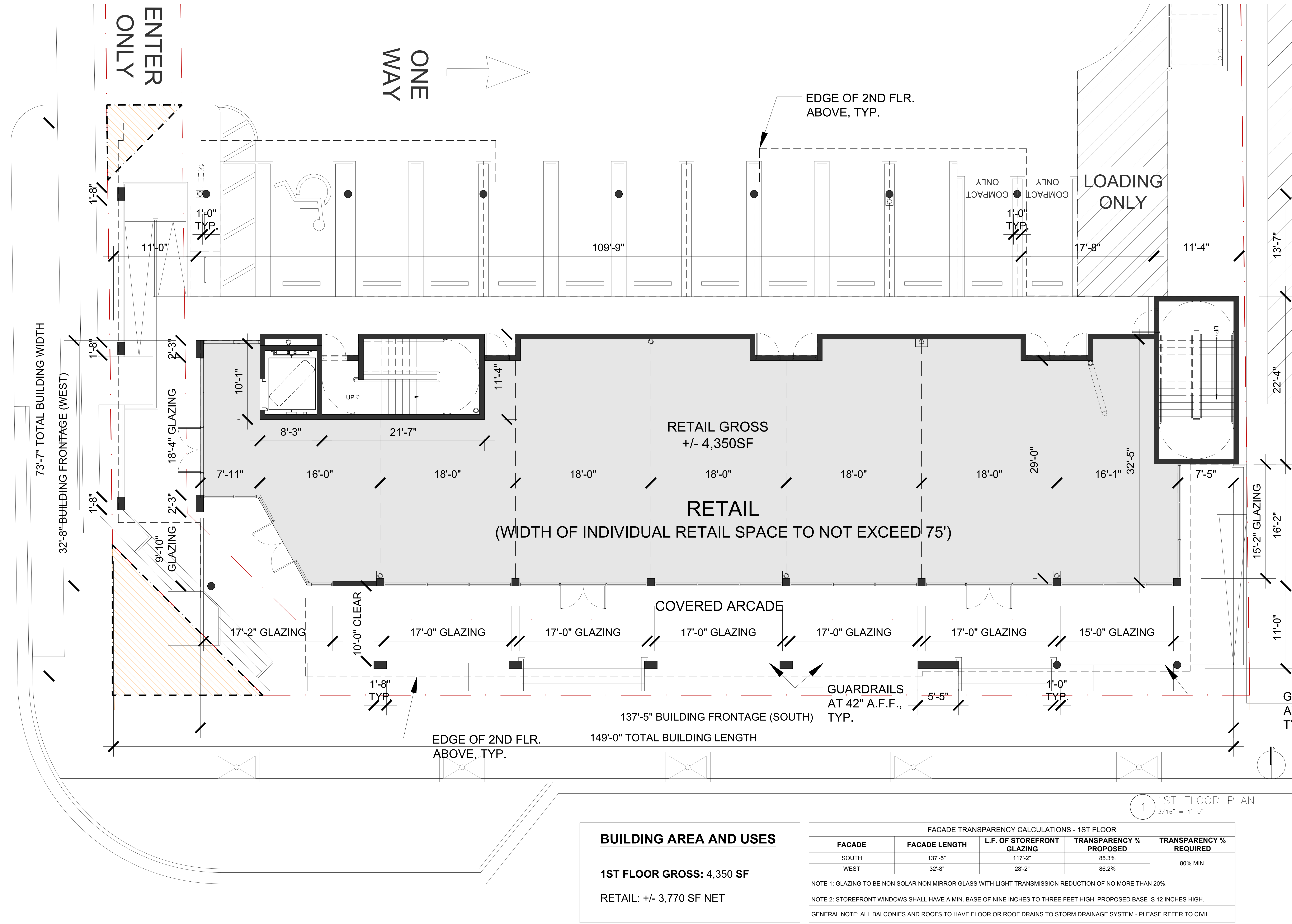
1. REFER TO THE ELEVATIONS ON SHEETS A2.0 & A2.2 FOR THE AWNINGS, DOORS, WINDOWS, AND WALLS.

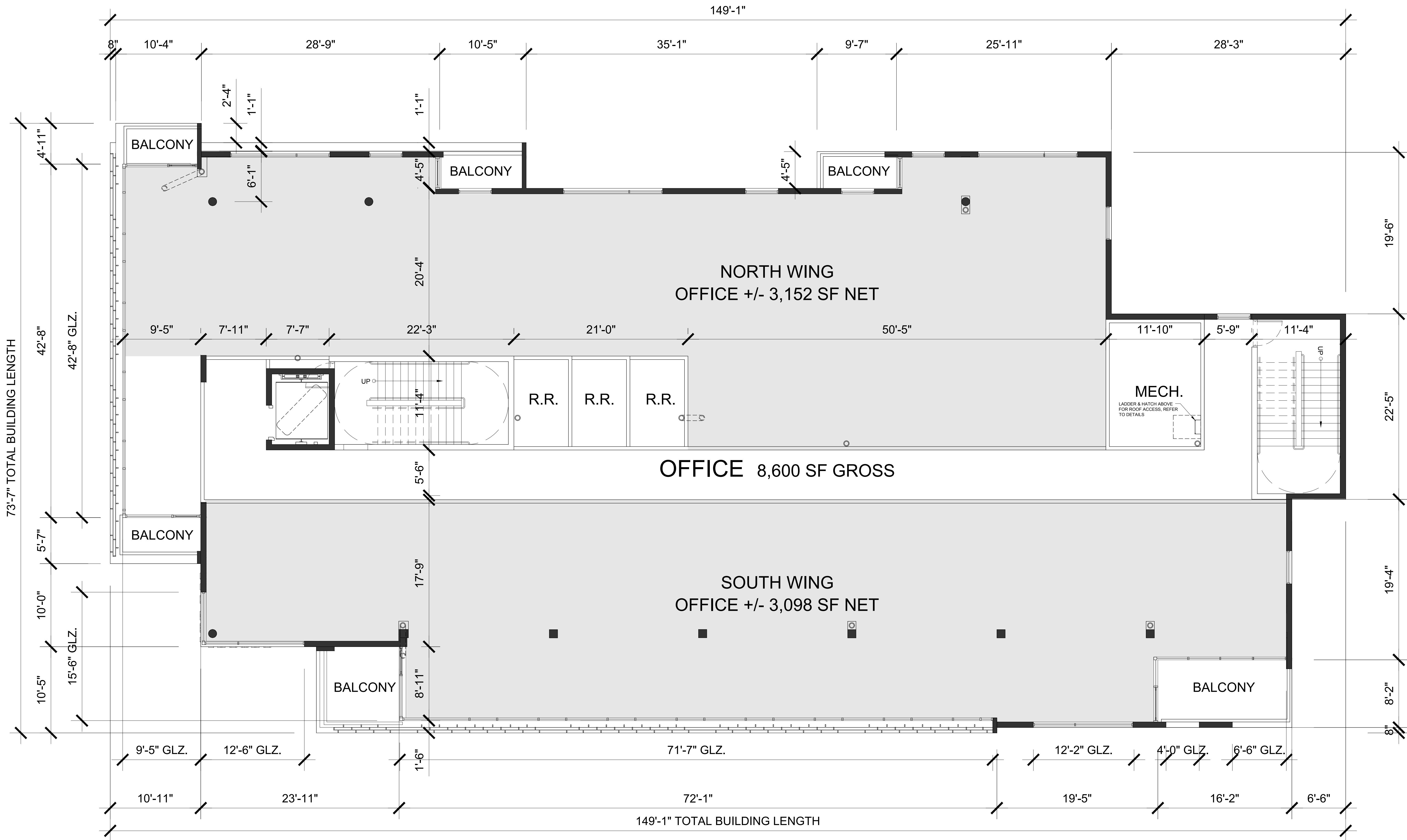
2. REFER TO ROOF PLAN ON SHEET A1.3 FOR THE FLAT ROOF.



