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PROPOSED ADDITION & RENOVATION OF EXISTING FOUR FAMILY DWELLING

ADDRESS:  
 81 SHERMAN AVENUE  
 JERSEY CITY, NEW JERSEY

BLOCK: 4406  
 LOT: 12

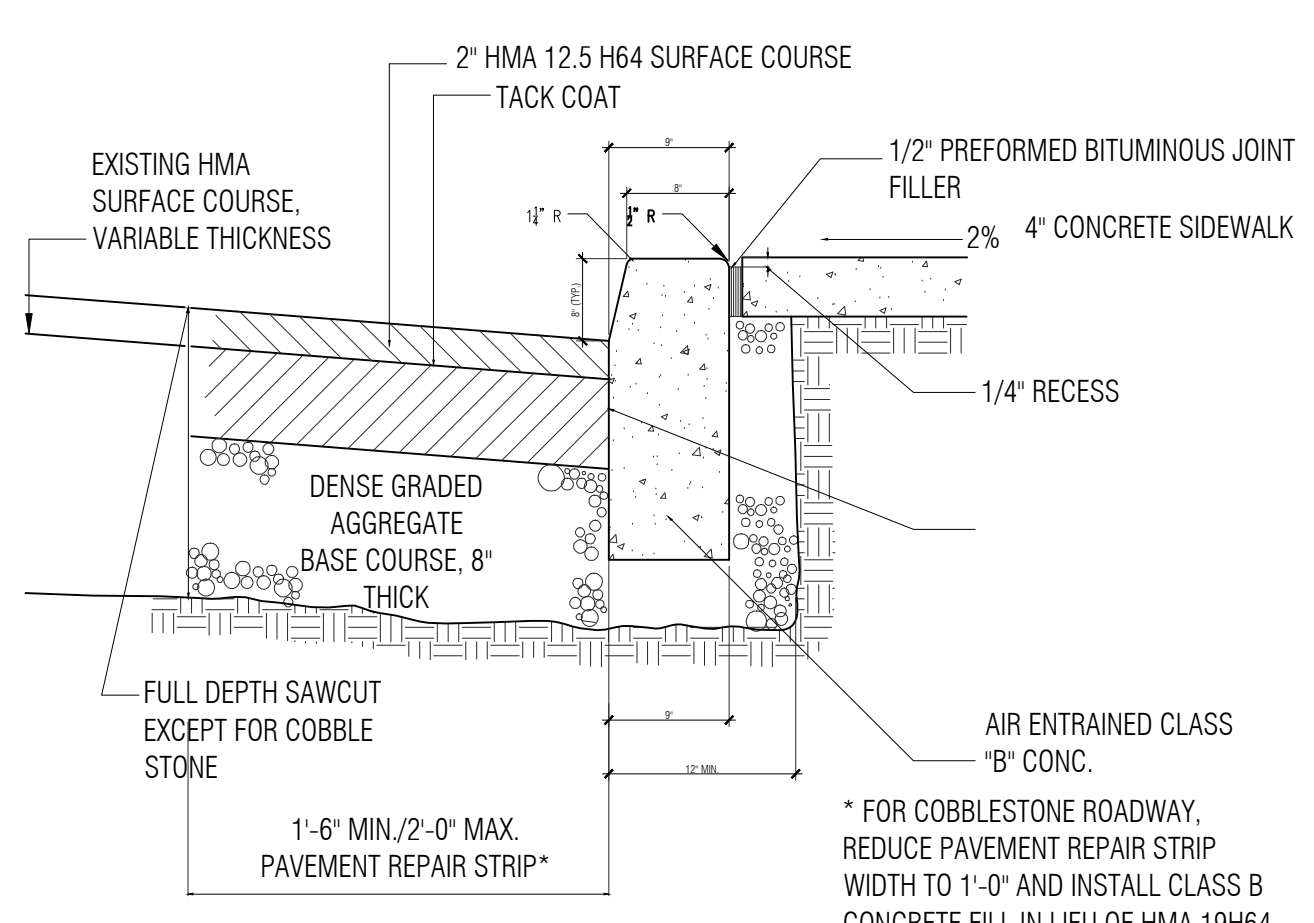
FOR:

REVISIONS:  
 PLANNING BOARD SUBMISSION 05.18.2022  
 PLAN REVIEW 06.03.2022  
 PLANNING REVIEW 08.03.2022

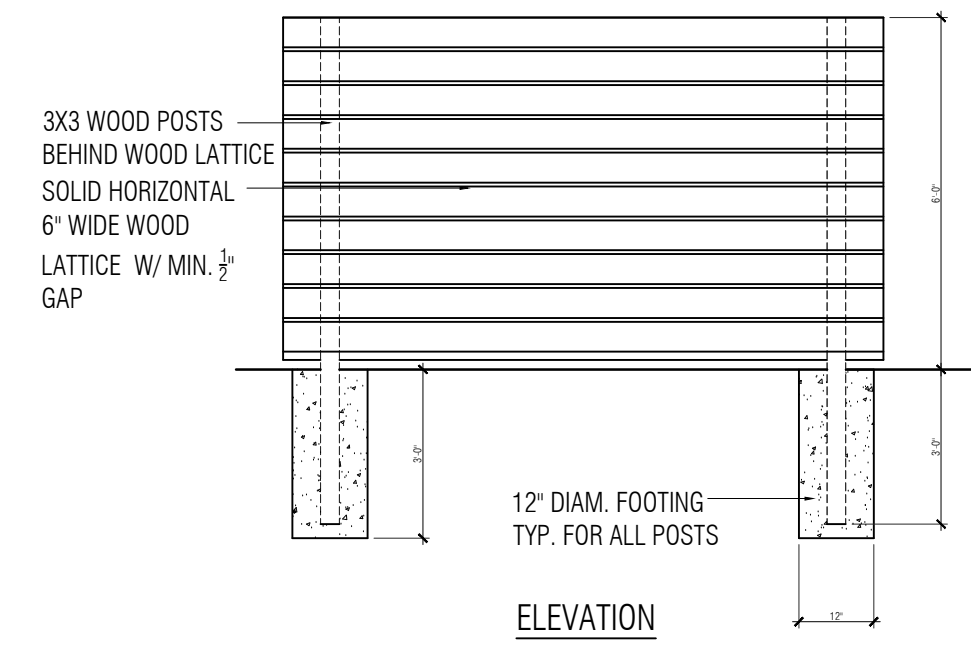
DRAWN BY: MK  
 CHKD BY: MK  
 ISSUE DATE: 05.14.2022  
 PROJECT NO: 22018

SHEET TITLE:  
 PROPOSED SITE LIGHTING PLAN  
 SITE DETAILS

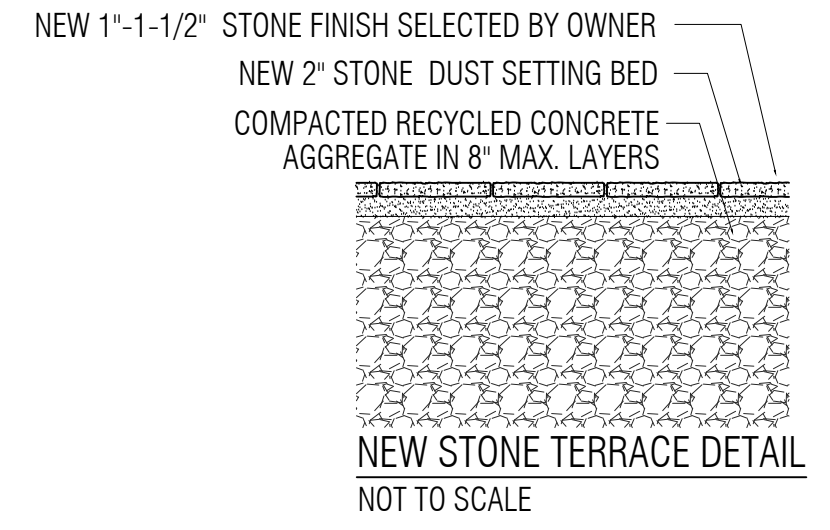
SHEET No.  
**C-1**



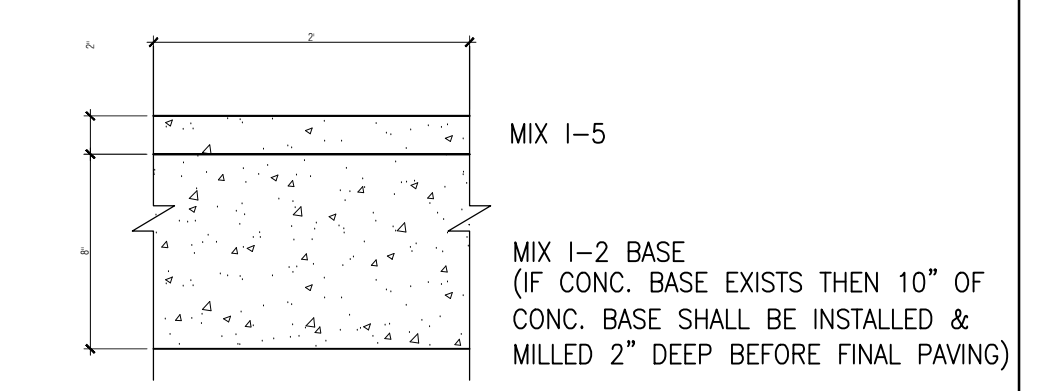
**DETAIL 2 - TYPICAL 9' X 20' VERTICAL CONCRETE CURBING/PAVEMENT REPAIR**  
 NTS



**NEW 6' H. NATURAL WOOD PRIVACY FENCE DETAIL**  
 NOT TO SCALE

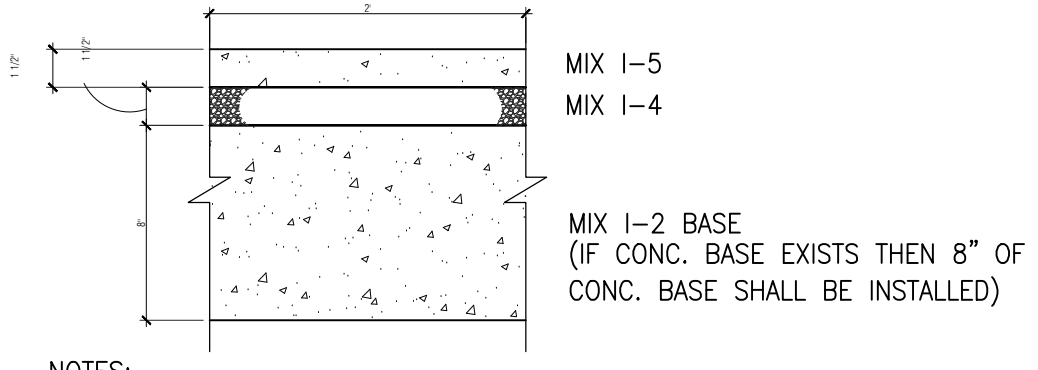


**NEW STONE TERRACE DETAIL**  
 NOT TO SCALE



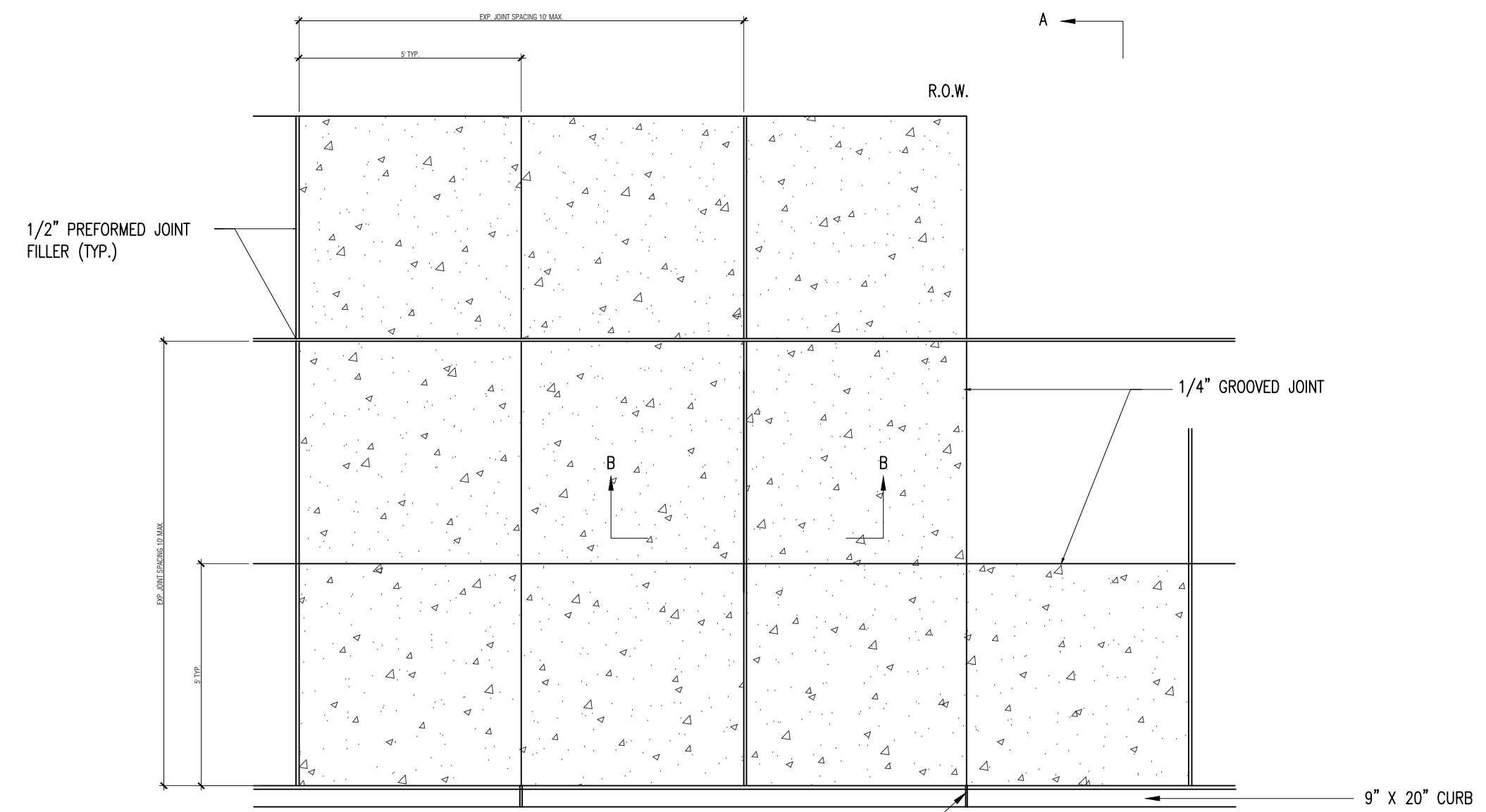
NOTES:  
 1. SUBBASE SHALL BE FIRM AND APPROVED BY THE ENGINEER OR HIS REPRESENTATIVE PRIOR TO PAVING.  
 2. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO NJ DOT 2001 STANDARD, SPECIFICATIONS AND INSPECTIONS

**2' REPAIR STRIP FRONTING ON NEW CURBS**  
 NOT TO SCALE

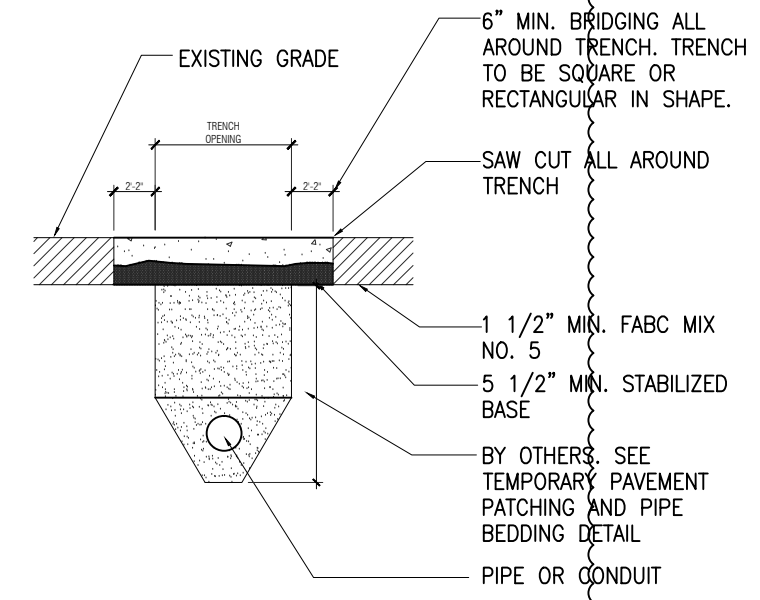


NOTES:  
 1. SUBBASE SHALL BE FIRM AND APPROVED BY THE ENGINEER OR HIS REPRESENTATIVE PRIOR TO PAVING.  
 2. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO NJ DOT 2001 STANDARD, SPECIFICATIONS AND INSPECTIONS

**2' REPAIR STRIP FRONTING ON ALL NEW CURBS U.O.N.**  
 NOT TO SCALE



**9' X 20' CURB**  
 NTS

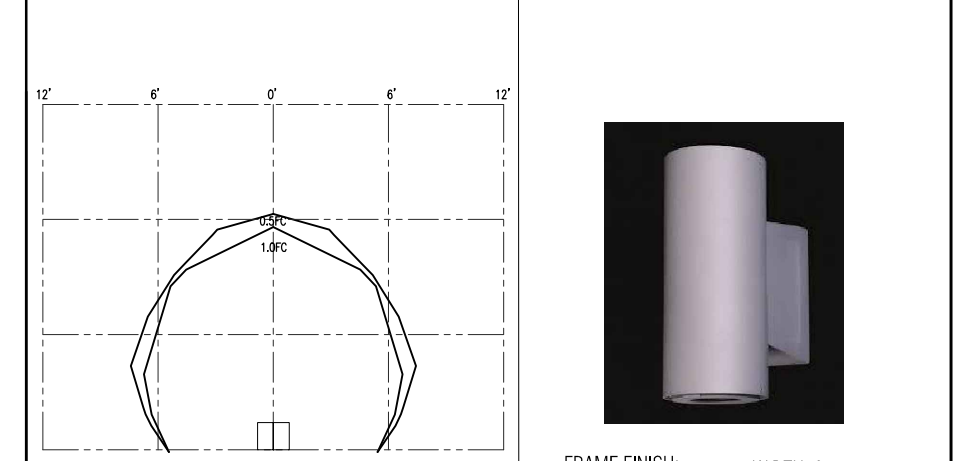


NOTE:  
 ALL PAVEMENT THICKNESS ARE MIN. WHEN, IN THE OPINION OF THE CITY ENGINEER, SETTLEMENT IN THE PAVEMENT OPENING HAS CEASED, PERMISSION SHALL BE GRANTED FOR PERMANENT PAVEMENT REPAIR. PERMANENT PAVEMENT REPAIR SHALL INCLUDE, BUT NOT NECESSARILY BE LIMITED TO:  
 A. SAW CUT 6\"/>

**PERMANENT PAVEMENT REPAIR**  
 NOT TO SCALE

KEY	QTY.	DESCRIPTION	COMMENTS
L-1	9	LUMINIS SYRIS SY602 SERIES, L2L 15 WALL MOUNT, UP & DOWN 3.00K LED, 50\"/>	

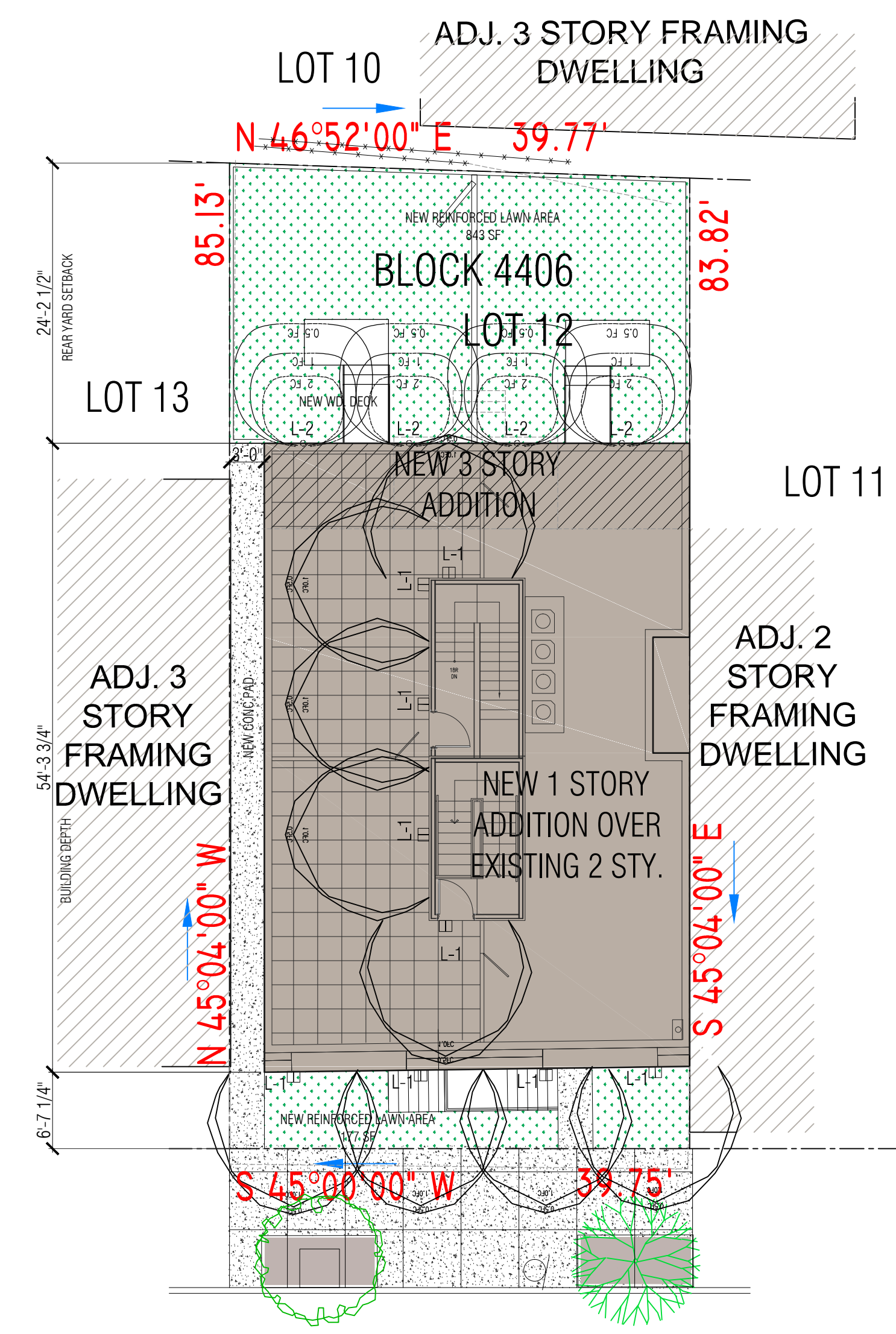
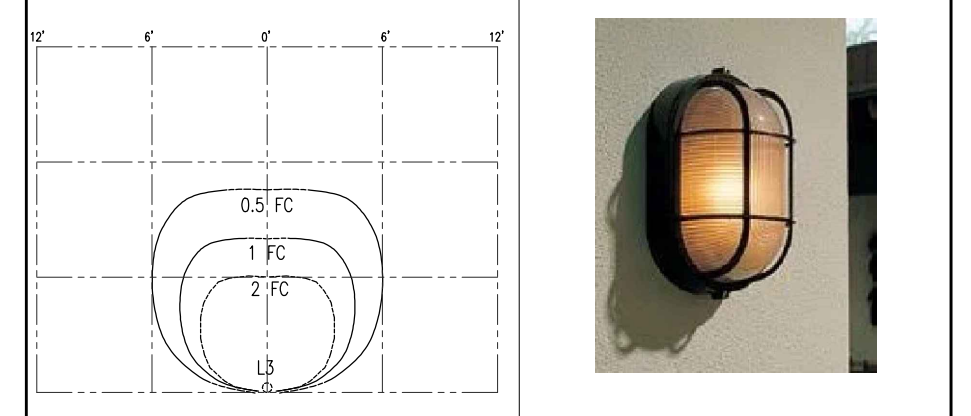
LIGHTING ISOLUX CONTOURS DIMENSIONS



FRAME FINISH: BRUSHED ALUMINUM WIDTH: 6\"/>

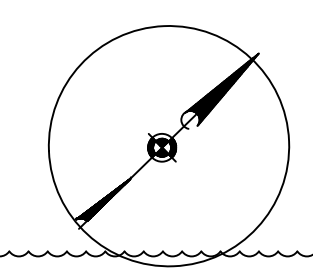
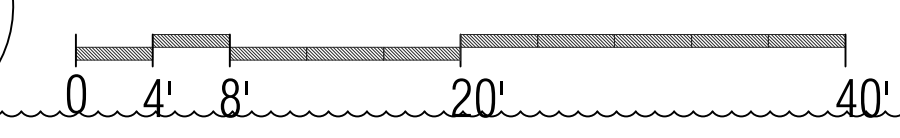
L-2	4	OUTDOOR WALL MOUNTED LAMP, 28 W MAX, 7'-0\"/>
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LIGHTING ISOLUX CONTOURS DIMENSIONS



**SHERMAN AVENUE**  
 50' RIGHT OF WAY

**PROPOSED SITE LIGHTING PLAN**  
 SCALE: 1" = 10'-0"





# REQUIREMENTS FOR FIRE AND DOMESTIC WATER LINE AND METER INSTALLATIONS

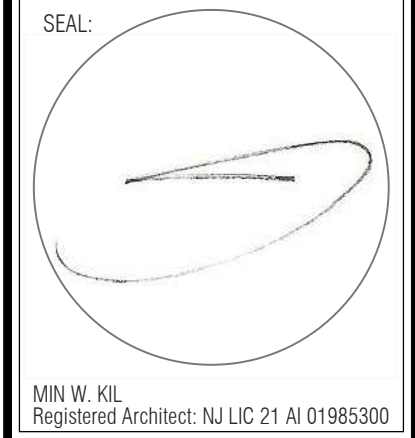
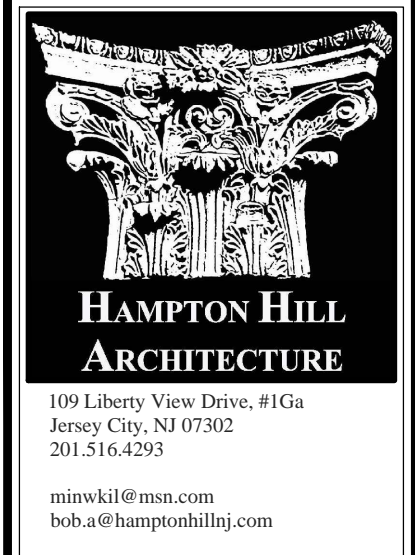
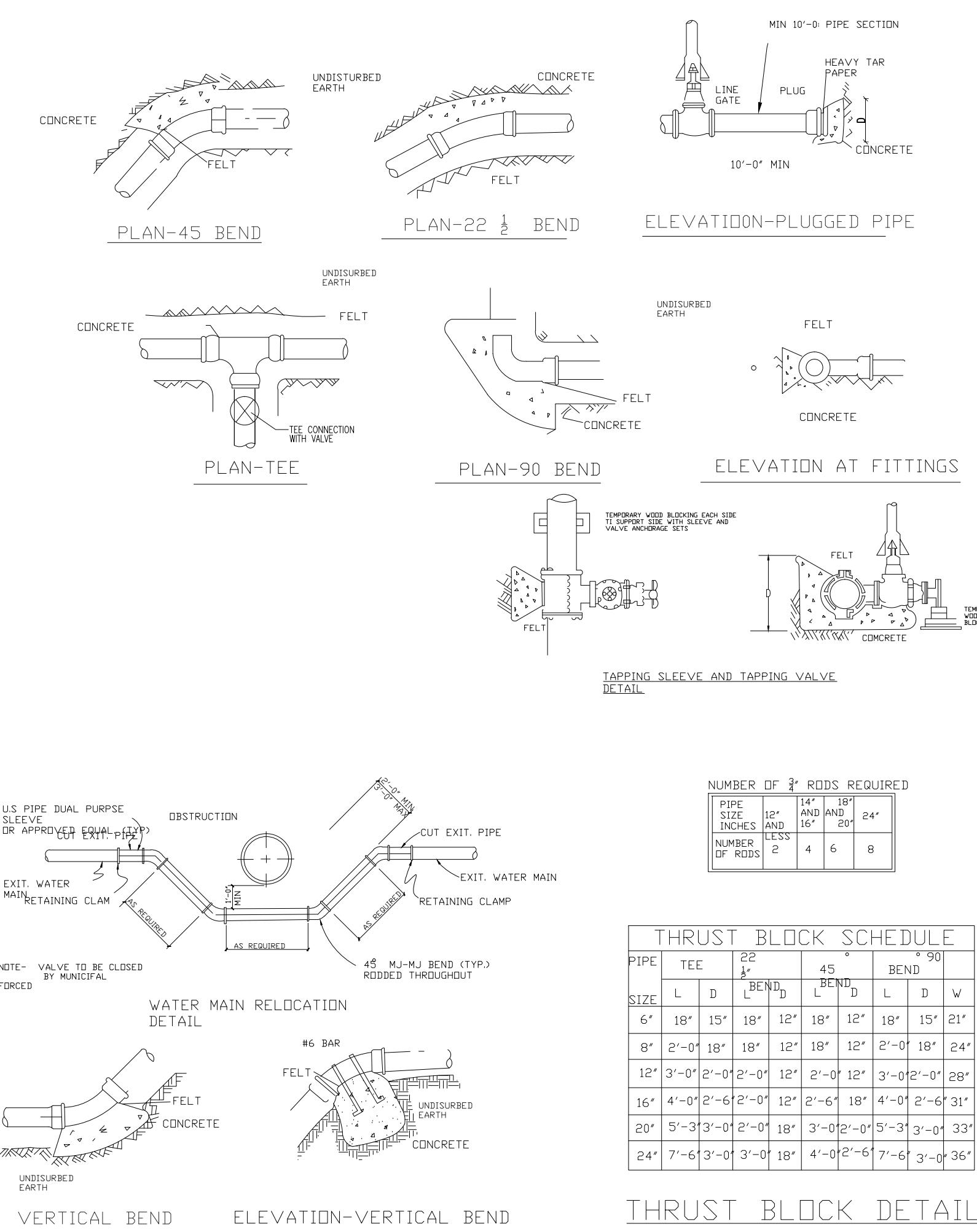
1. ALL FIRE SERVICE APPLICATIONS AND ALL DOMESTIC SERVICE APPLICATIONS TWO (2) INCHES AND LARGER MUST BE SUBMITTED TO THE JCMUA'S BUREAU OF WATER ENGINEERING FOR APPROVAL. FIVE(5) SETS OF PLANS SHALL BE SUBMITTED FOR APPROVAL. ALL PLANS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT LICENSED TO PRACTICE IN NEW JERSEY.
2. SUBMITTED PLANS SHALL BE STANDARD ENGINEERING DRAWINGS, SIZE 24 INCHES X 36 INCHES. INCLUDED SHALL BE A SITE PLAN SHOWING ADJACENT STREETS WITH WATER MAIN, SERVICE, AND DETAILS INDICATED. ALSO INCLUDED SHALL BE A KEY MAP SHOWING GENERAL LOCATION WITHIN THE CITY.
3. INDICATED ON THE SUBMITTED PLANS SHALL BE THE SIZE OF TAP, LOCATION OF TAPPING AND CURB GATE VALVES, DETAILED METER SET-UP, AND SIZE OF FACILITY'S METER. ALSO INDICATED ON THE PLANS SHALL BE THE TYPE OF OCCUPANCY OF THE FACILITY RECEIVING THE WATER SERVICE. (I.E. HOSPITAL, WAREHOUSE, APARTMENT BUILDING, ETC.)
4. ALL EXISTING WATER SERVICE LINES TO BE ABANDONED SHALL BE CUT AND CAPPED AT THE MAIN, IN ACCORDANCE WITH JCMUA STANDARDS, AND INSPECTED WITHIN 24 HOURS AFTER INSTALLATION OF NEW TAP. THE MAXIMUM OF ONE(1) TAP SHALL BE MADE FOR DOMESTIC AND FIRE SERVICE PER FACILITY. THE TAP SHALL BE THE MAXIMUM OF ONE (1) SIZE SMALLER THAN THE CITY'S WATER MAIN. NO TAPPING SHALL BE DONE BY ANYONE EXCEPT BY UNITED WATER JERSEY CITY (UWJC) UNLESS SPECIFICALLY APPROVED BY JCMUA.
5. ONLY ONE DOMESTIC/ FIRE SERVICE IS ALLOWED FOR EACH FACILITY. APPLICANT MAY INSTALL CHECK METER ON INDIVIDUAL BRANCH CONNECTIONS DOWNSTREAM OF DOMESTIC METER SETUP WHERE THERE IS MORE THAN ONE OWNER/ TENANT FOR A FACILITY. HOWEVER, ONLY ONE WATER BILL WILL BE ISSUED FOR THE FACILITY.
6. A SOLID DUCTILE IRON TAPPING SLEEVE SUCH AS MUELLER H-615 TAPPING SLEEVE OR APPROVED EQUAL SHALL BE UTILIZED FOR ALL TAPS 2-INCHES AND LARGER. THE TAPPING SLEEVE SHALL PASS PRESSURE TESTING BASED ON AWWA STANDARDS BEFORE TAP IS MADE.
7. FOR ALL SERVICES INCLUDED HEREIN, TWO (2) GATE VALVES ARE REQUIRED THAT ARE TO BE INSTALLED BY THE APPLICANT; A TAPPING VALVE, LOCATED AT THE TAP AND CURB VALVE, LOCATED IN THE SIDEWALK BEFORE THE METER. TAPPING GATES SHALL BE FURNISHED OPENED RIGHT. ALL TAPPING AND CURB VALVES SHALL BE DOUBLE DISC GATE VALVES AND MEET AWWA STANDARDS. THE WET TAP UP TO 12 INCHES SHALL BE PERFORMED BY UWJC.
8. FOR TAPS OFF MAINS SIXTEEN (16) INCHES AND LARGER, THE APPLICANT SHALL FURNISH AND INSTALL AN ADDITIONAL GATE VALVE ADJACENT TO THE TAPPING VALVE. NO TAPS SHALL BE PERMITTED ON MAINS LARGER THAN TWENTY (20) INCHES UNLESS THERE IS NO ALTERNATIVE WATER SOURCE, AND SPECIAL WRITTEN APPROVAL IS ISSUED BY THE JCMUA.
9. VALVE BOX PARTS FOR ALL VALVES SHALL BE PROVIDED BY THE APPLICANT. ALL TAPPING GATE VALVES LARGER THAN 2-INCHES AND ALL CURB VALVES/ STOPS REGARDLESS OF SIZE REQUIRE A VALVE BOX WITH THE WORD "WATER" CAST IN THE COVER. BURIED CORPORATION VALVES/ STOPS SHALL BE USED AT THE TOP FOR CLASS K COPPER SERVICES 2-INCHES AND SMALLER.
10. ALL SERVICE PIPES, SIZES 2-INCHES THROUGH 12-INCHES, SHALL BE PRESSURE CLASS 350 PSI, CEMENT-LINED DUCTILE IRON PIPES WITH MECHANICAL JOINTS.
11. THE APPLICANT SHALL INSTALL THE METER INSIDE THE BUILDING. IF THE BUILDING LINE IS IN EXCESS OF 75FT. FROM THE MAIN, THE APPLICANT SHALL PLACE THE METER IN A PIT NEAR THE SIDEWALK OR STREET IN CLOSE PROXIMITY TO THE TAP.
12. FOR A REGULAR FIRE SUPPRESSION SYSTEM (COMBINED SERVICE LINE LARGER THAN 2"), A COMBINED REDUCED PRESSURE DETECTOR ASSEMBLY (AMES 5000 SS, AMES 5000 RPDA OR WATTS 909 RPDA\*) SHALL BE INSTALLED ON THE MAIN FIRE SERVICE LINE AND A REDUCED PRESSURE BACKFLOW PREVENTOR ON THE BYPASS (AMES 4000 SS OR WATTS 909\*). ON THE LIMITED FIRE SUPPRESSION SYSTEM (COMBINED SERVICE LINE 1.5" OR 2"), A FIRE LINE SELECTOR CHECK WITH A SINGLE CHECK VALVE (AMES 1000 DCP) SHALL BE INSTALLED ON THE MAIN FIRE LINE AND A REDUCED PRESSURE BACKFLOW PREVENTOR (AMES 4000 SS OR WATTS 909\*) SHALL BE INSTALLED DOWNSTREAM OF THE BYPASS. ALL REGULAR FIRE SUPPRESSION SYSTEMS MUST HAVE OSHA VALVES, HOWEVER, LIMITED FIRE SUPPRESSION SYSTEMS MAY USE BALL VALVES (VICTALIC SERIES 728 FIRELOCK\*) INSTEAD OF OSHA VALVES. THE FIRE UNIT SHALL BE FURNISHED WITH A 5/8 INCH X 3/4 INCH METERED BYPASS. BYPASS METERS SHALL BE JERSEY CITY STANDARD SINGLE DISPLACEMENT SENSUS METERS WITH TOUCHPAD AND RADIO READ CAPABILITIES. THE SAME RADIO MXU UNIT SHALL BE USED FOR A COMBINED DOMESTIC AND FIRE SERVICE.
13. FOR DOMESTIC SERVICE, AN APPROVED REDUCED PRESSURE BACKFLOW PREVENTOR (AMES 4000 SS OR WATTS 909\*) IS REQUIRED WHEN THE JCMUA DETERMINES THAT THERE IS A CROSS-CONNECTION HAZARD AND THE FACILITY PRESENTS A THREAT TO THE CITY'S DISTRIBUTION SYSTEM WATER QUALITY IN ACCORDANCE WITH THE PLUMBING SUBCODE OF THE NEW JERSEY STATE UNIFORM CONSTRUCTION CODE, NJAC 5:23-3.15 AND THE NEW JERSEY SAFE DRINKING WATER ACT NJAC 7:10-10 PHYSICAL CONNECTIONS AND CROSS CONNECTIONS CONTROL BY CONTAINMENT. SOME SERVICES WHICH REQUIRE SUCH DEVICES INCLUDE: A HOSPITAL, SCHOOL, CHEMICAL PLANT, FACTORY, AND FACILITY WITH SEWAGE EJECTORS.
14. IF A REDUCED PRESSURE BACKFLOW PREVENTOR IS NOT REQUIRED ON THE DOMESTIC SERVICE, A CHECK VALVES SHOULD BE INSTALLED DOWNSTREAM OF THE TEST TEE.
15. ALL METERS SIZES 2 INCHES THROUGH 6 INCHES SHALL BE SINGLE COMPOUND METERS AND ALL METERS 8 INCHES AND LARGER SHALL BE DUPLEX COMPOUND MANIFOLD METERS.
16. ALL METERS SHALL BE ADEQUATELY RESTRAINED WITH METAL BRACKETS FASTENED TO THE FLOOR OR WALL OR OTHER APPROVED MEAS SUCH AS UNIFLANGES WHERE INTERNAL PIPES PRESSURE AND FLOW WARRANT SUCH RESTRAINTS. METERS, DETECTOR CHECKS, AND VALVES MAY BE SEATED ON CONCRETE BLOCK AND TAPERED SHIMS TO PROVIDE ADEQUATE SUPPORT. METERS SHALL BE INSTALLED APPROXIMATELY 36" ABOVE FLOOR GRADE.
17. ALL METER INSTALLATIONS IN METER PIT OR VAULT SHALL BE PRE-APPROVED BY JCMUA AND HAVE PROPER ACCESS OPENINGS FOR METER READING AND REPLACEMENT.
18. EACH COMPOUND METER SHALL HAVE STRAINER INSTALLED ON THE INLET SIDE IMMEDIATELY BEFORE THE METER. ALL STRAINERS MUST BE PURCHASED FROM JCMUA OR ITS AUTHORIZED AGENT.
19. ALL METERS 2" AND LARGER SHALL BE FURNISHED WITH SENSUS ECR/WP REMOTE TOUCH PAD MODULES AND RADIO MXU UNITS FOR BOTH TYPES OF READING CAPABILITIES.
20. REMOTE TOUCH PAD MODULE WIRE SHALL BE CONNECTED TO THE METER REGISTER UTILIZING A GEL CAP FOR WATERTIGHT SEALING OF ALL TERMINAL CONNECTIONS. TOUCH PADS MAY BE WALL MOUNTED OR LID MOUNTED WHERE A METER PIT IS UTILIZED. TOUCH PADS ARE TO BE INSTALLED ON EXTERIOR BUILDING WALL FACING THE STREET AND LOCATED AS CLOSE AS POSSIBLE TO STREET. THE RADIO MXU UNIT MUST BE INSTALLED WITH MOUNTING BRACKET AND LIKEWISE IS TO BE INSTALLED IN PROXIMITY TO STREET.
21. ALL INSTALLATIONS OF EQUIPMENT AND COMPONENTS SHALL BE PERFORMED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
22. ALL METERS INCLUDING TOUCH PAD MODULES, AND RADIO MXU UNITS SHALL BE PURCHASED THROUGH THE PERMIT CLERK AT JCMUA OFFICE. APPROVED PLANS MUST BE SUBMITTED TO THE PERMIT CLERK FOR ISSUANCE OF REQUIRED PERMITS.
23. AFTER OBTAINING THE REQUIRED PERMITS (STREET OPENING, TAP, AND METER) THE APPLICANT SHALL CALL UWJC AT (201) 239-1108 TO SCHEDULE THE TAP. THE EXCAVATION SHALL BE COMPLETED TWENTY-FOUR (24) HOURS PRIOR TO THE SCHEDULED TAP, AND VERIFIED BY JCMUA OR ITS AUTHORIZED AGENT BEFORE THE TAP WILL BE INSTALLED. EXCAVATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH OSHA REQUIREMENTS FOR SHEETING AND SAFETY.
24. UPON COMPLETION OF THE INSTALLATION, THE APPLICANT SHALL SUBMIT THREE (3) SETS OF "AS BUILT" PLANS, TO THE JCMUA'S BUREAU OF WATER ENGINEERING. THE JCMUA WILL AUTHORIZE SUPPLY WATER UPON ACCEPTANCE OF THE "AS BUILT" DRAWINGS.

\*SPECIFIED MODEL OR APPROVED EQUAL.

REVISED 06/28/06

## JCMUA WATER DISTRIBUTION SYSTEM STANDARDS

1. WATER MAINS SHALL BE PSI CLASS 350, CEMENT LINED, DUCTILE IRON PIPE WITH MECHANICAL JOINTS AND SHALL BE IN CONFORMANCE WITH A.M.S.I. STANDARD A21.5-1976 (A.W.W.A. C151-76).
2. GATE VALVES SHALL BE IN CONFORMANCE WITH A.M.S.I./A.W.W.A. STANDARD C500-80 AND SHALL BE JERSEY CITY STANDARD VALVES, M&H METROPOLITAN MECHANICAL JOINT VALVES AS MANUFACTURED BY DRESSER COMPANY OR APPROVED EQUAL. VALVES SHALL BE NON-RISING STEM, MECHANICAL JOINT SHALL BE FURNISHED WITH A (2") SQUARE OPERATING NUT SHALL OPEN BY TURNING TO THE RIGHT. GATE VALVES (16") AND OVER SHALL BE FURNISHED WITH BY-PASS. VALVE SHALL BE 100% SOLID HEAT CURED EPOXY COATED HOLIDAY-FREE IN THE WATERWAY.
3. BUTTERFLY VALVES SHALL BE IN CONFORMANCE WITH A.N.S.I./A.W.W.A. STANDARD C504-80. BUTTERFLY VALVES SHALL BE CLASS 1508, MECHANICAL JOINT, WITH RUBBER SEAT MOUNTED ON THE DISC, SHALL BE FURNISHED WITH A (2") INCH SQUARE OPERATING NUT AND SHALL OPEN BY TURNING TO THE RIGHT. THE VALVE SHALL BE 100% SOLID HEAT CURED EPOXY COATED HOLIDAY FREE IN THE WATERWAY. THE USE OF BUTTERFLY VALVES WILL NOT BE PERMITTED IN MAINS (16") AND UNDER.
4. VALVE BOXES SHALL BE JERSEY CITY "STANDARD" AS MANUFACTURED BY BINGHAM AND TAYLOR, OR APPROVED EQUAL. BOXES SHALL HAVE A MINIMUM OF 9 1/2" DIAMETER AND SHALL BE AN ADJUSTABLE SCREW TYPE WITH THE BOX EXTENDING FROM THE SURFACE TO (3") INCHES ABOVE THE VALVE BONNET BASE. VALVE BOX SHALL BE CAST IRON WITH A STANDARD COAL TAR FOUNDRY DIP WITH CAST IRON WATER DROP COVER AND THE WORK "WATER" CAST IN COVER. VALVE BOX COVER SHALL BE INSTALLED FLUSH WITH THE EXISTING GRADE ELEVATION.
5. CONCRETE FOR VALVE SEATS AND THRUST BLOCKS SHALL HAVE A MINIMUM 28 DAY STRENGTH OF 3000 PSI.
6. SELECT GRANULAR BACKFILL MATERIAL SHALL BE SOIL AGGREGATE TYPE I-6 (POROUS FILL, CLEAN SAND, GRAVEL OR STONE) OBTAINED FROM DRY SOURCES AND SHALL BE FREE FROM STUMPS, BRUSH, WEEDS ROOTS, RUBBISH, WOOD AND OTHER MATERIAL THAT MAY DECAY. GRADUATION, SHALL CONFORM TO TABLE 901-2, FOR TYPE I-6 IN ARTICLE 901.09 OF THE (NJDOT) NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS. BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED IN TWELVE (12) INCH LIFTS.
7. THE RODS SHALL BE THREE QUARTER (3/4) INCH DIAMETER THREADED STEEL BARS. RODS SHALL HAVE A MINIMUM YIELD STRESS OF 36,000 PSI.
8. COUPLINGS SHALL BE DRESSER STYLE NUMBER 153 FOR PIPE SIZES THROUGH (30") INCH DIAMETER. FOR LARGER DIAMETER PIPE, DRESSER STYLE NUMBER 38 STEEL COUPLINGS SHALL BE USED.
9. SHEETING, SHORING AND BRACING SHALL BE CLOSED VERTICAL SHEETING, TONGUE AND GROOVE WHICH IS BRACED TO PREVENT THE CAVE-IN OF TRENCHES. ALL LABOR EQUIPMENT, MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION. MATERIALS FOR SHEETING SHALL BE TONGUE AND GROOVE WOODEN PLANKS AND TIMBER OR STEEL CONFORMING TO THE REQUIREMENTS OF THE UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION. TIMBER SHALL BE A MINIMUM OF 3" THICK. SHEETING SHALL BE LEFT IN PLACE. SHORING AND BRACING REMOVED.
10. BROKEN STONE FOUNDATION CUSHION SHALL BE PLACED IN THOSE AREAS WHERE THE DIRECTOR, DEPARTMENT OF ENGINEERING HAS DEEMED THE SOIL CONDITIONS INFERIOR. BROKEN STONE SHALL CONFORM TO ARTICLE 901.03 OF THE STANDARD SPECIFICATIONS AS CURRENTLY AMENDED. THE SIZE OF BROKEN STONE SHALL BE AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER FOR SIZE NUMBER 2,4,5, OR 6 AS SHOWN IN TABLE 901-1. STANDARD SIZES OF COURSE AGGREGATES OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
11. FILTER CLOTH SHALL BE PLACED IN THOSE AREAS WHERE THE DIRECTOR, DEPARTMENT OF ENGINEERING HAS DEEMED THE SOIL CONDITIONS INFERIOR.
12. AFTER THE ENGINEER HAS INSPECTED THE COMPLETED INSTALLATION OF VALVES, AND WATER MAIN, AND BEFORE BACKFILLING THE EXCAVATIONS, THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO PRESSURE TEST THE PIPE. THE PIPE SHALL BE PRESSURIZED TO 1.5X THE WORKING PRESSURE FOR A PERIOD OF 2 HOURS. PRESSURE SHALL NOT VARY MORE THAN 5 PSI. THE VALVED SECTION OF PIPE SHALL BE FILLED WITH WATER SLOWLY, AND THE TEST PRESSURE SHALL BE APPLIED BY MEANS OF A PUMP CONNECTED TO THE PIPE IN A MANNER SATISFACTORY TO THE ENGINEER. BEFORE APPLYING THE TEST PRESSURE, AIR SHALL BE EXPELLED COMPLETELY FROM THE PIPE BY INSTALLING CORPORATION COCKS AT SUCH POINTS SO THAT THE AIR CAN BE EXPELLED AS THE LINE IS FILLED WITH WATER. IF THE JOINTS LEAK, REPAIRS OR REPLACEMENTS SHALL BE MADE. TESTING SHALL BE IN CONFORMANCE WITH A.W.W.A. STANDARD C609-77.
13. THE CONTRACTOR SHALL DISINFECT ALL WATER MAINS IN ACCORDANCE WITH A.W.W.A. STANDARD FOR "DISINFECTING WATER MAINS" DESIGNATION C-601. COMMERCIAL PRODUCTS SUCH AS "HTH", "PERCHLORON", AND "MAXOXHLOR" MAY BE USED IN FLAKE OR CRYSTAL FORM, BUT IN NO INSTANCE WILL TABLETS BE PERMITTED TO BE USED IN THE DISINFECTION OF WATER MAINS. THE CHLORINE DOSAGE SHALL INITIALLY PRODUCE 50 PPM RESIDUAL TO THE WATER AND MAINTAIN A MINIMUM RESIDUAL OF 25 PPM AFTER 24 HOURS. AFTER SATISFACTORY DISINFECTION OF THE TEST SECTION, THE LINE SHALL CONTINUOUSLY FLUSH UNTIL THE RESULTANT CHLORINE RESIDUAL EQUALS ON PPM OR THE RESIDUAL OF THE SYSTEM, WHICHEVER IS GREATER. AFTER FINAL FLUSHING AND BEFORE THE WATER MAIN IS PLACED IN SERVICE SAMPLES SHALL BE COLLECTED FROM EACH END OF THE MAIN AND TESTED FOR BACTERIOLOGIC QUALITY. IF THE INITIAL DISINFECTION FAILS TO PRODUCE SATISFACTORY SAMPLES, DISINFECTION SHALL BE REPEATED UNTIL SATISFACTORY SAMPLES HAVE BEEN OBTAINED.
14. AIR RELEASE VALVES SHALL BE INSTALLED AT THE HIGH POINTS OF THE WATER MAINS.
15. ALL WATER MAINS WILL BE AT LEAST 8" IN DIAMETER. TEN (10") AND 14" DIAMETER MAINS SHALL NOT BE USED.
16. THRUST BLOCKS AND THE RODS SHALL BE INSTALLED AT ALL BENDS AND FITTINGS.
17. HYDRANTS SHALL BE 2 PIECE "JERSEY CITY STANDARD" HYDRANTS AS MANUFACTURED BY A.P. SMITH OR APPROVED EQUAL. HYDRANT SPAACING SHALL BE A MAXIMUM 250 FEET MEASURED CENTER TO CENTER.
18. FOR EITHER NEW CONSTRUCTION OR RELOCATION OF THE FOLLOWING SHALL BE REQUIRED:
  - A. HYDRANTS SHALL BE LOCATED NO CLOSER THAN 20 FEET FROM THE FRONT OF TENANCY OR CURVATURE AT INTERSECTIONS.
  - B. ALL ONE PIECE OR HYDRANTS NOT MANUFACTURED BY A.P. SMITH THAT ARE TO BE RELOCATED SHALL BE REMOVED AND DELIVERED TO JERSEY CITY DIVISION OF WATER DISTRIBUTION. A NEW HYDRANT WILL BE SUPPLIED BY THE CITY FOR INSTALLATION.
  - C. HYDRANTS SHALL BE NO CLOSER THAN TEN (10) FEET FROM THE EDGE OF A RESIDENTIAL DRIVEWAY OR (20) FEET FROM THE EDGE OF A COMMERCIAL DRIVEWAY. IN THE CASE WHERE DRIVEWAYS ARE EXPANDED OR NEWLY CONSTRUCTED, THE OWNER SHALL BE RESPONSIBLE FOR THE RELOCATION OF AN EXISTING HYDRANT IF ABOVE REQUIREMENTS ARE VIOLATED.
  - D. ALL SINGLE GATED HYDRANTS ON (16") OR LARGER MAINS SHALL REQUIRE A NEW VALVE AT THE BASE OF THE RELOCATED HYDRANT.
  - E. NEW GATE VALVES AND BOXES ARE REQUIRED AT THE BASE OF RELOCATED HYDRANTS WHEN MORE THAN (10) FEET OF PIPE IS REQUIRED.
19. EXISTING WATER SERVICE LINES SHALL BE SHUT-OFF AND CAPPED AT THE MAIN PRIOR TO THE INSTALLATION OF NEW WATER SERVICES. PRIOR TO NEW SERVICE TAP THE JERSEY CITY WATER DEPARTMENT SHALL INSPECT AND CERTIFY THE ABANDONED SERVICES.
20. WATER MAINS TO ABANDON SHALL BE CUT AND PLUGGED WITH REQUIRED FITTINGS, RODS AND CONCRETE AS CLOSE TO THE EXISTING MAIN IN SERVICE AS POSSIBLE.
21. ALL VALVES SHALL BE OPERATED BY JERSEY CITY WATER DEPARTMENT PERSONNEL. THE CONTRACTOR SHALL NOT BE PERMITTED TO OPERATE ANY VALVES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN WRITING FIVE DAYS IN ADVANCE OF VALVE OPERATING REQUIREMENTS.
22. FAILURE TO COMPLY WITH THE ABOVE REQUIREMENTS WILL RESULT IN THE IMMEDIATE SHUT-DOWN OF THE PROJECT.



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## PROPOSED ADDITION & RENOVATION OF EXISTING FOUR FAMILY DWELLING

ADDRESS:  
 81 SHERMAN AVENUE  
 JERSEY CITY, NEW JERSEY

BLOCK: 4406  
 LOT: 12

FOR:

REVISIONS:

DRAWN BY: MK  
 CHKD BY: MK  
 ISSUE DATE: 05.14.2022  
 PROJECT NO: 22018

SHEET TITLE:  
 TYPICAL WATER CONNECTION NOTES AND SITE DETAILS

SHEET No. **C-2**



**GENERAL PLANTING NOTES:**

- ALL PLANTS TO BE SELECTED AND SEALED IN THE FIELD BY THE CITY REPRESENTATIVE.
- FINAL LOCATION OF ALL PLANTS TO BE DETERMINED IN THE FIELD BY THE CITY REPRESENTATIVE. CONTRACTOR SHALL INSTALL A PORTION OF THE LANDSCAPING CONSISTING OF NOT MORE THAN 5% OF THE TOTAL PLANTINGS, TO DEMONSTRATE PLANTING PRACTICES TO THE CITY REPRESENTATIVE, PRIOR TO INSTALLING THE REMAINDER OF THE PLANT MATERIAL.
- ALL PLANTS AND ENTIRE SHRUB BEDS TO RECEIVE 3" LAYER OF SHREDDED BARK MULCH.
- TOPSOIL SHALL BE SANDY LOAM, FREE FROM SUBSOIL, STONES LARGER THAN 1", OR ANY UNDESIRABLE MATERIAL; CONTAIN 5%-12% ORGANIC MATTER, pH 6.0 TO 7.0. SEE BACK FILL REQUIREMENTS, JERSEY CITY FORESTRY STANDARDS.
- TOPSOIL SHALL COMPLY WITH ANY AND ALL ENVIRONMENTAL AND CLEAN FILL REQUIREMENTS, TO THE SATISFACTION OF THE ENVIRONMENTAL CONSULTANT.
- CUT AND REMOVE BURLAP FROM TOP 2/3 OF BALL AND REMOVE WIRE BASKET COMPLETELY. NYLON ROPE AND/OR NYLON BALLING MATERIAL IS NOT ACCEPTABLE.
- LOCATE GUY WIRES SO THAT THEY WILL NOT ROLL CROUCH APART.
- UPON COMPLETION OF THE FIRST YEAR OF THE TWO (2) YEAR PLANT GUARANTEE PERIOD, THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING OR REMOVING ALL STAKES. THIS SHALL BE DONE IN CONSULTATION WITH THE CITY REPRESENTATIVE. ALL STAKES REMAINING SHALL THEN BECOME THE RESPONSIBILITY OF THE OWNER.
- IF THERE IS A DISCREPANCY BETWEEN THE PLANT COUNT SHOWN IN THE PLANT LIST AND THE PLANTING GRAPHIC, THE GRAPHIC SHALL TAKE PRECEDENCE.
- IF THE CONTRACTOR DETERMINES THE SUB-GRADE SOIL CONDITIONS ARE DELETERIOUS TO PLANT GROWTH OR WILL INHIBIT DRAINAGE, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND PRIOR TO INSTALLATION OF PLANT MATERIAL.
- PLANT PERENNIALS AND GROUNDCOVER IN 8" DEEP TOPSOIL BED CONSISTING OF 2/3 TOPSOIL AND 1/3 HUMUS. PLANT BULBS IN NATURALIZED DRIFTS.
- TOPSOIL AND SEED ALL AREAS DISTURBED AS A RESULT OF ANY AND ALL DISTURBANCES, CONSTRUCTION, OR STORAGE OF EQUIPMENT WHETHER SUCH AREAS ARE SHOWN ON THE PLANS OR NOT.
- ALL EXISTING SOIL SHALL BE REMOVED AND BACK FILLED WITH NEW TOPSOIL MEETING PARKS AND FORESTRY SPECIFICATION.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSEMEYERS AMERICAN STANDARD FOR NURSERY STOCK.
- ALL PLANT BEDS ARE TO BE SEPARATED FROM LAWN AREA WITH A 3" DEEP V-TRENCH.
- KEEP MULCH 1/2" BELOW TOP OF PAVEMENTS AND CURBS.
- ALL LANDSCAPING SHALL BE IN A HEALTHY AND VIGOROUS GROWING CONDITION AT THE TIME OF INSTALLATION. NO PLANT SHALL REMAIN AT THE SITE FOR MORE THAN THREE (3) DAYS AFTER DELIVERY WITHOUT BEING PROPERLY HEALED IN. NO TREE WITH A DAMAGED CENTRAL LEADER SHALL RECEIVE FINAL ACCEPTANCE.
- ALL NEWLY INSTALLED LANDSCAPING SHALL BE SET PLUMB IN THE PLANTING PIT AND BACKFILLED IN LIFTS NOT TO EXCEED EIGHT(8) INCHES. IN PLANTING BEDS BACKFILL SHALL CONSIST OF THREE(3) PARTS NATIVE TOPSOIL, THREE(3) PARTS SCREENED TOPSOIL AND THREE(3) PARTS PEAT. A MOISTURE ABSORBENT POLYMER SHALL BE INCLUDED IN THE AMENDED BACKFILL ON WELL AND EXCESSIVELY DRAINED SOILS AND ON EARTHEN BERMS TO ENSURE SOIL MOISTURE AVAILABILITY. ALL LANDSCAPE BEDS SHALL BE UNDERLAYED WITH A SUITABLE WATER PERMEABLE WEED FABRIC AND SHALL RECEIVE A MINIMUM THREE (3) INCH APPLICATION OF SHREDDED HARD WOOD MULCH OR OTHER ACCEPTABLE MATERIAL. UNTREATED WOOD CHIPS SHALL NOT BE USED. PLANT MATERIAL ARRANGED IN GROUPINGS SHALL BE CONTAINED IN ONE(1) CONTINUOUS MULCHED BED TO REDUCE POSSIBLE PLANT DAMAGE CAUSED BY MAINTENANCE EQUIP. THE LANDSCAPE BED SHALL EXTEND TO THE BRANCH LIMITS OF THE NEWLY INSTALLED PLANTINGS.
- PLANT MATERIAL CONSIDERED TO BE A FALL DIG HAZARD SHALL NOT BE DUG BETWEEN OCTOBER 1ST AND DECEMBER 1ST. FALL DIG HAZARD PLANTS MAY BE PLANTED DURING THIS TIME FRAME, PROVIDED THEY HAVE BEEN DUG PRIOR TO OCTOBER 1ST, OR ARE CONTAINER GROWN.
- THE CLASSIFICATION OF A SPECIES AS A FALL DIG HAZARD SHALL NOT BE CONSIDERED A SUFFICIENT OR ACCEPTABLE REASON FOR SUBSTITUTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE PROCUREMENT OF PLANT MATERIAL AS REQUIRED TO MEET THE CONSTRUCTION SCHEDULE AND FOR ENSURING THE SURVIVAL AND CONTINUED HEALTH OF THE PLANT MATERIAL, ONCE IT IS DELIVERED.

- WATERING MUST TAKE PLACE THROUGHOUT THE 2 YEAR PERIOD, AT LEAST 20 GALLONS AT APPROXIMATELY TWO WEEK INTERVALS FROM MAY 15 TO OCTOBER 31. CONTRACTOR MAY NEED TO INCREASE OR REDUCE THE FREQUENCY OF WATERING BASED ON WEATHER CONDITIONS, RESULTING SOIL WATER CONTENT OR OTHER FACTORS.
- EXISTING TREES TO REMAIN MAY BE PRUNED TO ACCOMMODATE CONSTRUCTION ACTIVITIES. CARE SHALL BE TAKEN TO AVOID NEGATIVELY IMPACTING THE HEALTH OR STRUCTURAL INTEGRITY OF THE TREE. PRUNING SHALL BE DONE UNDER THE DIRECTION OF A CERTIFIED NEW JERSEY TREE EXPERT.
- NO SOIL DISTURBANCE SHALL OCCUR OUTSIDE THE LIMIT OF DISTURBANCE.
- SHADE TREES SHALL BE LIMBED UP TO A HEIGHT OF 5'-0"
- CONTRACTOR SHALL NOTIFY JERSEY CITY DIVISION OF PARKS AND FORESTRY 3 DAYS PRIOR TO BEGINNING PLANTING SHADE TREES.
- ALL LANDSCAPING AREAS SHALL BE APPROPRIATELY PLANTED AND MAINTAINED WITH ANY DAMAGED, DISEASED OR DEAD MATERIAL REPLACED, ON AN ON-GOING BASIS.

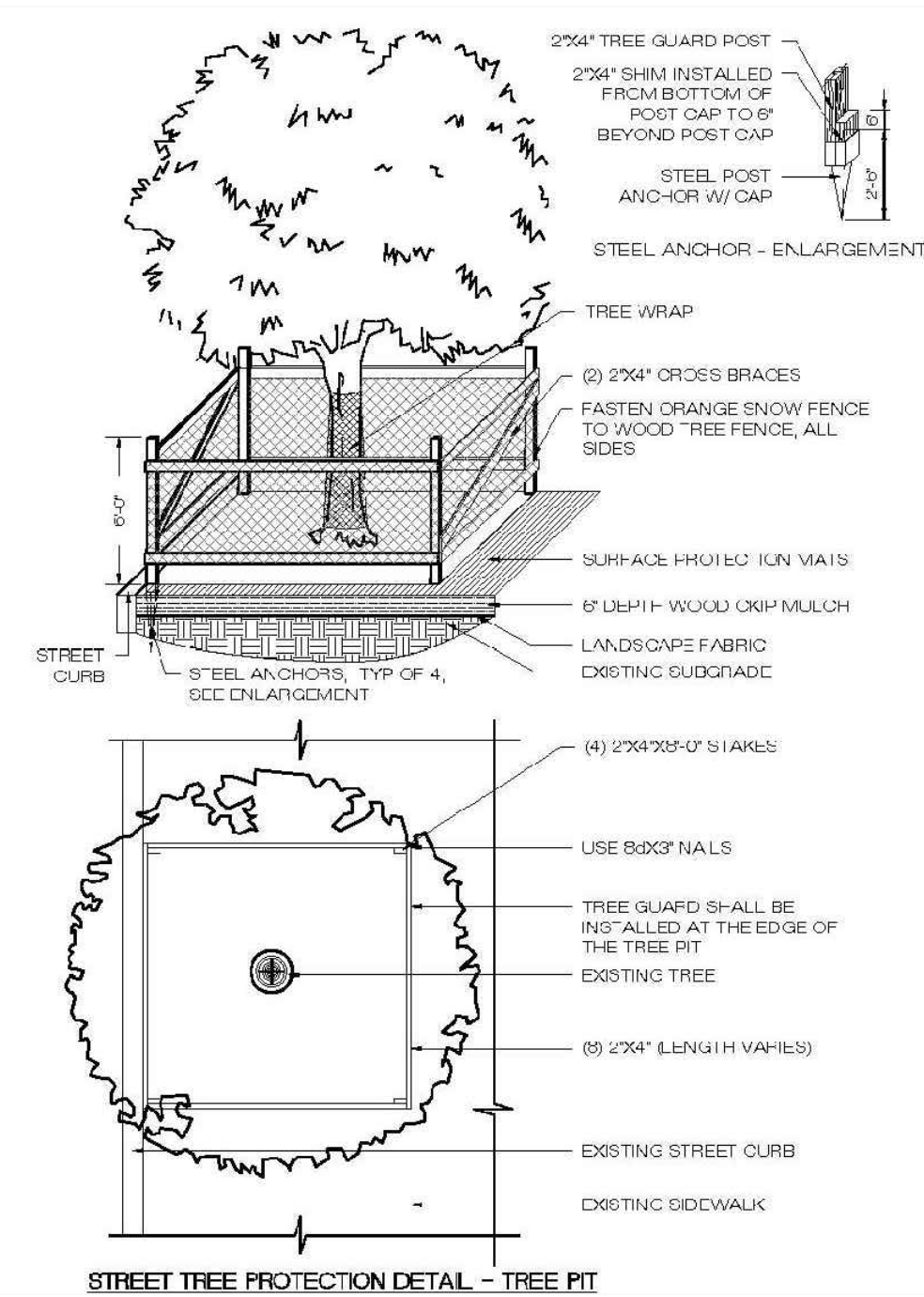
**LANDSCAPE MAINTENANCE NOTES:**

- FOR THE DURATION OF THE TWO (2) YEAR GUARANTEE PERIOD, THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL IN ACCORDANCE WITH THE LANDSCAPE SPECIFICATIONS AND TO THE SATISFACTION OF THE CITY REPRESENTATIVE. ANY PLANT MATERIAL DETERMINED TO BE DEAD OR DYING AT THE CLOSE OF THE GUARANTEE PERIOD SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- AT THE COMPLETION OF THE FIRST YEAR OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL REMOVE ALL STAKES AND GUY WIRES. THIS SHALL BE DONE IN CONSULTATION WITH THE CITY REPRESENTATIVE. ALL STAKES REQUIRED TO REMAIN IN PLACE PAST THE COMPLETION OF THE FIRST YEAR OF THE GUARANTEE PERIOD SHALL BECOME THE RESPONSIBILITY OF THE OWNER.
- FERTILIZE ALL TREES AND SHRUBS AT LEAST ONCE PER YEAR. MYCORRHIZAL FUNGI INOCULANT SHALL BE APPLIED TO ALL TREES AND SHRUBS AT THE TIME OF PLANTING.
- FERTILIZE ALL LAWN AREAS ONCE PER SEASON DURING THE SPRING, SUMMER, AND FALL. FERTILIZER SHALL BE A LOW PHOSPHORUS COMMERICAL FERTILIZER, WITH A MINIMUM OF 7% NITROGEN BY WEIGHT, AS DESCRIBED IN THE LANDSCAPE SPECIFICATIONS.
- PLANT MATERIAL SHALL BE INSPECTED FOR PEST DAMAGE AND INFESTATION AT REGULAR INTERVALS. APPLY PEST CONTROL MEASURES ACCORDING TO THE LIFE CYCLE OF THE PESTS. ALL PESTICIDES SHALL BE APPLIED BY A LICENSED FRUIT/VEGETABLE FERTILIZER.
- SEASONAL MAINTENANCE NECESSARY TO ENSURE HEALTHY AND VIGOROUS GROWTH OF PLANT MATERIAL AND TO MAINTAIN THE APPEARANCE OF THE LANDSCAPED AREAS SHALL BE PERFORMED AS NEEDED.
- PLANTING BEDS SHALL BE WEEDED AND EDGED AS NEEDED TO MAINTAIN A NEAT APPEARANCE AND TO PREVENT THE ESTABLISHMENT OF WEEDS.
- ALL MULCHED AREAS SHALL BE RAKED AND MULCH SHALL BE REPLENISHED AS NEEDED EACH SPRING.
- PRUNING OF DEAD AND DAMAGED BRANCHES SHALL BE PERFORMED EACH FALL, AND AS NEEDED FOLLOWING DAMAGE TO PLANT MATERIAL.
- DEBRIS AND DEAD LEAVES SHALL BE REMOVED FROM PLANTING BEDS IN THE FALL AND EARLY SPRING.

**TREE PLANTING NOTES:**

- GAS OR ELECTRIC LINES SHALL BE 2' MINIMUM FROM EDGE OF TREE PIT. OIL FILLED PIPES SHALL BE 4' MINIMUM FROM EDGE OF TREE PIT. WATER AND SEWER LINES SHALL BE 2' FROM TRUNK.
- TREES SHALL NOT BE LOCATED IN FRONT OF DRIVEWAYS.
- MINIMUM RECOMMENDED DISTANCE FROM TREE TRUNK:
  - TO UTILITY POLES AND/OR LIGHTS SHALL BE 15'
  - TO WATER MAIN OVER 20" DIA. SHALL BE 6'
  - TO STREET SIGNS AND TRAFFIC SIGNS SHALL BE 5'
  - TO CURB SHALL BE 7'
  - TO FIRE HYDRANT SHALL BE 6'
  - TO CURB OF NEAREST INTERSECTION SHALL BE 30'
- MINIMUM DISTANCE FROM EDGE OF TREE PIT TO NEAREST WALL OR FENCE SHALL BE 5'.
- NO TREES SHALL BE INSTALLED BETWEEN UTILITY VAULTS AND CURB.
- DO NOT PLANT NEW TREES UNDER OVER-HEAD BRANCHES OF ADJACENT TREES.
- TREE CROWN AND TRUNK SHALL BE FREE OF DEFECTS AND TRUE TO FORM.
- MAINTENANCE TRACKING TAG SHALL BE ATTACHED TO STURDY SCAFFOLD BRANCH.
- NO PAVERS, 4" SIDED TREE GUARDS, OR OTHER MATERIALS SHALL BE PLACED WITHIN THE TREE BED.
- CUT AND REMOVE BURLAP FROM TOP 2/3 OF ROOT BALL, REMOVE WIRE BASKET COMPLETELY.
- FLOOD TREES WITH WATER WITHIN THE FIRST 24 HOURS OF PLANTING.
- INSTALL PHO TREE SAVER MYCORRHIZAL FUNGAL TRANSPLANT INOCULANT FOR TREES AND SHRUBS. INSTALL ONE 3 OUNCE PACKET PER CALIBER INCH OR PER 1 FOOT OF ROOTBALL DIA.
- CONTRACTOR SHALL HAVE A GUARANTEE PERIOD OF 2 YEARS FOR EACH TREE PLANTED.
- TOPSOIL SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
  - NATURAL LOAM WITH THE ADDITION OF COMPOST OR HUMUS
  - ORGANIC MATTER CONTENT SHALL BE BETWEEN 5% - 12%
  - THE pH SHALL BE IN THE RANGE OF 6.0 TO 7.0 INCLUSIVE, UNLESS OTHERWISE APPROVED OR SPECIFIED BY THE JERSEY CITY FORESTER
  - SOIL TEXTURAL ANALYSIS: TOP SOIL SHALL CONSIST OF THE FOLLOWING PERCENTAGES OF SAND, SILT, AND CLAY. ANY SOIL THAT DOES NOT MEET THE REQUIREMENTS BELOW WILL BE REJECTED AND REMOVED FROM THE SITE.
 

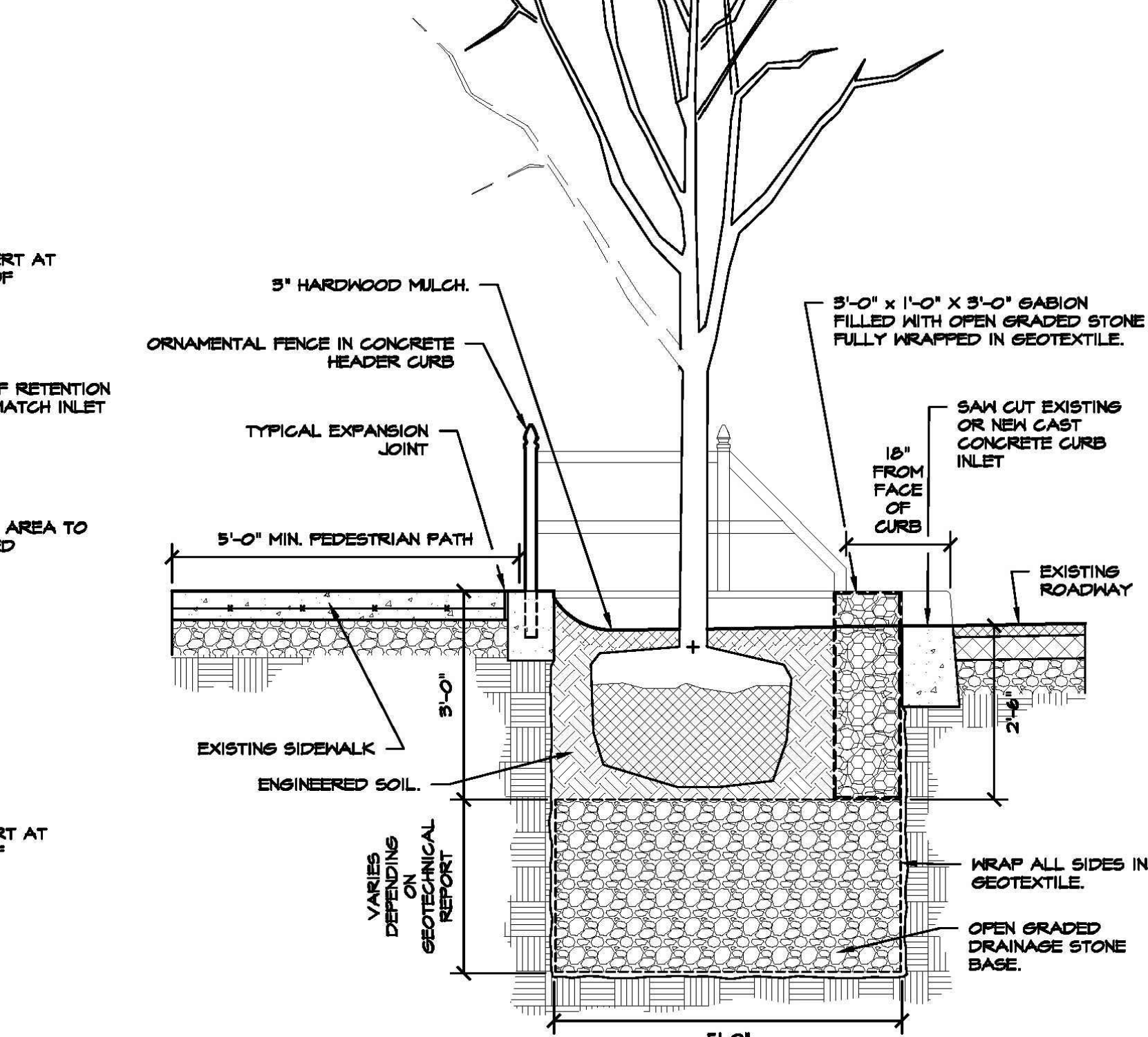
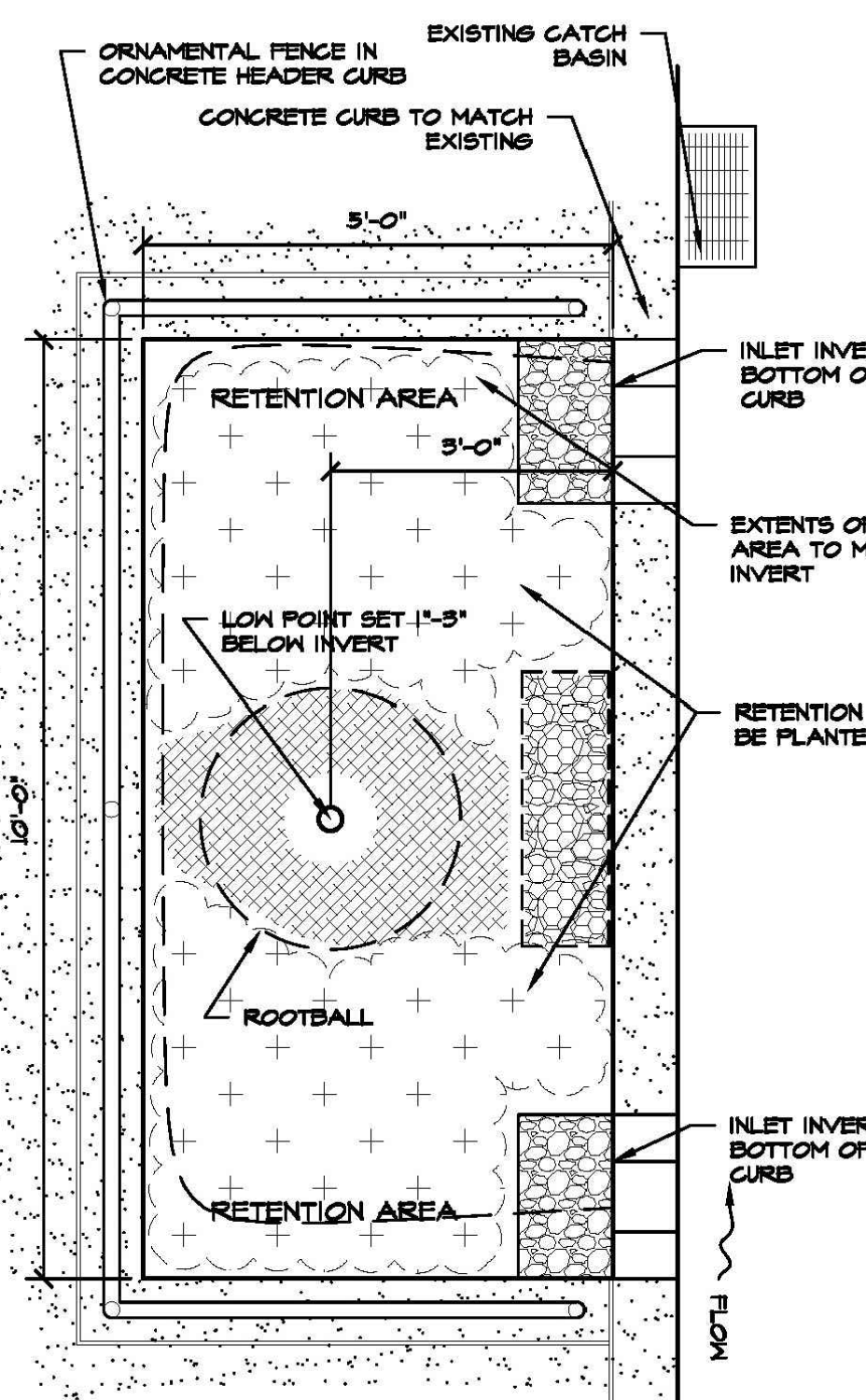
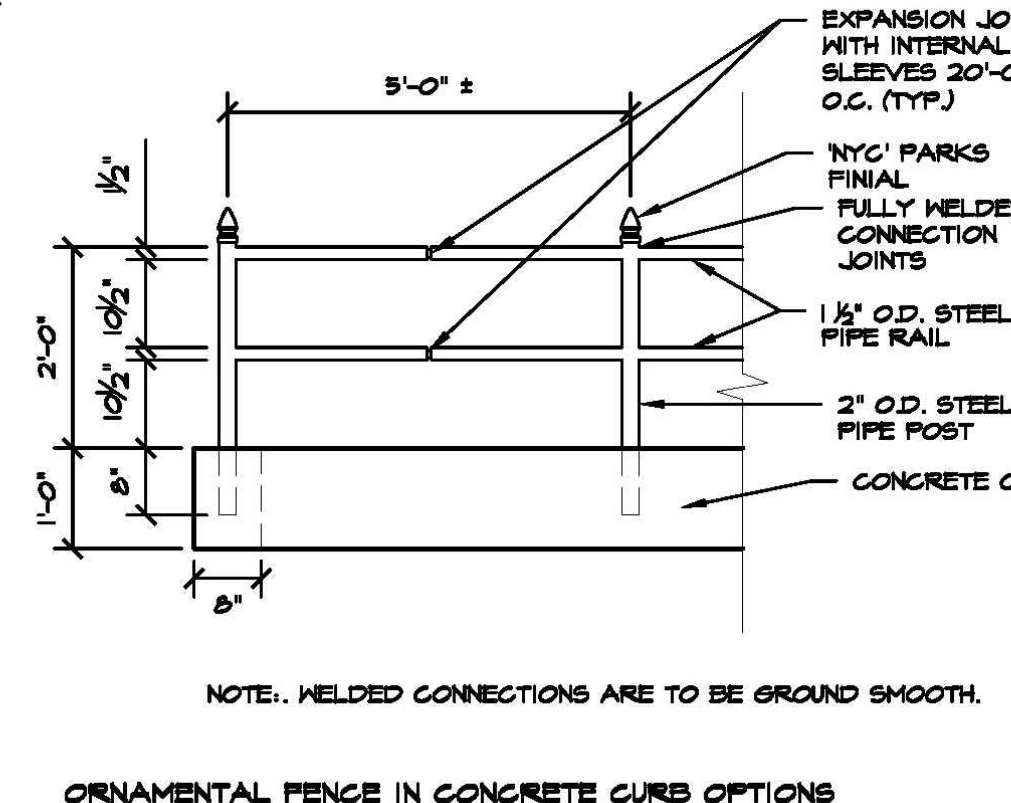
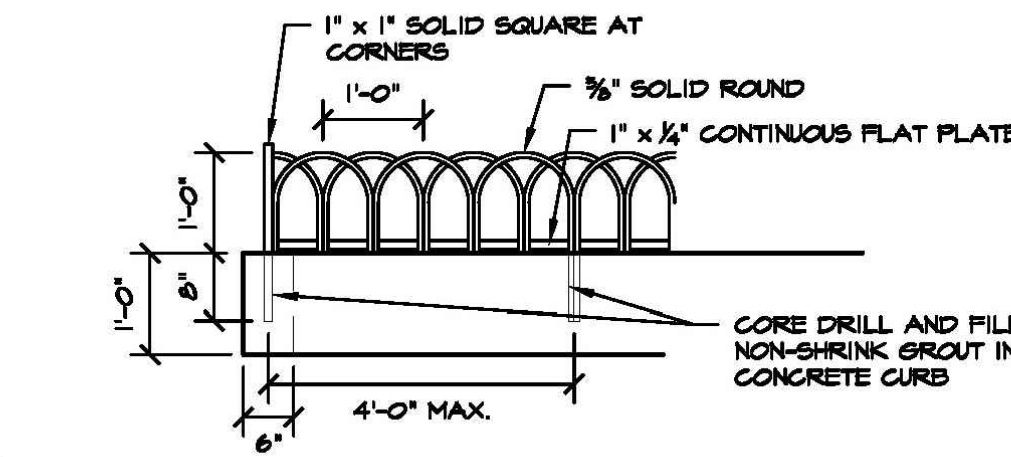
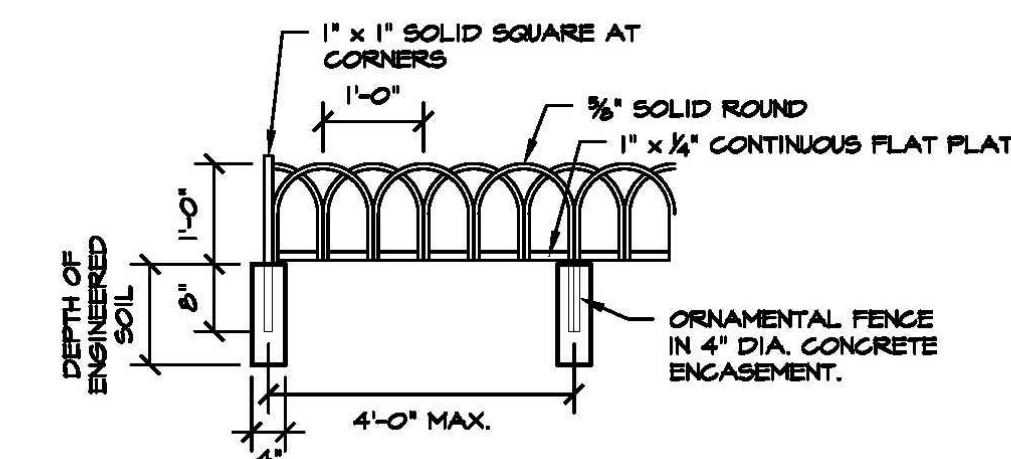
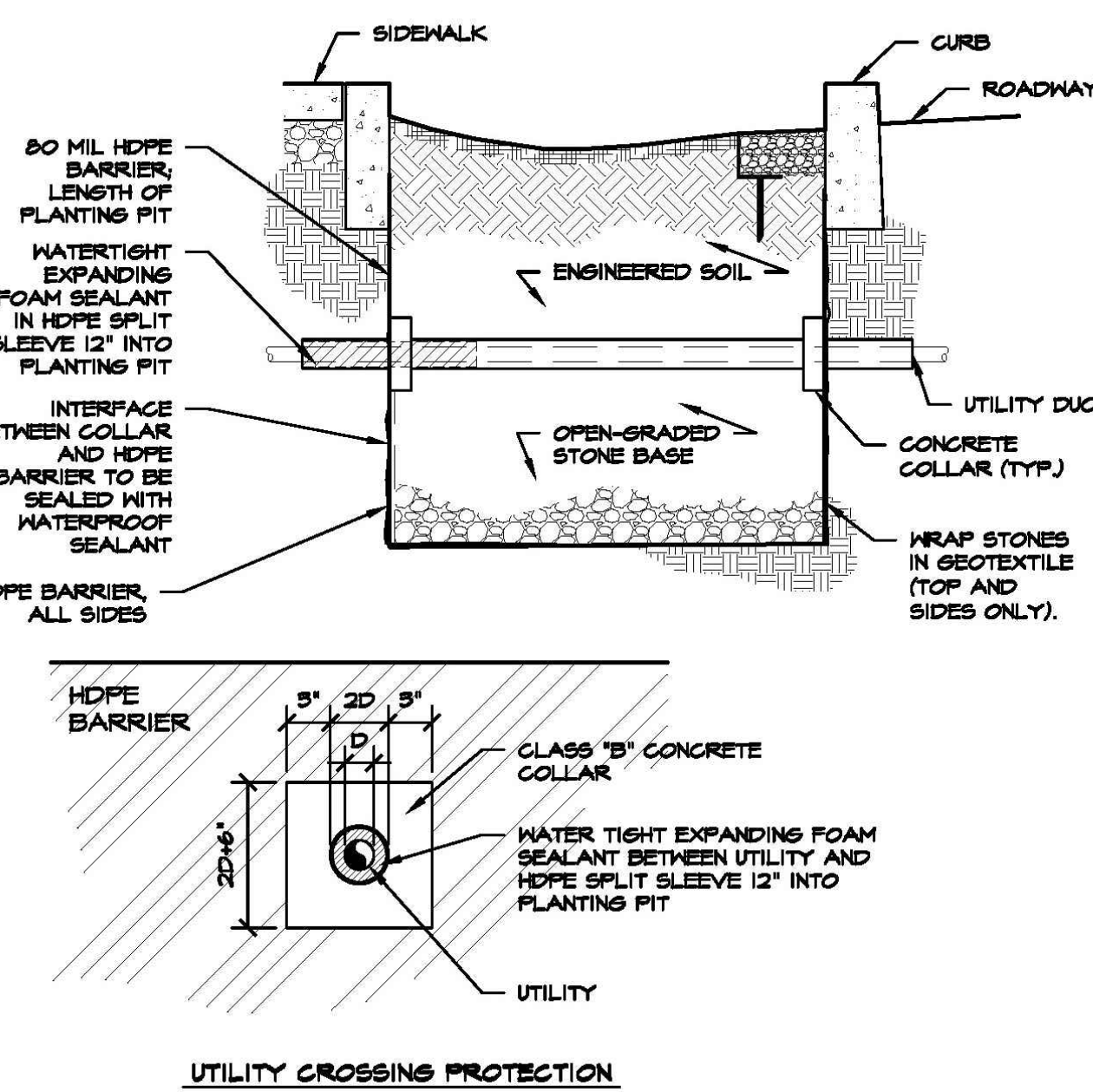
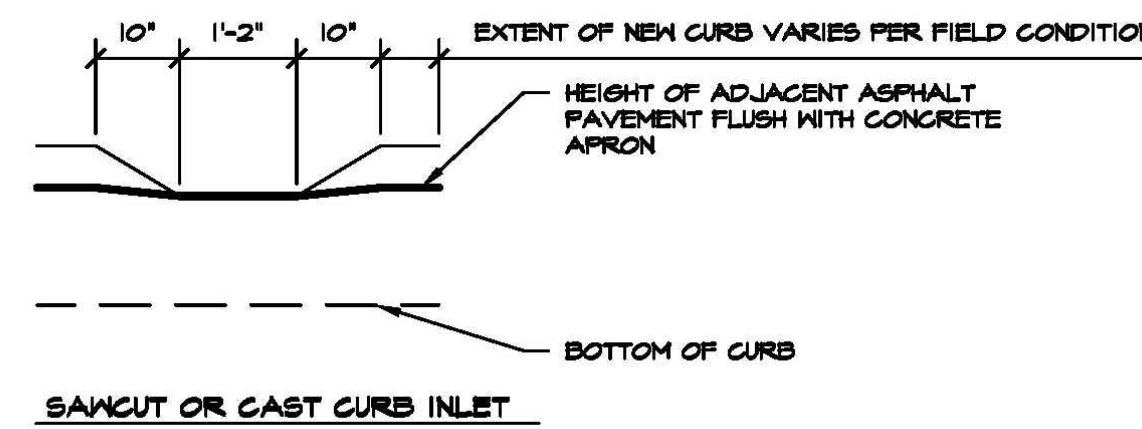
ROCKS, STONE AND GRAVEL >2.0 mm	<5%
SAND (0.05-2.0 mm)	40-60%
SILT (0.002 - 0.05mm)	20-50%
CLAY (<0.002 mm)	20% MAXIMUM
  - WHEN TOPSOIL OTHERWISE COMPLIES WITH THE REQUIREMENTS OF THE SPECIFICATION BUT SHOWS A DEFICIENCY IN ORGANIC MATTER, COMPOST MAY BE INCORPORATED WHEN AND AS PERMITTED BY THE FORESTER.
  - ROOT BALL SIZE RELATIVE TO TREE HEIGHT SHALL BE WITHIN THE RANGES SET BY THE AMERICAN NURSERY STANDARDS



STREET TREE PLANTING SCHEDULE				
KEY	COMMON NAME	BOTANICAL NAME	PLANTING SIZE	MATURE SIZE
TREE				
	EUROPEAN HORSEBEECH	Carpinus betulus	12" HIGH 3.5" CAL. (MIN.)	40' HIGH

**PLANTING MAINTENANCE:**

- MAINTENANCE SEASON: MARCH 1st - NOVEMBER 30th
- SPRING MAINTENANCE: MARCH - APRIL
  - REMOVE WINTER DEBRIS FROM LANDSCAPE AREAS.
  - PRUNE TREES AS NEEDED.
  - FERTILIZE TREES AND SHRUBS.
  - REPLACE MULCH FROM BEDS AS NEEDED.
- SUMMER MAINTENANCE: MAY - SEPTEMBER
  - REMOVE DEBRIS FROM BEDS AND WEED AS NEEDED.
  - PRUNE AND TRIM SHRUBS AS NEEDED.
- FALL MAINTENANCE: SEPTEMBER - NOVEMBER
  - REMOVE DEBRIS FROM BEDS AND WEED AS NEEDED.
  - REPLENISH MULCH IN BEDS.



5' X 10' RIGHT-OF-WAY BIOSWALE  
NOT TO SCALE

CONSTRUCTION DETAILS  
NOT TO SCALE

**GENERAL NOTES**

- THE CONTRACTOR SHALL BE REQUIRED TO REMOVE AND REPLACE THE ASBESTOS EXISTING UNDER THE FLAG TO NEAREST SIDEWALK JOINT BEYOND THE LIMITS OF THE PLANTING PIT. THE CONTRACTOR SHALL REPLACE THAT SIDEWALK IN KIND IN FULL COMPLIANCE WITH THE APPLICABLE SPECIFICATION.
- THE CONTRACTOR SHALL REMOVE AND RESTORE ASPHALT PAVEMENT ALONG THE CURB LINE, WHERE REQUIRED. ALL WORK MUST BE COMPLETED IN FULL COMPLIANCE WITH THE CURRENT JERSEY CITY DESIGN STANDARDS FOR VERTICAL CONCRETE CURB / PAVEMENT REPAIR.
- THE CONTRACTOR SHALL OBTAIN THE NECESSARY TREE PLANTING PERMIT. ALL NECESSARY TREE PLANTINGS SHALL BE SUPERVISED BY A CERTIFIED ARBORIST OR MEET REQUIREMENTS BY THE "JERSEY CITY FORESTRY STANDARDS 2018".
- ALL TREE REMOVALS SHALL BE IN ACCORDANCE WITH "JERSEY CITY FORESTRY STANDARDS 2018".
- TREES SHALL BE STAKED AS PER "JERSEY CITY FORESTRY STANDARDS 2018". TREE STAKES ARE TO BE REMOVED BY THE CONTRACTOR NOT LESS THAN ONE YEAR AFTER PLANTING.
- THE CONTRACTOR SHALL NOT BE PERMITTED TO OPERATE AUXILIARY EQUIPMENT WHICH GENERATES EXHAUST OR OTHER HEAT UPWARD (E.G., GENERATORS AND COMPRESSORS) UNDER THE BRANCHES OF TREES WHERE THE BRANCHES ARE LESS THAN 25' ABOVE THE GROUND, UNLESS APPROVED BY THE ENGINEER IN CONSULTATION WITH THE CERTIFIED ARBORIST.
- THE CONTRACTOR SHALL NOT BE PERMITTED TO STORE, STOCKPILE, OR LAY DOWN ANY CONSTRUCTION MATERIAL, INCLUDING BUT NOT LIMITED TO, LUMBER, FUEL, AND OIL CONTAINERS, PIPES, AND / OR PIPE FITTINGS, BARRICADES, HAND TOOLS, HOSES, RECEP/TAPES, AND ASPHALT WITHIN ANY EXISTING PLANTING PIT.
- REPLACEMENT TREES SHALL BE PLANTED WITHIN THE PROJECT AS DIRECTED BY THE ENGINEER IN ACCORDANCE WITH "JERSEY CITY FORESTRY STANDARDS 2018".
- ALL GREEN INFRASTRUCTURE INSTALLATIONS SHALL MAINTAIN A 3'-0" MINIMUM ACCESSIBLE PATH FOR PEDESTRIANS.
- ALL SOIL MATERIAL AND DEBRIS REMOVED FROM THE PLANTING PIT SHALL BE DISPOSED OF OUTSIDE CITY OF JERSEY CITY LIMITS IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE CITY'S ENVIRONMENTAL COMMISSION, AND IN ACCORDANCE WITH THE REGULATIONS AND LAWS OF THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION.

