



# Saunders Bridge



PATTERN BOOK  
*Revised 2026*



This Pattern Book has been created to illustrate the environment and design characteristics for the Lakeside Community of Saunders Bridge. Through illustration and example the subsequent pages are an illustrative tool for the planning and design of the homes and their environment within Saunders Bridge. The principals diagramed and discussed in this book are intended to enhance creativity in order to provide a community of aesthetic uniqueness and value for its residents and visitors.

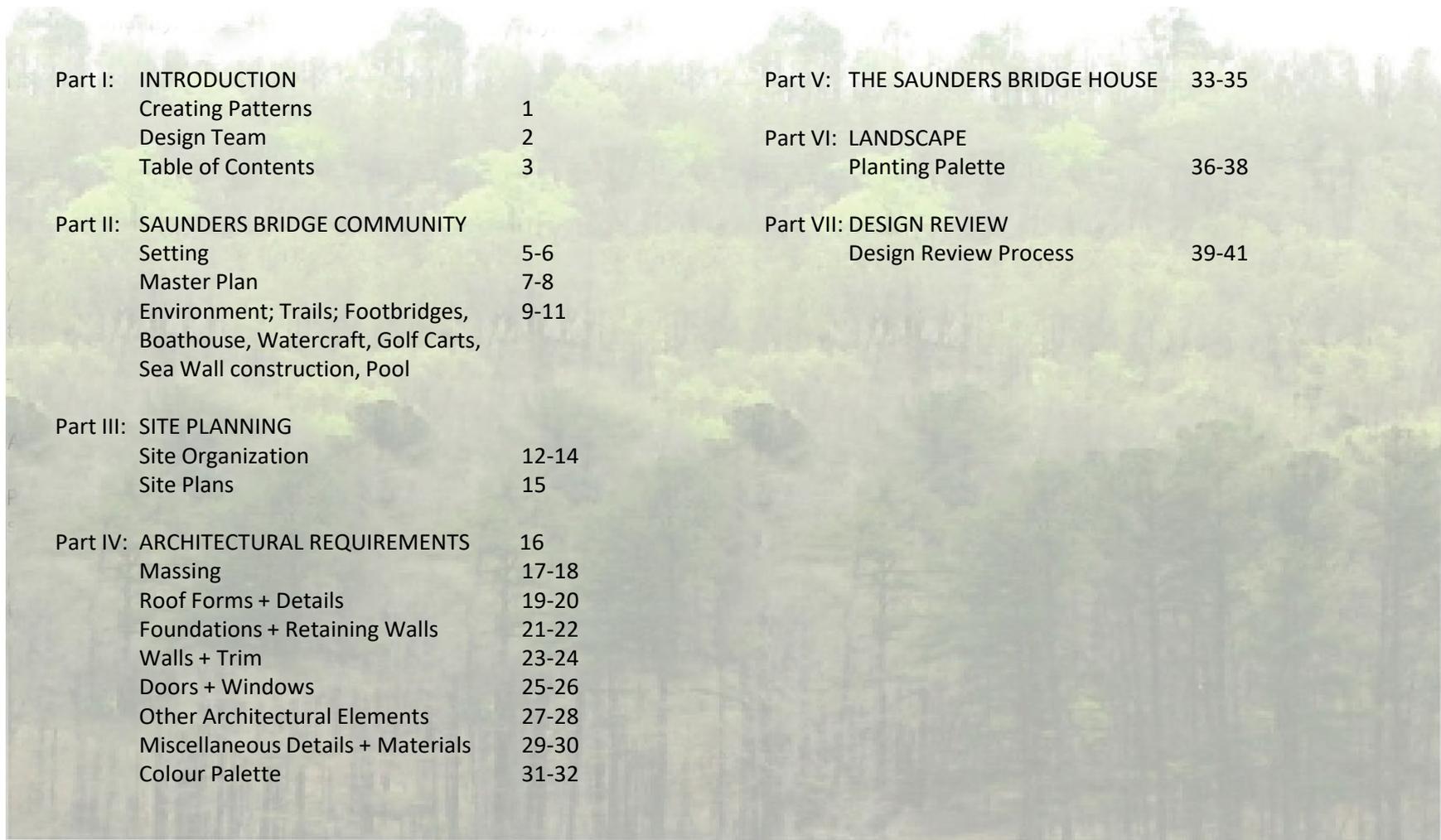
This pattern book presents a compilation of architectural sketches, renderings and text in which the overall community design intent is conveyed along with addressing specific design characteristics. The overall design character of Saunders Bridge is a response to regional and historical precedents fused with today's refined elements to shape the community's homes, gathering spaces, and overall environment. The principals discussed and illustrated are meant to diagram an acceptable architectural and environmental response as a natural outgrowth of the rich beauty of the surrounding lakes and mountains of the Lauralee Valley and Saunders Bridge. Designers are encouraged to explore and expand upon the ideas presented within the Pattern Book and to create individual expressions which will collectively represent a unique and timeless community.