REVISION:	DATE:







**BUILDING AREA AND USES**

**2ND FLOOR TOTAL: 8,600 SF**  
**OFFICE: +/- 6,250 SF**

FACADE TRANSPARENCY CALCULATIONS - 2ND FLOOR								
FACADE	FACADE LENGTH	FLR - FLR HT.	TOTAL FACADE AREA	L.F. OF GLAZING	H.T. OF GLAZING	TOTAL GLAZING AREA	TRANSPARENCY % PROPOSED	TRANSPARENCY % REQUIRED
SOUTH	149'-1"	12'-0"	1,789 SF	116'-2"	8'-0"	945.3 SF	52.8%	20-75%
WEST	73'-7"	12'-0"	883 SF	58'-2"	8'-0"	465.3 SF	52.7%	
NOTE 1: GLAZING TO BE NON SOLAR NON MIRROR GLASS WITH LIGHT TRANSMISSION REDUCTION OF NO MORE THAN 20%								
NOTE 2: ALL WINDOWS ON THIS FLOOR ARE 8'-0" TALL, ALL DOORS ARE 8'-0" TALL. TOP OF WINDOWS ALIGN WITH TOP OF DOORS.								
GENERAL NOTE: ALL BALCONIES AND ROOFS TO HAVE FLOOR OR ROOF DRAINS TO STORM DRAINAGE SYSTEM - SEE CIVIL								

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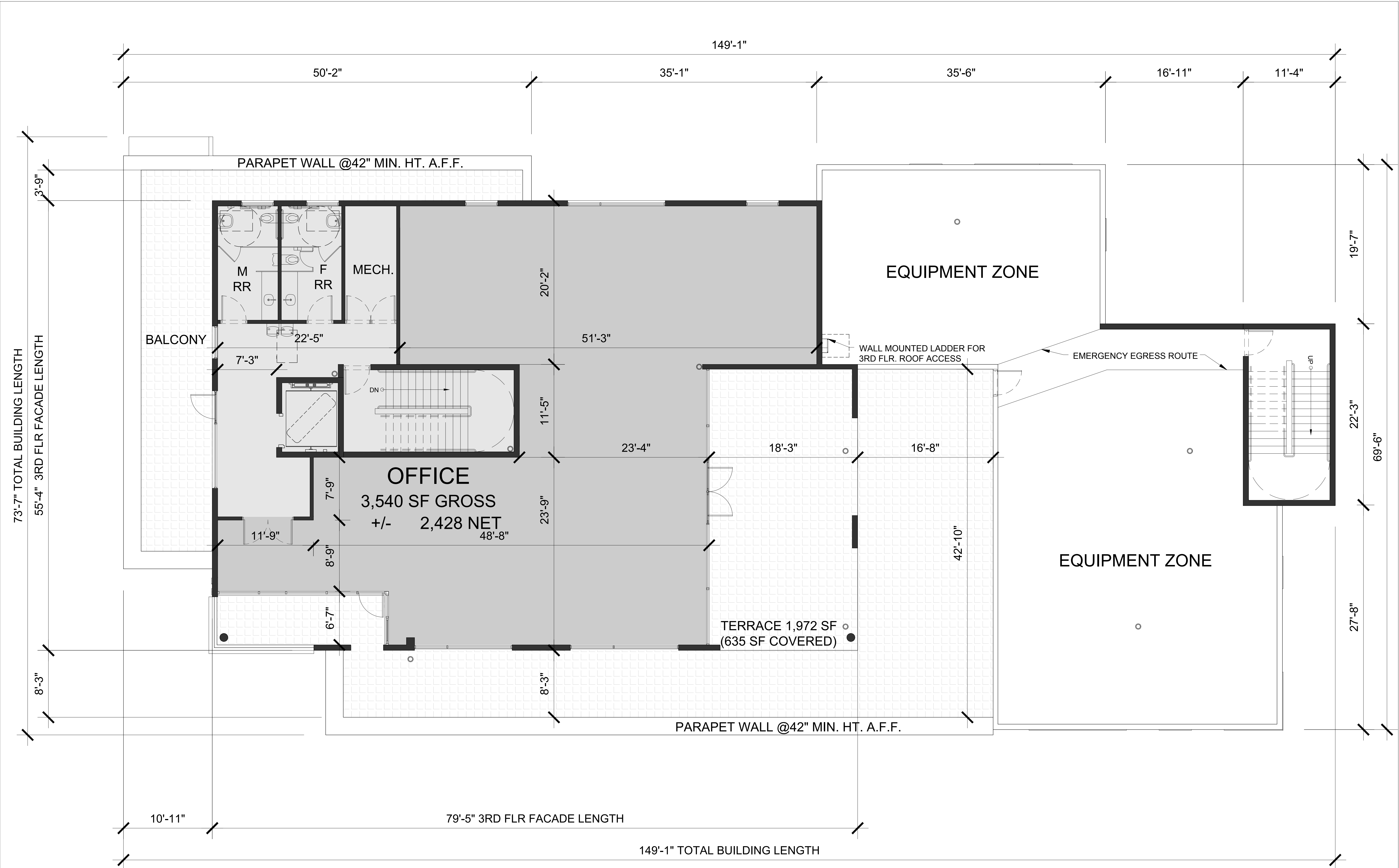
**SITE PLAN  
APPROVAL**  
**MIXED-USE BUILDING**  
NW 7th Ave & Atlantic Ave  
Delray Beach, Florida

REVISION:	DATE:

**SECOND FLOOR  
PLAN**

DATE: 12/01/2021  
SCALE: AS NOTED  
DRAWN BY: JSG, DAG  
CHECKED BY: JWS  
REFERENCE: 210205

DRAWING:  
**A1.2**



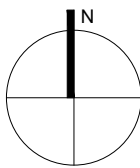
**BUILDING AREA AND USES**

**3RD FLOOR TOTAL: 3,540 SF**

**OFFICE: +/- 2,428 SF**

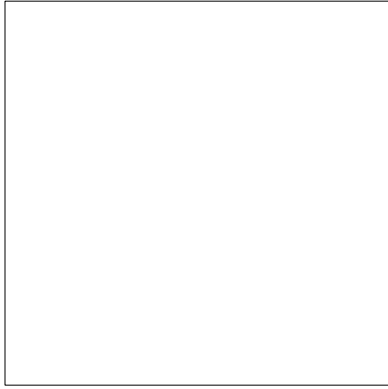
FACADE TRANSPARENCY CALCULATIONS - 3RD FLOOR								
FACADE	FACADE LENGTH	FLR - FLR HT.	TOTAL FACADE AREA	L.F. OF GLAZING	H.T. OF GLAZING	TOTAL GLAZING AREA	TRANSPARENCY % PROPOSED	TRANSPARENCY % REQUIRED
SOUTH	61'-6"	12'-0"	738 SF	40'-8"	8'-0"	488 SF	66.1%	20-75%
WEST	65'-9"	12'-0"	789 SF	26'-0"	8'-0"	208 SF	26.4%	
NOTE 1: GLAZING TO BE NON-SOLAR NON MIRROR GLASS WITH LIGHT TRANSMISSION REDUCTION OF NO MORE THAN 20%								
NOTE 2: ALL WINDOWS ON THIS FLOOR ARE 8'-0" TALL, ALL DOORS ARE 8'-0" TALL. TOP OF WINDOWS ALIGN WITH TOP OF DOORS.								
GENERAL NOTE: ALL BALCONIES AND ROOFS TO HAVE FLOOR OR ROOF DRAINS TO STORM DRAINAGE SYSTEM - SEE CIVIL								

1 3RD FLOOR PLAN  
3/16" = 1'-0"