**PLANTING NOTES**

- PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEANUP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. ALL PLANTS SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS PLANTS ORIGINAL GRADE.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHING, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS, WEEDS, INSECT INFESTATION, DISEASE AND INJURIES.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE; SEE SPECIFICATIONS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON.
- PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT THE STOCK NOT PLANTED BY WATERING AND HEALING-IN PLANTS LEFT UNPLANTED FOR LONGER THAN (5) DAYS SHALL BE REMOVED FROM THE SITE AND REPLACED WITH FRESH STOCK AT NO COST TO THE CITY.
- ALL MATERIAL (QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS) SHALL BE IN ACCORDANCE WITH THE CURRENT "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEMEYERS.
- ALL PLANTS SHALL BE PLANTED IN PLANTING SOIL MIX THAT IS THOROUGHLY WATERED AND TAMPED AS BACKFILLING PROGRESSES. NOTHING BUT SUITABLE PLANT FREE OF SOIL, STIFF CLAY, LITTER, ETC. SHALL BE USED FOR PLANTING. NO EXISTING SITE SOIL IS TO BE USED AS PLANTING SOIL WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT.
- PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR EXISTING BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY. AT THE DISCRETION OF THE LANDSCAPE ARCHITECT, PLANT MATERIAL MOVED BY THE TRUNK IS TO BE REMOVED FROM THE SITE AND REPLACED WITH EQUAL MATERIAL AT NO ADDITIONAL COST TO THE CITY.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE.
- ALL INJURED BRANCHES SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING. PRUNING SHOULD BE RESTRICTED TO CONSERVATIVE PRUNING TO IMPROVE FORM ONLY. THIS INCLUDES STRUCTURE, DEAD, DAMAGED, DISEASED AND/OR CONFLICTING BRANCHES. DO NOT CUT THE MAIN LEADER. IF SIDE BRANCHES ARE CUT TO BALANCE TREE, MAKE ALL CUTS BACK TO LATERAL BRANCH OF BUD. FINAL PRUNING SHOULD BE DONE AFTER TREES ARE IN PLACE.
- THE CONTRACTOR SHALL LAYOUT ALL TREES, TREE FITS, SHRUBS AND SHRUB BEDS PRIOR TO INSTALLATION FOR APPROVAL BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR IS TO PROVIDE THE LANDSCAPE ARCHITECT WRITTEN NOTICE OF PLANTING OPERATIONS A MINIMUM OF 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- ALL PLANTS AND ENTIRE PLANTING BEDS TO RECEIVE 2" MIN LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH. MULCH SHALL NOT COME IN DIRECT CONTACT WITH TREE TRUNKS.
- MAINTAIN (WATER, NEEED, FERTILIZE, ETC.) TREES, SHRUBS, GROUNDCOVER AND PERENNIALS UPON COMPLETION OF PLANTING OPERATIONS AND UNTIL ISSUANCE OF CERTIFICATE OF FINAL ACCEPTANCE.
- PLANTING FITS IN PAVED AREAS ARE TO BE EXCAVATED TO THE LIMITS OF THE PAVEMENT OPENING WITH ROUGH VERTICAL SIDES. ALL PLANTING BEDS/ AREAS ARE TO RECEIVE NEW ENGINEERED SOIL. EXISTING SOIL IS NOT TO BE USED AS BACKFILL.
- ALL PLANT MATERIAL TO BE TAGGED AND LABELED WITH BOTANICAL AND COMMON NAME PRIOR TO DELIVERY TO THE PROJECT SITE. ANY MATERIAL NOT LABELED AT TIME OF DELIVERY SHALL BE REJECTED.
- NO CONTAINER STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. REMOVE ALL SYNTHETIC OR PLASTIC ROOT WRAPPING.
- UPON ESTABLISHMENT OF PLANTING AREA LIMITS THE CONTRACTOR SHALL CLEARLY MARK BOUNDARIES AND PROTECT AREAS FROM COMPACTION BY EQUIPMENT OR FOOT TRAFFIC.

**MATERIAL SPECIFICATIONS**

- BARRIER - 80 MIL HDPE
- DRAIN STONE - STONE TO BE NJ DOT # 2 WASHED STONE
- GEOTEXTILE - MIRAFLEX 140L OR APPROVED EQUAL
- STONE GABION - STONE MINIMUM DIAMETER TO BE 1" LARGER MIN. THAN GABION MESH SIZE
- SOIL - COMPOSED OF 10% SAND AND 90% COMPOST MIXTURE OR AS REQUIRED TO ACHIEVE AN INFILTRATION RATE OF 3-50 PT/DAY
- MULCH - 2" THICK LAYER HARDWOOD, DOUBLE-SHREDDED BARK
- CONCRETE - SHALL BE INSTALLED AS PER NJ DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST VERSION
- ORNAMENTAL FENCE - ALL STEEL SHALL CONFORM TO ASTM - A56 SPECIFICATION. ALL STEEL TO BE PAINTED WITH ONE (1) SHOP COAT OF PRIMER AND ONE (1) SHOP COAT OF INTERMEDIATE AND ONE (1) SHOP COAT (OR ROLLED FIELD COAT) OF FINISH TOP COAT IN COMPLIANCE WITH THE REQUIREMENTS AS PER NJ DOT STANDARD SPECIFICATIONS.
- PLANTS - NATIVE PLANTS ARE DETERMINED AS LISTED BY THE NATIVE PLANT SOCIETY OF NEW JERSEY, SPECIFIC TO HUDSON COUNTY. ADDITIONAL PLANTS NOT LISTED BUT DETERMINED TO BE NATIVE SHALL BE CONSIDERED SUBJECT TO THE WRITTEN CERTIFICATION OF A LICENSED LANDSCAPE ARCHITECT



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MIN W. KIL  
Registered Architect, NJ LIC 21 A1096300

PROPOSED  
ADDITION &  
RENOVATION  
OF EXISTING  
FOUR FAMILY  
DWELLING

ADDRESS:  
81 SHERMAN  
AVENUE  
JERSEY CITY,  
NEW JERSEY

BLOCK: 4406  
LOT: 12

FOR:

REVISIONS:  
PLANNING BOARD 05.18.2022  
SUBMISSION  
PLAN REVIEW 06.03.2022

DRAWN BY: MK  
CHKD BY: MK  
ISSUE DATE: 05.14.2022  
PROJECT NO.: 22018

SHEET TITLE:  
PROPOSED STREET TREE  
SITE DETAILS & NOTES

SHEET NO.  
C-3

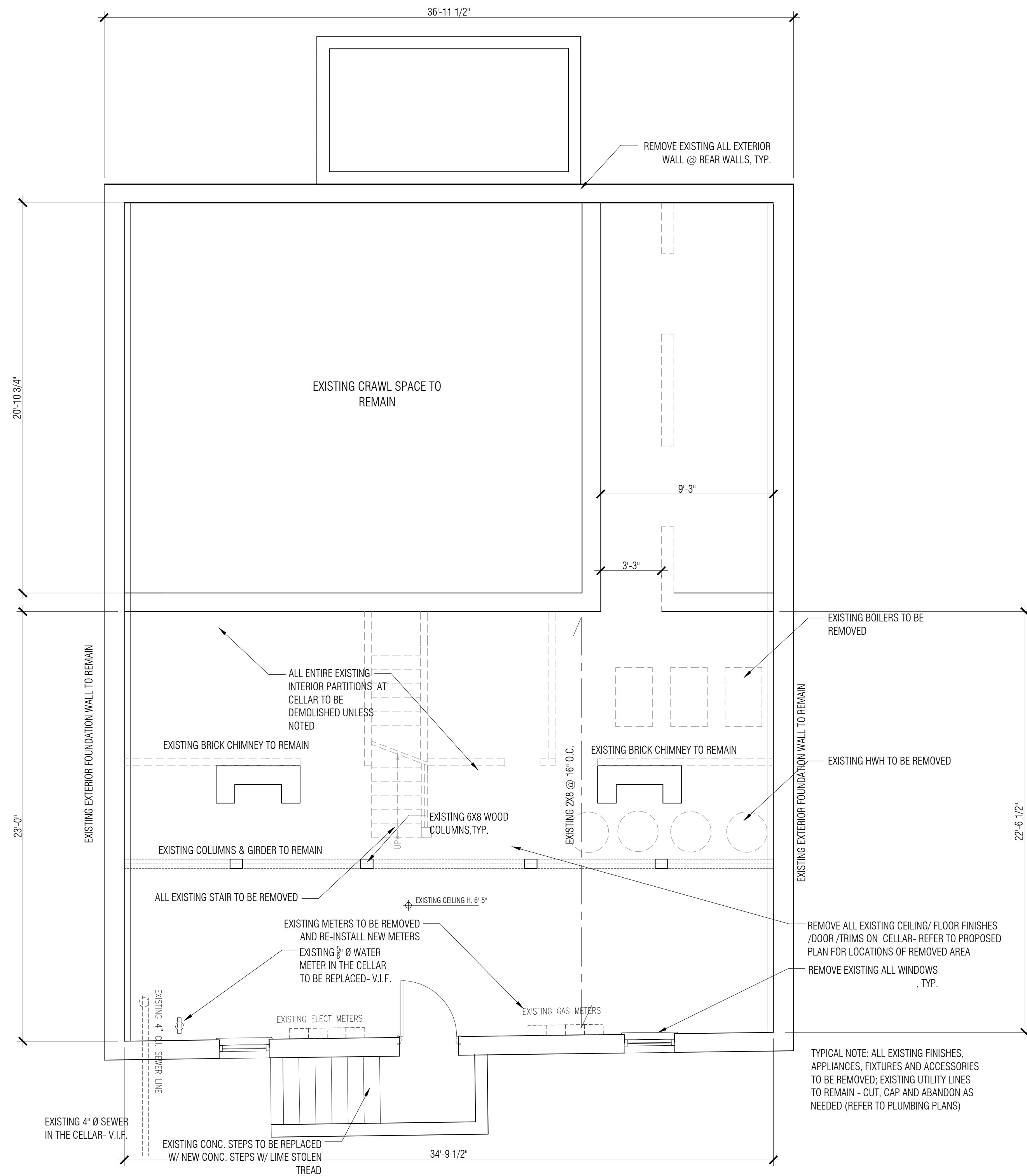


**DEMOLITION NOTES:**

1. CONFORM TO APPLICABLE CODE FOR ANY DEMOLITION WORK, DUST CONTROL AND PRODUCTS REQUIRING ELECTRICAL DISCONNECTION.
2. OBTAIN REQUIRED PERMITS FROM AUTHORITIES AND DISPOSE OF ALL MATERIALS IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS OF PUBLIC AGENCIES HAVING JURISDICTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE METHODS, MEANS AND DESTINATION OF ALL OFF-SITE DISPOSAL.
4. DO NOT CLOSE OR OBSTRUCT EGRESS WIDTH TO ANY BUILDING OR SITE EXIT.
5. PROVIDE, ERECT AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES.
6. NOTIFY AFFECTED UTILITY COMPANIES.
7. CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT STRUCTURES.
8. OBTAIN WRITTEN PERMISSION FROM ADJACENT PROPERTY OWNERS WHEN DEMOLITION EQUIPMENT WILL TRAVERSE, INFRINGE UPON OR LIMIT ACCESS TO THEIR PROPERTY.
9. SPRINKLE WORK WITH WATER TO MINIMIZE DUST. PROVIDE HOSES AND WATER CONNECTIONS FOR THIS PURPOSE.
10. DO NOT BURN OR BURY MATERIALS ON SITE. LEAVE SITE IN CLEAN CONDITION.
11. CONTRACTOR IS TO DESCRIBE DEMOLITION REMOVAL PROCEDURES AND SCHEDULE OF WORK.
12. CONTRACTOR IS TO CONTACT ARCHITECT/ENGINEER BEFORE REMOVAL OF ANY EXISTING WALL OR FOUNDATION IN WHICH CONTRACTOR IS UNSURE OF.
13. DISCONNECT, REMOVE OR CAP AND IDENTIFY DESIGNATED UTILITIES WITHIN DEMOLITION AREAS.
14. ERECT AND MAINTAIN WEATHERPROOF CLOSURES FOR EXTERIOR OPENINGS IF REPLACEMENT WILL NOT BE INSTALLED SIMULTANEOUSLY WITH THE REMOVAL OF EXISTING WORK.

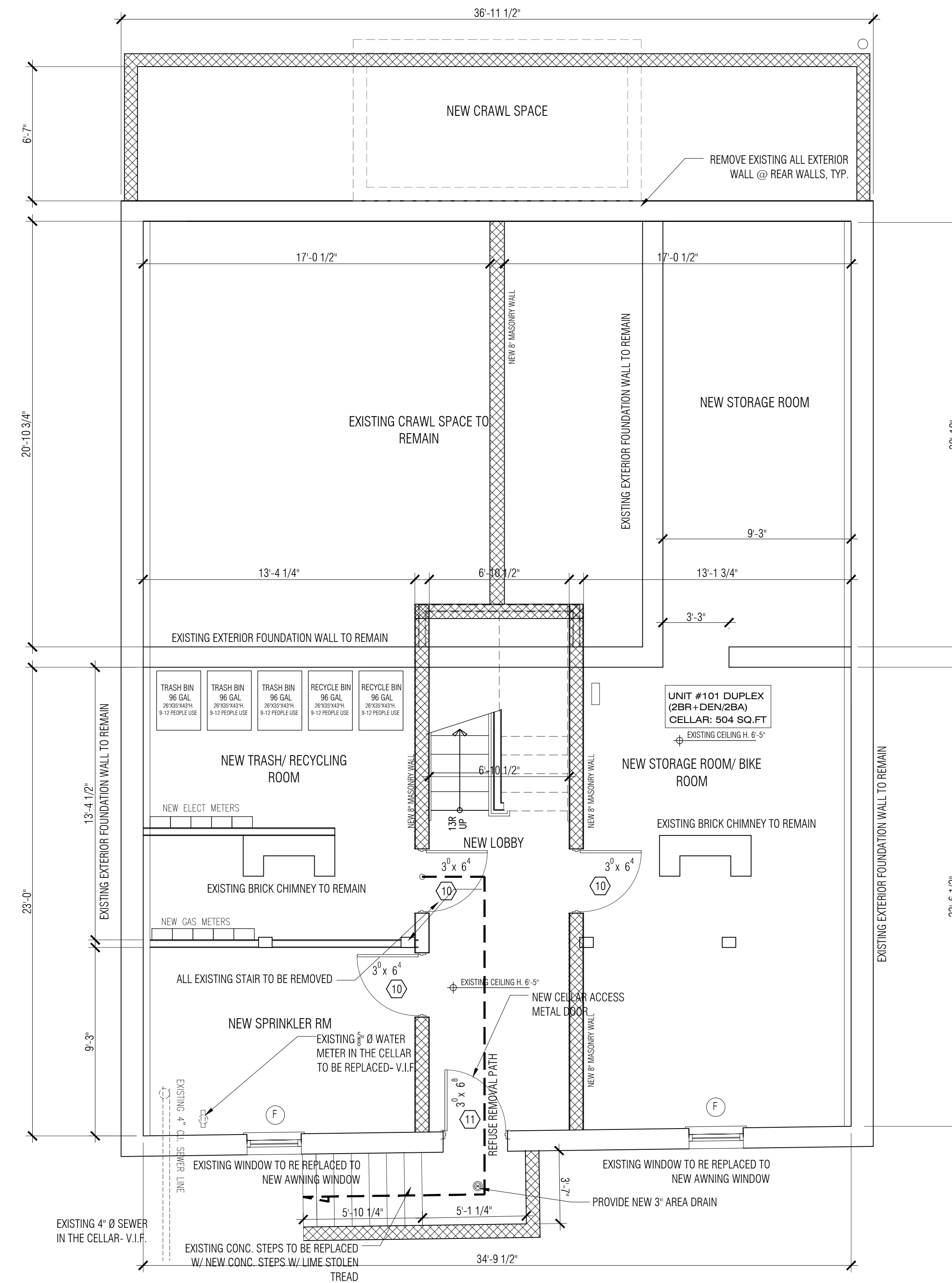
**PARTITION & WALL TYPES**

----- EXISTING WALL TO BE REMOVED



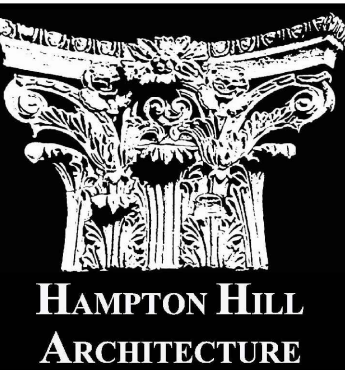
**1 EXISTING CELLAR PLAN W/ DEMOLITION NOTES**  
SCALE: 1/4" = 1'-0"

GROSS FLOOR AREA: 1,134 SF



**2 PROPOSED CELLAR PLAN**  
SCALE: 1/4" = 1'-0"

GROSS FLOOR AREA: 1,134 SF



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**PROPOSED ADDITION & RENOVATION OF EXISTING FOUR FAMILY DWELLING**

ADDRESS:  
81 SHERMAN AVENUE  
JERSEY CITY,  
NEW JERSEY

BLOCK: 4406  
LOT: 12

FOR:

REVISIONS:

DRAWN BY: MK  
CHKD BY: MK  
ISSUE DATE: 10.07.2022  
PROJECT NO: 22018

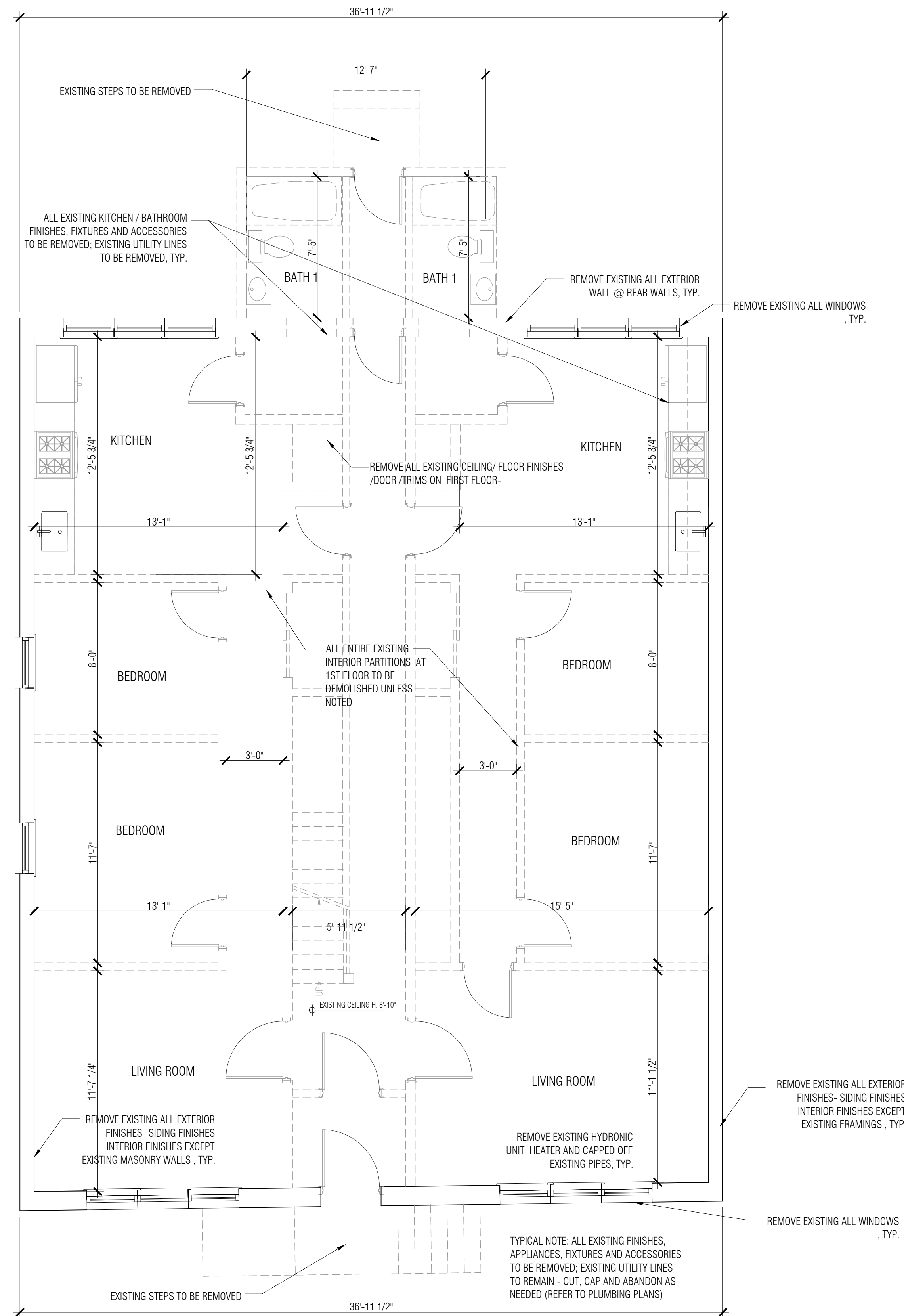
SHEET TITLE:  
EXISTING CELLAR PLAN & PROPOSED CELLAR PLAN

SHEET No. **A-0**

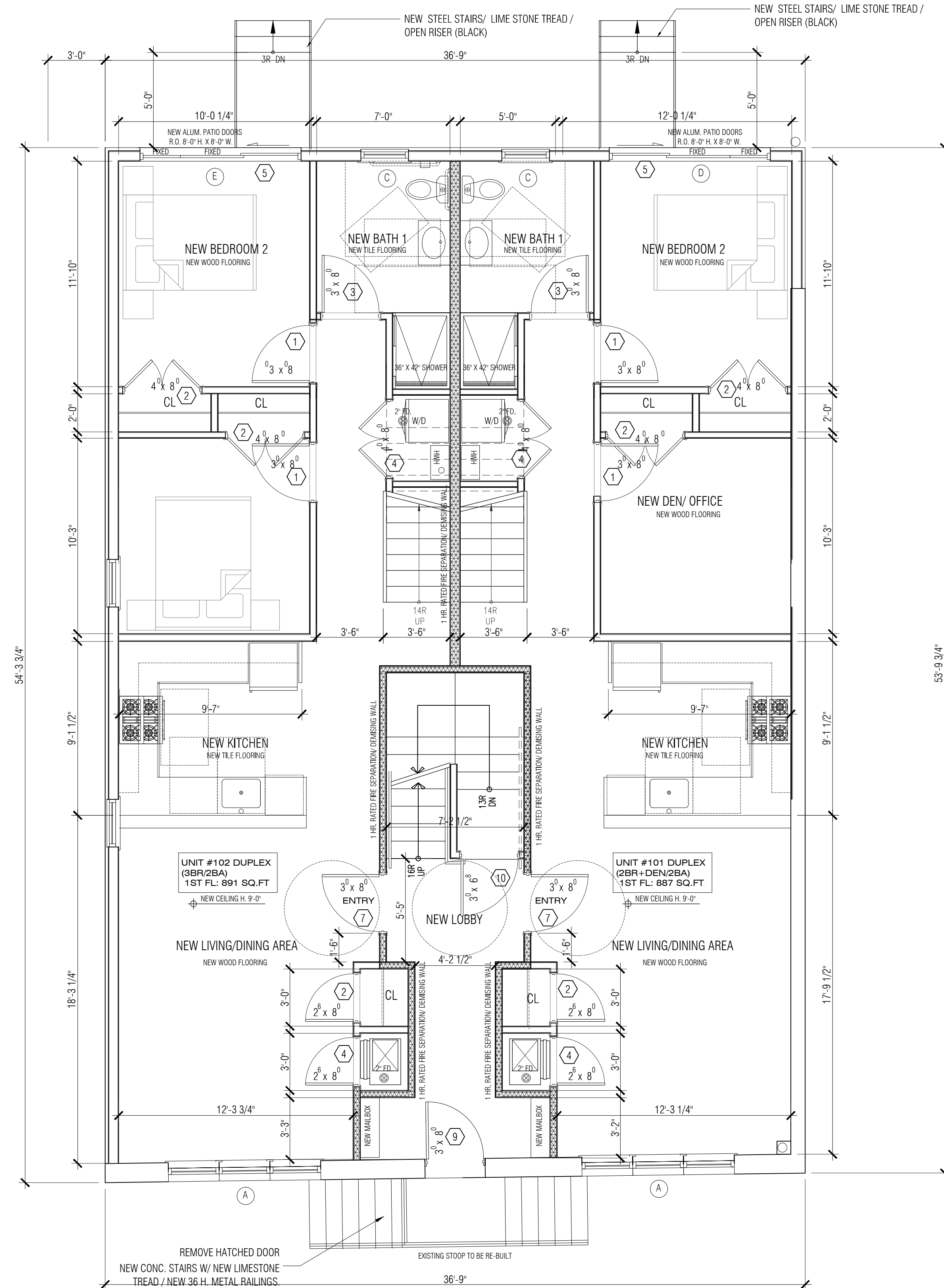


PARTITION & WALL TYPES

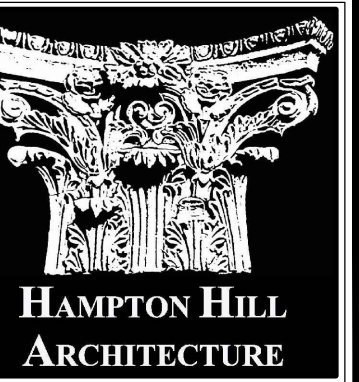
----- EXISTING WALL TO BE REMOVED



1 EXISTING 1ST FLOOR PLAN W/ DEMOLITION NOTES  
SCALE: 1/4" = 1'-0"



2 PROPOSED 1ST FLOOR PLAN  
SCALE: 1/4" = 1'-0" GROSS FLOOR AREA: 1,987 SF

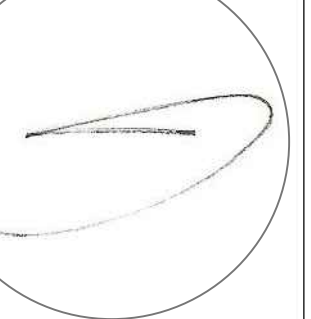


**HAMPTON HILL ARCHITECTURE**

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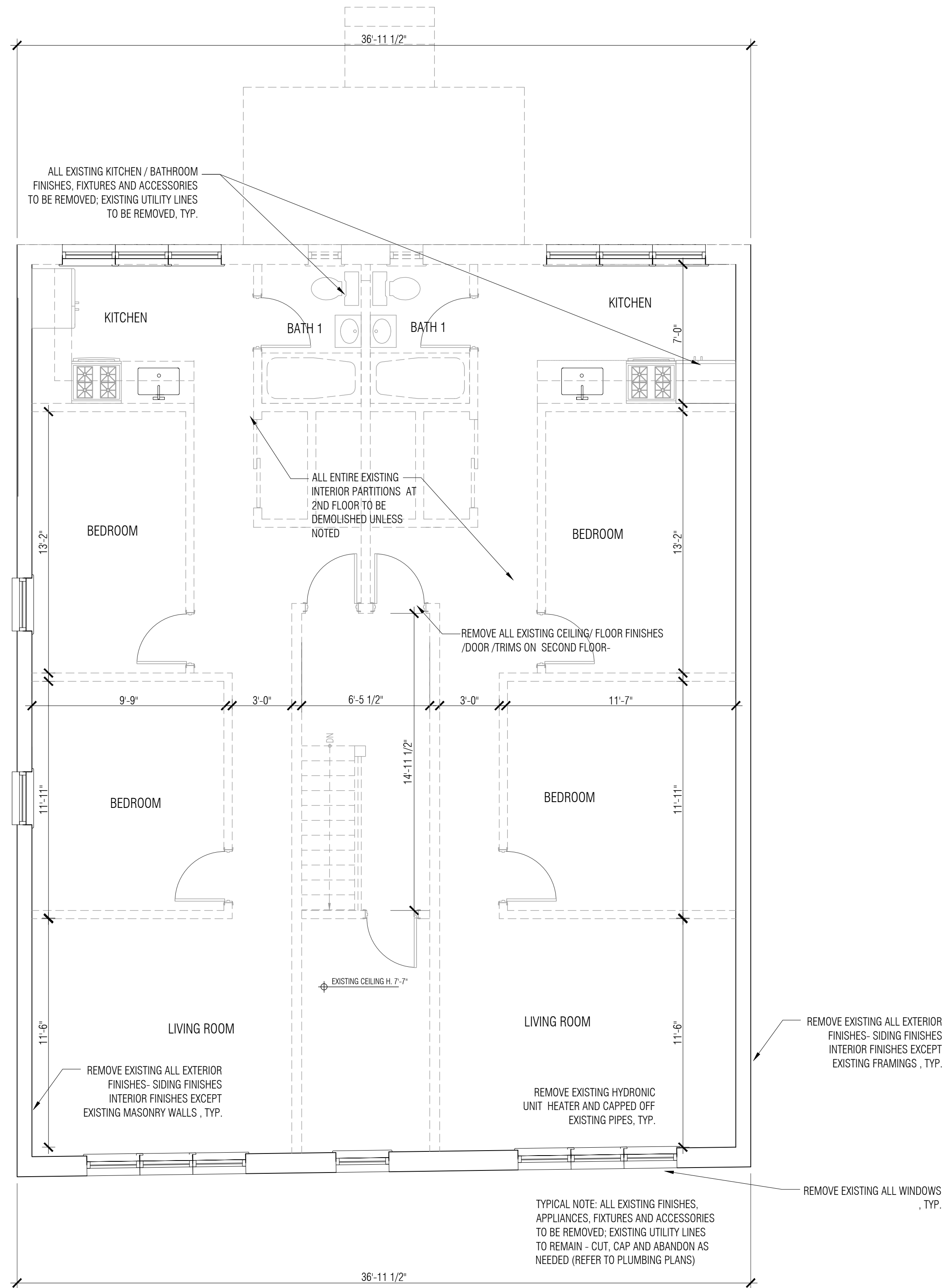
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EXISTING FLOOR PLAN & PROPOSED FLOOR PLAN

SHEET No. A-1

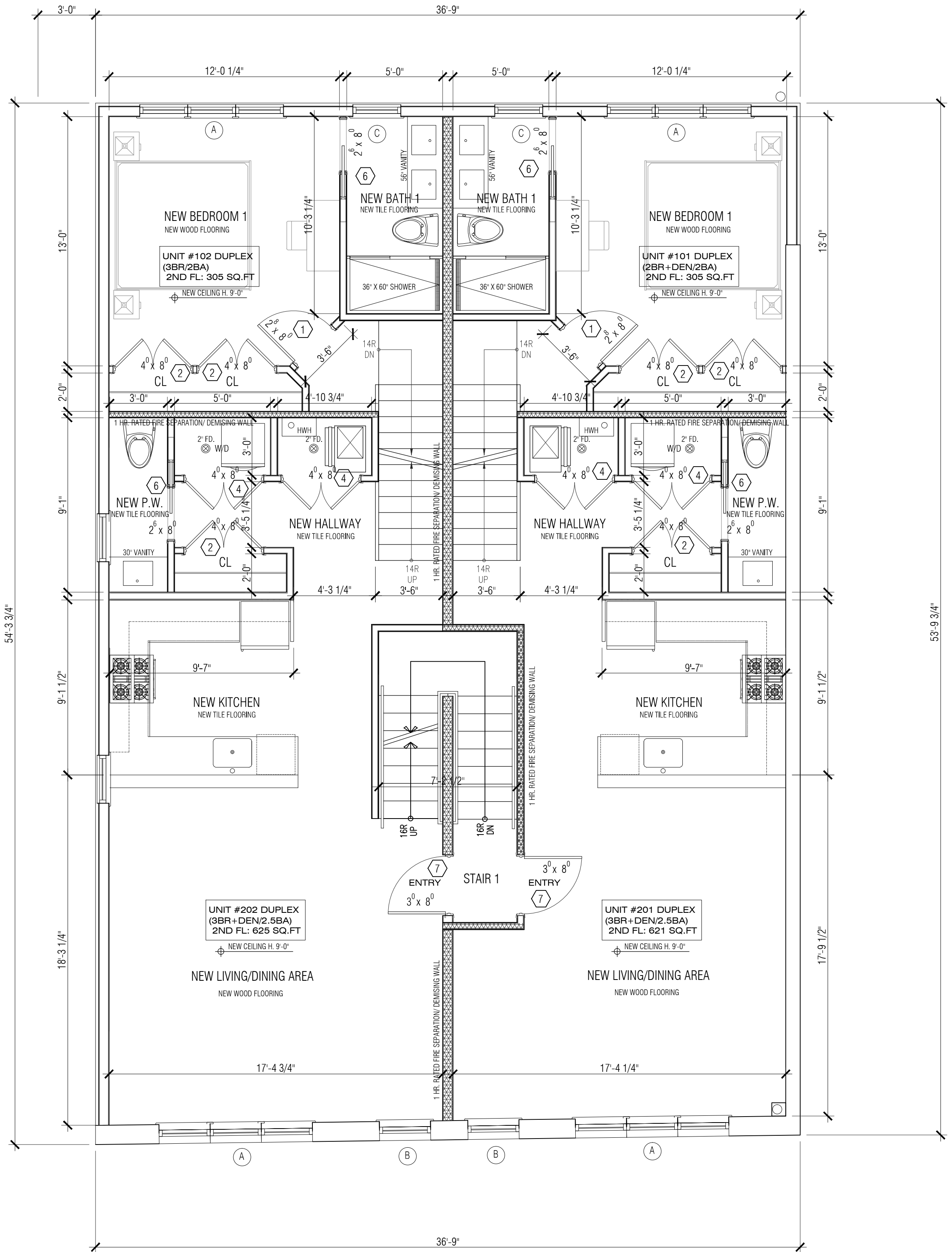


**PARTITION & WALL TYPES**

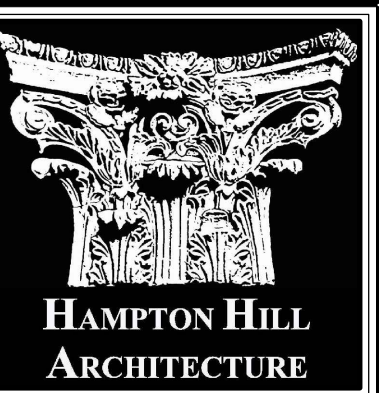
- 
**EXIST. 2HR. RATED EXTERIOR WALL:**  
 EXIST. EXT. MASONRY WALL TO REMAIN, EXIST. WOOD FURRING TO BE MOVED AND PROVIDE NEW 3-1/2" WOOD FURRING W/ R-15 FIBERGLASS BATT INSULATION, 1/2" GYPSUM BOARD INSIDE.
- 
**NEW UN-RATED INTERIOR FRAME WALL:**  
 NEW 2" X 4" WOOD STUD @ 16" O.C. W/ NEW 1/2" TH. GYPSUM BOARD EACH SIDE.
- 
**NEW 1HR-RATED INTERIOR DEMISING WALL (LOAD-BEARING OR NON-LOAD BEARING) UL#U311:**  
 NEW 2" X 4" / 2" X 6" WOOD STUD W/ NEW F.R. 5/8" TH. GYPSUM BOARD EACH SIDE W/ SOUND BATT INSULATION. S
- 
**NEW 1-HR. RATED EXTERIOR FRAME WALL (UL# U305) @ FRONT & REAR:**  
 NEW 2" X 6" WOOD STUD @ 16" O.C. W/ R-21 FIBERGLASS BATT INSULATION; 5/8" F.R. GYPSUM BOARD TYPE INSIDE, INSTALL 7/16" OSB SHEATHING, BLUE SKIN VAPOR BARRIER OVER THE SURFACE OVER SHEATHING; EXTERIOR FINISH (COORDINATE WITH ARCHITECTURAL ELEVATIONS)
- 
**NEW 1-HR. RATED EXTERIOR FRAME WALL (UL# U305) @ SIDE:**  
 NEW 2" X 6" WOOD STUD @ 16" O.C. W/ R-21 FIBERGLASS BATT INSULATION; 5/8" F.R. GYPSUM BOARD TYPE INSIDE, INSTALL 7/16" OSB SHEATHING, BLUE SKIN VAPOR BARRIER OVER THE SURFACE OVER 3/4" F.R. DENSGLASS SHEATHING; EXTERIOR FINISH (COORDINATE WITH ARCHITECTURAL ELEVATIONS)



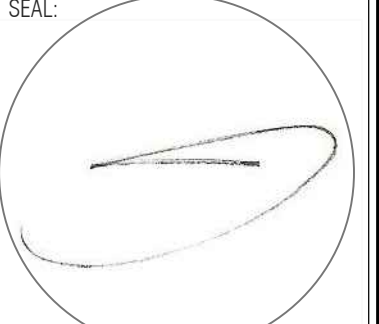
**1 EXISTING 2ND FLOOR PLAN W/ DEMOLITION NOTES**  
SCALE: 1/4" = 1'-0"



**2 PROPOSED 2ND FLOOR PLAN**  
SCALE: 1/4" = 1'-0" GROSS FLOOR AREA: 1,987 SF



**HAMPTON HILL ARCHITECTURE**  
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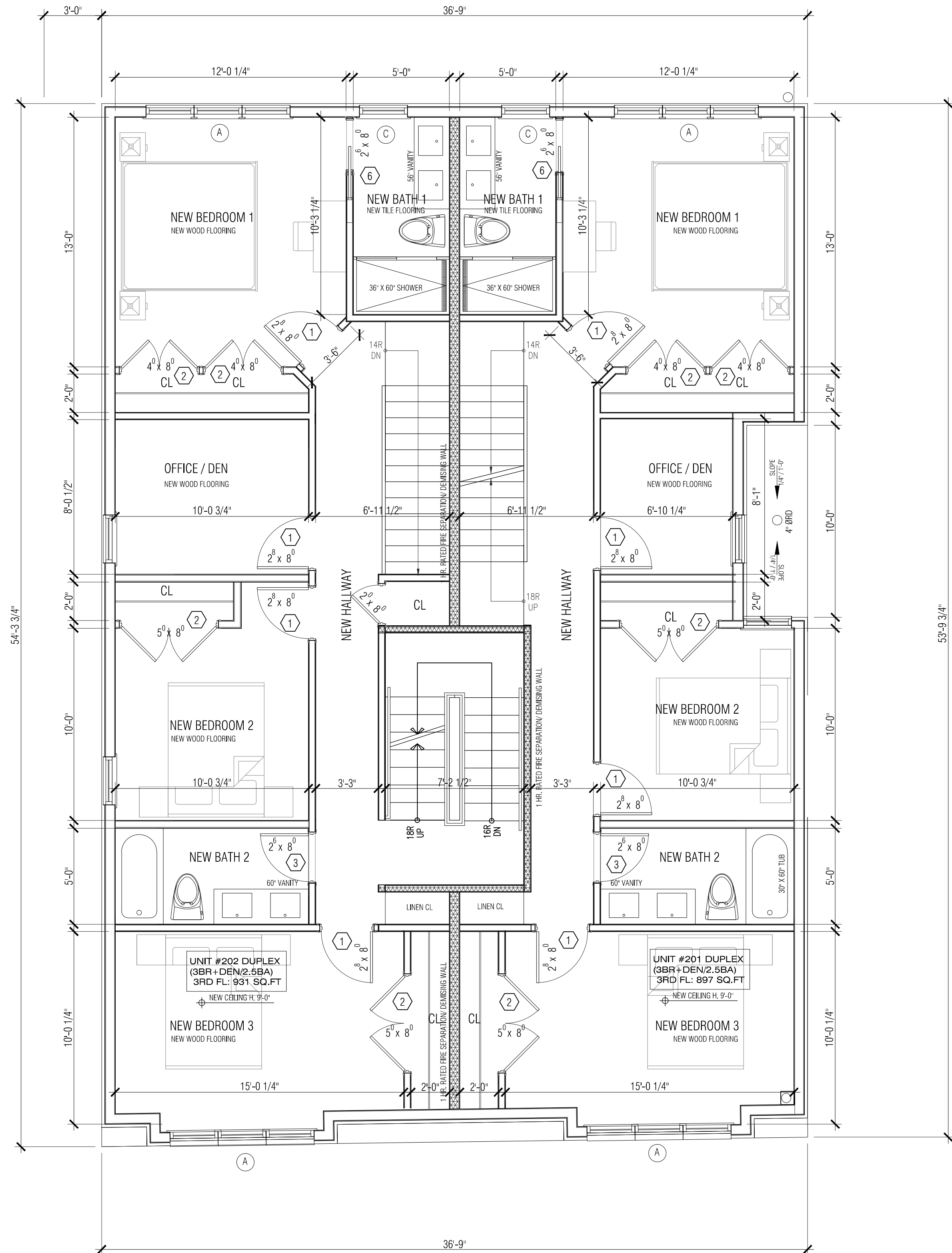
SHEET TITLE:  
EXISTING FLOOR PLAN & PROPOSED FLOOR PLAN

SHEET No. **A-2**

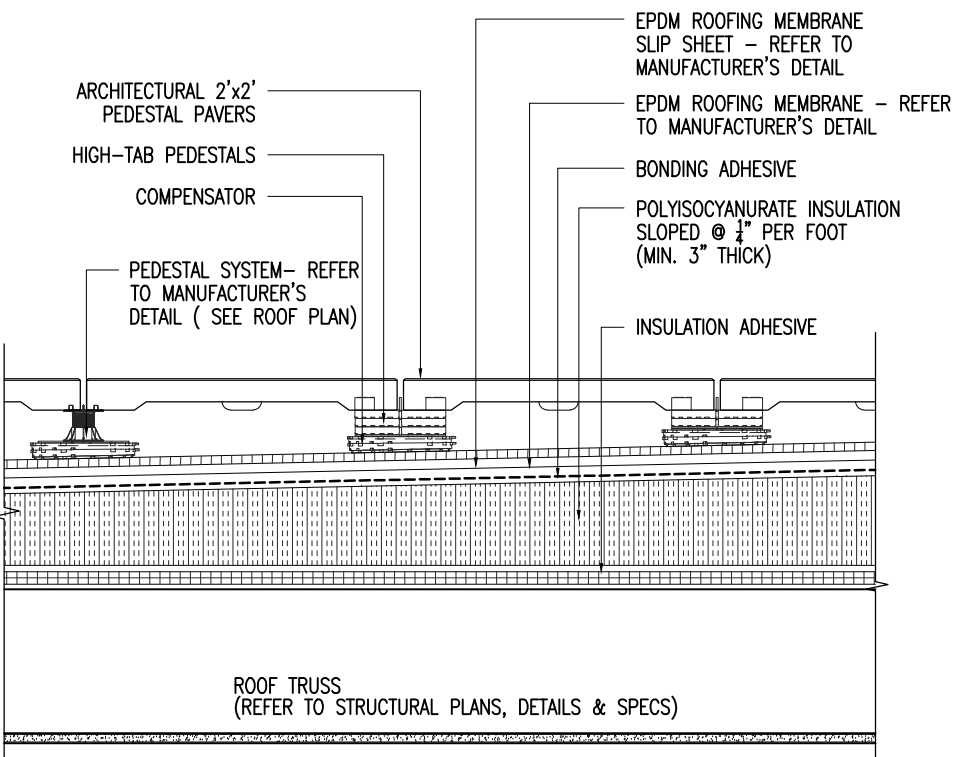
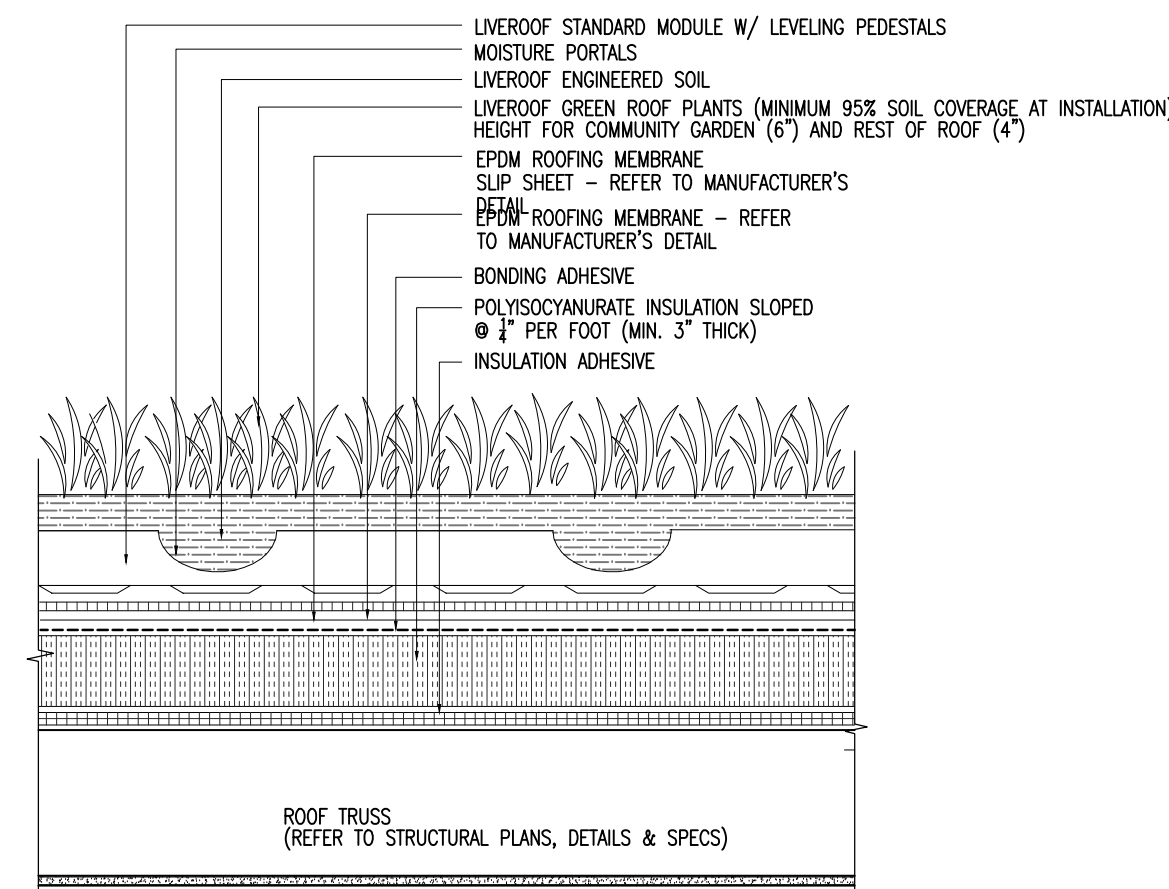


**PARTITION & WALL TYPES**

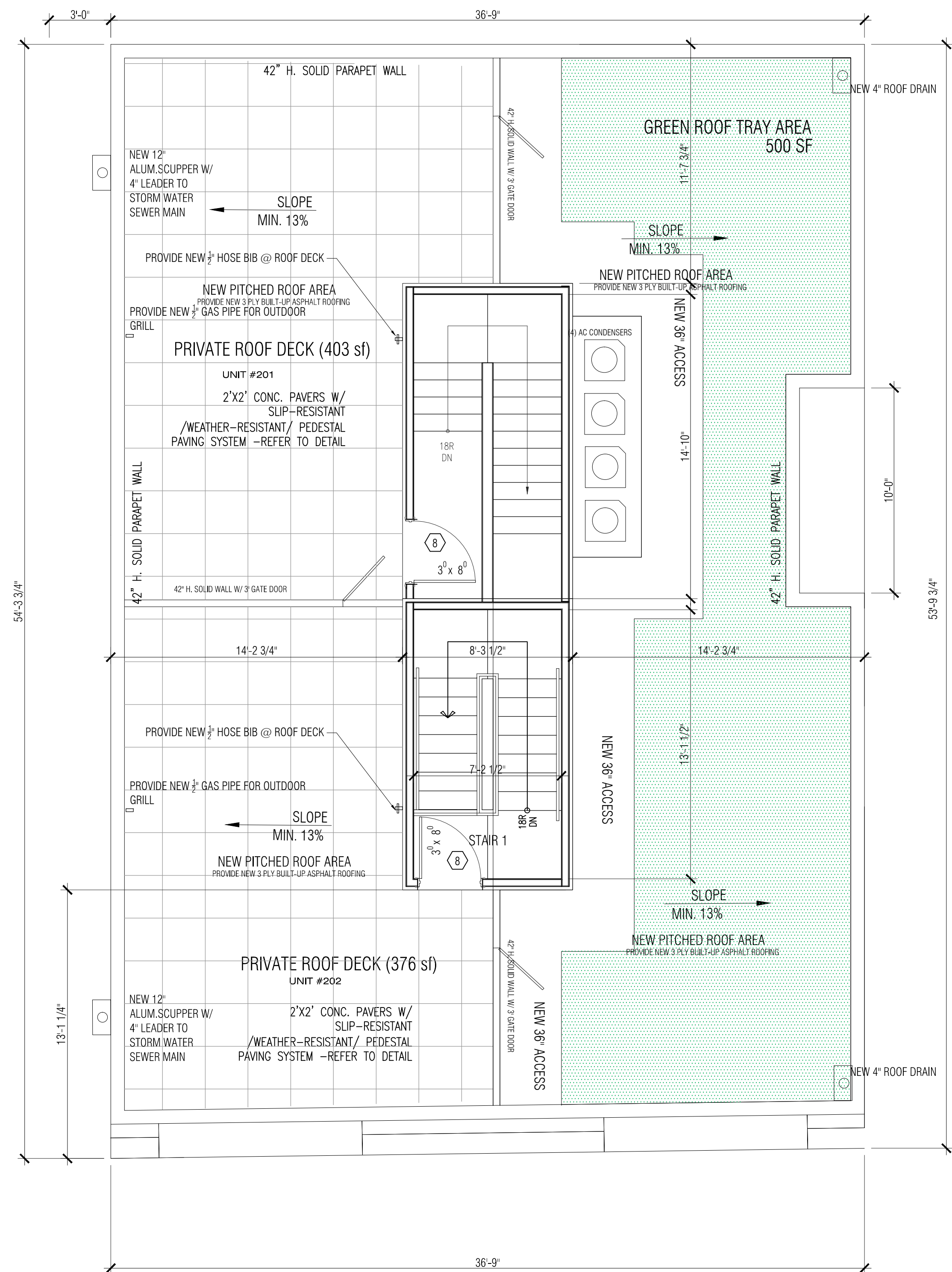
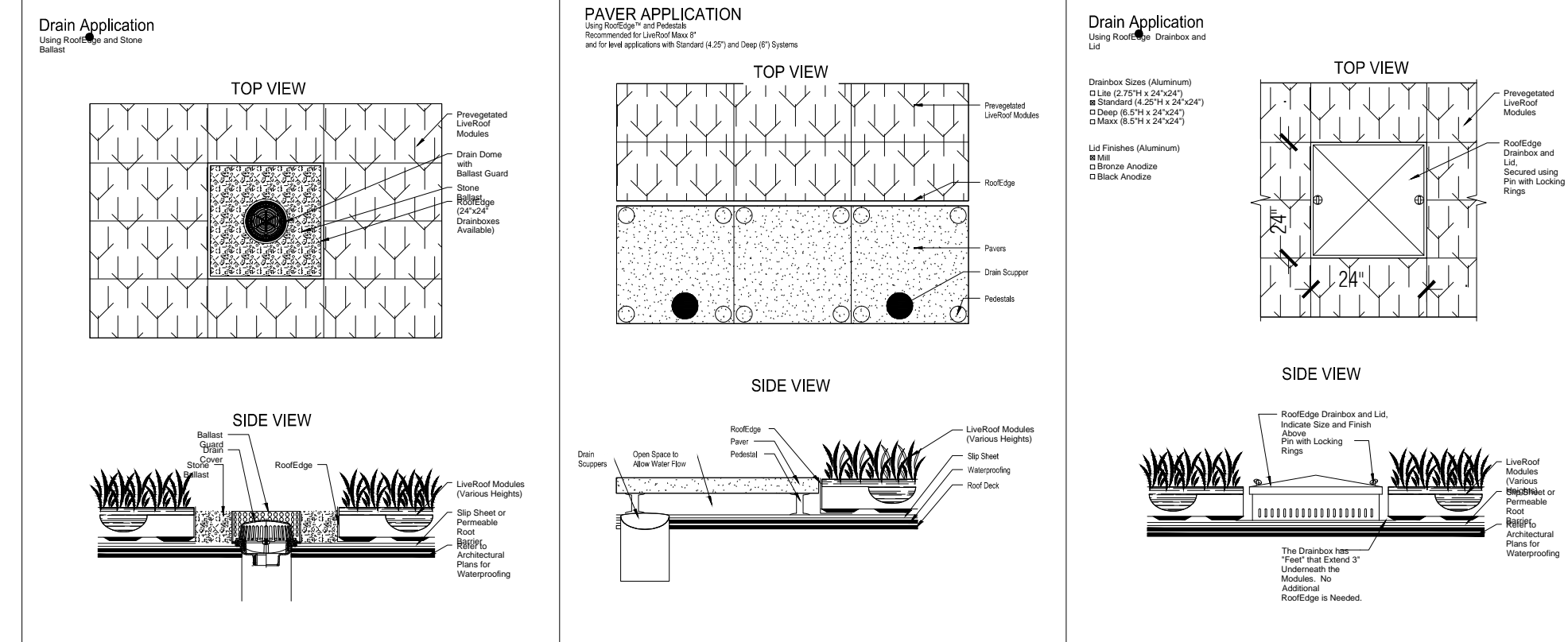
- EXIST. 2HR. RATED EXTERIOR WALL:
- EXIST. EXT. MASONRY WALL TO REMAIN, EXIST. WOOD FURRING TO BE MOVED AND PROVIDE NEW 3-1/2" WOOD FURRING W/ R-15 FIBERGLASS BATT INSULATION, 1/2" GYPSUM BOARD INSIDE.
- NEW UN-RATED INTERIOR FRAME PARTITION: NEW 2" X 4" WOOD STUD @ 16" O.C. W/ NEW 1/2" TH GYPSUM BOARD EACH SIDE.
- NEW 1HR-RATED INTERIOR DEMISING WALL (LOAD-BEARING OR NON-LOAD BEARING) UL#U131: NEW 2" X 4" / 2" X 6" WOOD STUD W/ NEW F.R. 5/8" TH GYPSUM BOARD EACH SIDE W/ SOUND BATT INSULATION. S
- NEW 1-HR. RATED EXTERIOR FRAME WALL (UL# U305) @ FRONT & REAR: NEW 2" X 6" WOOD STUD @ 16" O.C. W/ R-21 FIBERGLASS BATT INSULATION; 5/8" F.R. GYPSUM BOARD TYPE INSIDE. INSTALL 7/16" OSB SHEATHING, BLUE SKIN VAPOR BARRIER OVER THE SURFACE OVER SHEATHING; EXTERIOR FINISH (COORDINATE WITH ARCHITECTURAL ELEVATIONS)
- NEW 1-HR. RATED EXTERIOR FRAME WALL (UL# U305) @ SIDE: NEW 2" X 6" WOOD STUD @ 16" O.C. W/ R-21 FIBERGLASS BATT INSULATION; 5/8" F.R. GYPSUM BOARD TYPE INSIDE. INSTALL 7/16" OSB SHEATHING, BLUE SKIN VAPOR BARRIER OVER THE SURFACE OVER 1/2" F.R. DENGGLASS SHEATHING; EXTERIOR FINISH (COORDINATE WITH ARCHITECTURAL ELEVATIONS)



1 PROPOSED 3RD FLOOR PLAN  
SCALE: 1/4" = 1'-0" GROSS FLOOR AREA: 1,935 SF



TYPICAL FLOOR/CEILING ASSEMBLY AT GREEN ROOF PAVERS  
N.T.S.



2 PROPOSED ROOF PLAN  
SCALE: 1/4" = 1'-0"



SEAL:  
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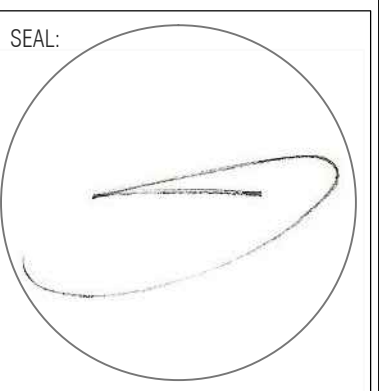
REVISIONS:

DRAWN BY: MK  
CHKD BY: MK  
ISSUE DATE: 10.07.2022  
PROJECT NO: 22018

SHEET TITLE:  
PROPOSED FLOOR PLANS

SHEET No.  
A-3





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 PROJECT NO: 22018

SHEET TITLE:  
 PROPOSED ELEVATIONS

SHEET No. **A-4**



**1 PROPOSED FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"

**2 PROPOSED REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"

TOP OF STAIR ROOF  
 1'-0"

TOP OF PARAPET  
 8'-0"

TOP OF PITCHED ROOF ROOF DECK  
 3'-6"

1'-0"

9'-0"

3RD FLOOR  
 1'-0"

9'-0"

2ND FLOOR  
 9'-0"

1ST FLOOR  
 9'-0"

35'-0"

PROPERTY LINE

4" EXPOSURE ALUMINUM COPING: WHITE

NEW STAIR BULKHEAD: ASPHALT ROOFING / CERTAINTED 10" VINYL PANEL AND 2" BATTEN SIDING, TYP. / COLOR: WHITE

PROPERTY LINE

NEW 12" ALUM. SCUPPER W/ 4" LEADER TO STORM WATER SEWER MAIN

8" EXPOSURE ALUMINUM COPING: DARK GRAY

NEW 3RD FL. ADDITION BAYS: NEW METAL PANELS, TYP. / COLOR: DARK GRAY

NEW 3RD FL. ADDITION WALLS: NEW METAL SEALED ROOFING, TYP. / COLOR: DARK GRAY

NEW MIN. 13% SLOPE OF PITCHED ROOF

NEW FIBREX COMPOSITE MATERIAL FRAMED CASEMENT WINDOWS (BLACK) (TYP.)

PROVIDE NEW WOOD FRAMING 16" H. CORNICE WRAPPED WITH METAL PANELS. / COLOR: DARK GRAY

PROPERTY LINE

ADJACENT 12 STORY BUILDING

2" METAL WRAPPED CASING AROUND THE WINDOW OPENING W/ 6" EXTRUSION, TYP.

NEW FIBREX COMPOSITE MATERIAL FRAMED CASEMENT WINDOWS (BLACK) (TYP.)

NEW FIBER CEMENT PANELS - COLOR: DARK GRAY, TYP.

NEW 7" EXPOSURE HORIZONTAL FIBER CEMENT SIDING - COLOR: OFF-WHITE, TYP.

NEW METAL WRAPPED 4' DEEP CANOPY - REFER TO MANUFACTURER'S DETAILS FOR INSTALLATION

NEW FIBREX COMPOSITE MATERIAL FRAMED CASEMENT WINDOWS (BLACK) (TYP.)

NEW 3' W. X 8' H. INSUL. METAL ENTRY DOOR & TRIMS W/ WIDE HALF-TRANSPARENCY GLASS PANEL, (COLOR: BLACK)

WALL MOUNTED ENTRANCE LIGHTING

33" H. CAST STONE PANEL BASE (LIGHT GRAY)

REMOVE HATCHED DOOR

NEW CONC. STAIRS W/ NEW LIMESTONE TREAD / NEW 36 H. METAL RAILINGS.

NEW 8" H. X 2" DEEP BRUSHED FINISHED ALUM. BUILDING ADDRESS SIGNAGE LETTERS MOUNTED ON WALL (SIGN TO BE LIT FROM BACKLIT HALO), TYP. (SILVER)

RE-BUILD EXISTING BRICK STEPS - (STONE PANEL W/ GRAY MORTAR / COLOR: OFF-WHITE)

NEW 36" H. ALUM RAILINGS WITH POSTS

PROPERTY LINE

4" EXPOSURE ALUMINUM COPING: WHITE

NEW STAIR BULKHEAD: ASPHALT ROOFING / CERTAINTED 10" VINYL PANEL AND 2" BATTEN SIDING, TYP. / COLOR: WHITE

PROPERTY LINE

4" EXPOSURE ALUMINUM COPING (BLACK)

VINYL LAP SIDING: DARK GRAY, TYP.

PROPERTY LINE

NEW FIBREX COMPOSITE MATERIAL FRAMED CASEMENT WINDOWS (BLACK) (TYP.)

NEW FIBREX COMPOSITE MATERIAL FRAMED CASEMENT WINDOWS (BLACK) (TYP.)

VINYL LAP SIDING: DARK GRAY, TYP.

ANDERSEN FIBREX COMPOSITE MATERIAL FRAMED GLIDING PATIO DOOR 100 SERIES 8'-0" H. X 6'-0" W. W/ 24" FIXED UNIT (COLOR: BLACK)

NEW 42" H. RAILING & POST SYSTEM W/ 42" H. METAL RAILINGS, TYP. / 5" DEEP DECK WRAPPED WITH METAL COPING & PANELS W/ TREX DECK TILES (COLOR: DARK GRAY)

NEW CEMENT STUCCO ON MASONRY BLOCK WALL (GRAY)

NEW STEEL STAIRS/ LIME STONE TREAD / OPEN RISER (BLACK)

PROPERTY LINE

4" EXPOSURE ALUMINUM COPING: WHITE

NEW STAIR BULKHEAD: ASPHALT ROOFING / CERTAINTED 10" VINYL PANEL AND 2" BATTEN SIDING, TYP. / COLOR: WHITE

PROPERTY LINE

4" EXPOSURE ALUMINUM COPING (BLACK)

VINYL LAP SIDING: DARK GRAY, TYP.

PROPERTY LINE

NEW FIBREX COMPOSITE MATERIAL FRAMED CASEMENT WINDOWS (BLACK) (TYP.)

NEW FIBREX COMPOSITE MATERIAL FRAMED CASEMENT WINDOWS (BLACK) (TYP.)

VINYL LAP SIDING: DARK GRAY, TYP.

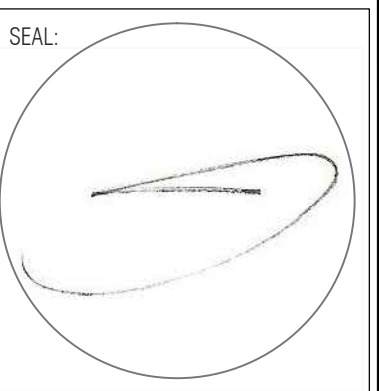
ANDERSEN FIBREX COMPOSITE MATERIAL FRAMED GLIDING PATIO DOOR 100 SERIES 8'-0" H. X 6'-0" W. W/ 24" FIXED UNIT (COLOR: BLACK)

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NEW CEMENT STUCCO ON MASONRY BLOCK WALL (GRAY)

NEW STEEL STAIRS/ LIME STONE TREAD / OPEN RISER (BLACK)





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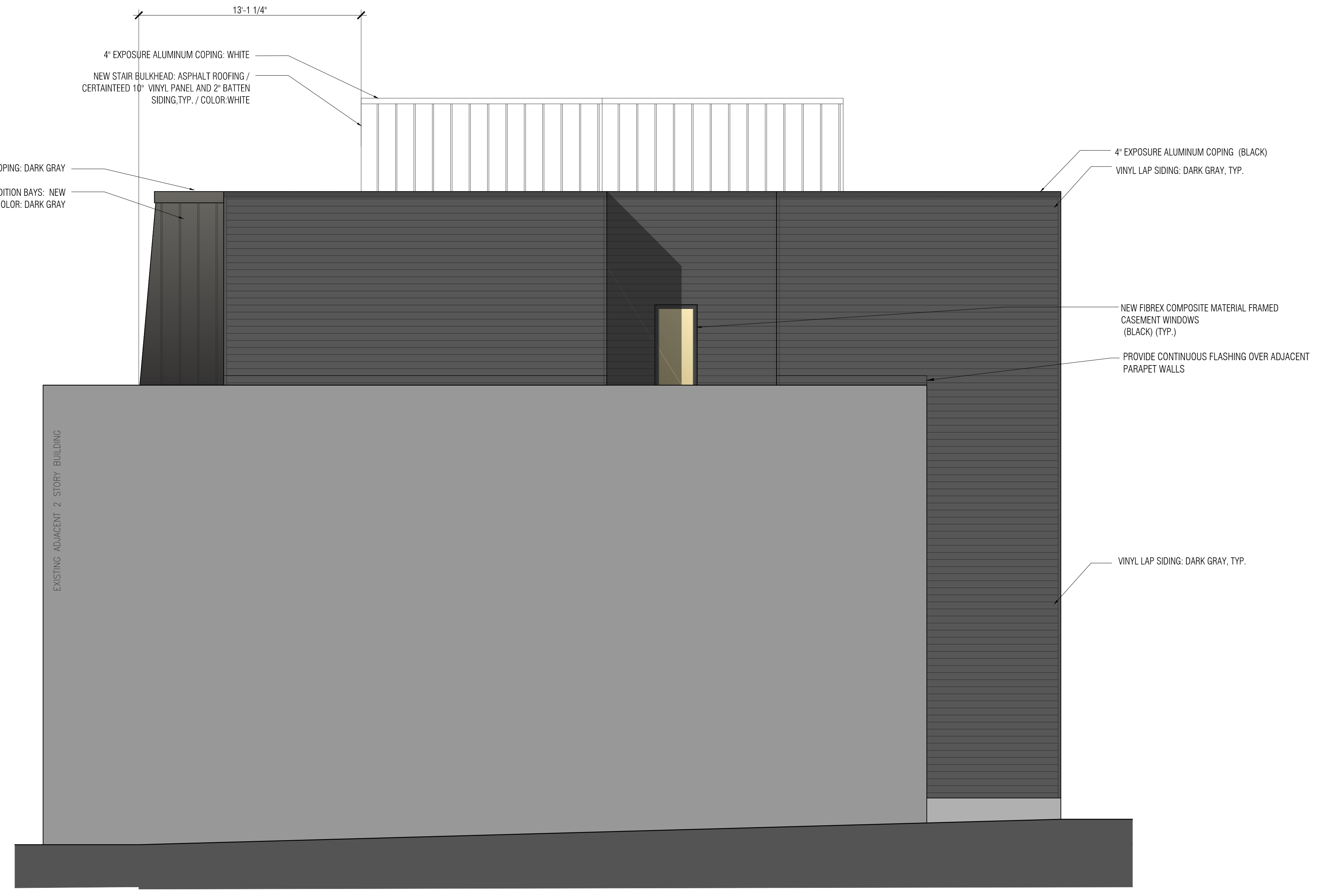
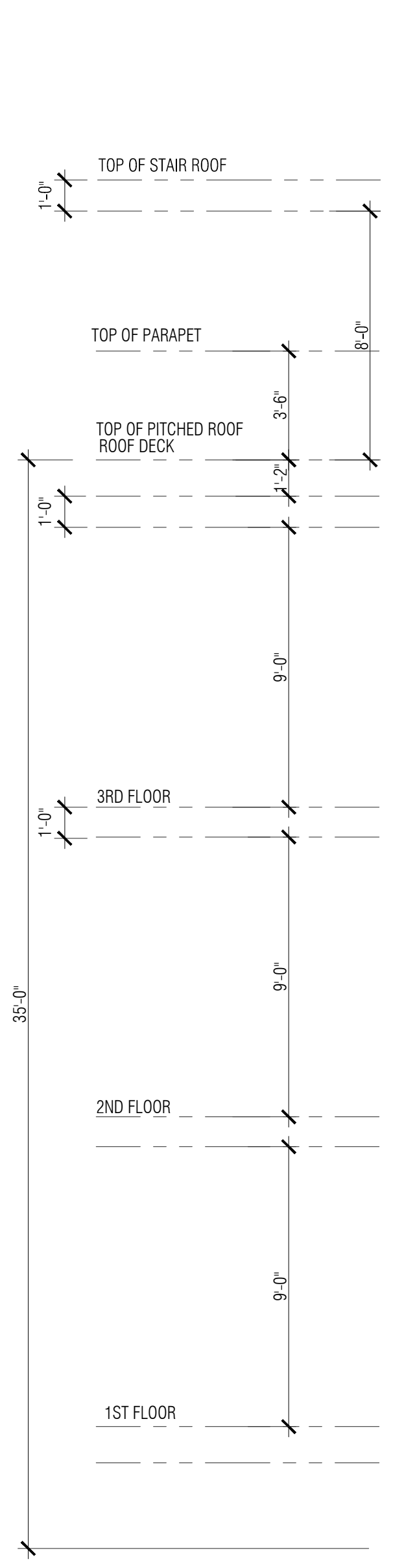
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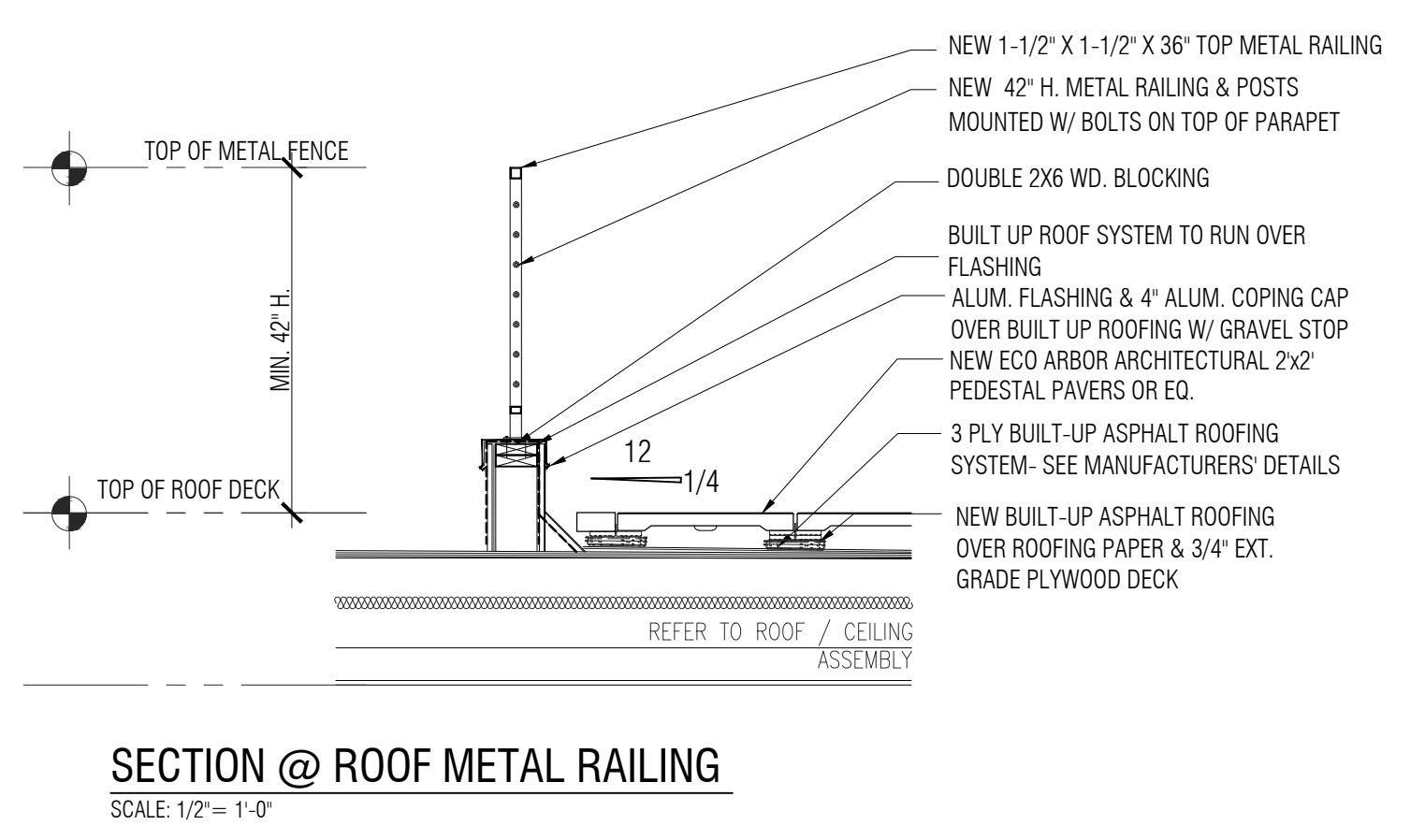
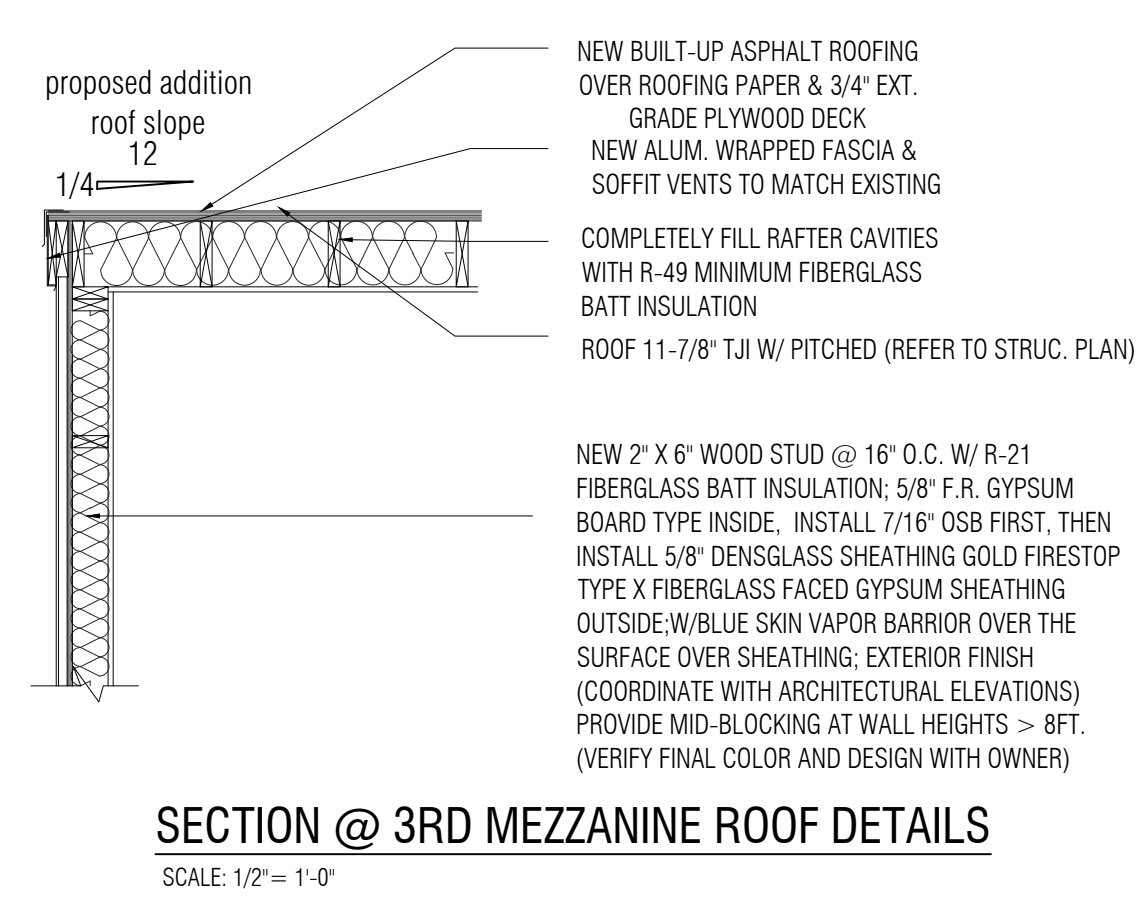
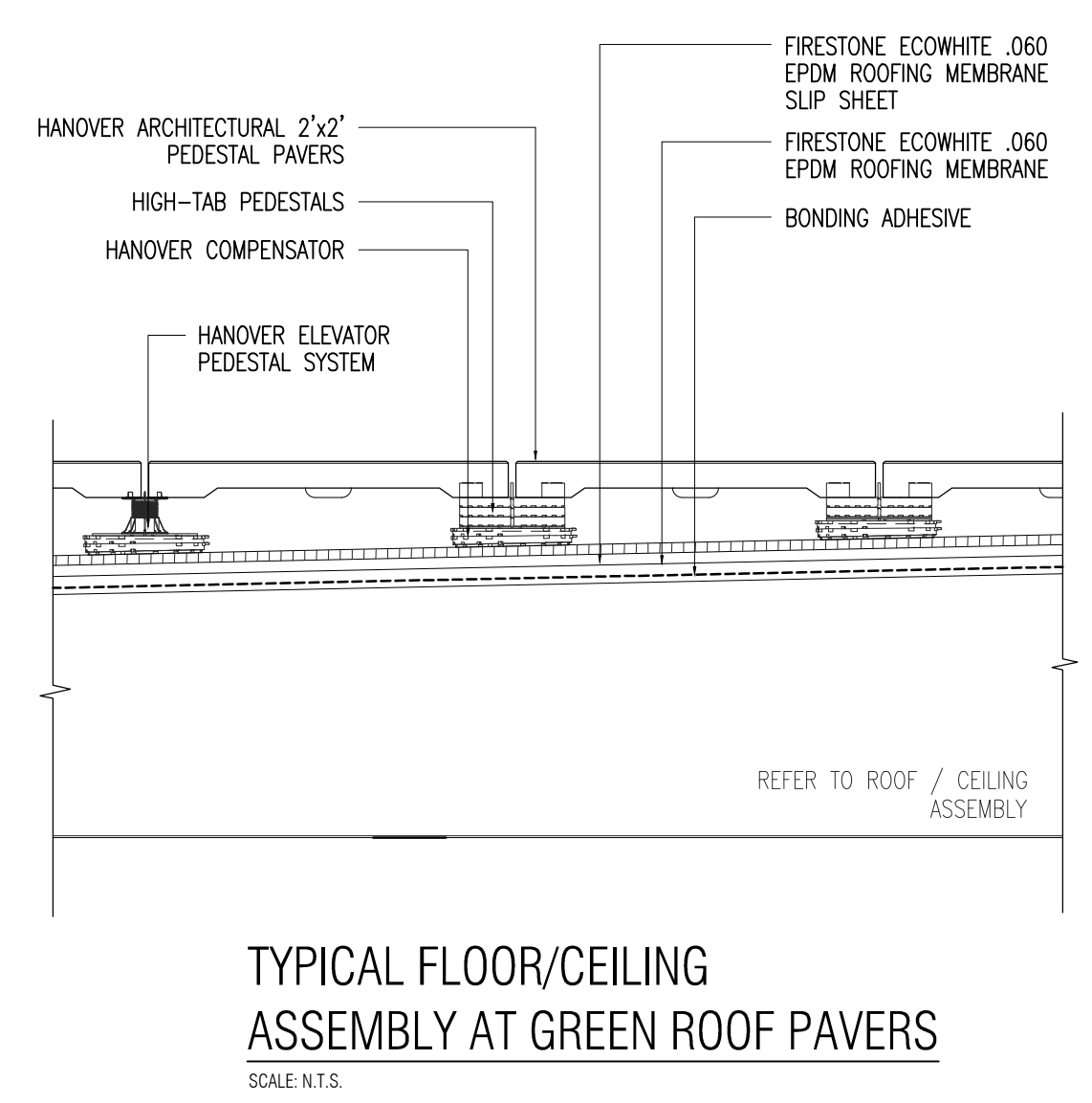
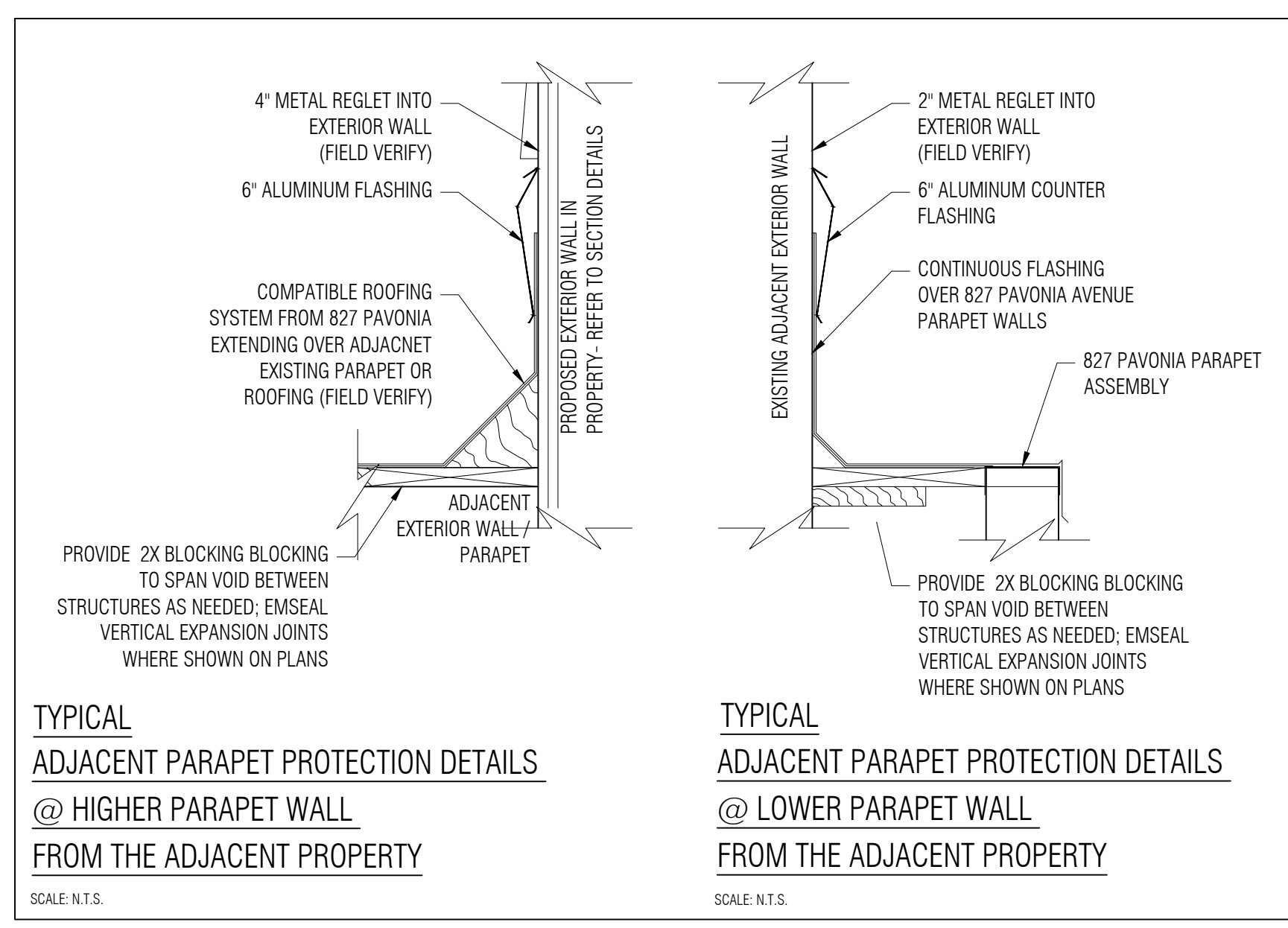

DRAWN BY: MK  
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ISSUE DATE: 10.07.2022  
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SHEET TITLE:  
PROPOSED ELEVATION

SHEET No.  
**A-5**



**1 PROPOSED LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



REFER TO ROOF / CEILING ASSEMBLY

REFER TO ROOF / CEILING ASSEMBLY





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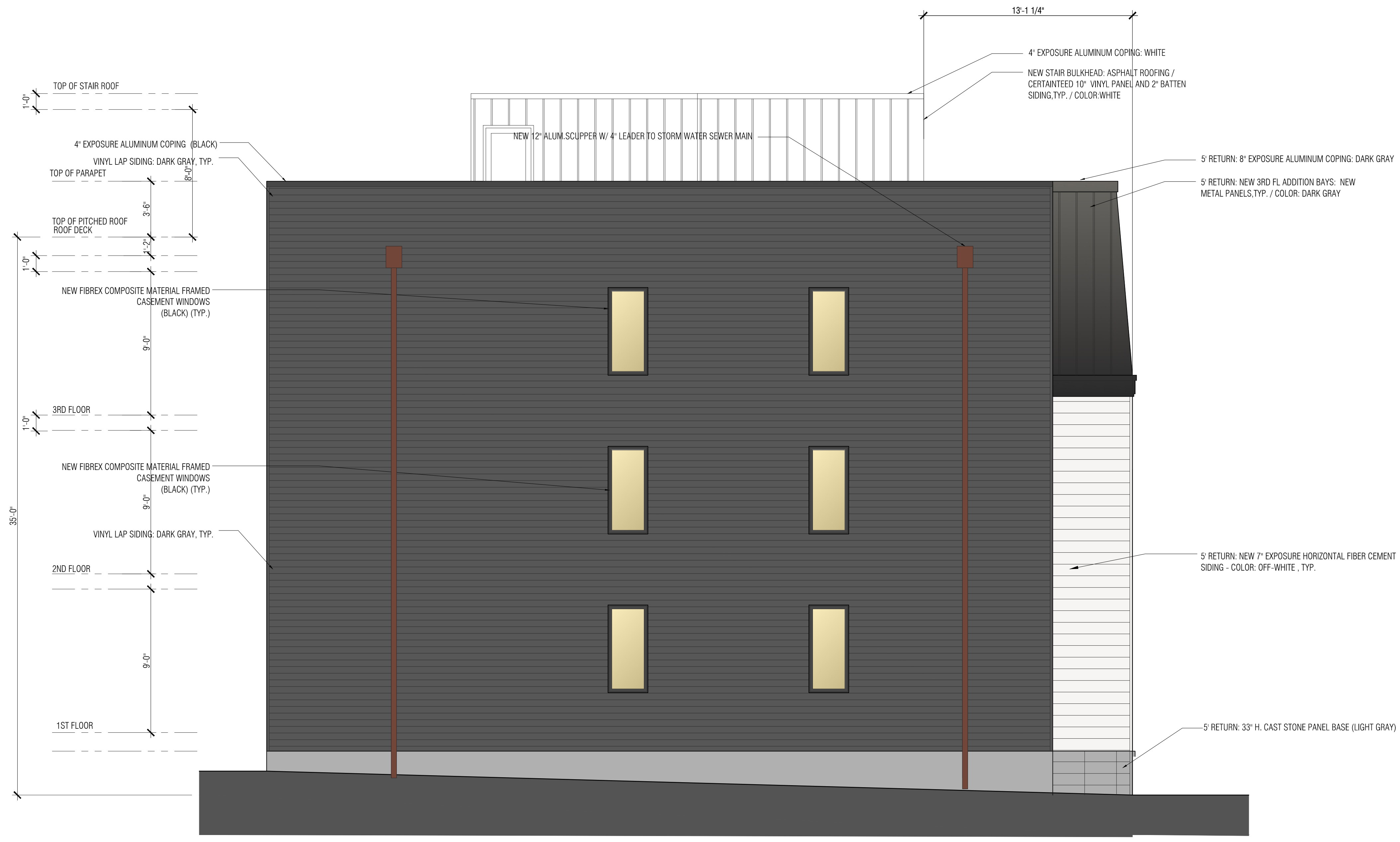
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SHEET TITLE:  
 PROPOSED ELEVATION

SHEET No.  
**A-6**



**1 PROPOSED LEFT SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"





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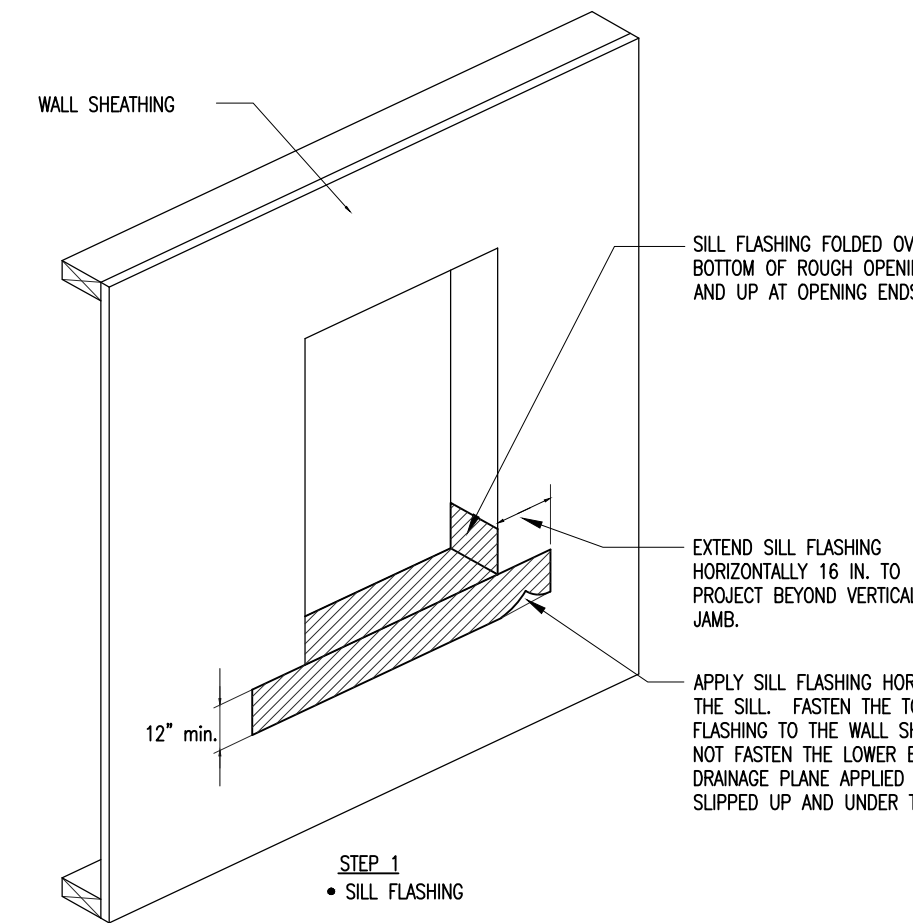
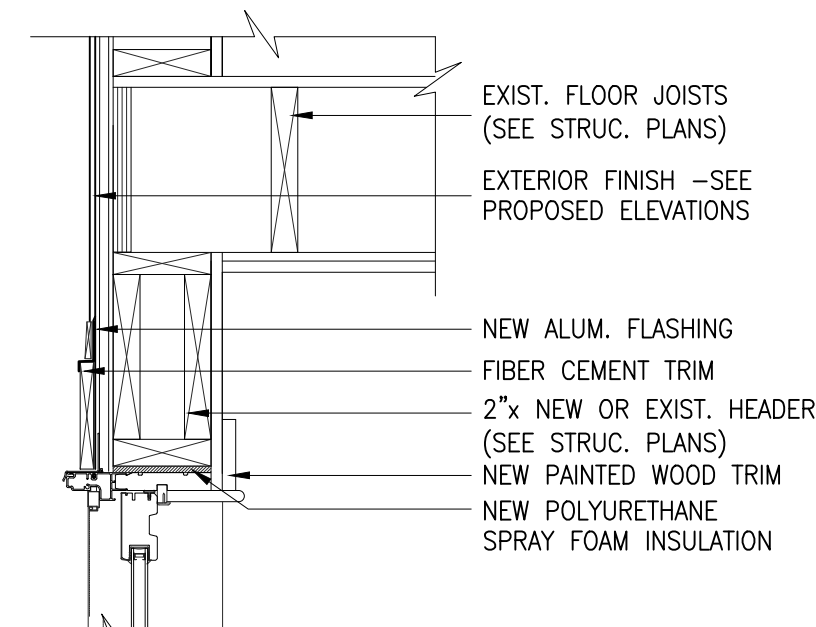
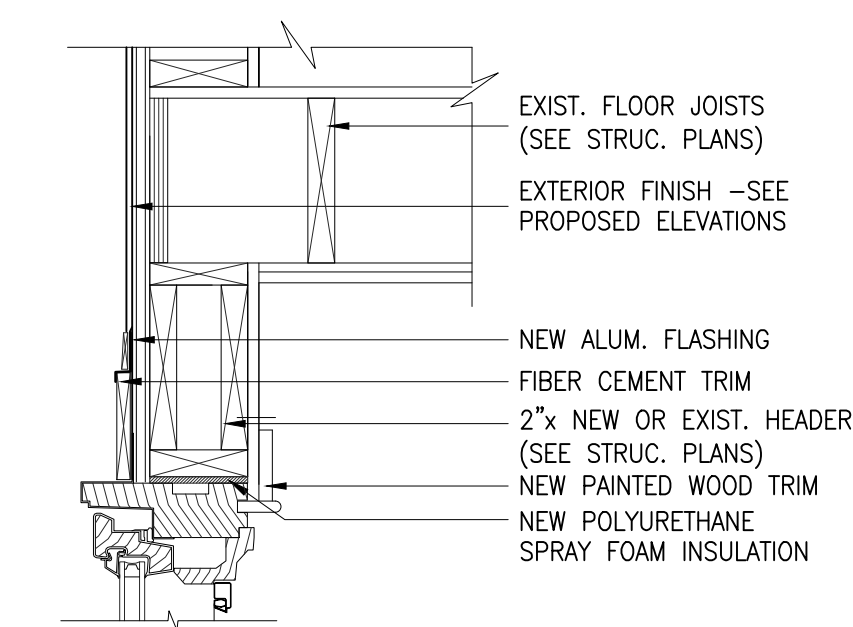
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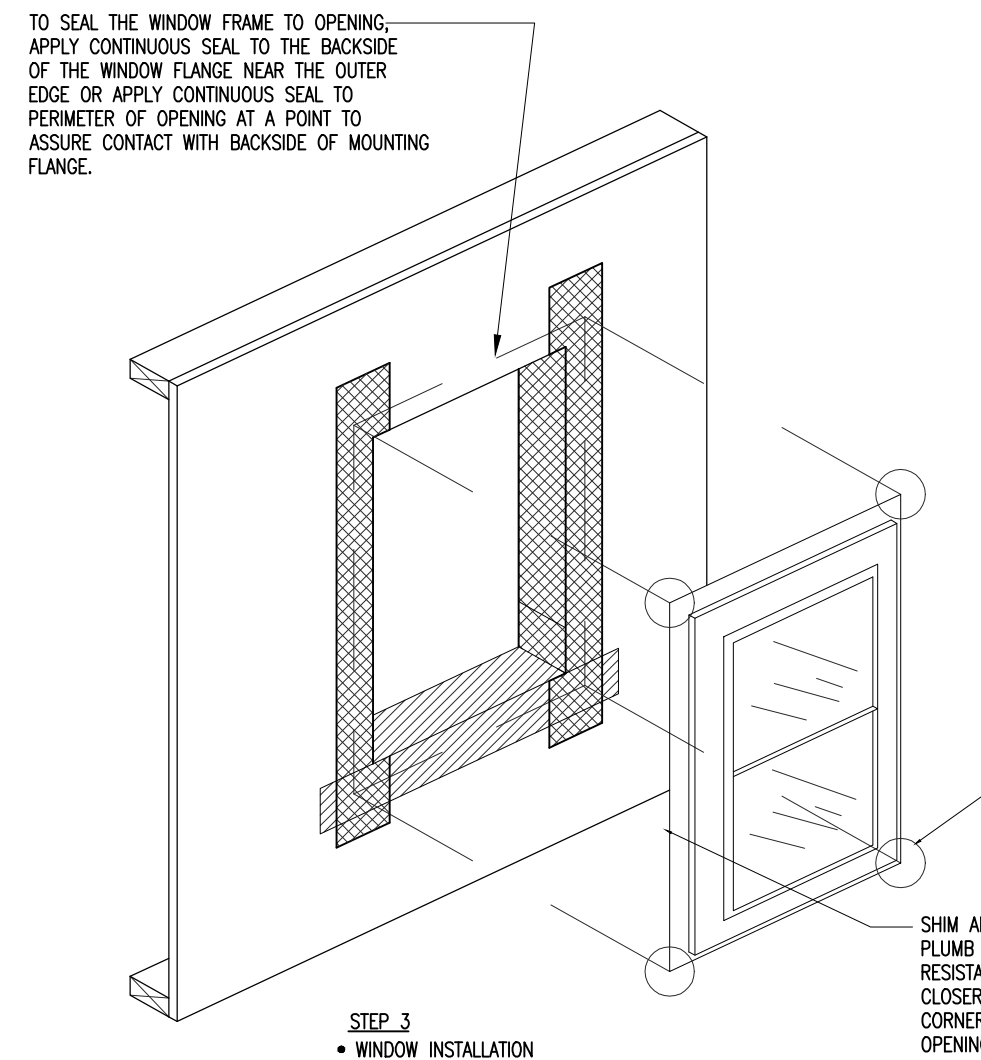
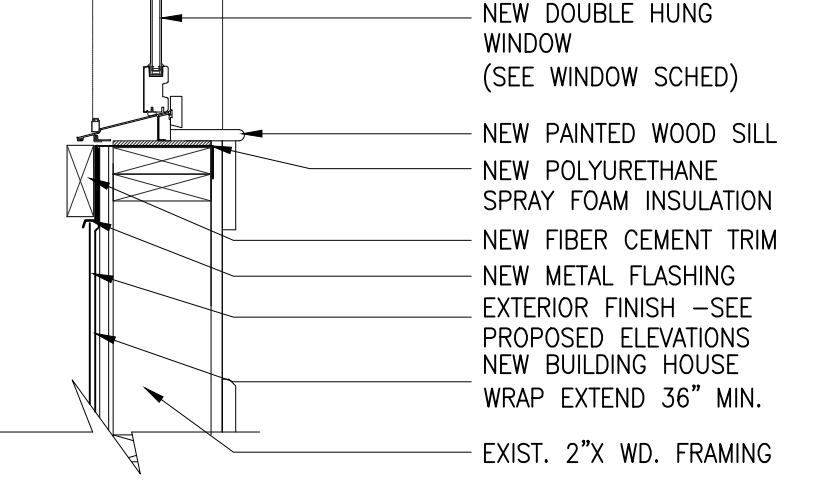
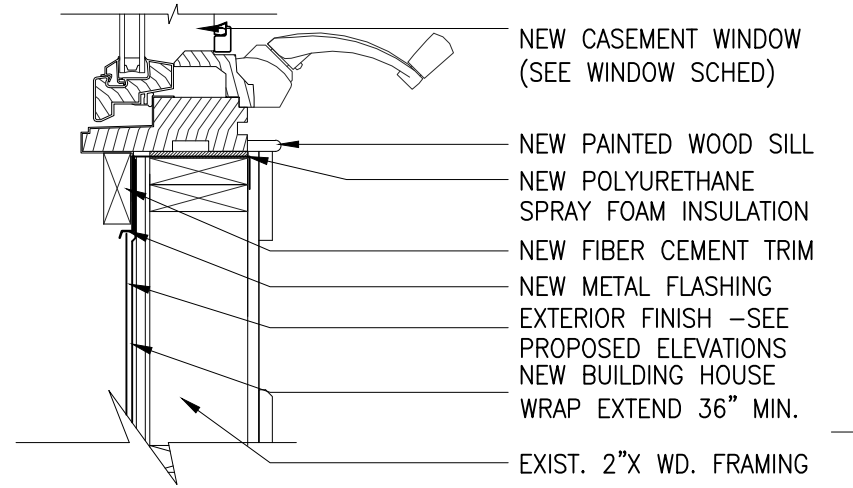
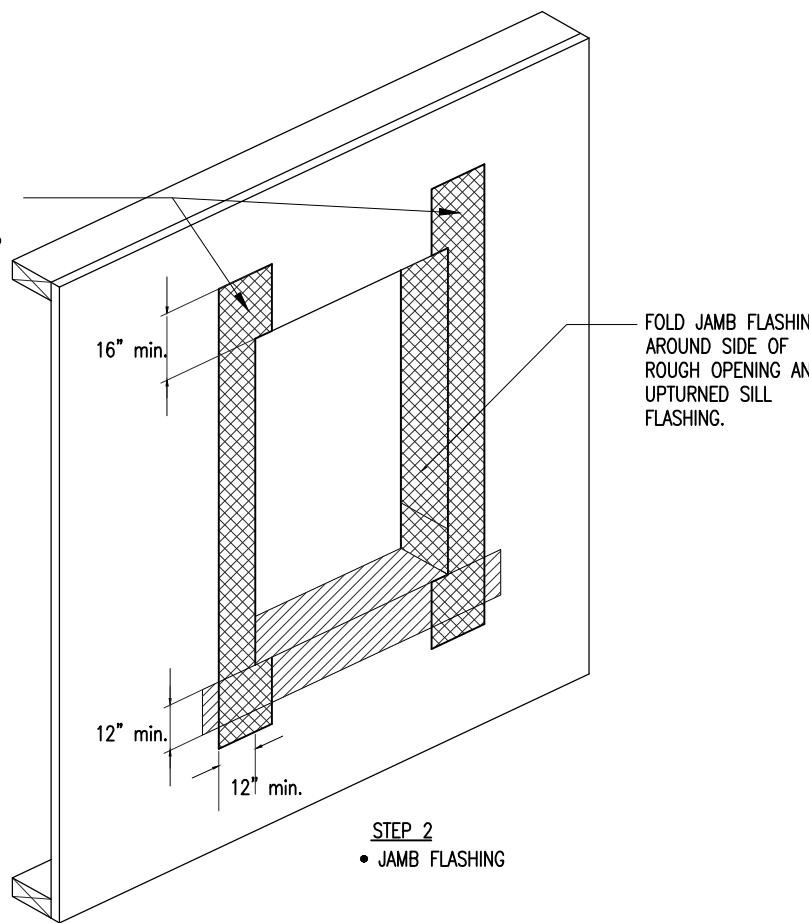
SHEET TITLE:

WINDOW SCHEDULES &  
DETAILS

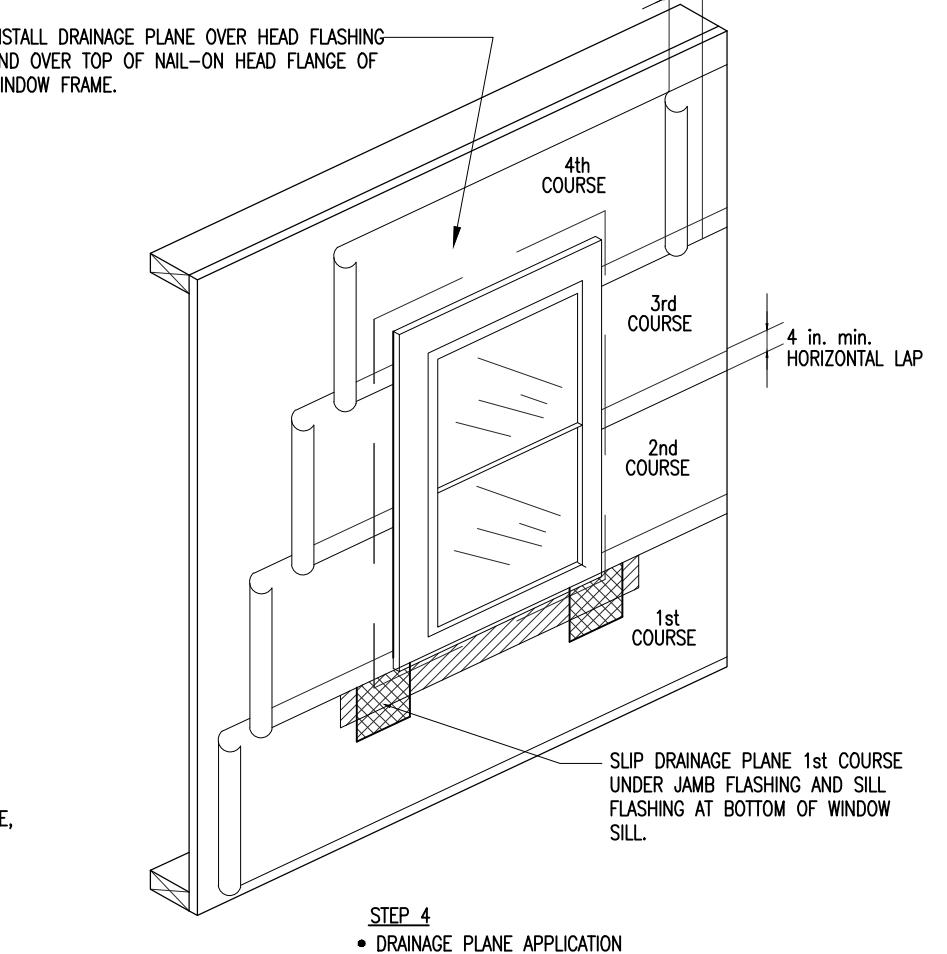
SHEET No.