The Pattern Book is broken into seven sections; the first is an Introduction, and the second, the Planning of Saunders Bridge, gives an overview of key planning influences and amenities which will bring life to the Community.

Site Planning and House Types, follow, giving specific information for selected site and building requirements. An example of each home type.

**Saunders Bridge HOA**  
14 Saunders Bridge Circle Box 23  
Sterrett, Alabama 35147





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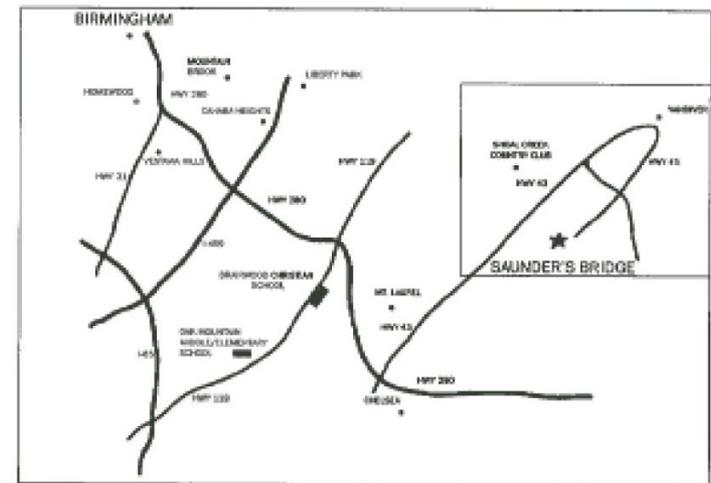
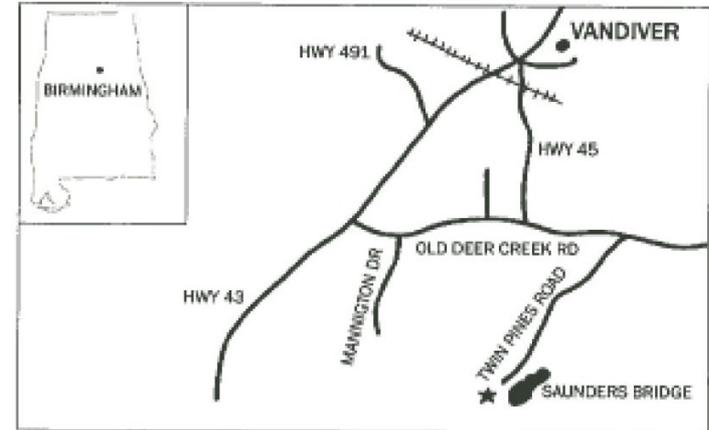


SAUNDERS BRIDGE COMMUNITY

Saunders Bridge is located in the southernmost wrinkle of the Appalachian Mountains and just Southeast of Birmingham, Alabama. Known to locals as Copper Mountain, and the former home of Twin Pines Resort and Conference Center, Saunders Bridge carries on the traditions of this area as it is thoughtfully transformed into a timeless Lakeside Community.

Topography at this 600 Acre Lakeside Community consists of rolling hills and steep mountain slopes that surround Lake Lauralee and smaller surrounding Duck Lake and Hidden Lake. Views from the lakeside and mountainside over the Lake Lauralee Valley display the serene valley landscape comprised of large pines and healthy hardwoods. This varying landscape and terrain allow for a variety of unique homesites that can be tailored for individual character to become a natural outgrowth of the surrounding Saunders Bridge environment.

Winding trails that run throughout Saunders Bridge will allow homeowners and guests enjoyment of the beauty and solitude of this natural setting. These nature trails will connect gathering spaces and homes and run through an iconic historical covered bridge that is a centerpiece of the community. The bridge frames the tranquility of the valley landscape and connects the past with this.



Planning and design considerations for climate and temperature will be encouraged to allow homes and spaces within Saunders Bridge to connect to the outdoor environment. The average winter temperature is 55 degrees and rises to an average of 90 degrees in the summer.

Indoor and outdoor fireplaces and the Community Hearth allow continued use of outdoor spaces during the colder months. The creation of shaded outdoor living spaces, generous roof overhang, and the preservation of the landscape's natural shading canopy also allow.



## THE COMMUNITY

This 600 acre gated Lakeside Community is currently comprised of approximately 10-15 home sites. Each site contains buffers and setbacks which have been created to preserve the natural landscape, maintain privacy and allow access both Lake Lauralee and the mountainside terrain.

Community Structures and Amenities provide homeowners and guests opportunities for hiking, fishing, boating, swimming and tennis.

Additional gathering spaces such as the Community Hearth and the Saunders Barn and Field are also available for outdoor activities and parties.

Conservation Easements provide abundant untouched land available for hiking, biking, and other recreational use. Because no permanent

structures will ever be built in these areas, residents will always be able to enjoy the pure landscape at Saunders Bridge.