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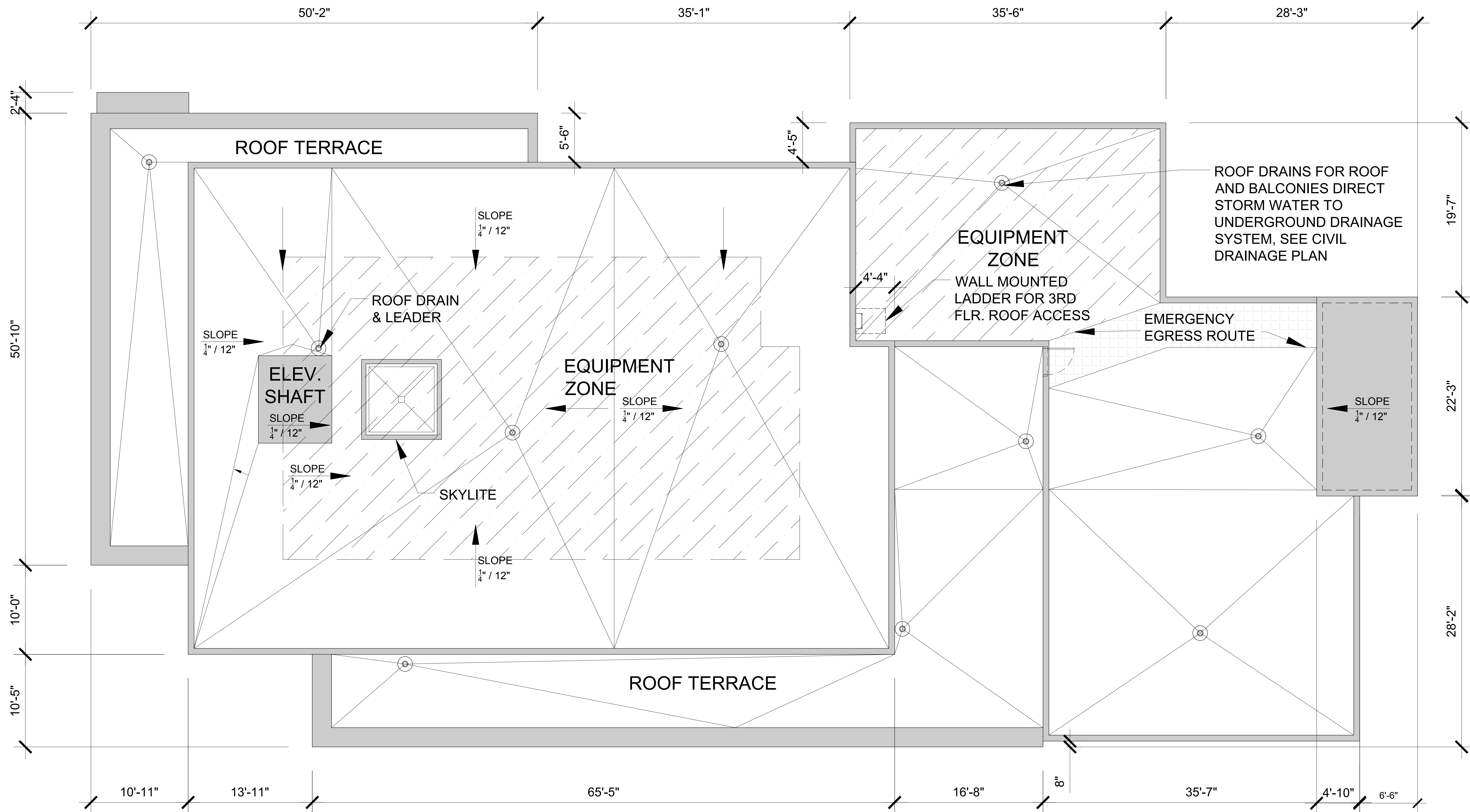
REVISION:	DATE:

**THIRD FLOOR PLAN**

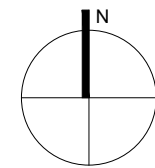
DATE: 12/01/2021  
SCALE: AS NOTED  
DRAWN BY: JSG, DAG  
CHECKED BY: JWS  
REFERENCE: 210205

DRAWING:  
**A1.3**





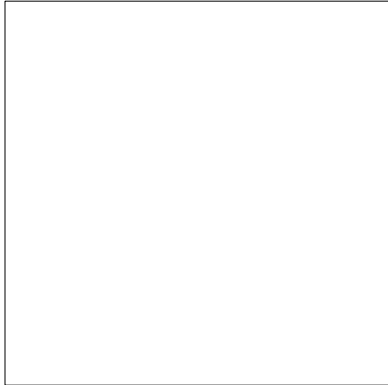
ENERGY STAR ROOF-COMPLIANT, HIGH-REFLECTANCE AND HIGH EMISSIVITY ROOFING (INITIAL REFLECTANCE OF AT LEAST 0.65 AND THREE-YEAR-AGED REFLECTANCE OF AT LEAST 0.5 WHEN TESTED IN ACCORDANCE WITH ASTM E903 AND EMISSIVITY OF AT LEAST 0.9 WHEN TESTED IN ACCORDANCE WITH ASTM 4080 FOR A MINIMUM OF 75 PERCENT OF THE ROOF SURFACE; OR INSTALL A "GREEN" (VEGETATED) ROOF FOR AT LEAST 50 PERCENT OF THE ROOF AREA