JAMB FLASHING AT BOTH SIDES OF OPENING. EXTEND BEYOND SILL FLASHING AND ABOVE WHERE HEAD FLASHING WILL INTERSECT. LAP JAMB FLASHING OVER TOP OF SILL FLASHING LEAVING BOTTOM EDGE UNATTACHED.

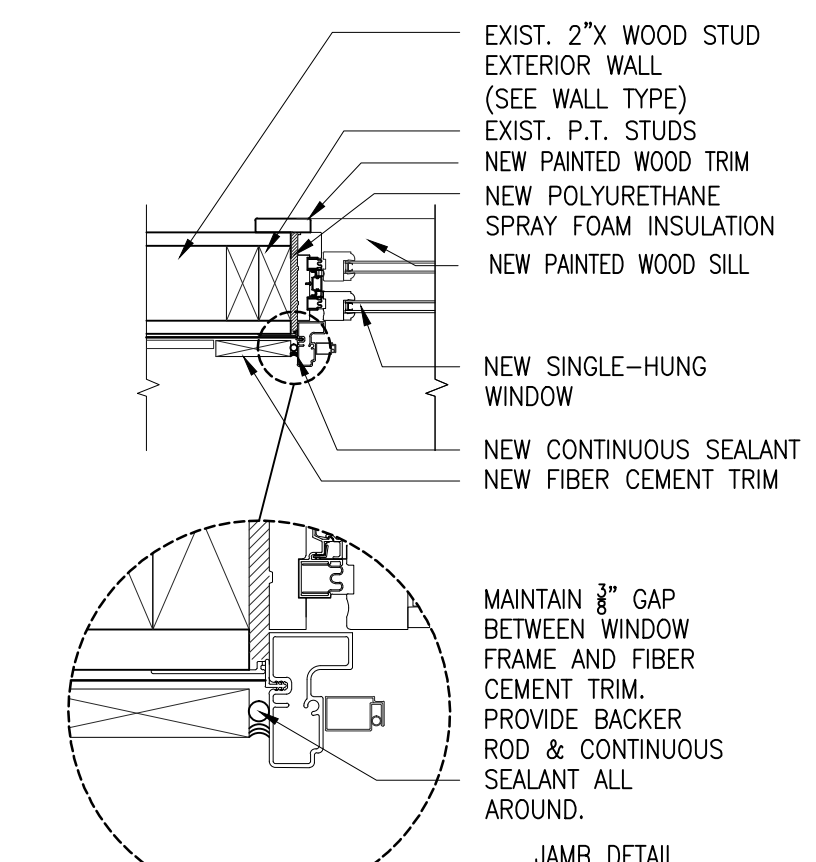
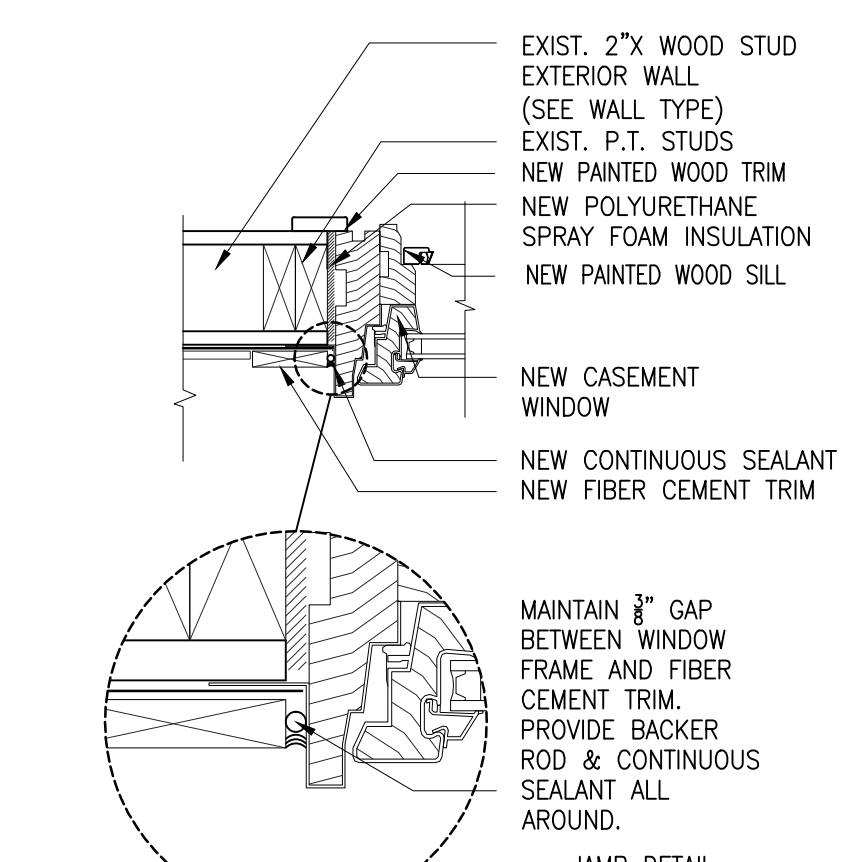


AFTER INSTALLATION, SEAL ALL CORNERS OF MECHANICALLY JOINED FRAMES TO SEAL FRAME SEAM JOINTS.  
SHIM AND ADJUST WINDOW TO ACHIEVE A SQUARE, PLUMB AND LEVEL CONDITION. USE CORROSION RESISTANT FASTENERS WITHIN 10 IN. BUT NO CLOSER THAN 3 IN. IN DIRECTION FROM EVERY CORNER. SECURE WINDOW AROUND FRAME OPENING WITH EQUIVALENT OF 60 FASTENERS AT 16 IN. O.C. MAX.



**WINDOW OPENING FLASHING DETAIL**

NOT TO SCALE



**DOUBLE HUNG WINDOW**

**TYPICAL WINDOW FRAME DETAIL FOR SIDE & REAR SIDES**

NOT TO SCALE

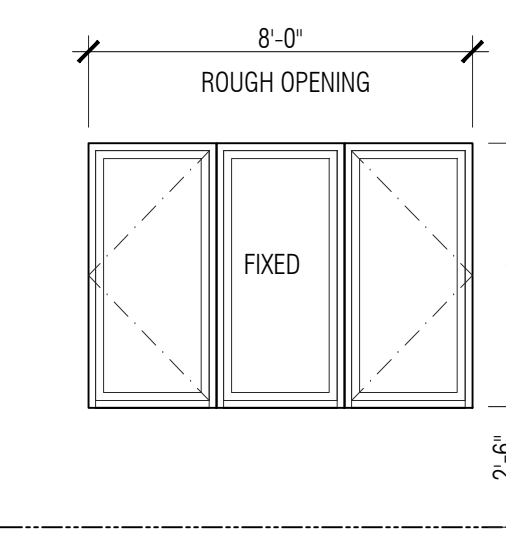
**CASEMENT WINDOW**

**WINDOW OPENING FLASHING DETAIL**

NOT TO SCALE

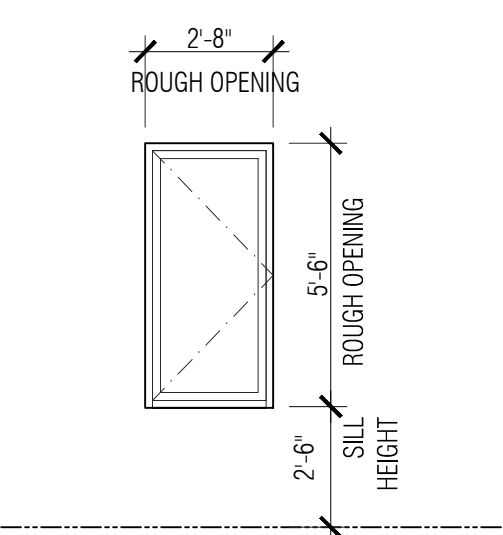
**WINDOW SCHEDULES**

SCALE 1/4" = 1'-0"



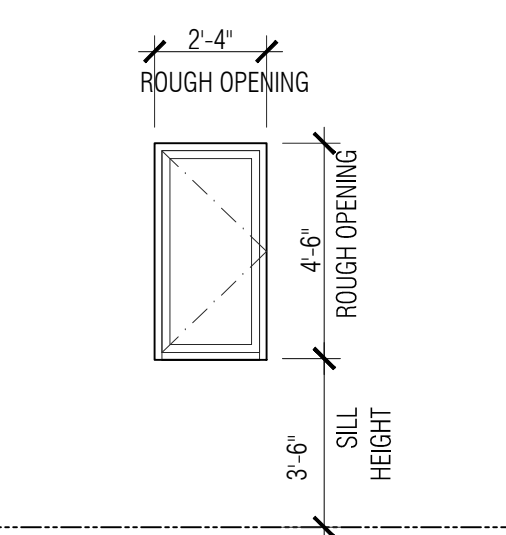
FIBREX COMPOSITE MATERIAL CASEMENT  
COLOR: BLACK (EXTERIOR) / WHITE (INTERIOR)

A



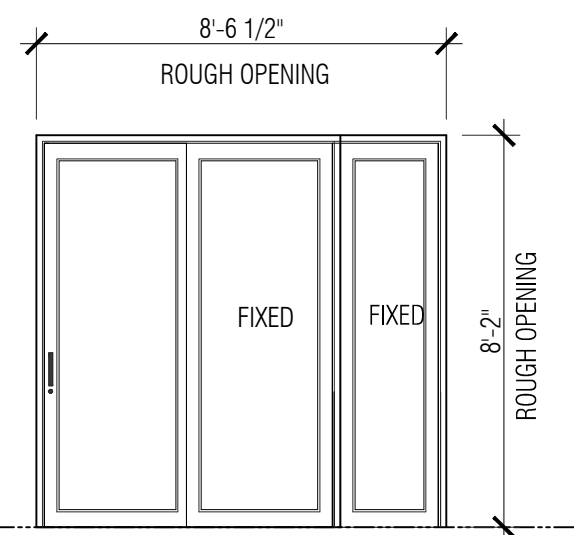
FIBREX COMPOSITE MATERIAL CASEMENT  
COLOR: BLACK (EXTERIOR) / WHITE (INTERIOR)

B



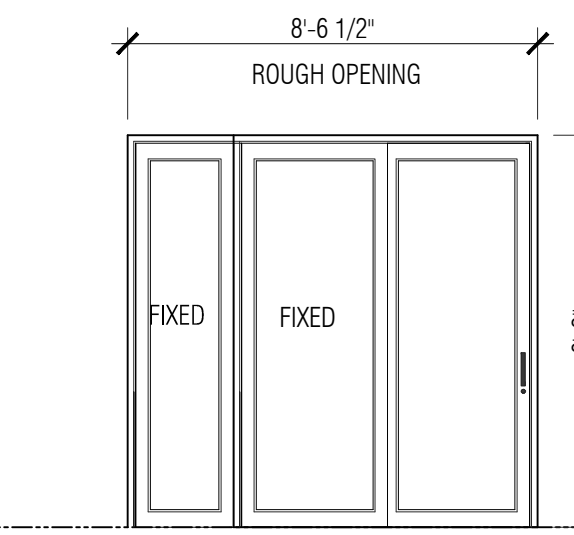
FIBREX COMPOSITE MATERIAL CASEMENT  
COLOR: BLACK (EXTERIOR) / WHITE (INTERIOR)

C



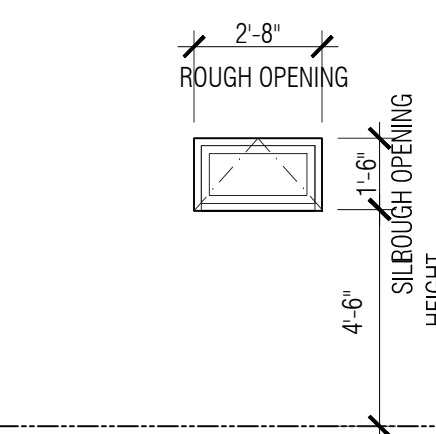
FIBREX COMPOSITE MATERIAL PATIO SLIDING DOORS  
COLOR: BLACK (EXTERIOR) / WHITE (INTERIOR)

D



FIBREX COMPOSITE MATERIAL PATIO SLIDING DOORS  
COLOR: BLACK (EXTERIOR) / WHITE (INTERIOR)

E



FIBREX COMPOSITE MATERIAL AWNING  
COLOR: BLACK (EXTERIOR) / WHITE (INTERIOR)

F

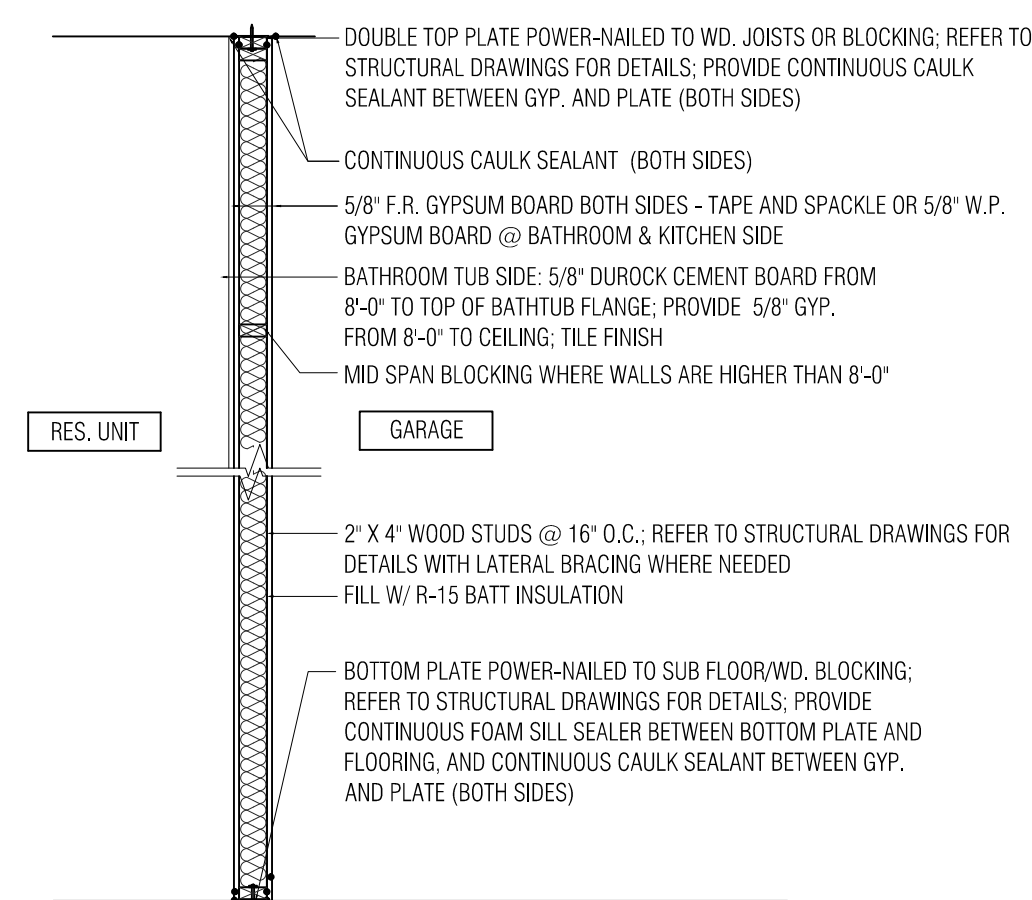
**PATIO DOOR / WINDOW NOTES**

- ALL WINDOWS TO BE PROVIDED WITH AN ANSI 117.1-2003 ADAPTABLE HARDWARE.
- ALL WIDDOWS TO BE FACTORY POWDERCOATED BLACK.
- GLAZING TO BE LOW-E COATED WITH THE FOLLOWING NFRC THERMAL PERFORMANCE TO MEET CLIMATE ZONE SPECIFIC IECC MINIMUMS:  
U-VALUE = EQUAL TO OR < 0.35  
SHGC = EQUAL TO OR < 0.40
- WINDOWS TO BE FACTORY MULLED AS SHOWN.
- WINDOW EXTERIOR / INTERIOR TO BE FACTORY FINISHED.
- ALL WINDOW SILLS AND TRIM TO BE PAINT GRADE WOOD.
- PROVIDE ALL SHIMS, HARDWARE, BLOCKING, CAULK ETC. AS REQUIRED FOR A COMPLETE INSTALLATION.
- ALL WINDOWS TO MEET OR EXCEED THE STC RATINGS AS SPECIFIED BELOW:  
ALL WINDOWS: STC 28
- ALL GLAZING TO BE DOUBLE GLAZED, INSULATED, PILKINGTON ENERGY ADVANTAGE LOF CLEAR LOW-E.
- CONTRACTOR RESPONSIBLE TO FIELD VERIFY ALL OPENINGS PRIOR TO FABRICATION.
- \* REFER TO ELEVATIONS FOR WINDOW OPERABILITY

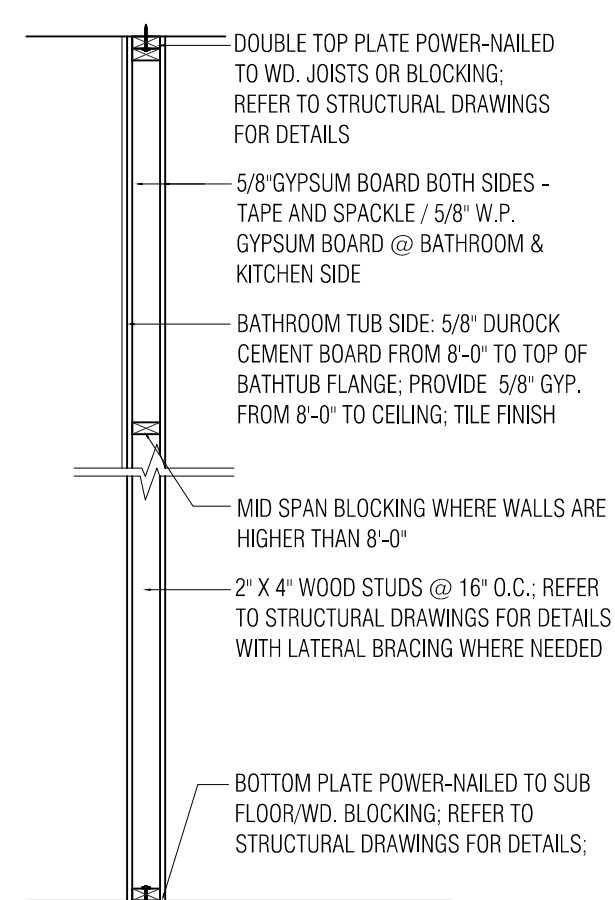
\*NOTES:  
THESE UNITS MEETS OR EXCEED THE FOLLOWING DIMENSIONS: CLEAR OPENABLE AREA OF 5.7 SQ. FT., CLEAR OPENABLE WIDTH OF 20" AND CLEAR OPENABLE HEIGHT OF 24", WHEN APPROPRIATE HARDWARE IS SPECIFIED.



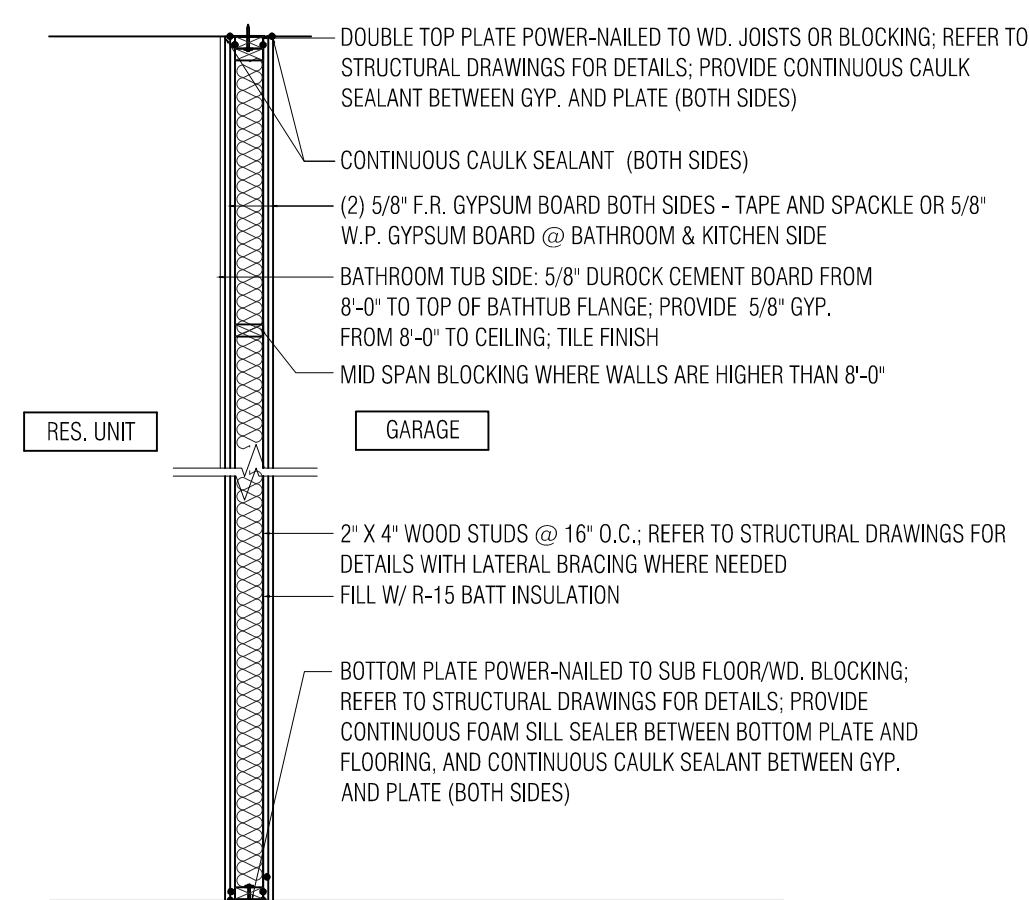
**WALL & PARTITION SCHEDULE:**



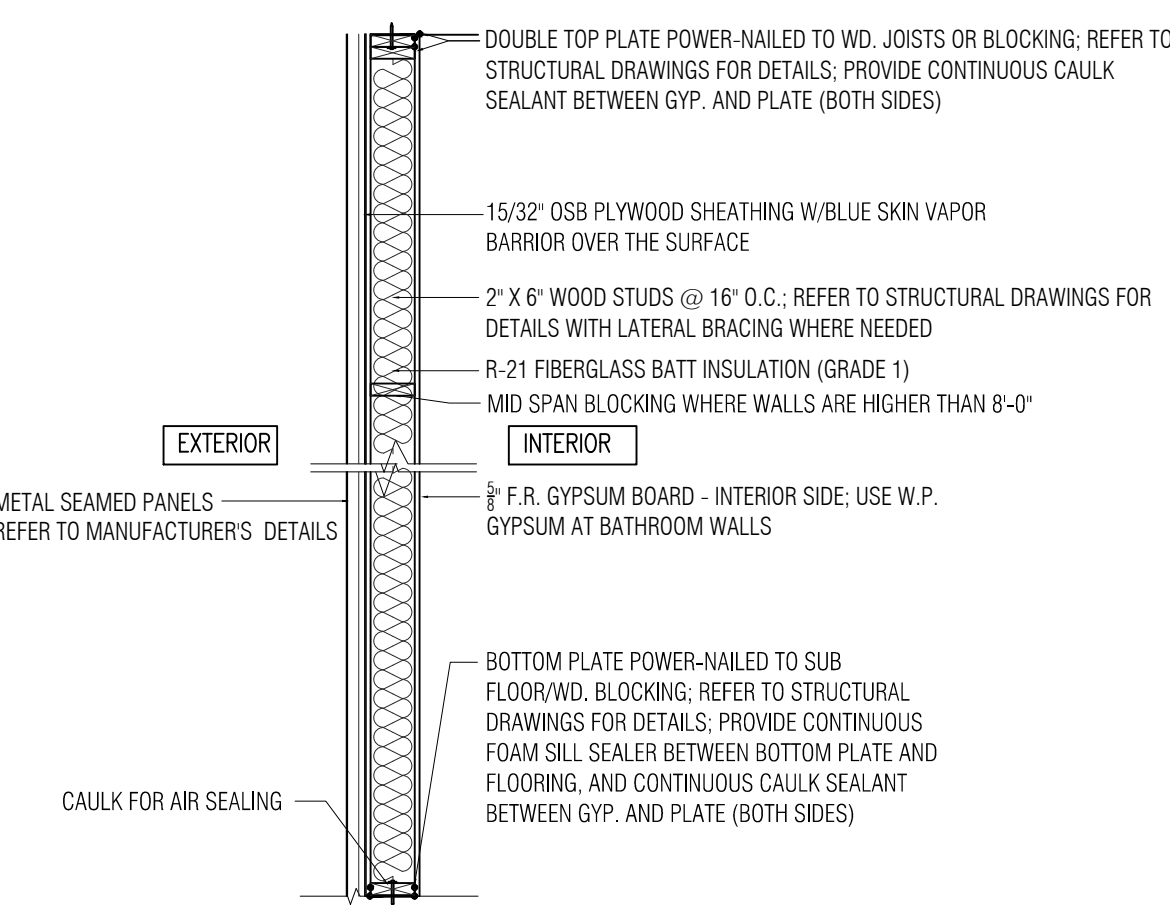
1.1 2" X 4" LOAD BEARING OR NON-LOAD BEARING /DEMISING WALL 1HR. RATED  
UL DESIGN # U305  
STC RATING - 66



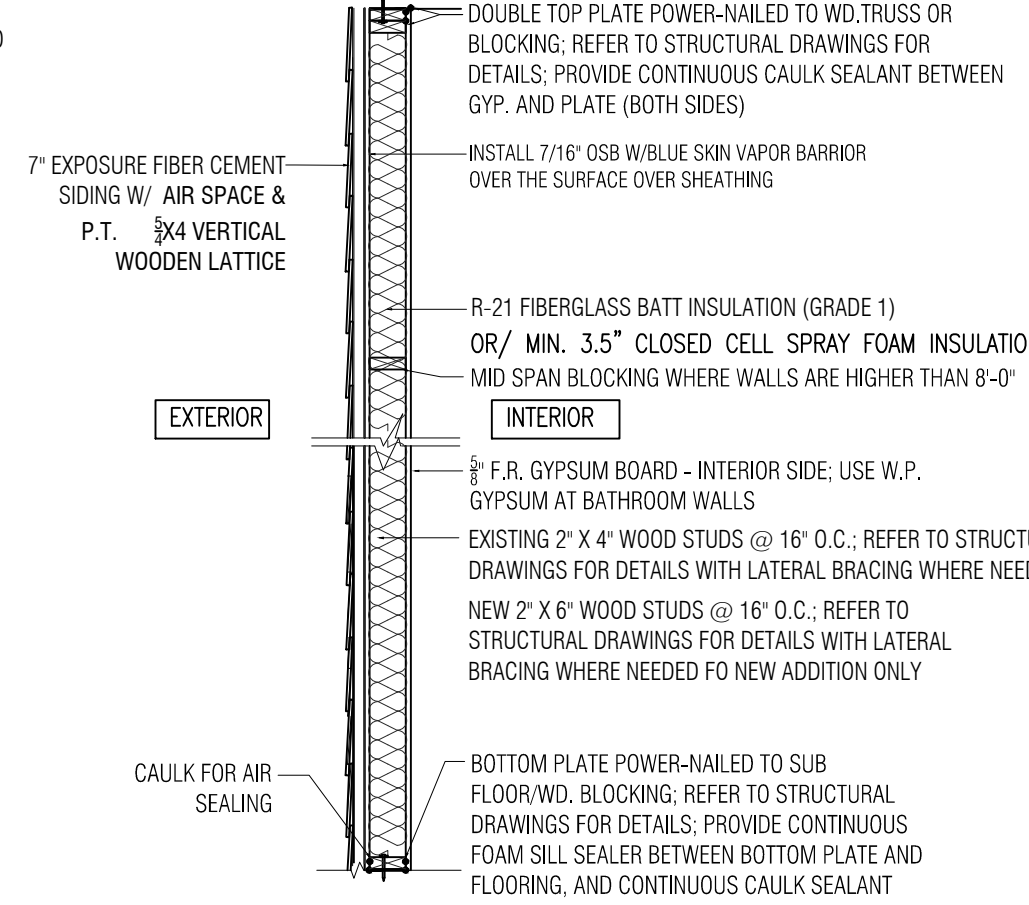
1.2 2" X 4" NON-LOAD BEARING INTERIOR PARTITION UNRATED



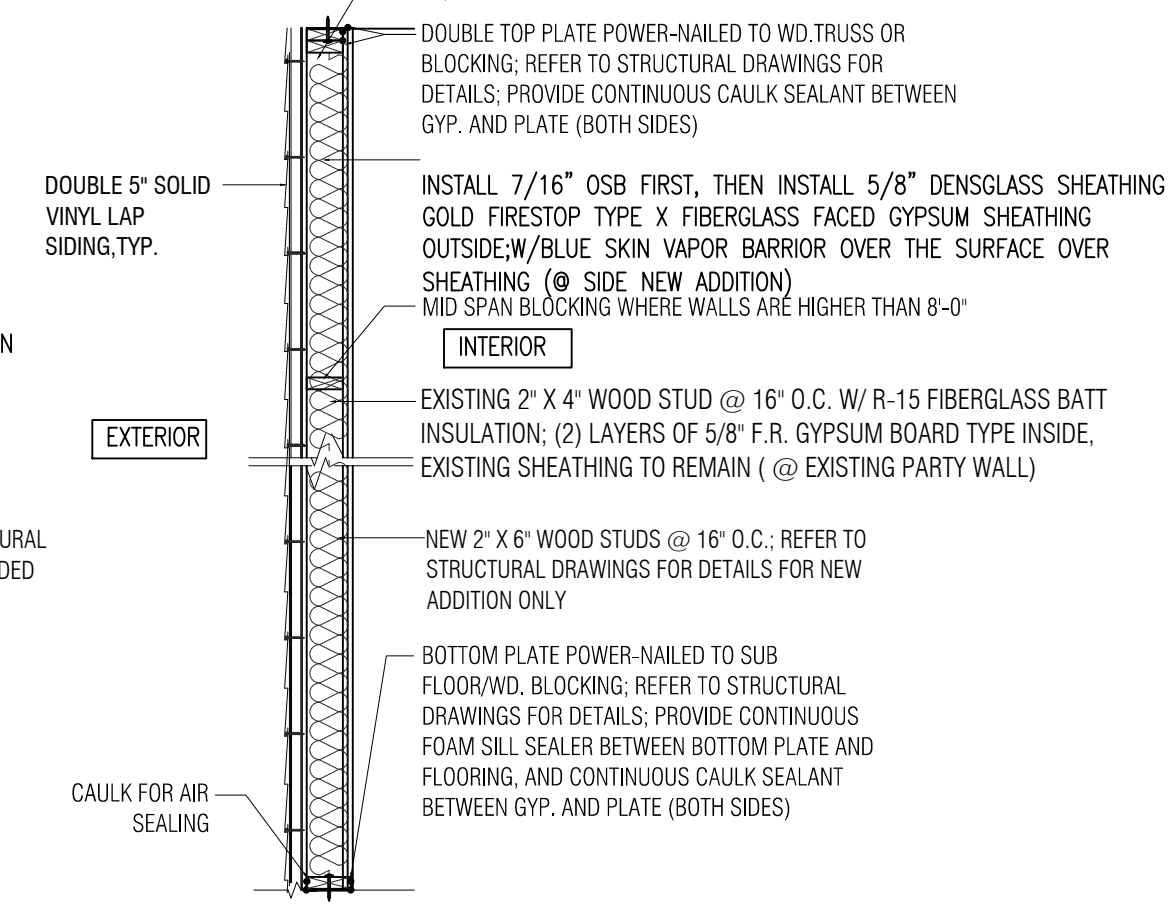
1.3 2" X 4" LOAD BEARING OR NON-LOAD BEARING /DEMISING WALL 2HR. RATED  
UL DESIGN # U305  
STC RATING - 66



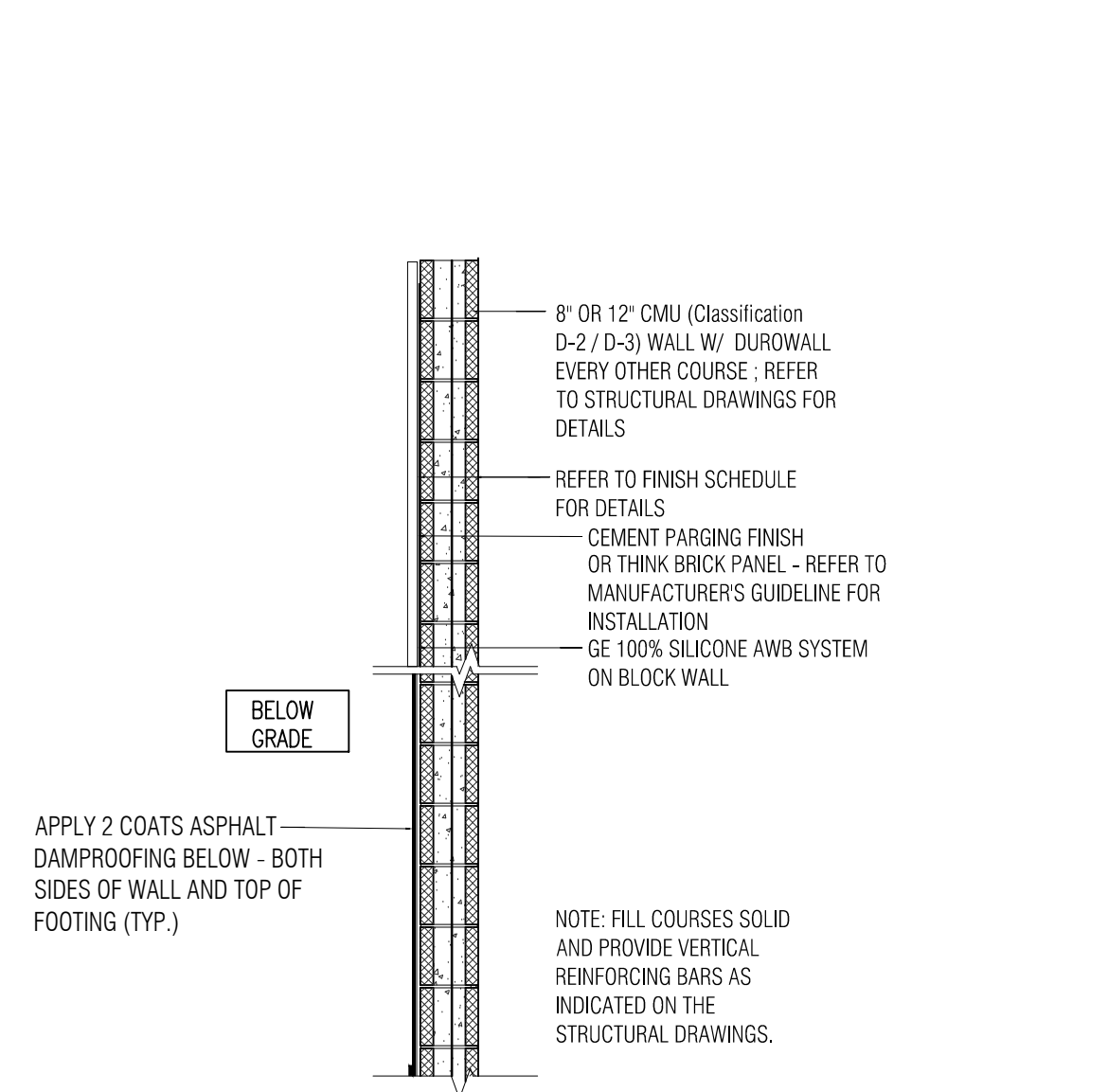
2.1 NON-LOAD / LOAD BEARING EXTERIOR WALL W/ FIBER CEMENT PANEL 1HR. RATED  
UL DESIGN # U305



2.2 NON-LOAD / LOAD BEARING EXTERIOR WALL W/ FIBER CEMENT SIDING 1HR. RATED  
UL DESIGN # U305

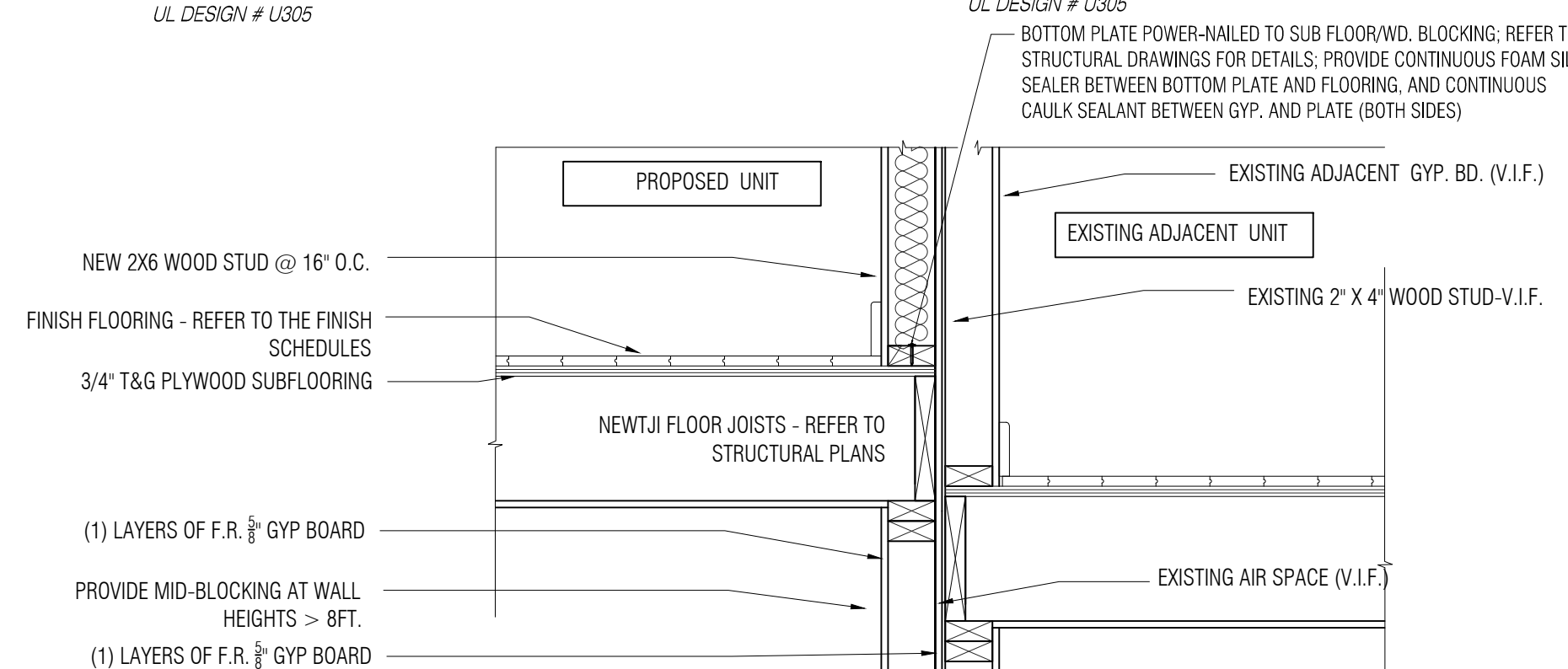


2.3 NON-LOAD / LOAD BEARING EXTERIOR WALL W/ VINYL SIDING 1HR. RATED  
UL DESIGN # U305

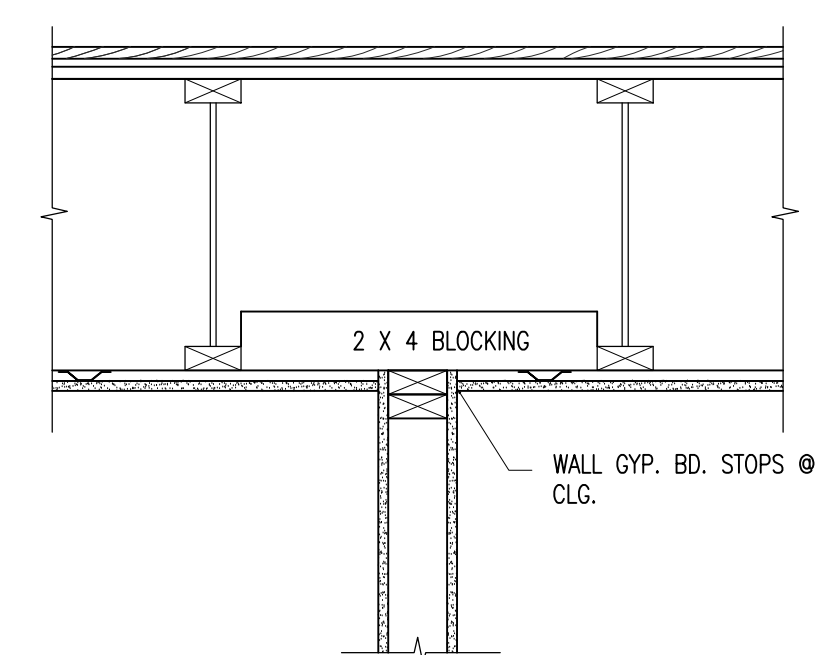


3.1 8" OR 12" CMU EXTERIOR WALL 2HR. RATED  
UL DESIGN # U805

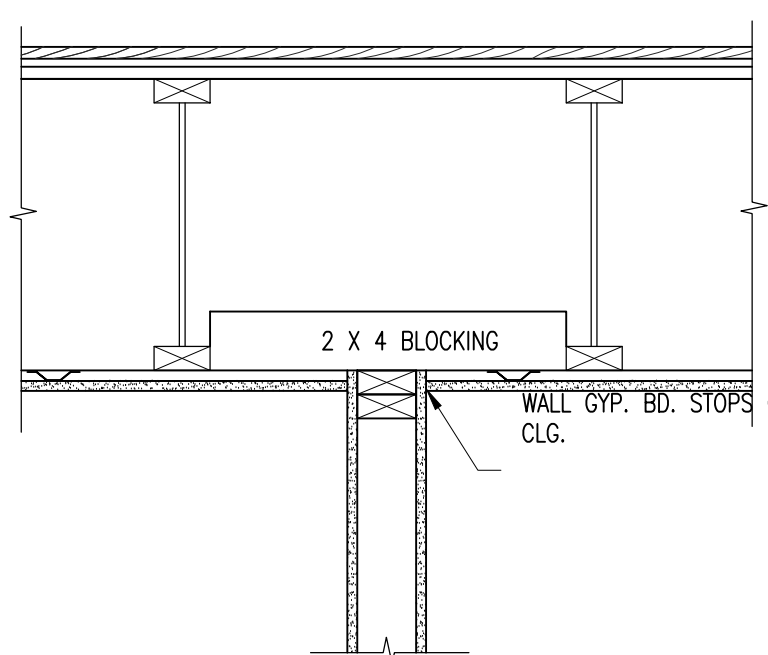
- NOTE:
- ALL INTERIOR 2x4 AND 2x6 WALLS TO INCLUDE STRUCTURAL WOOD SHEATHING AT SHEAR WALL LOCATIONS; REFER TO STRUCTURAL DRAWINGS FOR DETAILS AND LOCATIONS.
  - STRUCTURAL WOOD SHEATHING TO EXTEND IN BOTH DIRECTIONS TO THE LOCATION OF THE NEAREST WALL INTERSECTION.
  - GYPSONUM WALL BOARD TO BE INSTALLED ON TOP OF STRUCTURAL WOOD SHEATHING.



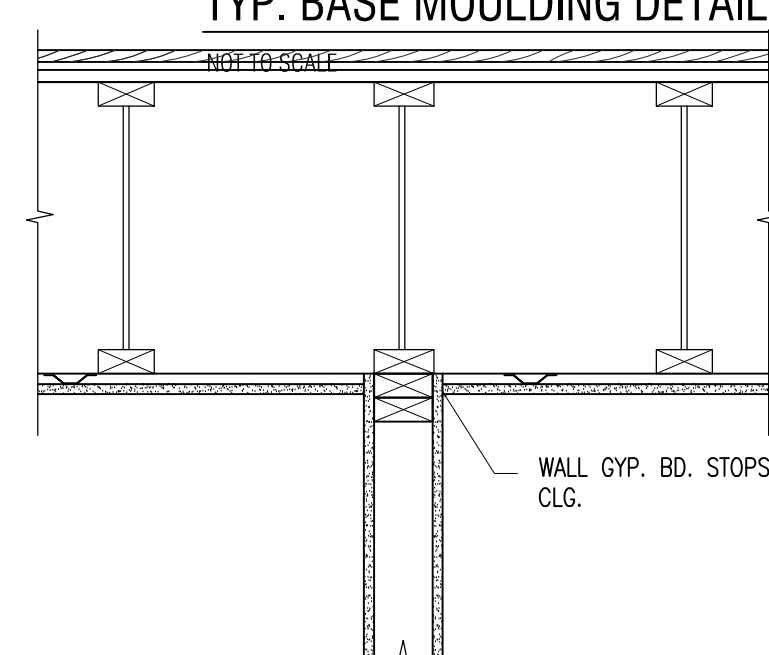
2.4 PROPOSED 1-HR. RATED WOOD FIRE WALL ASSEMBLY @ EXISTING FIRE WALL  
UL #U-305  
SCALE: 1"= 1'-0"



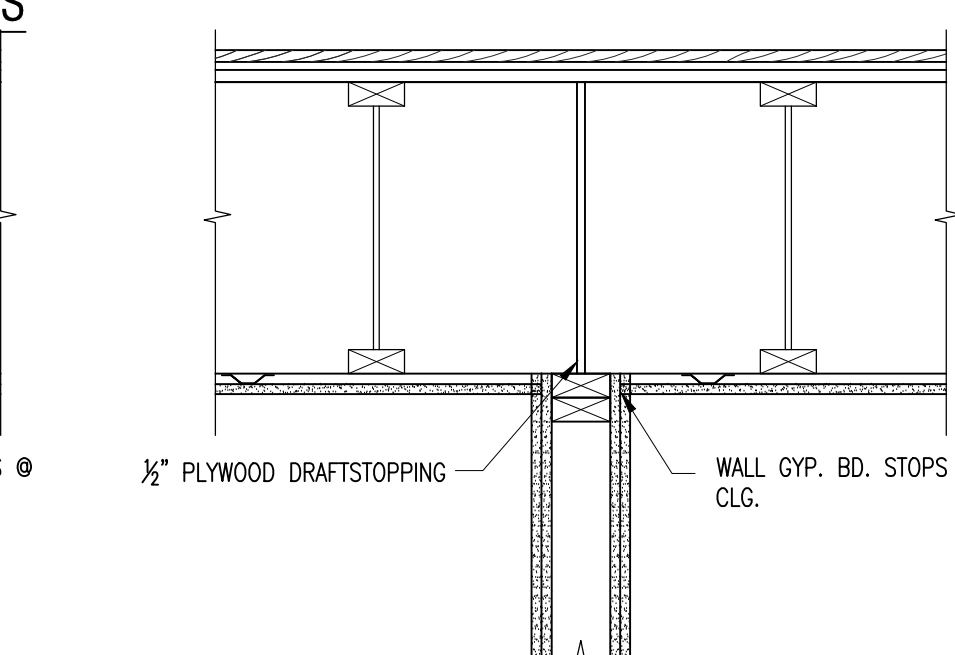
TOP CONDITION WHERE PARTITION DOES NOT ALIGN WITH JOIST ABOVE  
SCALE: N.T.S.



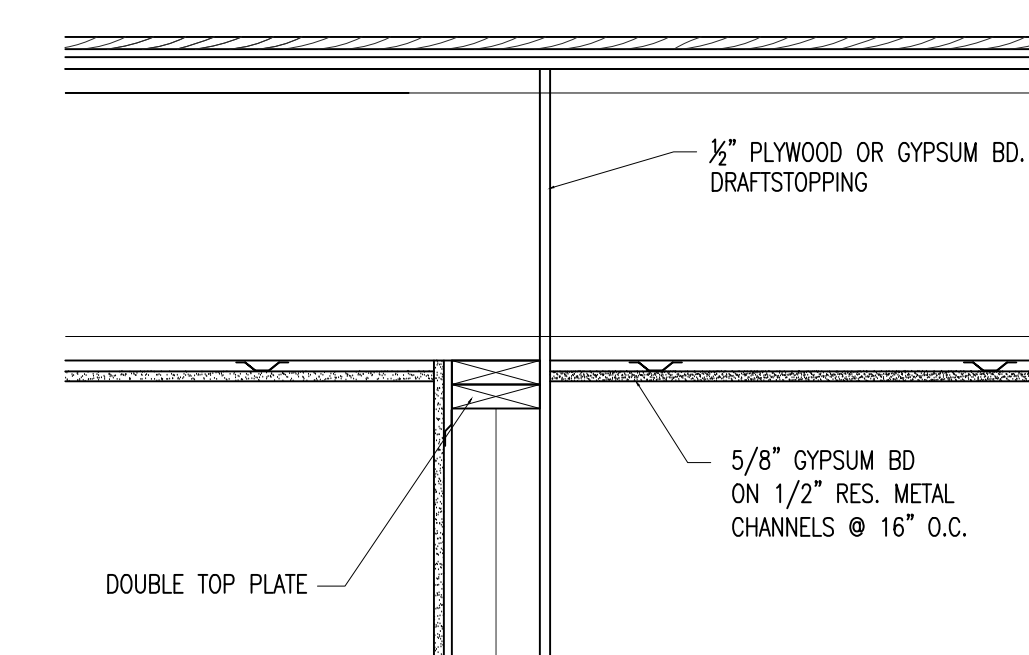
NON LOAD BEARING WALL  
SCALE: N.T.S.



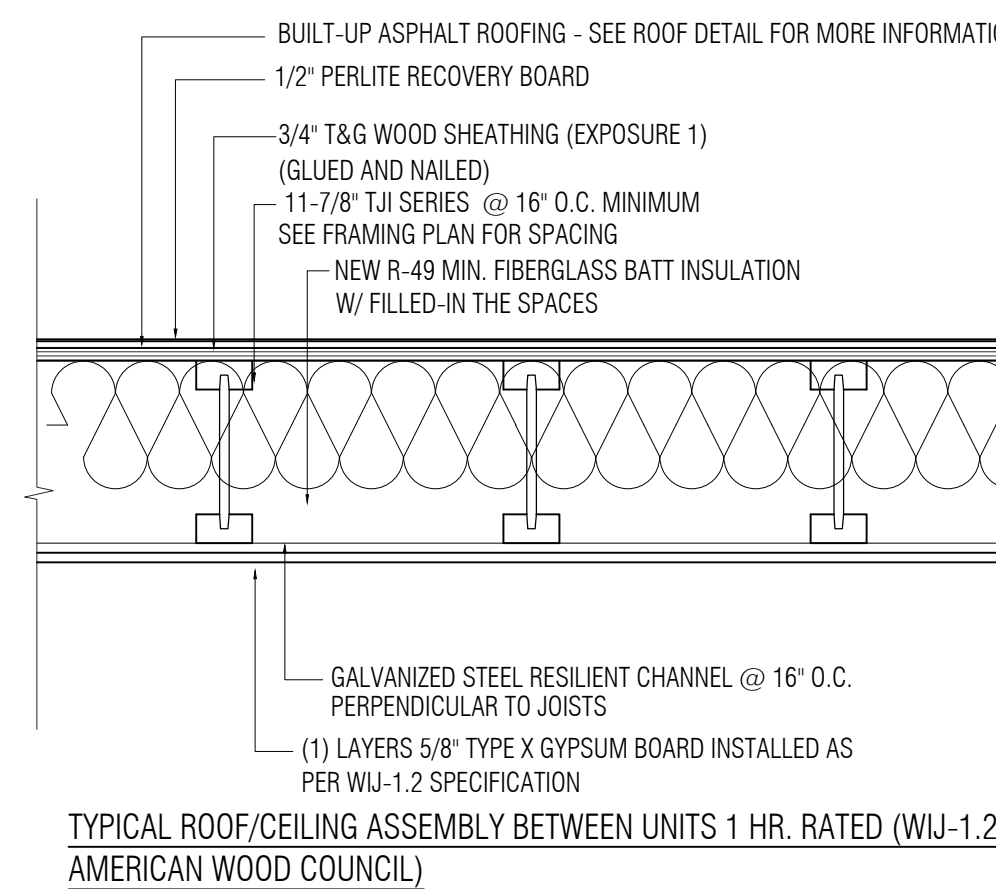
TOP CONDITION WHERE PARTITION ALIGNS WITH JOIST ABOVE  
SCALE: N.T.S.



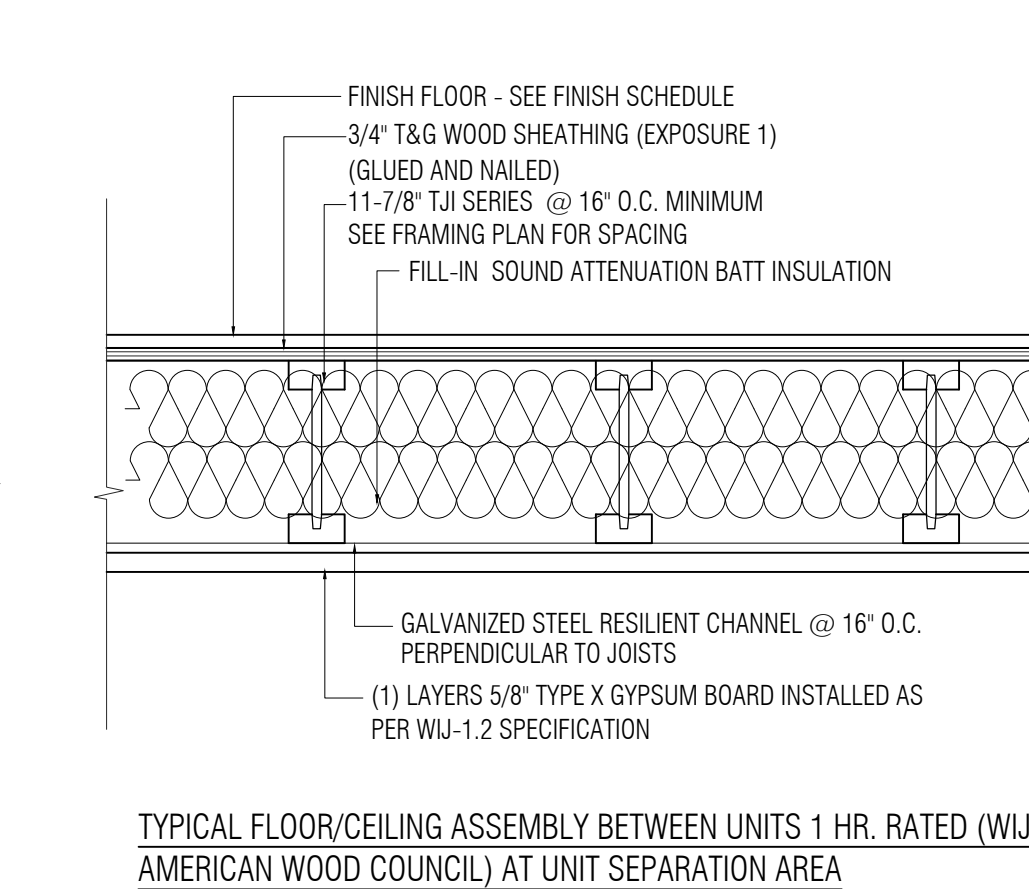
2HR. NON-LOAD BEARING WALLS  
SCALE: N.T.S.



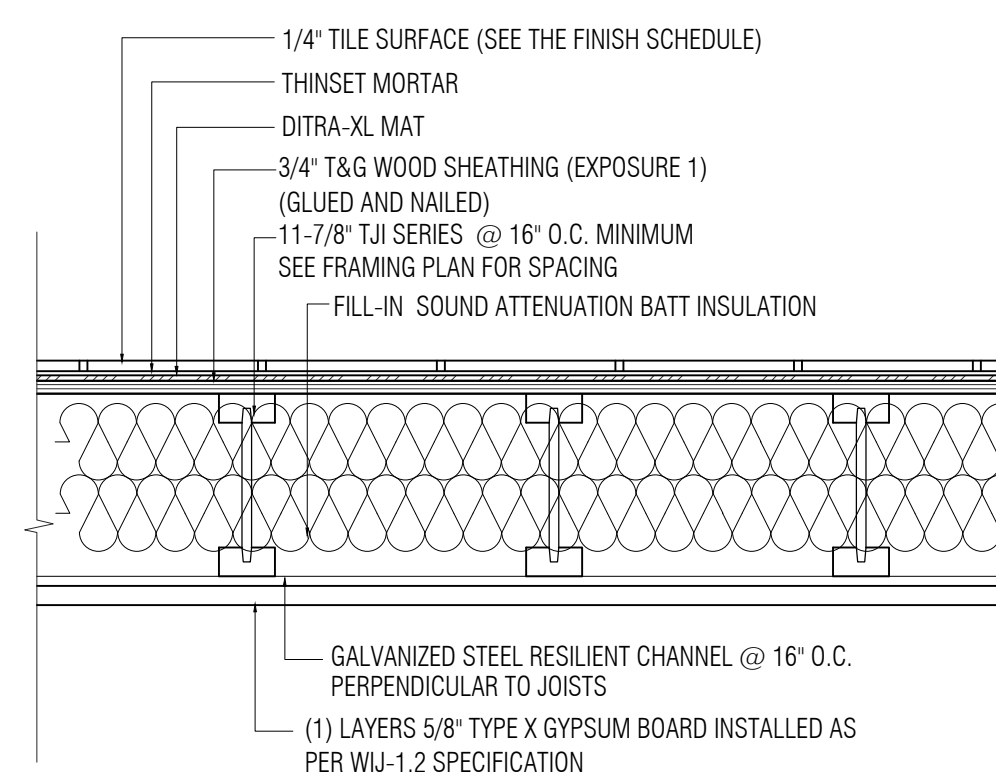
DRAFTSTOPPING @ DEMISING WALLS  
SCALE: N.T.S.



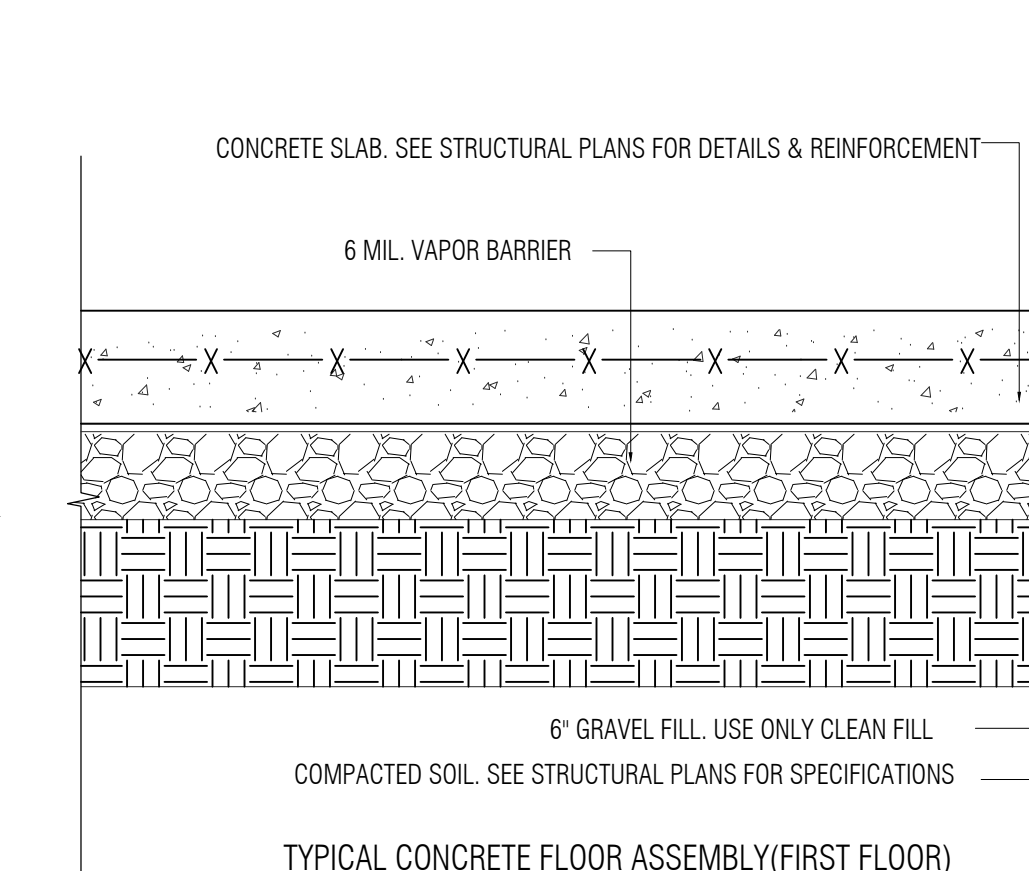
TYPICAL ROOF/CEILING ASSEMBLY BETWEEN UNITS 1 HR. RATED (WJ-1.2 AMERICAN WOOD COUNCIL)



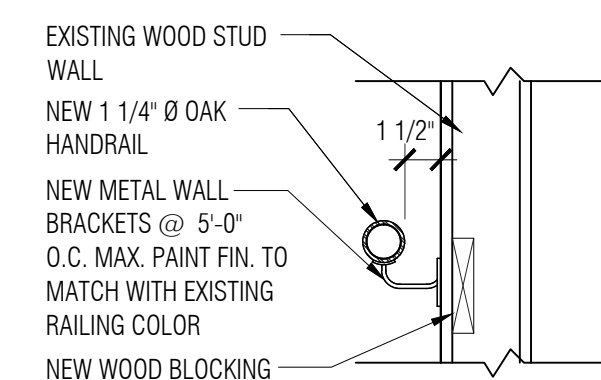
TYPICAL FLOOR/CEILING ASSEMBLY BETWEEN UNITS 1 HR. RATED (WJ-1.2 AMERICAN WOOD COUNCIL) AT UNIT SEPARATION AREA  
MIN. STC-50 / IIC-50



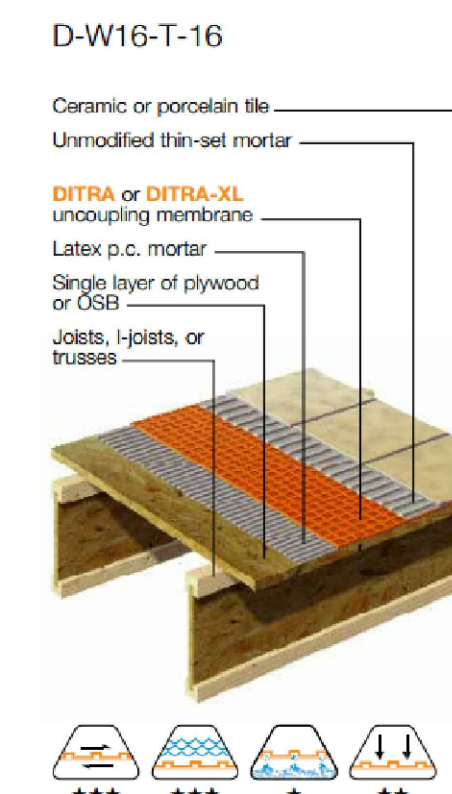
TYPICAL FLOOR/CEILING ASSEMBLY BETWEEN UNITS 1 HR. RATED (WJ-1.2 AMERICAN WOOD COUNCIL) AT UNIT SEPARATION AREA  
MIN. STC-50 / IIC-50



TYPICAL CONCRETE FLOOR ASSEMBLY (FIRST FLOOR)



HANDRAIL DETAIL @ MEDIAN WALL  
SCALE: N.T.S.



**Floors, Interior - Ceramic or Porcelain Tile**

**16" (406 mm) o.c. joist spacing, single layer OSB or plywood subfloor**

**Areas of Application**

- over any even and structurally sound OSB or plywood subfloor with 16" (406 mm) o.c. joist spacing
- interior dry or wet areas

**Limitations**

- minimum 2" x 2" (50 mm x 50 mm) tile
- for natural stone, see detail D-W-S (page 6) and natural stone discussion (page 27)

**Requirements**

- maximum spacing of joists, joists, or floor trusses is 16" (406 mm) o.c.
- minimum subfloor thickness - 19/32", 5/8" nom. (16 mm) tongue-and-groove with 1/8" (2 mm) gap between sheets

**Substrate Preparation**

- verify that subfloor panels are properly fastened to framing members
- any leveling of the subfloor must be done prior to installing DITRA and DITRA-XL

**Movement Joints**

- DITRA and DITRA-XL do not eliminate the need for movement joints, including perimeter joints, within the tiled surface. Movement joints must be installed in accordance with industry standards and norms; see page 18 of the Handbook, TCNA EJ171, and TTMAC 301 MJ

**Setting and Grouting Materials**

- latex portland cement (p.c.) mortar - ANSI A118.11
- unmodified thin-set mortar - ANSI A118.1
- grout - ANSI A118.3, A118.6, A118.7, A118.8

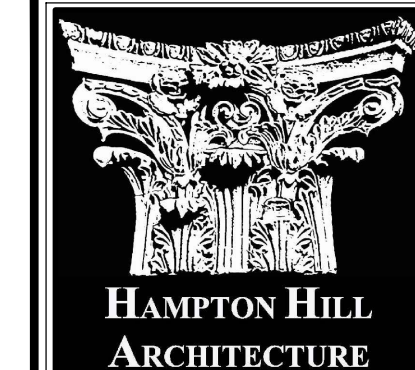
**Setting and Grouting Specifications**

- tile - ANSI A108.5
- grout - ANSI A108.6, A108.8, A108.10

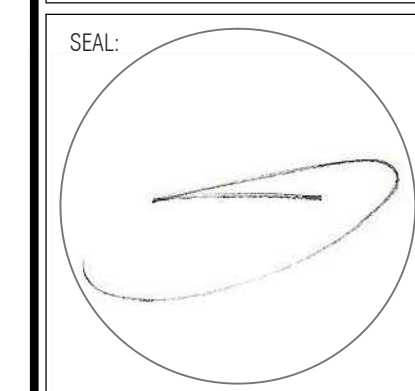
**Other Considerations**

- tightly beveled and/or tapered plywood or OSB seams must be addressed prior to installing DITRA and DITRA-XL
- vapor barrier on crawl space floors according to regional building codes
- where a waterproof floor is required, all DITRA and DITRA-XL seams and floor/wall transitions must be sealed with Schluter® KERDI-BAND using unmodified thin-set mortar; see page 12

SCHLUTER DITRA-XL DETAILS



**HAMPTON HILL ARCHITECTURE**  
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**PROPOSED ADDITION & RENOVATION OF EXISTING FOUR FAMILY DWELLING**

ADDRESS:  
81 SHERMAN AVENUE  
JERSEY CITY, NEW JERSEY

BLOCK: 4406  
LOT: 12

FOR:

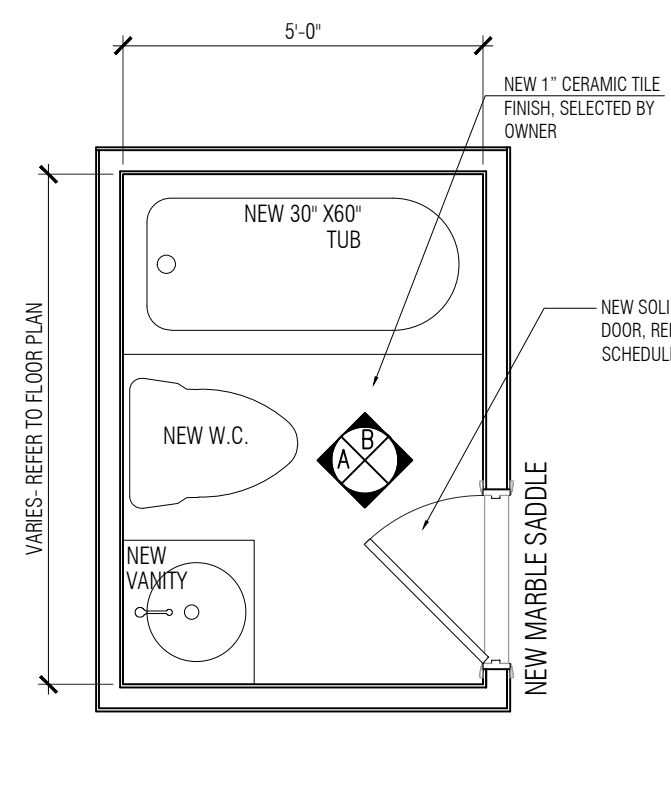
REVISIONS:

DRAWN BY: MK  
CHKD BY: MK  
ISSUE DATE: 10.07.2022  
PROJECT NO: 22018

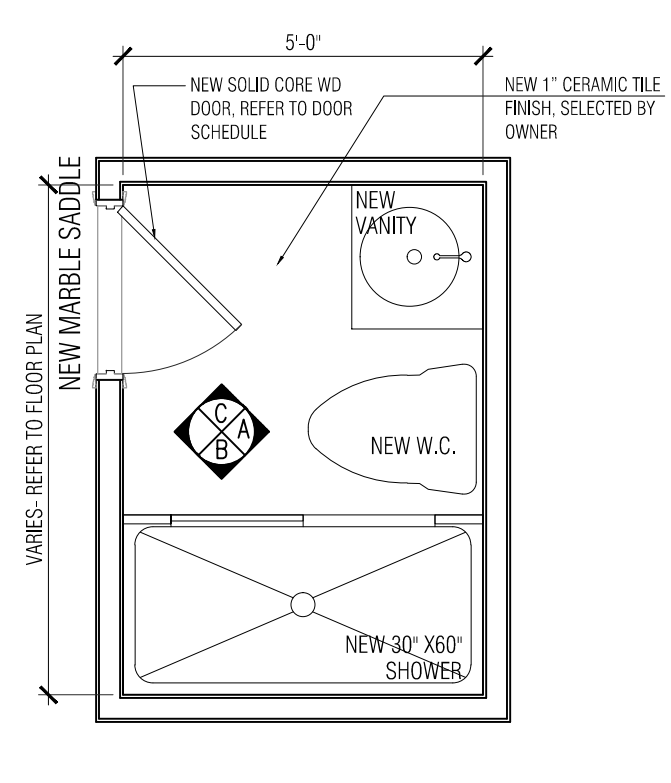
SHEET TITLE:  
WALL & FLOOR/CEILING ASSEMBLY DETAILS & SCHEDULES

SHEET No. **A-8**

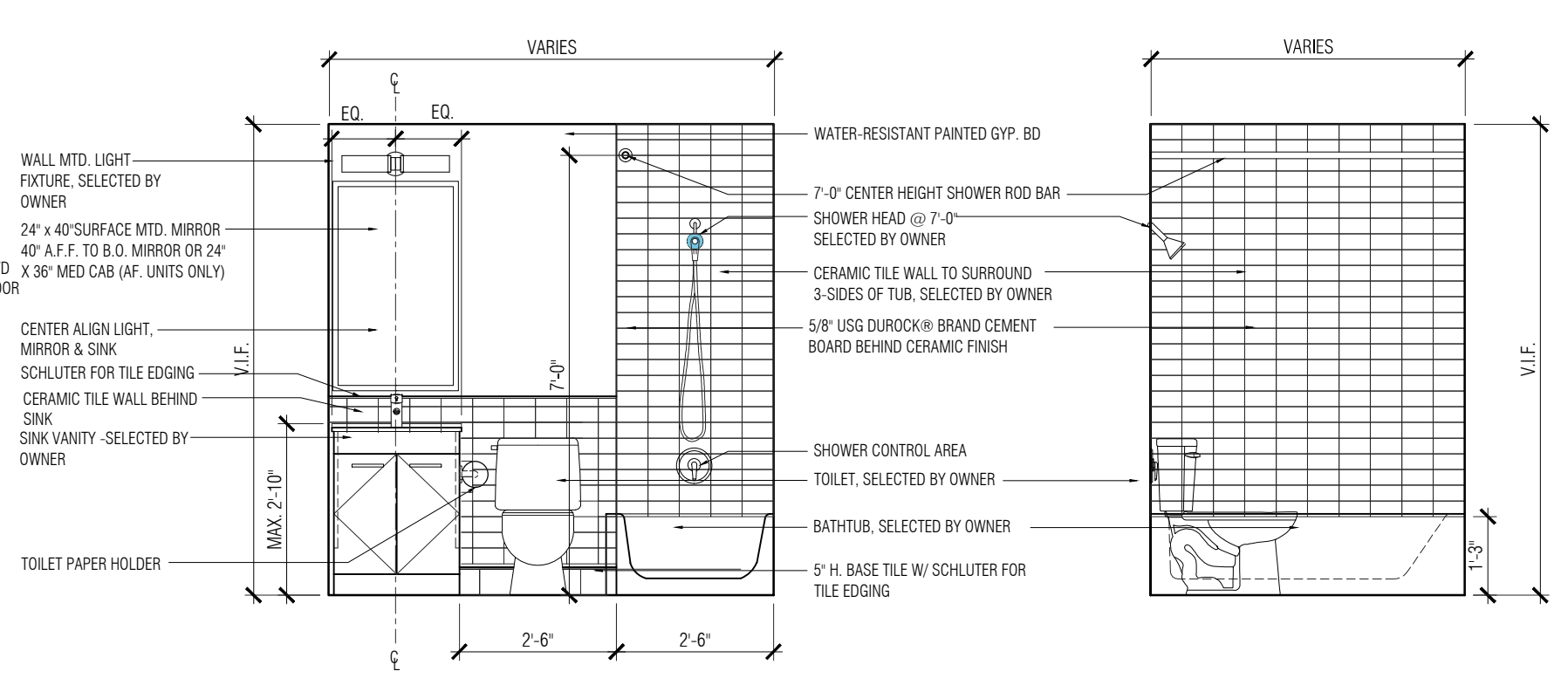




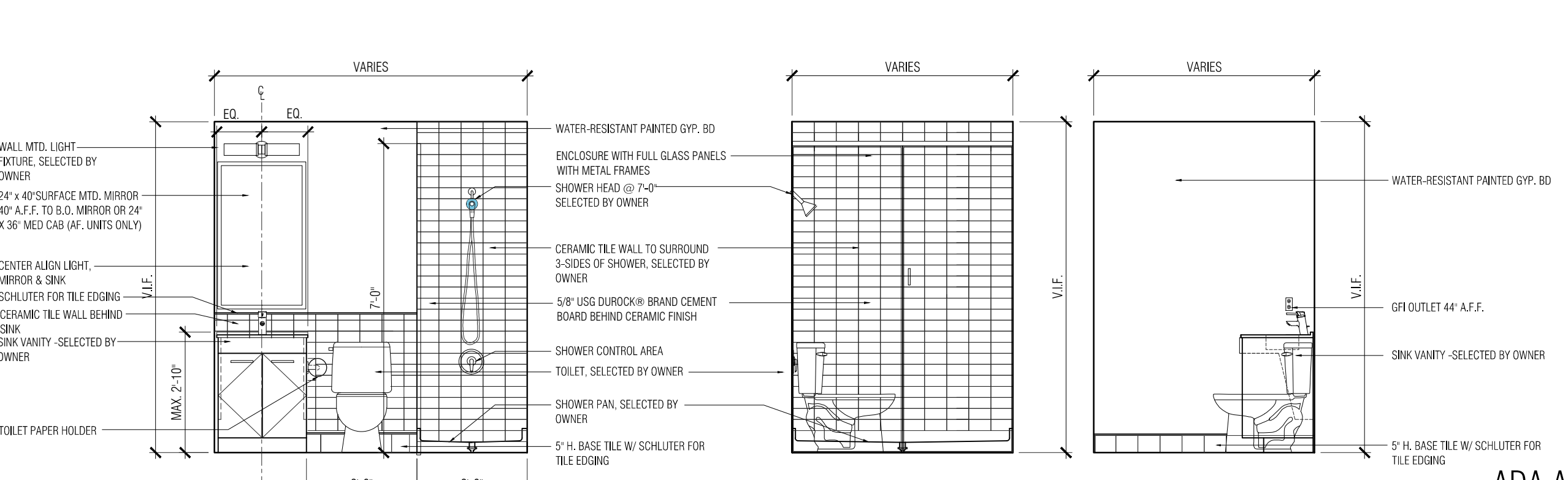
PROPOSED TYPICAL BATH W/ TUB PLAN  
SCALE: 3/8" = 1'-0"



TYPICAL BATH W/ SHOWER PLAN  
NOT TO SCALE



ELEVATION A SCALE: 3/8" = 1'-0"  
ELEVATION B SCALE: 3/8" = 1'-0"



ELEVATION A SCALE: 3/8" = 1'-0"  
ELEVATION B SCALE: 3/8" = 1'-0"  
ELEVATION C SCALE: 3/8" = 1'-0"

**KITCHEN AND BATHROOM NOTES**

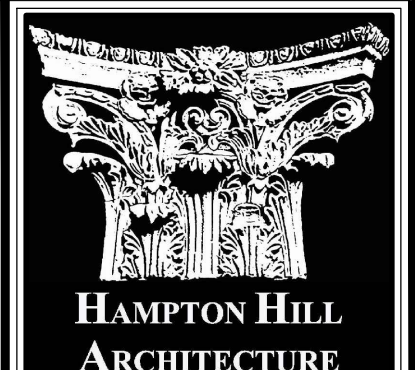
- CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL WORK COMPLIES WITH ALL CURRENT AND APPLICABLE CODES AND STANDARDS.
- KITCHEN CABINETS ARE TO BE INSTALLED AT STANDARD HEIGHT AS SHOWN BUT BLOCKING MUST BE PROVIDED TO ALLOW THE CABINETS TO BE LOWERED WITHOUT DAMAGING THE WALL.
- WALL RETURN ABOVE REFRIGERATOR AT POCKET FOR WALL CABINET HANGING.
- FINISHED FLOOR AND WALLS ARE TO BE PROVIDED BELOW AND BEHIND KITCHEN CABINETS, AND, PROVIDED FINISHED KITCHEN CABINETS SIDES AT CABINETS ADJACENT TO REMOVABLE BASES.
- GENERAL CONTRACTORS ARE TO COORDINATE APPLIANCES OUTLET LOCATION WITH MANUFACTURER RECOMMENDATIONS AND SPECIFICATIONS.
- BATHROOM VANITIES MUST BE CONSTRUCTED AND INSTALLED TO ALLOW BASE TO BE REMOVED INDEPENDENTLY OF THE SINK AND COUNTERTOP.
- G.C. RESPONSIBLE TO COORDINATE INSTALLATION OF ALL TOILETS TO ENSURE FLUSH LEVEL ON THE CORRECT, 'OPEN' SIDE OF THE FIXTURE

**DRYWALL AND FINISH NOTES**

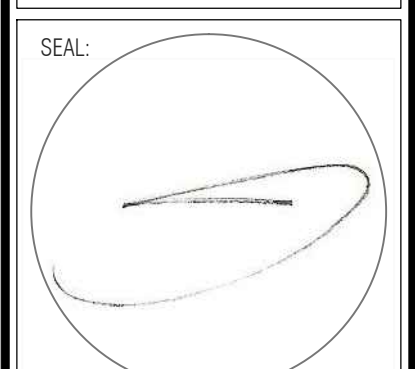
- REFER TO PARTITION AND WALL TYPE SCHEDULE FOR PARTICULARS OF WALL CONSTRUCTION AND DRYWALL TYPES TO BE USED.
- ALL NEW DRYWALL SURFACES ARE TO BE TAPED AND 3 COAT COMPOUNDED SMOOTH AND FREE OFF ALL IRREGULARITIES.
- ALL NEW DRYWALL IS TO BE PRIMED WITH DRYWALL PRIMER SEALER AND PAINTED TWO FINISH COATS OF LATEX AS CHOSEN BY OWNER.
- ALL PAINT COLORS ARE TO BE AS CHOSEN BY OWNER.
- TRIM:
  - BASE MOULDINGS: PROVIDE AND INSTALL NEW 7-1/2" WOOD BASE OR EQUIVALENT BASE CHOSEN BY OWNER.
  - WINDOW AND DOOR CASING: PROVIDE AND INSTALL MITERED 3-1/2" COLONIAL WOOD CASE MOULDINGS. AT WINDOWS, PROVIDE WOOD INTERIOR STOOL WITH BULLNOSED EDGE WITH CASE MOULDING BELOW OR EQUIVALENT CASING CHOSEN BY OWNER.
  - FINISH: ALL NEW WOOD TRIM SHALL BE CLEAR PINE OR POPLAR (NO FINGER JOINTED MATERIAL). STAIN ALL MOULDINGS AND GIVE TWO COATS OF SATIN FINISH, WATER BASED POLYURETHANE.
- FLOORING:
  - INSTALL WOOD FLOORING. REFER TO FINISH FLOOR SCHEDULES & SEE THE CONSTRUCTION DETAILS.
  - INSTALL NEW 1/4" TH. CERAMIC TILE FLOORING AT NEW BATHS AND MECH. ROOM. INSTALL 1/2" CEMENT BOARD BASE. INSTALL TILE USING THINSET MORTAR OVER CEMENTBOARD. TILE AND GROUT COLOR TO BE AS SELECTED BY OWNER.
- BATHROOM WALLS:
  - PROVIDE NEW 1/4" THICK SUBWAY WALL TILE FULL HEIGHT IN TUB ENCLOSURE AND 48" HIGH ON ALL BATHROOM WALLS WHERE NEEDED- SEE THE PROPOSED BATHROOM ELEVATIONS. PROVIDE SCHLUTER EDGE TRIM AT TOP EXPOSED EDGE OF WAINSCOT TILE.
- CEILING:
  - CEILING ARE TO HAVE GYPSUM BOARD INSTALLED; TAPE, COMPOUND SMOOTH, PRIME AND PAINT TWO COATS OF FLAT LATEX WHITE CLG. PAINT. REFER TO CONSTRUCTION DETAILS.

ROOM	FLOORS		WALLS		CEILING		REMARKS:
	FLOORING	FINISH	SEMI-GLOSS PAINT	SUBWAY TILE	FLAT PAINT	FLAT PAINT	
APT. BEDROOM							
APT. LIVING ROOM							
APT. KITCHEN							
APT. MECH CLOSETS							PROVIDE SHELVING & ACCESSORIES
APT. HALLWAY							
APT. BATHROOM							PROVIDE NEW TILES, FIXTURES & ACCESS.
APT. STAIR HALL							
APT. LAUNDRY CL.							
APT. GROUND LEVEL							
CELLAR							

NOTES:  
1. VERIFY ALL FINISHES WITH OWNER/ARCHITECT PRIOR TO PURCHASING MATERIALS AND/OR INSTALLATION. SUBMIT SAMPLES FOR APPROVAL.  
2. REFER TO MECHANICAL PLANS FOR DROPPED CEILING AND DUCT SOFFIT AREAS.