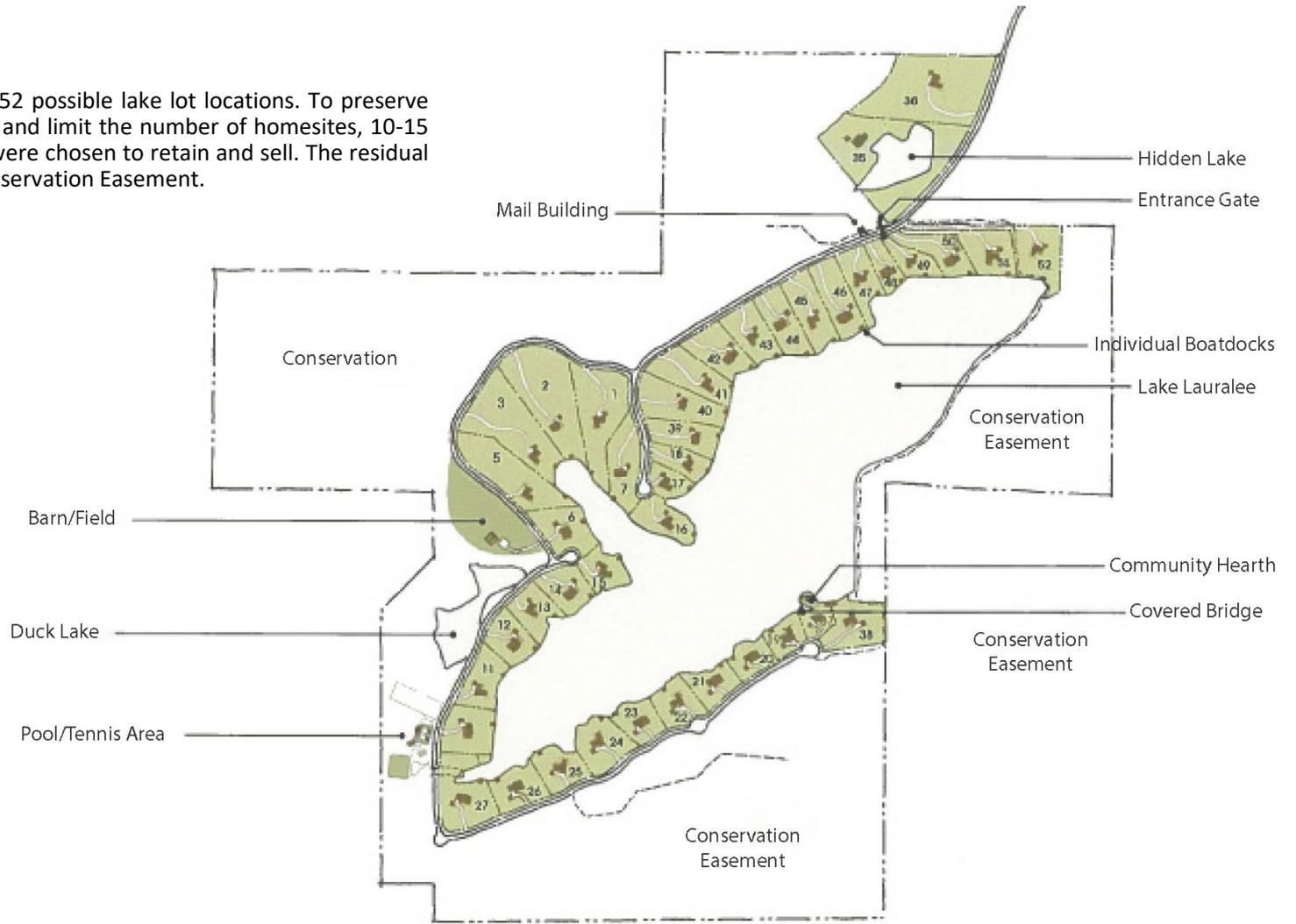
Saunders Bridge Homeowners Association has retained Southeastern Pond Management to ensure that Lake Lauralee is a world class fishing lake. The Lake is stocked with bass and bream to create conditions for trophy bass. The lake had been designed to create fishing habitats that will be enjoyable for all levels of fishing enthusiasts.

Saunders Bridge Homeowners Association employs a full time caretaker to maintain the grounds at Saunders Bridge.