1 ROOF PLAN  
3/16" = 1'-0"

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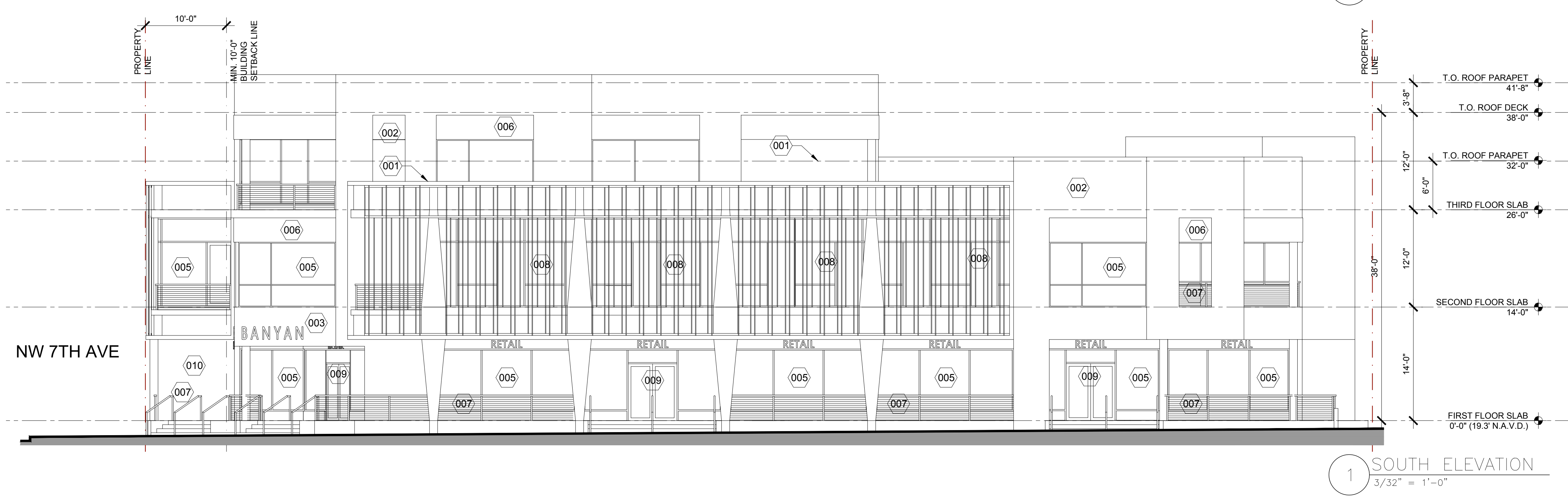
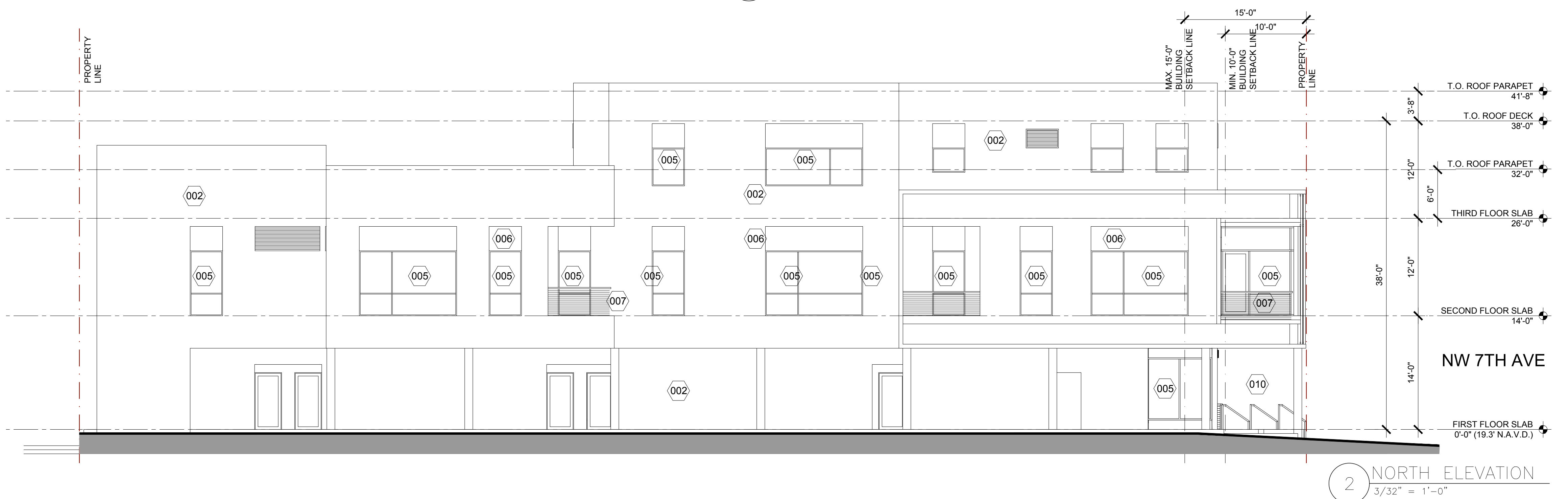
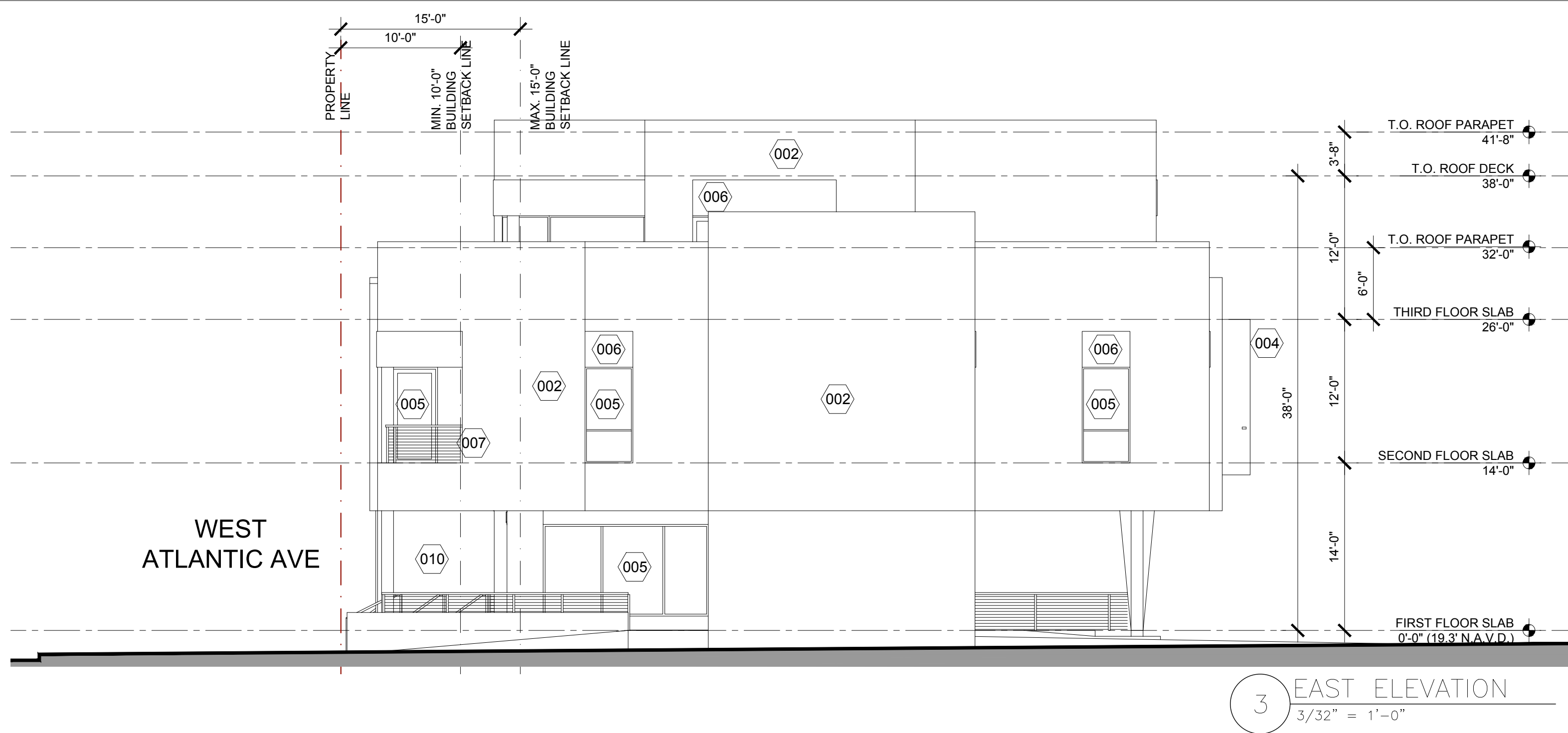
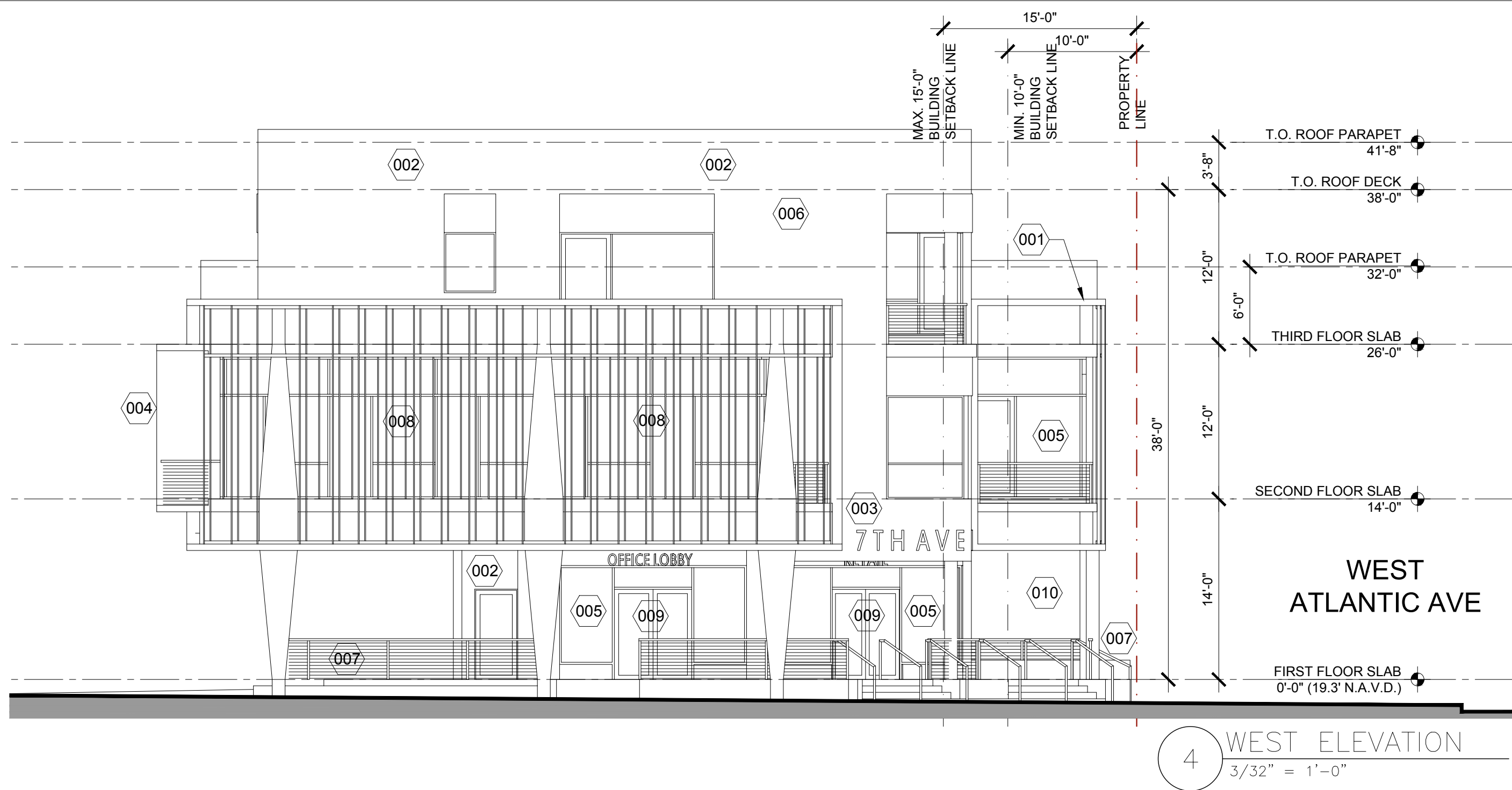
REVISION:	DATE:

ROOF PLAN

DATE: 12/01/2021  
SCALE: AS NOTED  
DRAWN BY: JSG, DAG  
CHECKED BY: JWS  
REFERENCE: 210205

DRAWING:  
A1.4





EXTERIOR WINDOW & DOOR SCHEDULE					
MARK	MASONRY OPENING 12	TYPE	NOA #	COLOR	GLAZING
005	VARIES W X 80'-88H	FIXED WINDOW	FL30805	WHITE	IMPACT LOW-E
008	VARIES W X 96H	STOREFRONT	FL30885	WHITE	IMPACT LOW-E
009	36"W X 96"H	EXTERIOR DOOR	FL3805	WHITE	IMPACT LOW-E
NOTES					
NOTE 1: GLAZING TO BE NON SOLAR NON MIRROR GLASS WITH LIGHT TRANSMISSION REDUCTION OF NO MORE THAN 20%.					
NOTE 3: STOREFRONT WINDOWS SHALL HAVE A MIN. BASE OF NINE INCHES TO THREE FEET HIGH. PROPOSED BASE IS 12 INCHES HIGH.					
NOTE 4: ALL STOREFRONTS AT GROUND FLOOR SHOULD HAVE A 9" MIN. SILL HT.					
NOTE 5: ALL WINDOWS SHALL BE HURRICANE IMPACT, PROVIDE METRO DADE APPROVAL					
NOTE 6: ALL MASONRY OPENINGS TO BE VERIFIED WITH THE MANUFACTURER SPECIFICATIONS					

MATERIAL SPECIFICATIONS			
MARK	DESCRIPTION	MARK	DESCRIPTION
001	ROOFTOP TERRACE WITH EXTENDED PARAPET WALL	006	STONE / TILE LINTELS
002	SMOOTH STUCCO FINISH	007	STL. CABLE GUARDRAILS AND MTL. RAILINGS
003	ENTRANCE SIGNAGE WITH MODERN FONT TYPE	008	MTL. FINS SCREEN SYSTEM
004	CANTILEVERED MASONRY BALCONY	009	EXTERIOR DOORS WITH GLASS
005	WINDOWS & STOREFRONT (WHITE FRAMES)	010	COVERED ARCADE

COLOR / PAINT SPECIFICATIONS (SHERWIN - WILLIAMS)		
MARK	DESCRIPTION	TYPICAL LOCATIONS
001	WHITE	MAIN STUCCO FACADE
002	LIGHT GRAY	CONCRETE FACADE
003	DARK GRAY	TRIM & ACCENTS
004	DEEP BURGANDY	METAL FINS & WINDOW LINTELS

- GENERAL NOTES
- EXTERIOR BUILDING ELEVATIONS FOR GRAPHIC REPRESENTATION ONLY, REFER TO FLOOR PLANS AND STREET SCAPE SECTIONS.
  - SMOOTH PAINTED STUCCO ON ALL EXTERIOR WALLS, CANOPIES, SOFFITS, AND PARAPETS.
  - ALL CORNICES & MOLDINGS IN 'CBD' DISTRICT TO HAVE A MINIMUM 2" PROJECTION FROM THE FACE OF A WALL SURFACE ATTACHED TO.
  - ALL RAILINGS TO BE POWDER COATED ALUMINUM. ALL RAILINGS TO BE CONSTRUCTED SO THAT 4" SPHERE SHALL NOT PASS.
  - ALL WINDOWS AND DOORS TO BE IMPACT RATED. ALL FRAMES TO BE WHITE. SAMPLES TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.

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SITE PLAN  
APPROVAL  
MIXED-USE BUILDING  
NW 7th Ave & Atlantic Ave  
Delray Beach, Florida



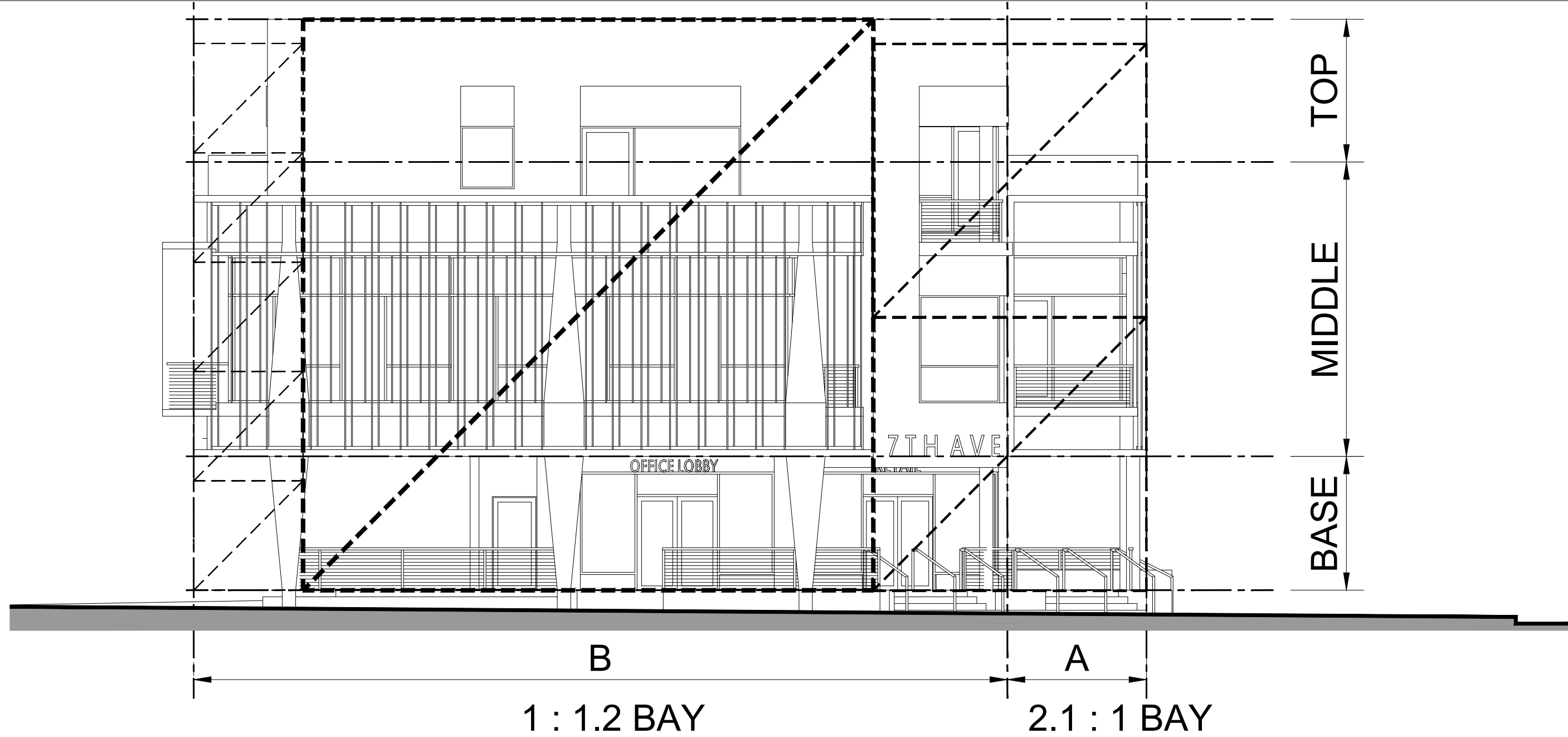
REVISION:	DATE:

ARCHITECTURAL  
BUILDING  
ELEVATIONS

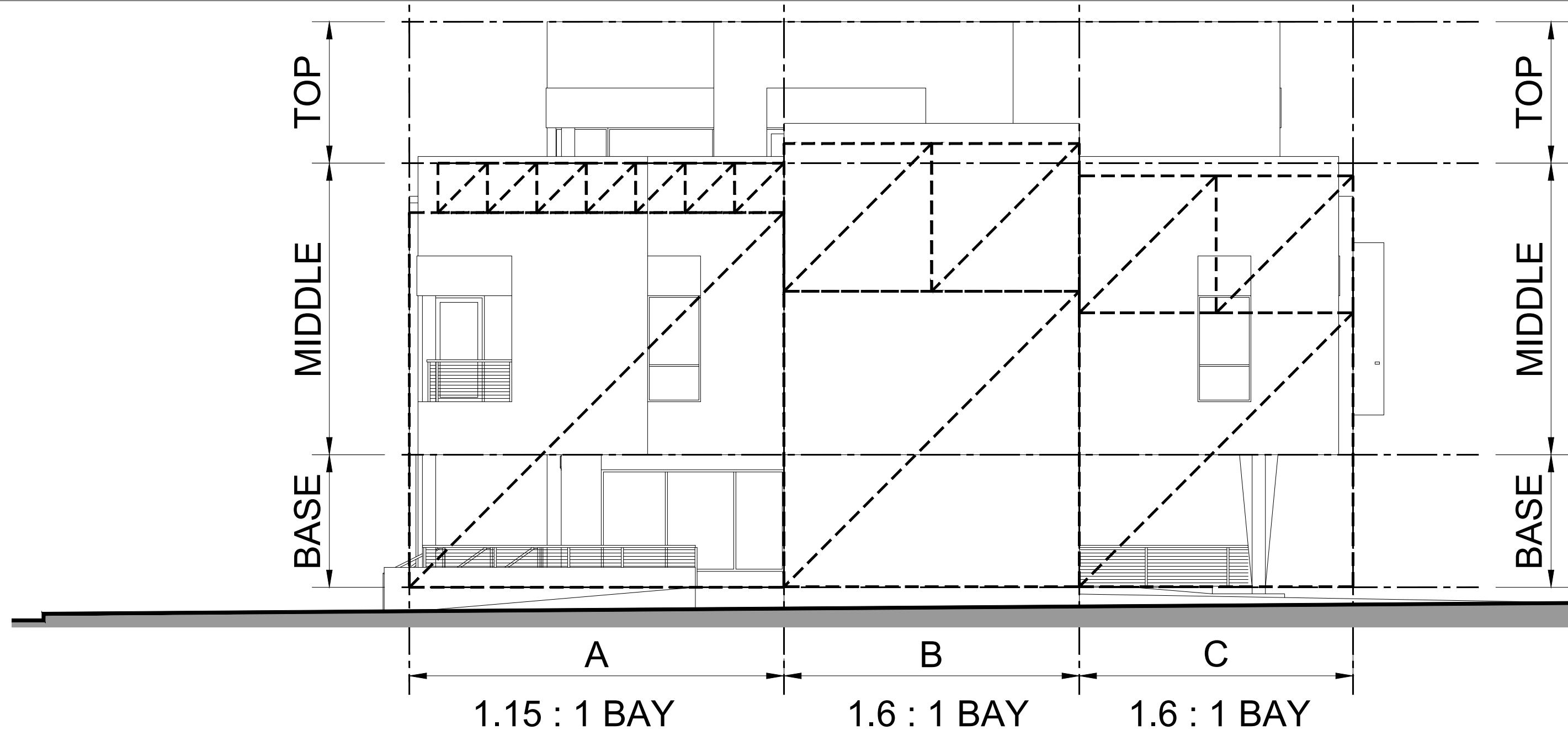
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CHECKED BY: JWS  
REFERENCE: 210205