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Registered Architect, NJ LIC 21 AI 01985300

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ADDRESS:  
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NEW JERSEY

BLOCK: 4406  
LOT: 12

**ADA ADAPTABLE UNIT KITCHEN AND BATHROOM GENERAL NOTES**

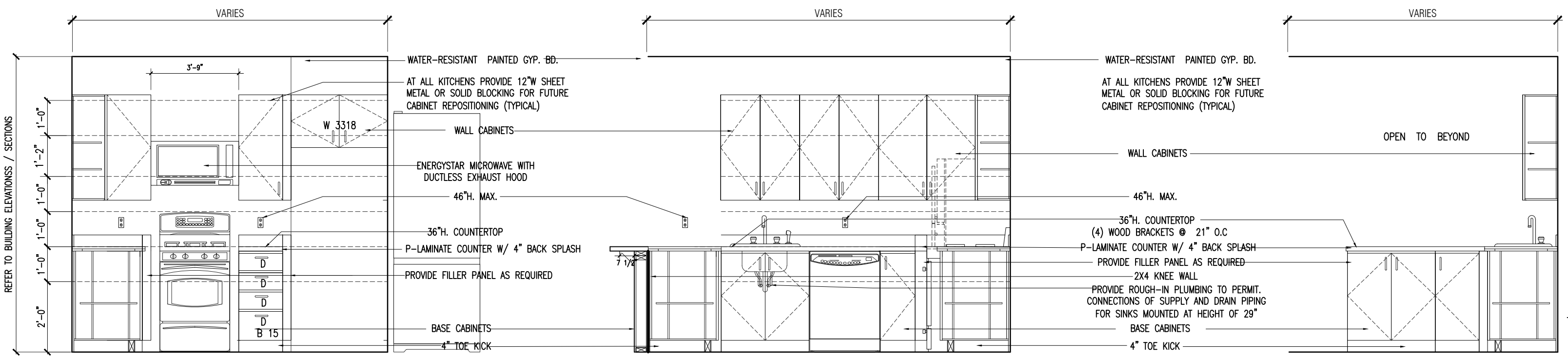
- CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL WORK COMPLIES WITH ALL CURRENT AND APPLICABLE CODES AND STANDARDS.
- CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL KITCHENS AND BATHROOMS COMPLY TO THE BARRIER FREE SUBCODE NJAC 5-23-7 AND ANSI A117.1-2003. IN ADAPTABLE UNIT. DWELLING UNITS ON 1ST FL. ARE REQUIRED TO BE ADAPTABLE. THERE MUST BE A 30 INCH LENGTH OF COUNTERTOP THAT IS EITHER AT 34 INCHES OR THAT CAN BE ADJUSTED TO ACCESSIBLE HEIGHT; THIS SECTION OF COUNTERTOP DOES NOT HAVE TO BE PRE-CUT BUT MUST BE REPLACEABLE AS A UNIT. THIS LENGTH OF COUNTERTOP SHOULD INCLUDE THE SINK WHICH SHOULD ALSO BE LOWERED TO ALLOW FOR ADAPTABILITY.
- KITCHEN CABINETS ARE TO BE INSTALLED AT STANDARD HEIGHT AS SHOWN BUT BLOCKING MUST BE PROVIDED TO ALLOW THE CABINETS TO BE LOWERED WITHOUT DAMAGING THE WALL. GRAB BARS DO NOT HAVE TO BE INSTALLED WITHIN THE DWELLING UNITS, BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS IN BATHROOMS MUST BE INSTALLED.
- BATHROOM VANITIES MUST BE CONSTRUCTED AND INSTALLED TO ALLOW BASE TO BE REMOVED INDEPENDENTLY OF THE SINK AND COUNTERTOP.
- ALL ROUGH-IN PLUMBING MUST BE INSTALLED TO ALLOW CONNECTIONS OF DRAIN AND SUPPLY PIPING FOR SINKS AT A MOUNTING HEIGHT OF 29 INCHES.

**KITCHEN AND BATHROOM FINISH NOTES**

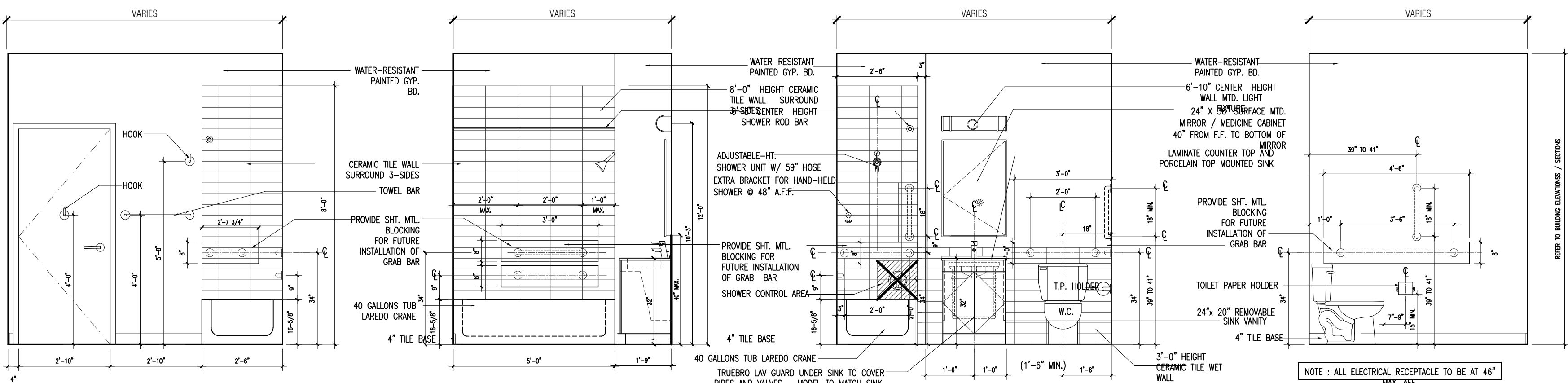
- KITCHEN CABINETS TO BE SELECTED BY OWNER.
- KITCHEN COUNTERTOPS TO BE GRANITE AND EDGE / COLOR TBD.
- BATHROOM VANITY TO BE SELECTED BY OWNER.
- BATHROOM COUNTERTOPS TO BE LAMINATE W/ CASCADE EDGE COLOR TBD.

**DOOR SCHEDULE:**

- NEW INTERIOR PRE-HUNG, SOLID WOOD, TWO PANEL SWINGING BEDROOM DOOR AND FRAME: 1-1/2 PAIR HINGES, OAK SADDLE, INTERIOR PRIVACY LOCKSET, 3-1/2" COLONIAL CASING, 1" UNDERCUT
- NEW INTERIOR PRE-HUNG, SOLID WOOD, TWO PANEL SWINGING CLOSET DOOR AND FRAME: 1-1/2 PAIR HINGES, OAK SADDLE, INTERIOR PASSAGE LOCKSET, 3-1/2" COLONIAL CASING, 1" UNDERCUT
- NEW PRE-HUNG, SOLID WOOD, TWO PANEL SWINGING BATHROOM DOOR AND FRAME: 1-1/2 PAIR HINGES, MARBLE SADDLE, INTERIOR PRIVACY LOCKSET, 3-1/2" COLONIAL CASING.
- NEW INTERIOR PRE-HUNG, SOLID WOOD, LAUNDRY/ MECH LOUVERED PANEL SWINGING CLOSET DOOR AND FRAME: 1-1/2 PAIR HINGES, NO SADDLE, INTERIOR PASSAGE LOCKSET, 3-1/2" COLONIAL CASING.
- NEW EXTERIOR ANDERSEN FIBREX COMPOSITE MATERIAL FRAMED GLIDING PATIO DOOR 100 SERIES SELECTED BY OWNER EXTERIOR LOCKSET WITH SEPARATE KEYPED DEADBOLT W/ INSIDE THUMBBLATCH; LOW-E GLAZING
- NEW INTERIOR POCKET DOOR, DOOR FULL W/ SPRING HINGES; COMPATIBLE RAIL, PIVOT AND GUIDES. SOLID WOOD, TWO PANEL BATHROOM DOOR AND FRAME: MARBLE SADDLE, INTERIOR PRIVACY LOCKSET, 3-1/2" COLONIAL CASING.
- NEW FLUSH PANEL, 1 1/2 HOUR RATED SOLID WOOD DOOR AND FRAME, WITH ENTRANCE LOCKSET, KEYPED DEADBOLT LOCK, CHAIN LOCK AND VISION PORT, FULL WEATHERSTRIPPING AND METAL SADDLE.
- NEW INSUL. METAL EXTERIOR PATIO SWING DOOR W/ FULL GLASS PANEL AND FRAME. CHOSEN BY OWNER W/ 1-1/2 PAIR SPRING HINGES, ALUMINUM SADDLE, FULL WEATHERSTRIPPING, EXTERIOR LOCKSET WITH SEPARATE KEYPED DEADBOLT W/ INSIDE THUMBBLATCH.
- NEW INSUL. METAL EXTERIOR SWING DOOR W/ FLUSH PANEL AND FRAME. CHOSEN BY OWNER W/ 1-1/2 PAIR SPRING HINGES, ALUMINUM SADDLE, FULL WEATHERSTRIPPING, INTERIOR PASSAGE LOCKSET.
- NEW 45 MIN. RATED INSUL. METAL INTERIOR SWING DOOR W/ FLUSH PANEL AND FRAME. CHOSEN BY OWNER W/ 1-1/2 PAIR SPRING HINGES, ALUMINUM SADDLE, FULL WEATHERSTRIPPING, INTERIOR PASSAGE LOCKSET.
- NEW FLUSH PANEL, 1 1/2 HOUR RATED HOLLOW METAL DOOR AND FRAME, WITH ENTRANCE LOCKSET, KEYPED DEADBOLT LOCK, CHAIN LOCK AND VISION PORT, FULL WEATHERSTRIPPING AND METAL SADDLE.

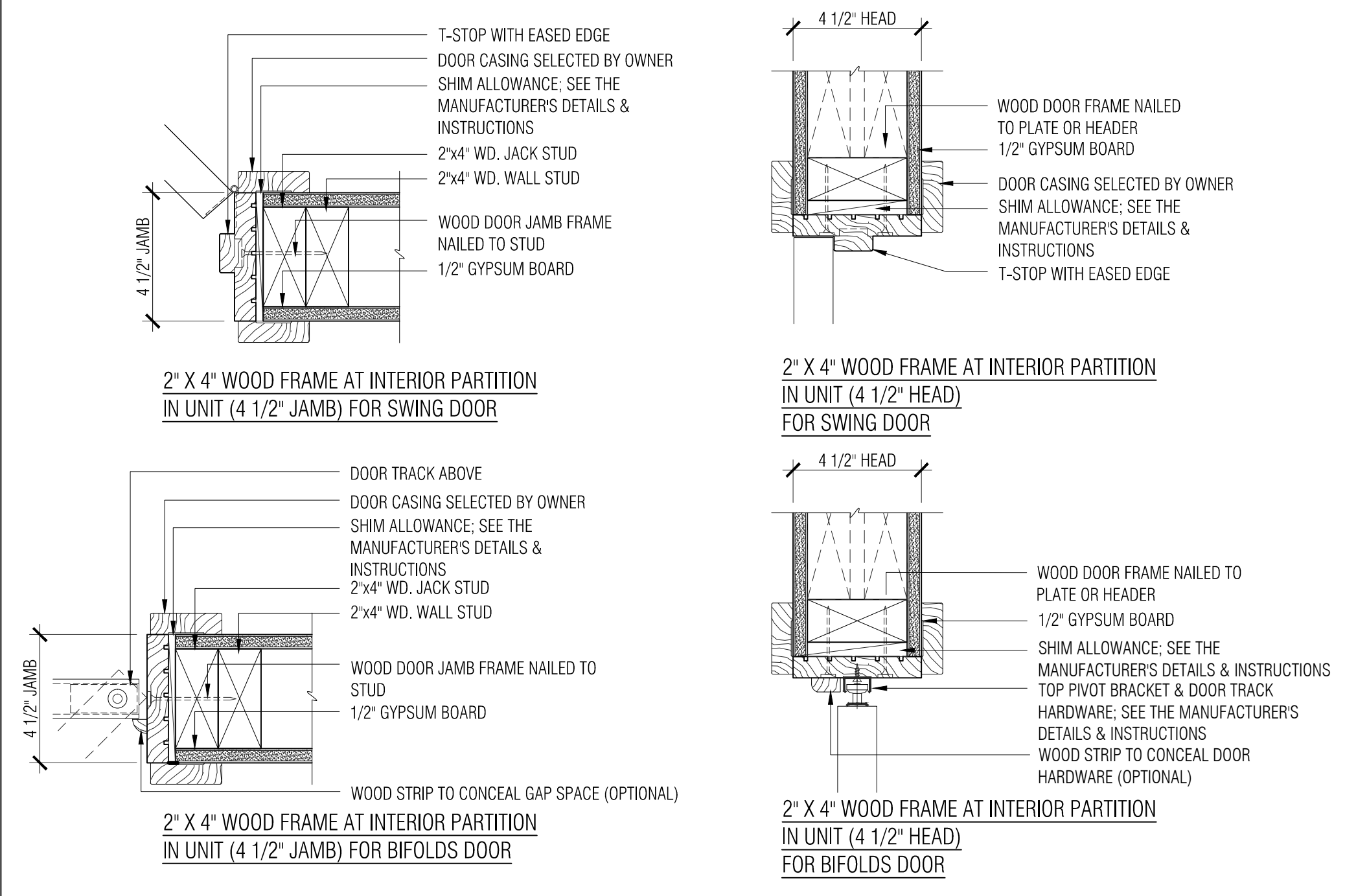


TYPICAL ADA ADAPTABLE KITCHEN -ELEVATION  
SCALE: 3/8" = 1'-0"



TYPICAL ADA ADAPTABLE BATHROOM -ELEVATION  
SCALE: 3/8" = 1'-0"

NOTE: SEE NO. 5 ON SHEET A-5 FOR THE DETAILED INSTALLATION OF GRAB BARS & ACCESSIBLE REQUIREMENTS



FOR:

REVISIONS:

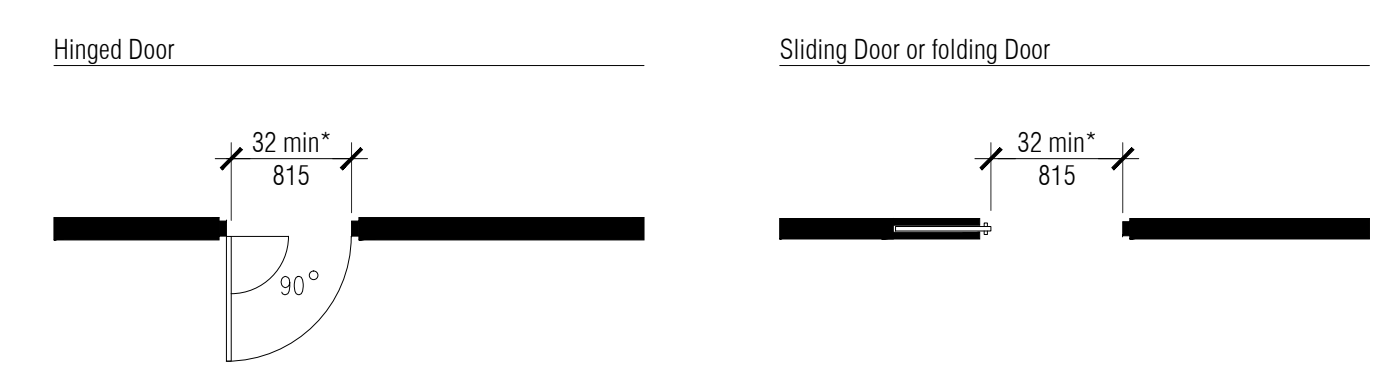
DRAWN BY: MK  
CHKD BY: MK  
ISSUE DATE: 10.07.2022  
PROJECT NO: 22018

SHEET TITLE:  
FINISH / DOOR DETAILS, SCHEDULES & BUILDING NOTES

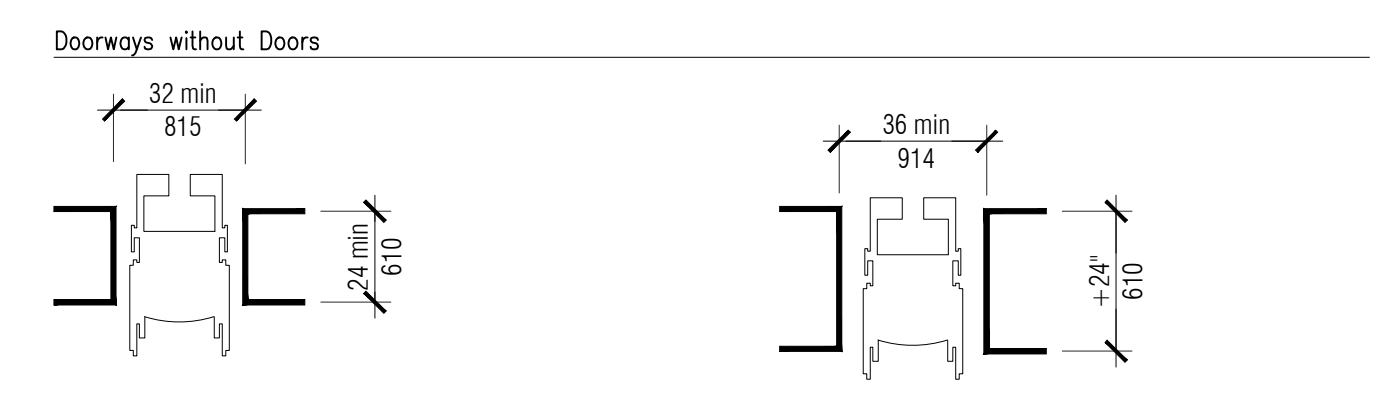


1 DOORS AND DOORWAYS

Minimum Clear Width at Doors

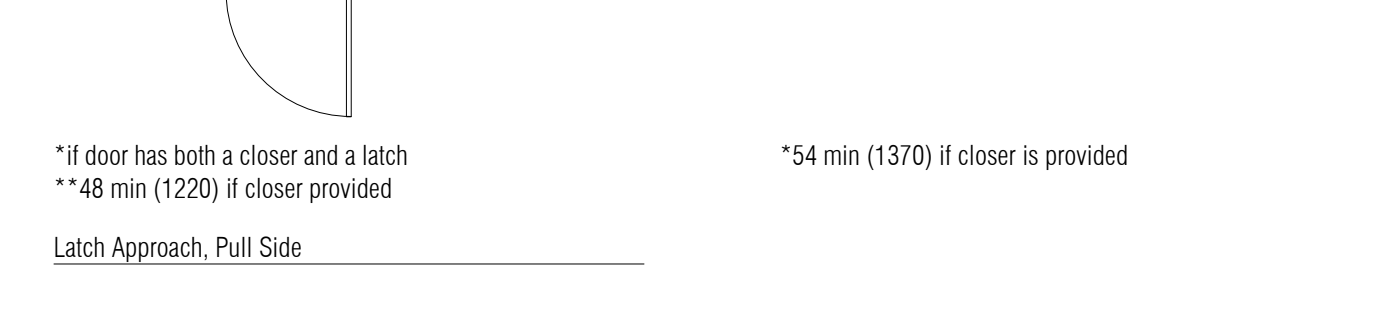
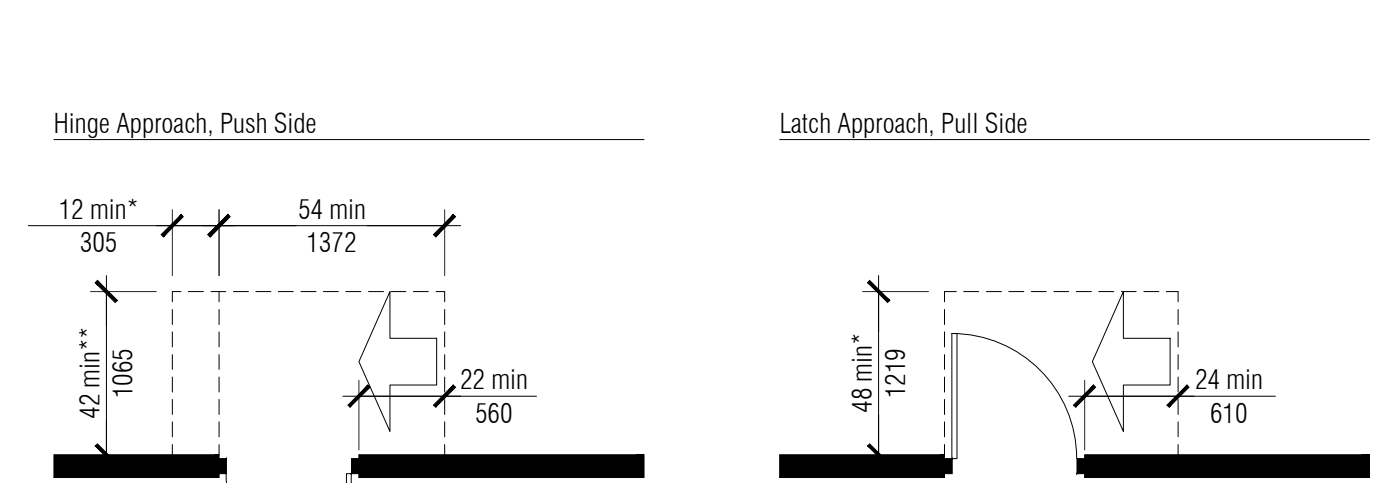
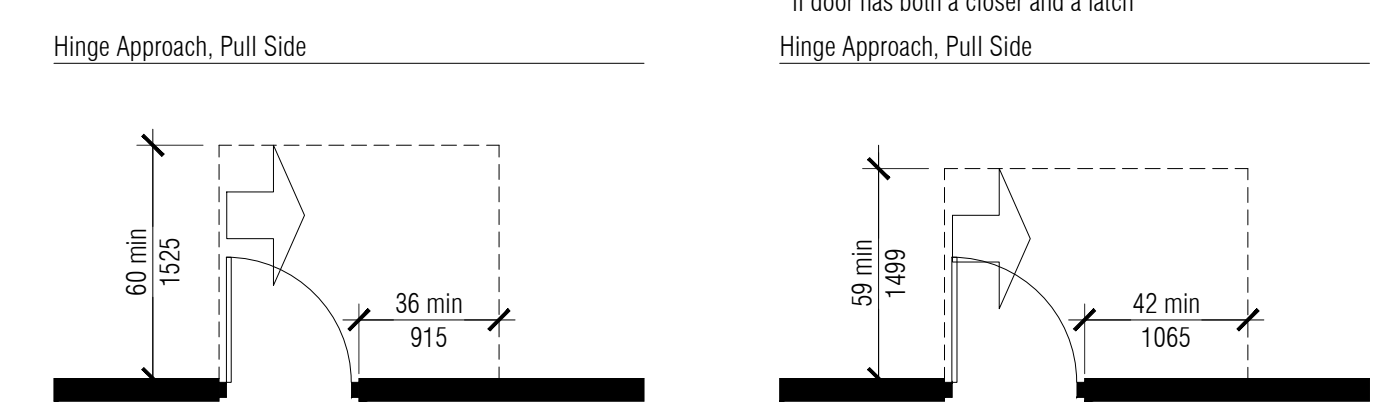
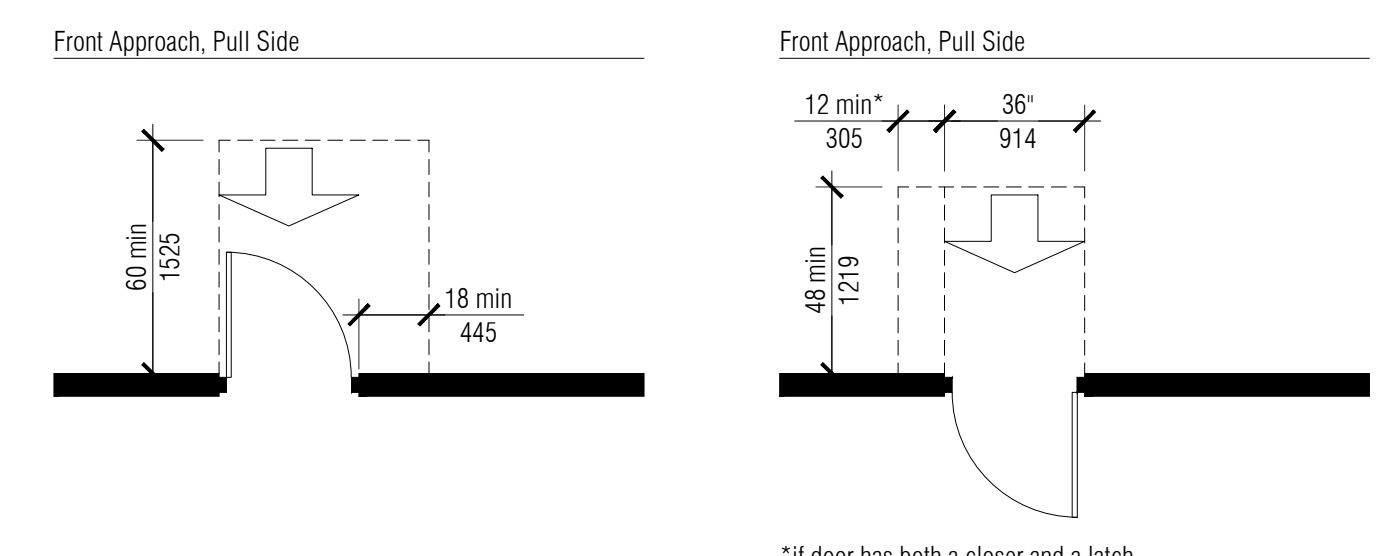


\*measurement from the face of the door open at a 90 degree angle, to the stop  
 NOTE #1: at least one leave of doorways with two leaves must comply  
 NOTE #2: face of door must not exceed 8" from the same face of wall



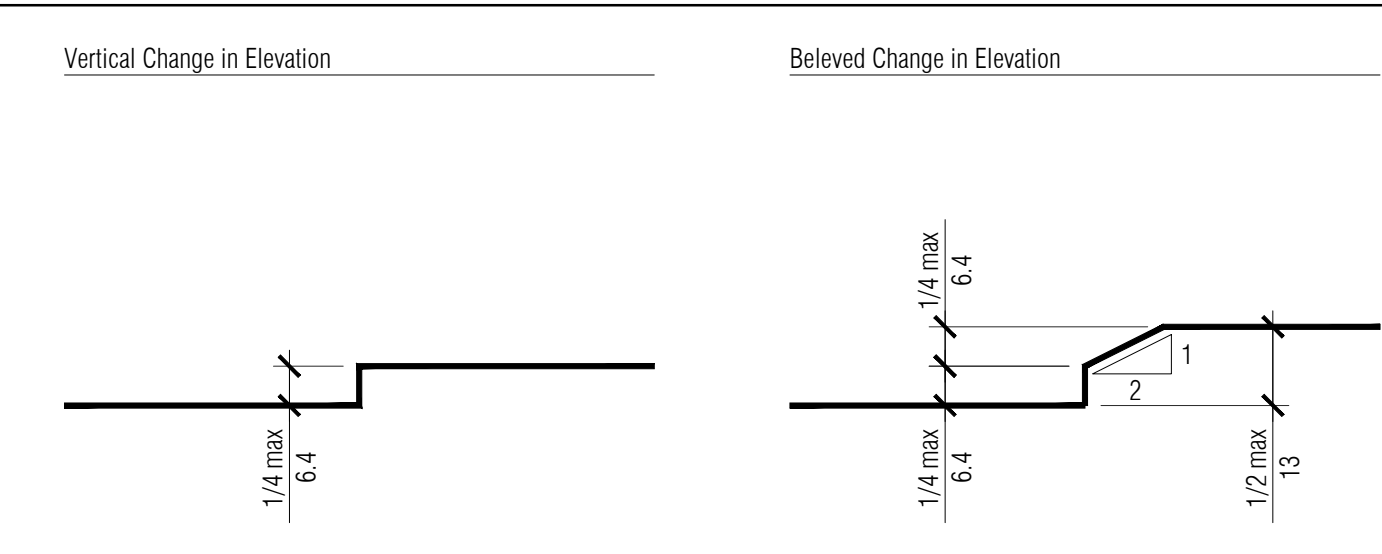
2 DOORS AND DOORWAYS

Maneuvering Clearance at Manual Swinging Doors



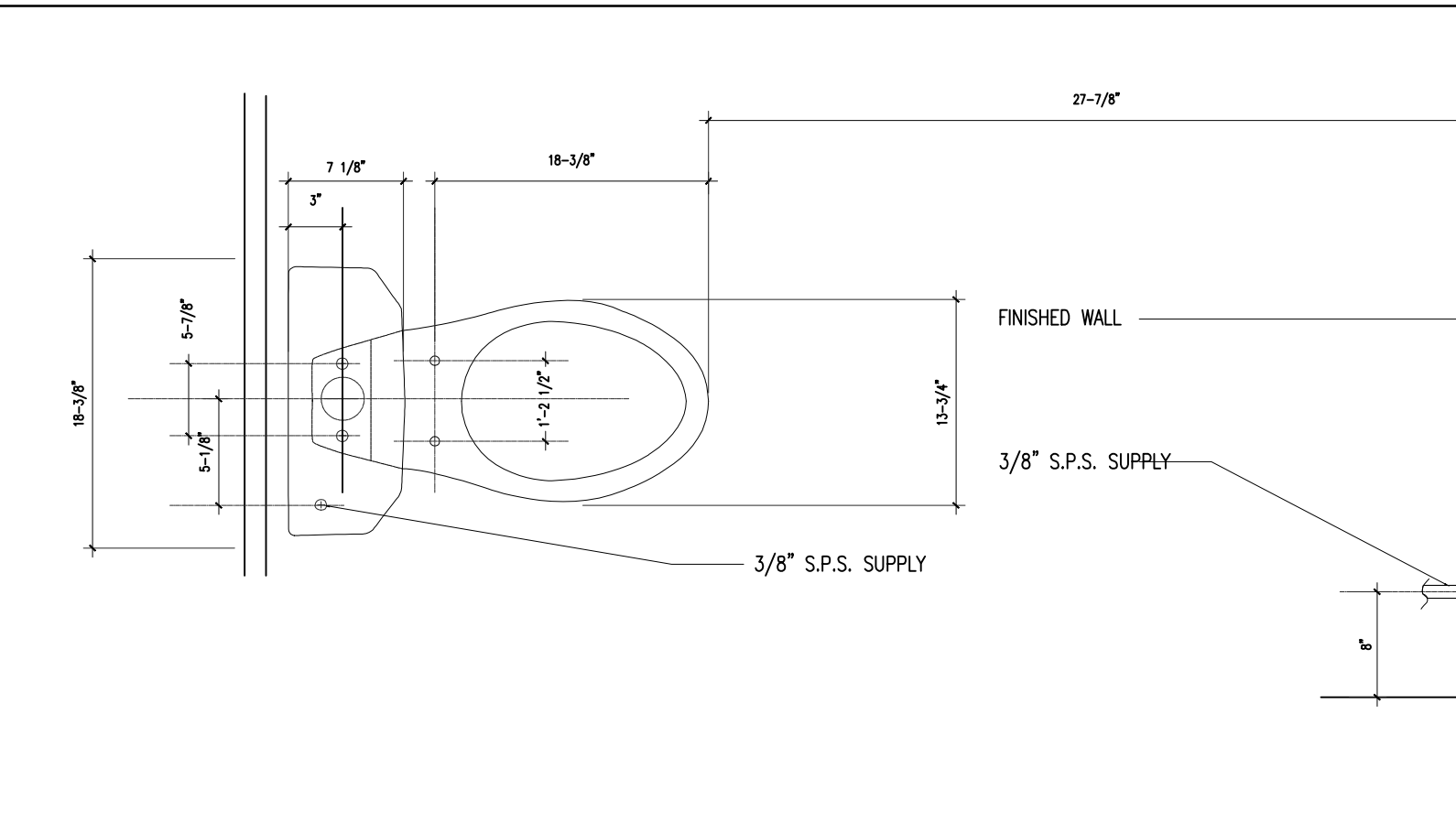
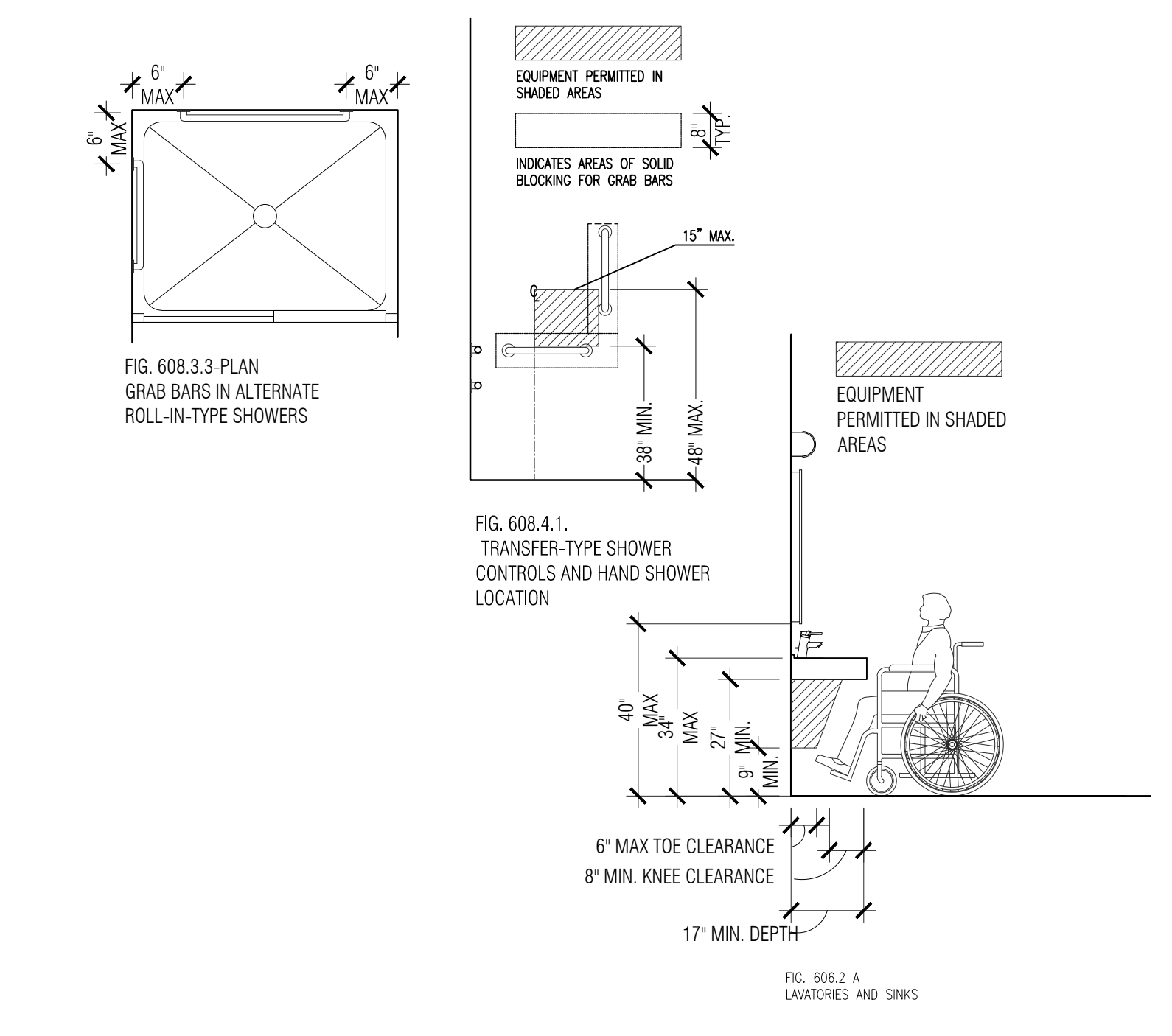
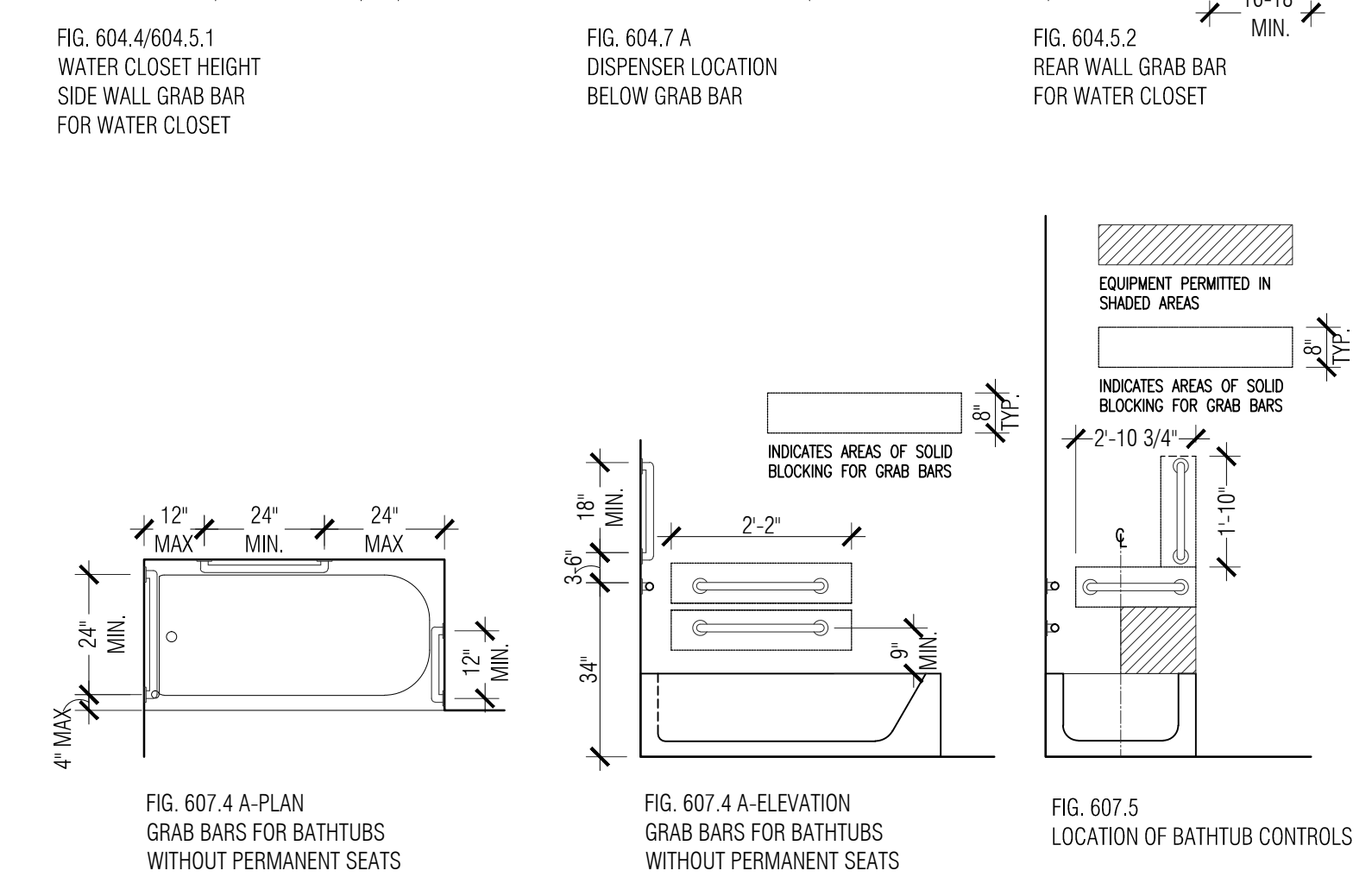
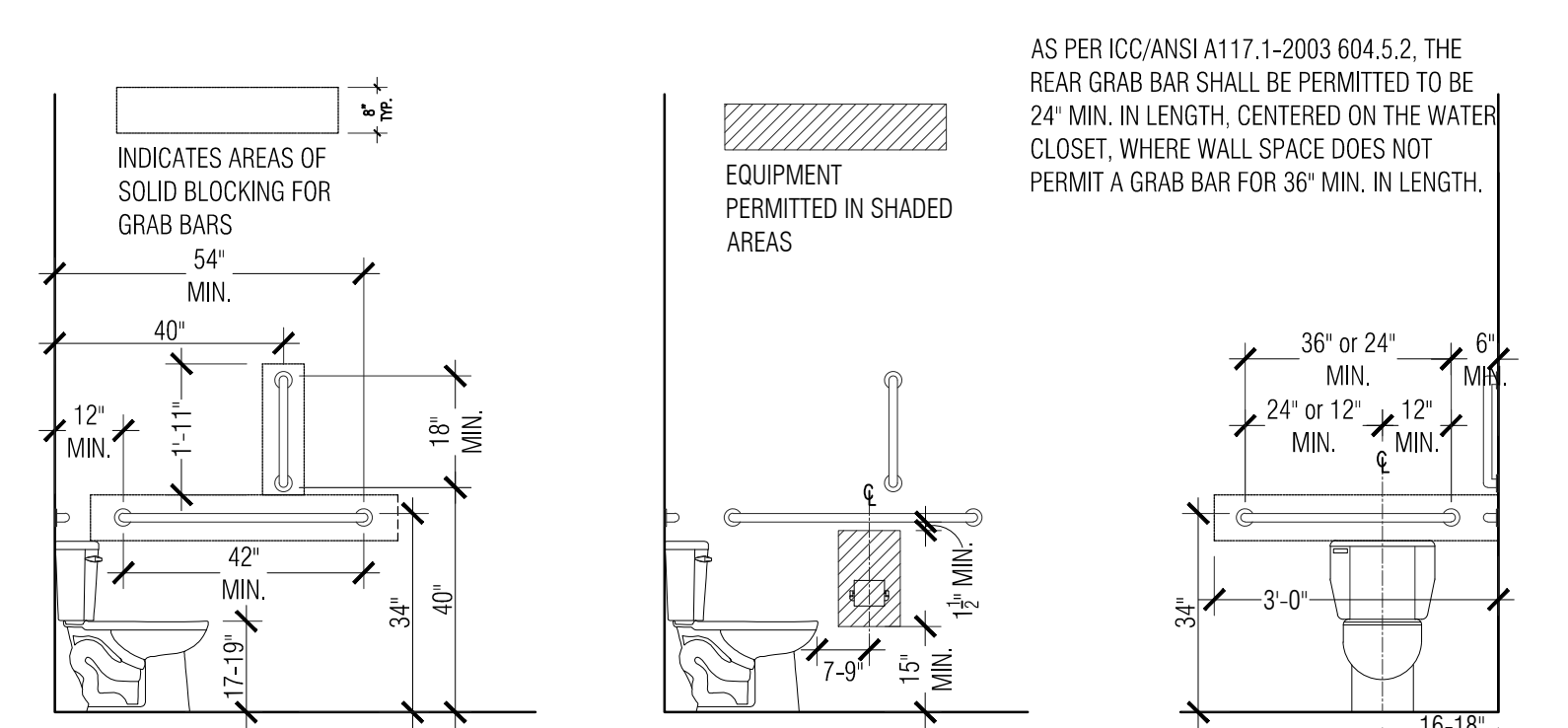
3 DOORS AND DOORWAYS

Thresholds and Changes in Elevation

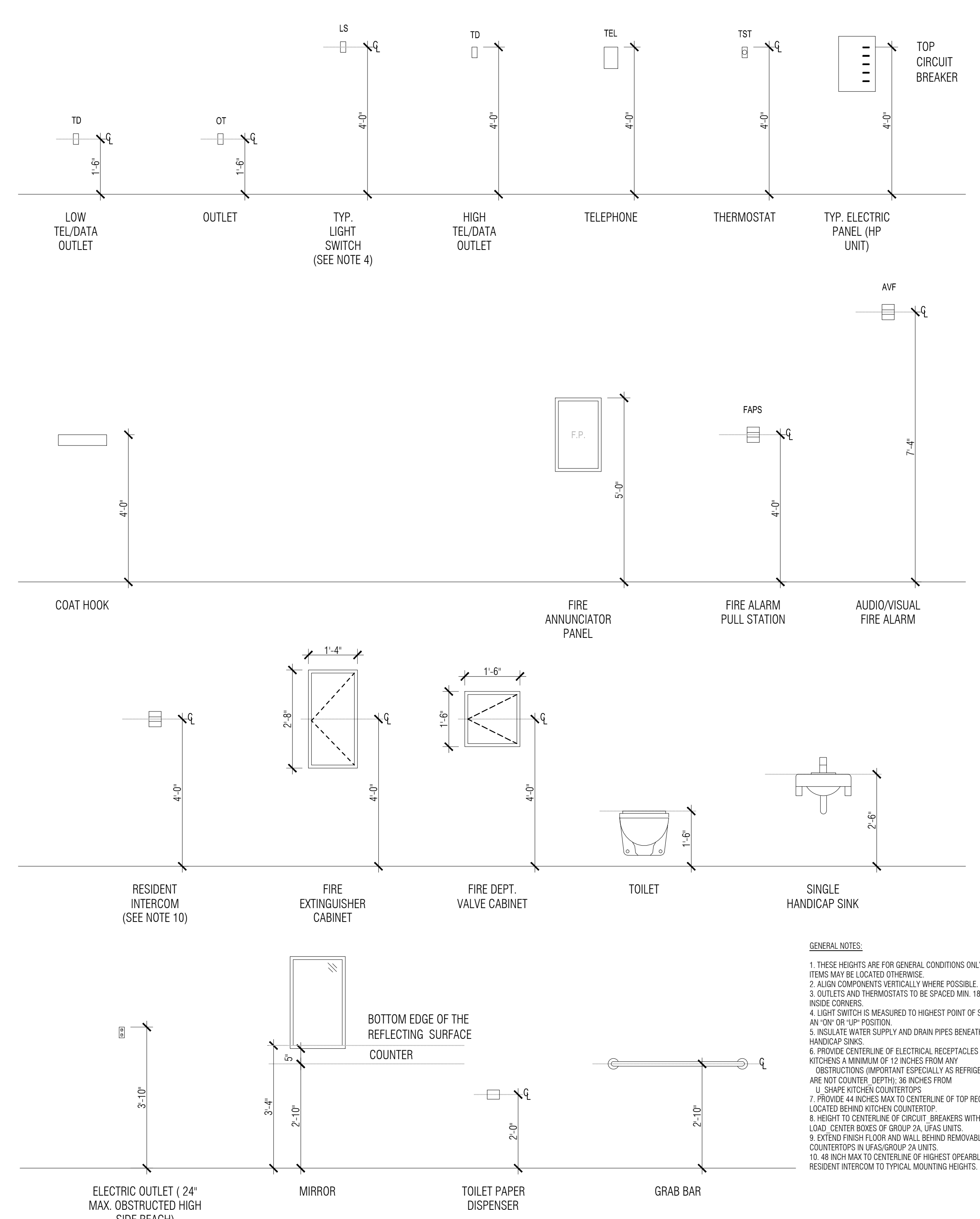


4 ACCESSIBLE BATHROOM REQUIREMENTS

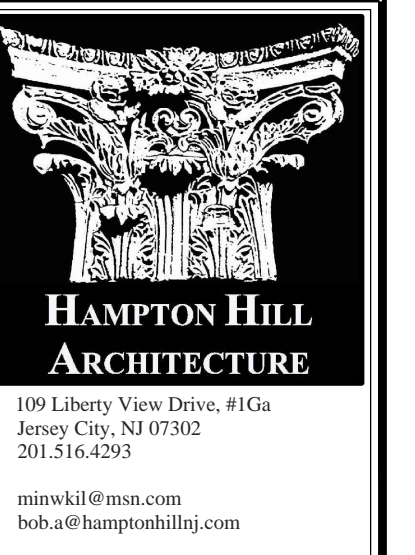
(AS PER ICC/ANSI A117.1-2003)



5 TYPICAL MOUNTING HEIGHTS



- GENERAL NOTES:
1. THESE HEIGHTS ARE FOR GENERAL CONDITIONS ONLY. CERTAIN ITEMS MAY BE LOCATED OTHERWISE.
  2. ALIGN COMPONENTS VERTICALLY WHERE POSSIBLE.
  3. OUTLETS AND THERMOSTATS TO BE SPACED MIN. 18" FROM INSIDE CORNERS.
  4. LIGHT SWITCH IS MEASURED TO HIGHEST POINT OF SWITCH IN ALL "ON" OR "UP" POSITION.
  5. INSULATE WATER SUPPLY AND DRAIN PIPES BENEATH HANDICAP SINKS.
  6. PROVIDE CENTERLINE OF ELECTRICAL RECEPTACLES WITHIN KITCHENS A MINIMUM OF 12 INCHES FROM ANY OBSTRUCTIONS (IMPORTANT ESPECIALLY AS REFRIGERATORS ARE NOT COUNTER DEPTH); 36 INCHES FROM U-SHAPED KITCHEN COUNTERTOPS.
  7. PROVIDE 44 INCHES MAX TO CENTERLINE OF TOP RECEPTACLE LOCATED BEHIND KITCHEN COUNTERTOP.
  8. HEIGHT TO CENTERLINE OF CIRCUIT BREAKERS WITHIN LOAD CENTER BOXES OF GROUP 2A UFAS UNITS.
  9. EXTEND FINISH FLOOR AND WALL BEHIND REMOVABLE COUNTERTOPS IN UFAS/GROUP 2A UNITS.
  10. 48 INCH MAX TO CENTERLINE OF HIGHEST OPEARBLE PART OF RESIDENT INTERCOM TO TYPICAL MOUNTING HEIGHTS.



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PROPOSED ADDITION & RENOVATION OF EXISTING FOUR FAMILY DWELLING

ADDRESS:  
 81 SHERMAN AVENUE  
 JERSEY CITY, NEW JERSEY

BLOCK: 4406  
 LOT: 12

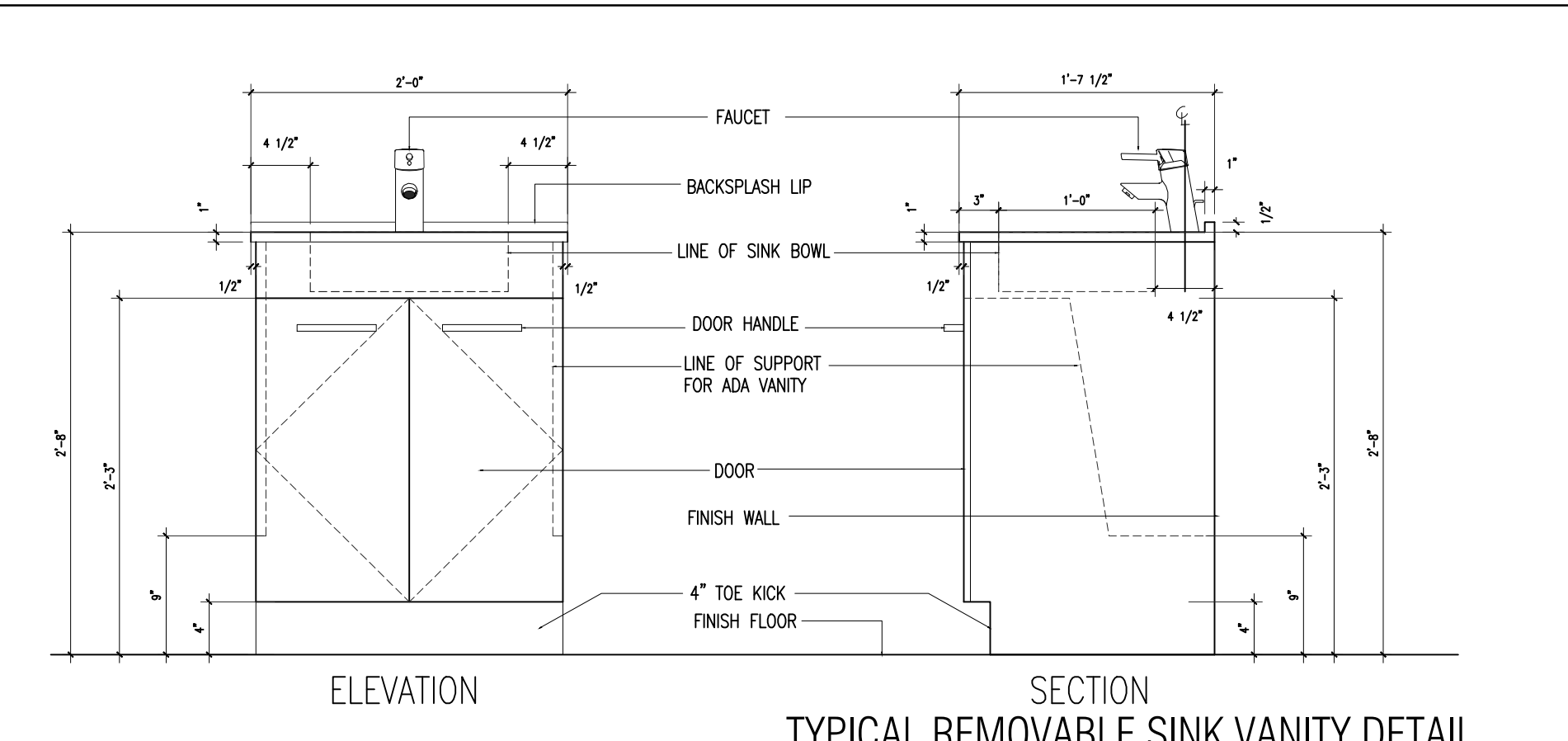
FOR:

REVISIONS:

DRAWN BY: MK  
 CHKD BY: MK  
 ISSUE DATE: 10.07.2022  
 PROJECT NO: 22018

SHEET TITLE:  
 ACCESSIBILITY REQUIREMENTS

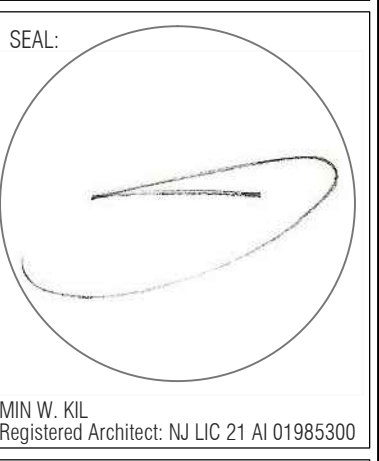
SHEET No.  
**A-10**



TYPICAL WATER CLOSET DETAIL  
 SCALE: 1/8\"/>

TYPICAL REMOVABLE SINK VANITY DETAIL  
 SCALE: 1/8\"/>





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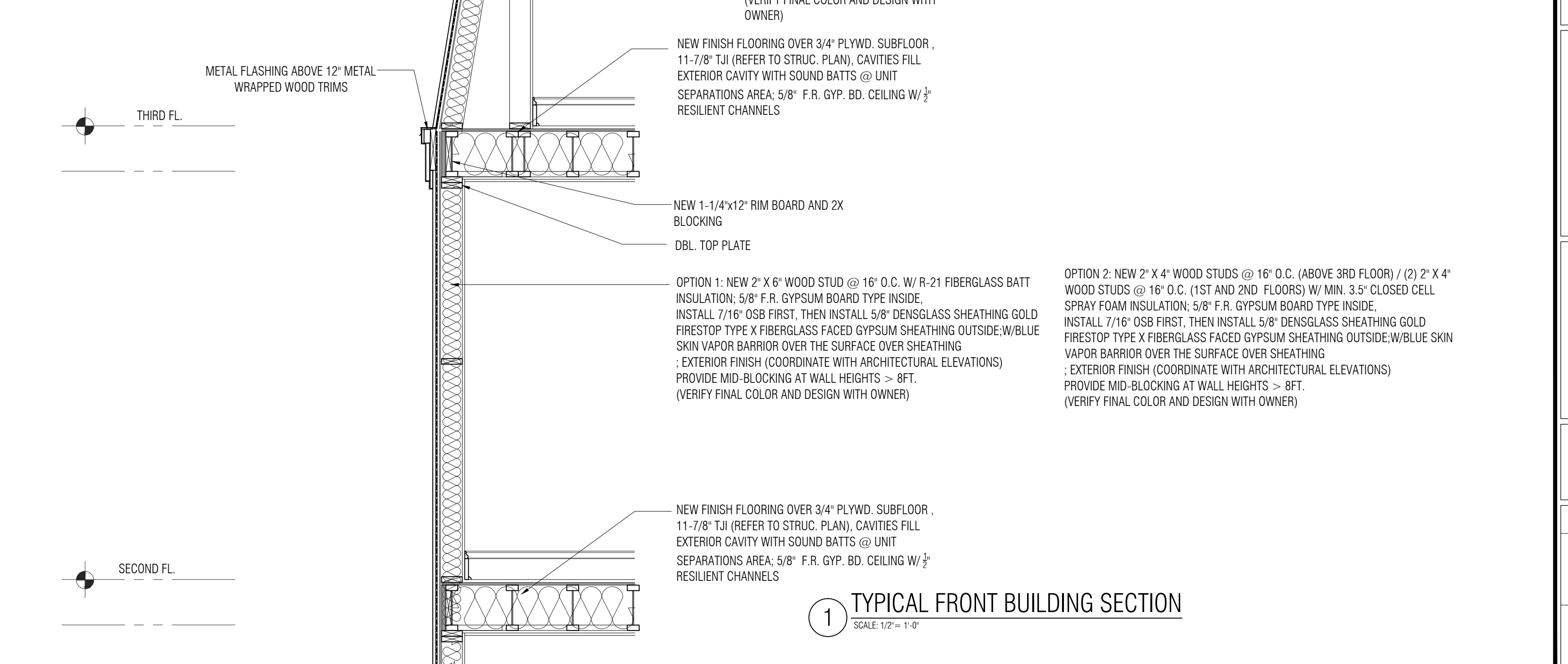
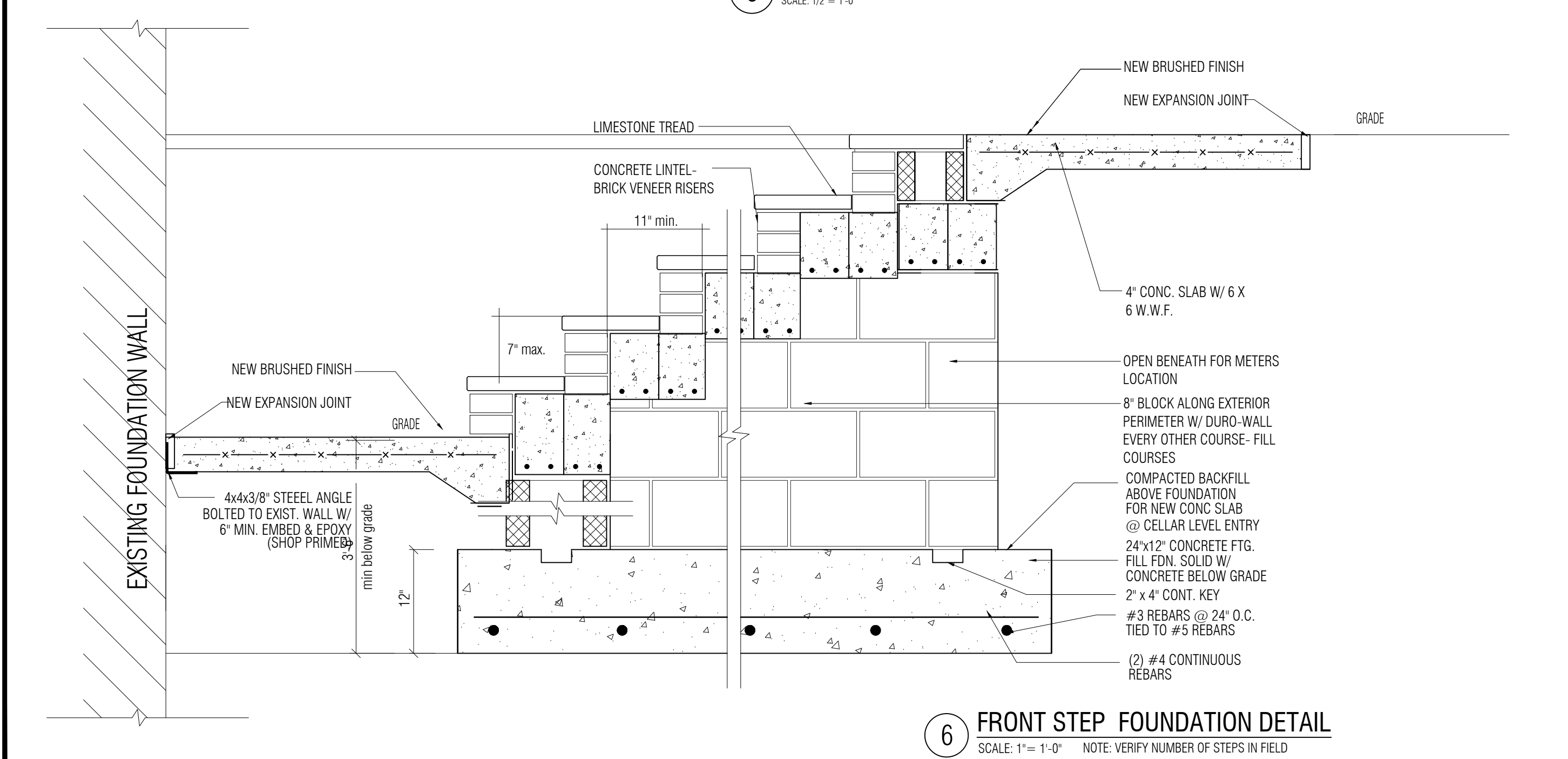
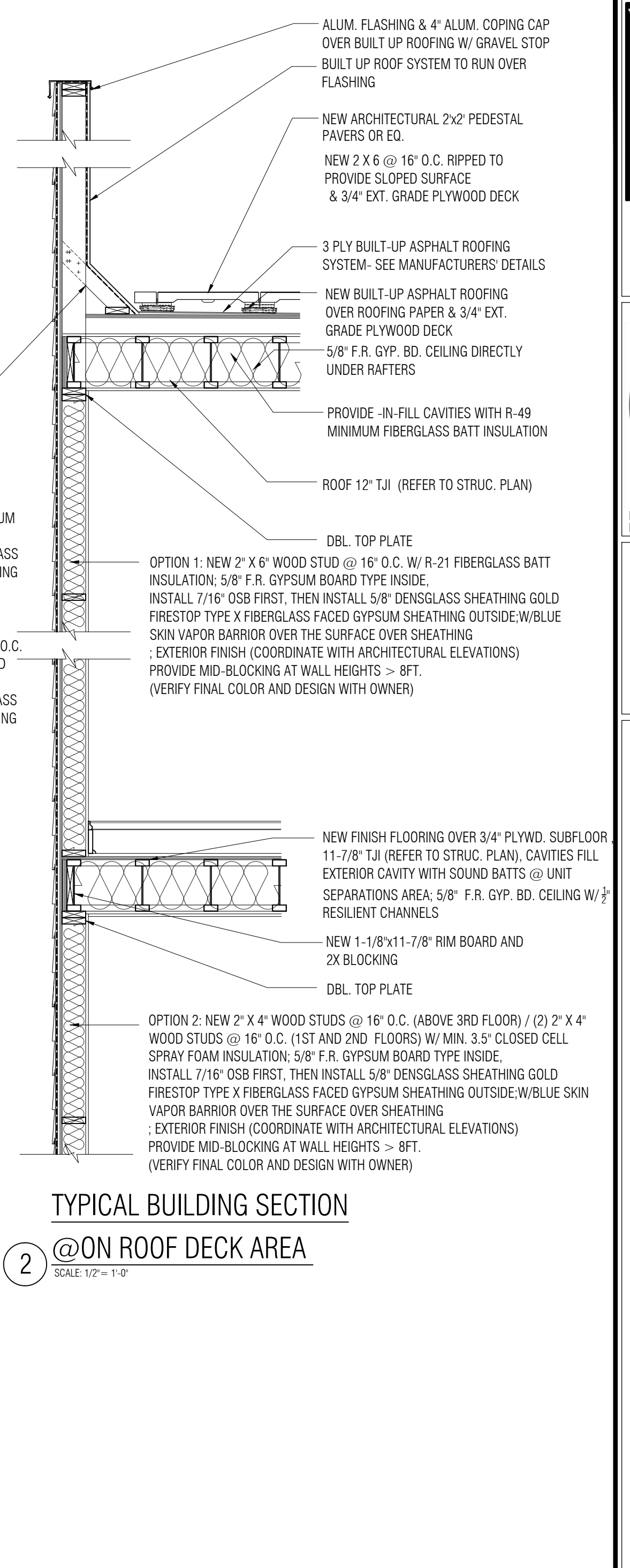
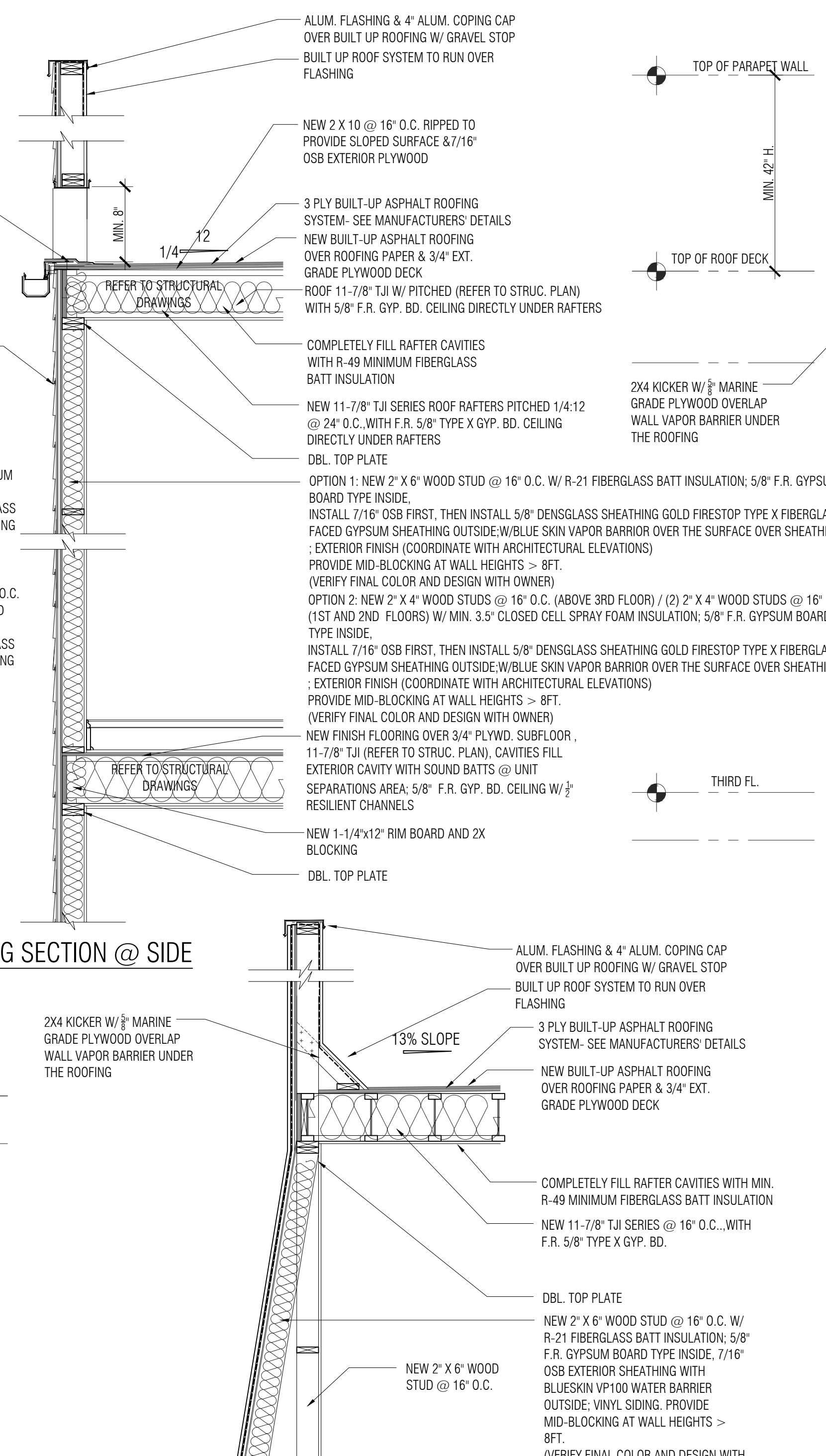
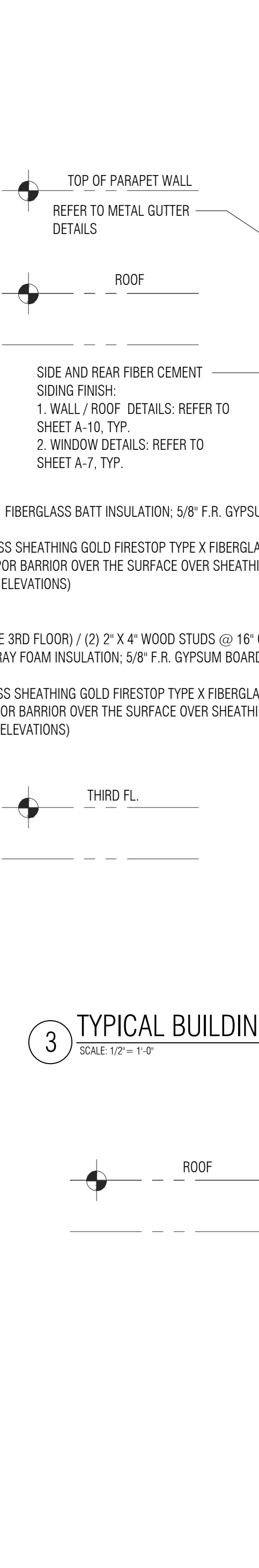
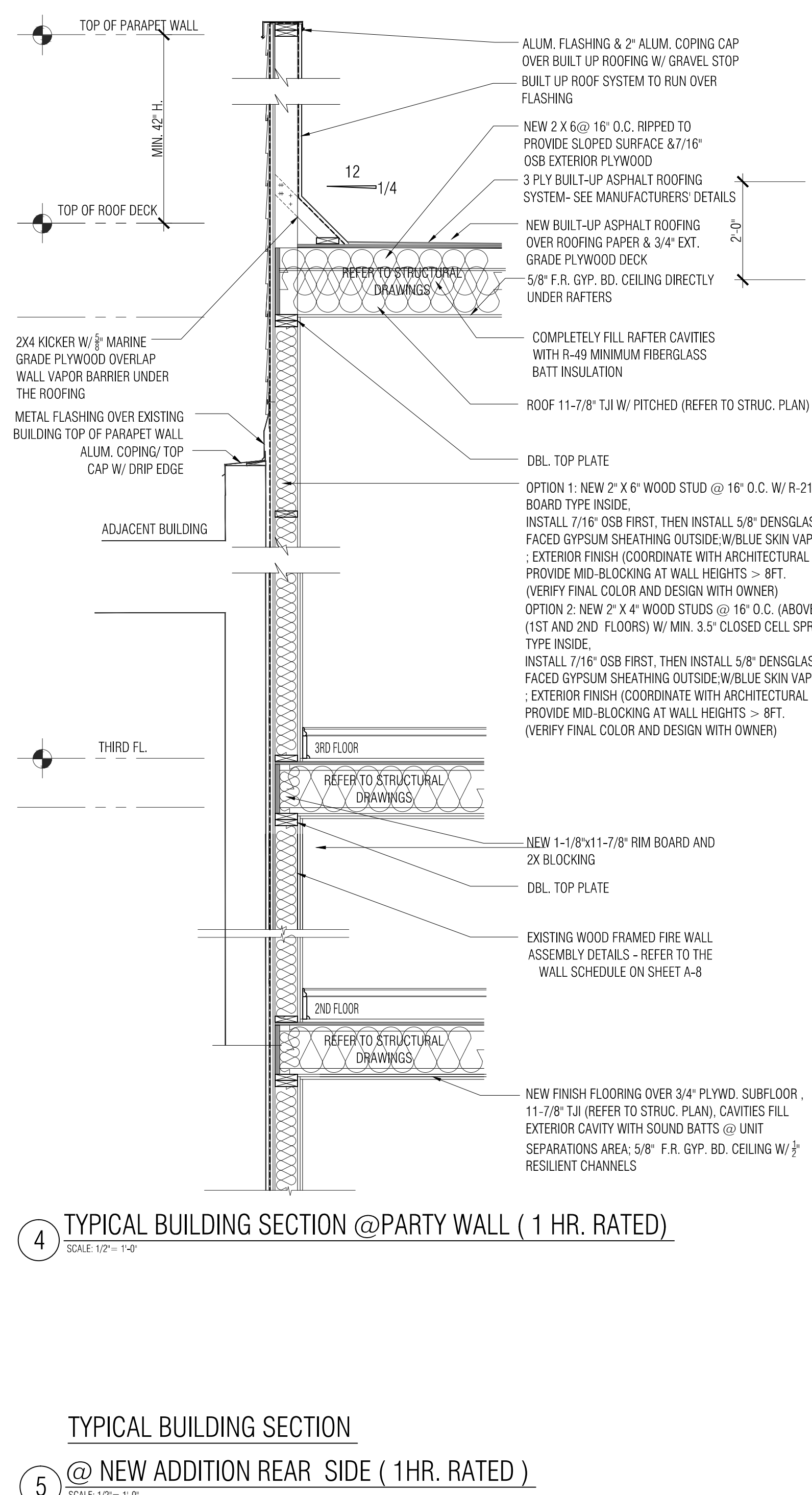
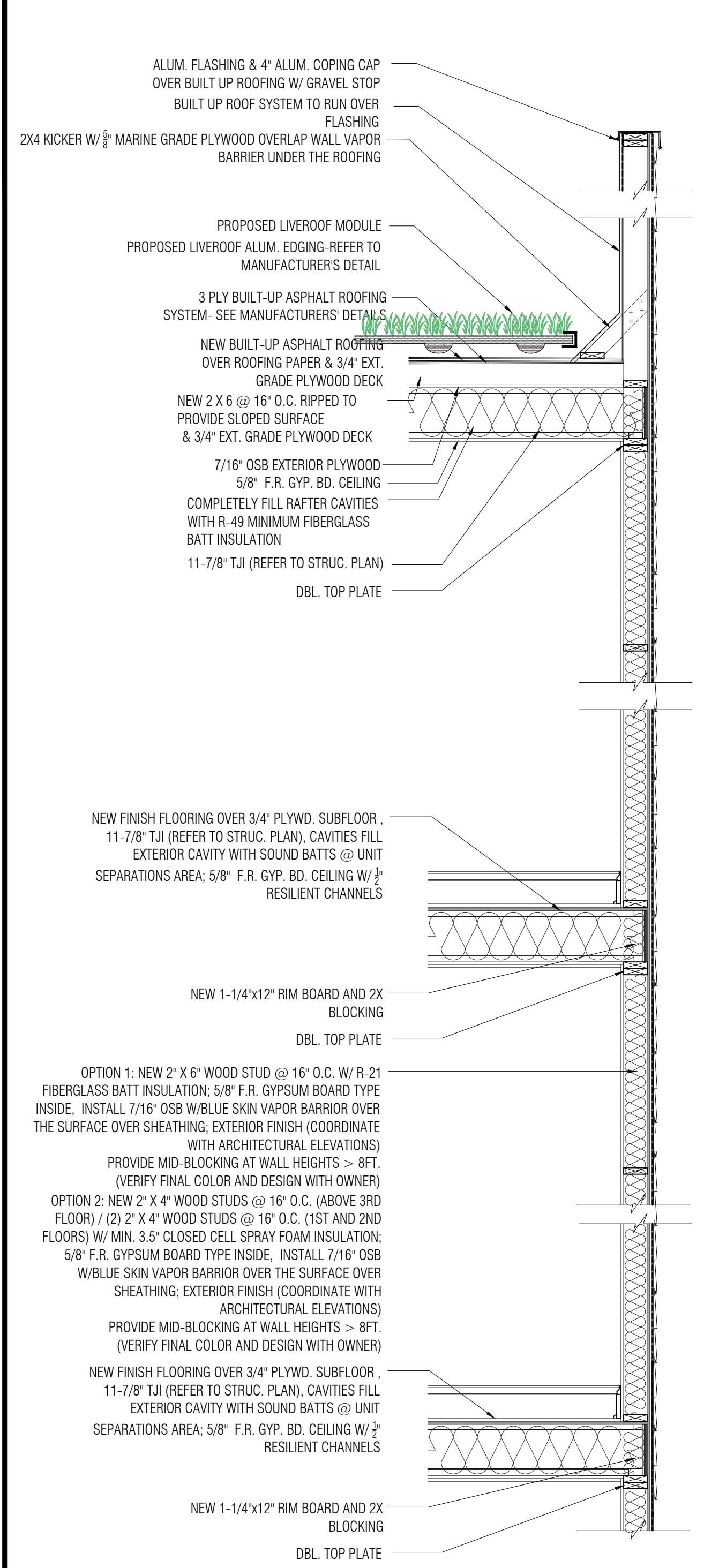
FOR:

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DRAWN BY: MK  
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ISSUE DATE: 10.07.2022  
PROJECT NO: 22018

SHEET TITLE:  
BUILDING SECTIONS

SHEET No. **A-11**







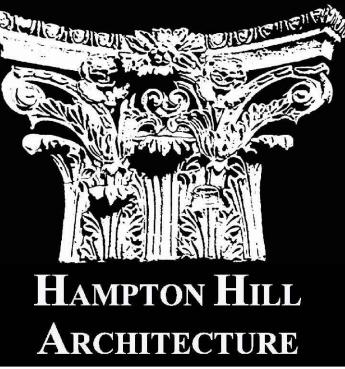












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 Registered Architect, No. Lic. 21 A1985300

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BLOCK: 4406  
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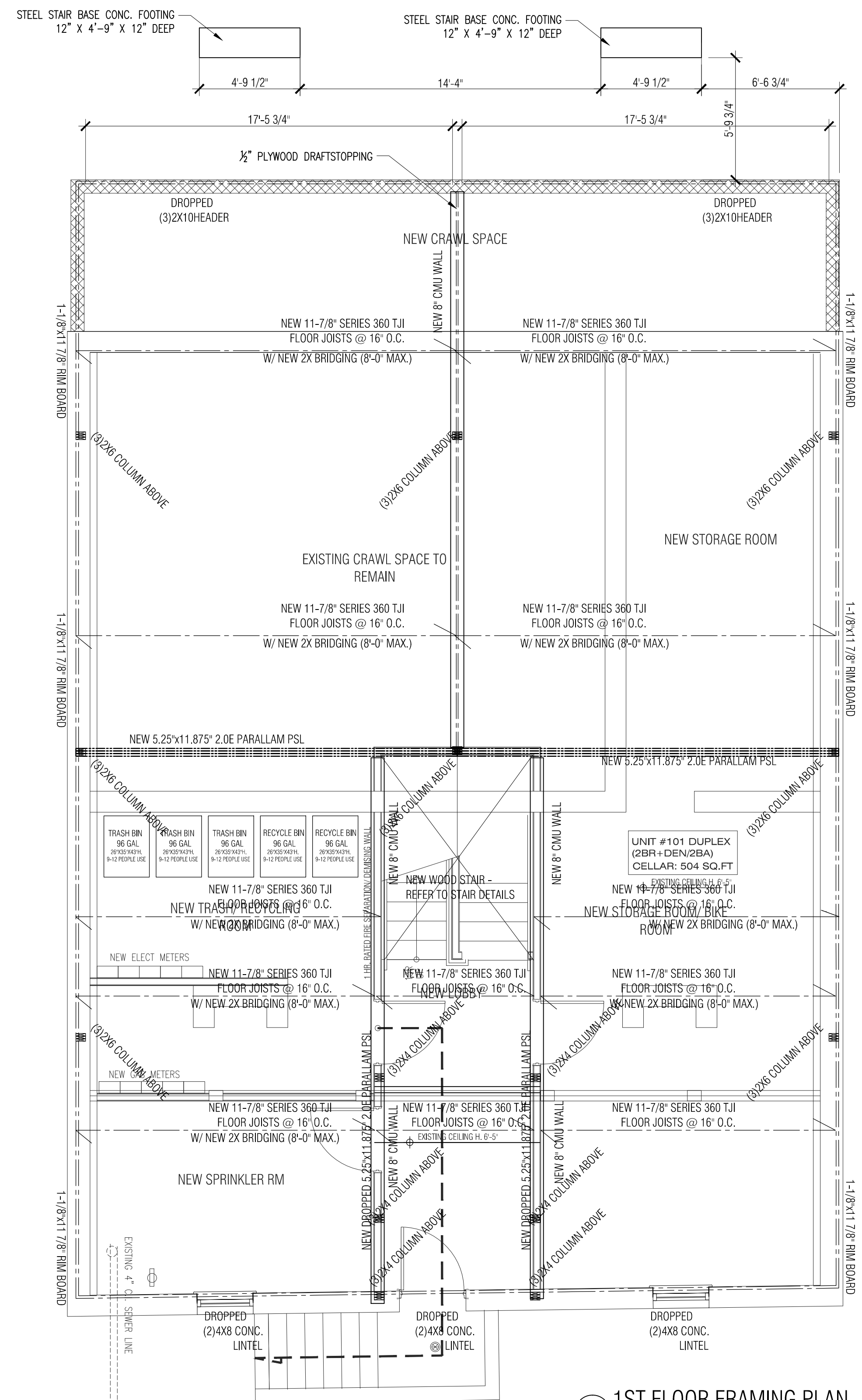
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REVISIONS:

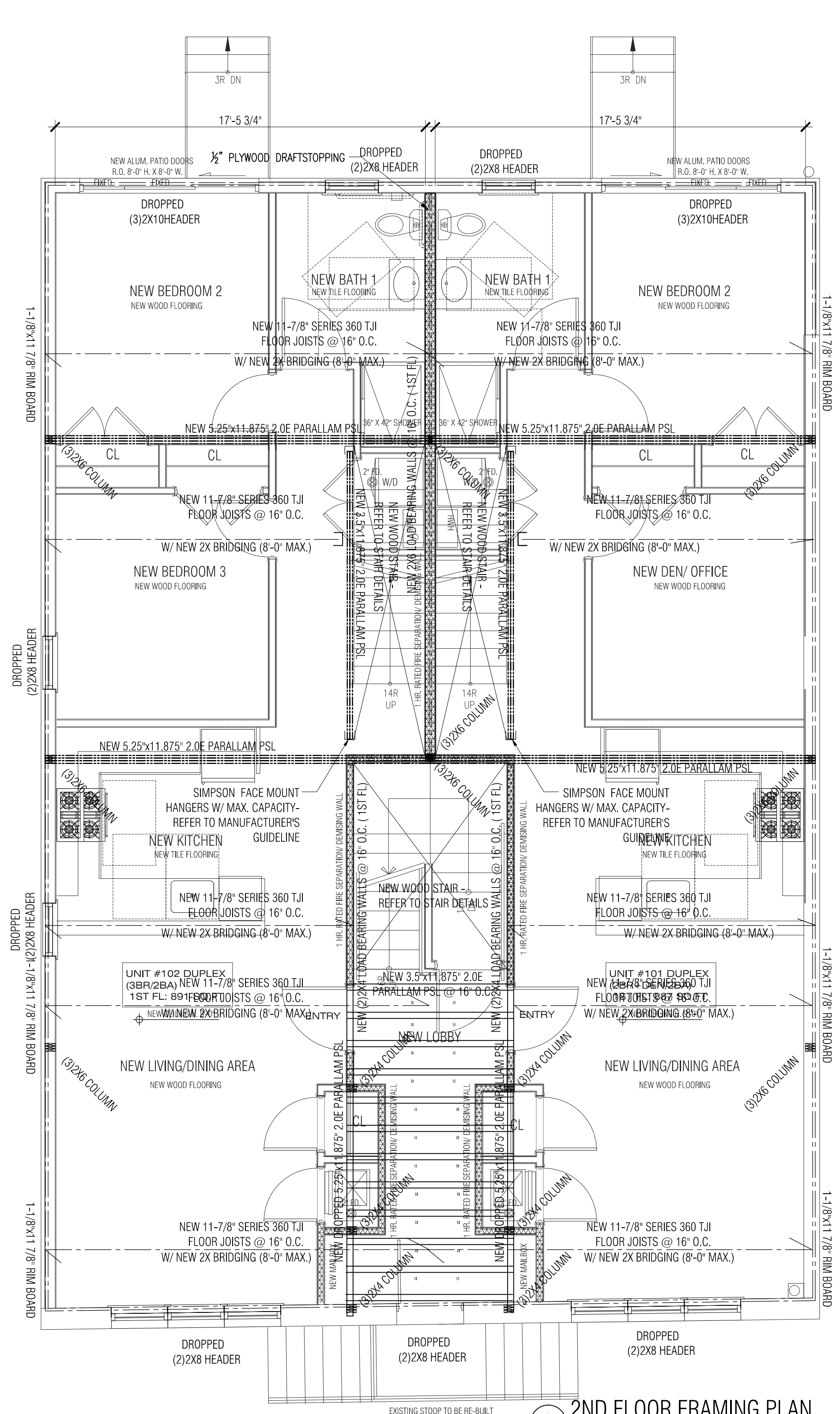
DRAWN BY: MK  
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 ISSUE DATE: 10.07.2022  
 PROJECT NO: 22018

SHEET TITLE:  
 STRUCTURAL PLANS & NOTES

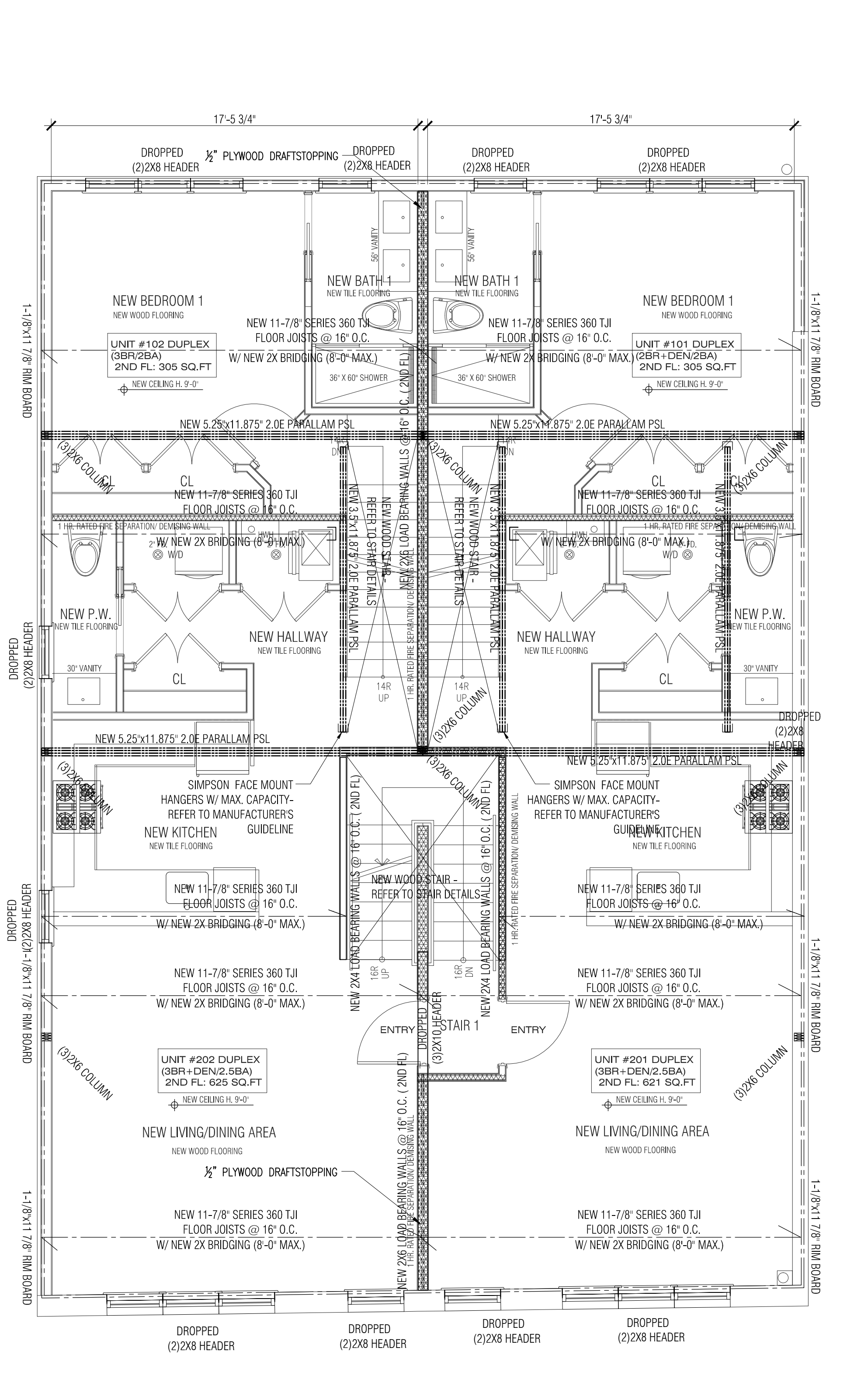
SHEET No.  
**ST-1**



**1 1ST FLOOR FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"



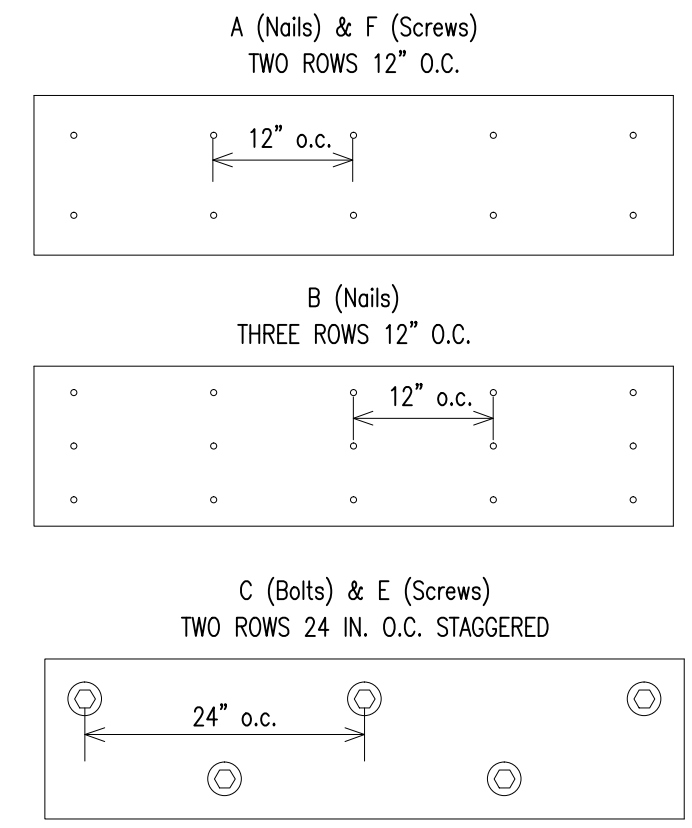
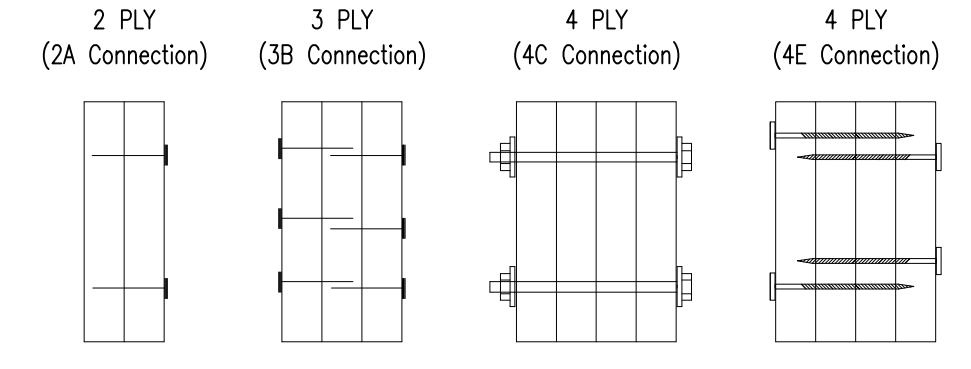
**2 2ND FLOOR FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"



**3 3RD FLOOR FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"

**FASTENING SCHEDULE:**

- CONFIRM ADEQUACY OF THE BEAM (DEPTH AND NUMBER OF PIECES) FOR CARRYING THE DESIGNATED LOAD.
- STRESS LEVEL FOR NAIL AND BOLT VALUES IS 100%. INCREASES OF 15% FOR SNOW LOADED OR 25% FOR NON-SNOW LOADED ROOF CONDITIONS ARE PERMITTED.
- TOP AND BOTTOM ROW OF CONNECTORS SHOULD BE 2" FROM EDGE.
- BOLT HOLES ARE TO BE THE SAME DIAMETER AS THE BOLT. EVERY BOLT MUST EXTEND THROUGH THE FULL THICKNESS OF THE MEMBER. USE WASHERS UNDER HEAD AND NUT.
- FOR THREE-PIECE MEMBER, SPECIFIED NAILING IS FROM EACH SIDE.
- TO MINIMIZE ROTATION, FOUR-PIECE MEMBERS SHOULD ONLY BE USED WHEN LOADS ARE APPLIED TO BOTH SIDES, OR COMPLETELY ACROSS THE TOP OF THE MEMBER.
- FOUR-PIECE MEMBERS MUST BE BOLTED OR ATTACHED WITH 6" SCREWS FROM BOTH SIDES.
- FLOOR JOISTS MUST BE ATTACHED WITH APPROVED METAL HANGERS.
- SCREWS ARE USP WS SERIES OR SIMPSON STRONG-TIE SDS INSTALLED PER MANUFACTURER INSTRUCTIONS.
- SCREWS FOR 3-PLY AND 4-PLY MEMBERS MUST BE FROM BOTH SIDES OF BEAM.