### MASTER PLAN

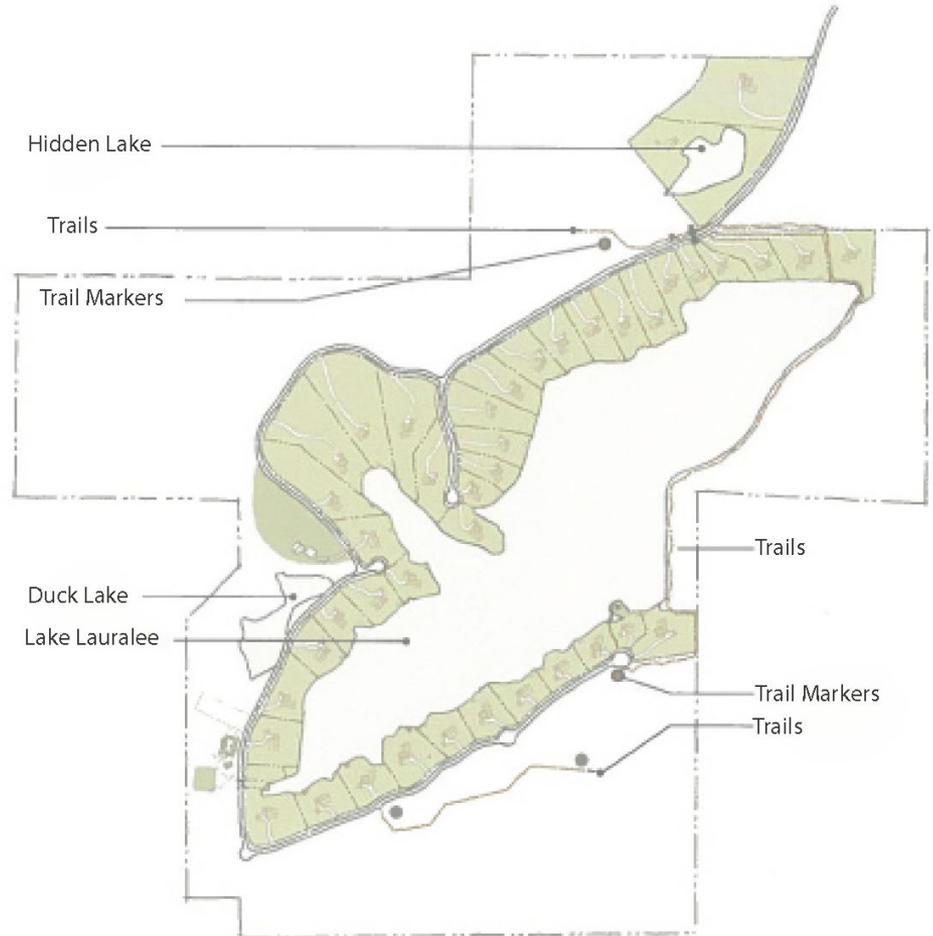
Originally there were 52 possible lake lot locations. To preserve the natural landscape and limit the number of homesites, 10-15 of the best locations were chosen to retain and sell. The residual lots being place in Conservation Easement.



## TRAILS

The nature trails that wind through Saunders Bridge extend from the entrance gate around the lake and up to the mountain ridges. Homeowners and guests will experience a variety of trails that allow them to take a leisurely walk to enjoy the changes in scenery or an invigorating jaunt that climbs the steep mountain slopes.

The trails throughout Saunders Bridge will be left a natural material of wood chips, bark, crushed stone or pea gravel. Stone or wood timbers will be used to transition steep slopes and changes in grade levels.



## FOOTBRIDGES

Footbridges span across lakes, streams and ravines along the nature trails.

The bridges range in size from the larger bridges that will connect the trails to the boathouse, the fishing bridge and the covered bridge.

Structures and benches providing shaded areas for sitting will create places for gathering, fishing or just relaxing.



## BOATHOUSES

To preserve the simplicity of the water's edge at Saunders Bridge, individual boathouses must meet the following design criteria as well as Architectural Requirements illustrated in this Pattern Book.

- An Individual boathouse may accommodate up to two personal watercrafts. Refer to the Covenants and Restrictions for maximum permitted boat lengths.
- An enclosed primary form may house a single personal watercraft and a secondary additive form may be used for one of the following; a secondary enclosed area for a smaller watercraft, an outdoor covered lakeside porch, or additional enclosed storage or conditioned space.
- The primary enclosed form may not exceed 450 sq.ft. And the secondary additive form may not exceed 150sq.ft.
- A maximum 250 sq. ft. deck/terrace attached to the boathouse is permitted. Finished Deck Elevation shall not exceed 18"above water level.
- The maximum overall building height shall be between sixteen (16) and seventeen (17)feet above Finished Deck Elevation.
- Boathouses shall have a maximum plate height of ten (10) ft. above Finish Deck Elevation.
- Screening used for ventilation is encouraged.
- Storage areas for boating supplies & equipment must be provided within boathouses. Storage enclosures, supplies, and equipment are not permitted on decks and/or open porches.
- Automatic Garage doors, stained or painted wood, are permitted for use on boathouses.
- Lifts for boats are permitted within enclosed structures.
- Boathouses may be located within the lakeside Managed
- Boathouse location has to be pre-approved by ARC.
- Stone at base of boathouse is to match the spec stone sea wall on all boathouses for unity in appearance.