DRAWING:  
A2.00

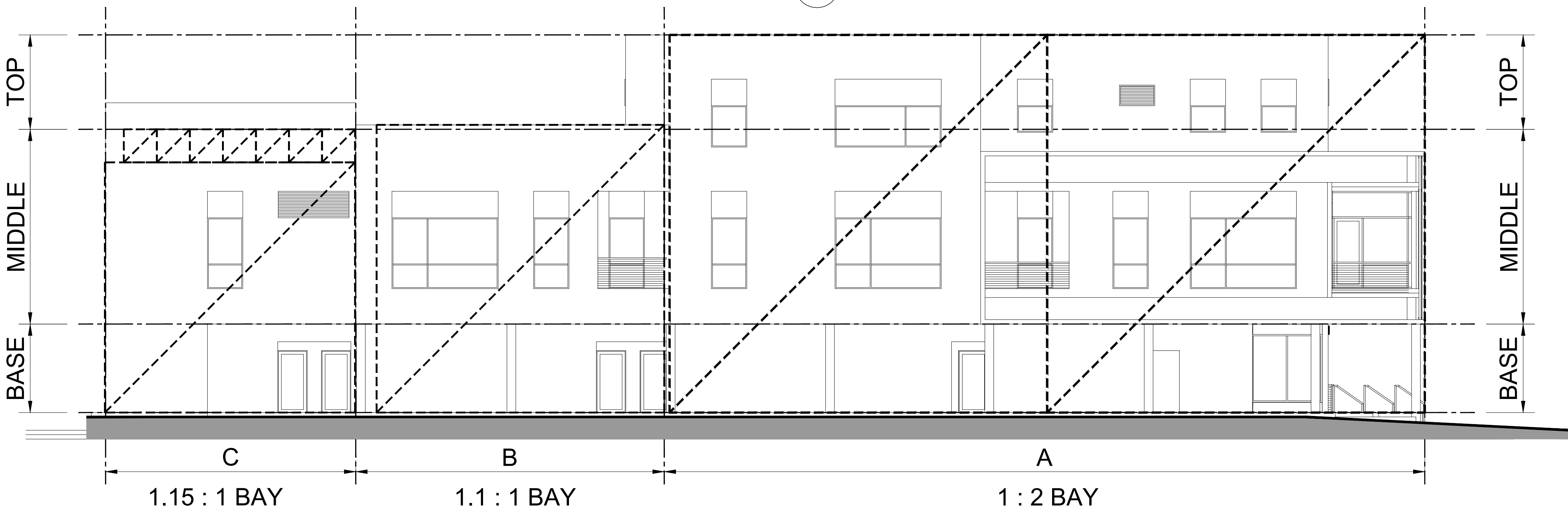




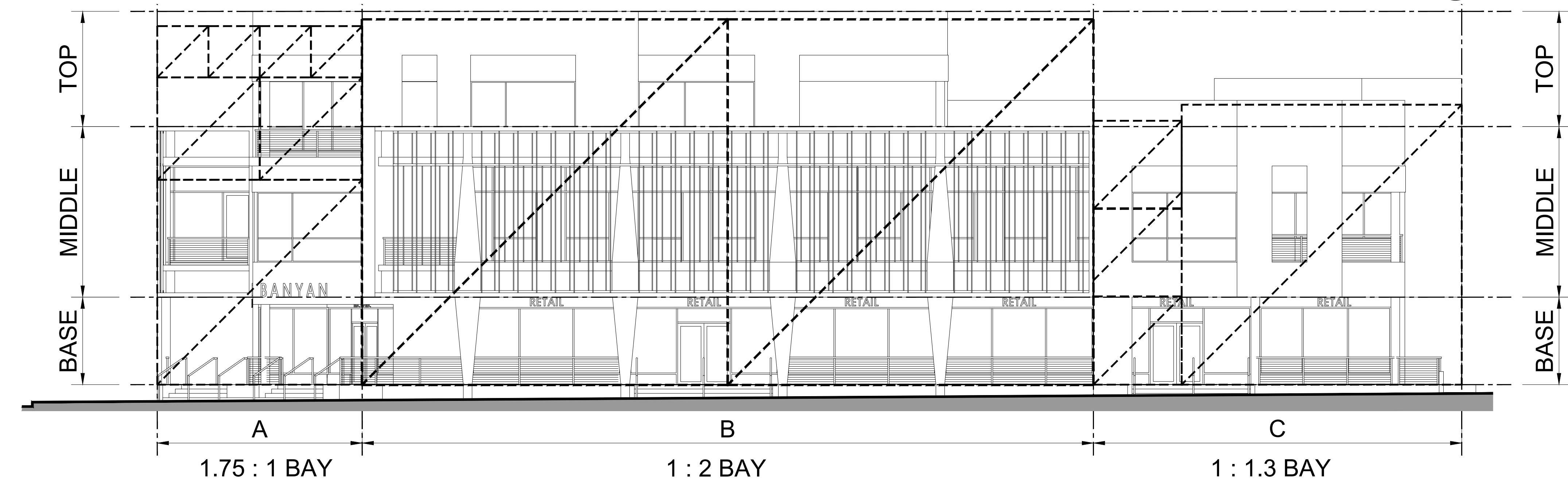
4 WEST ELEVATION  
3/32" = 1'-0"



3 EAST ELEVATION  
3/32" = 1'-0"



2 NORTH ELEVATION  
3/32" = 1'-0"



1 SOUTH ELEVATION  
3/32" = 1'-0"

EXTERIOR WINDOW & DOOR SCHEDULE					
MARK	MASONRY OPENING 12	TYPE	NOA #	COLOR	GLAZING
005	VARIES W X 80' 98H	FIXED WINDOW	FL30805	WHITE	IMPACT LOW-E
008	VARIES W X 96H	STOREFRONT	FL30805	WHITE	IMPACT LOW-E
009	36"W X 96"H	EXTERIOR DOOR	FL3805	WHITE	IMPACT LOW-E
NOTES					
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MATERIAL SPECIFICATIONS			
MARK	DESCRIPTION	MARK	DESCRIPTION
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002	SMOOTH STUCCO FINISH	007	STL. CABLE GUARDRAILS AND MTL. RAILINGS
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004	CANTILEVERED MASONRY BALCONY	009	EXTERIOR DOORS WITH GLASS
005	WINDOWS & STOREFRONT (WHITE FRAMES)	010	COVERED ARCADE

COLOR / PAINT SPECIFICATIONS (SHERWIN - WILLIAMS)		
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SITE PLAN  
APPROVAL  
MIXED-USE BUILDING  
NW 7th Ave & Atlantic Ave  
Delray Beach, Florida

REVISION:	DATE:

BUILDING  
PROPORTIONING  
ELEVATIONS

DATE: 12/01/2021  
SCALE: AS NOTED  
DRAWN BY: JSG, DAG  
CHECKED BY: JWS  
REFERENCE: 210205

DRAWING:

A2.1





EXTERIOR WINDOW & DOOR SCHEDULE					
MARK	MASONRY OPENING 12	TYPE	NOA #	COLOR	GLAZING
005	VARIES W X 80' 88H	FIXED WINDOW	FL30005	WHITE	IMPACT LOW-E
008	VARIES W X 96H	STOREFRONT	FL30085	WHITE	IMPACT LOW-E
009	36W X 96H	EXTERIOR DOOR	FL3005	WHITE	IMPACT LOW-E
NOTES					
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SITE PLAN  
APPROVAL  
MIXED-USE BUILDING  
NW 7th Ave & Atlantic Ave  
Delray Beach, Florida

REVISION:	DATE:

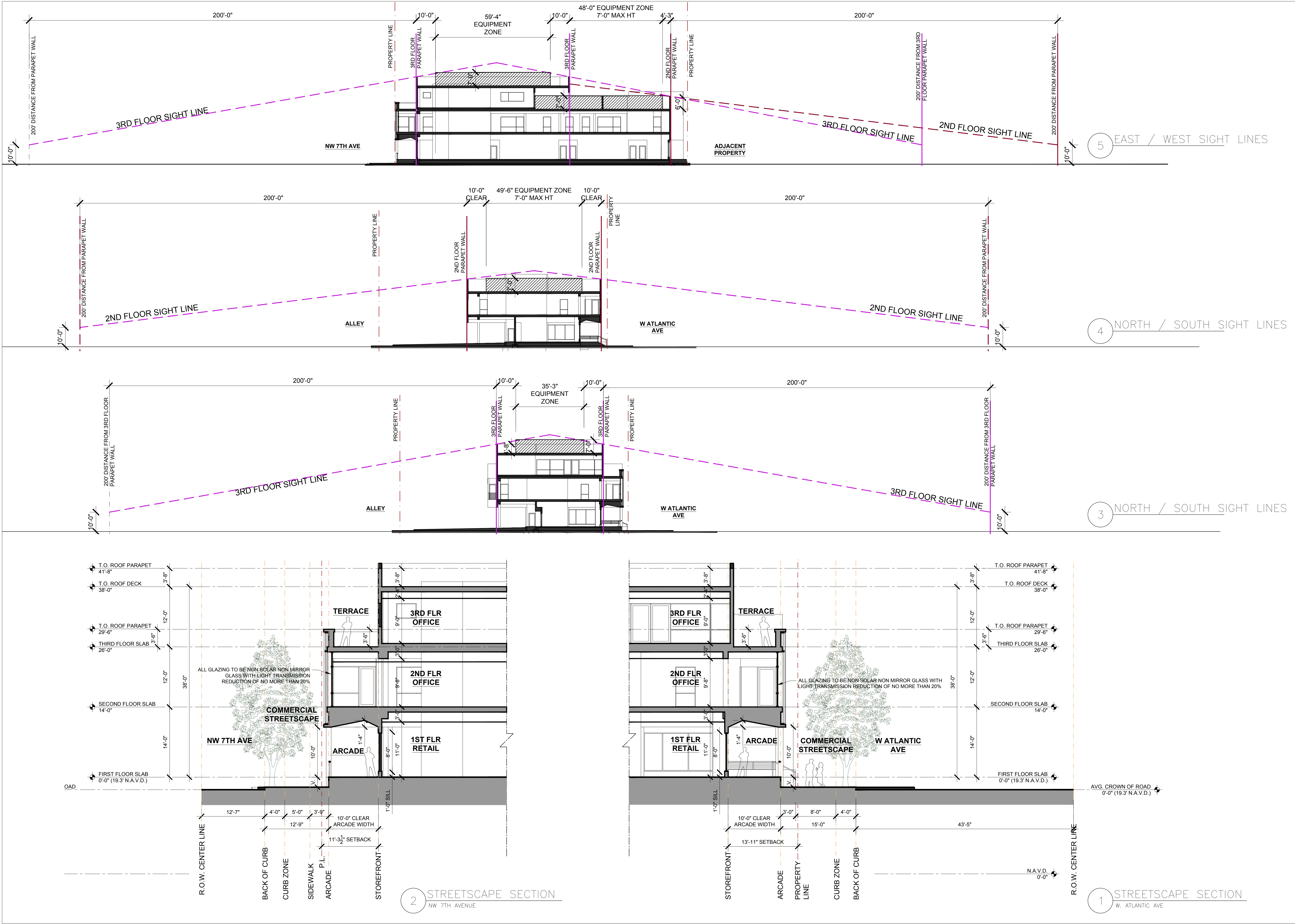
COLOR  
BUILDING  
ELEVATIONS

DATE: 12/01/2021  
SCALE: AS NOTED  
DRAWN BY: JSG, DAG  
CHECKED BY: JWS  
REFERENCE: 210205

DRAWING:

A2.2





**SITE PLAN  
APPROVAL  
MIXED-USE BUILDING**  
NW 7th Ave & Atlantic Ave  
Delray Beach, Florida

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REVISION:	DATE:

**STREETSCAPE  
SECTIONS &  
SIGHT LINE  
SECTIONS**

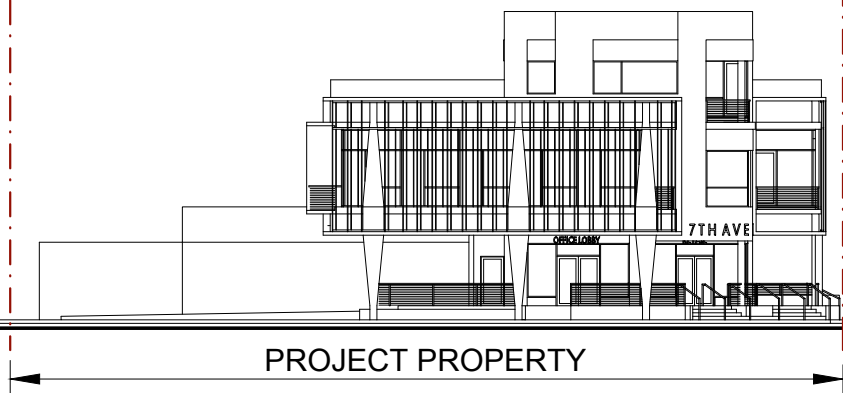
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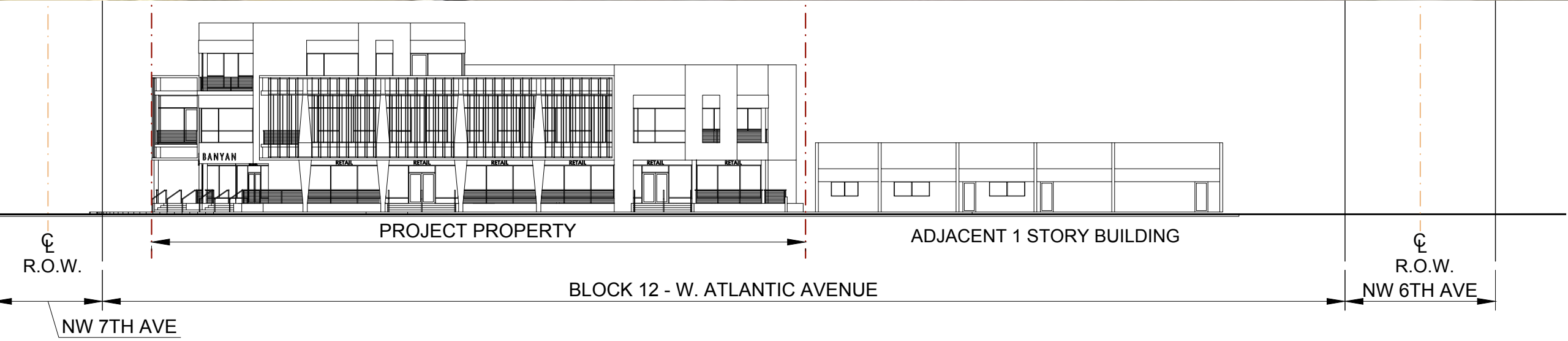
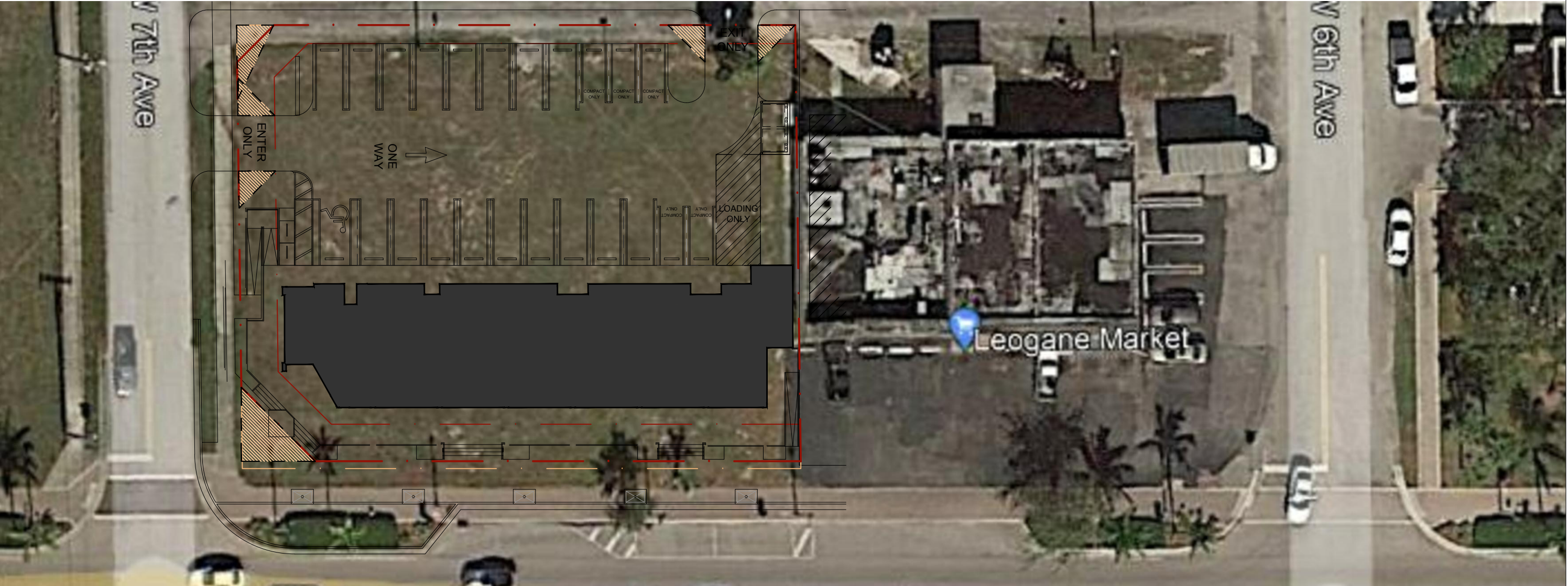
ADJACENT PROPERTIES ARE VACANT OF EXISTING BUILDING STRUCTURES



4 STREET ELEVATION  
NW 7TH AVE



5 VISUAL IMPACT  
100' OFFSET ANALYSIS



4 STREET ELEVATION  
W ATLANTIC AVE



3D VIEW - SOUTH WEST CORNER



3D VIEW - W ATLANTIC AVE



3D VIEW - SOUTH EAST CORNER

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NW 7th Ave & Atlantic Ave  
Delray Beach, Florida



REVISION:	DATE:

3D VIEWS & VISUAL  
IMPACT ANALYSIS &  
STREET ELEVATIONS

DATE:	12/01/2021
SCALE:	1/4" = 1'-0"
DRAWN BY:	JSG, DAG
CHECKED BY:	JWS
REFERENCE:	210205

DRAWING:  
**A3.10**