Pieces in Member	16d NAILS		1/2" BOLTS		SCREWS (Note 9)	
	A	B	C	D	E	F
2	505	760	505	1015	500	995
3	380	570	380	760	375	745
4	Not Permitted		340	675	330	665

- ALL NAILS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED.
- NAILS SHALL BE SPACE AT NOT MORE THAN 6 INCHES ON CENTER AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR GREATER.
- SPACING OF FASTENERS NOT INCLUDED IN THIS TABLE SHALL BE BASED ON TABLE R602.3(1).
- FOR REGIONS HAVING BASIC WIND SPEED OF 110 MPH OR GREATER, 8D DEFORMED NAILS SHALL BE USED FOR ATTACHING PLYWOOD AND WOOD STRUCTURAL PANEL ROOF SHEATHING TO FRAMING WITHIN MINIMUM 48-INCH DISTANCE FROM GABLE END WALLS, IF MEAN ROOF HEIGHT IS MORE THAN 25 FEET, UP TO 35 FEET MAXIM.
- GYPSON SHEATHING SHALL CONFORM TO ASTM C 79 AND SHALL BE INSTALLED IN ACCORDANCE WITH GA 253. FIBERBOARD SHEATHING SHALL CONFORM TO EITHER AHA 194.1 OR ASTM C 208.
- SPACING OF FASTENERS ON FLOOR SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND AT ALL FLOOR PERIMETERS ONLY. SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND AT ALL ROOF PLANE PERIMETERS. BLOCKING OF ROOF OR FLOOR SHEATHING PANEL EDGES PERPENDICULAR TO THE FRAMING MEMBERS SHALL NOT BE REQUIRED EXCEPT AT INTERSECTION OF ADJACENT ROOF PLANES. FLOOR AND ROOF PERIMETER SHALL BE SUPPORTED BY FRAMING MEMBERS OR SOLID BLOCKING.



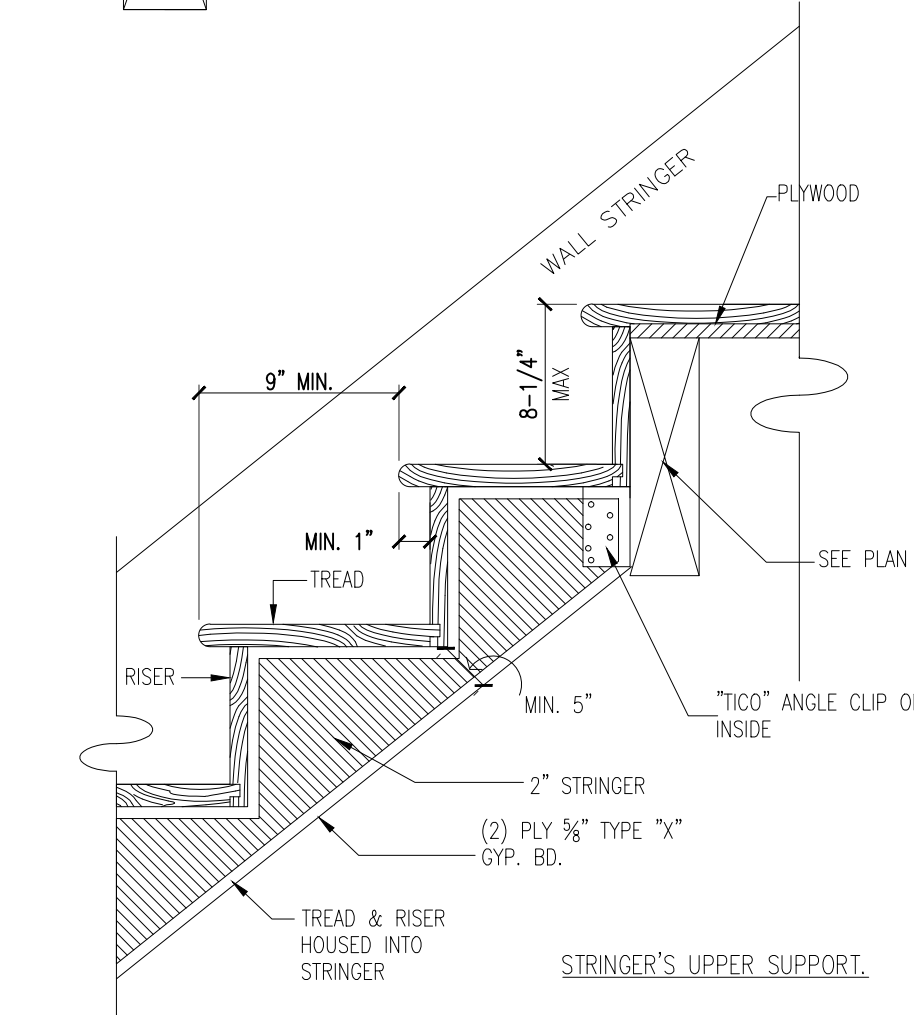
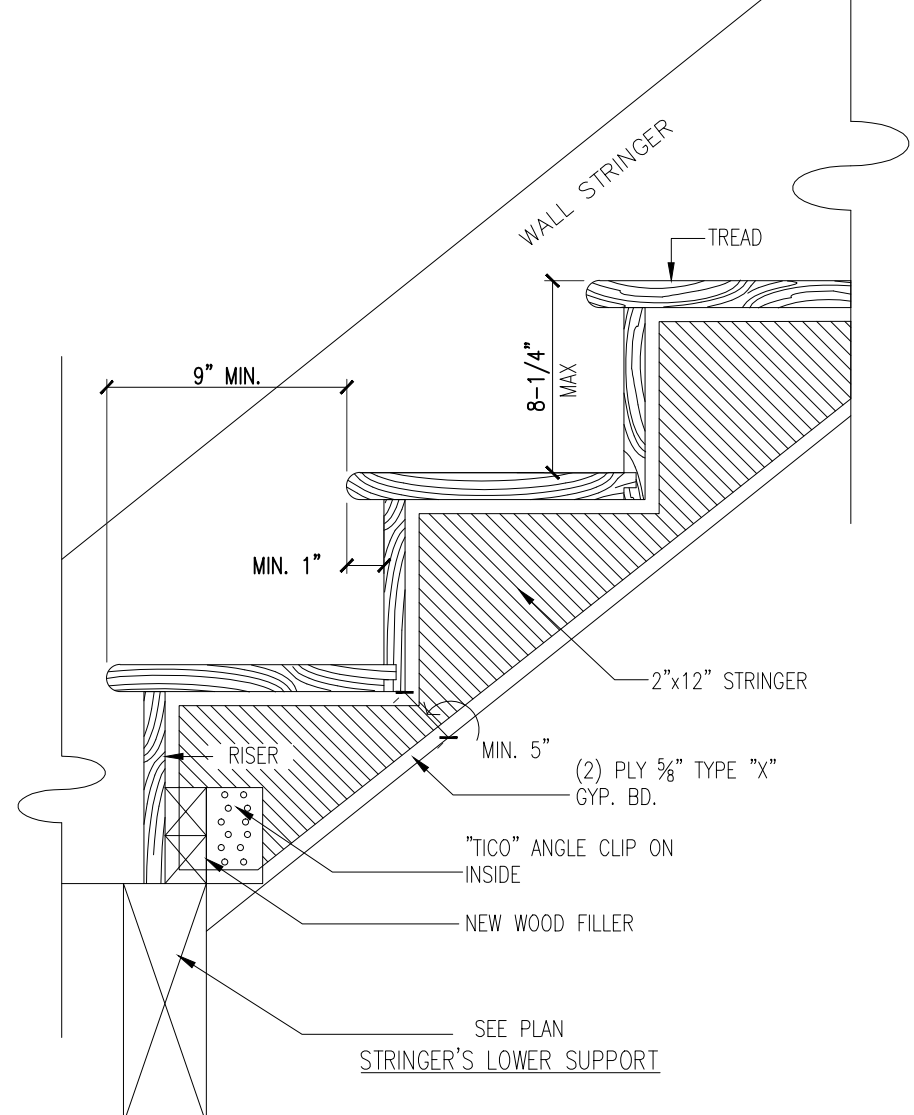
**STRUCTURAL NOTES**

DESIGN LOADING:	FLOORS:	40 PSF LIVE LOAD 15 PSF DEAD LOAD
	ROOF:	25 PSF SNOW LOAD 15 PSF DEAD LOAD

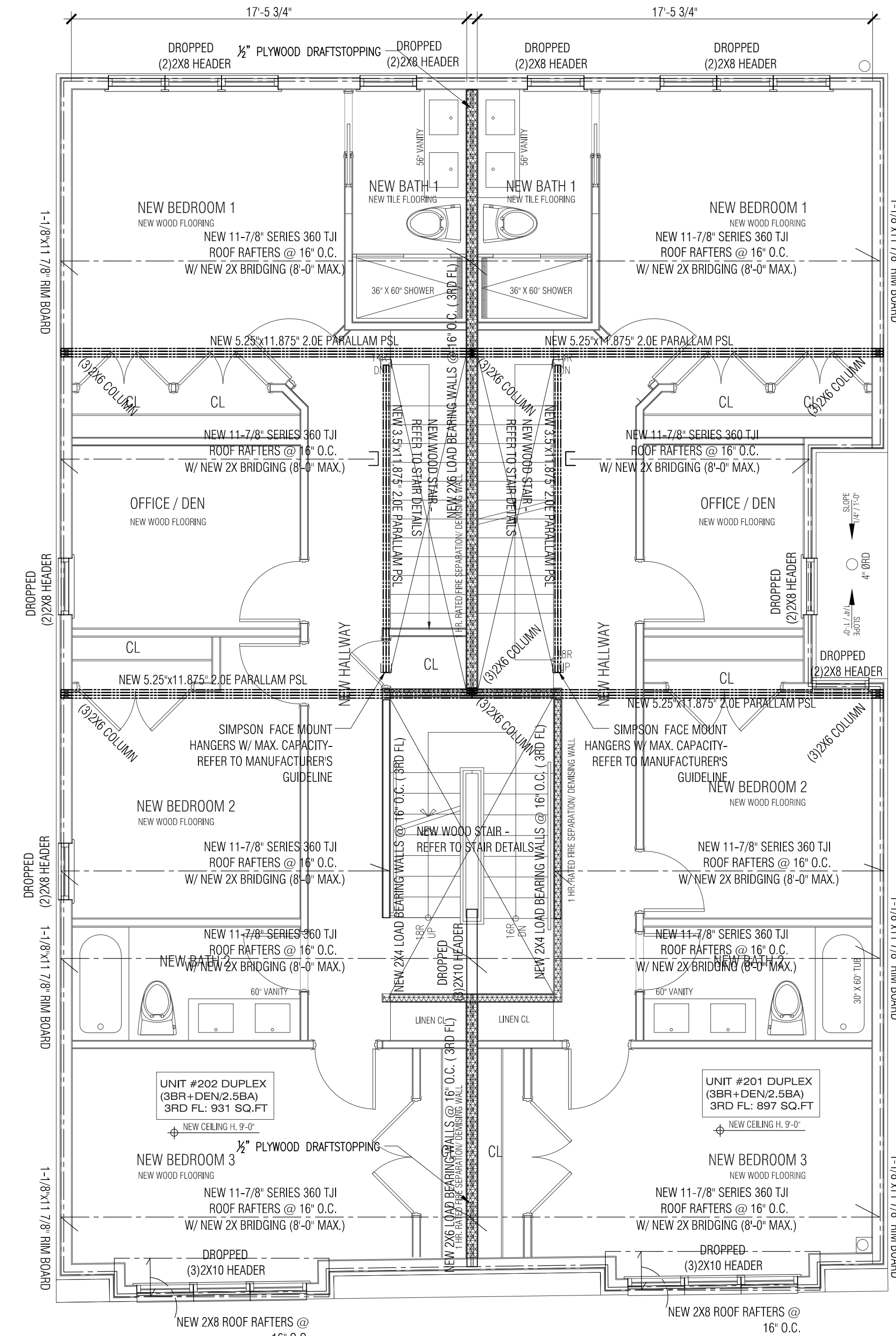
1. CONCRETE FOR FOUNDATIONS IS TO BE EITHER FORMED OR Poured IN CUT TRENCHES, MAINTAINING MINIMUM DIMENSIONS INDICATED.
2. CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI.
3. ALL SPREAD FOOTINGS ARE TO HAVE (2) NO. 5 REINFORCING BARS, CONT.
4. USE WIRE CHAIRS OR SUPPORTS ONLY FOR REINFORCING.
5. PROVIDE 2" X 4" KEY IN TOP OF FOOTING. (IF REQUIRED)
6. ALL CONCRETE MASONRY UNITS ARE TO BE HOLLOW, LOAD BEARING UNITS. IN SIZES AS INDICATED ON THE DRAWINGS.
7. PROVIDE WIRE TRUSS HORIZONTAL REINFORCING IN ALL BLOCK, 16" O.C. VERTICALLY.
8. GROUT BOTTOM COURSE OF BLOCK SOLID.
9. PROVIDE SOLID BLOCK FOR TOP COURSE, WITH HOLLOW BLOCKS ONLY AT ANCHOR BOLT LOCATIONS.
10. PROVIDE 1/2" DIAMETER X 18" L. ANCHOR BOLTS FOR SILL PLATES. ANCHOR BOLTS SHALL BE LOCATED WITHIN 12. OF THE END OF EACH SECTION OF SILL PLATE, AND NOT MORE THAN 6'-0" APART.
11. SILL PLATE IS TO BE OF PRESSURE TREATED MATERIAL, WITH FOAM SILL SEALER AND SHEET METAL TERMITE SHIELD.
12. ALL DIMENSIONAL LUMBER IS TO BE DOUGLAS FIR LARCH, NO. 2 GRADE OR BETTER.
13. ALL LUMBER SHALL BEAR VISIBLE GRADE STAMPS.
14. ROOF SHEATHING SHALL BE 3/4" THICK ORIENTED STRAND BOARD OR EXTERIOR GRADE PLYWOOD.
15. EXTERIOR WALL SHEATHING SHALL BE 1/2" THICK EXTERIOR GRADE PLYWOOD.
16. SUBFLOORING SHALL BE 3/4" TONGUE AND GROOVE STURDI-FLOOR APARATED PLYWOOD.
17. MICROLAM BEAMS AND TRUS-JOISTS SHALL BE AS MANUFACTURED BY TRUSS-JOIST/MILLAM OR APPROVED EQUAL, AND SHALL BE HANDLED, STORED AND INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
18. ASSUMED SOIL BEARING CAPACITY FOR NEW FOOTING INSULATION IS 3000 POUNDS PER SQUARE FOOT.

**WOOD CONSTRUCTION NOTES:**

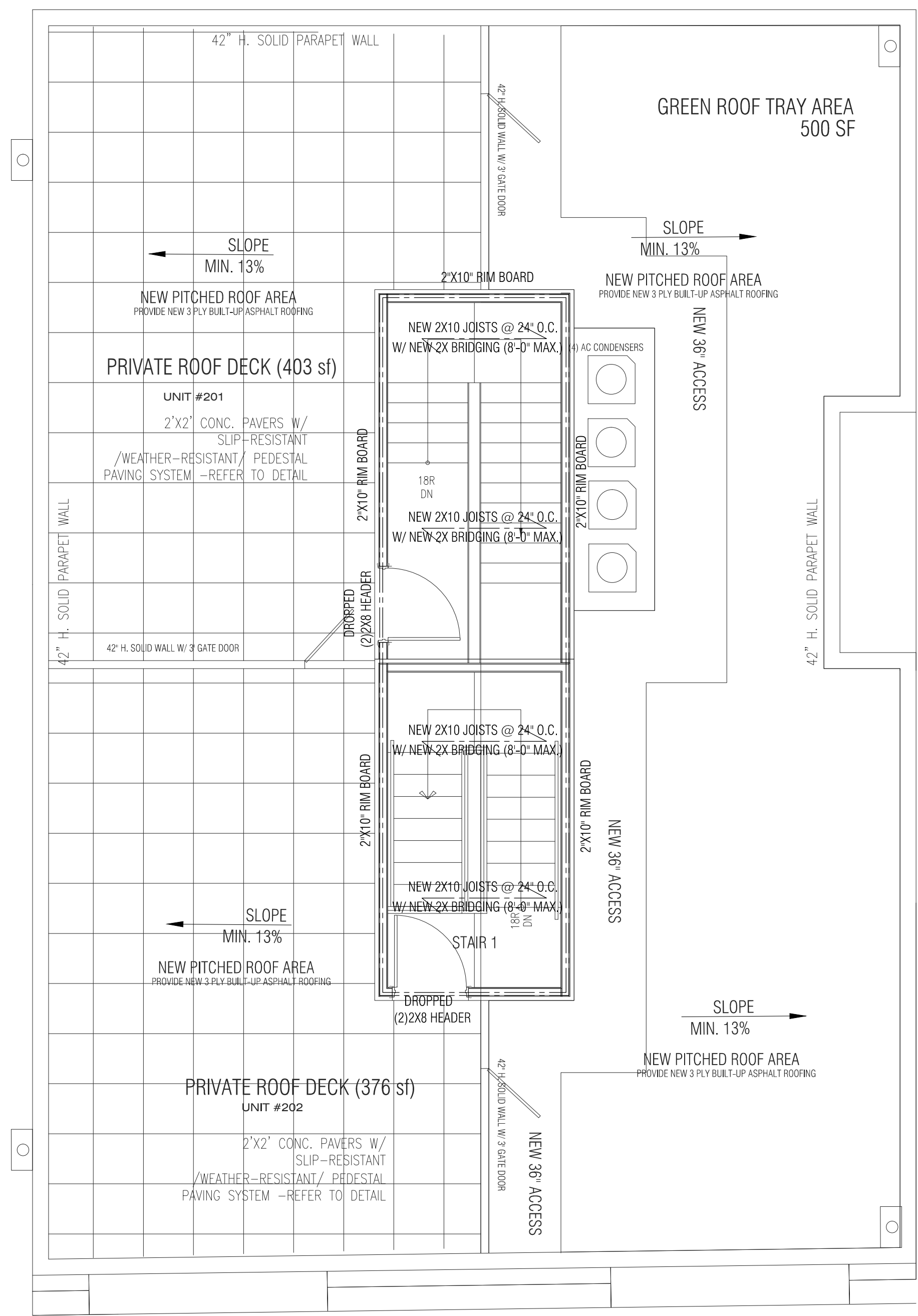
1. ALL SAWN LUMBER SHALL BE MIN. DOUGLAS FIR, NO. 2 GRADE, SURFACE DRY WITH 1% MAXIMUM MOISTURE CONTENT. Fb = 1,250 PSI MIN.
2. STRUCTURAL MEMBERS SHALL NOT BE CUT FOR PIPES, ETC. UNLESS SPECIFICALLY NOTED OR APPROVED BY ARCHITECT IN ADVANCE.
3. PLYWOOD SHALL BE EXTERIOR TYPE WITH GLUE (CDX) DFPA TRADEMARK STAMPED AND CONFORMING TO PS-1-83. ALL STRUCTURAL LUMBER AND FASTENINGS SHALL CONFORM TO THE "NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LUMBER AND ITS FASTENINGS. FOLLOW RECOMMENDED FASTENING SCHEDULE, BOCA BASIC BUILDING CODE, APPENDIX C.
4. PLYWOOD MAY BE NAILED WITH THE USE OF AIR POWERED GUNN. THE NAIL SHALL BE WELL DRIVEN BUT IN NO CASE SHALL THE DRIVING OF THE NAILS BREAK THE FACE OF THE PLYWOOD SHEET. PLYWOOD SHEETS WITH BROKEN OR SPLIT FACES SHALL BE REMOVED AND NEW SHEETS PLACED AS DIRECTED. ALL AT THE EXPENSE OF THE CONTRACTOR.
5. DOUBLE UP ALL FRAMING AROUND OPENINGS.
6. PROVIDE BUILT-UP 2X4 POSTS AT GIRDERS UNLESS OTHERWISE NOTED AND PROVIDE SOLID BLOCKING DOWN TO FOUNDATION TYPICAL.
7. ALL HEADERS TO BE A MIN. OF (2) 2X10'S WITH 1/2" PLYWOOD BETWEEN, UNLESS OTHERWISE NOTED.
8. ALL EXTERIOR EXPOSED LUMBER TO BE ACO PRESSURE TREATED (ALKALINE COPPER QUATERNARY)
9. ALL FASTENERS TO BE COMPATIBLE W/ ACO LUMBER. VERIFY ACCEPTABLE FASTENERS, LAG BOLTS, FLASHING, ETC. FASTENERS & CONNECTORS TO BE STAINLESS STEEL, HOT DIPPED ZINC GALVANIZED & TRIPLE ZINC COATED (ELECTROPLATED) OR APPROVED EQUAL.
10. ALL MICROLAMMS AND/ OR PARALLAMS CALLED OUT FOR ON THESE PLANS TO HAVE A MIN. FIBER STRESS OF 2,800 PSI AND A MIN. MOD. OF ELASTICITY OF 2,000,000.



**TYPICAL STAIR DETAIL**  
NOT TO SCALE



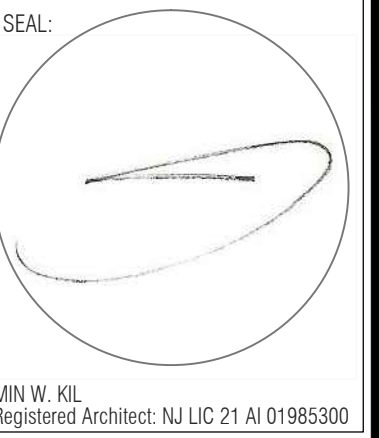
**1 ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



**2 STAIR BULKHEAD ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



109 Liberty View Drive, #1Ga  
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**PROPOSED ADDITION & RENOVATION OF EXISTING FOUR FAMILY DWELLING**

ADDRESS:  
81 SHERMAN AVENUE  
JERSEY CITY,  
NEW JERSEY

BLOCK: 4406  
LOT: 12

FOR:

REVISIONS:

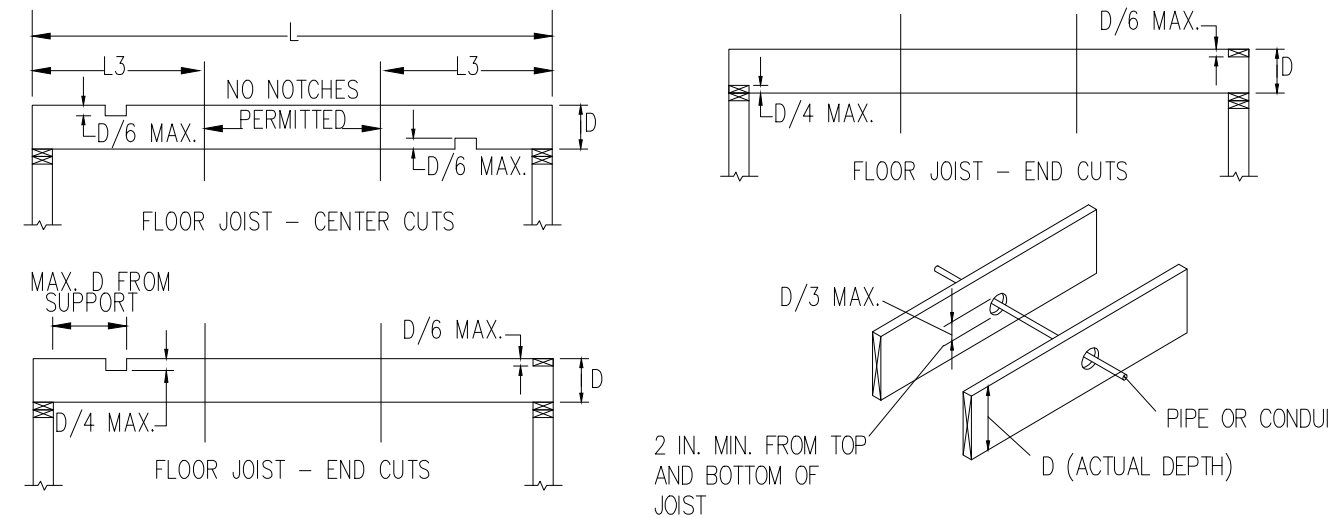
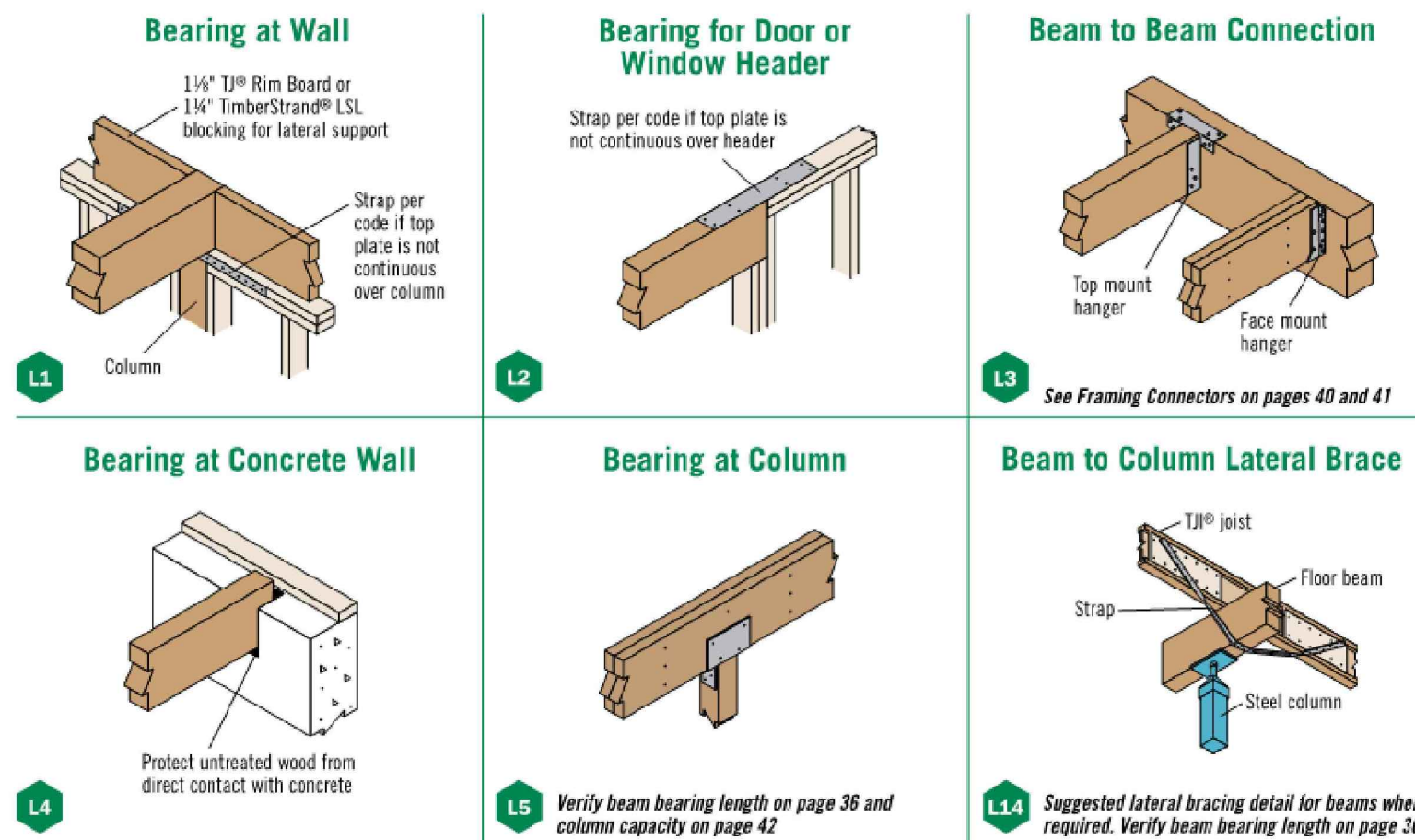
DRAWN BY: MK  
CHKD BY: MK  
ISSUE DATE: 10.07.2022  
PROJECT NO: 22018

SHEET TITLE:  
STRUCTURAL PLANS & NOTES

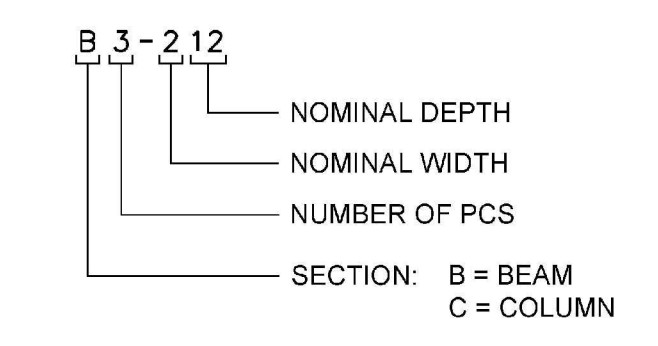
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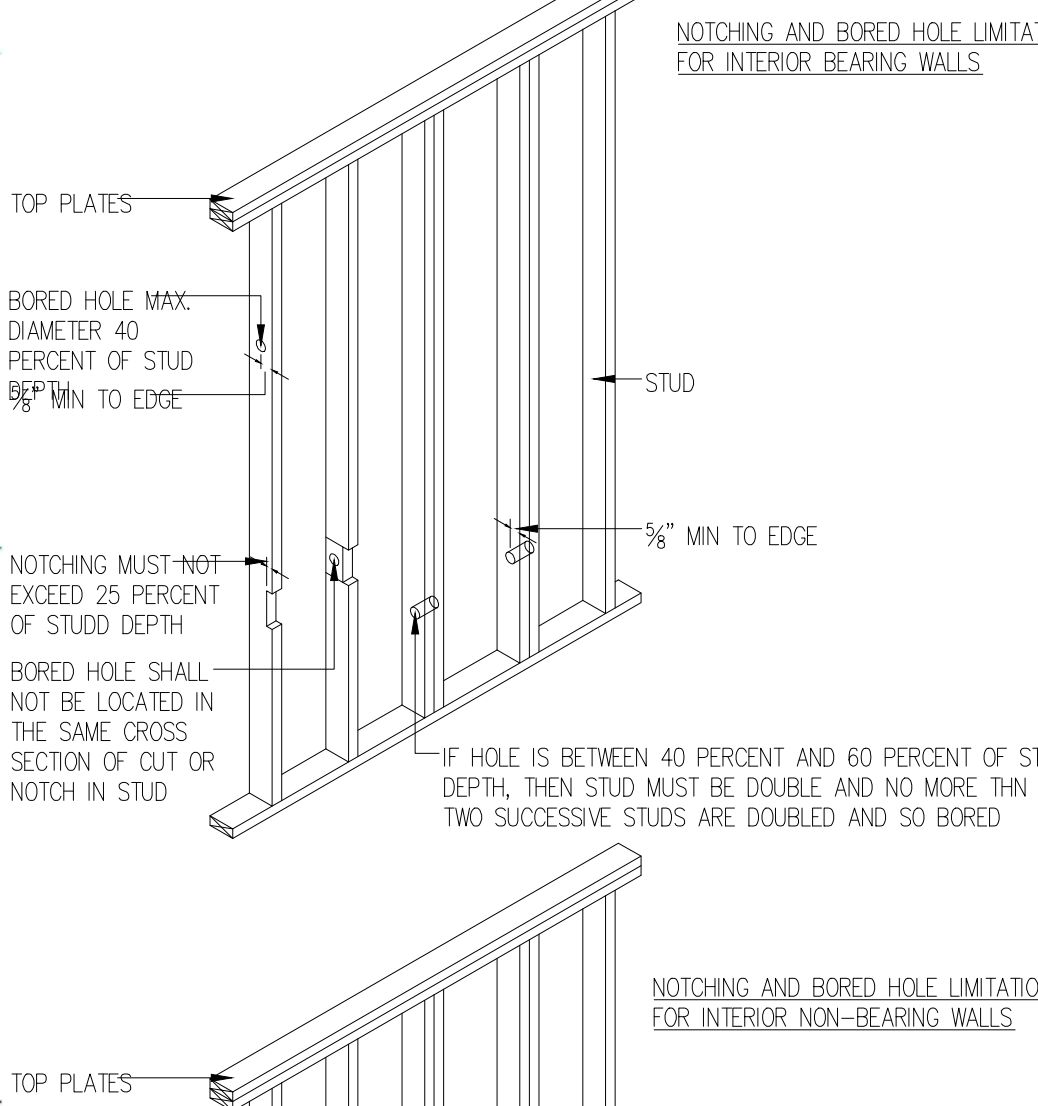
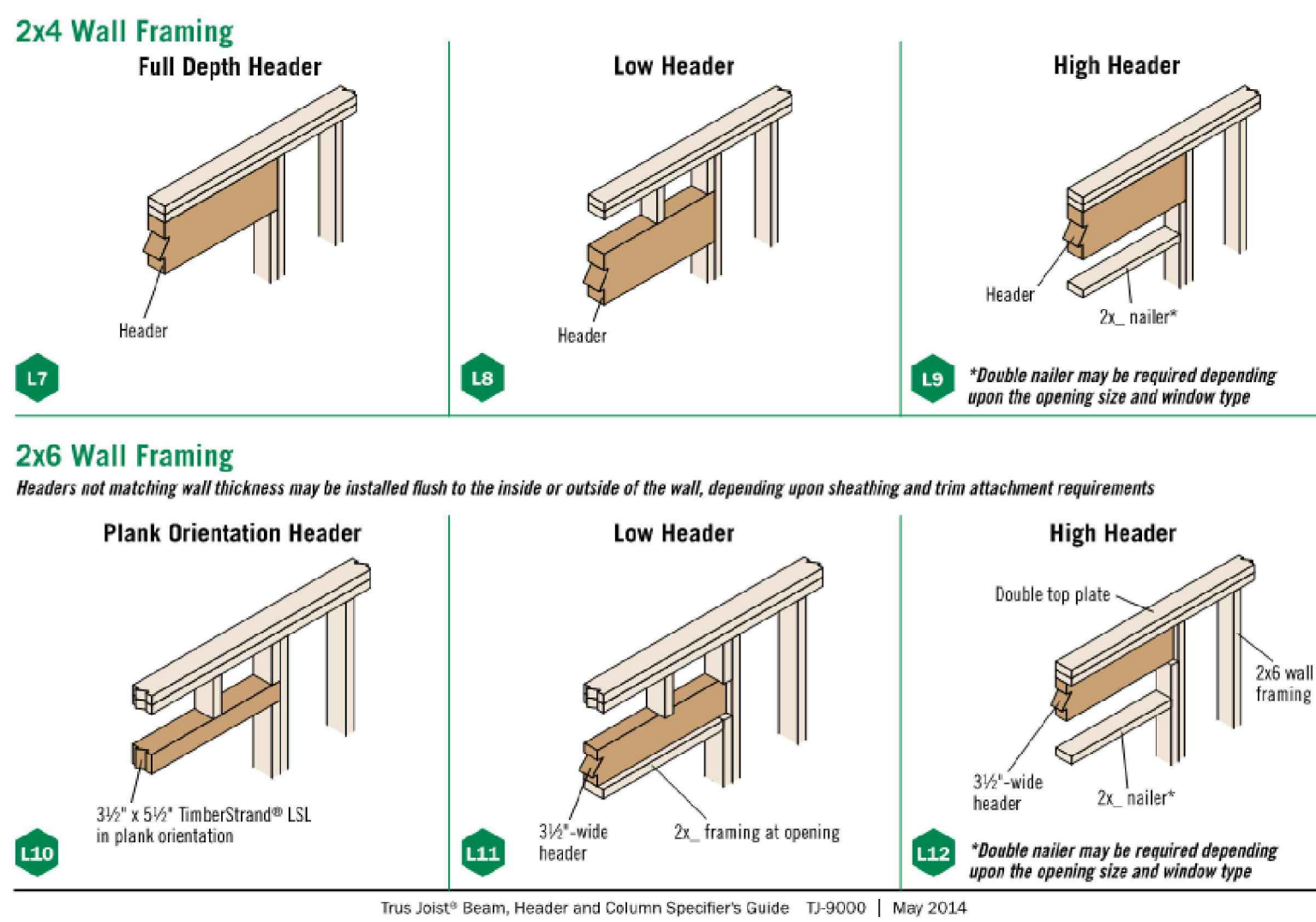
### BEAM DETAILS



### DIMENSIONAL LUMBER ASSEMBLY SCHEDULE



### WINDOW AND DOOR HEADER DETAILS



### SILL ANCHOR SCHEDULE

APPLICATION	ANCHOR OPTIONS	
	TYPICAL EXTERIOR WALLS AND BEARING WALLS	3"-0" o/c MIN (2 ANCHORS PER SILL MIN FOR SILLS OVER 2'-0" IN LENGTH)
SHEAR WALLS	SEE SHEAR WALL DETAIL SHEET - S405	

### WALL SHEATHING SCHEDULE

LOCATION	COMMON NAIL	FASTENER PENETRATION (MIN)	NOMINAL BEARING (WIDTH)	FASTENER SPACING
EDGE	8d 2	1 3/8"	2" 3	6"
FIELD	8d 2	1 3/8"	2" 3	12"

**NOTES:**  
1. MATERIAL SHALL BE 15/32" APA RATED SHEATHING, 32/16, EXPOSURE 1. LAYOUT OF SHEETS SHALL BE IN ACCORDANCE WITH "CASE 1: UNBLOCKED" AS DETAILED IN 2009 INTERNATIONAL BUILDING CODE (IBC) - NEW JERSEY EDITION.  
2. MINIMUM LENGTH = 2.5'. MINIMUM DIAMETER = 0.131"  
3. THIS NUMBER REPRESENTS THE BEARING WIDTH AND MAY/MAY NOT BE THE FULL WIDTH OF THE SUPPORTING MEMBER  
4. ADHESIVES MUST CONFORM TO APA SPECIFICATION AFG-01 AND ASTM D3498, AND SHALL BE APPLIED PER MANUFACTURER'S SPECIFICATIONS

### FLOOR SHEATHING SCHEDULE

LOCATION	COMMON NAIL	FASTENER PENETRATION (MIN)	NOMINAL BEARING (WIDTH)	FASTENER SPACING
EDGE	8d 2	1 3/8"	2" 3	6"
FIELD	8d 2	1 3/8"	2" 3	12"

**NOTES:**  
1. MATERIAL SHALL BE 23/32" APA RATED STURD-I-FLOOR, 24" o/c, EXPOSURE 1, T&G, GLUE-NAILED TO SUPPORTS. LAYOUT OF SHEETS SHALL BE IN ACCORDANCE WITH "CASE 1: UNBLOCKED" AS DETAILED IN 2009 INTERNATIONAL BUILDING CODE (IBC) - NEW JERSEY EDITION.  
2. MINIMUM LENGTH = 2.5'. MINIMUM DIAMETER = 0.131"  
3. THIS NUMBER REPRESENTS THE BEARING WIDTH AND MAY/MAY NOT BE THE FULL WIDTH OF THE SUPPORTING MEMBER  
4. ADHESIVES MUST CONFORM TO APA SPECIFICATION AFG-01 AND ASTM D3498, AND SHALL BE APPLIED PER MANUFACTURER'S SPECIFICATIONS

### ROOF SHEATHING SCHEDULE

LOCATION	COMMON NAIL	FASTENER PENETRATION (MIN)	NOMINAL BEARING (WIDTH)	FASTENER SPACING
EDGE	8d 2	1 3/8"	1" 3	6"
FIELD	8d 2	1 3/8"	1" 3	12"

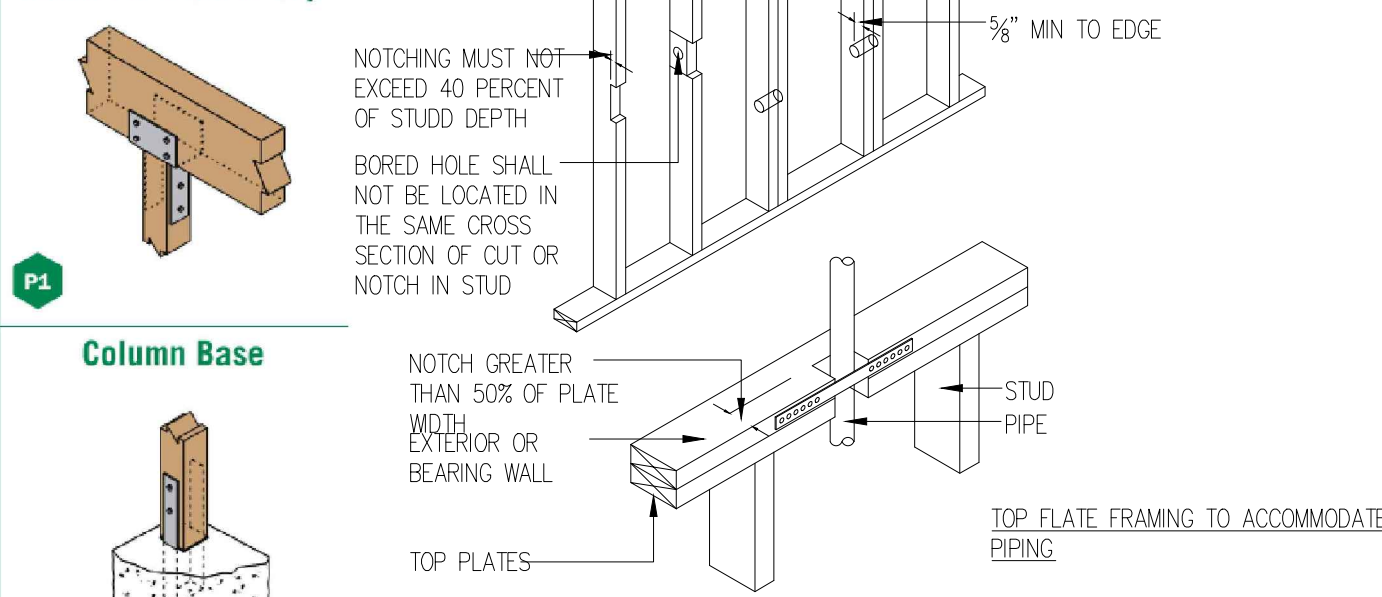
**NOTES:**  
1. MATERIAL SHALL BE 19/32" APA RATED SHEATHING, 40/20, EXPOSURE 1, GLUE-NAILED TO SUPPORTS. LAYOUT OF SHEETS SHALL BE IN ACCORDANCE WITH "CASE 1: UNBLOCKED" AS DETAILED IN 2009 INTERNATIONAL BUILDING CODE (IBC) - NEW JERSEY EDITION.  
2. MINIMUM LENGTH = 2.5'. MINIMUM DIAMETER = 0.131"  
3. THIS NUMBER REPRESENTS THE BEARING WIDTH AND MAY/MAY NOT BE THE FULL WIDTH OF THE SUPPORTING MEMBER  
4. ADHESIVES MUST CONFORM TO APA SPECIFICATION AFG-01 AND ASTM D3498, AND SHALL BE APPLIED PER MANUFACTURER'S SPECIFICATIONS

### COLUMNS

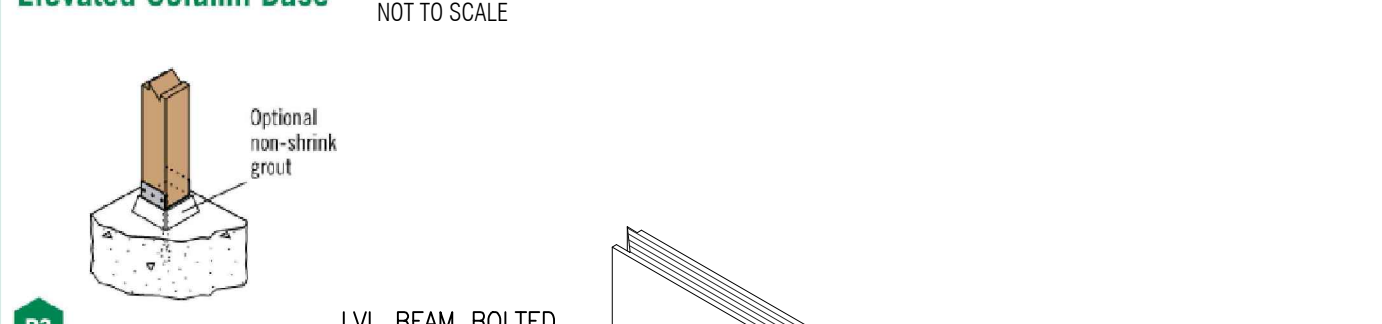
#### Column Caps for TimberStrand® LSL and Parallam® PSL

Column Product	Beam Width	Column Size	Location on Beam	Simpson Strong-Tie® Connector	Load (lbs)	USP Structural Connectors® Connector	Load (lbs)
1.3E TimberStrand® LSL	3 1/2"	3 1/2" x 3 1/2"	End	ECC44	7,655	KECC44	12,039
			Intermediate	CC44	15,310	KCC44	15,315
		3 1/2" x 5 1/2"	End	ECC46	12,030	KECC46	18,955
			Intermediate	CC46	24,060	KCC46	24,065
		3 1/2" x 7 1/4"	End	ECC48	16,405	KECC48	20,780
			Intermediate	CC48	24,060	KCC48	24,065
1.8E Parallam® PSL	5 1/4"	3 1/2" x 3 1/2"	End	ECC44	7,655	KECC44	12,039
			Intermediate	CC44	15,310	KCC44	15,315
		3 1/2" x 5 1/2"	End	ECC46	12,030	KECC46	18,955
			Intermediate	CC46	24,060	KCC46	24,065
		5 1/4" x 3 1/2"	End	ECC64	12,030	KECC64	25,780
			Intermediate	CC64	28,586	KCC64	37,815
5 1/4" x 5 1/2"	End	ECC66	18,905	KECC66	25,780		
	Intermediate	CC66	30,250	KCC66	37,815		
7"	7" x 3 1/2"	End	ECC6-7/4	24,060	KECC6-7/4	31,170	
		Intermediate	CC6-7/4	37,810	KCC6-7/4	36,055	
	7" x 5 1/4"	End	ECC7/4-4	18,375	KECC7/4-4	45,940	
		Intermediate	CC7/4-4	34,736	KCC7/4-4	45,940	
	7" x 7"	End	ECC7/4-6	28,875	KECC7/4-6	56,875	
		Intermediate	CC7/4-6	58,500	KCC7/4-6	56,875	
7" x 7"	End	ECC7/4-7/4	36,750	KECC7/4-7/4	45,940		
	Intermediate	CC7/4-7/4	57,750	KCC7/4-7/4	56,875		

#### Beam on Column Cap



#### FRAME NOTCHING LIMITATIONS



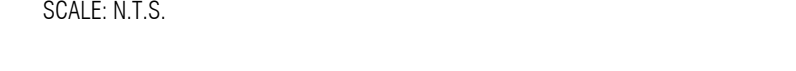
#### Column Bases for TimberStrand® LSL and Parallam® PSL

Column Product	Column Size	Connector	Simpson Strong-Tie® Connector	Load (lbs)	USP Structural Connectors® Connector	Load (lbs)
1.0E TimberStrand® LSL	3 1/2" x 3 1/2"	AB442	PA44	5,135	PA44	6,775
		LCB44	CS3044-TZ	6,775	CS3044-TZ	6,775
	3 1/2" x 5 1/2"	AB446	PA46	9,455	PA46	12,265
		LCB46	CS3046-TZ	12,265	CS3046-TZ	12,265
	3 1/2" x 7 1/4"	AB48	PA48	12,265	PA48	16,015
		LCB48	CS3048-TZ	16,015	CS3048-TZ	16,015
1.8E Parallam® PSL	3 1/2" x 3 1/2"	LCB44	KCB44	12,030	KCB44	15,310
		LCB46	KCB46	18,905	KCB46	24,060
	3 1/2" x 5 1/2"	LCB46	KCB46	18,905	KCB46	24,060
		LCB48	KCB48	24,060	KCB48	30,250
	5 1/4" x 3 1/2"	CB7/4-4	KCB7/4-4	28,875	KCB7/4-4	36,750
		CB7/4-6	KCB7/4-6	36,750	KCB7/4-6	45,940
7" x 7"	CB7/4-7/4	KCB7/4-7/4	45,940	KCB7/4-7/4	57,750	
	CB7/4-7/4	KCB7/4-7/4	57,750	KCB7/4-7/4	73,425	

#### General Notes

- Capacities shown cannot be adjusted for duration of load.
- Connector capacities assume a beam material with a minimum perpendicular-to-grain bearing of 625 psi.
- Connector capacities may be more than the column capacity; therefore, check both the connector and the column capacity and use the lower capacity.
- Other connectors may be available. Capacities may vary depending on orientation of member. Contact the hanger manufacturer for more information.

#### HANGER DETAIL



### WOOD ROOF TRUSS SEISMIC AND HURRICANE TIE GUIDE

MODEL #	ALLOWABLE LOADS (LBS)			APPLICATION				
	UPLIFT (133)		LATERAL (F2)	SINGLE PLY TRUSS	MULTI PLY TRUSS	WALL TOP PLATE ASSEMBLY		
	SINGLE PLY	MULTI PLY				SINGLE	DOUBLE	TRIPLE
H1	370	400	140	X	X		X	X
H2	230	230	0	X	X		X	
H2.5A	365	365	130	X	X		X	X
H3	290	320	140	X	X	X	X	X
H4	235	235	135	X	X	X	X	X
H5	265	265	170	X	X		X	X
H5A	170	245	120	X	X		X	X
H9KT	755	--	125	X			X	X
H10	780	--	450	X			X	X
H10-2	--	655	340		X		X	X
H14	1050	--	245	X			X	X

- NOTES:**
- VALUES IN THIS TABLE CORRESPOND TO CURRENT LITERATURE PREPARED BY SIMPSON STRONG TIE FOR USE WITH S.P.F. #2 OR BETTER SPECIES. SEISMIC/HURRICANE TIE SUBMITTALS FROM ALTERNATE MANUFACTURER'S ARE PERMITTED UPON APPROVAL OF ENGINEER
  - PRE-ENGINEERED WOOD ROOF TRUSS MANUFACTURER MUST CLEARLY LABEL, ON TRUSS DETAIL SHEETS AND ERECTION PLAN SUBMITTAL, THE PROPER TIE DOWNS IN ACCORDANCE WITH THIS GUIDE
  - SEISMIC AND HURRICANE "H" TIES MUST BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. FASTENER REQUIREMENTS ARE GIVEN FOR THE CORRESPONDING "H" MODEL NUMBERS IN THE MANUFACTURER'S LITERATURE
  - FASTENING TO SINGLE PLY TRUSS MEMBERS, 1 1/2" IN WIDTH, REQUIRES THE USE OF 1 1/2" LONG FASTENERS. THESE FASTENERS, SHORTER THAN TYPICAL 8d, 10d AND OTHER COMMON FASTENER LENGTHS, CAN BE OBTAINED FROM SIMPSON, USP, HITACHI AND OTHER MANUFACTURER
  - CAPACITIES HAVE BEEN INCREASED BY THE APPROPRIATE LOAD DURATION FACTORS FOR WIND AND SEISMIC FORCES, NO ADDITIONAL INCREASE IS ALLOWED. VERIFY THAT CAPACITIES SHOWN MATCH CURRENT SPECIFICATIONS FROM SIMPSON.



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### PROPOSED ADDITION & RENOVATION OF EXISTING FOUR FAMILY DWELLING

ADDRESS:  
81 SHERMAN AVENUE  
JERSEY CITY, NEW JERSEY

BLOCK: 4406  
LOT: 12

FOR:

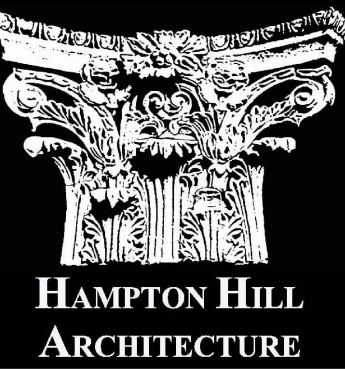
REVISIONS:

DRAWN BY: MK  
CHKD BY: MK  
ISSUE DATE: 10.07.2022  
PROJECT NO: 22018

SHEET TITLE:  
TYPICAL WOOD DETAILS & SCHEDULES

SHEET No. **ST-3**





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BLOCK: 4406  
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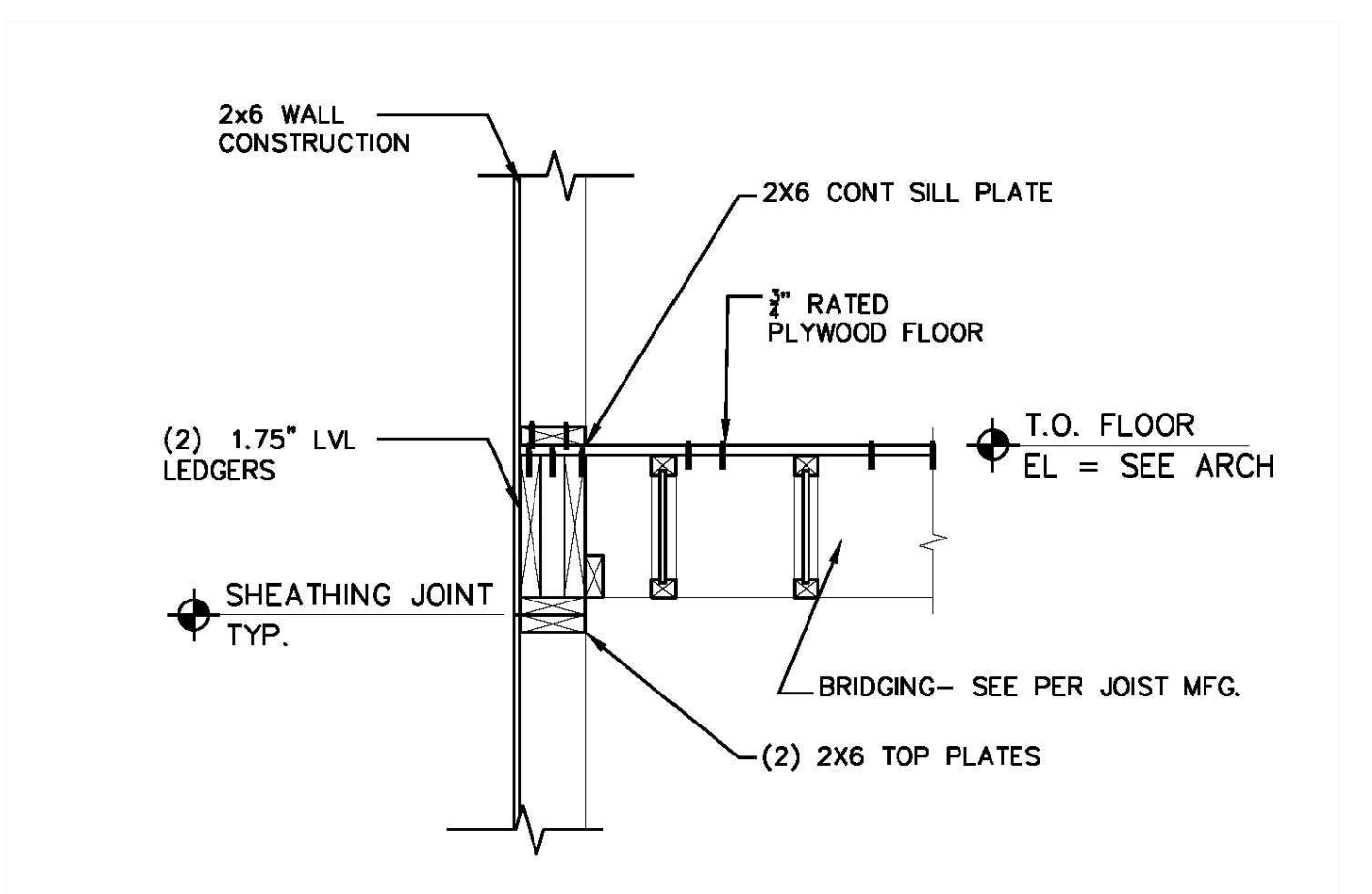
FOR:

REVISIONS:

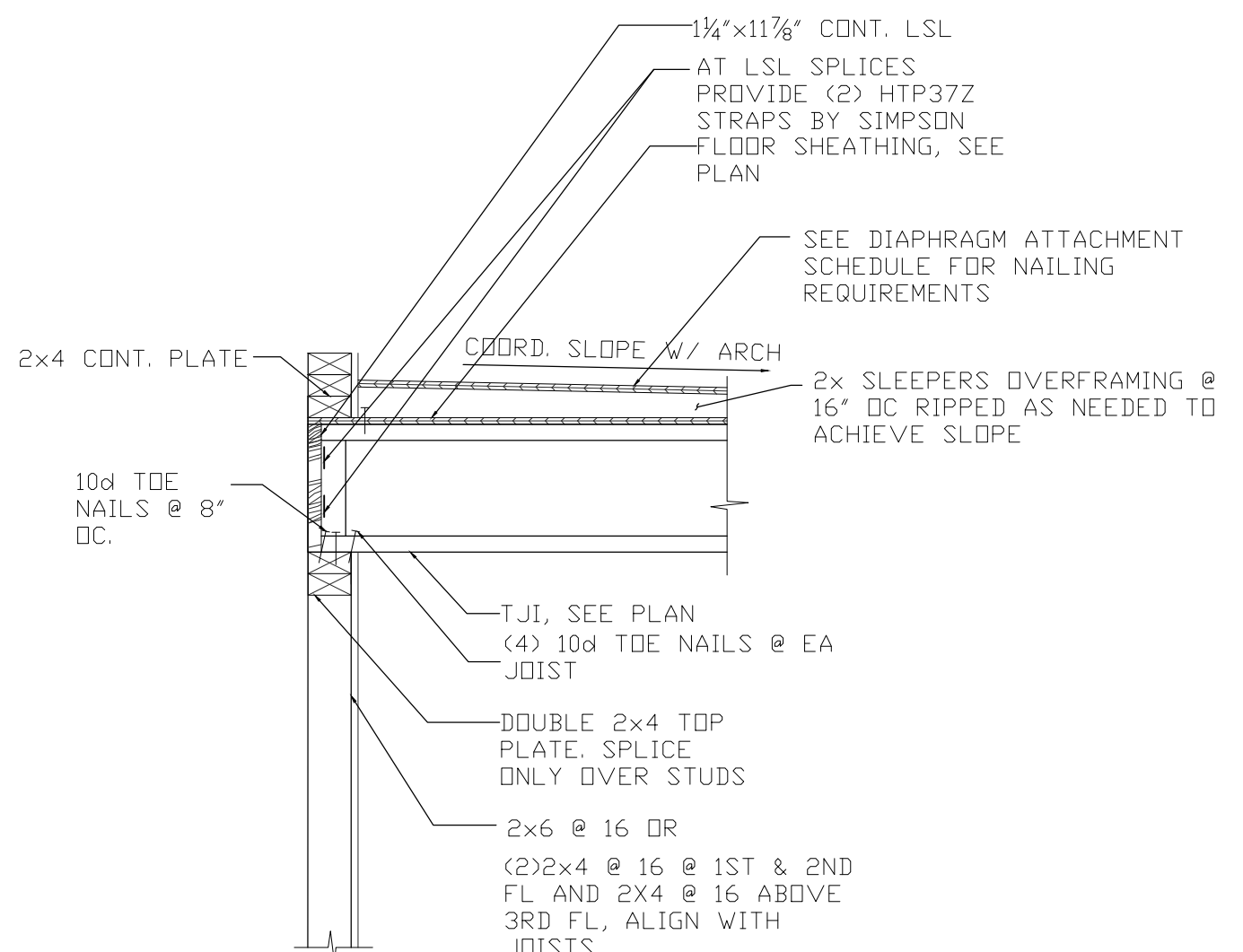
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 CHKD BY: MK  
 ISSUE DATE: 10.07.2022  
 PROJECT NO: 22018

SHEET TITLE:  
 TYPICAL FRAMING DETAILS

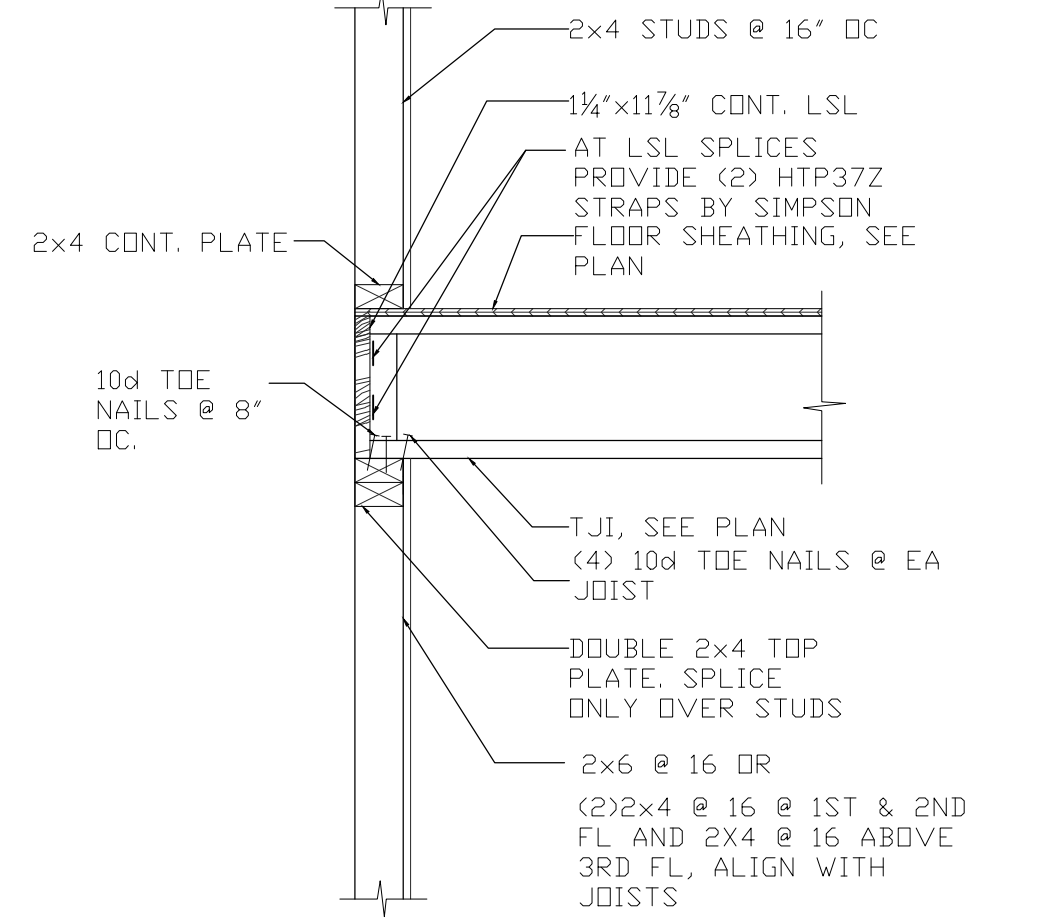
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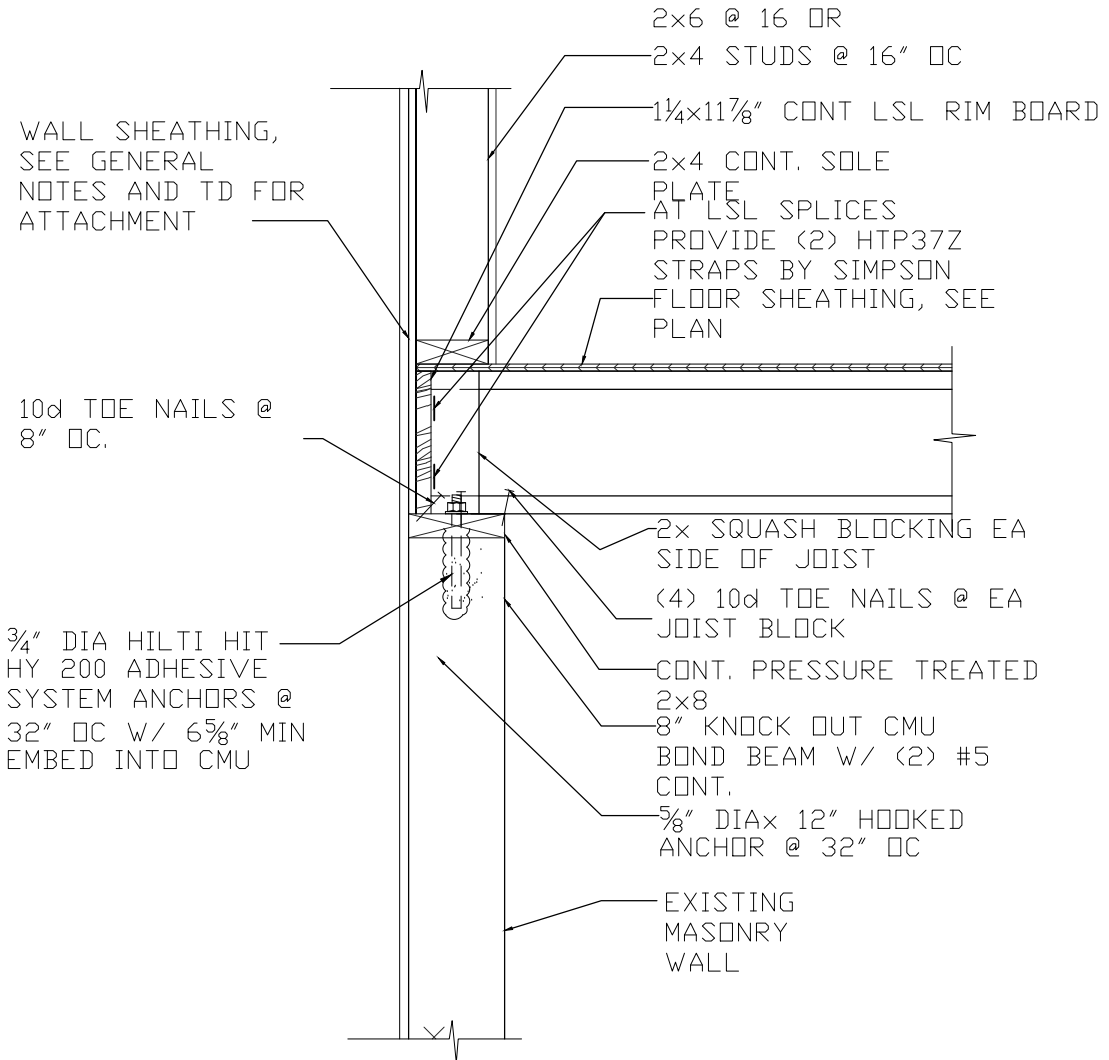
**1 WALL CONNECTION DETAIL @ FLOOR**  
 SCALE: 3/4" = 1'-0"



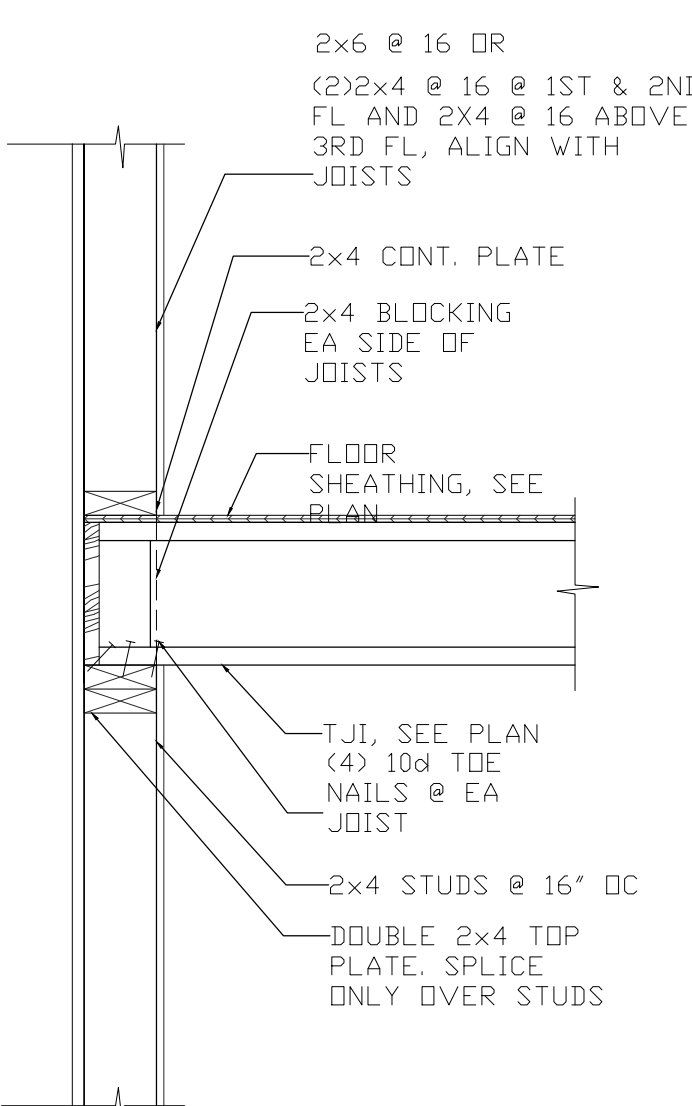
**3 WALL CONNECTION DETAIL @ ROOF**  
 SCALE: 3/4" = 1'-0"



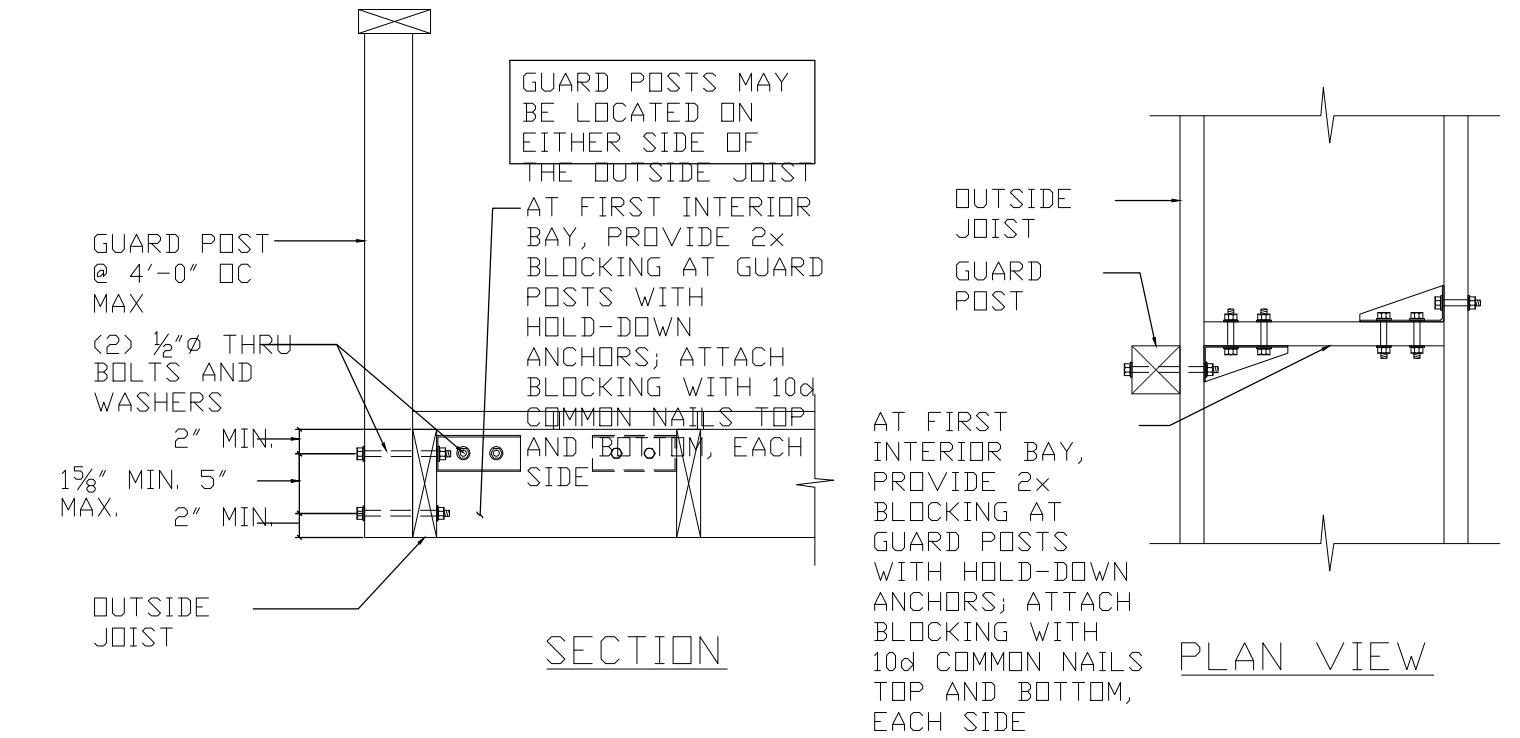
**4 WALL CONNECTION DETAIL @ FLOOR**  
 SCALE: 3/4" = 1'-0"



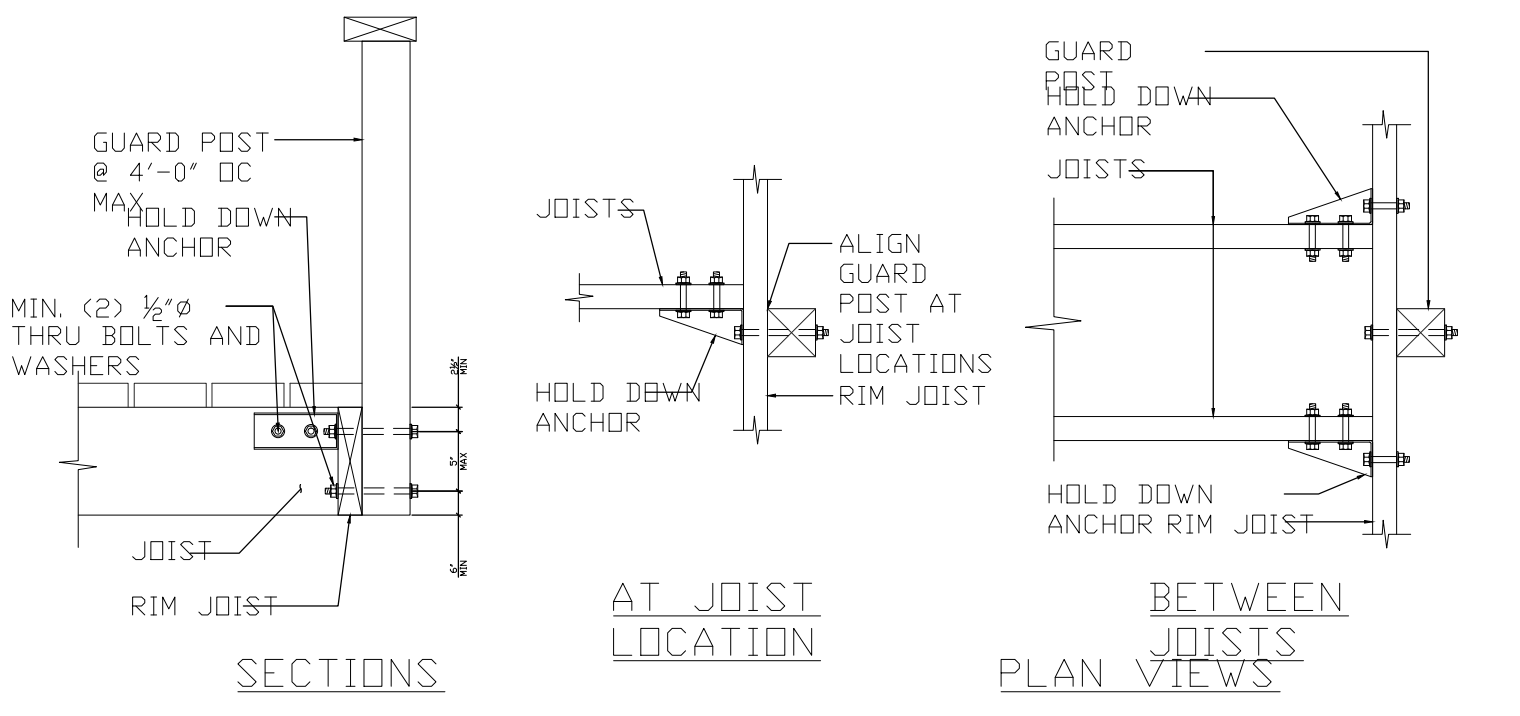
**5 WALL CONNECTION DETAIL @ FLOOR**  
 SCALE: 3/4" = 1'-0"



**6 WALL CONNECTION DETAIL @ FLOOR**  
 SCALE: 3/4" = 1'-0"



**7 TYPICAL GUARD POST TO OUTSIDE JOIST DETAIL**  
 SCALE: N.T.S.



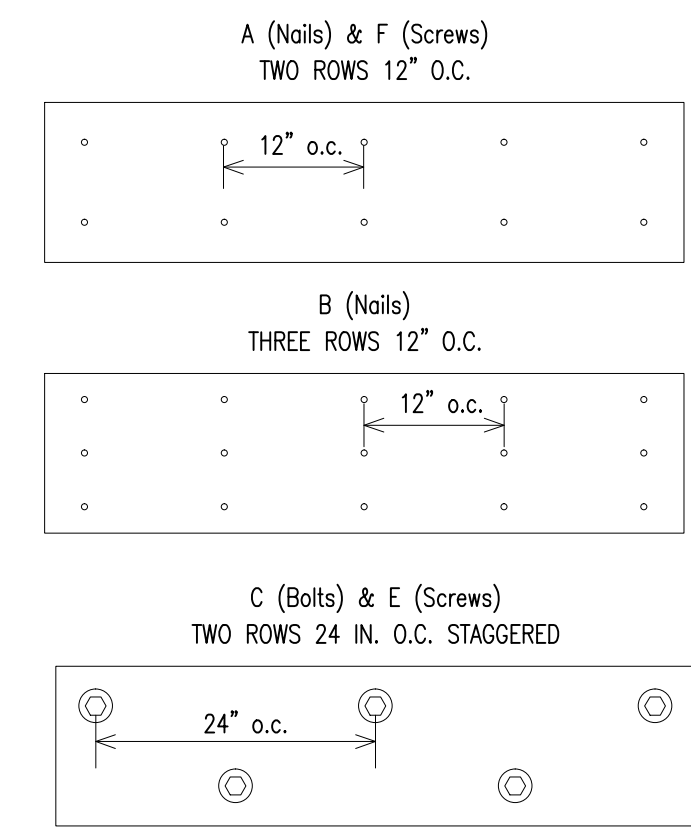
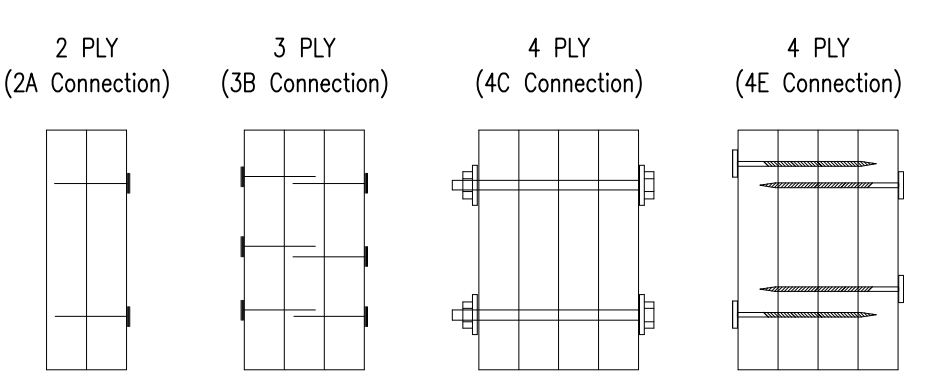
**8 TYPICAL GUARD POST TO RIM JOIST DETAIL**  
 SCALE: N.T.S.

**FASTENING SCHEDULE:**

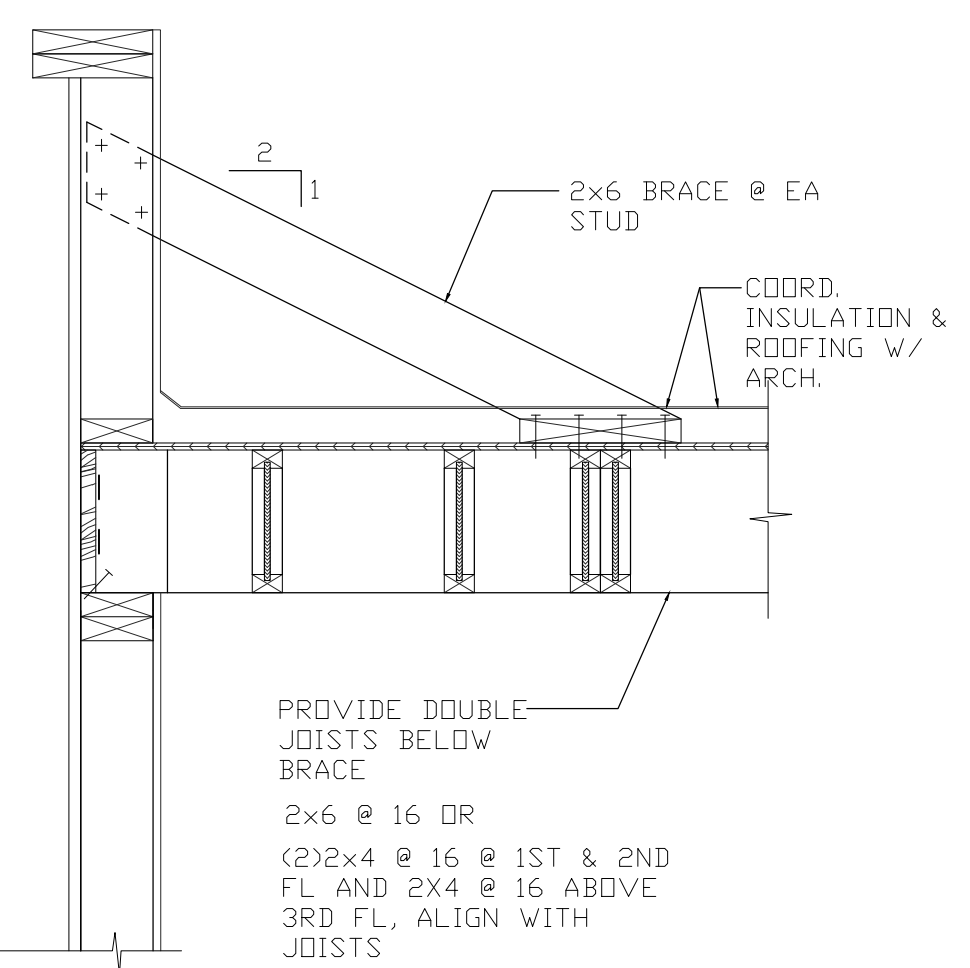
- CONFIRM ADEQUACY OF THE BEAM (DEPTH AND NUMBER OF PIECES) FOR CARRYING THE DESIGNATED LOAD.
- STRESS LEVEL FOR NAIL AND BOLT VALUES IS 100%. INCREASES OF 15% FOR SNOW LOADED OR 25% FOR NON-SNOW LOADED ROOF CONDITIONS ARE PERMITTED.
- TOP AND BOTTOM ROW OF CONNECTORS SHOULD BE 2" FROM EDGE.
- BOLT HOLES ARE TO BE THE SAME DIAMETER AS THE BOLT. EVERY BOLT MUST EXTEND THROUGH THE FULL THICKNESS OF THE MEMBER. USE WASHERS UNDER HEAD AND NUT.
- FOR THREE-PIECE MEMBER, SPECIFIED NAILING IS FROM THE EACH SIDE.
- TO MINIMIZE ROTATION, FOUR-PIECE MEMBERS SHOULD ONLY BE USED WHEN LOADS ARE APPLIED TO BOTH SIDES, OR COMPLETELY ACROSS THE TOP OF THE MEMBER.
- FOUR-PIECE MEMBERS MUST BE BOLTED OR ATTACHED WITH 6" SCREWS FROM BOTH SIDES.
- FLOOR JOISTS MUST BE ATTACHED WITH APPROVED METAL HANGERS.
- SCREWS ARE USP WS SERIES OR SIMPSON STRONG-TIE SDS INSTALLED PER MANUFACTURER INSTRUCTIONS.
- SCREWS FOR 3-PLY AND 4-PLY MEMBERS MUST BE FROM BOTH SIDES OF BEAM.

Maximum Uniform Load Applied to Either or Both Outside Pieces (PLF)

Pieces in Member	16d NAILS		1/2" BOLTS		SCREWS (Note 9)	
	A	B	C	D	E	F
2	505	760	505	1015	500	995
3	380	570	380	760	375	745
4	Not Permitted		340	675	330	665



- ALL NAILS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED.
- NAILS SHALL BE SPACE AT NOT MORE THAN 6 INCHES ON CENTER AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR GREATER.
- SPACING OF FASTENERS NOT INCLUDED IN THIS TABLE SHALL BE BASED ON TABLE R02.3(1).
- FOR REGIONS HAVING BASIC WIND SPEED OF 110 MPH OR GREATER, 8D DEFORMED NAILS SHALL BE USED FOR ATTACHING PLYWOOD AND WOOD STRUCTURAL PANEL ROOF SHEATHING TO FRAMING WITHIN MINIMUM 48-INCH DISTANCE FROM GABLE END WALLS. IF MEAN ROOF HEIGHT IS MORE THAN 25 FEET, UP TO 35 FEET MAXIMUM, GYPSUM SHEATHING SHALL CONFORM TO ASTM C 79 AND SHALL BE INSTALLED IN ACCORDANCE WITH GA 253. FIBERBOARD SHEATHING SHALL CONFORM TO EITHER AHA 194.1 OR ASTM C 208.
- SPACING OF FASTENERS ON FLOOR SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND AT ALL FLOOR PERIMETERS ONLY. SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND AT ALL ROOF PLANE PERIMETERS. BLOCKING OF ROOF OR FLOOR SHEATHING PANEL EDGES PERPENDICULAR TO THE FRAMING MEMBERS SHALL NOT BE REQUIRED EXCEPT AT INTERSECTION OF ADJACENT ROOF PLANES. FLOOR AND ROOF PERIMETER SHALL BE SUPPORTED BY FRAMING MEMBERS OR SOLID BLOCKING.