## PIERS

- All piers to be constructed of wood or a composite product. Sylvanix Elite Collection- Tropical Gold only one approved.

- No water sports vehicles are allowed to be stored on piers.
- Proposed dock location/size/design must be submitted to ARC for consideration.

## WATERCRAFT

To control both noise and congestion, restrictions have been placed on powered watercraft at Saunders Bridge. Refer to the Covenants and Restrictions for detailed information on operating powered watercraft in Lake Lauralee.

- No wake boats
- No wake surfing
- Extended boating time from 6:00pm to 8:00pm

## GOLF CARTS

Electric Carts/Bikes ONLY! (**Exception** HOA Maintenance Vehicles)

## SEA WALL CONSTRUCTION

- Sea walls are not required. If owner desires a sea wall it **MUST** conform to the design standard, as existing sea wall on Lot 16 & Lot 24 (including construction materials and color).
- Sea wall must be submitted to ARC for consideration.

## POOL

- Pool Rules posted in Pool Area
- Notification and booking required for large homeowner/guest parties (see HOA coordinator).

## TRAILERS/RV's

- Buyer understands and agrees the **NO** trailers are allowed or stored on any lots within Sunders Bridge. Examples are (but not limited to) boats, RV's, and utility trailers.

## PETS

- All pets must be on leash when off owner's property. Please clean up after pets in common areas.

The following are site characteristics for determining placement of homes and site use.

### NATURAL BUFFER (NB)

The NB is commonly located along the sides of most home sites and at the rear of mountainside. Tree and plant life located in this zone cannot be removed. Site Improvements or Construction is not allowed within this buffer.

### MANAGED NATURAL BUFFER (MNB)

The MNB is commonly located along the street front of each lot and along the lakefront of the lakeside lots. This buffer allows for plant life to be “managed”, but highly discourages trees from being removed from this area. If required, only 15% of the trees in this zone can be removed. Approval for removal of trees must be submitted to Design Review Board before proceeding. Minimal landscaping is encouraged in this area. Site Improvements or Construction is not allowed within this buffer with the exception of a 12' wide driveway corridor and a boathouse on the lake side.

### ALLOWABLE BUILDING AREA(ABA)

All construction including, but not limited to, the building footprint, carriage houses, parking structures, parking areas, pools & spas, secondary buildings/ structures, septic systems, decks and terraces must be confined within this zone unless noted as an exception in other buffers.

### ARC DUTIES

The ARC will continue its role of reviewing plans and submittals for compliance with the Design Guidelines. Moving forward, when a design item is approved upon review by the ARC that is not within the design guideline approval limits, the item(s) will be sent to a final vote by the HOA Board.

### HOA ENFORCEMENT

Starting January 1, 2025, all new lot sales contracts must include a written requirement that construction of the home must begin within 12 months of the lot closing date and be completed within 18 months of the closing date. If construction has not begun within the required 12-month period, the HOA will assess a \$1,000 per month fee per lot beginning at the end of the 12-month deadline and continuing until construction has started.

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## PROPANE TANKS

- MUST be buried underground (out of site)

## DRAINAGE EASEMENT

Easements placed on certain lots to allow for storm water management through the use of a shallow swale. Refer to legal property descriptions and plats for specific lots, easement sizes and easement requirements. Any alterations within this easement, including, but not limited to, planting or removing vegetation, filling in or removing earth, are not permitted.

## NATURE TRAIL EASEMENT

Easement through specified lots to allow the passage of the nature trail. Refer to legal property descriptions and plats for specific lots, easement sizes and easement requirements.

## SEPTIC SYSTEM

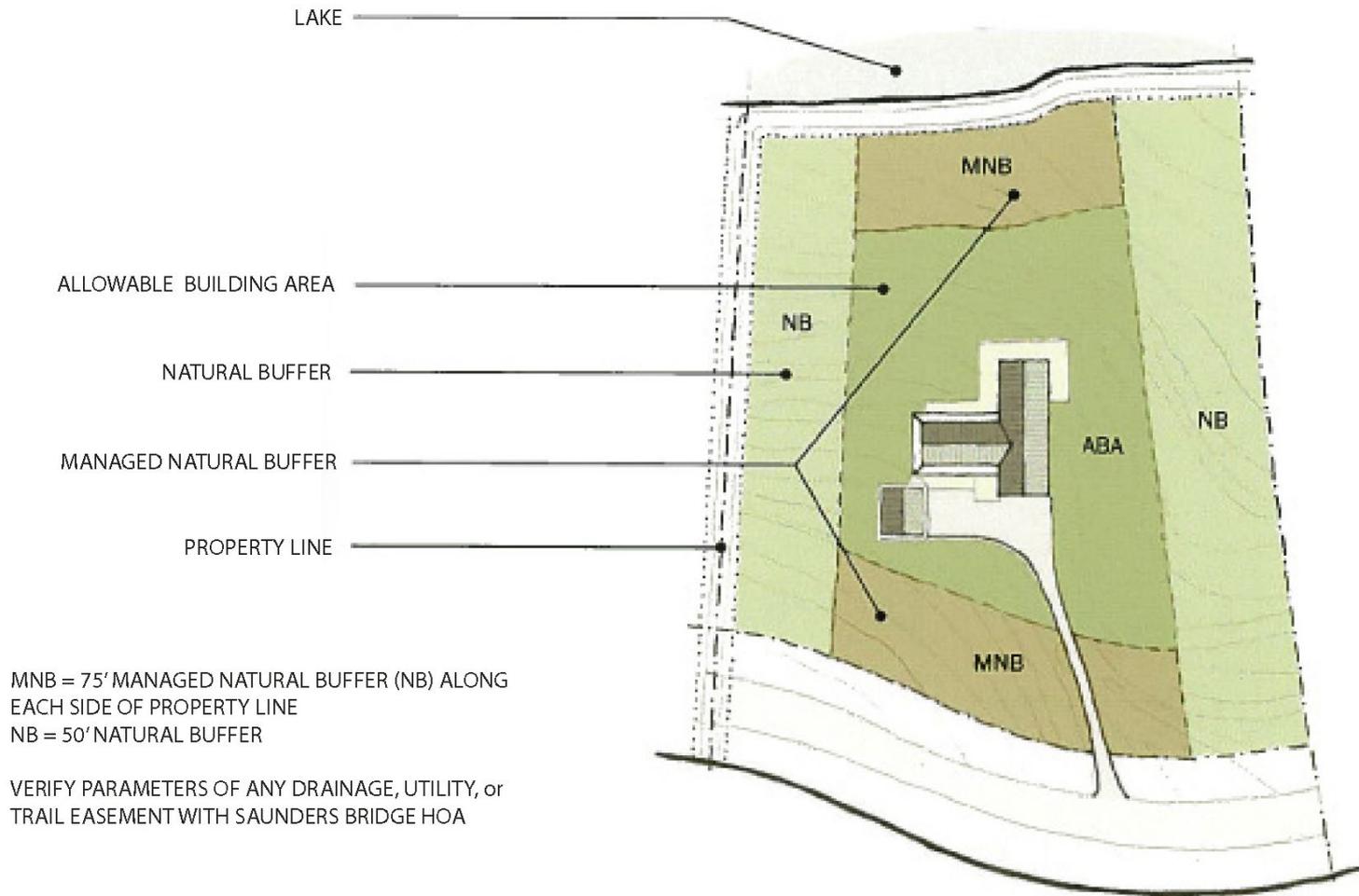
All systems, components and tests must be designed and installed by qualified licensed professionals and must strictly adhere to the most updated state, county and local Department of Health Standards and Requirements. Septic systems, including leach fields, are to be located within the Allowable Building Area (ABA) zone. If conditions do not allow for the location to be within the ABA a request must be submitted to the Design Review Board for a variance before proceeding.

## PARKING AREA

Non-enclosed area where vehicles are parked within the Allowable Building Area (ABA) zone. Parking Areas are not allowed outside the ABA.

## DRIVEWAY

- Maximum 14' wide area used for moving vehicular traffic from the road to the parking area and parking structure (i.e.- carriage house, parking trellis).
- Driveways must be asphalt from street to immediate house area (courtyard), with house area to be approved pea gravel and/or concrete impregnated pea gravel.
- Only one individual driveway per homesite is permitted. NO double driveways from homesite into main road.



MNB = 75' MANAGED NATURAL BUFFER (NB) ALONG EACH SIDE OF PROPERTY LINE  
NB = 50' NATURAL BUFFER

VERIFY PARAMETERS OF ANY DRAINAGE, UTILITY, or TRAIL EASEMENT WITH SAUNDERS BRIDGE HOA

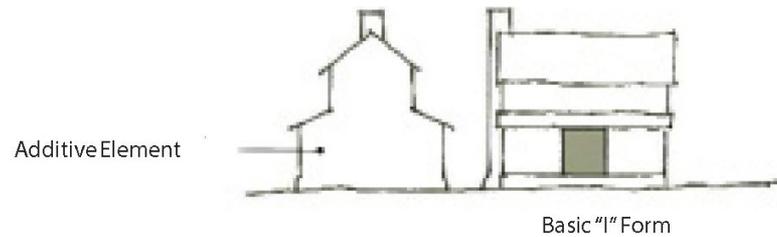
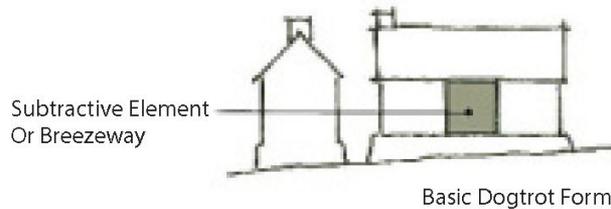
THE SAUNDERS BRIDGE HOUSE