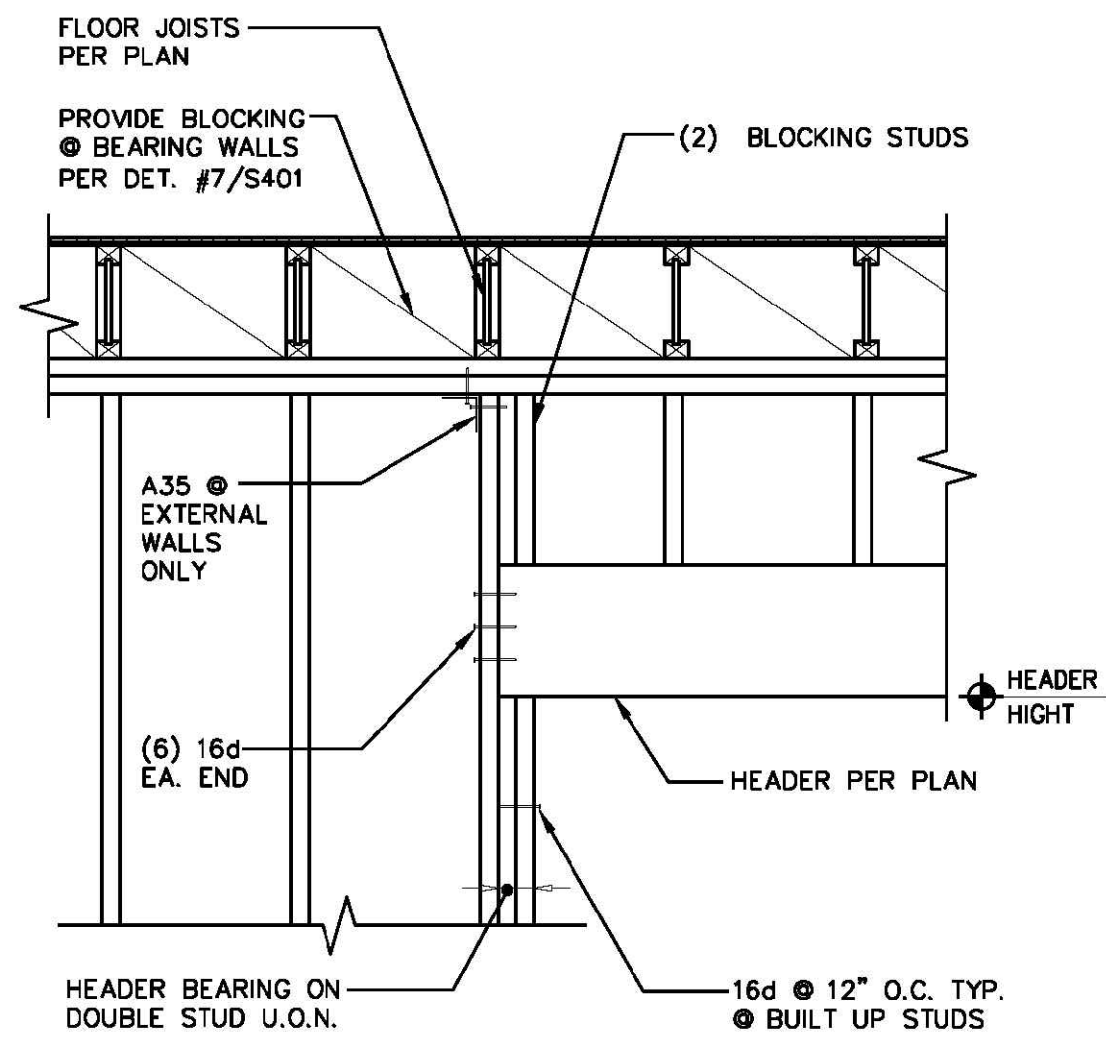


**10 WALL CONNECTION DETAIL @ ROOF**  
 SCALE: 3/4" = 1'-0"

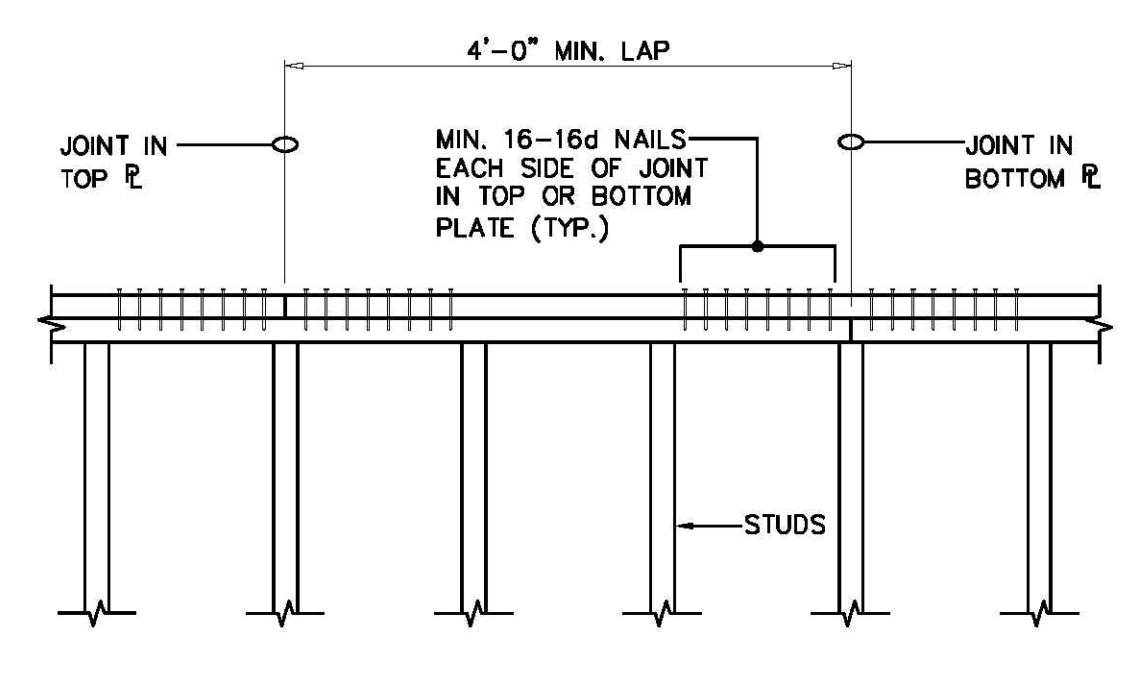




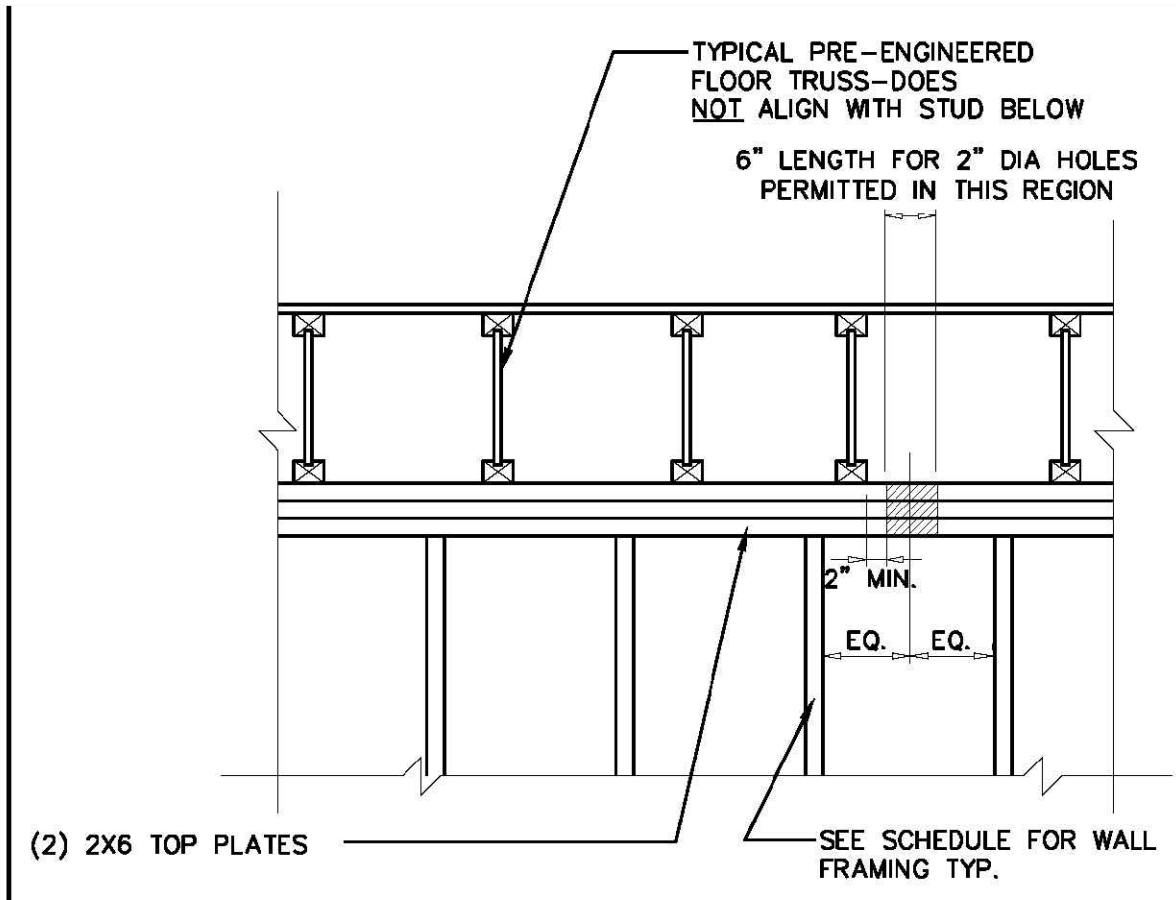




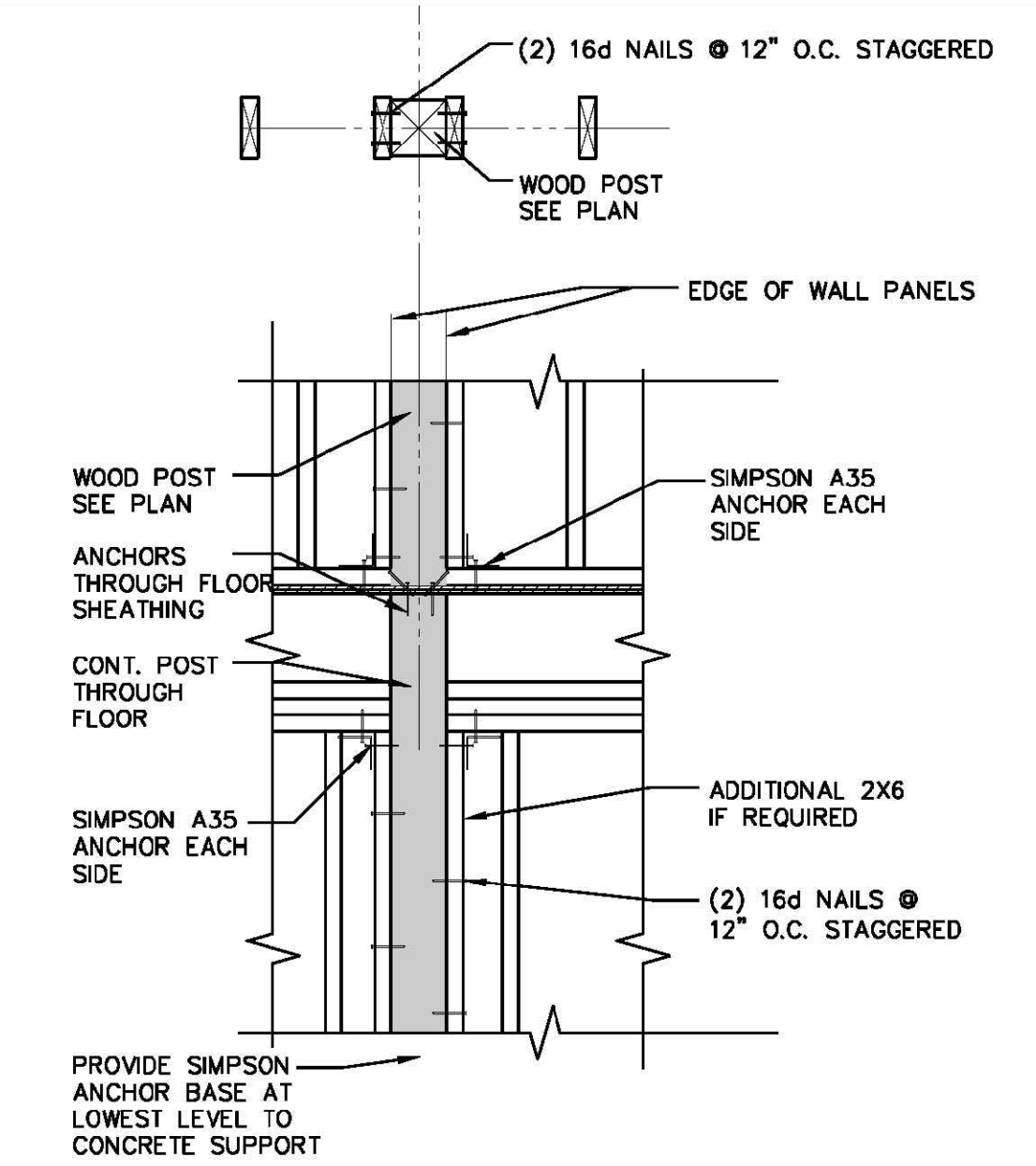
1 TYPICAL LOW HEADER DETAIL  
SCALE: 3/4"=1'-0"



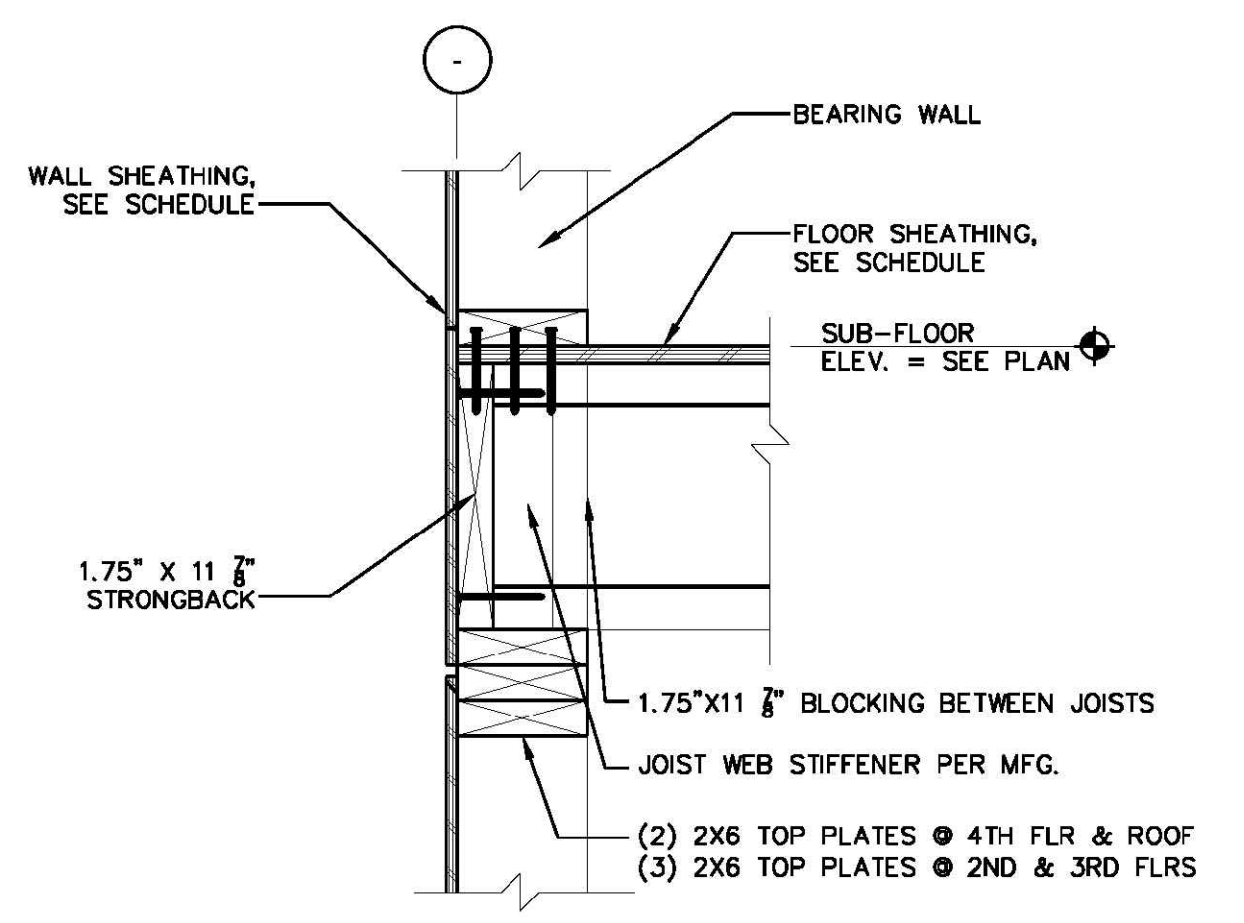
2 TYPICAL TOP PLATE SPLICE DETAIL  
SCALE: 3/4"=1'-0"



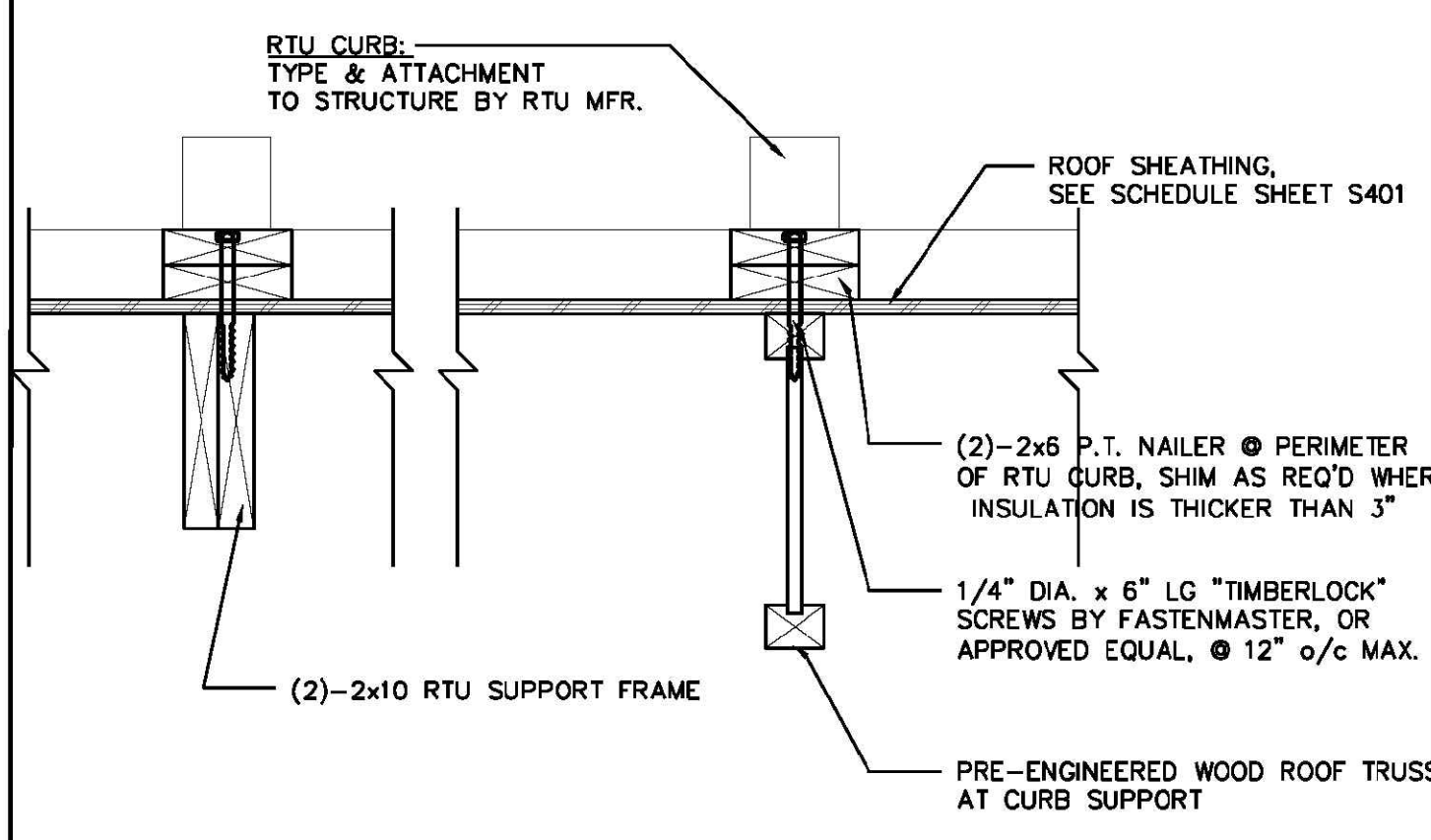
3 TYPICAL TOP PLATE PENETRATION DETAIL  
SCALE: 3/4"=1'-0"



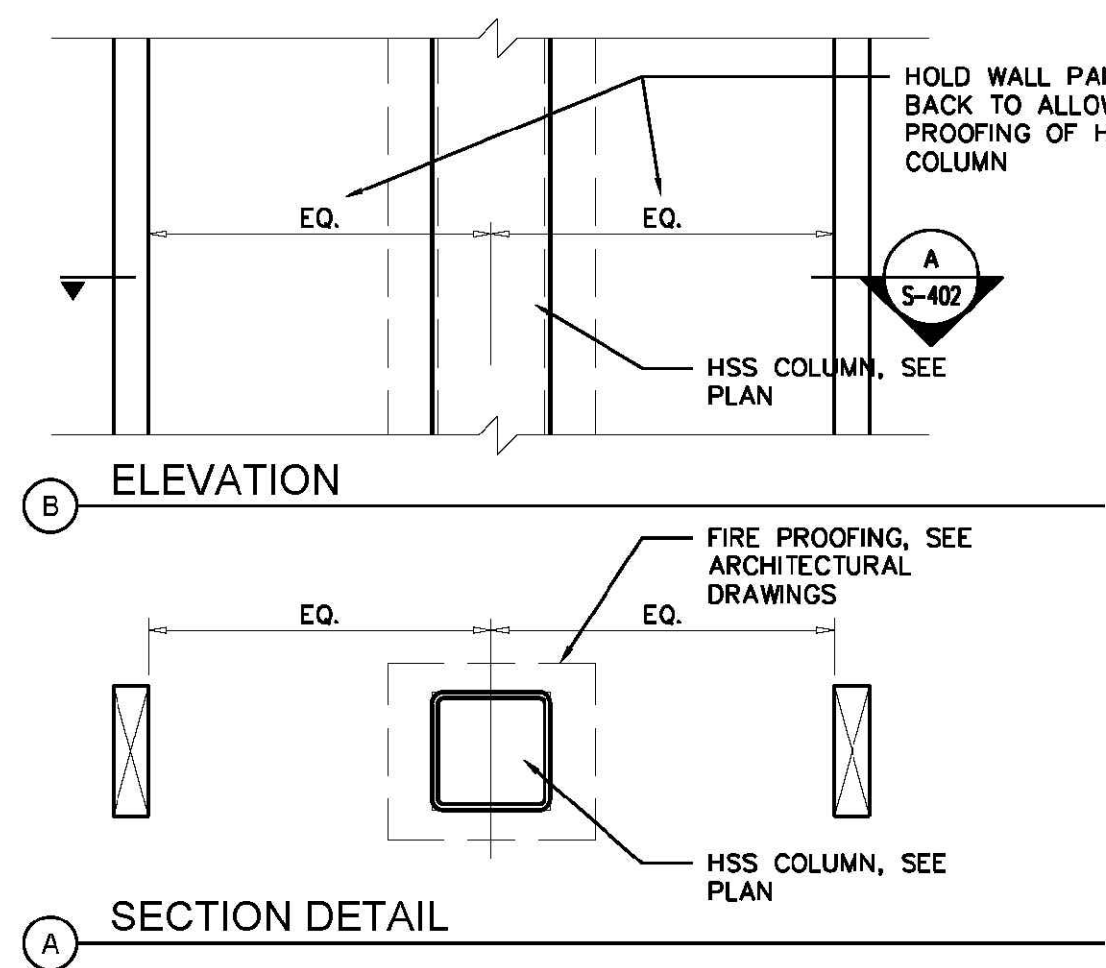
4 TYPICAL PSL POST DETAIL  
SCALE: 3/4"=1'-0"



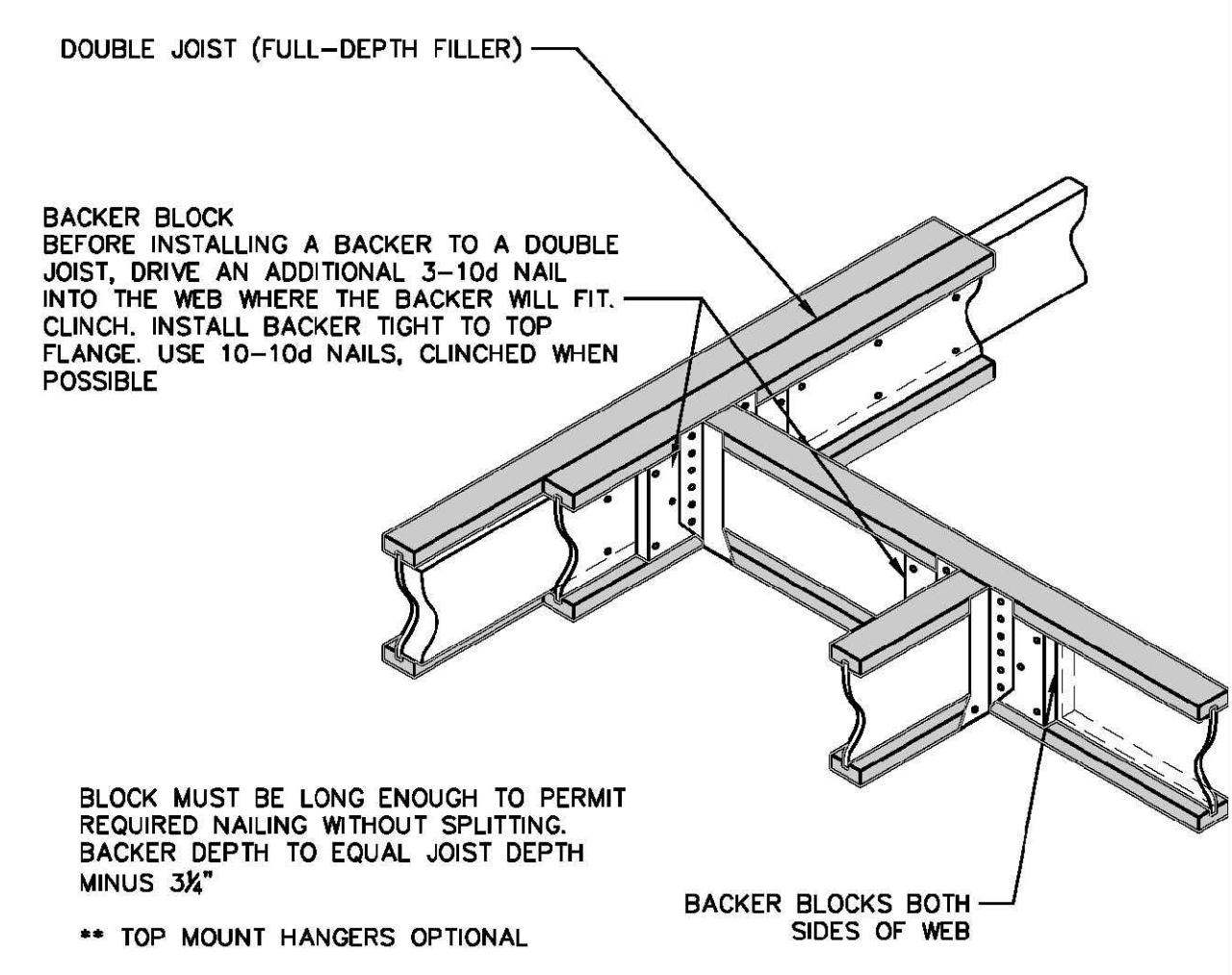
5 TYPICAL PERIMETER WALL DETAIL  
SCALE: 1 1/2"=1'-0"



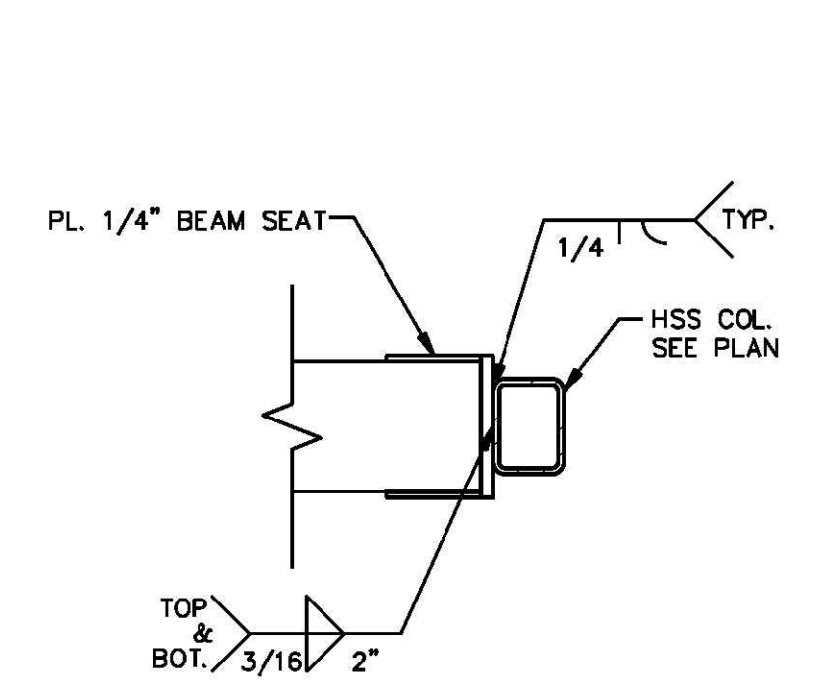
6 ROOF TOP UNIT SUPPORT FRAME  
SCALE: 1 1/2"=1'-0"



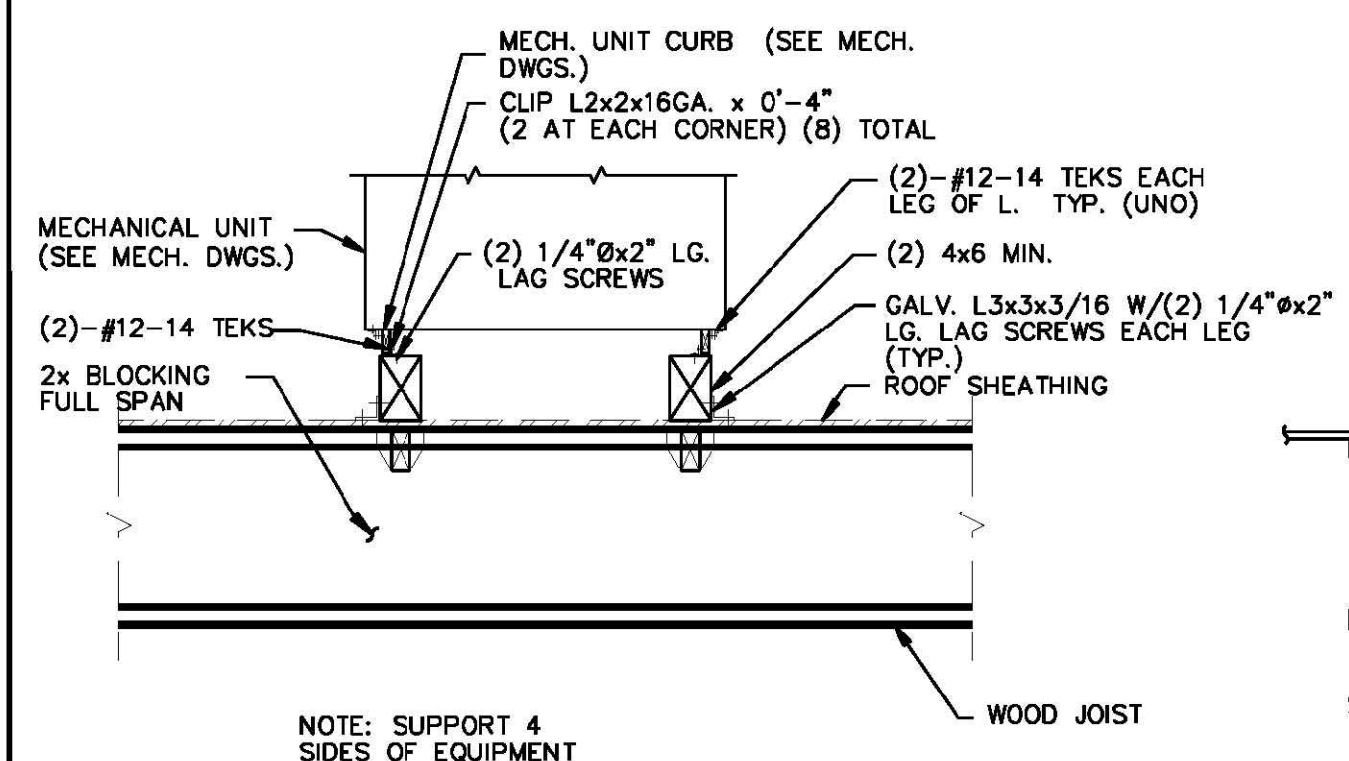
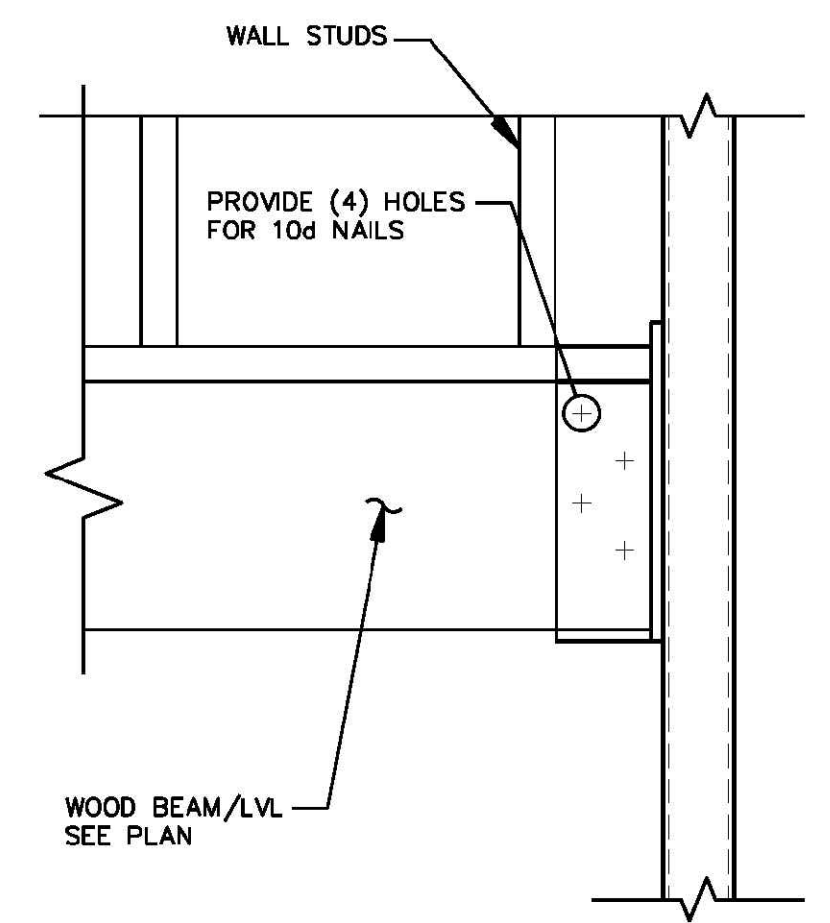
7 STEEL POST DETAIL  
SCALE: 1 1/2"=1'-0"



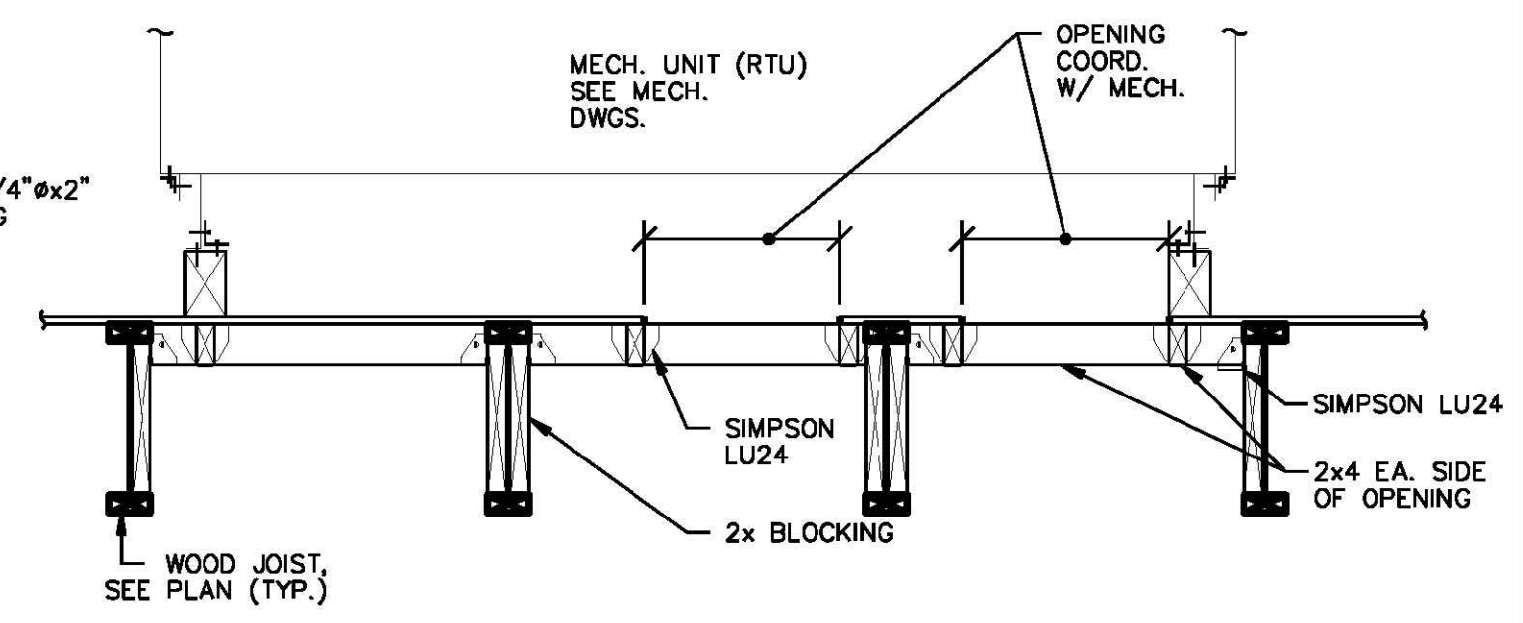
8 TYPICAL FRAMED OPENING  
SCALE: 1/2"=1'-0"



9 STEEL SHOE SUPPORT AT WOOD BEAM SUPPORT  
SCALE: 1 1/2"=1'-0"



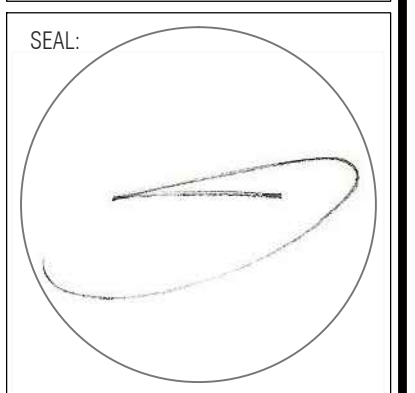
11 TYPICAL RTU SUPPORT DETAILS  
SCALE: 3/4"=1'-0"



TYPICAL ROOF OPENING DETAIL



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PROPOSED ADDITION & RENOVATION OF EXISTING FOUR FAMILY DWELLING

ADDRESS:  
81 SHERMAN AVENUE  
JERSEY CITY,  
NEW JERSEY

BLOCK: 4406  
LOT: 12

FOR:

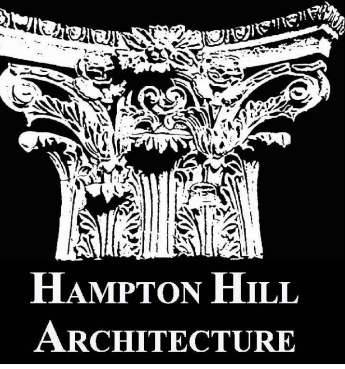
REVISIONS:

DRAWN BY: MK  
CHKD BY: MK  
ISSUE DATE: 10.07.2022  
PROJECT NO: 22018

SHEET TITLE:  
TYPICAL TJI JOIST DETAILS

SHEET No.  
ST-6





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Registered Architect: NJ LIC 21 A1 01985300

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PROPOSED ADDITION & RENOVATION OF EXISTING FOUR FAMILY DWELLING

ADDRESS:  
81 SHERMAN AVENUE  
JERSEY CITY, NEW JERSEY

BLOCK: 4406  
LOT: 12

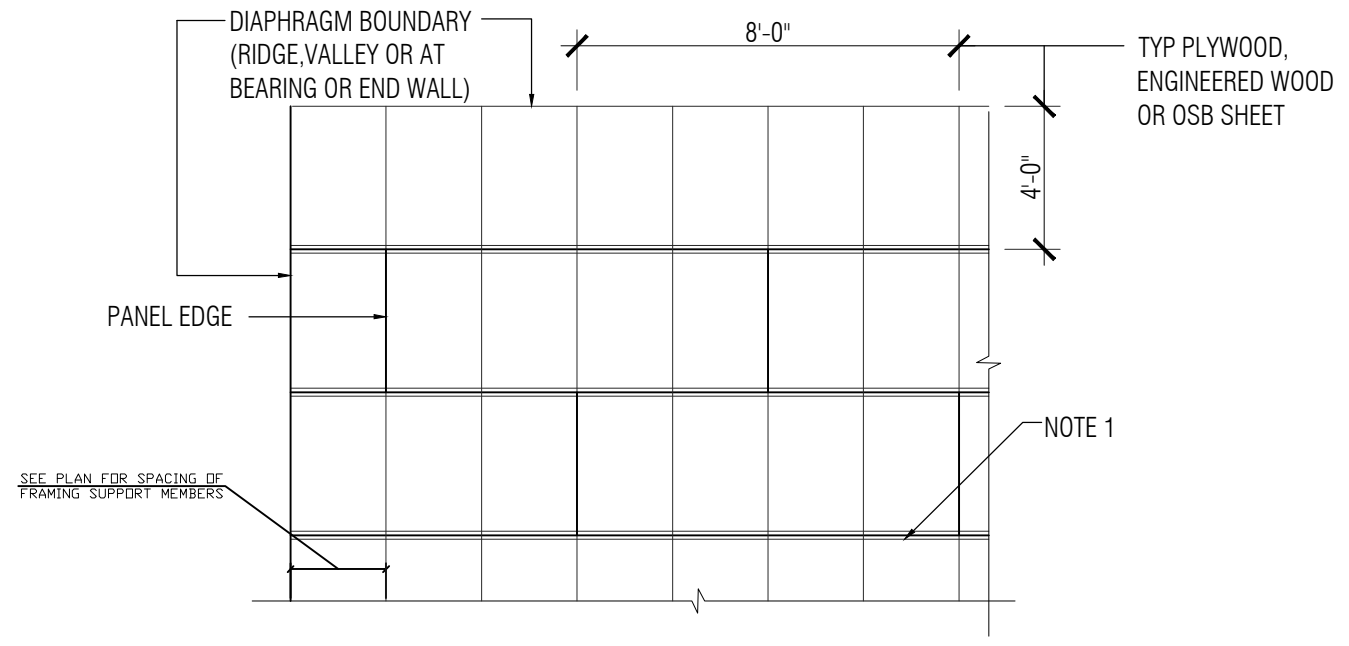
FOR:

REVISIONS:

DRAWN BY: MK  
CHKD BY: MK  
ISSUE DATE: 10.07.2022  
PROJECT NO: 22018

SHEET TITLE:  
PROPOSED STRUCTURAL DETAILS

SHEET No. ST-7

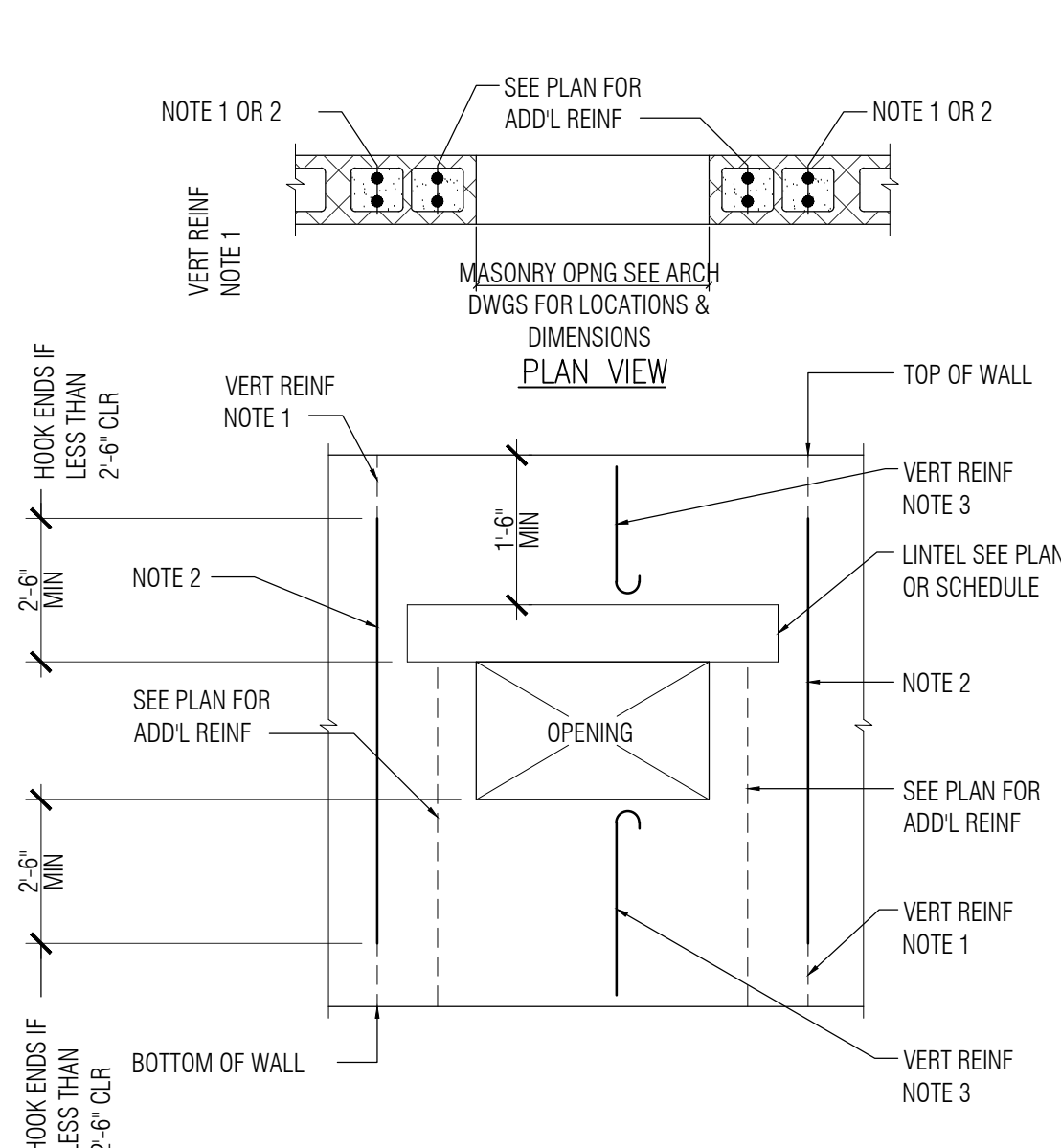


SHEATHING DIAPHRAGM ATTACHMENT SCHEDULE									
FLOOR	PANEL TYPE/GRADE	COMMON NAIL SIZE	MIN NAIL PENETRATION IN FRAMING	MIN NOMINAL PANEL THICKNESS	MIN NOMINAL WIDTH OF MEMBER	BLOCKED (NOTE 1)	NAIL SPACING @ DIAPHRAGM BOUNDARY AND PANEL EDGES	MAX NAIL SPACING @ INTERMEDIATE FRAMING MEMBERS	SHEAR CAPACITY
FIRST FLOOR	APA RATED STURD-I-FLOOR T&G EXPOSURE 1 UNDER DOC PS-2	0.148" SHANK	1 1/2"	3/4"	2"	YES	4" OC	12" OC	480 PLF
2ND & 3RD FLOORS	APA RATED STURD-I-FLOOR T&G EXPOSURE 1 UNDER DOC PS-2	0.148" SHANK	1 1/2"	3/4"	2"	NO	6" OC	12" OC	285 PLF
ROOF	APA RATED EXPOSURE 1 UNDER DOC PS-2	0.148" SHANK	1 1/2"	3/4"	2"	NO	6" OC	12" OC	255 PLF

NOTES:  
1. WHERE BLOCKING IS REQUIRED PROVIDE 2x4 BETWEEN FRAMING/TRUSSES AT EACH PANEL JOINT NAILED TO FRAMING EACH END.  
2. SEE TYPICAL DETAIL NAIL SCHEDULE FOR NAIL INFORMATION.

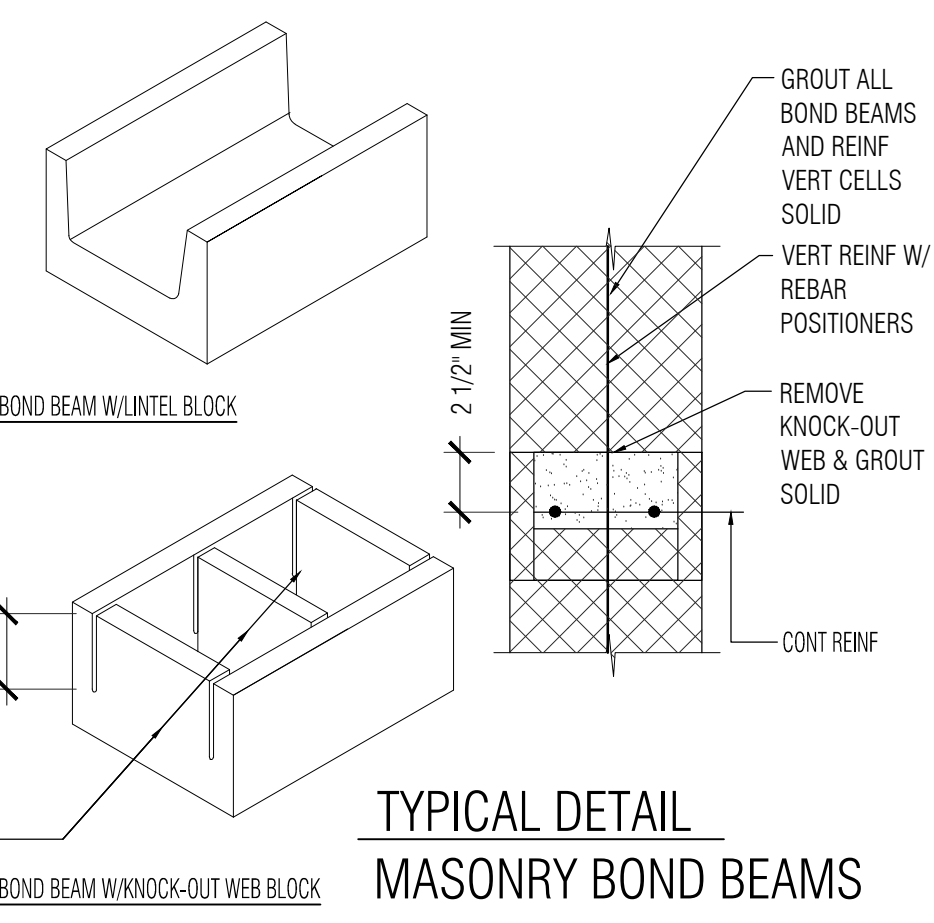
**TYPICAL DETAIL FLOOR/ROOF PANEL NAIL SPACING & SCHEDULE**

NOTE:  
APPLY CONTINUOUS LINE OF GLUE ON ALL JOISTS AND IN GROOVE OF TONGUE & GROOVE PANELS BEFORE SETTING AND NAILING THEM.

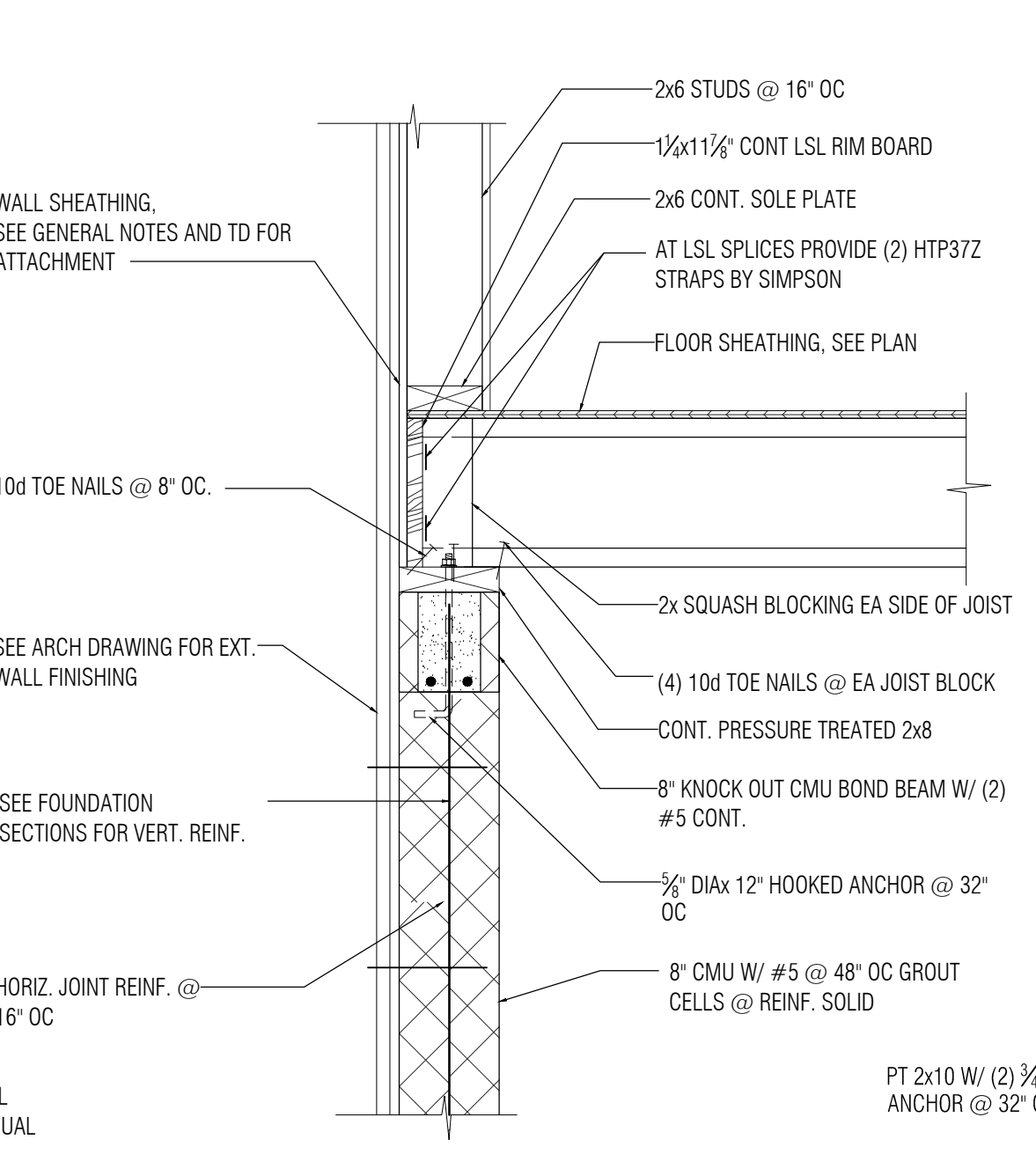


NOTES:  
1. REINFORCED WALL: ALL INTERRUPTED VERT BARS SHALL BE COMPENSATED FOR BY ADDITIONAL BARS ON EACH SIDE OF OPENING FULL HEIGHT OF WALL. TOTAL AREA OF ADD'L BARS SHALL EQUAL AREA OF INTERRUPTED BARS. PROVIDE MIN (2) #5 EACH SIDE OF OPENING.  
2. UNREINFORCED WALL: PROVIDE MIN (2) #5 EACH SIDE OF OPENING.  
3. REINFORCED WALL: SIZE & SPACING OF REINF INDICATED ON PLAN. PROVIDE HOOKED ENDS ON ALL DISCONTINUOUS BARS.

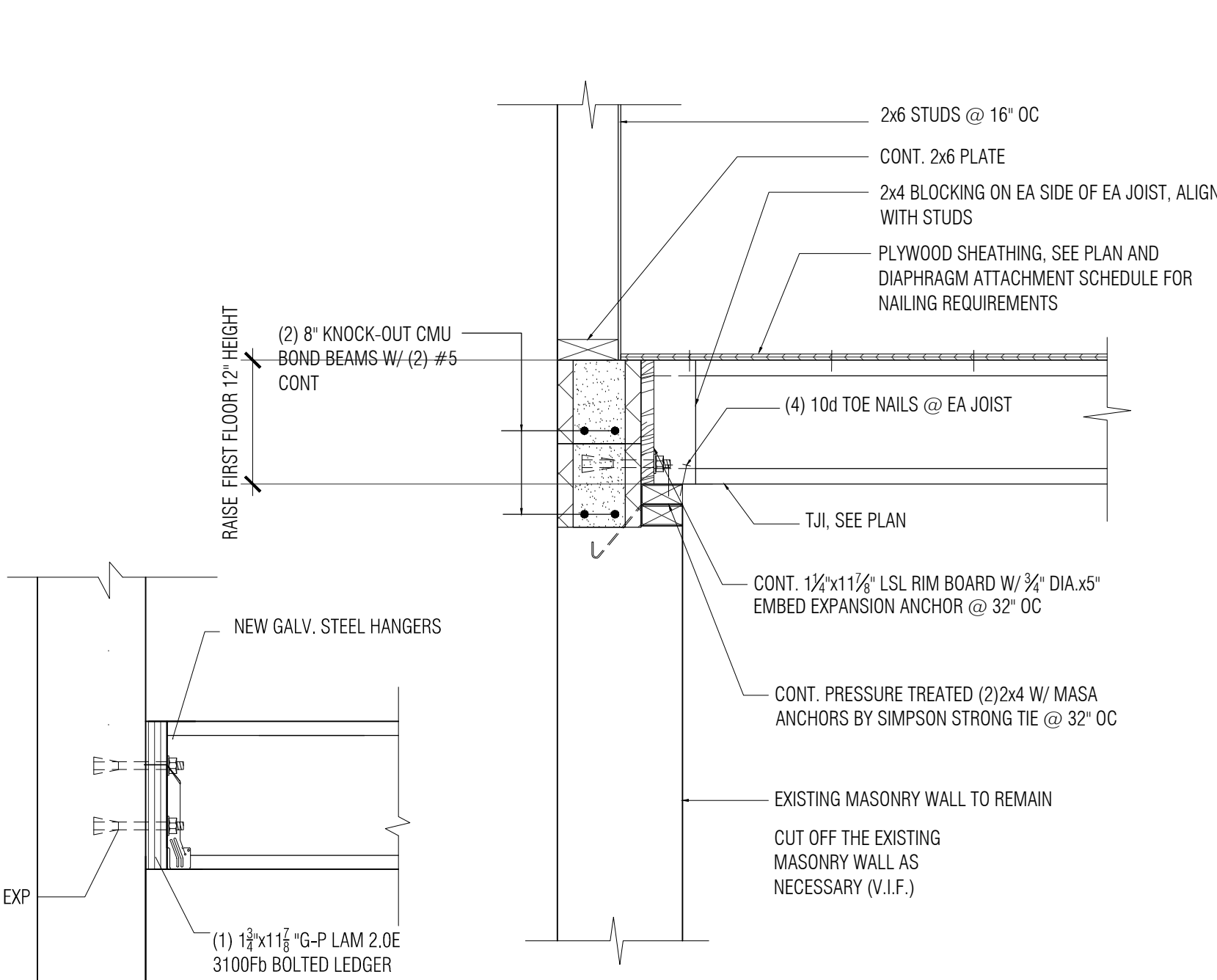
**TYPICAL DETAIL MASONRY WALL OPENING REINFORCING**



**TYPICAL DETAIL MASONRY BOND BEAMS**



**WALL CONNECTION DETAIL 3**  
N.T.S.



**WALL CONNECTION DETAIL 1**  
N.T.S.

**WALL CONNECTION DETAIL 2**  
N.T.S.

MISCELLANEOUS BOND OR PRECAST MASONRY LINTEL SCHEDULE			
WALL THICKNESS	MASONRY OPENING UP TO 6'-0"	MASONRY OPENING 6'-1" TO 8'-0"	MASONRY OPENING 8'-1" TO 10'-0"
8" WALL	8"x8" CONC W/(2) #4 TOP & BOT OR 8"x8" BOND BEAM W/(1) #5 TOP & BOT	8"x8" CONC W/(2) #4 TOP & BOT OR 8"x16" BOND BEAM W/(1) #6 TOP & BOT	8"x12" CONC W/(2) #5 TOP & BOT OR 8"x16" BOND BEAM W/(2) #5 TOP & BOT
10" WALL	10"x8" CONC W/(2) #4 TOP & BOT OR 10"x8" BOND BEAM W/(2) #4 TOP & BOT	10"x8" CONC W/(2) #4 TOP & BOT OR 10"x16" BOND BEAM W/(2) #5 TOP & BOT	10"x12" CONC W/(2) #6 TOP & BOT OR 10"x16" BOND BEAM W/(2) #6 TOP & BOT
12" WALL	12"x8" CONC W/(2) #4 TOP & BOT OR 12"x8" BOND BEAM W/(2) #5 TOP & BOT	12"x8" CONC W/(2) #4 TOP & BOT OR 12"x16" BOND BEAM W/(2) #5 TOP & BOT	12"x12" CONC W/(2) #6 TOP & BOT OR 12"x16" BOND BEAM W/(2) #6 TOP & BOT

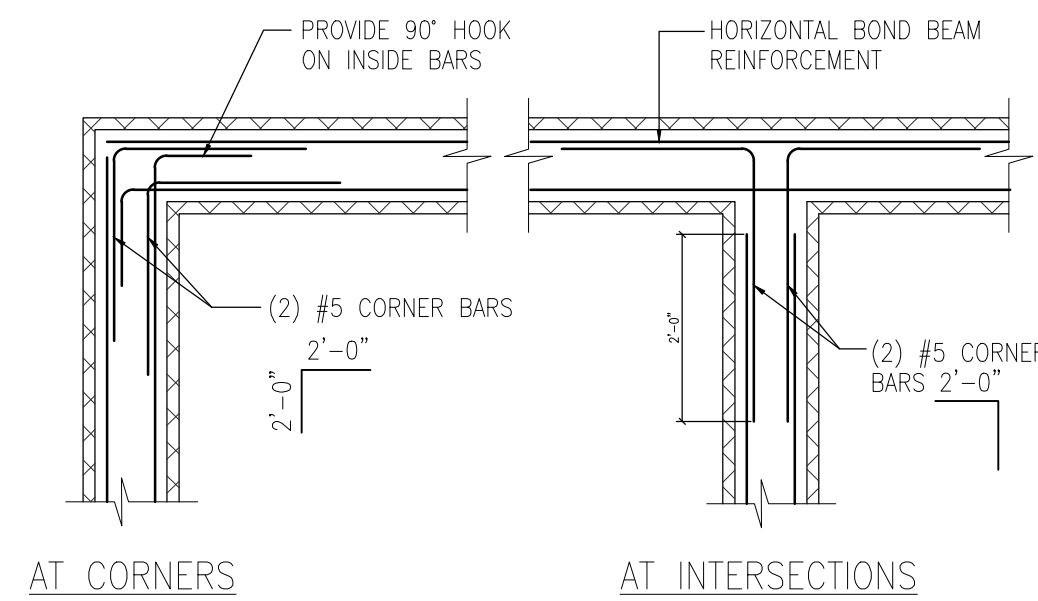
NOTES:  
1. PROVIDE MINIMUM 6" BEARING ON BRICK, SOLID OR GROUTED SOLID CONCRETE BLOCK.  
2. THIS SCHEDULE IS FOR THOSE OPENINGS NOT SHOWN ON THE STRUCTURAL DRAWINGS. REFER TO ARCH & MECH DRAWINGS FOR LOCATION AND SIZE OF FOR NON-BEARING MASONRY WALL.

**TYPICAL DETAIL MISCELLANEOUS BOND OR PRECAST MASONRY LINTEL SCHEDULE**

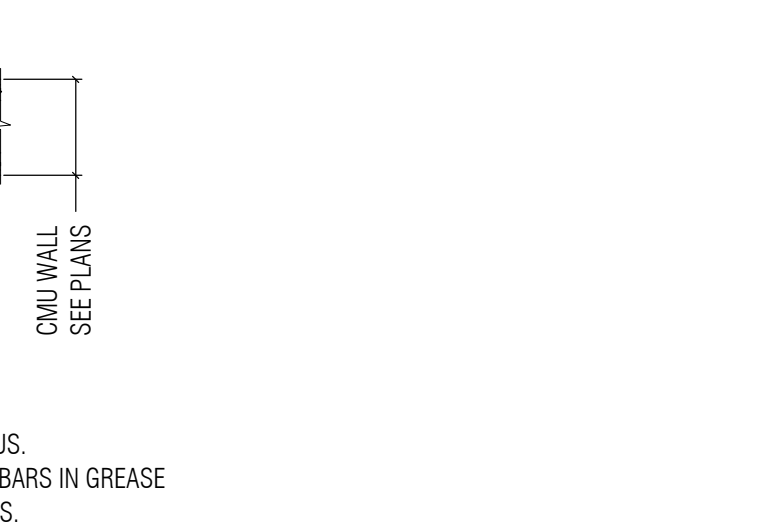
MISCELLANEOUS STEEL ANGLE MASONRY WALL LINTEL SCHEDULE			
WALL THICKNESS	MASONRY OPENING UP TO 4'-0"	MASONRY OPENING 4'-1" TO 6'-0"	MASONRY OPENING 6'-1" TO 8'-0"
4" WALL	L 3 1/2x3 1/2x5/16	L 4x3 1/2x5/16	L 6x3 1/2x5/16
6" WALL	J L 3 1/2x2 1/2x5/16	J L 3 1/2x2 1/2x5/16	J L 3 1/2x2 1/2x3/8
8" WALL	J L 3 1/2x3 1/2x5/16	J L 4x3 1/2x5/16	J L 6x3 1/2x5/16
10" WALL	L 5x3 1/2x1/4(-) + L 4x3 1/2x1/4(-)	L 5x3 1/2x1/4(-) + L 4x3 1/2x1/4(-)	L 5x5x5/16(-) + L 4x4x5/16(-)
12" WALL	J L L 3 1/2x3 1/2x5/16	J L L 4x3 1/2x5/16	J L L 6x3 1/2x5/16
16" WALL	J J L 3 1/2x3 1/2x5/16	J J L 4x3 1/2x5/16	J J L 6x3 1/2x5/16

NOTES:  
THIS SCHEDULE IS FOR THOSE OPENINGS NOT SHOWN ON THE STRUCTURAL DRAWINGS. REFER TO ARCH AND MECH DRAWINGS FOR LOCATION AND SIZE OF OPENINGS FOR NON-BEARING MASONRY WALLS.  
PROVIDE MINIMUM 6" BEARING ON BRICK, SOLID OR GROUTED SOLID CONCRETE BLOCK, BUT NOT LESS THAN 1" OF BEARING PER FOOT OF SPAN.  
WHERE OPENINGS ARE LOCATED NEXT TO COLUMNS OR BEAMS, ATTACH TO STRUCTURAL STEEL. CONNECTION NOT TO PROTRUDE INTO OPENING.  
ALL EXTERIOR LINTELS SHALL BE HOT DIPPED GALVANIZED PER ASTM 123.  
ALL ANGLES LONG LEG VERTICAL UNLESS NOTED BY ( ) WHEN NOTED BY ( ) USE LONG LEG HORIZONTAL.  
AT CAVITY WALLS, INCREASE THE HORIZONTAL LEG OF EXTERIOR ANGLE BY WIDTH OF CAVITY.

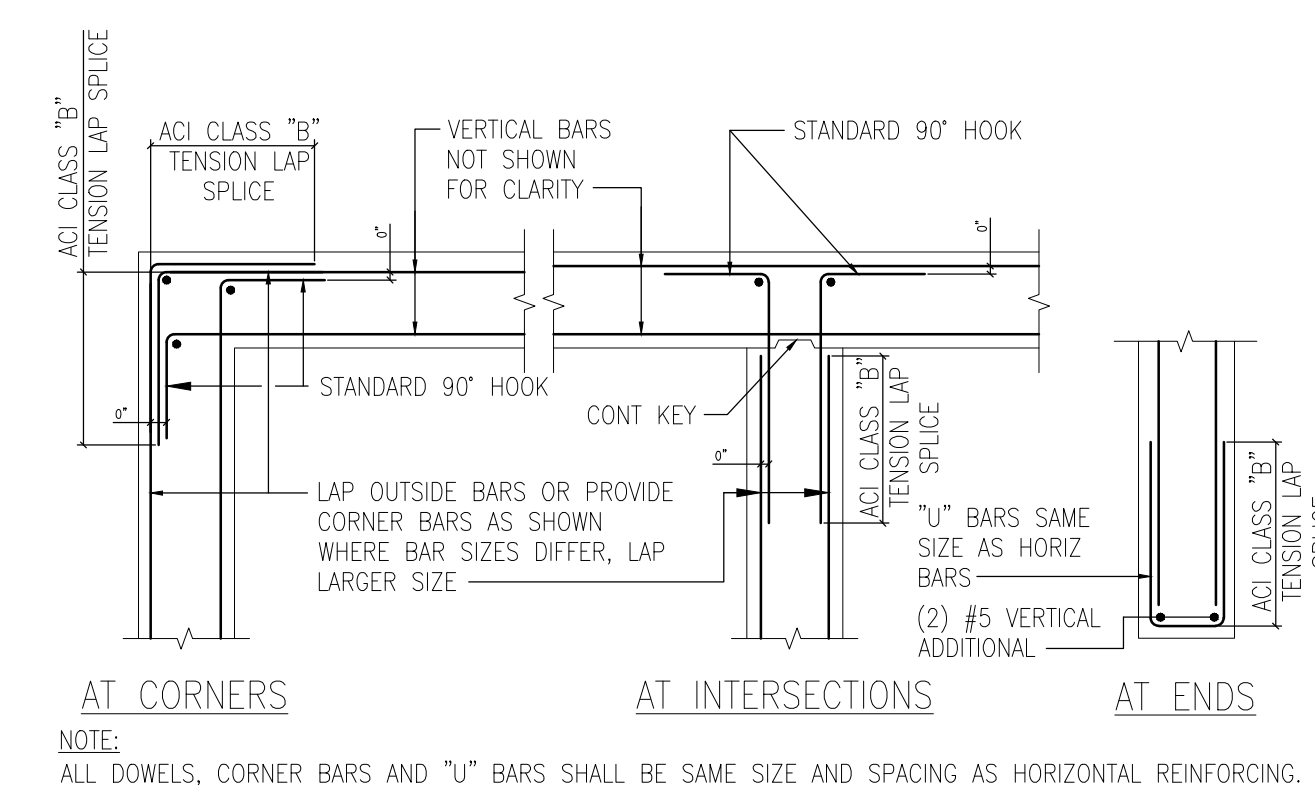
**TYPICAL DETAIL MISCELLANEOUS STEEL ANGLE MASONRY WALL LINTEL SCHEDULE**



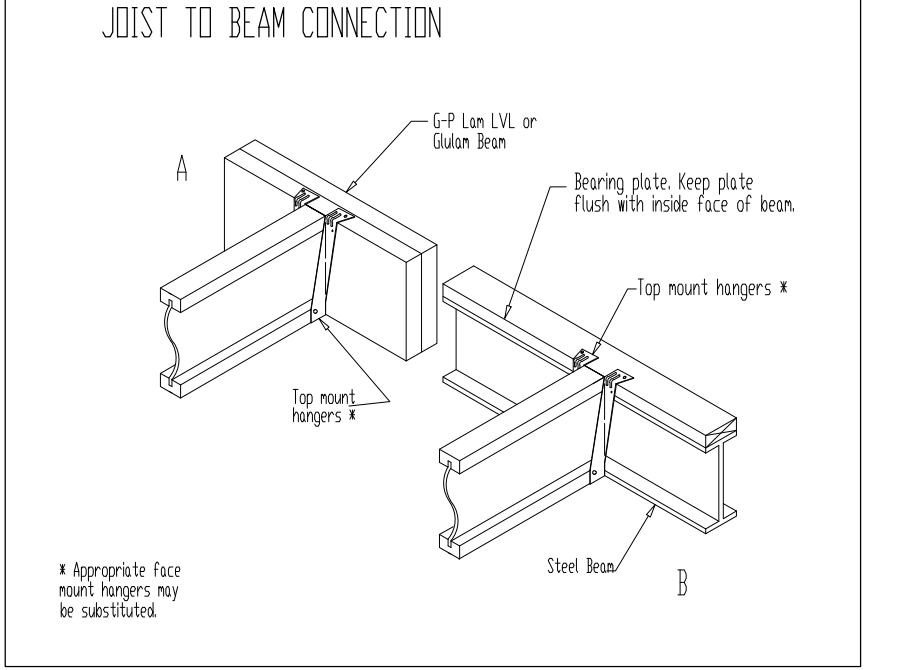
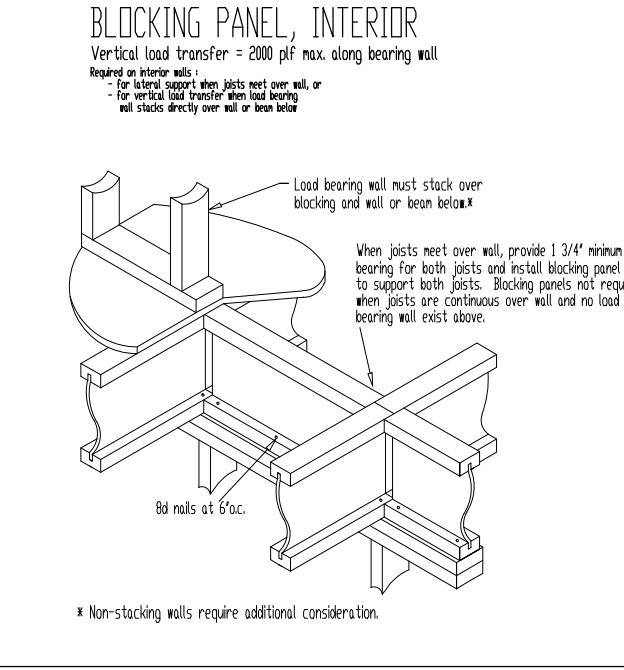
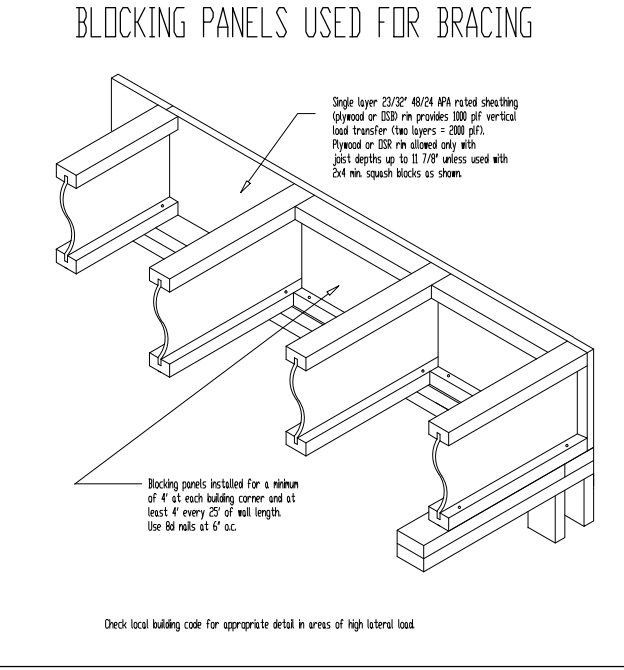
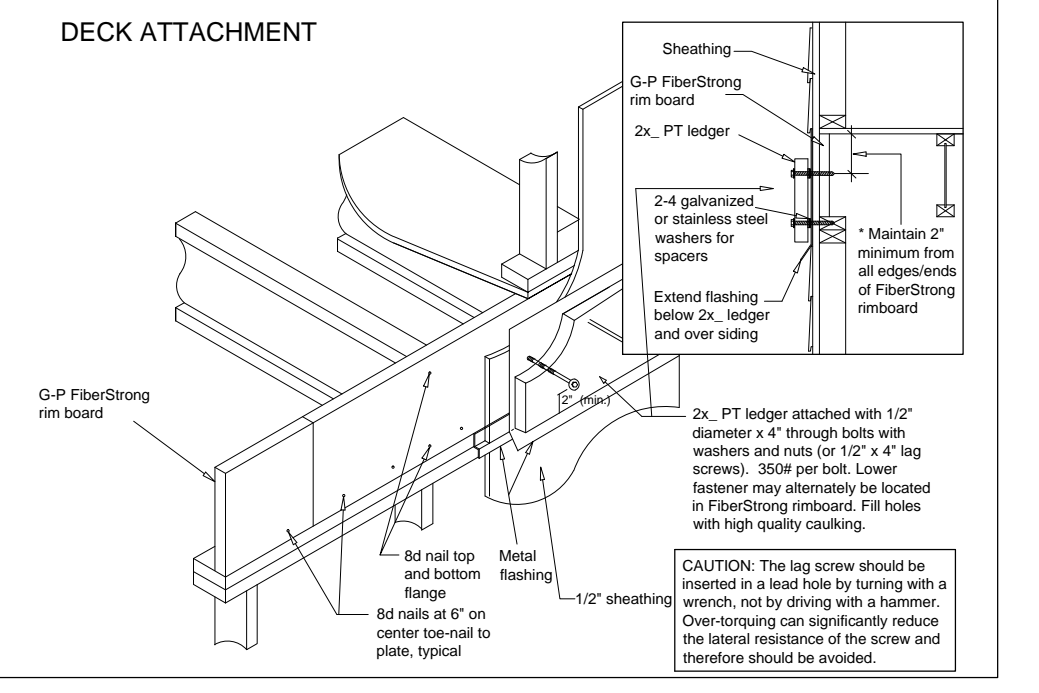
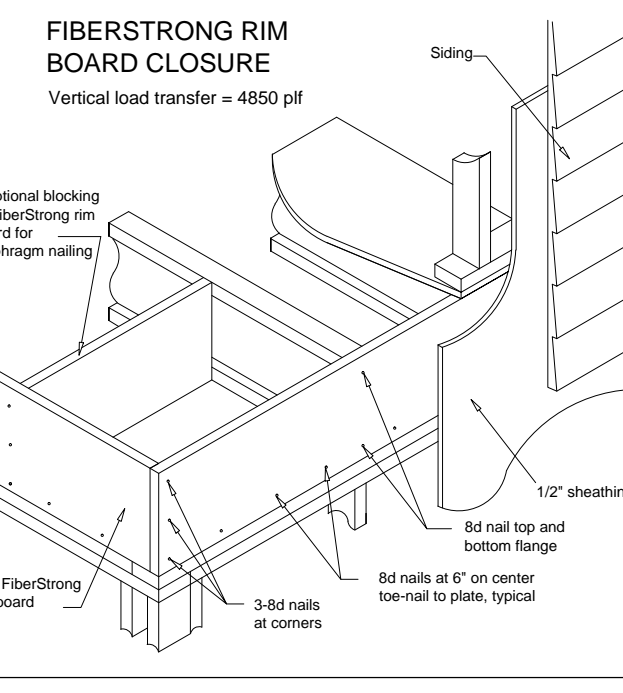
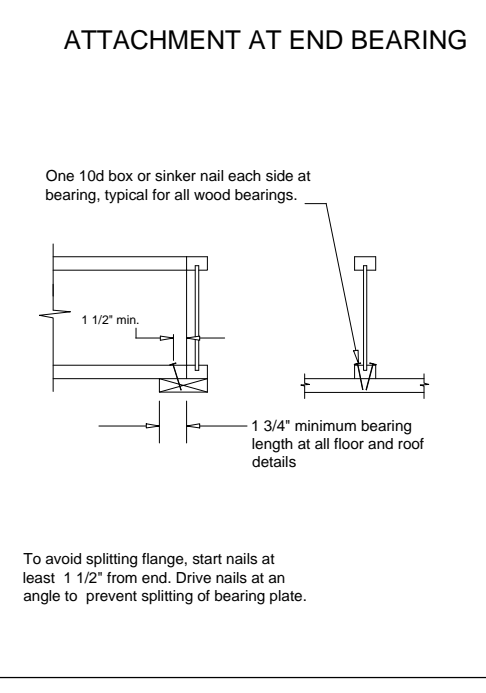
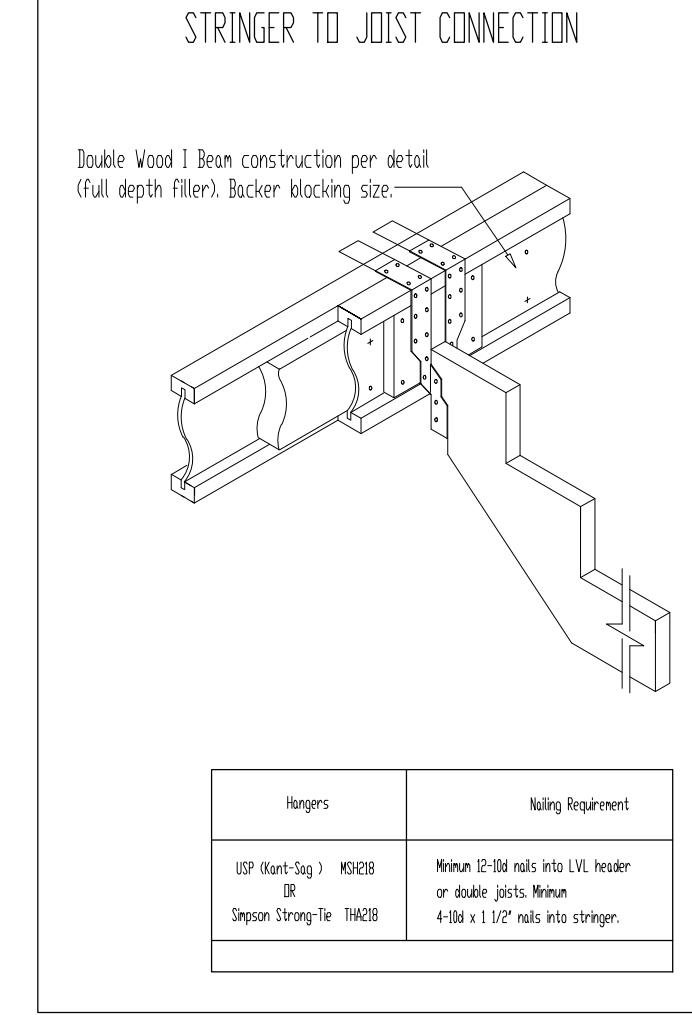
**TYPICAL DETAIL HORIZONTAL REINFORCEMENT IN BOND BEAMS**



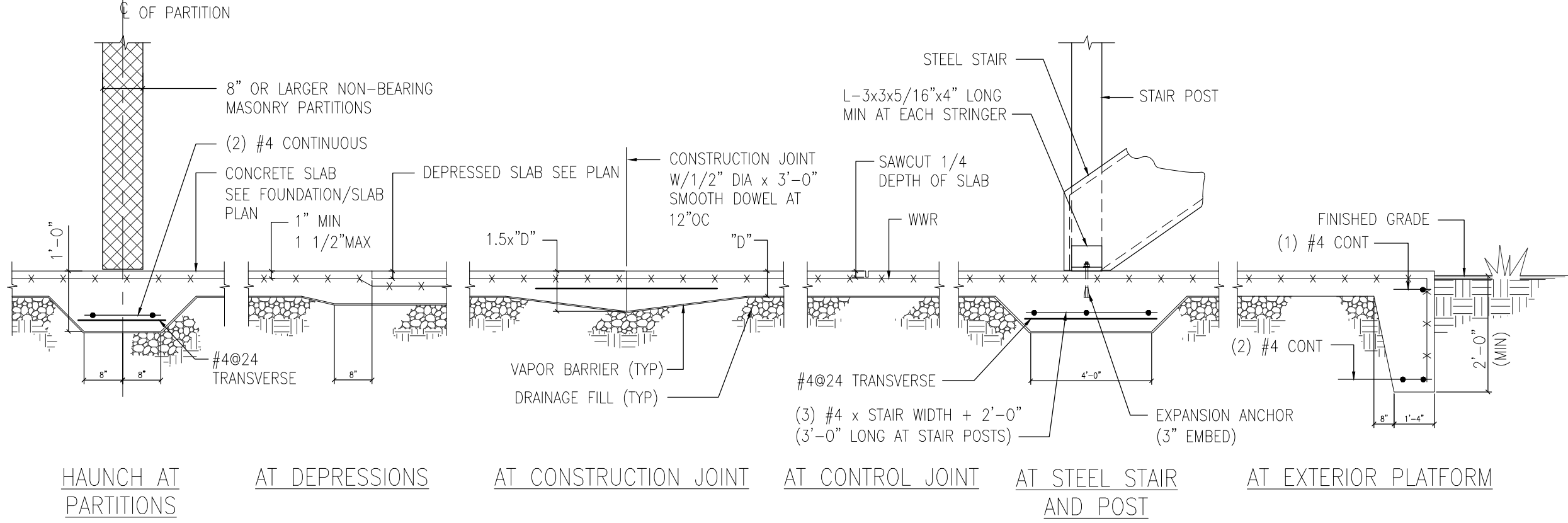
**TYPICAL DETAIL CONTROL JOINT IN CMU WALL**



**TYPICAL DETAIL HORIZONTAL REINFORCEMENT IN CONCRETE WALLS**

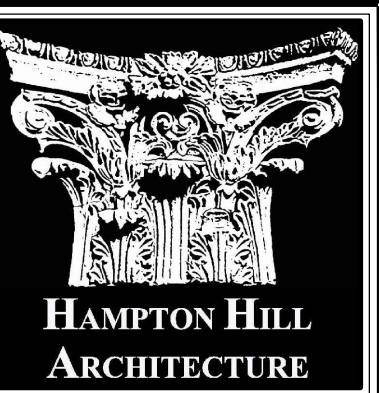


**TYPICAL I-JOIST DETAILS**  
NOT TO SCALE

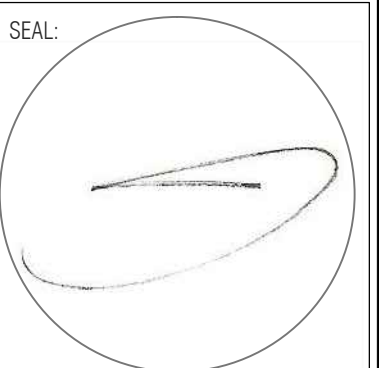


**TYPICAL DETAIL SLAB ON GRADE**





**HAMPTON HILL ARCHITECTURE**  
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MIN W. KIL  
 Registered Architect, NJ LIC 21 AI 01985300

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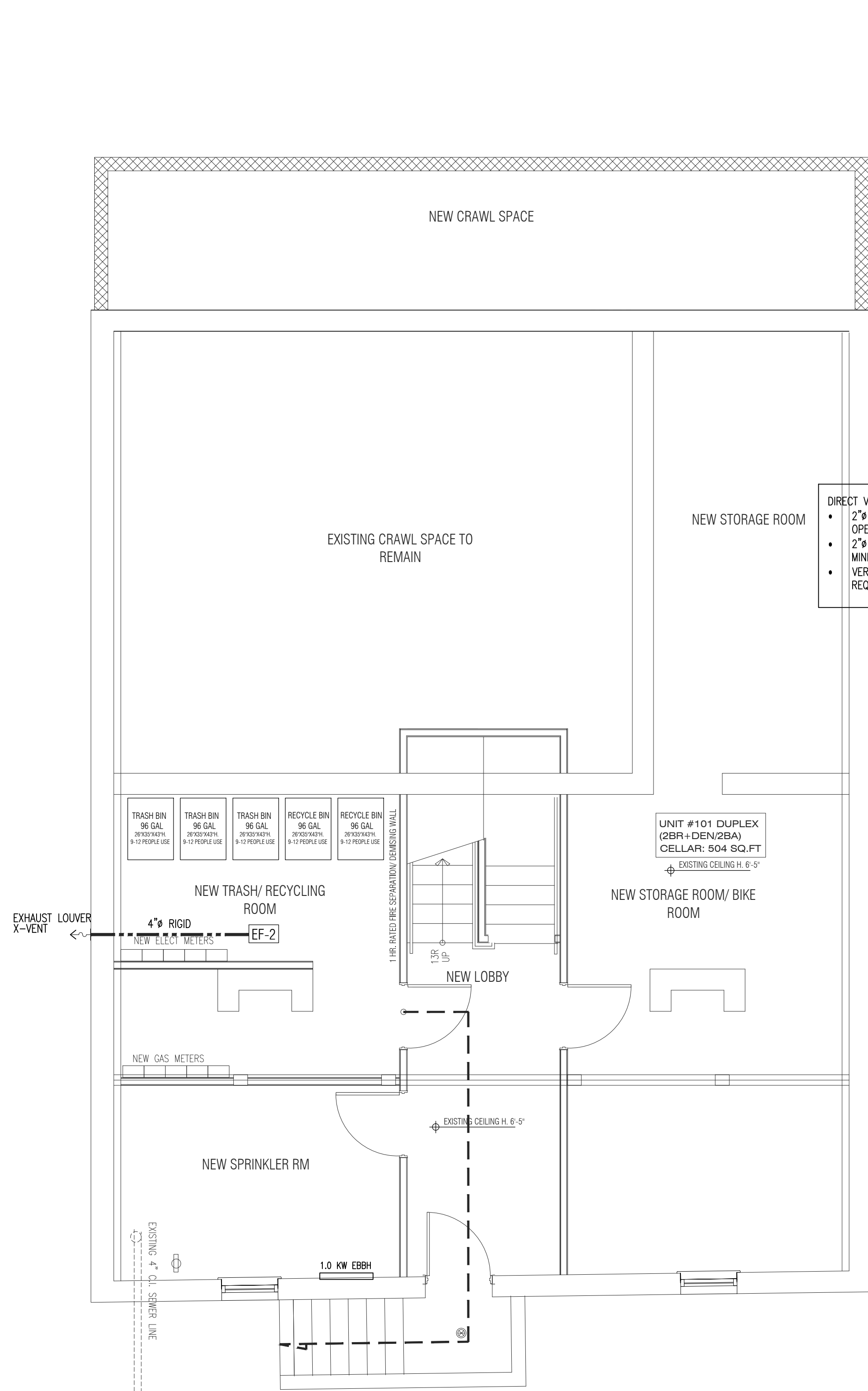
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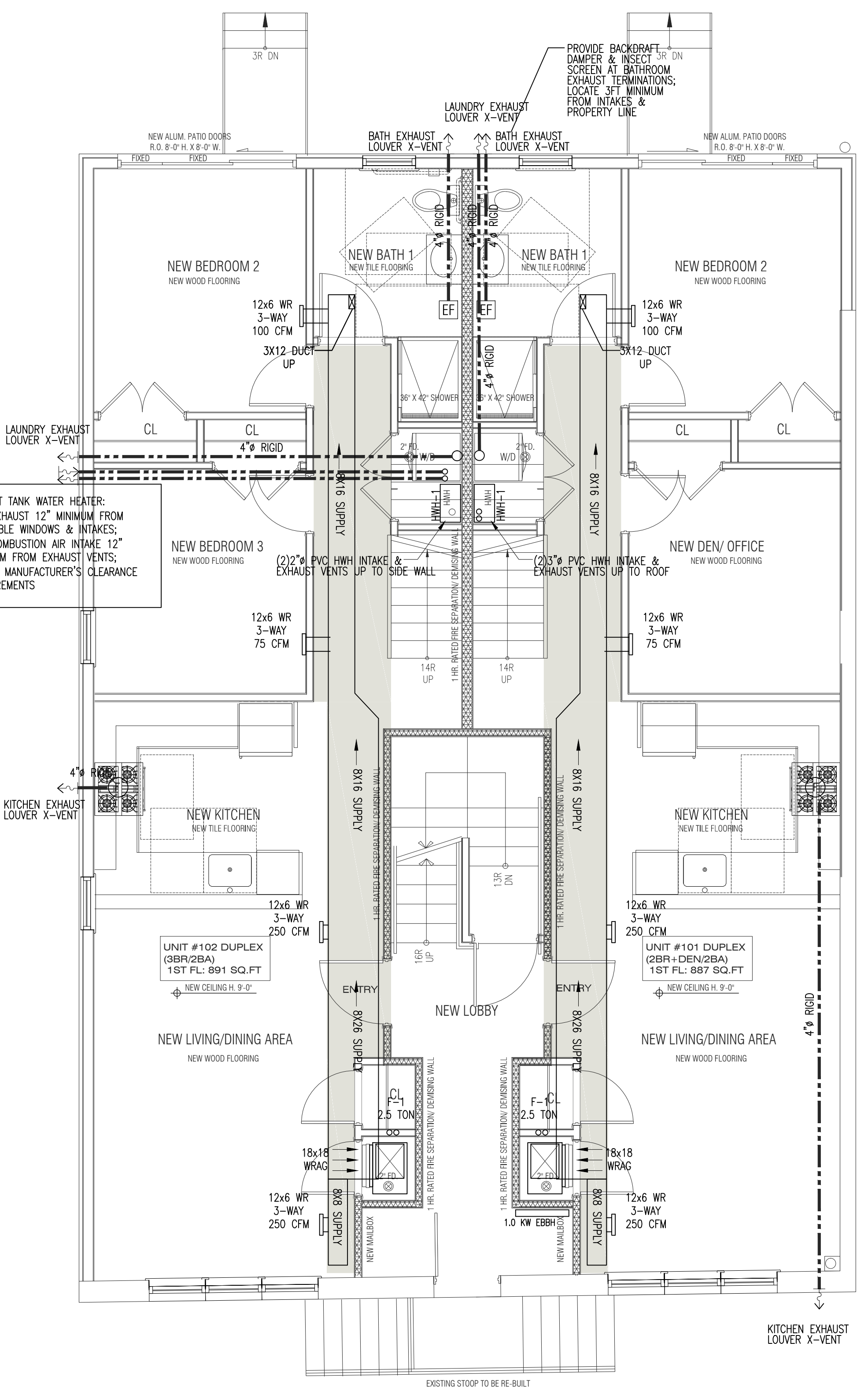
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 MECHANICAL PLANS & NOTES

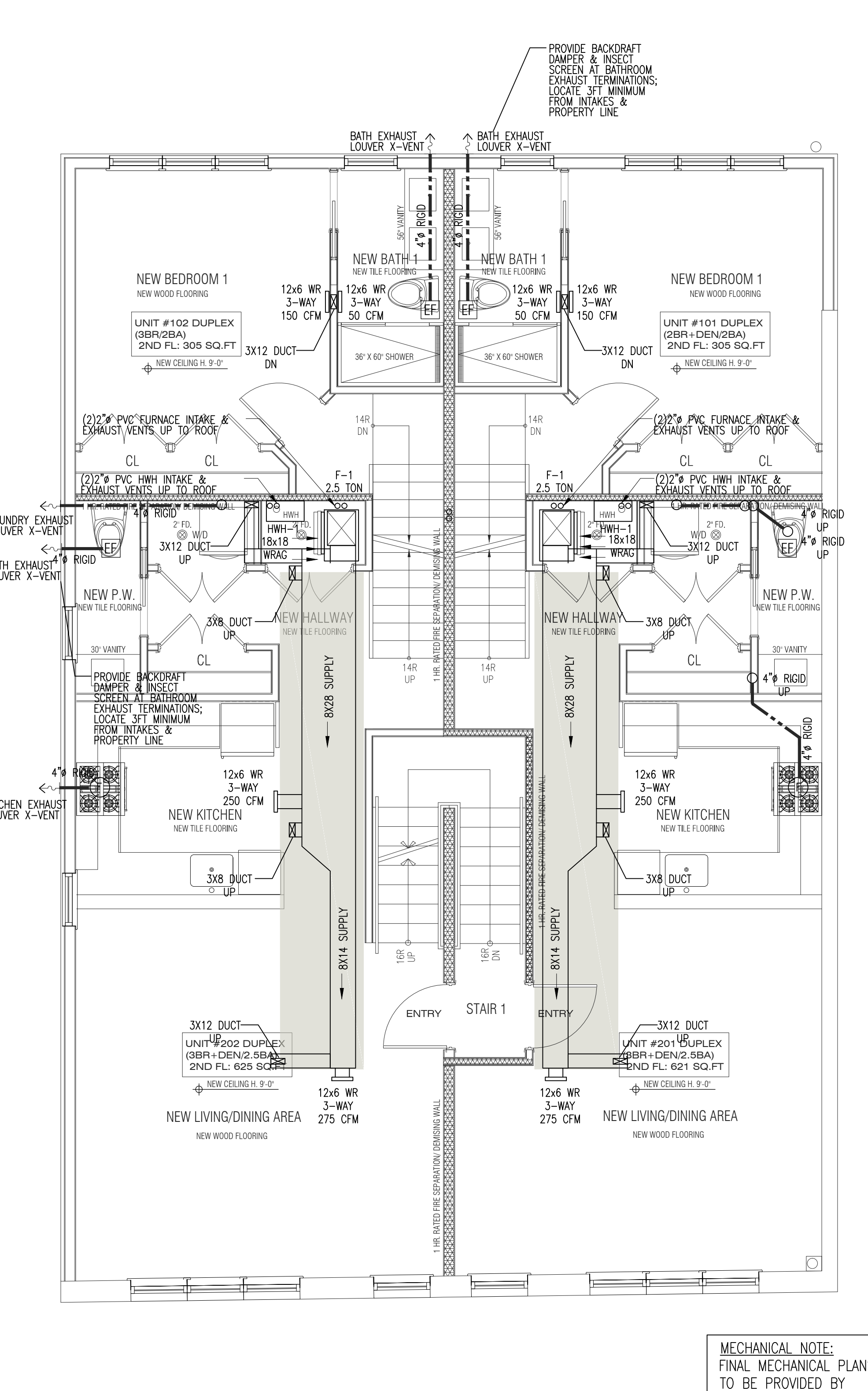
SHEET No. **M-1**



**1 CELLAR MECHANICAL PLAN**  
 SCALE: 1/4" = 1'-0"



**2 FIRST FLOOR MECHANICAL PLAN**  
 SCALE: 1/4" = 1'-0"



**3 SECOND FLOOR MECHANICAL PLAN**  
 SCALE: 1/4" = 1'-0"

**MECHANICAL NOTE:**  
 FINAL MECHANICAL PLANS TO BE PROVIDED BY MECHANICAL CONTRACTORS. GENERAL CONTRACTOR TO COORDINATE INSTALLATION WITH ELECTRICAL AND MECHANICAL CONTRACTORS. VERIFY DETAILS WITH SHOP DRAWINGS.

MARK	LOCATIONS	ITEM	MANUFACTURER	MODEL	REMARKS
ACU-1	GROUND	AC CONDENSER	TRANE	XR14 - 4TR4030 OR APPROVED EQUAL	2.5 TON, R410A REFRIGERANT, ENERGY STAR COMPLIANT WITH MINIMUM 12 EER, AND 15.0 SEER. CONTRACTOR TO PROVIDE PRODUCT SPECIFICATIONS AND CURRENT ARI# TO OWNER AND ENGINEER FOR APPROVAL PRIOR TO PURCHASING EQUIPMENT.
F-1	APT. UNIT MECH. RM	FURNACE	TRANE	XT95 - TUH1B080A9H31B OR APPROVED EQUAL	95% AFUE, 80MBTU/ PROVIDE ENERGY STAR RATED PROGRAMMABLE THERMOSTAT. PROVIDE AND INSTALL 2" CORNER BLOCKS AT ALL FURNACES; CONTRACTOR TO PROVIDE PRODUCT SPECIFICATIONS AND GAMA# TO OWNER AND ENGINEER FOR APPROVAL PRIOR TO PURCHASING EQUIPMENT.
EF	BATHROOM FAN	SWITCHED EXHAUST FAN	PANASONIC	WHISPER CEILING FV-05VQ5	80 CFM EXHAUST FAN, ENERGY STAR COMP. INSTALL W/ PANASONIC PC-RD05C3 RADIATION DAMPERS AT FIRE-RATED PENETRATIONS. COORDINATE WITH ELECTRICAL PLANS.
T	LIVING ROOM	THERMOSTAT	HONEYWELL	#T811ZD1005	
WR	SOFFIT	6x12 WALL REGISTERS	HART & COOLEY	303	ALUMINUM STAMPED GRILL W/ DAMPERS, 3-WAY, WHITE ENAMEL FINISH
WRAG	MECH. CLOSET WALL	16x16 WALL RETURN AIR GRILLES	HART & COOLEY	673	673 RETURN AIR FILTER GRILLE
CRAG	MECH. CLOSET WALL	18x18 CEILING RETURN AIR GRILLES	HART & COOLEY	673	673 RETURN AIR FILTER GRILLE

MARK	LOCATIONS	ITEM	MANUFACTURER	MODEL	REMARKS
CR	CEILING	CEILING REGISTERS	HART & COOLEY	A503 (3-WAY) & A504 (4-WAY)	EXTRUDED ALUMINUM REGISTERS W OPPOSED BLADE DAMPERS & RADIATION DAMPERS
BD	EXHAUST ROUND DUCT	ROUND BACKDRAFT DAMPER	GREENHECK	WDR-53	20GA. GALVANIZED STEEL FRAME W/ 0.020 ALUM. BLADES
RD	CEILING	CEILING RADIATION DAMPER			UL555 RATED MODEL, INSTALL IN ALL FIRE-RATED PENETRATIONS
FD	WALL PENETRATIONS	FIRE DAMPER	GREENHECK	CRD-IWJ	UL 555 RATED MODEL
F	KITCHEN	30" WIDE DIRECT VENT W/ CHIMNEY HOOD	AS CHOSEN BY OWNER		MIN. 200 CFM MULTI-SPEED BLOWER
HWH	APT. UNIT MECH. RM	TANKLESS ON DEMAND GAS WATER HEATER	AS CHOSEN BY OWNER		PVC VENTED TO EXTERIOR WALL/ROOF
EF-2	TRASH ROOM	CONTINUOUS EXHAUST FAN	PANASONIC	WHISPER CEILING FV-30V03	290 CFM CONNECTED TO THERMOSTAT IN CELLAR, ENERGY STAR COMPLIANT

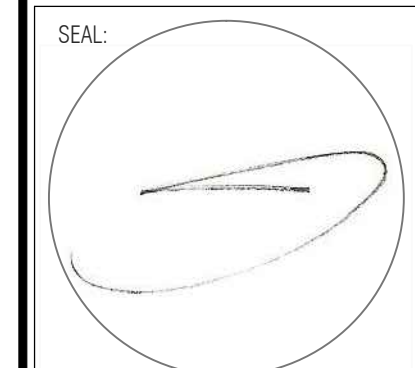
**HVAC LEGEND:**

- RIGID DUCT (SIZE AS NOTED)
- FLEX DUCT (SIZE AS NOTED) (MAX 14'-0" LENGTHS)
- RIGID EXHAUST DUCT (SIZE AS NOTED)
- PROPOSED SOFFIT AREA
- EXHAUST FAN: REFER TO MECHANICAL SCHEDULE
- DIRECT KITCHEN EXH. HOOD
- THERMOSTAT
- EXT. WALL EXHAUST REGISTER (SEE MECH. SCHED.)
- EXT. WALL FRESH AIR INTAKE REGISTER (SEE MECH. SCHED.)
- CEILING REGISTER/SUPPLY PROVIDE RADIATION DAMPERS
- CEILING REGISTER/RETURN/EXHAUST PROVIDE RADIATION DAMPERS @ CEILING PENETRATIONS
- EXTERIOR EXHAUST GRILL W/ 3FT RADIUS FOR CLEARANCE FROM OPENINGS

**NOTE:**  
 1. SHADED AREAS REFLECT PROPOSED SOFFIT AREAS WITH CEILING HEIGHT AT 6'-8" MINIMUM.

**NOTE:**  
 ALL DUCTS, REGISTERS AND FANS THAT PENETRATE FIRE RATED ASSEMBLIES TO BE PROVIDED W/ FIRE AND/OR RADIATION DAMPERS





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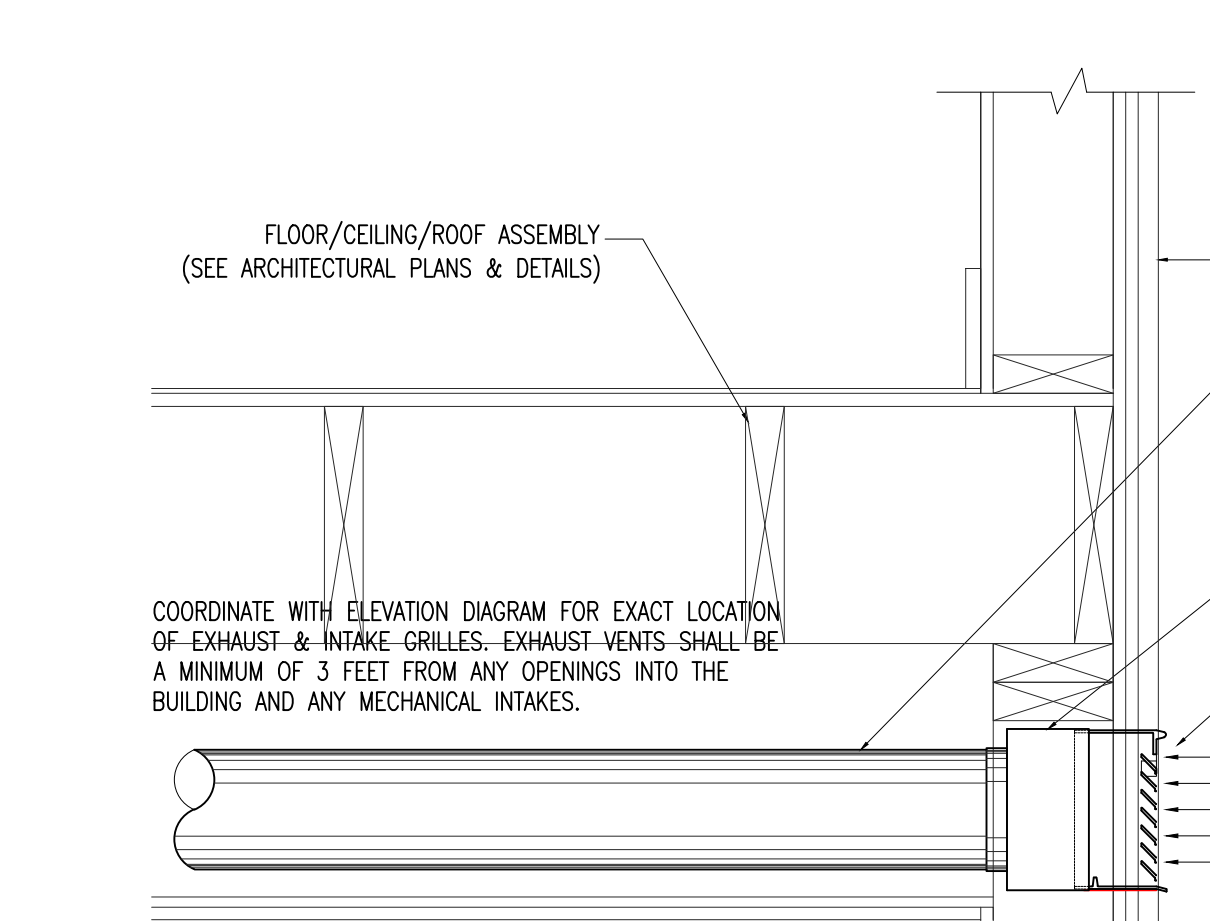
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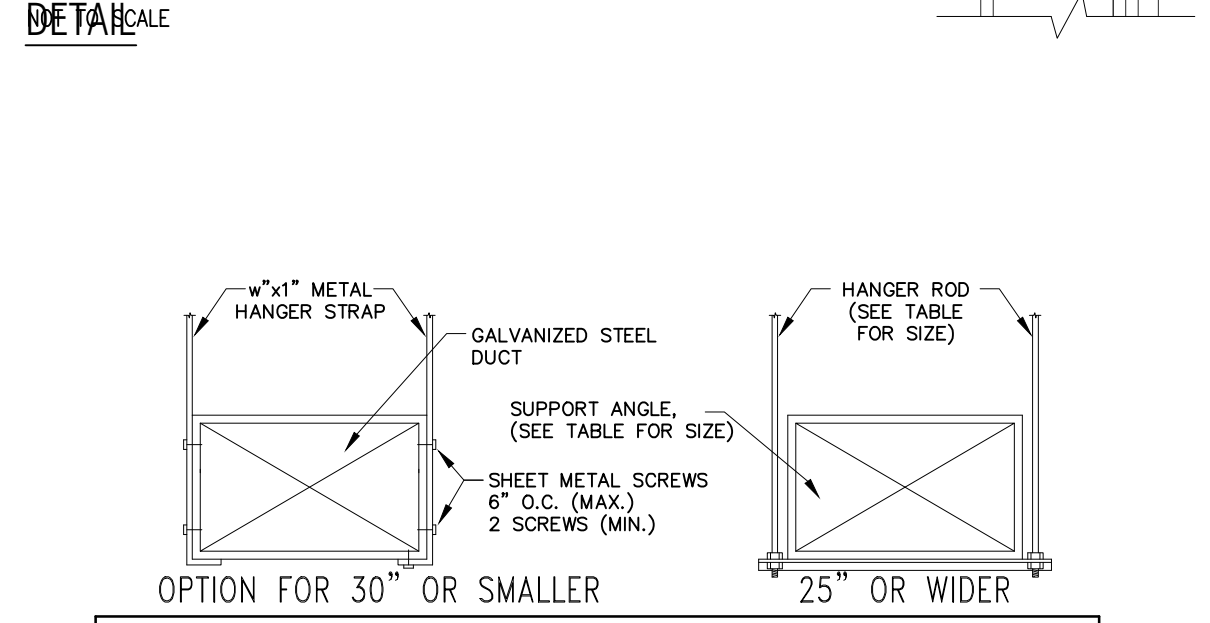
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 MECHANICAL DETAILS & NOTES

SHEET No. **M-2**



**TYPICAL EXTERIOR WALL EXHAUST VENT DETAIL**



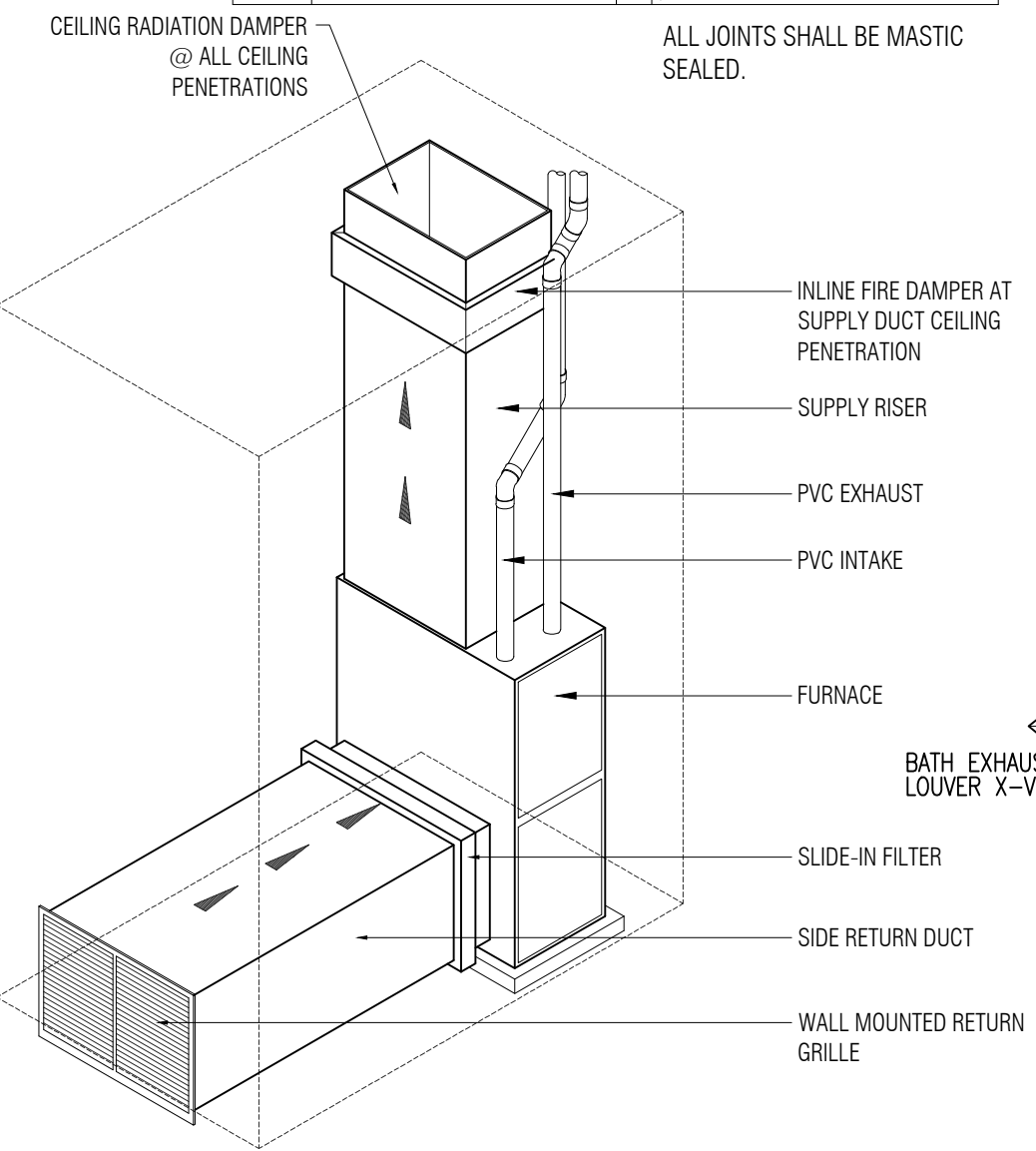
**DUCT MANIFOLD SCHEDULE**

LONGEST DIMENSION OF DUCT	ROUND HANGERS	STRAP HANGERS	TRAPEZE SHELF ANGLES	MAX SPACING
UP THRU 18"	8 GAUGE WIRE	1" X 16 GAUGE	1" X 1" X 1/8"	10'-0"
19" THRU 30"	8 GAUGE WIRE	1" X 16 GAUGE	1" X 1" X 1/8"	10'-0"
31" THRU 42"	1/4" ROD	1" X 16 GAUGE	1-1/2" X 1-1/2" X 1/8"	10'-0"
43" THRU 60"	3/8" ROD	1" X 16 GAUGE	1-1/2" X 1-1/2" X 1/8"	10'-0"
61" THRU 84"	3/8" ROD	1-1/2" X 16 GAUGE	2" X 2" X 1/8"	8'-0"

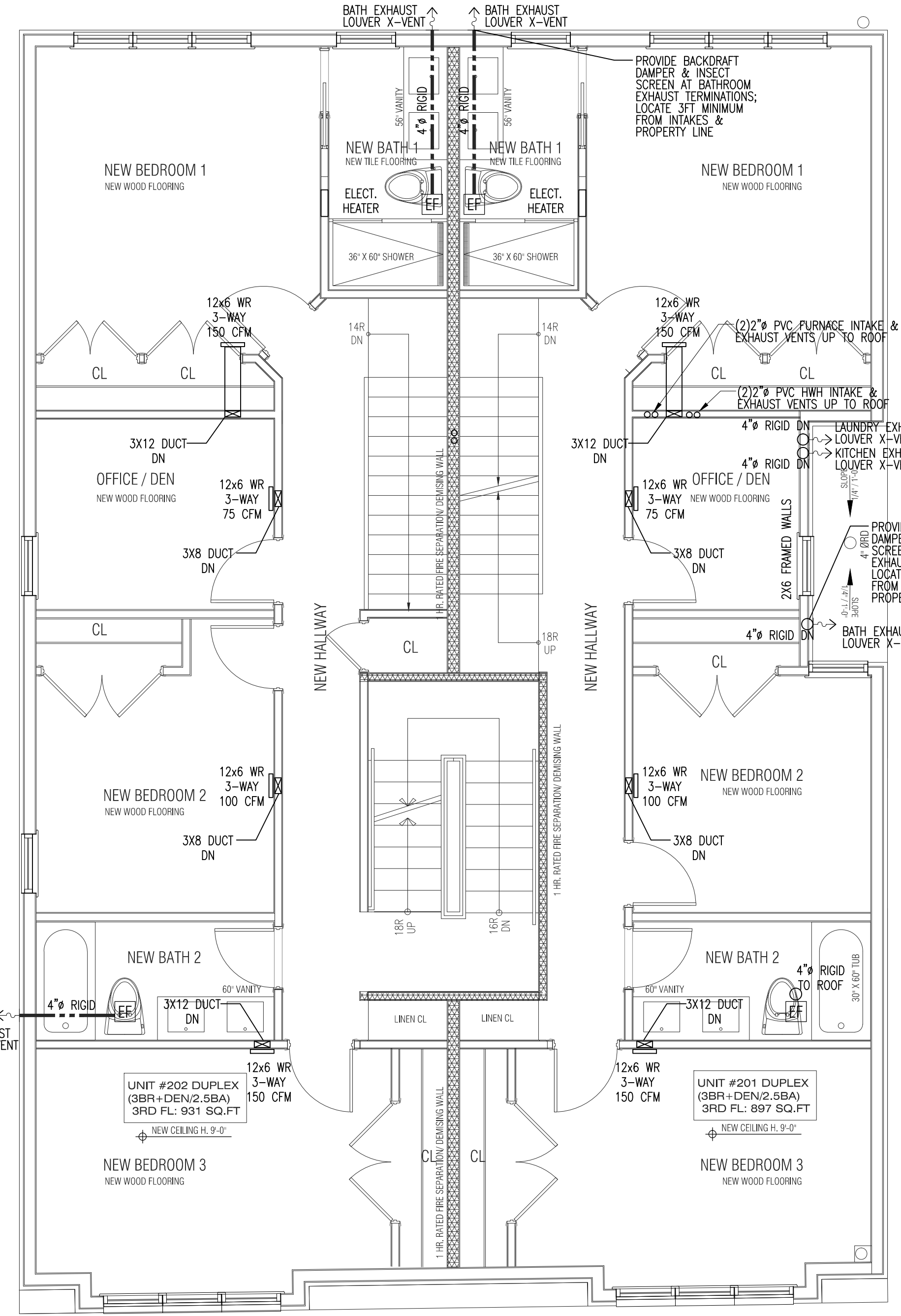
**DUCT SUPPORT DETAIL**

DIMENSION OF LONGEST SIDE IN INCHES	SHEET METAL GAGE (ALL FOUR SIDES)	MINIMUM REINFORCING ANGLE SIZE AND MAXIMUM LONGITUDINAL SPACING BETWEEN TRANSVERSE JOINTS & OR INTERMEDIATE REINFORCING	TRANSVERSE REINFORCING (1) AT JOINTS				
			MIN. H. IN.	5/8" DRIVE S. SLIP	HEMMED S. SLIP	REN-FORCED BAR SLIP	
UP THRU 12	26	NONE REQUIRED	1	26	26	24	24
13 - 18	24	NONE REQUIRED	1	24	24	24	24
19 - 30	24	1" X 1" X 1/8" @ 60 IN	1	-	24	24	24
31 - 45	22	1" X 1" X 1/8" @ 60 IN	1	-	22	22	22

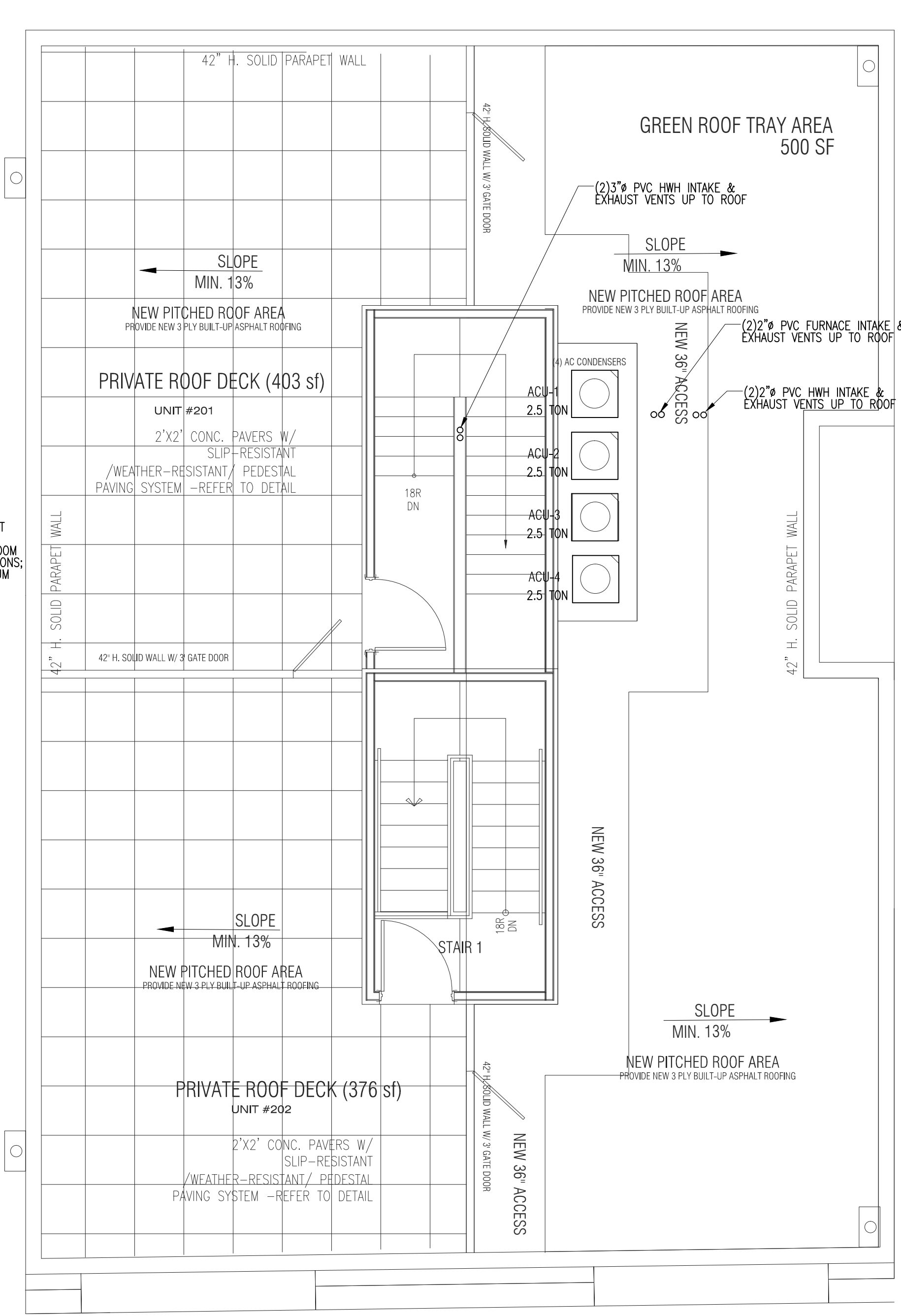
**DUCT CONSTRUCTION DETAIL**



**TYPICAL FURNACE INSTALLATION W/ RETURN GRILL AT BOTTOM OF WALL**  
 NOT TO SCALE



**1 THIRD FLOOR MECHANICAL PLAN**  
 SCALE: 1/4" = 1'-0"



**2 ROOF MECHANICAL PLAN**  
 SCALE: 1/4" = 1'-0"

**MECHANICAL NOTES**

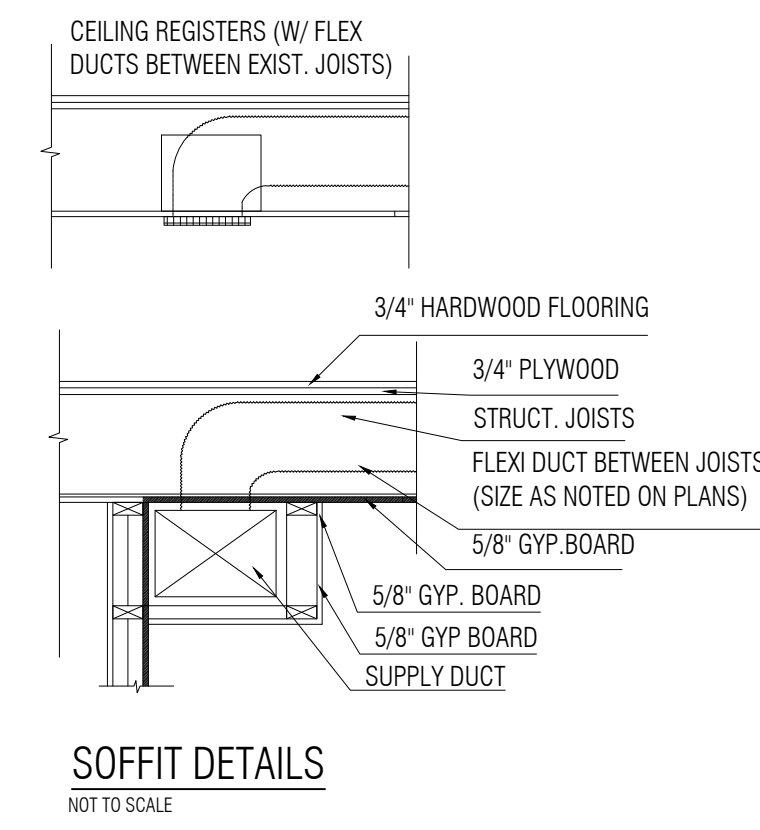
- PROVIDE RECESSED WALL CONNECTIONS FOR LAUNDRY EQUIPMENT.
- PROVIDE ALL RIGID AND FLEXIBLE DUCTWORK FOR CEILING AND WALL REGISTERS AND GRILLES.
- PROVIDE BALANCING VOLUME DAMPERS AT EACH REGISTER.
- PROVIDE DIGITAL PROGRAMMABLE ENERGY STAR RATED THERMOSTATS FOR EACH AIR HANDLING UNIT.
- ALL HEATING AND COOLING DUCTS SHALL BE WRAPPED WITH DUCT INSULATION.
- ALL DUCTWORK JOINTS SHALL BE SEALED WITH MASTIC.
- ALL REGISTERS THAT PENETRATE A FIRE RATED ASSEMBLY ARE TO BE RADIATION DAMPERS, INSTALLED & PROVIDED BY THE MECHANICAL CONTRACTOR (RADIATION DAMPERS TO COMPLY WITH UL 555).
- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITIONS OF THE N.J. STATE UNIFORM CONSTRUCTION CODE (UCC), 2018 IBC, 2018 INTERNATIONAL MECHANICAL CODE, 2018 NATIONAL ELECTRIC CODE, 2014 NATIONAL STANDARD PLUMBING CODE, 2018 INTERNATIONAL FUEL GAS CODE, 2018 IECC, 2018 ASHRAE Std. 90.1, ASHRAE, SMANA, OSHA, NFPA AND LOCATION INSPECTORS OVERRIDING JURISDICTION.
- DURING CONSTRUCTION, COMPLETELY SEAL ALL DUCTS AND HVAC EQUIPMENT OPENINGS WITH PLASTIC FILM AND TAPE UNTIL AFTER FINAL CLEARING OF UNIT. IF DUCTED SYSTEM IS TO BE USED DURING CONSTRUCTION, INSTALL MERV 8 FILTERS ON ALL RETURN GRILLS TO CONTAIN DUST.

**VENTING NOTES:**

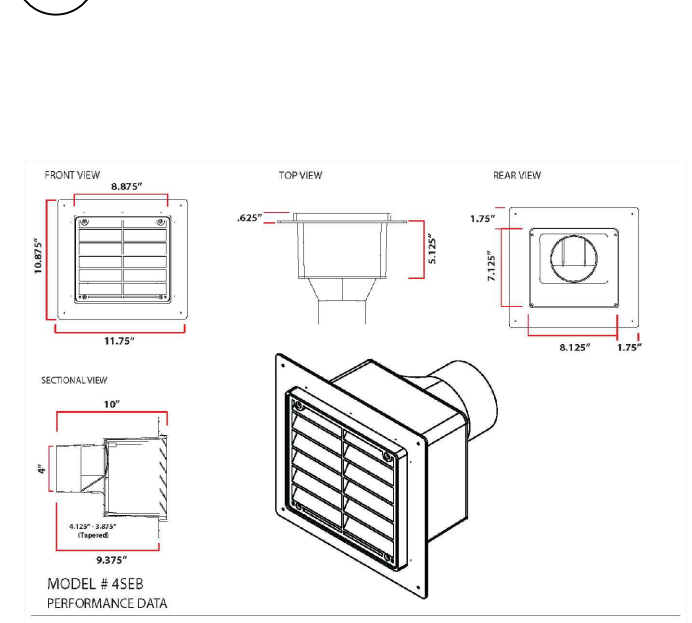
- PROVIDE RIGID DUCTING. MASTIC ALL CONNECTIONS BETWEEN DUCTS.
- VERIFY CLOTHES DRYER MANUFACTURER'S VENTING RECOMMENDATIONS AND MAXIMUM PIPE LENGTHS.
- VERIFY FURNACE & WATER HEATER MANUFACTURER'S INSTALLATION CLEARANCES, VENTING RECOMMENDATIONS AND MAXIMUM PIPE LENGTHS.
- FIRESTOP ALL PIPE PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES.
- LOCATE PIPE RISERS WITHIN WALLS.
- PROVIDE INSECT SCREENS AT ALL TERMINATIONS EXCEPT FOR DRYER EXHAUSTS.

**FIRE AND CEILING DAMPER NOTES**

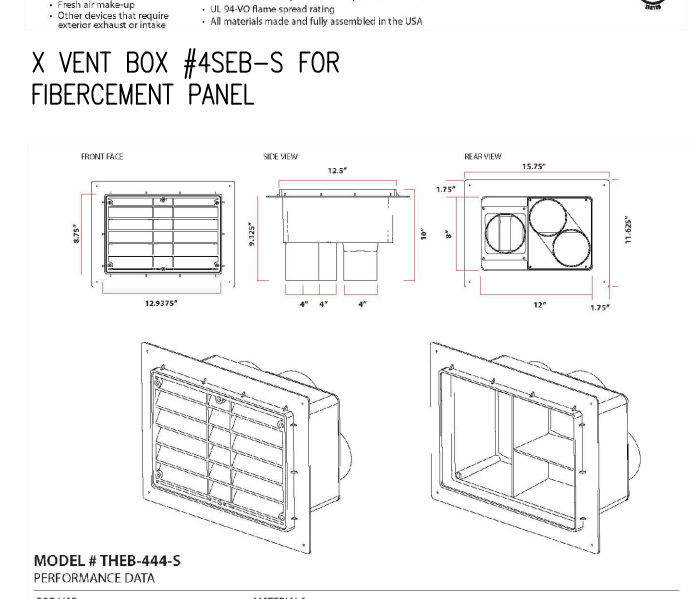
- IT IS THE HVAC SUBCONTRACTORS RESPONSIBILITY TO INSURE THAT:
  - A. ALL HVAC DUCTWORK PENETRATIONS OF FIRE RATED PARTITIONS, WALLS AND CEILINGS ARE PROVIDED WITH FIRE DAMPER ASSEMBLIES. ALL FIRE DAMPERS MUST BE ACCESSIBLE AND SHALL HAVE REMOVABLE DUCT SECTIONS AND ACCESS PANELS AT WALLS OR CEILINGS AS NECESSARY TO ACCOMPLISH THIS.
  - B. ALL REGISTER ASSEMBLIES IN THE DWELLING UNITS THAT PENETRATE THE CEILING ASSEMBLY DRYWALL FROM DUCTS THAT ARE WITHIN THE FIRE RATED FLOOR, CEILING ASSEMBLY ARE PROVIDED WITH RATED CEILING RADIATION DAMPERS.
  - C. THE MAIN SUPPLY DUCT FROM THE FURNACES ARE PROVIDED WITH FIRE DAMPERS OR RADIATION DAMPERS WHERE THEY PENETRATE THE CEILING DRYWALL INTO THE FLOOR-CEILING ASSEMBLY.
- IT IS THE HVAC SUBCONTRACTORS RESPONSIBILITY TO INSURE THAT ALL PENETRATIONS OF CEILINGS AND FIRE RATED WALLS ARE PROVIDED WITH THE NECESSARY FIRE DAMPERS OR RADIATION DAMPERS, WHETHER INDICATED ON THE DRAWING OR NOT.



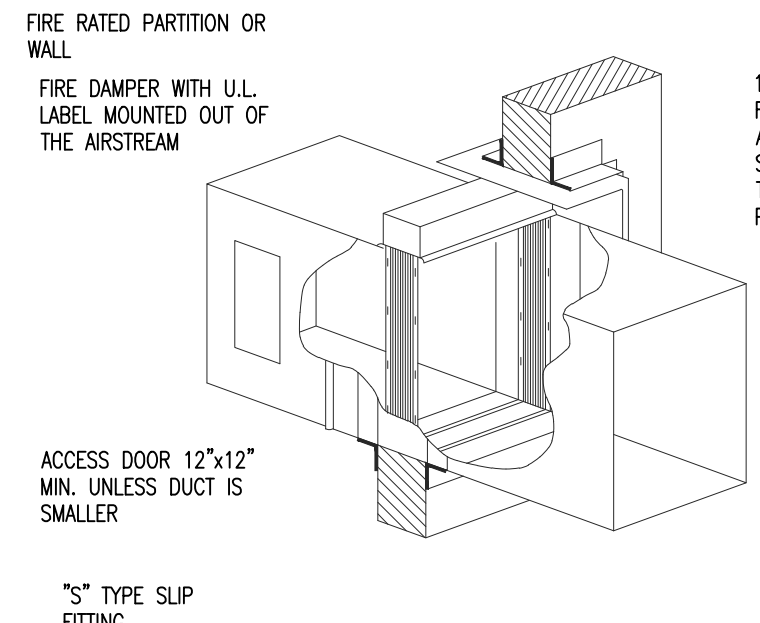
**SOFFIT DETAILS**  
 NOT TO SCALE



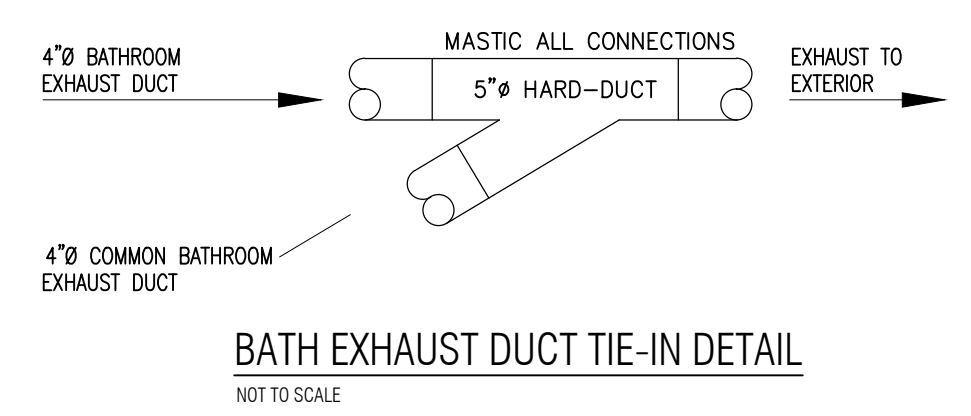
**TYPICAL FIRE DAMPER DETAIL 1**  
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**TYPICAL FIRE DAMPER DETAIL 2**  
 NOT TO SCALE



**EXHAUST TIE-IN DETAIL**  
 NOT TO SCALE

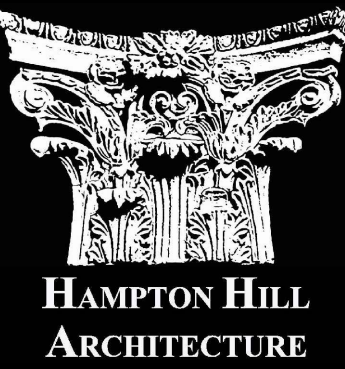


**BATH EXHAUST DUCT TIE-IN DETAIL**  
 NOT TO SCALE

**FIRE AND CEILING DAMPER NOTES**

- IT IS THE HVAC SUBCONTRACTORS RESPONSIBILITY TO INSURE THAT:
  - A. ALL HVAC DUCTWORK PENETRATIONS OF FIRE RATED PARTITIONS, WALLS AND CEILINGS ARE PROVIDED WITH FIRE DAMPER ASSEMBLIES. ALL FIRE DAMPERS MUST BE ACCESSIBLE AND SHALL HAVE REMOVABLE DUCT SECTIONS AND ACCESS PANELS AT WALLS OR CEILINGS AS NECESSARY TO ACCOMPLISH THIS.
  - B. ALL REGISTER ASSEMBLIES IN THE DWELLING UNITS THAT PENETRATE THE CEILING ASSEMBLY DRYWALL FROM DUCTS THAT ARE WITHIN THE FIRE RATED FLOOR-CEILING ASSEMBLY ARE PROVIDED WITH RATED CEILING RADIATION DAMPERS.
  - C. THE MAIN SUPPLY DUCT FROM THE FURNACES ARE PROVIDED WITH FIRE DAMPERS OR RADIATION DAMPERS WHERE THEY PENETRATE THE CEILING DRYWALL INTO THE FLOOR-CEILING ASSEMBLY.
- IT IS THE HVAC SUBCONTRACTORS RESPONSIBILITY TO INSURE THAT ALL PENETRATIONS OF CEILINGS AND FIRE RATED WALLS ARE PROVIDED WITH THE NECESSARY FIRE DAMPERS OR RADIATION DAMPERS, WHETHER INDICATED ON THE DRAWING OR NOT.





**HAMPTON HILL ARCHITECTURE**  
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 minwk1@man.com  
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**PROPOSED ADDITION & RENOVATION OF EXISTING FOUR FAMILY DWELLING**

ADDRESS:  
 81 SHERMAN AVENUE  
 JERSEY CITY, NEW JERSEY

BLOCK: 4406  
 LOT: 12

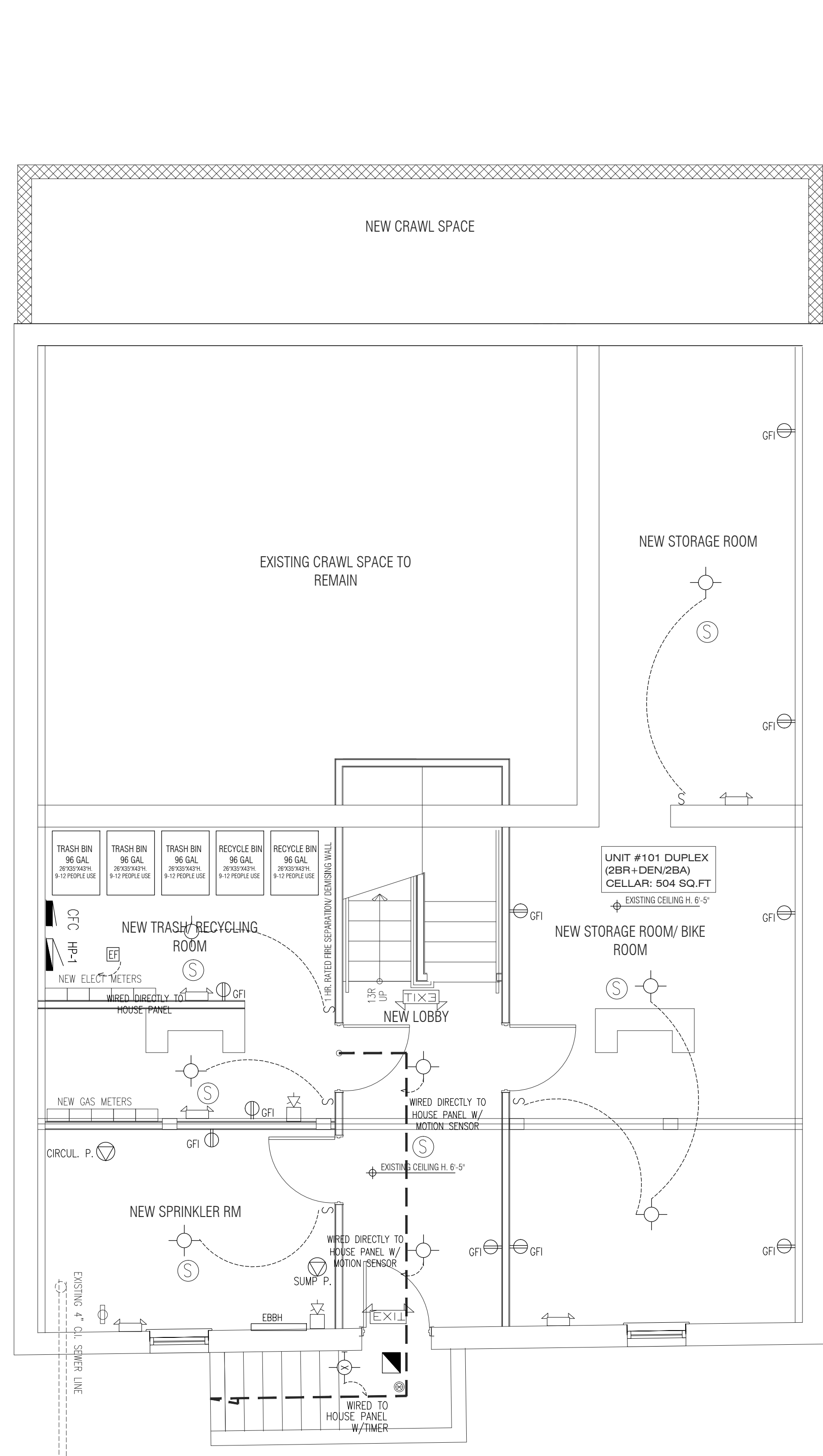
FOR:

REVISIONS:

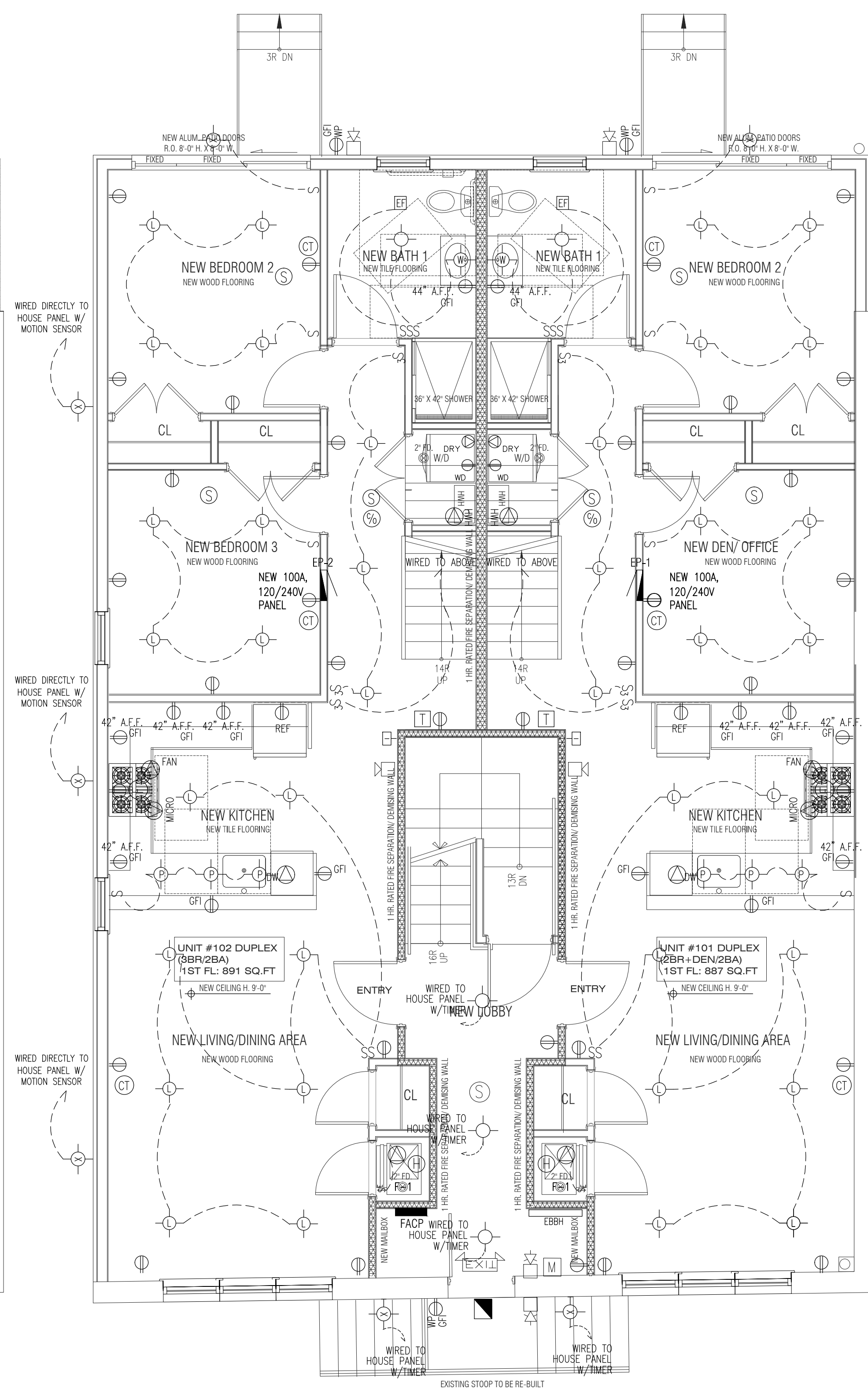
DRAWN BY: MK  
 CHKD BY: MK  
 ISSUE DATE: 10.07.2022  
 PROJECT NO: 22018

SHEET TITLE:  
 ELECTRICAL FLOOR PLANS & NOTES

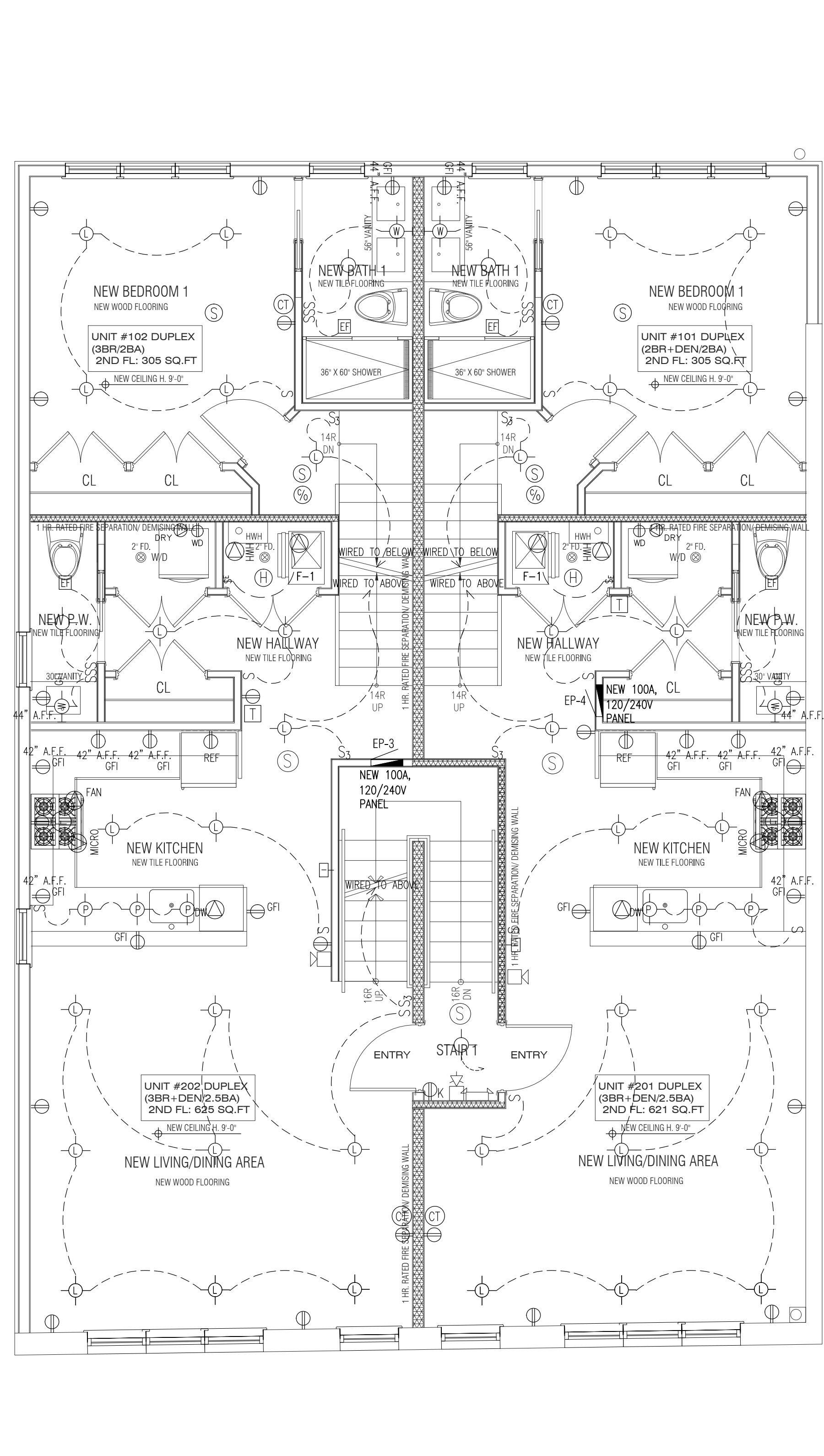
SHEET No.  
**E-1**



**1 CELLAR ELECTRICAL PLAN**  
 SCALE: 1/4" = 1'-0"



**2 FIRST FLOOR ELECTRICAL PLAN**  
 SCALE: 1/4" = 1'-0"



**3 SECOND FLOOR ELECTRICAL PLAN**  
 SCALE: 1/4" = 1'-0"

**ELECTRICAL SYMBOLS:**

- |   |   |  |   |
|---|---|--|---|
| <ul style="list-style-type: none"> <li>⊕ NEW HALF-SWITCHED DUPLEX RECEPTACLE</li> <li>⊕ NEW QUAD RECEPTACLE</li> <li>⊕ NEW GROUND FAULT INTERRUPTER RECEPTACLE</li> <li>⊕ NEW DUPLEX RECEPTACLE</li> <li>⊕ NEW EXTERIOR WATERPROOF DUPLEX RECEPTACLE</li> <li>⊕ NEW CEILING MOUNTED DUPLEX RECEPTACLE</li> <li>⊕ NEW FLOOR MOUNTED DUPLEX RECEPTACLE</li> <li>⊕ NEW RECESSED LIGHT FIXTURE</li> <li>⊕ NEW SURFACE-MOUNTED LIGHT FIXTURE</li> <li>⊕ NEW SURFACE-MOUNTED LOW PROFILE LED LIGHT FIXTURE W/ DIMMER SWITCH</li> <li>⊕ NEW PENDANT LIGHT FIXTURE</li> <li>⊕ NEW WALL MOUNTED LIGHT FIXTURE</li> <li>⊕ NEW WALL MOUNTED EXTERIOR LIGHT FIXTURE</li> <li>⊕ NEW CEILING MOUNTED EXTERIOR LIGHT FIXTURE</li> <li>⊕ NEW EXHAUST FAN FIXTURE COORDINATE WITH MECHANICAL PLANS/ FIRE DAMPER</li> </ul> | <ul style="list-style-type: none"> <li>⊕ COMBINATION MICROWAVE &amp; RECIRCULATING RANGE HOOD</li> <li>⊕ CENTRALIZED FIOS CABINET IN BASEMENT</li> <li>⊕ FACP FIRE ALARM CONTROL PANEL AT LOBBY</li> <li>⊕ EXHAUST FAN (SEE EQUIPMENT SCHEDULE)</li> <li>⊕ LOW VOLTAGE EMERGENCY EGRESS FIXTURE</li> <li>⊕ DRY 30A, SPECIALTY OUTLET FOR GAS DRYER</li> <li>⊕ DW 20A, 2P, 3W DUPLEX FOR DISHWASHER</li> <li>⊕ WH SPECIALTY OUTLET FOR GAS HOT WATER HEATER</li> <li>⊕ MW 20A, 2P, 3W DUPLEX FOR OVER-THE-RANGE MICROWAVE OVEN W/ RETICULATING VENTING</li> <li>⊕ PUMP SPECIALTY OUTLET FOR WATER CIRCULATION PUMP</li> <li>⊕ SUMP PUMP SPECIALTY OUTLET FOR SUMP PUMP</li> <li>⊕ RANGE SPECIALTY OUTLET FOR GAS RANGE</li> <li>⊕ WD 20A, 2P, 3W DUPLEX FOR WASHER (GFCI PROTECTED)</li> </ul> | <ul style="list-style-type: none"> <li>⊕ INTERCOM TERMINAL</li> <li>⊕ NEW HARDWIRED APPLIANCE CABLE/DATA/TEL JACK</li> <li>⊕ NEW PROGRAMMABLE THERMOSTAT</li> <li>⊕ NEW ELECTRICAL PANEL</li> <li>⊕ EMERGENCY EXIT SIGN</li> <li>⊕ EMERGENCY LIGHTING</li> <li>⊕ COMBINATION EMERGENCY LIGHT/SIGN</li> <li>⊕ FIRE ALARM MANUAL PULL</li> <li>⊕ FIRE ALARM HORN/STROBE</li> <li>⊕ SPRINKLER WATERFLOW SWITCH (F.B.O.)</li> <li>⊕ SPRINKLER TAMPER SWITCH (F.B.O.)</li> <li>⊕ STROBE WITHIN APARTMENT UNITS</li> <li>⊕ PRE-WIRED FOR FUTURE HORN AND STROBES IN BEDROOM, TYP.</li> </ul> | <ul style="list-style-type: none"> <li>⊕ NEW LOW VOLTAGE HEAT DETECTOR UNIT (MULTIPLE STATION)</li> <li>⊕ NEW SMOKE DETECTOR - LOW VOLTAGE INTERCONNECT IN UNIT W/BATTERY BACKUP INTERCONNECT IN HALLWAYS</li> <li>⊕ NEW CARBON MONOXIDE DETECTOR INTERCONNECT W/BATTERY BACKUP</li> <li>⊕ 48" 1,000-WATT ELEC. BASEBOARD HEATER W/ INTEGRAL THERMOSTAT</li> <li>⊕ VIDEO MONITOR FOR INTERCOM WIRED TO VIDEO INTERCOM SYSTEM</li> </ul> |
|---|---|--|---|

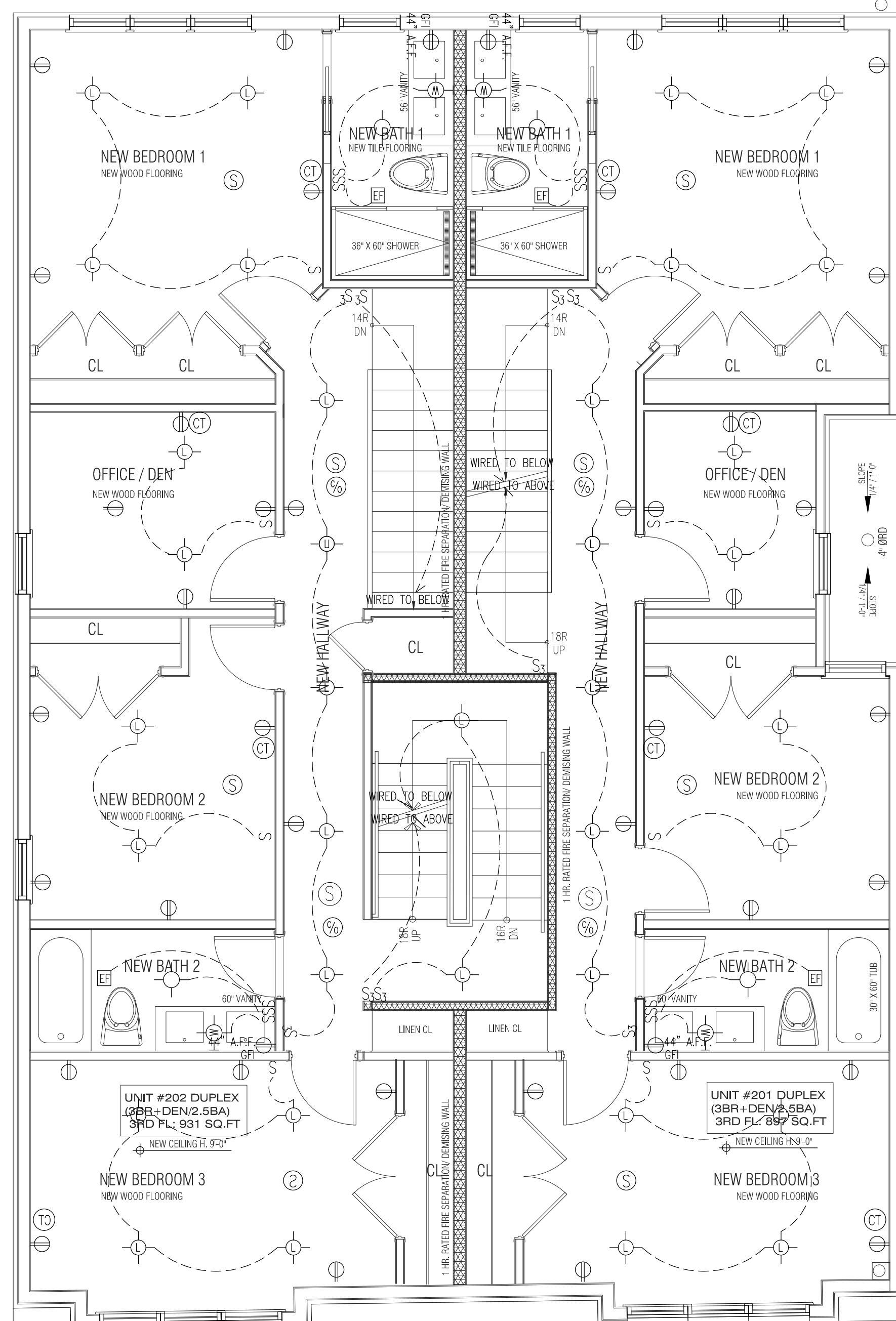


**ELECTRICAL SYMBOLS:**

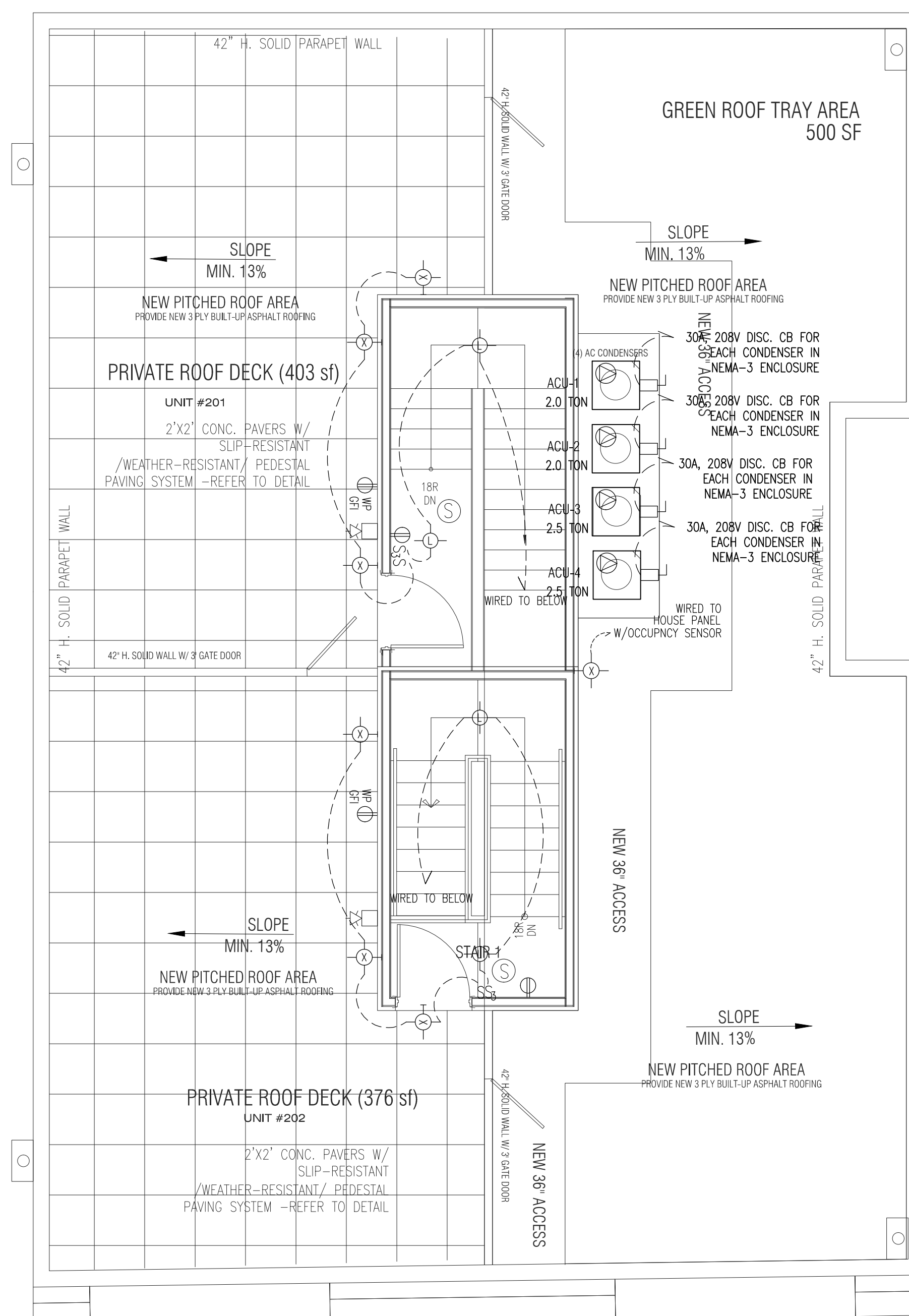
- NEW HALF-SWITCHED DUPLEX RECEPTACLE
- NEW QUAD RECEPTACLE
- NEW GROUND FAULT INTERRUPTER RECEPTACLE
- NEW DUPLEX RECEPTACLE
- NEW EXTERIOR WATERPROOF DUPLEX RECEPTACLE
- NEW CEILING MOUNTED DUPLEX RECEPTACLE
- NEW FLOOR MOUNTED DUPLEX RECEPTACLE
- NEW RECESSED LIGHT FIXTURE
- NEW SURFACE-MOUNTED LIGHT FIXTURE
- NEW SURFACE-MOUNTED LOW PROFILE LED LIGHT FIXTURE W/ DIMMER SWITCH
- NEW PENDANT LIGHT FIXTURE
- NEW WALL MOUNTED LIGHT FIXTURE
- NEW WALL MOUNTED EXTERIOR LIGHT FIXTURE
- NEW CEILING MOUNTED EXTERIOR LIGHT FIXTURE
- NEW EXHAUST FAN FIXTURE
- COORDINATE WITH MECHANICAL PLANS/ FIRE DAMPER
- COMBINATION MICROWAVE & RECIRCULATING RANGE HOOD
- CFC CENTRALIZED FIOS CABINET IN BASEMENT
- FACP FIRE ALARM CONTROL PANEL AT LOBBY
- EF EXHAUST FAN (SEE EQUIPMENT SCHEDULE)
- LOW VOLTAGE EMERGENCY EGRESS FIXTURE
- DRY 30A, SPECIALTY OUTLET FOR GAS DRYER
- DW 20A, 2P, 3W DUPLEX FOR DISHWASHER
- WH SPECIALTY OUTLET FOR GAS HOT WATER HEATER
- MW 20A, 2P, 3W DUPLEX FOR OVER-THE-RANGE MICROWAVE
- PUMP SPECIALTY OUTLET FOR WATER CIRCULATION PUMP
- PUMP SPECIALTY OUTLET FOR SUMP PUMP
- RANGE SPECIALTY OUTLET FOR GAS RANGE
- WD 20A, 2P, 3W DUPLEX FOR WASHER (GFCI PROTECTED)
- INTERCOM TERMINAL
- NEW HARDWIRED APPLIANCE
- CABLE/DATA/TEL JACK
- NEW PROGRAMMABLE THERMOSTAT
- NEW ELECTRICAL PANEL
- EMERGENCY EXIT SIGN
- EMERGENCY LIGHTING
- COMBINATION EMERGENCY LIGHT/SIGN
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- SPRINKLER TAMPER SWITCH (F.B.O.)
- STROBE WITHIN APARTMENT UNITS
- PRE-WIRED FOR FUTURE HORN AND STROBES IN BEDROOM, TYP.

**ELECTRICAL NOTES:**

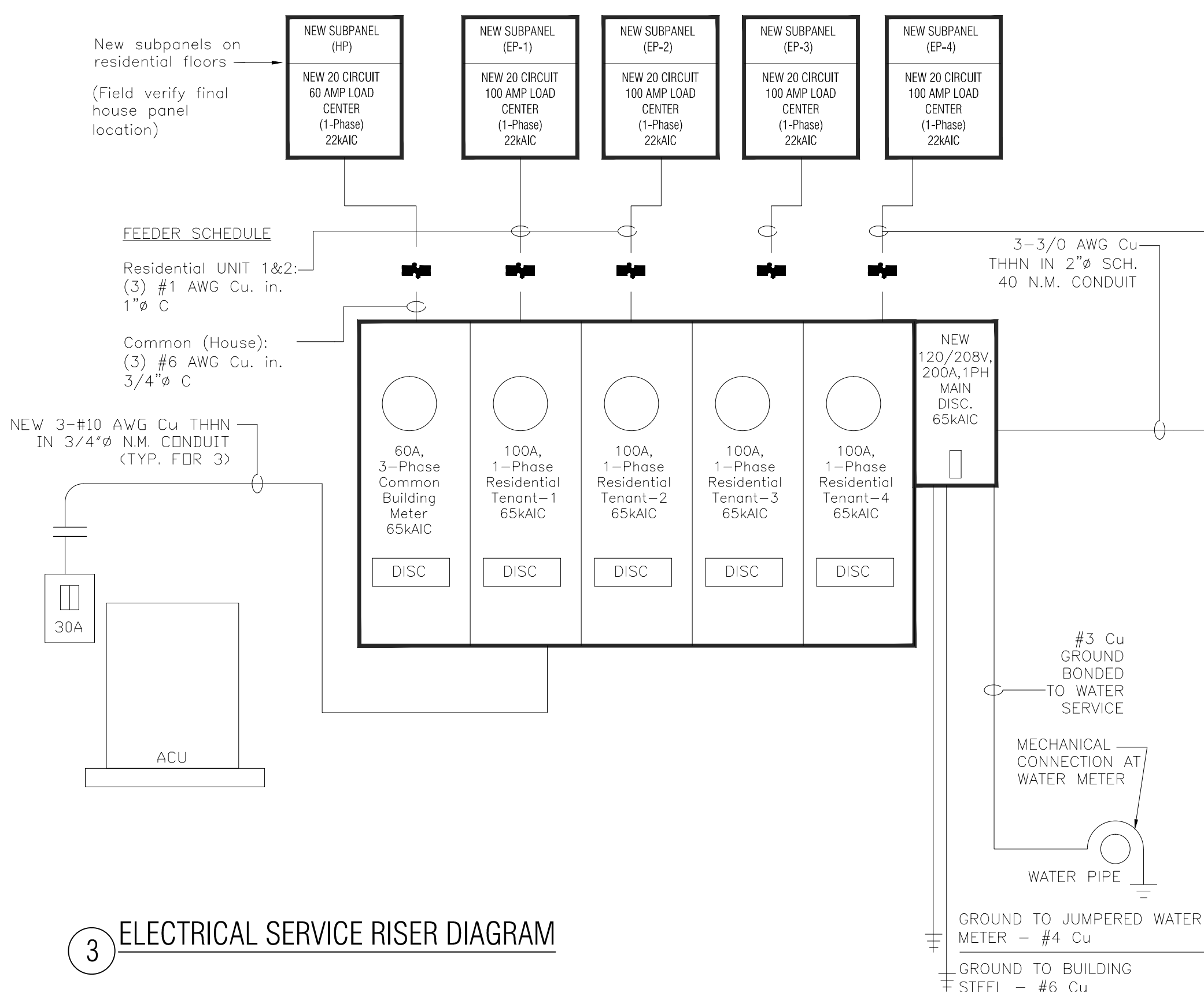
1. ALL ELECTRICAL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION, NEW JERSEY UNIFORM CONSTRUCTION CODE, NEW JERSEY UNIFORM FIRE CODE, AND PSE&S REQUIREMENTS.
2. ALL ELECTRICAL WORK IS TO BE PERFORMED BY AN ELECTRICAL CONTRACTOR LICENSED IN THE STATE OF NEW JERSEY.
3. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS AS WELL AS SCHEDULING AND OBTAINING ALL NECESSARY INSPECTIONS OF THE WORK BY LOCAL AUTHORITIES HAVING JURISDICTION.
4. INSTALL NEW MAIN SERVICE CONNECTIONS TO THE BUILDING, WITH NEW MAIN DISCONNECT, EXTERIOR CONDUIT AND CONDUCTORS AS NECESSARY.
5. REFER TO DIAGRAMS FOR GENERAL ARRANGEMENT OF ELECTRICAL SERVICE EQUIPMENT.
6. COORDINATE LAYOUT OF ELECTRICAL SERVICE EQUIPMENT WITH G.C. AND TELEPHONE/ CABLE TV UTILITIES PRIOR TO INSTALLATION TO COORDINATE ARRANGEMENT OF EQUIPMENT ON PANEL.
7. SCOPE OF WORK: THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING SERVICE ENTRANCE EQUIPMENT, FEEDERS TO DWELLING UNIT FROM EXISTING METER, AS WELL AS ALL WORK WITHIN THE DWELLING UNITS WHICH IS REQUIRED TO PROVIDE A FINISHED INSTALLATION.
8. ALL ELECTRICAL FIXTURES AND EQUIPMENT ARE TO BE AS CHOSEN OR SUPPLIED BY OWNER.
9. ALL WIRING IS TO BE RUN CONCEALED IN WALL, FLOOR OR CEILING CONSTRUCTION. FIRE CAULK AND SEAL ALL WIRE PENETRATIONS THROUGH FIRE RATED PARTITIONS OR FLOOR/CEILING ASSEMBLIES. FIRE SEALING OF PENETRATIONS IS THE ELECTRICAL SUBCONTRACTOR'S RESPONSIBILITY.
10. ALL WIRING FROM EXTERIOR TO SERVICE ENTRANCE EQUIPMENT IS TO BE INSULATED COPPER WIRE IN NON-METALLIC CONDUIT.
11. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING ALL ELECTRICAL WORK IN THE DWELLING UNITS, AND VERIFYING THE CONTINUITY AND GROUNDINGS OF EACH BRANCH CIRCUIT AND THE PROPER OPERATION OF ALL DEVICES.
12. PROVIDE ENGRAVED PLASTIC NAMEPLATES AT EACH METER, PANEL AND INSIDE EACH PANEL IDENTIFYING THE AREA SERVED BY EACH CIRCUIT.
13. PROVIDE GROUNDING FOR SERVICE ENTRANCE AS PER NEC SECTION 250, UTILIZING DRIVEN GROUND ROD, CONNECTION TO BUILDING MAIN WATER SERVICE, CONNECTION TO BUILDING STEEL AND CONNECTION TO NEW FOUNDATION REINFORCING. COORDINATE CABLE CONNECTION TO FOUNDATION REINFORCING WITH FOUNDATION SUBCONTRACTOR.
14. ALL INTERIOR WIRING IS TO BE:
  - A. NON-METALLIC SHEATHED CABLE WITH INSULATED COPPER WIRE WITHIN DWELLING UNITS ONLY.
  - B. ALL WIRING THAT WILL BE EXPOSED IN THE FINISHED CONSTRUCTION MUST BE IN CONDUIT. WIRING THAT WILL BE CONCEALED BY FINISHED CONSTRUCTION MAY BE IN ARMORED METAL CABLE.
  - C. ALL EXTERIOR AND SERVICE ENTRANCE WIRING IS TO BE RUN IN NON-METALLIC CONDUIT OR EMT.
15. NO PROPOSED WORK WITHIN BUILDING COMMON AREAS EXCEPT FOR HVAC CONDENSER RECEPTACLES WITHIN 6 FT. OF ANY SINK.
16. ALL TOILET ROOM RECEPTACLES SHALL HAVE GFCI PROTECTION.
17. ALL OUTDOOR RECEPTACLES SHALL BE WEATHER-PROOF AND HAVE GFCI PROTECTION.
18. ALL DWELLING UNIT RECEPTACLES EXCEPT THOSE IN THE BATHROOM AND KITCHEN SHALL BE PROVIDED WITH ARC FAULT CIRCUIT INTERRUPTER PROTECTION.
19. ALL DWELLING UNIT RECEPTACLES SHALL BE TAMPER-RESISTANT.
20. LIGHTING FIXTURES, SWITCHES AND OUTLETS SHALL BE CHOSEN BY OWNER. FINAL LIGHTING FIXTURE LOCATIONS TO BE VERIFIED BY OWNER IN FIELD.
21. ALL ELECTRICAL FIXTURES ARE TO BE CHOSEN OR SUPPLIED BY OWNER.
22. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS IN FIELD AND PROVIDE HIS ASSESSMENT OF EXISTING ELECTRICAL INSTALLATION WITH REGARDS TO PROPOSED INSTALLATION, AND SHALL NOTIFY THE OWNER/ARCHITECT.
23. CONTRACTOR TO FIELD VERIFY THAT ALL BEDROOMS AND LIVING AREAS ARE EQUIPPED WITH SMOKE DETECTORS, INTERCONNECTED WITHIN APARTMENT UNITS. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED WITHIN APARTMENT ALONG HALLWAYS, 10 FEET MAXIMUM FROM ANY BEDROOM DOOR.



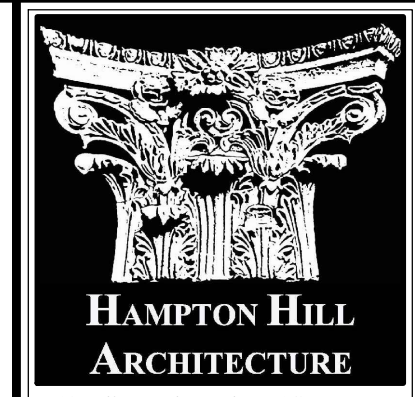
**1 THIRD FLOOR ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"



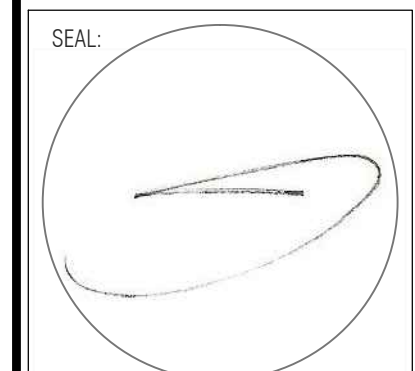
**2 ROOF ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"



**3 ELECTRICAL SERVICE RISER DIAGRAM**



**HAMPTON HILL ARCHITECTURE**  
109 Liberty View Drive, #10A  
Jersey City, NJ 07302  
201.516.4293



MIN W. KIL  
Registered Architect: NJ LIC 21 A101985300

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**PROPOSED ADDITION & RENOVATION OF EXISTING FOUR FAMILY DWELLING**

ADDRESS:  
81 SHERMAN AVENUE  
JERSEY CITY,  
NEW JERSEY

BLOCK: 4406  
LOT: 12

FOR:

REVISIONS:

DRAWN BY: MK  
CHKD BY: MK  
ISSUE DATE: 10.07.2022  
PROJECT NO: 22018

SHEET TITLE:  
ELECTRICAL FLOOR PLANS & NOTES

SHEET No. **E-2**



Project: 3-Story multi-family Building Location: 81 Sherman Avenue, Jersey City

### 1. RESIDENTIAL ELECTRIC LOADS:

#### NEC 220 Part II Standard Calculation Method I

A. Electric HVAC Loads:

1 Gas Heating Split Systems									
2.5 Ton Split System (Gas Heat)	4	Units @	3.50	kw	=	14.0			
		<b>Total Residential HVAC Load</b>				<b>= 14.0</b>	<b>kw</b>		

B. Other Residential Loads (NEC 220.40 Part III):

1 General Lighting & Receptacle Loads	5,909	SF @	0.003	kw/sf	=	17.727			
2 Bathroom Ventilation Fans	80	CFM Ceiling Ventilation Fan	10	Units @	0.01	kw	=	0.1	
3 Kitchen Ventilation Fans	50	CFM Ceiling Ventilation Fan	0	Units @	0.01	kw	=	0	
4 Kitchen Appliance Circuits	4	Units @	0.04	kw	=	0.16			
5 Laundry Circuits	4	Units @	1.50	kw	=	6			
		<b>Unfactored Total General Loads</b>				<b>= 35.987</b>	<b>kw</b>		
		Demand Factor (NEC Table 220.4)							
		First		3.00		100	%		= 3.00
		Next		17.00		35	%		= 11.5455
		Remaining		15.99		25	%		= 0.00
		<b>Factored Total General Loads</b>				<b>= 14.55</b>	<b>kw</b>		

C. Directly Connected Appliances (NEC 220.53)

1 Dishwasher Circuits	4	Units @	1.20	kw	=	4.8			
2 Electric Water Heaters	0	Units @	4.50	kw	=	0			
		<b>Unfactored Total Directly Connected Appliance Loads</b>				<b>= 4.8</b>	<b>kw</b>		
		Demand Factor (NEC Table 220.53) @ 75%							
		<b>Factored Total Directly Connected Appliance Loads</b>				<b>= 3.60</b>	<b>kw</b>		
3 Electric Clothes Dryers	4	Units @	5.00	kw	=	20.00			
		<b>Factored Clothes Dryers Load (NEC 220.54)</b>				<b>= 0.00</b>	<b>kw</b>		
		<b>Total Residential Loads by this Method I</b>				<b>= 32.15</b>	<b>kw</b>		

#### NEC 220.84 Part IV Optional Calculation Method II

A. General Loads:

1 HVAC Loads									
2 General Lighting & Receptacle Loads	5,909	SF @	0.003	kw/sf	=	17.727			
3 Bathrom Ventilation Fans	10	Units		kw	=	0.1			
4 Kitchen Ventilation Fans	4	Units @	0.04	kw	=	0.16			
5 Kitchen Appliance Circuits	8	Units @	1.50	kw	=	12			
6 Laundry Circuits	4	Units @	1.50	kw	=	6			
7 Dishwasher Circuits	4	Units @	1.20	kw	=	4.8			
8 Electric Water Heaters	0	Units @	4.50	kw	=	0			
9 Electric Clothes Dryers	4	Units @	5.00	kw	=	20.00			
10 Electric Ranges	3	Units @	8.00	kw	=	24.00			
		<b>Unfactored Total Connected Loads</b>				<b>= 98.8</b>	<b>kw</b>		
		Demand Factor (NEC Table 220.84) 100%							
		<b>Total Residential Loads by this Method II</b>				<b>= 98.79</b>	<b>kw</b>		

**32.15 kW Method I is less and will be used for Total Residential Load**

### 2. COMMON AREA LOAD CALCULATIONS:

A. Loads:

1 General Lighting & Receptacle Loads	394	SF @	0.002	kw/sf	=	0.59			
2 Ventilation Fans	130	CFM Inline Fan	0	Units @	0.02	kw	=	0	
3 Water Pumps	0	Units @	0.3	kw	=	0.00			
0.25 HP Sump Pump	0	Units @	0.3	kw	=	0.00			
2.00 HP Jockey Pump	0	Units @	1.5	kw	=	0.00			
0.25 HP Booster Pump	0	Units @	0.3	kw	=	0.00			
0.25 HP Circulator Pump	1	Units @	0.3	kw	=	0.30			
4 Space Heating Units	2	Units @	1.00	kw	=	2.00			
5 Exterior & Site Lighting	8	Units @	0.10	kw	=	0.80			
6 Building Security & Alarm	1	Unit	0.50	kw	=	0.50			
7 Fire Alarm System	1	Unit	0.50	kw	=	0.50			
		<b>Total Common Area General Loads</b>				<b>= 4.7</b>	<b>kw</b>		
		<b>Total Common Area Connected Loads</b>				<b>= 4.7</b>	<b>kw</b>		

### 3. COMMERCIAL SPACE(S) LOAD CALCULATIONS:

A. Commercial Space #1

1 HVAC Loads	0	SF @	200	sf/ton	=	0.00			
2 General Lighting & Receptacle Loads									
Lighting @ 125%	0	SF @	0.003	kw/sf	=	0.00			
Storefront Lighting	0	SF @	0.2	kw/ft	=	0.00			
Receptacles	0	SF @	0.001	kw/sf	=	0.00			
Signage Lighting	0	Unit @	1.2	kw	=	0.00			
3 Allowance for Equipment	0	Unit @	3.0	kw	=	0.00			
		<b>Total Common Commercial Space #1 Loads</b>				<b>= 0.0</b>	<b>kw</b>		
		<b>Total Commercial Spaces Allotted Loads</b>				<b>= 0.0</b>	<b>kw</b>		

### 4. BUILDING SERVICE SIZE:

1 Residential Loads			32.15	kw	=	154.55	A
2 House Loads			4.7	kw	=	22.55	A
3 Commercial Space Loads			0.0	kw	=	0.00	A
		<b>Total Building Load</b>				<b>36.84</b>	<b>kw</b>
							<b>= 177.10 A</b>

Service Size Requested: 200 120/208V, 1-Phase

## 1 ELECTRICAL LOAD CALCULATION

### TYPICAL RESIDENTIAL UNIT PANEL (EP-3/4) AMPERE BUS: 100A AMPERE MAIN DISCONNECT: MLO VOLTAGE: 120/208V, 1PH., 22kVAC (VERIFY PSEB SUPPLIED KVAIC RATING)

LOAD DESIGNATION	CKT BKR	TYPE	CKT NO	CONNECTED LOAD (kVA)		CKT NO	TYPE	CKT BKR	LOAD DESIGNATION
				PHASE A	PHASE B				
BEDROOM 1 LTG. & RECEPTACLES	20	G	1	0.80	1.20	2	G	20	LIVING/DINING/KIT. LTG. & GEN RECEPT
BEDROOM 2 LTG. & RECEPTACLES	20	G	3			4	G	20	LAUNDRY CIRCUIT
HVAC OUTDOOR CONDENSER	30	H	5	5.20	1.20	6	K	20	DISHWASHER
	30	H	7			8	G	20	BATHROOM 1 LTG./REC./FAN
KITCHEN APPLIANCE CKT. 1	20	K	9	1.50	1.50	10	K	20	REFRIGERATOR
GAS-FIRED TANKLES WATER HEATER	15	A	11			12	K	20	KITCHEN APPLIANCE CKT. 1
BATHROOM 2 LTG./REC./FAN	20	G	13	0.50	0.30	14	H	15	GAS FURNACE
SMOKE & CO DETECTORS CKT.	15	G	15			16	G	20	ROOF DECKS
HVAC OUTDOOR CONDENSER	30	H	17	1.75		18			
BEDROOM 3 LTG. & RECEPTACLES	20	G	19			20			
				13.95	8.05				
				<b>TOTAL CONNECTED LOAD = 22.30 kW</b>					

\*VERIFY PSEB SUPPLIED KVAIC RATING.

FIRST 10kW @ 100% = 10.00 kW  
REMAINING @ 40% (12.30) = 4.92 kW  
TOTAL DEMAND LOAD = 14.92 kW >>> 71.73 A

### TYPICAL RESIDENTIAL UNIT PANEL (EP-2) AMPERE BUS: 100A AMPERE MAIN DISCONNECT: MLO VOLTAGE: 120/208V, 1PH., 22kVAC (VERIFY PSEB SUPPLIED KVAIC RATING)

LOAD DESIGNATION	CKT BKR	TYPE	CKT NO	CONNECTED LOAD (kVA)		CKT NO	TYPE	CKT BKR	LOAD DESIGNATION
				PHASE A	PHASE B				
BEDROOM 1 LTG. & RECEPTACLES	20	G	1	0.80	1.20	2	G	20	LIVING/DINING/KIT. LTG. & GEN RECEPT
BEDROOM 2 LTG. & RECEPTACLES	20	G	3			4	G	20	LAUNDRY CIRCUIT
HVAC OUTDOOR CONDENSER	30	H	5	5.20	1.20	6	K	20	DISHWASHER
	30	H	7			8	G	20	BATHROOM 1 LTG./REC./FAN
KITCHEN APPLIANCE CKT. 1	20	K	9	1.50	1.50	10	K	20	REFRIGERATOR
GAS-FIRED TANKLES WATER HEATER	15	A	11			12	K	20	KITCHEN APPLIANCE CKT. 1
BATHROOM 2 LTG./REC./FAN	20	G	13	0.50	0.30	14	H	15	GAS FURNACE
SMOKE & CO DETECTORS CKT.	15	G	15			16	G	20	TERRACE
HVAC OUTDOOR CONDENSER	30	H	17	1.75		18			
BEDROOM 3 LTG. & RECEPTACLES	20	G	19			20			
				13.95	8.05				
				<b>TOTAL CONNECTED LOAD = 22.30 kW</b>					

\*VERIFY PSEB SUPPLIED KVAIC RATING.

FIRST 10kW @ 100% = 10.00 kW  
REMAINING @ 40% (12.30) = 4.92 kW  
TOTAL DEMAND LOAD = 14.92 kW >>> 71.73 A

### TYPICAL RESIDENTIAL UNIT PANEL (EP-1) AMPERE BUS: 100A AMPERE MAIN DISCONNECT: MLO VOLTAGE: 120/208V, 1PH., 22kVAC (VERIFY PSEB SUPPLIED KVAIC RATING)

LOAD DESIGNATION	CKT BKR	TYPE	CKT NO	CONNECTED LOAD (kVA)		CKT NO	TYPE	CKT BKR	LOAD DESIGNATION
				PHASE A	PHASE B				
BEDROOM 1 LTG. & RECEPTACLES	20	G	1	0.80	1.20	2	G	20	LIVING/DINING/KIT. LTG. & GEN RECEPT
BEDROOM 2 LTG. & RECEPTACLES	20	G	3			4	G	20	LAUNDRY CIRCUIT
HVAC OUTDOOR CONDENSER	30	H	5	5.20	1.20	6	K	20	DISHWASHER
	30	H	7			8	G	20	BATHROOM 1 LTG./REC./FAN
KITCHEN APPLIANCE CKT. 1	20	K	9	1.50	1.50	10	K	20	REFRIGERATOR
GAS-FIRED TANKLES WATER HEATER	15	A	11			12	K	20	KITCHEN APPLIANCE CKT. 1
BATHROOM 2 LTG./REC./FAN	20	G	13	0.50	0.30	14	H	15	GAS FURNACE
SMOKE & CO DETECTORS CKT.	15	G	15			16	G	20	TERRACE
HVAC OUTDOOR CONDENSER	30	H	17	1.75		18			
DEV OFFICE LTG. & RECEPTACLES	20	G	19			20			
				13.95	8.05				
				<b>TOTAL CONNECTED LOAD = 22.30 kW</b>					

\*VERIFY PSEB SUPPLIED KVAIC RATING.

FIRST 10kW @ 100% = 10.00 kW  
REMAINING @ 40% (12.30) = 4.92 kW  
TOTAL DEMAND LOAD = 14.92 kW >>> 71.73 A

### COMMON AREA / HOUSE PANEL (HP) AMPERE BUS: 60A AMPERE MAIN DISCONNECT: MLO VOLTAGE: 120/208V, 1PH., 22kVAC (VERIFY PSEB SUPPLIED KVAIC RATING)

LOAD DESIGNATION	CKT BKR	TYPE	CKT NO	CONNECTED LOAD (kVA)		CKT NO	TYPE	CKT BKR	LOAD DESIGNATION
				PHASE A	PHASE B				
COMMON ENTRY/HALL LTG. & REC.	20	G	1	1.20	0.60	2	G	20	EXTERIOR LIGHTING
CIRCULATION PUMP	15	M	3			4	H	20	ELEC. BASEBOARD HEATING UNIT
CELLAR LTG. & REC.	15	M	5	0.75	0.50	6	G	15	BLDG. SECURITY/ALARM CIRCUIT
CELLAR LTG. & REC.	15	M	7			8	G	15	SMOKE DETECTORS CIRCUIT
ELEC. BASEBOARD HEATING UNIT	20	H	9	1.00		10	K		SPACE
SPACE			11			12	K		SPACE
SPACE			13			14			SPACE
SPACE			15			16			SPACE
SPACE			17			18			SPACE
SPACE			19			20			SPACE
				4.05	2.55				
				<b>TOTAL CONNECTED LOAD = 6.6 kW --&gt; 31.72A</b>					

ALL LOADS @ 100%  
ADD 25% OF LARGEST MOTOR LOAD = JOCKEY PUMP @ 25% = 0.38  
TOTAL DEMAND LOAD = 6.98kW >>> 33.54A MINIMUM, 100A PROVIDED.

\*VERIFY PSEB SUPPLIED KVAIC RATING.

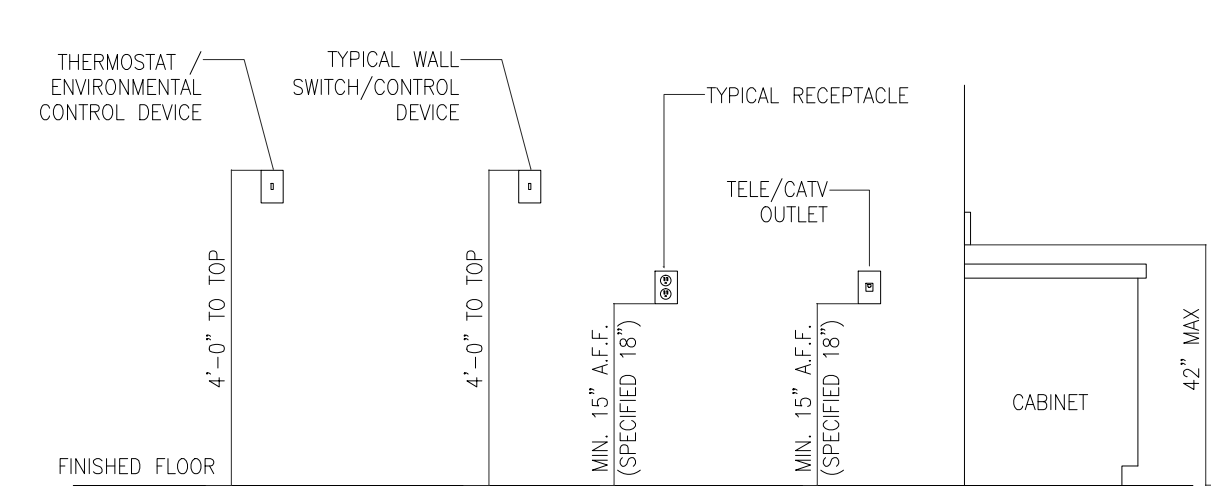
## FIRE SPRINKLER NOTES:

THESE NOTES TO BE COORDINATED WITH PLUMBING DRAWINGS AND NOTES:

- FIRE PROTECTION CONTRACTOR SHALL DESIGN AND INSTALL A COMBINATION AUTOMATIC FIRE SUPPRESSION SYSTEM & FIRE STANDPIPE SYSTEM FOR THE BUILDING AS REQUIRED BY NJ UCC, BOCA CODE & HOBOKEN SUB-CODE OFFICIAL. COMPLY WITH THE PROVISIONS OF NFPA 13.
- CONTRACTOR SHALL PROVIDE HYDRAULIC CALCULATIONS & SHOP DRAWINGS OF SYSTEM TO ARCHITECT FOR REVIEW. CALCULATIONS & DRAWINGS SHALL BE SIGNED & SEALED BY A LICENSED PROFESSIONAL ENGINEER IN NEW JERSEY.
- FIRE PROTECTION CONTRACTOR SHALL SUBMIT CALCULATIONS & SHOP DRAWINGS FOR APPROVAL BY THE JERSEY CITY BUILDING DEPARTMENT & SHALL OBTAIN REQUIRED PERMITS & APPROVALS FOR THIS PORTION OF THE WORK.
- PROVIDE WATER FLOW ALARM & VALVE TAMPER SWITCHES IN THE SYSTEM FOR INTERCONNECTION WITH THE FIRE ALARM SYSTEM AS REQUIRED.
- COORDINATE FIRE PROTECTION WATER SERVICE INSTALLATION WITH THE PLUMBING CONTRACTOR AND LOCAL WATER UTILITY.
- PROVIDE FLUSH MOUNTED DOUBLE FIRE DEPARTMENT CONNECTION AT THE STREET SIDE OF BUILDING MOUNT AT 24' A.F.F. FINAL LOCATION TO BE APPROVED BY LOCAL FIRE OFFICIAL.
- FIRE SUPPRESSION SYSTEM SHALL PROVIDE COVERAGE FOR THE GARAGE. THIS PORTION OF THE SYSTEM SHALL BE DESIGNED TO PREVENT FREEZING OF COMPONENTS IN THE UNHEATED SPACE.
- FOR LOCATION OF FLOW SWITCH AND CONNECTION TO CITY MAIN CONTACT LOCAL FIRE DEPARTMENT CODE OFFICIAL.
- CONTRACTOR SHALL SUBMIT SPRINKLER SHOP DRAWINGS TO THE FIRE SUBCODE OFFICIAL FOR APPROVAL.
- SPRINKLER CONTRACTOR SHALL PROVIDE UP-HEADS AT ALL CONCEALED SPACES AND ALL LOCATIONS REQUIRED BY LOCAL CODE OFFICIALS.