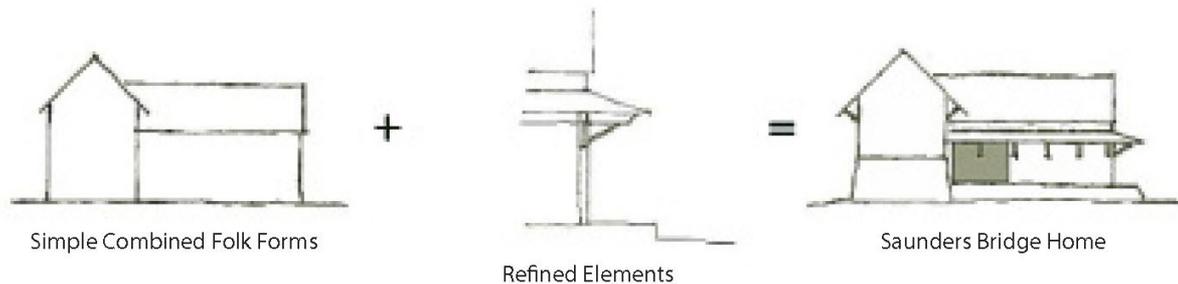


## SIMPLE GEOMETRY/ FOLK FORMS

- Massing shall be simple forms inspired by early Alabama vernacular architecture.
- A variety of subtractive and additive elements are also encouraged.
- Breezeways connecting detached elements allow views through the house.
- Massing size, form and shape shall be indicative of interior function.
- Detached forms/Outbuildings are encouraged and shall be a minimum of 12' from the main building. Covered connectors may be used.



- Architectural building forms at Saunders Bridge shall be a fusion of simple folk or vernacular forms and present day architectural refinement.



## PORCHES + BREEZEWAYS

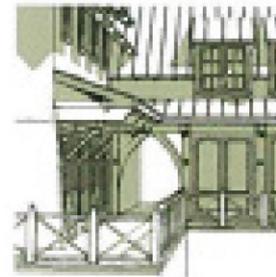
- A combination of additive and subtractive porches and shaded areas are encouraged.
- A minimum of one covered furnishable, outdoor living porch with a minimum depth of 10' and a minimum width of 14' is required. Wrap around porches are permitted and must meet minimum dimensions on at least one side.
- Additive porches shall have a minimum 6' depth.
- Outdoor Living Porches may be open air or screened.
- Screens must be framed within or behind porch structural elements and shall be non-reflective.
- Porches are encouraged to connect detached forms to create view portals.
- Porch structure shall be constructed of either wood or stone. Wood posts shall be a minimum of 8"x8".
- Classical or Ornamental Columns, Pilasters, and Arches are not permitted.



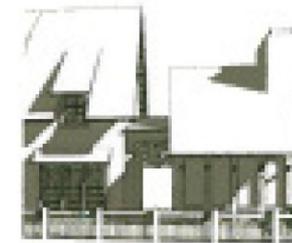
Additive Porch



Subtractive Porch



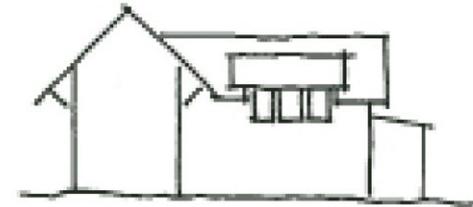
Breezeway



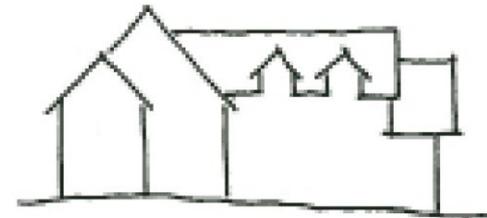
Connective Porch

## COMPOSITION

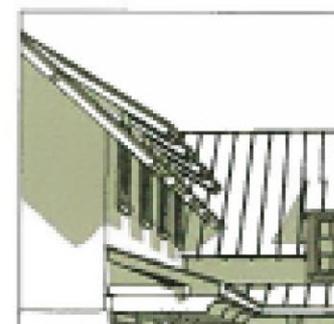
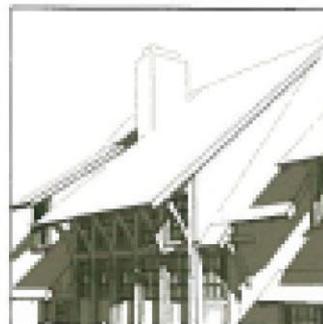
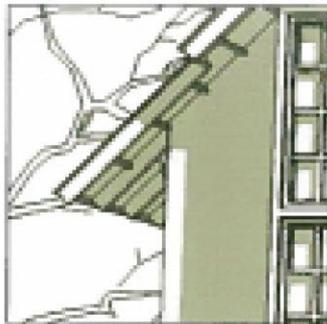
- Simple gabled roof forms are encouraged on all principal roofs.
- Primary roof slopes shall be between 10/12 and 14/12.
- Shed dormers and roofs used as additions to primary gable forms are also encouraged.
- Ancillary or additive shed slopes shall be between 3/12 and 6/12. Shed roof dormers shall be between 6/12 and 10/12.
- Dormers may be used to either create habitable space at a second story level or provide additional light to a single story level.
- Decorative dormers and punched roof openings, such as skylights, are prohibited.
- Flat roofs are not permitted.
- Stacked gables or roofs which add unnecessary complexity to roof forms are not permitted.