## MISCELLANEOUS FIXTURE SCHEDULE

INTERIOR LOCATIONS	ITEM	MANUFACTURER	MODEL	REMARKS
APARTMENT	SMOKE DETECTOR	KIDDE		HARDWIRED TO APT. PANEL
APARTMENT	CARBON MONOXIDE DETECTOR	KIDDE		HARDWIRED TO APT. PANEL
APT. VENTILATION	EXHAUST FAN	PANASONIC	WHISPER CEILING FV-08VQ3	SUPPLIED BY MECH. CONTRACTOR
APT. KITCHEN	MICROWAVE RANGE HOOD			WIRED BY ELEC. CONTRACTOR
LAUNDRY	DRYER BOOSTER FAN			
BEDROOM	FIRE ALARM HORN/STROBE	WHEELLOCK	NS	
COMMON AREAS	SMOKE DETECTOR	FIRELITE	SD350	
	HEAT DETECTOR	FIRELITE	H350/H35R	
	EMERGENCY EXIT SIGN	ATLITE, INC.	P.N. R U (SELF-POWERED, L.E.D., DUAL VOLT. 120/227)	
	EMERGENCY LIGHTING	ATLITE, INC.	PC1-10 (DUAL VOLT., 120/227 VAC, 60 HZ)	
	COMBINATION EMERGENCY LIGHT/SIGN	ATLITE, INC.	L04 SR1	

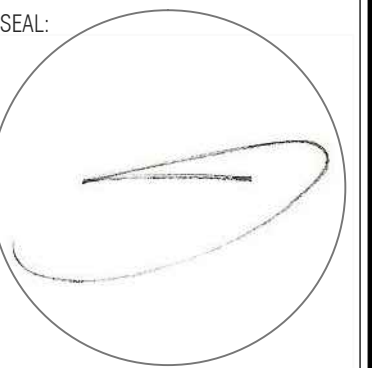


- NOTES:
- HEIGHTS AND LOCATIONS OF ALL NEW CONTROLS, ELECTRICAL RECEPTACLES, AND TELEPHONE/CATV OUTLETS FOR ACCESSIBLE SPACES SHALL CONFORM TO THE LATEST NATIONAL ELECTRICAL CODE.
  - ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT/OWNER ON THE LOCATION OF ALL NEW RECEPTACLES AND OUTLETS WITH FURNITURE, EQUIPMENT OBSTRUCTIONS, AND SPECIFIC KITCHEN LAYOUTS.

## 5 ELECTRICAL SERVICE TYPICAL MOUNTING HEIGHT

NOT TO SCALE





MIN W. KIL  
Registered Architect, NJ Lic. 21 AI 0198300

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**PROPOSED ADDITION & RENOVATION OF EXISTING FOUR FAMILY DWELLING**

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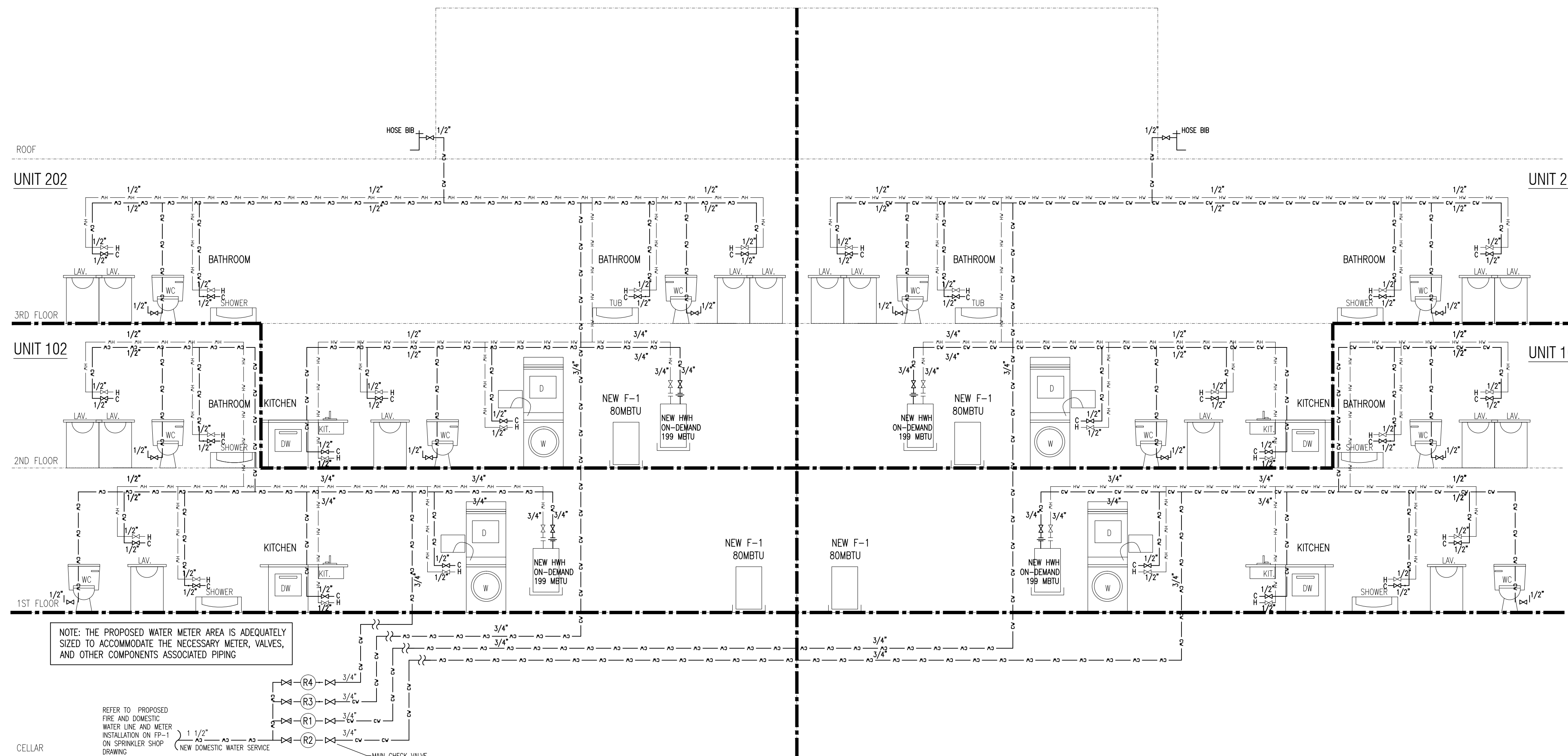
FOR:

REVISIONS:

DRAWN BY: MK  
CHKD BY: MK  
ISSUE DATE: 10.07.2022  
PROJECT NO: 22018

SHEET TITLE:  
PLUMBING RISER DIAGRAMS & NOTES

SHEET No.  
**P-1**



**1 WATER RISER DIAGRAM**  
NOT TO SCALE

**PLUMBING NOTES**

- ALL PLUMBING WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL STANDARD PLUMBING CODE.
- THE PLUMBING WORK IS TO BE PERFORMED BY A CONTRACTOR OR SUBCONTRACTOR LICENSED IN THE STATE OF NJ.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PLUMBING PERMITS AND INSPECTIONS FOR THE WORK.
- CONTRACTOR TO VERIFY IN FIELD ALL EXISTING CONDITIONS AND ASSESS ALL EXISTING INSTALLATIONS PLANNED TO REMAIN.
- PROVIDE NEW HOT AND COLD WATER PIPING FOR NEW LAUNDRY CLOSETS AND NEW KITCHENS.
- ALL NEW PLUMBING FIXTURES ARE TO BE AS CHOSEN BY OWNER.
- NEW DRAIN, WASTE AND VENT PIPING IS TO BE SCHEDULE 40 PVC WITH CEMENTED FITTINGS.
- NEW HOT AND COLD WATER PIPING IS TO BE EITHER COPPER PIPE/TUBING WITH SOLDERED FITTINGS OR CPVC WITH CEMENTED FITTINGS OR PEX TUBING WITH APPROPRIATE COMPRESSION FITTINGS.
- PLUMBER SHALL COORDINATE ALL JOIST CUTTING WITH FRAMER AND ENGINEER PRIOR TO CUTTING ANY FLOOR JOISTS. ANY INCORRECTLY CUT OR NOTCHED MEMBERS SHALL BE REPLACED OR REPAIRED SOLELY AT THE PLUMBING CONTRACTOR'S EXPENSE.
- NEW VENT PIPES TO CONNECT TO EXISTING VENT STACK WHERE POSSIBLE. VERIFY EXISTING LOCATIONS AND CONDITIONS IN FIELD.
- EXISTING PIPES FOR HYDRONIC HEATING SHALL BE TERMINATED, ABANDONED AND CAPPED.
- PLUMBING CONTRACTOR TO VERIFY W/PSE&G IF NEW GAS SERVICE WILL BE NECESSARY.
- PROVIDE DRIP LEG, VALVE AND UNION AT EACH GAS APPLIANCE.
- CONTRACTOR TO VERIFY EXISTING GAS SERVICE PRESSURE AND COMPATIBILITY WITH PROPOSED APPLIANCES.
- ALL UNUSED WATER, SEWER AND GAS LINES TO BE CUT, CAPPED AND ABANDONED.

**TOTAL BUILDING DFU'S**

10 BATHROOM GROUPS @ 3 DFUS EACH =	30.0 DFUS
4 KITCHEN GROUPS @ 3 DFUS EACH =	12.0 DFUS
4 CLOTHES WASHERS @ 3 DFUS EACH =	12.0 DFUS
<b>TOTAL</b>	<b>54.0 DFUS</b>

PER 2018 NSPC 11.4 AND 11.5:  
4" @ 1/8" MIN. SLOPE = 180 DFUS MAX.  
>>> THIS EXISTING 4" LATERAL OK (VERIFY EXISTING IN FIELD)

**TOTAL BUILDING WSFU'S**

10 BATHROOM GROUPS @ 3.5 WSFU'S EACH =	35.0 WSFU'S
4 KITCHEN GROUPS @ 1.5 WSFU'S EACH =	6.0 WSFU'S
4 CLOTHES WASHERS @ 3 WSFU'S EACH =	12.0 WSFU'S
1 HOSE BIBBS @ 2.5 WSFU'S =	2.5 WSFU'S
2 ADDITIONAL HOSE BIBBS @ 1.0 WSFU'S =	2.0 WSFU'S
<b>TOTAL</b>	<b>58.5 WSFU'S</b>

PER 2018 NSPC APPENDIX B:  
1-1/4" COPPER PIPE @ 8FPS = 53.0 WSFU'S MAX.  
>>> THIS MIN. 1.5" SERVICE OK (VERIFY IN FIELD)

**ESTIMATED DOMESTIC WATER DEMAND**  
From RSIS N.J.A.C. 5:21-5.2, Table 1

LOW AND MID-RISE (UP TO NINE STORIES)	
STUDIO & 1 BEDROOM - 95 (GALLONS PER DAY) X 0 =	0
2 BEDROOM - 140 (GALLONS PER DAY) X 0 =	0
3 BEDROOM - 215 (GALLONS PER DAY) X 4 =	860

RESIDENTIAL WATER DEMAND = 860 (GALLONS PER DAY)

**SANITARY SEWER CALCULATION**  
N.J.A.C. 7:14A-23.3(a)-Projected Flow Criteria

1. (0) Studio & 1-Br. Units @ 150 gpd =	0 gpd
2. (0) 2-Br. Units @ 225 gpd =	0 gpd
3. (4) 3-Br. Units @ 300 gpd =	1,200 gpd
4. (0) OFFICE @ 0 SF X 0.1 gpd =	0 gpd

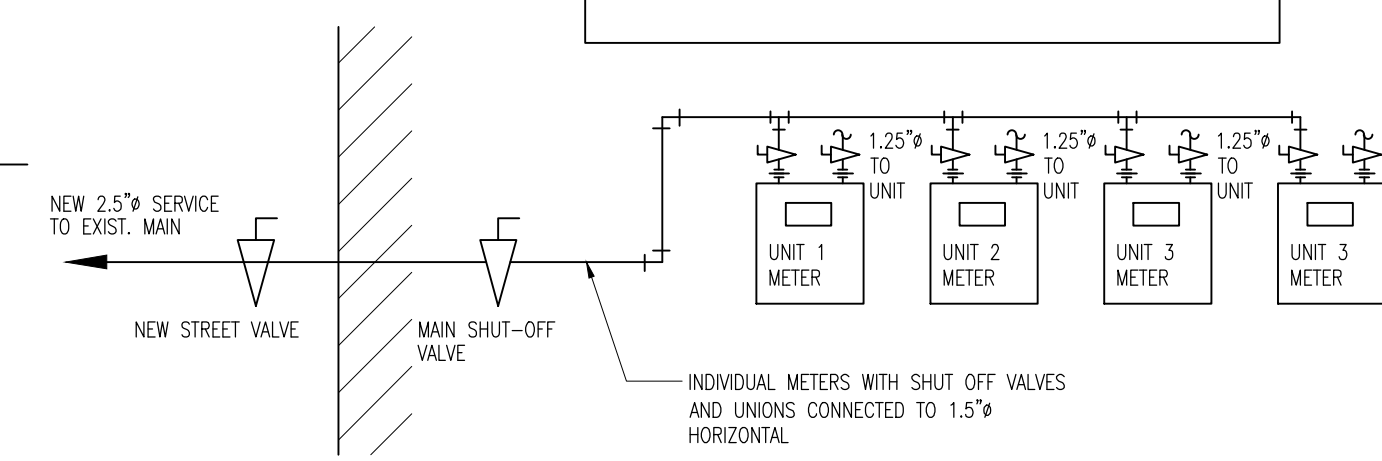
Total Average Daily Flow = 1,200 gpd  
0.012 MGD

**GAS SERVICE CALCULATION:**

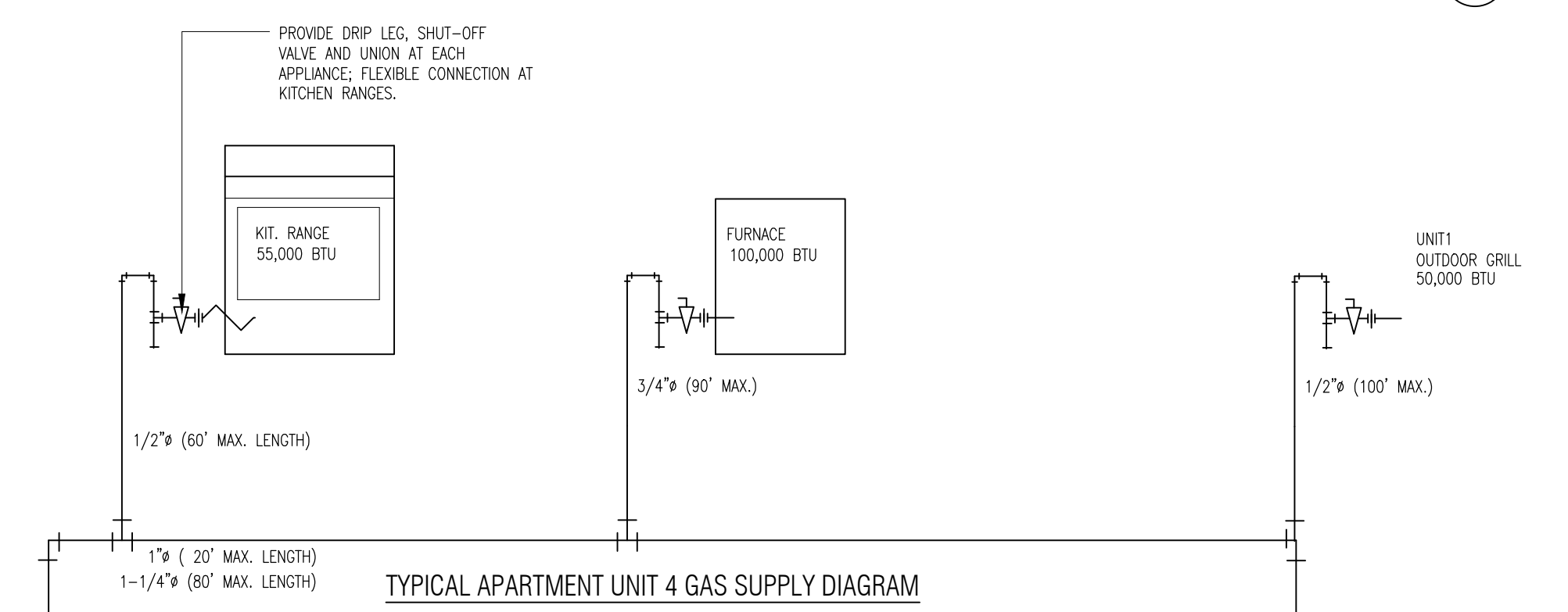
GAS SERVICE SIZING -	
(4) FURNACES @ 80 MBTU =	320 MBTU
(4) COOKING RANGES @ 55 MBTU =	220 MBTU
(4) WATER HEATERS @ 199 MBTU =	796 MBTU
(4) OUTDOOR GRILL @ 50 MBTU =	200 MBTU
<b>TOTAL</b>	<b>1,536 MBTU</b>

PER 2018 IFGC 402.4 (1/4" PSE&G REQ. PRESSURE):  
2" STEEL PIPE = 2,090 MBTU @ 20FT MAX. LENGTH  
= 1,440 MBTU @ 40FT MAX. LENGTH

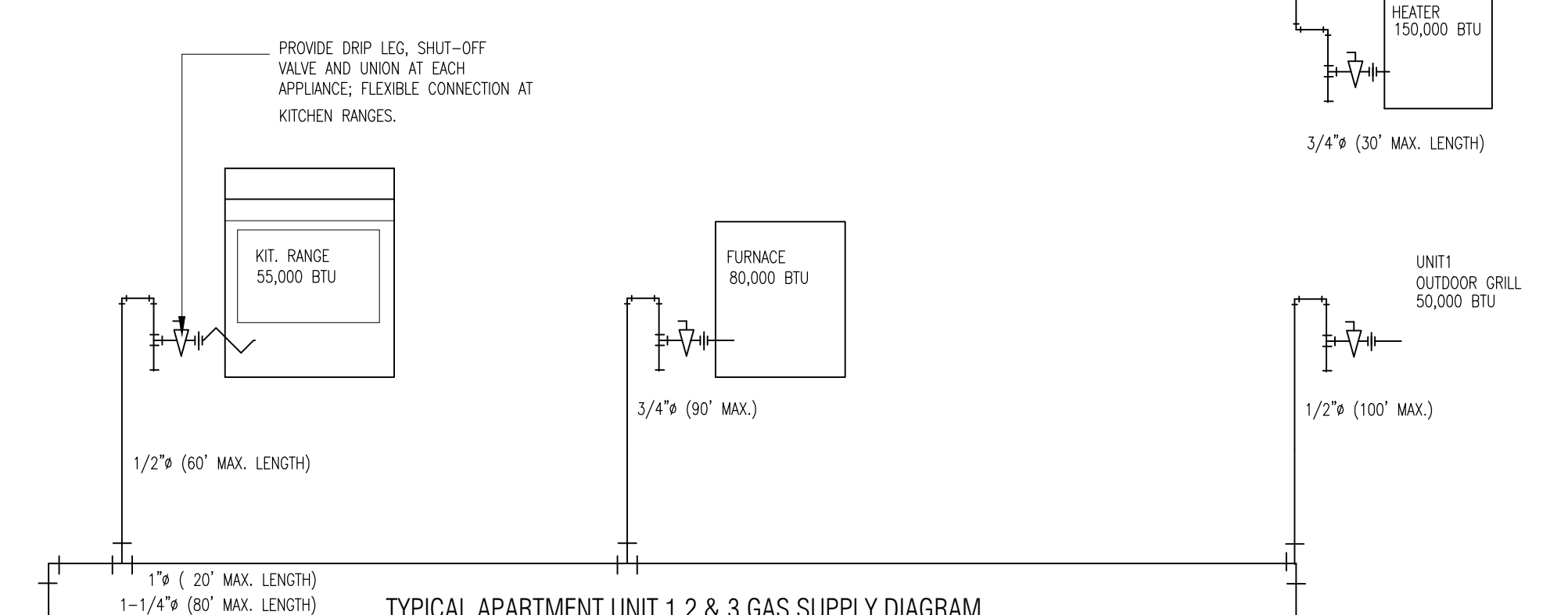
\*VERIFY EXISTING IN FIELD. COORDINATE WITH LOCAL PSE&G REPRESENTATIVE.



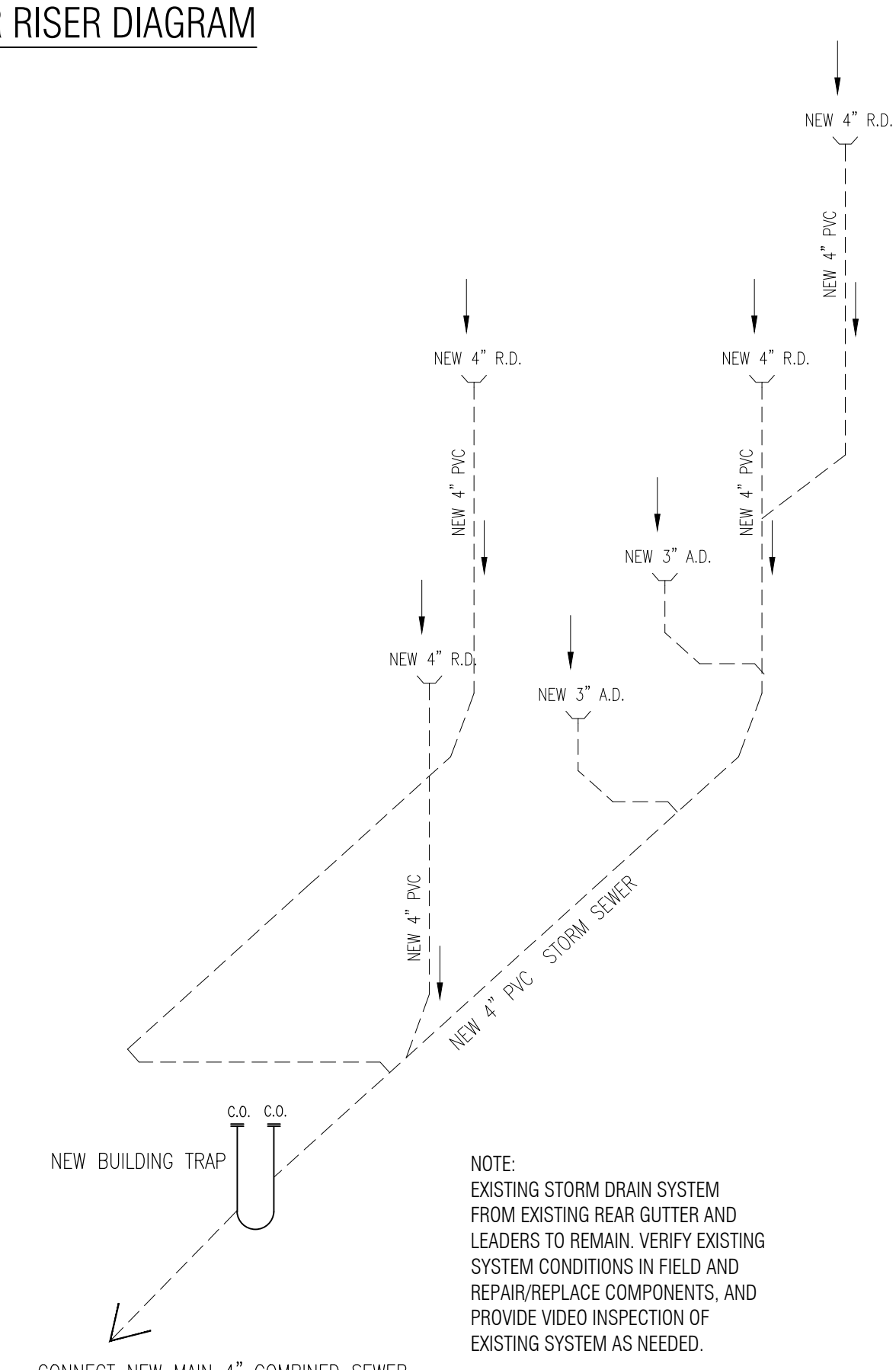
**2 GAS SUPPLY SCHEMATIC DIAGRAM**  
NOT TO SCALE



**TYPICAL APARTMENT UNIT 4 GAS SUPPLY DIAGRAM**



**TYPICAL APARTMENT UNIT 1, 2 & 3 GAS SUPPLY DIAGRAM**



**STORM RISER DIAGRAM**  
NOT TO SCALE

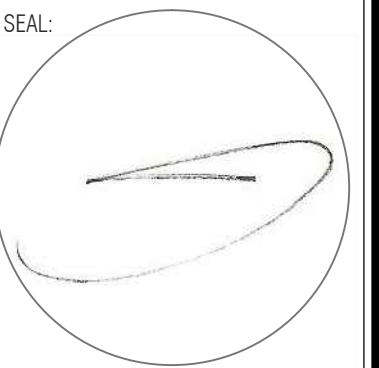
NOTE: EXISTING STORM DRAIN SYSTEM FROM EXISTING REAR GUTTER AND LEADERS TO REMAIN. VERIFY EXISTING SYSTEM CONDITIONS IN FIELD AND REPAIR/REPLACE COMPONENTS, AND PROVIDE VIDEO INSPECTION OF EXISTING SYSTEM AS NEEDED.





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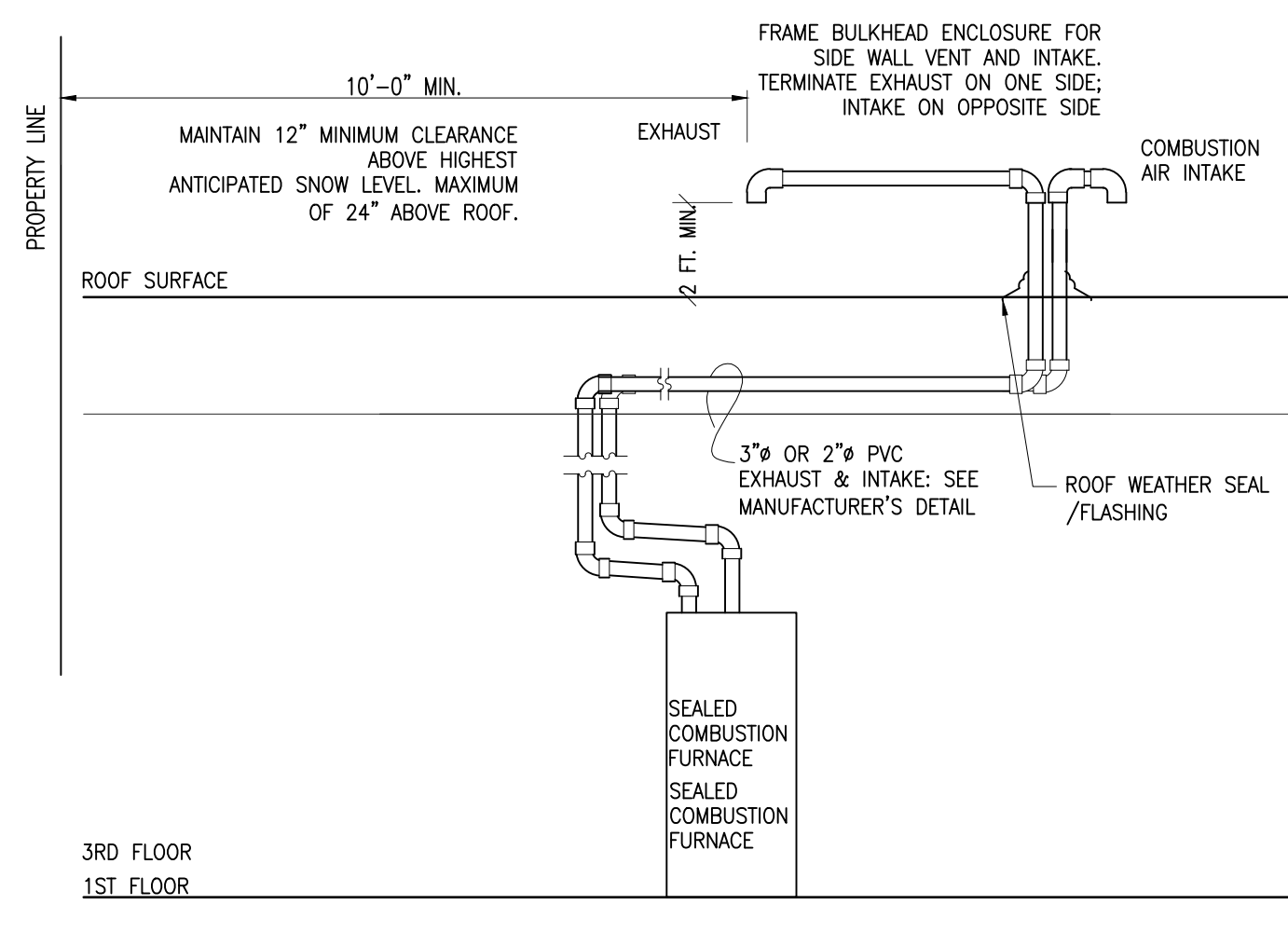
SHEET TITLE:  
 PLUMBING RISER DIAGRAMS & NOTES

SHEET No. **P-2**

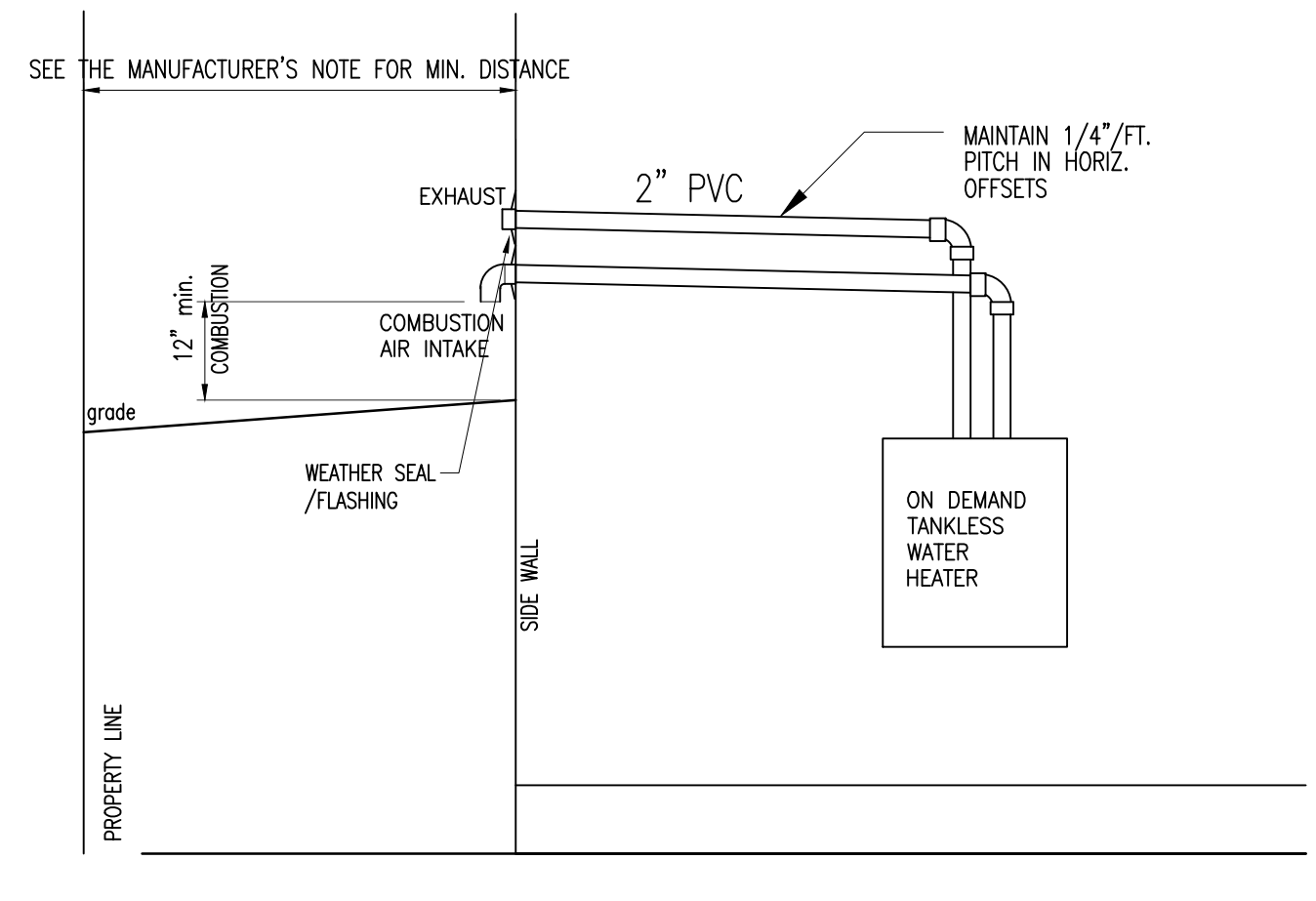
**PLUMBING EQUIPMENT SCHEDULE**

HWH-1	MECH. CL.	75 GAL./150MBTU GAS WATER HEATER	VERIFY WITH OWNER	ENERGY FACTOR ≥ 0.67, INSULATED VERTICAL STORAGE TANK
WC	BATHROOMS	WATER CLOSET	VERIFY WITH OWNER	1.6GPF ELONGATED ADA COMPLIANT FOR BASEMENT UNIT
LAV	BATHROOMS	LAVATORY WITH FAUCET & DRAIN	VERIFY WITH OWNER	COORDINATE WITH OWNER—CHOSEN FAUCET ADA COMPLIANT FOR BASEMENT UNIT
TUB	BATHROOMS	SHOWER TUB W/ FIXTURE & DRAIN	VERIFY WITH OWNER	COORDINATE WITH OWNER—CHOSEN SHOWER FIXTURE ADA COMPLIANT FOR BASEMENT UNIT
KSK	KITCHEN COUNTERS	SINGLE-BOWL STAINLESS SINK	VERIFY WITH OWNER	COORDINATE WITH OWNER—CHOSEN FAUCET ADA COMPLIANT FOR BASEMENT UNIT

VERIFY ALL EQUIPMENT/FIXTURE TYPES, COLORS, FINISHES AND ASSOCIATED ACCESSORIES WITH OWNER/ARCHITECT PRIOR TO PURCHASING MATERIALS AND/OR INSTALLATION. SUBMIT SAMPLES FOR APPROVAL.



**TYPICAL FURNACE VENTING DIAGRAM**  
 NOT TO SCALE



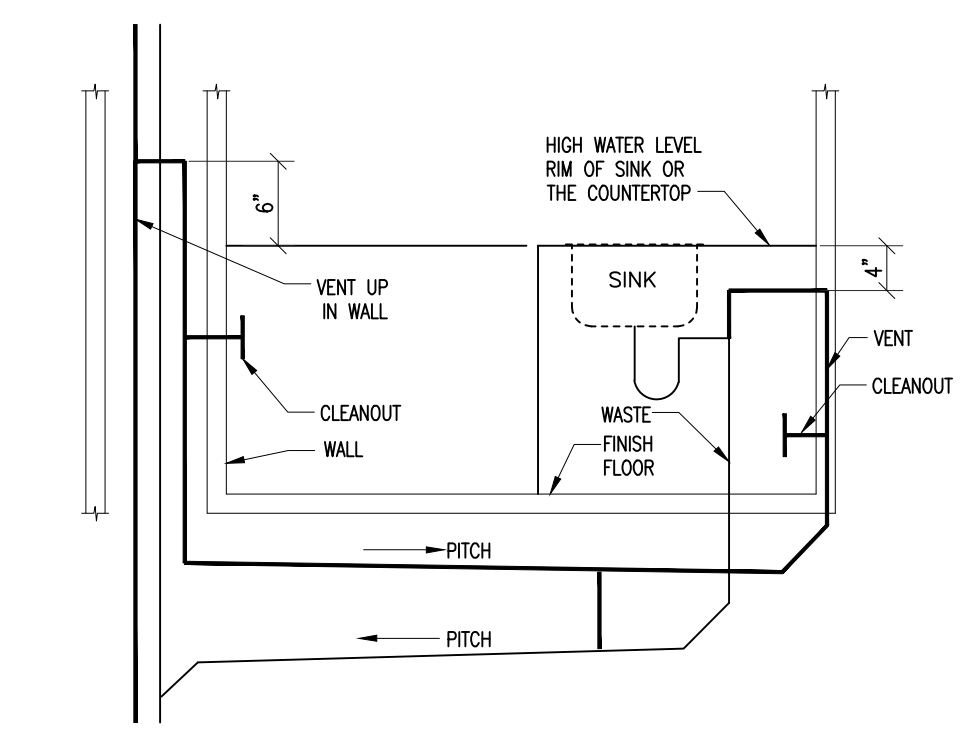
**TYPICAL HOT WATER HEATER VENTING DIAGRAM**  
 NOT TO SCALE

**VENTING NOTES:**

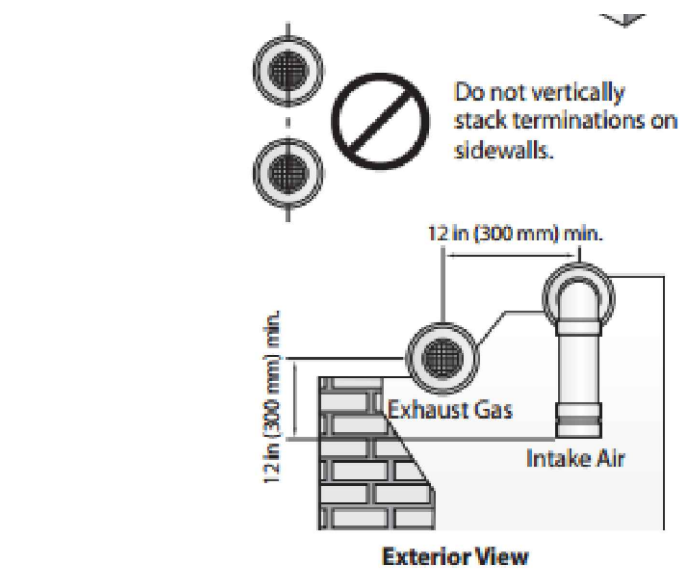
1. PROVIDE RIGID DUCTING, MASTIC ALL CONNECTIONS BETWEEN DUCTS.
2. VERIFY CLOTHES DRYER MANUFACTURER'S VENTING RECOMMENDATIONS AND MAXIMUM PIPE LENGTHS.
3. VERIFY FURNACE & WATER HEATER MANUFACTURER'S INSTALLATION CLEARANCES, VENTING RECOMMENDATIONS AND MAXIMUM PIPE LENGTHS.
4. FIRESTOP ALL PIPE PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES.
5. LOCATE PIPE RISERS WITHIN WALLS.
6. PROVIDE INSECT SCREENS AT ALL TERMINATIONS EXCEPT FOR DRYER EXHAUSTS.

**PLUMBING FIXTURES COUNT**

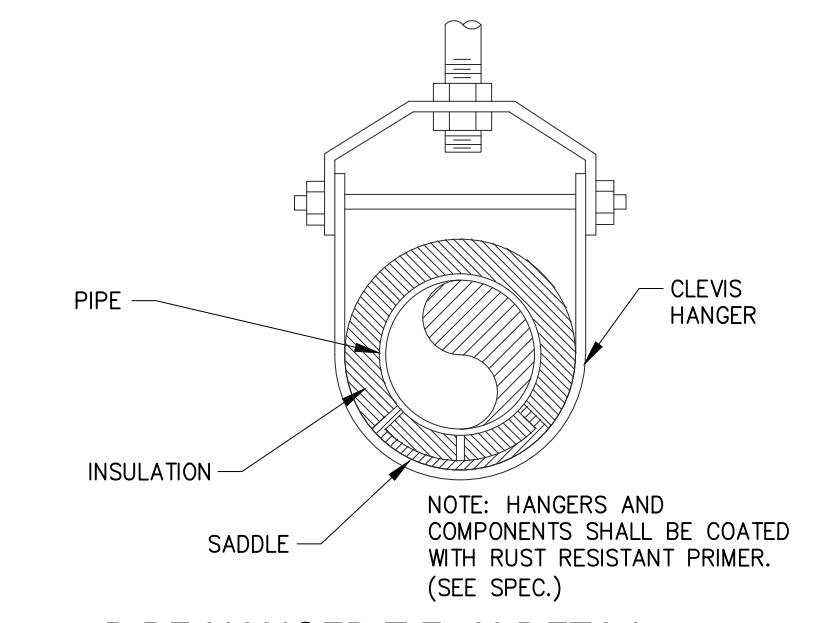
QTY.	SIZE	ITEMS
2	30"X60"	BATHTUB
6	36"X60"	ENCLOSED SHOWER
4	SELECTED BY OWNER	CLOTH WASHER
4	SELECTED BY OWNER	KITCHEN SINK W/ DISH WASHER
6	MIN. 48" WIDE	DOUBLE BATH SINK
4	MIN. 24" WIDE	SINGLE BATH SINK
10	SELECTED BY OWNER	WATER CLOSET, 1.6 GPF GRAVITY TANK
12	2"Ø TRAP	FLOOR DRAIN



**ISLAND VENT DETAIL**  
 SCALE: N.T.S.

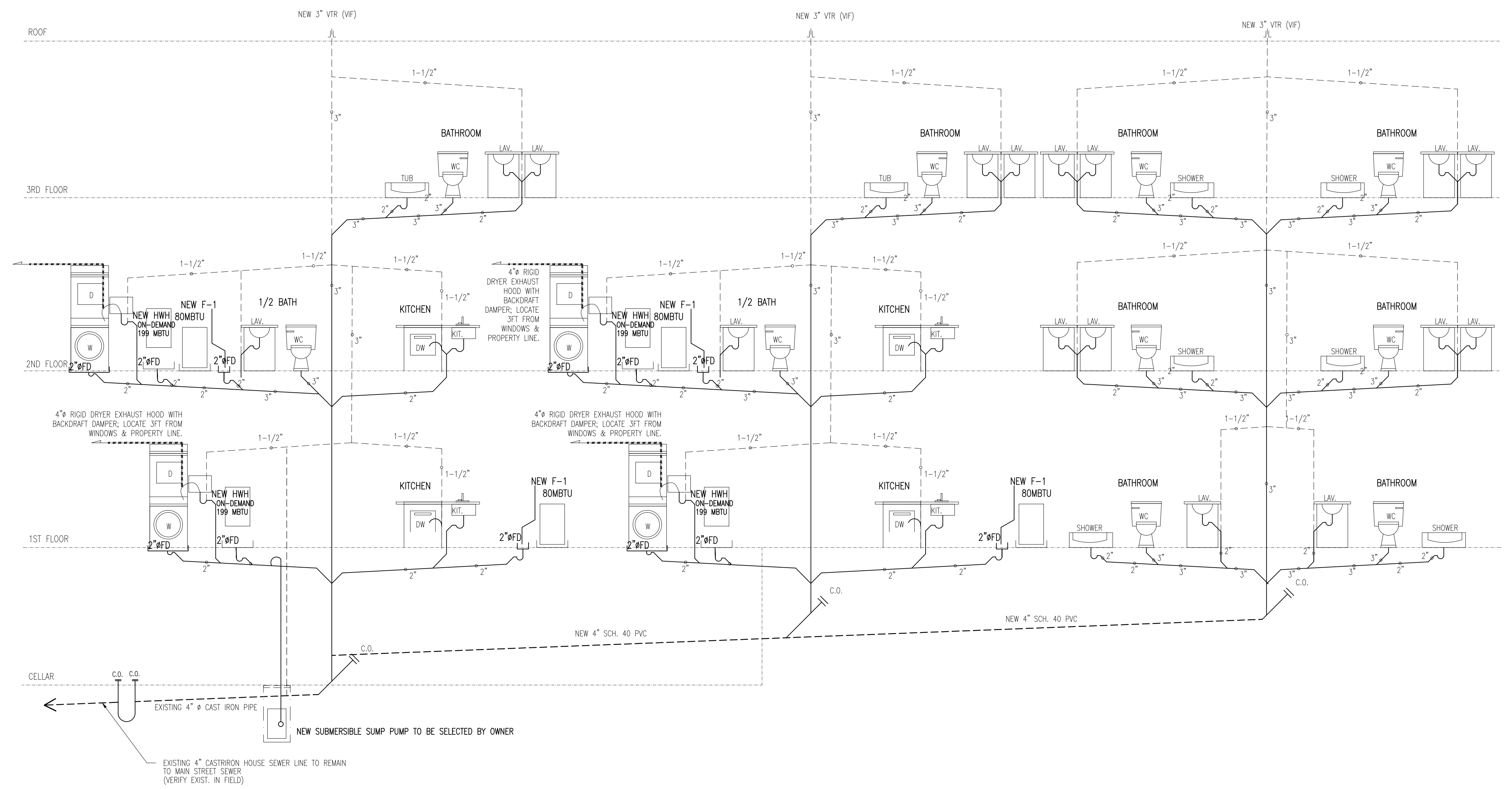


**WATER HEATER SIDEWALL VENTING (TYP.)**



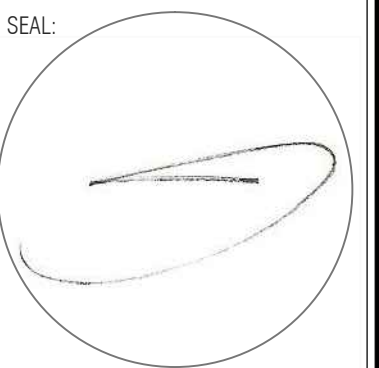
**PIPE HANGER TIE-IN DETAIL**  
 NOT TO SCALE

NOTE: PROPOSED ALL NEW TANKLESS HOT WATER HEATERS SHALL BE INSTALLED THE NEUTRALIZER W/ MANUFACTURER'S GUIDELINES.



EXISTING 4" CAST IRON PIPE  
 NEW SUBMERSIBLE SUMP PUMP TO BE SELECTED BY OWNER  
 EXISTING 4" CASTIRON HOUSE SEWER LINE TO REMAIN TO MAIN STREET SEWER (VERIFY EXIST. IN FIELD)





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 Registered Architect: NJ LIC 21 AI 01985300

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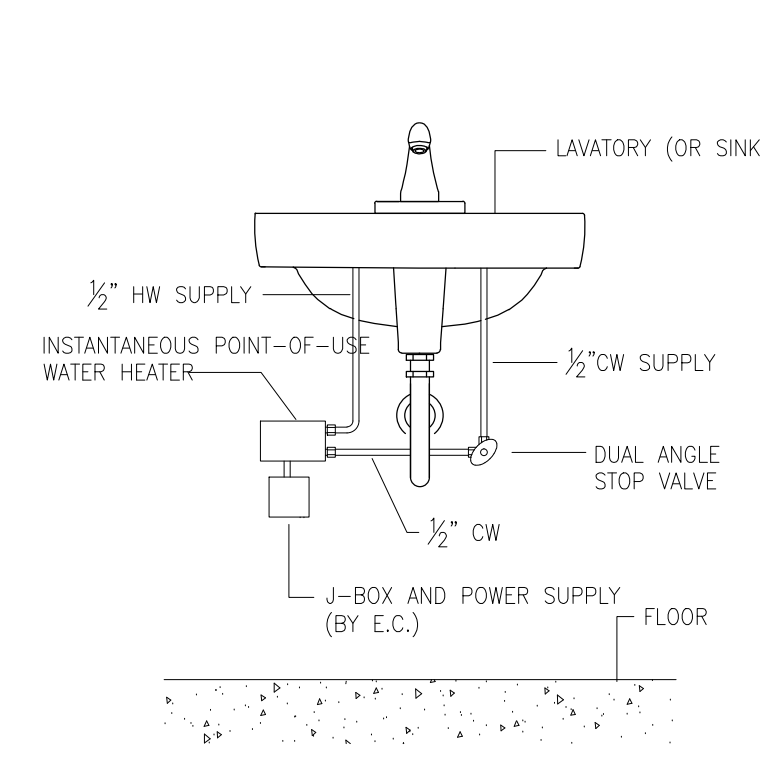
BLOCK: 4406  
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FOR:

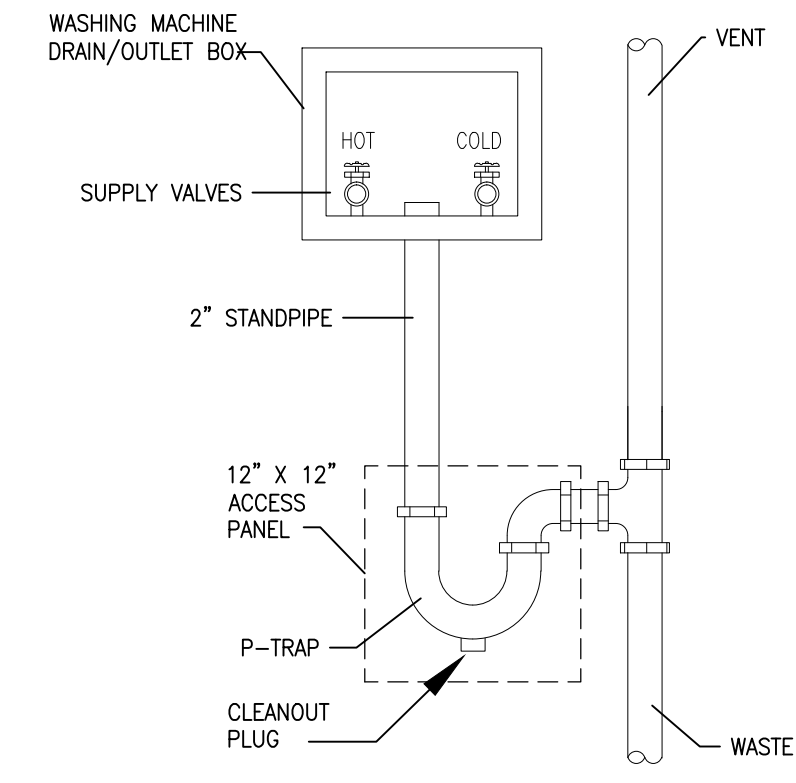
REVISIONS:

DRAWN BY: MK  
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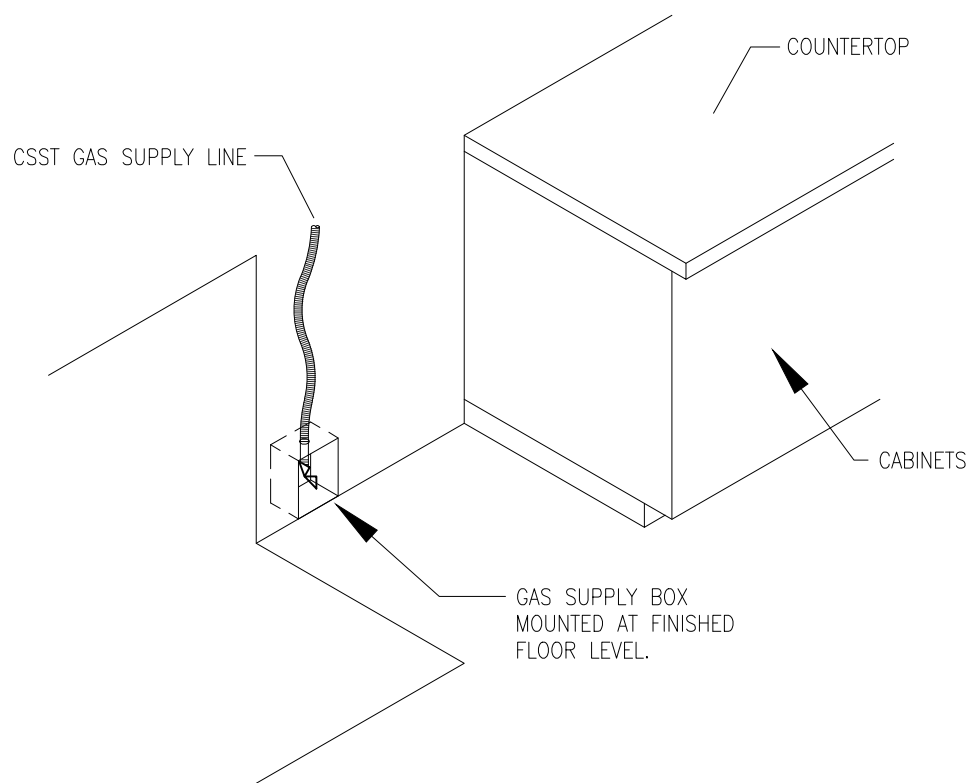
SHEET TITLE:  
 PLUMBING DETAILS



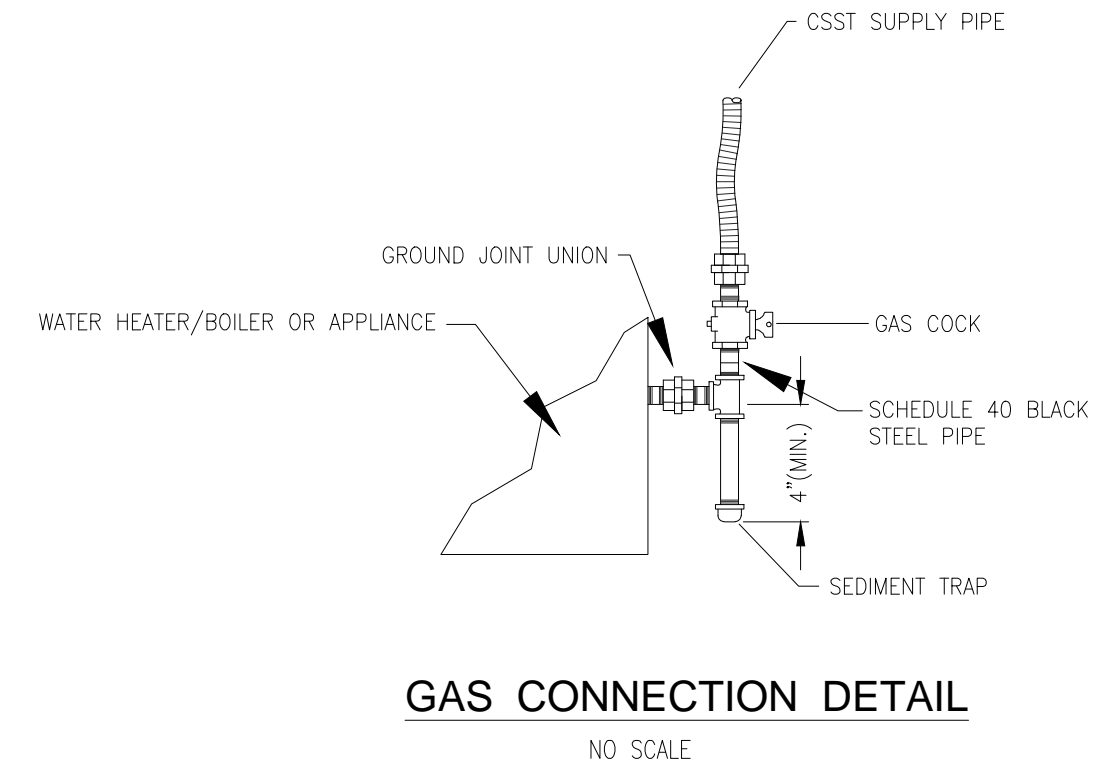
**POINT-OF-USE WATER HEATER DETAIL**  
 NO SCALE



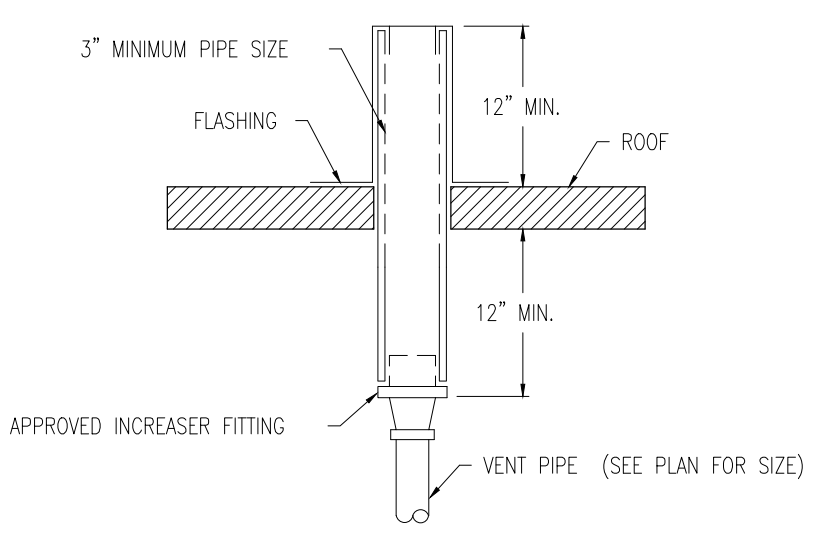
**WASHING MACHINE DRAIN/OUTLET BOX DETAIL**  
 NO SCALE



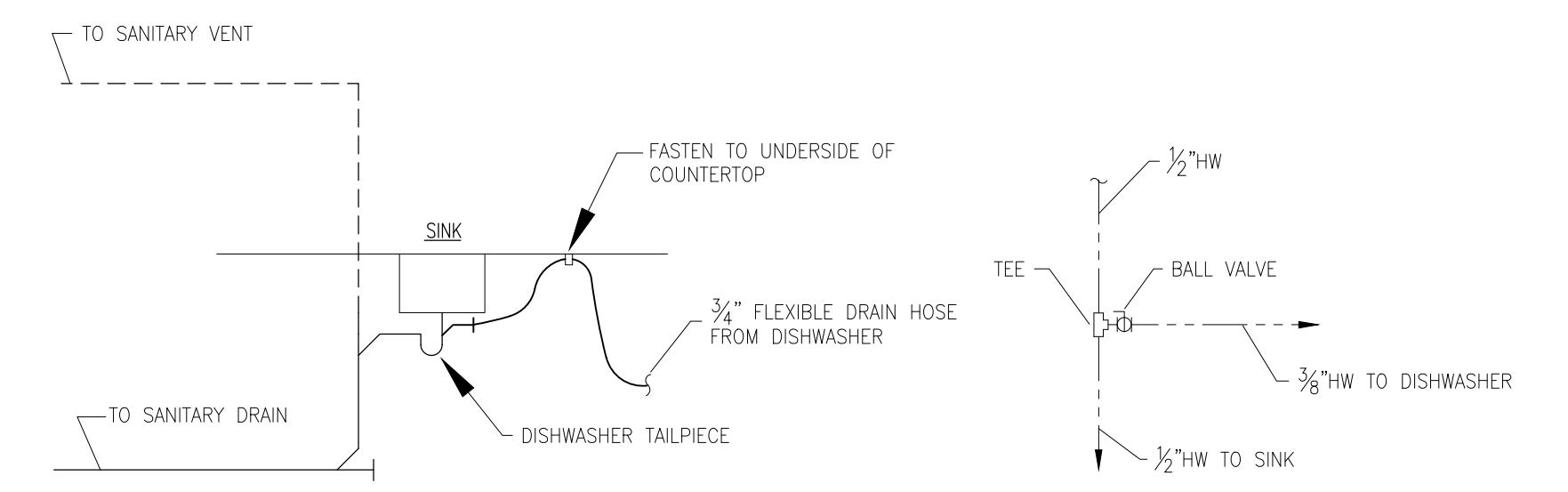
**OVEN/RANGE UTILITY DETAIL**  
 NO SCALE



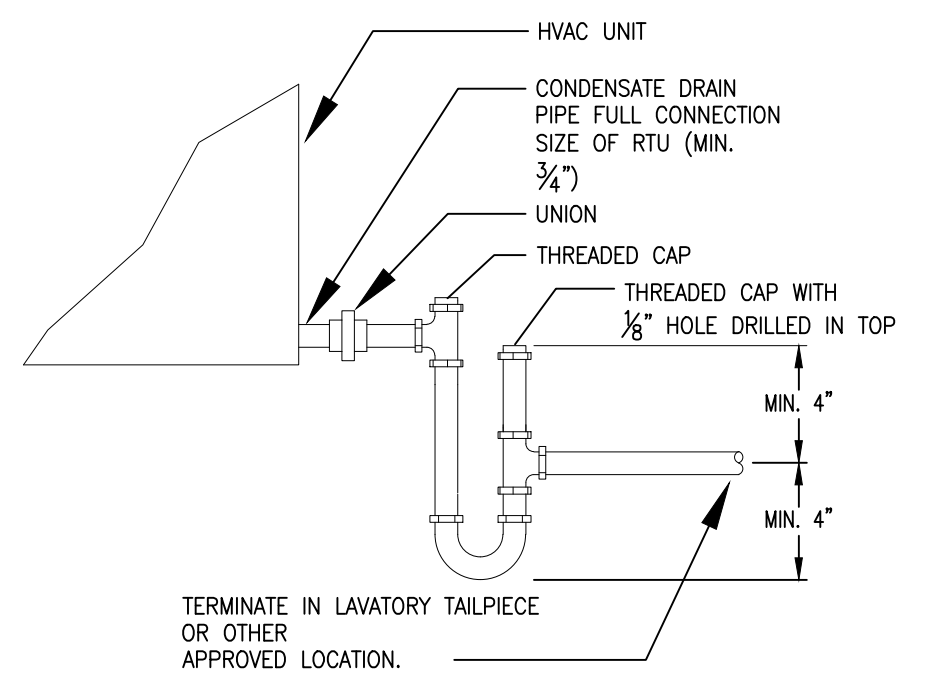
**GAS CONNECTION DETAIL**  
 NO SCALE



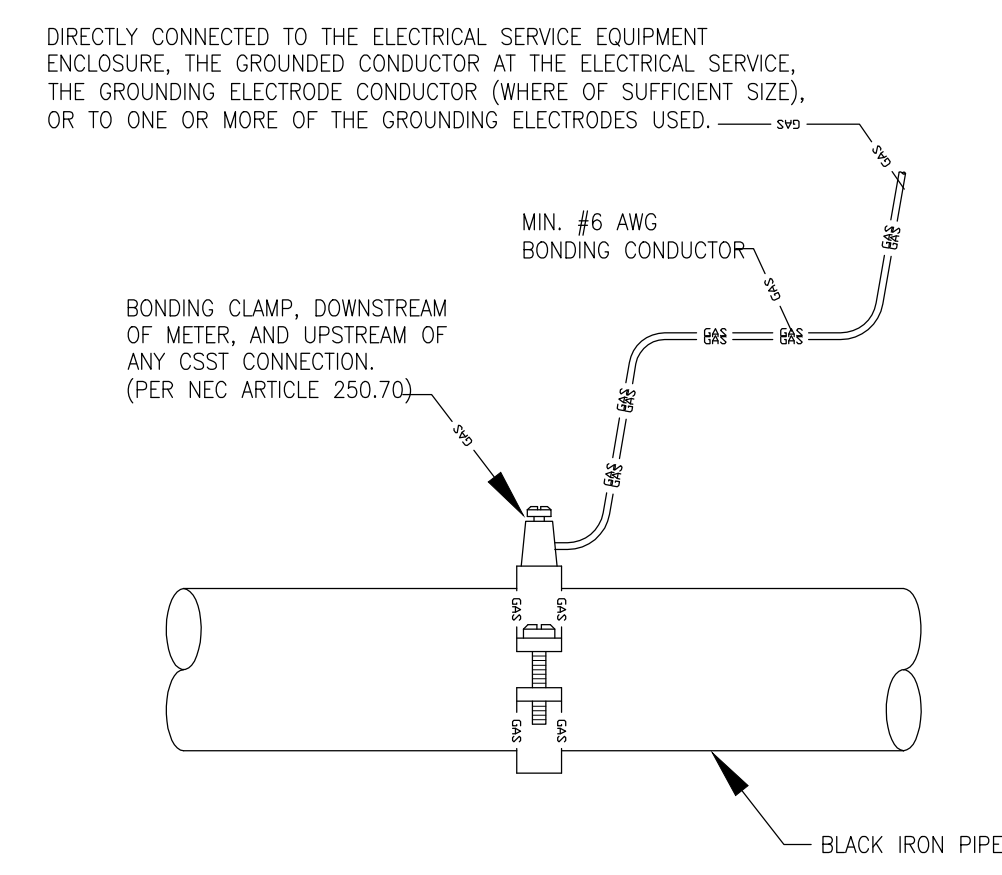
**VENT THRU ROOF DETAIL**  
 NO SCALE



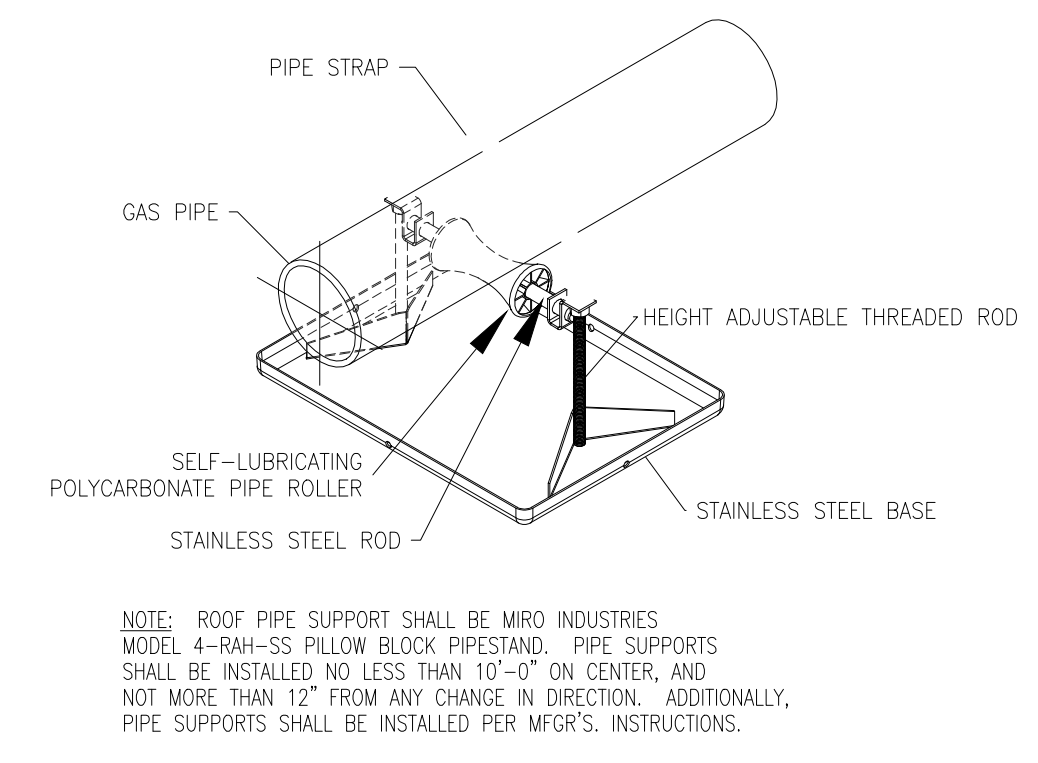
**DISHWASHER CONNECTION DETAILS**  
 NO SCALE



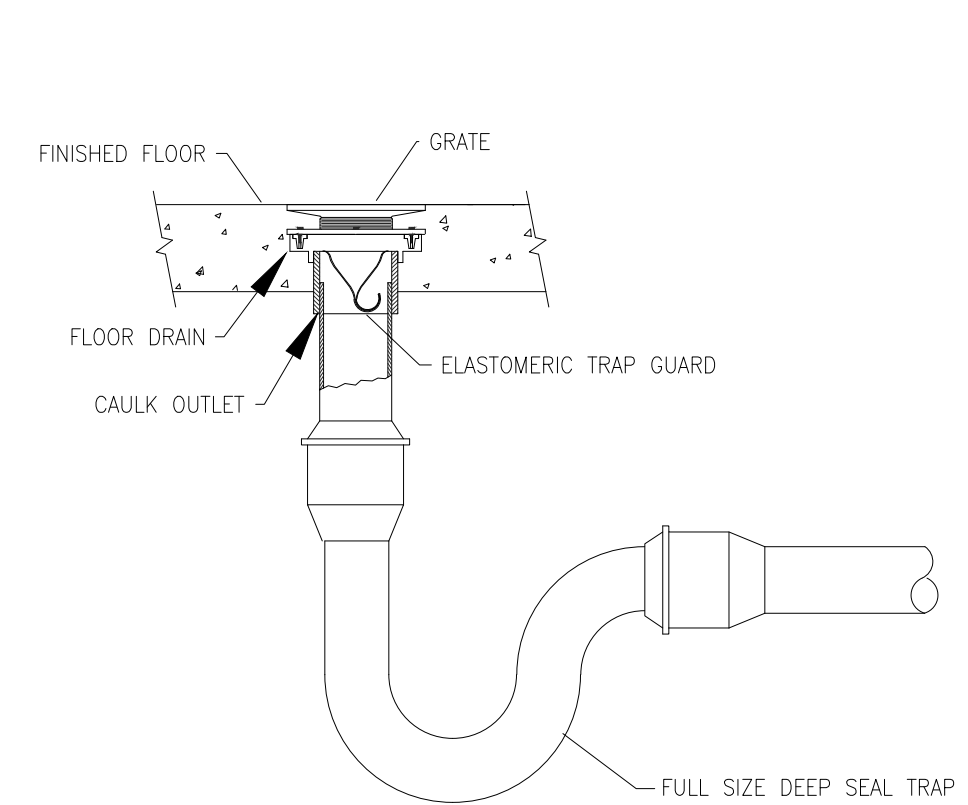
**CONDENSATE DRAIN TRAP DETAIL**  
 NO SCALE



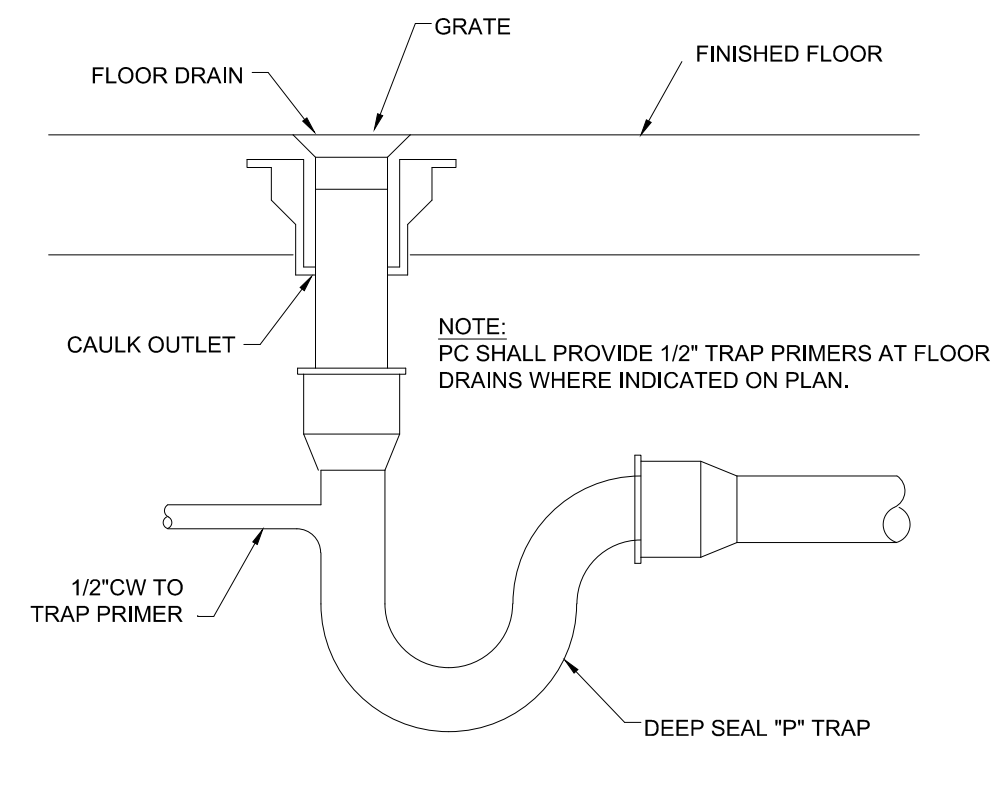
**GAS PIPE BONDING DETAIL**  
 NO SCALE



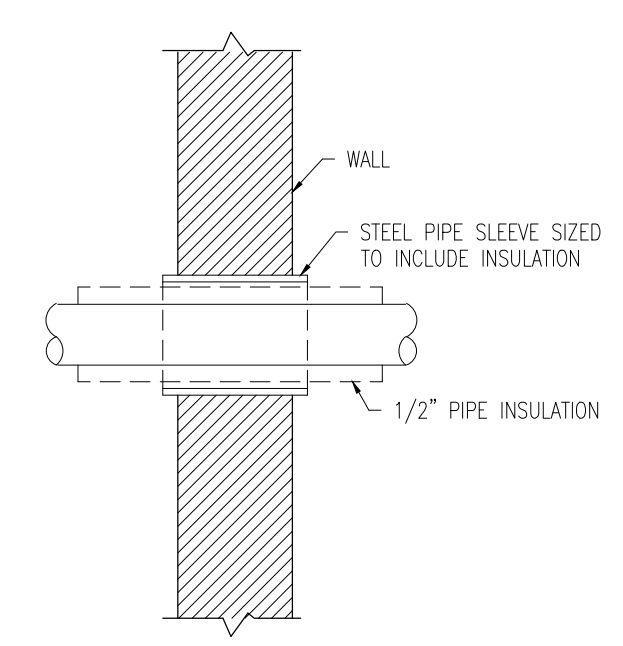
**ROOF GAS PIPE SUPPORT DETAIL**  
 NO SCALE



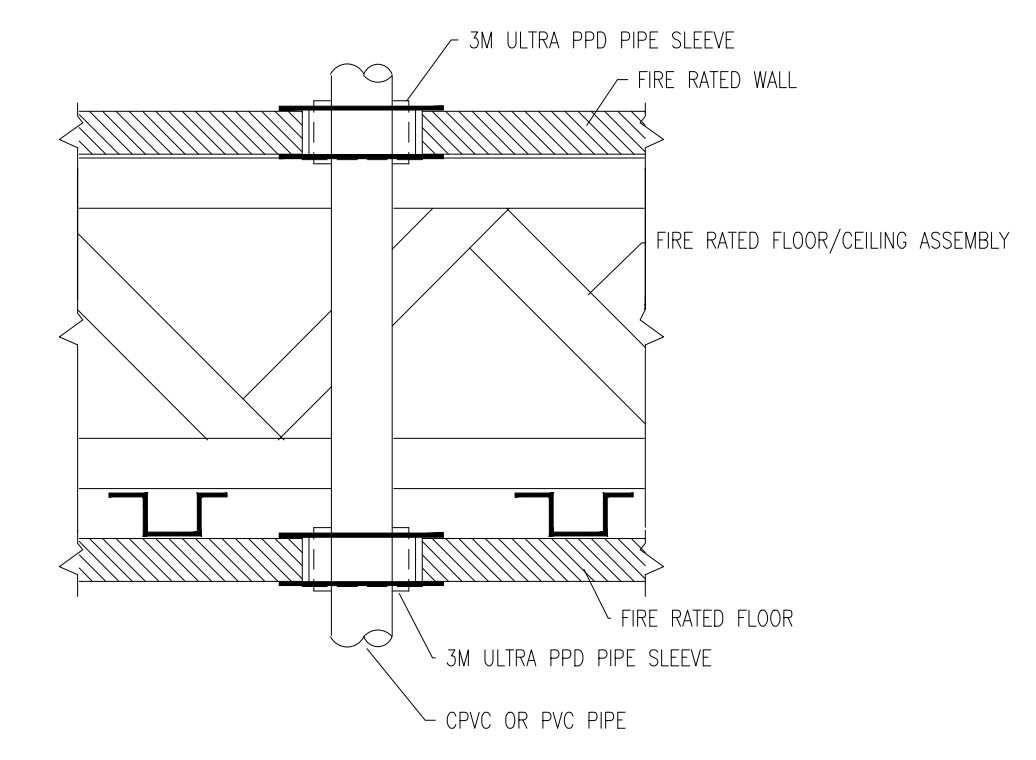
**TYPICAL FLOOR DRAIN DETAIL**  
 NTS



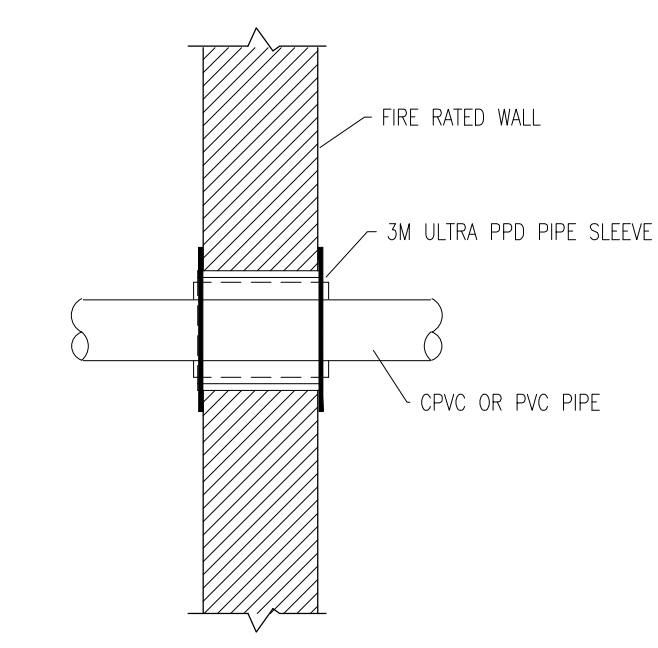
**TYPICAL FLOOR DRAIN DETAIL**  
 NTS



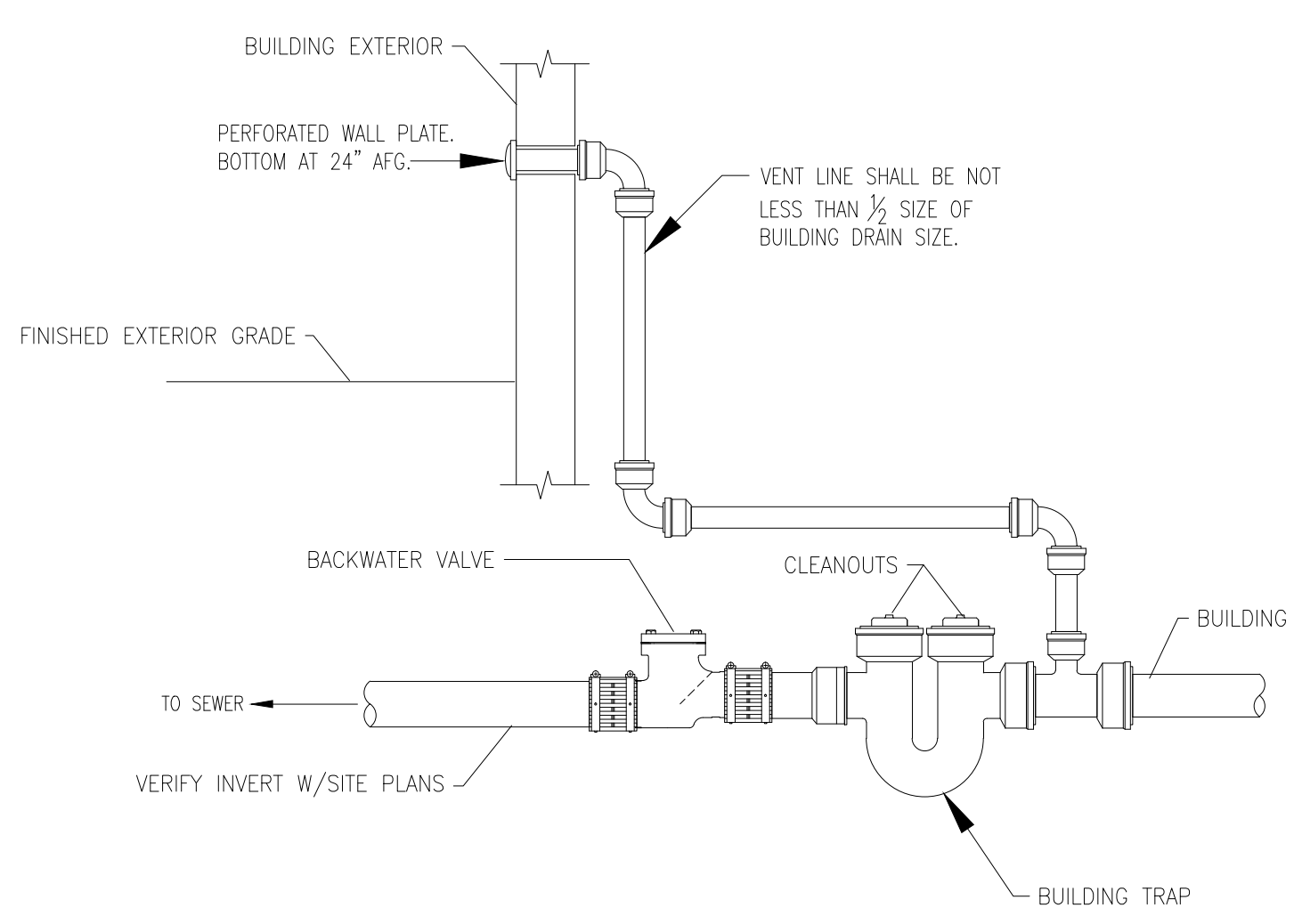
**PIPE SLEEVE DETAIL**  
 NO SCALE



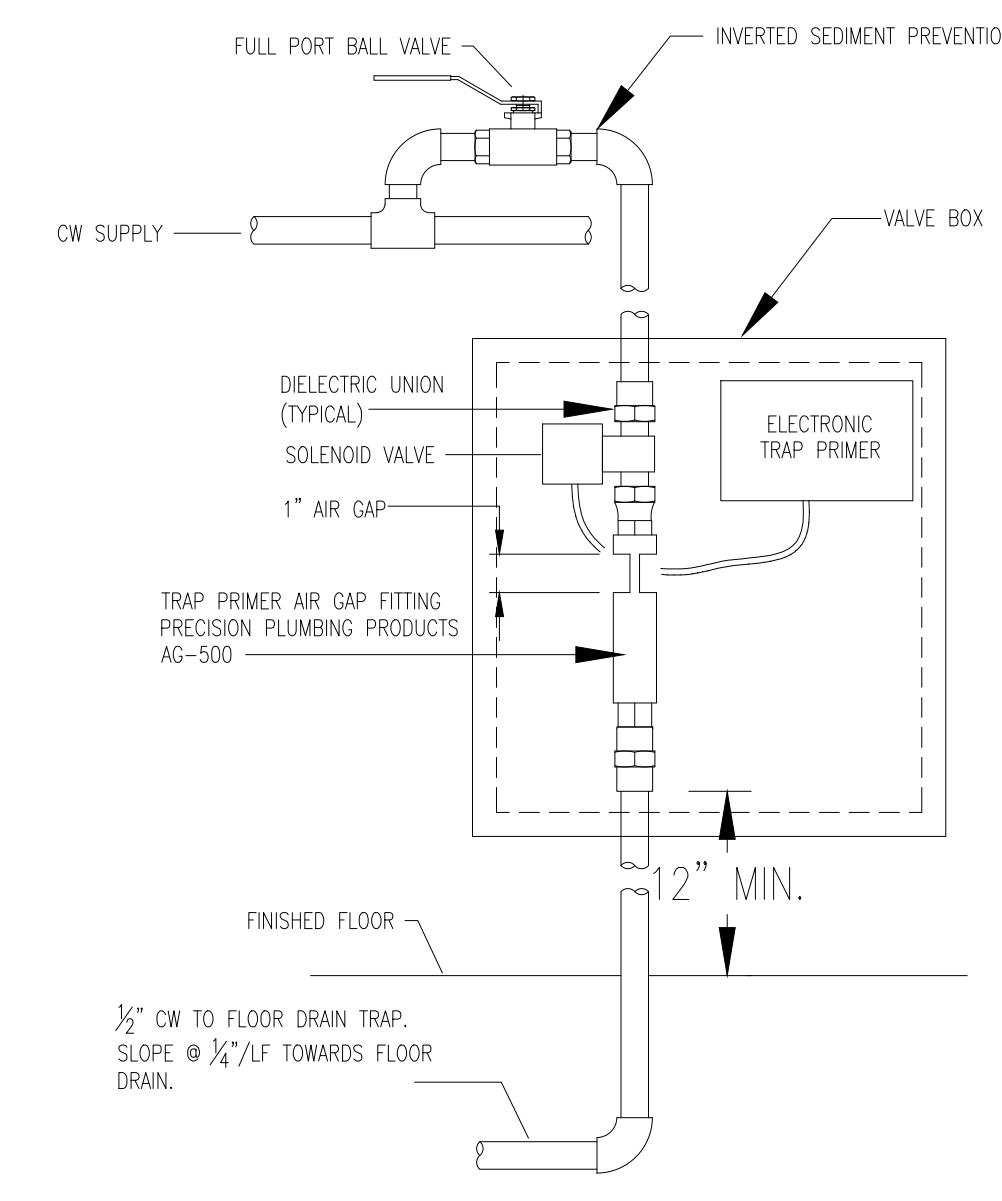
**PLASTC PIPE FIRESTOP SLEEVE DETAIL**  
 NO SCALE



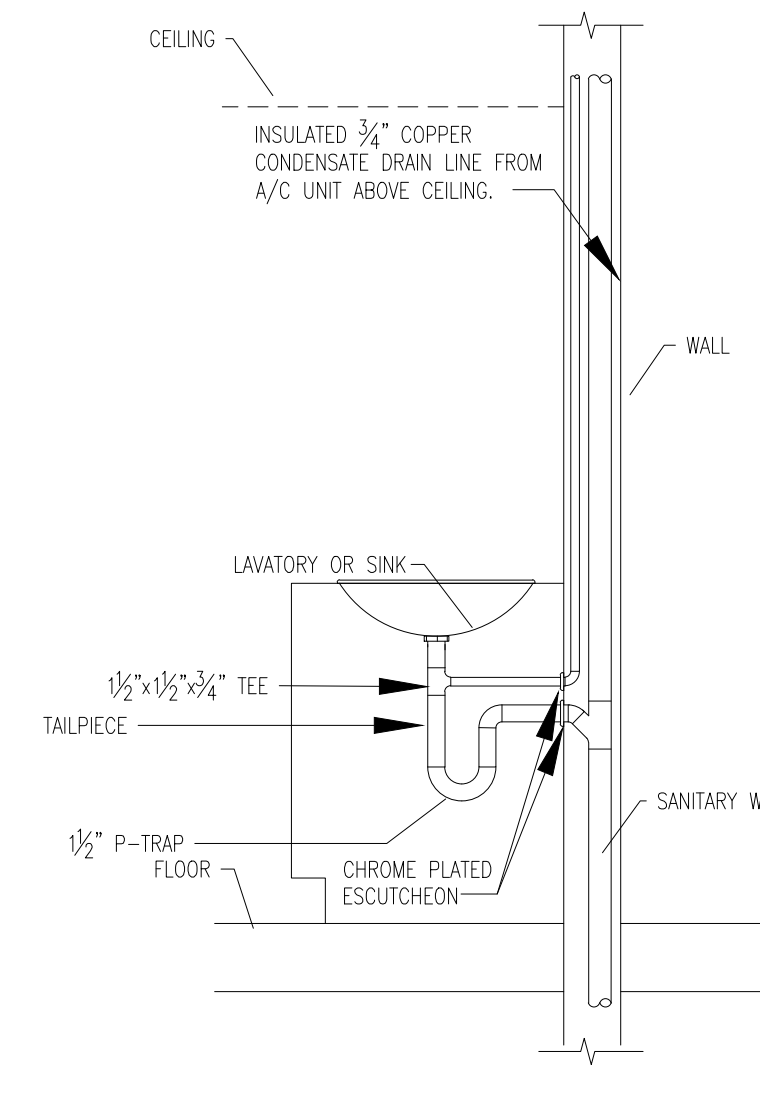
**PLASTC PIPE FIRESTOP SLEEVE DETAIL**  
 NO SCALE



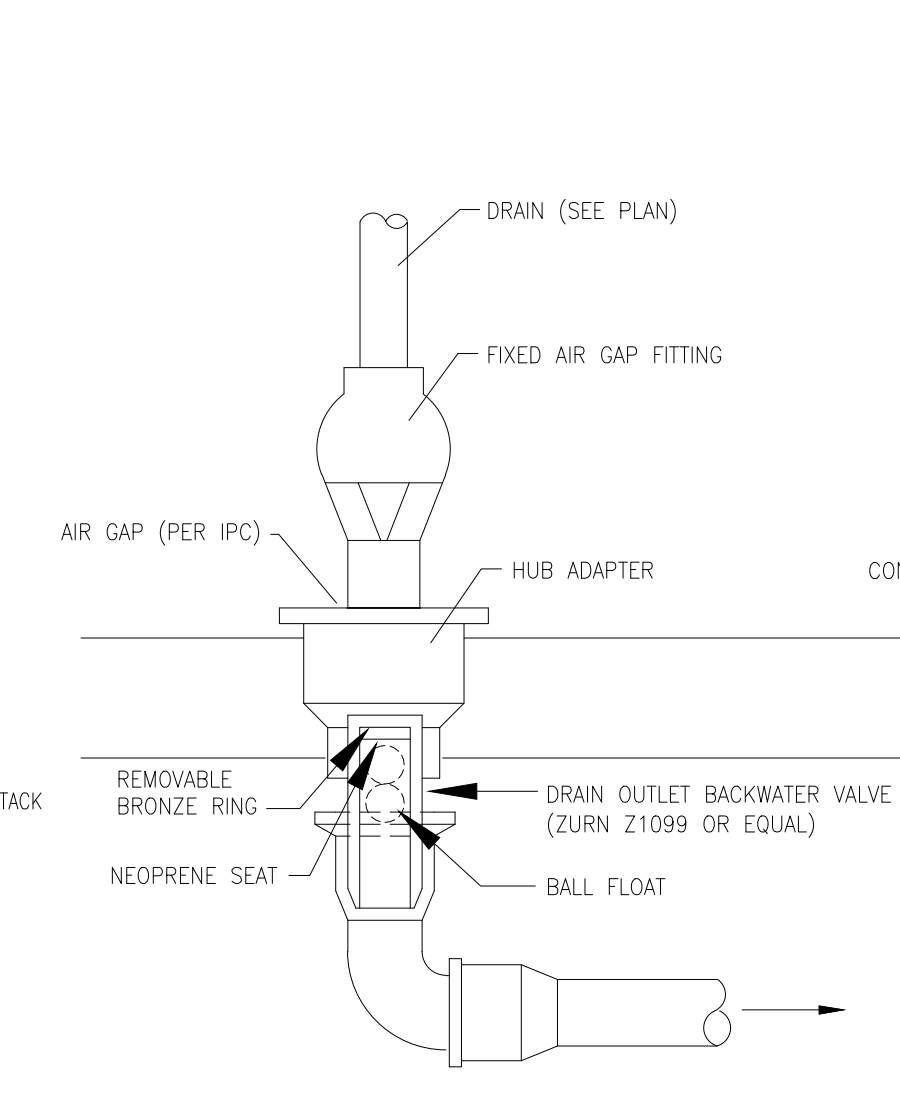
**BUILDING TRAP DETAIL**  
 NTS



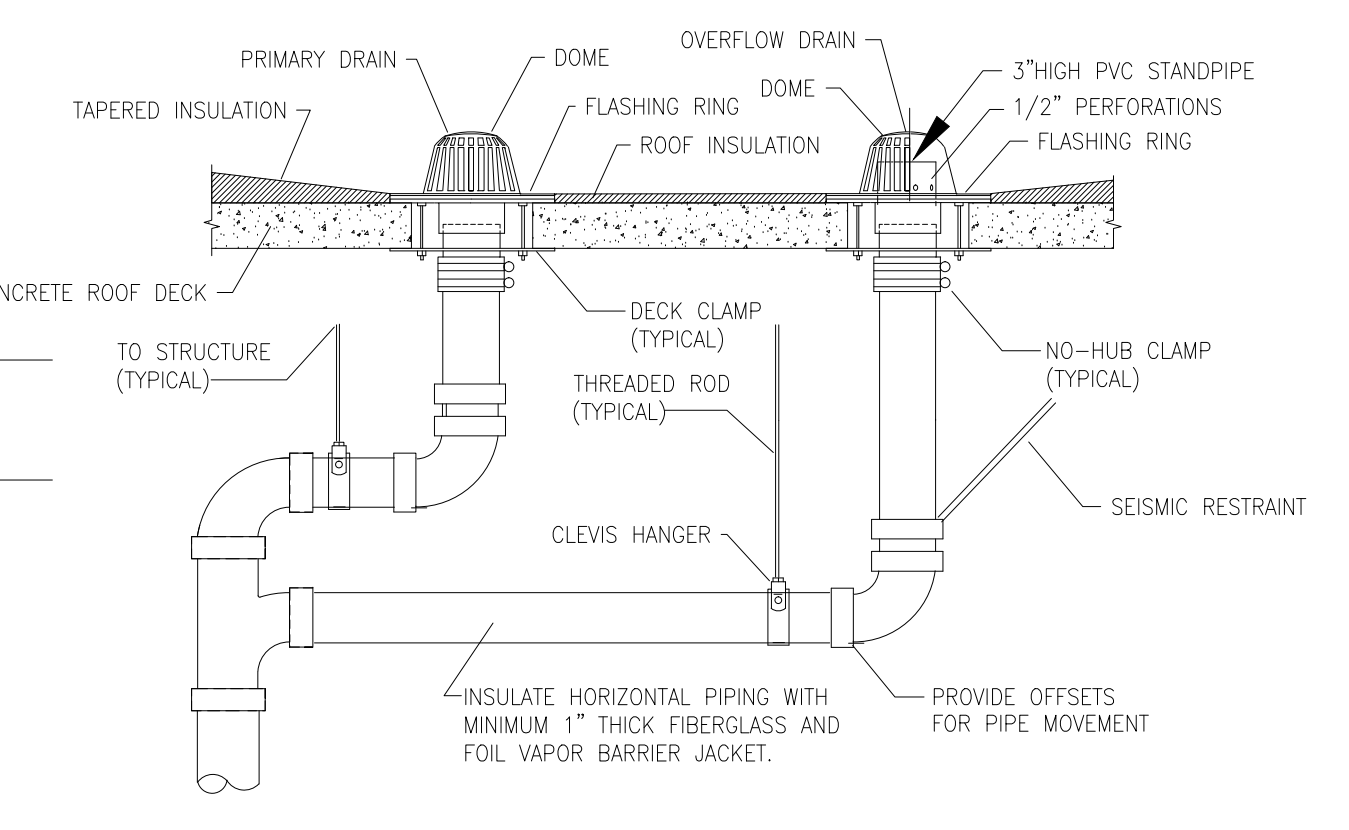
**TRAP PRIMER DETAIL**  
 NO SCALE



**CONDENSATE DRAIN CONNECTION DETAIL**  
 NO SCALE



**OPEN SIGHT DRAIN DETAIL**  
 NO SCALE



**ROOF DRAIN DETAIL - RD1/ORD1**  
 NO SCALE