DO



DON'T



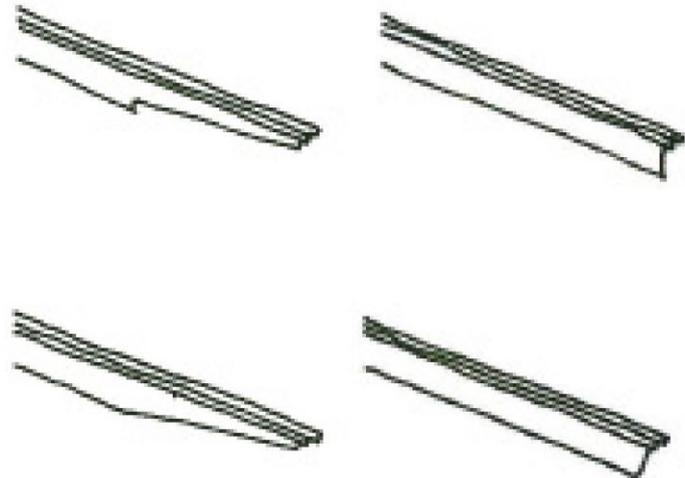
## EAVES + RAKES

- Roof eaves on all building forms shall be continuous to enhance the simplicity of form but may be broken at dormers or extended for balconies or porches.
- Roofs may either have shallow eave overhangs, 10" to 16", or deep overhangs, 32" to 40". Deep overhangs are encouraged at roofs to shade walls with abundant glazing or serve to provide cover or shade below.
- Exposed structural roof members including beams, purlins, rafters, etc, are encouraged.
- Simple rafter detail as show is encouraged.



## MATERIALS + COLORS

- Roofs may be finished in the following materials: slate, natural wood shingles, or standing seam metal or **approved** slate or shingles composite.
- Roof materials selections should be natural in finish.
- Gutters shall be half round and made of Galvalume, prefinished dark bronze aluminum, copper or galvanized steel. Downspouts shall be round and of the same material. O.G. shaped gutters are not permitted.
- Wood roof elements such as rafters, soffit board, trim, etc. will be painted or stained. Selections shall be made from the Approved Color Palette.
- Flashing shall be copper or anodized aluminium.
- All roofs must be submitted to ARC for consideration.

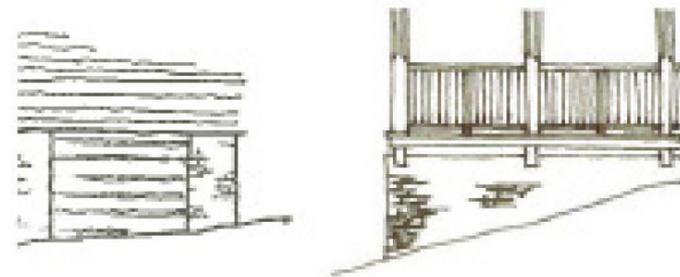
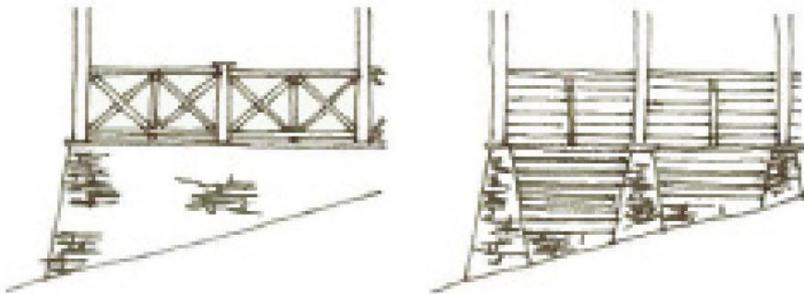


## COMPOSITION

- A predominantly solid massing for foundations and retaining walls is encouraged.
- Foundations and retaining walls may be straight or tapered.
- Foundation piers shall not be less than 18" (measured at narrow width if tapered)
- Elevated/Open areas between piers in foundations shall be enclosed by horizontal wood boards or slats with spaces between members not larger than 1 1/2" or smaller than 3/4".
- Retaining walls shall be used to minimize the effect of cutting and filling. Site design showing parameters of cutting, filling and terraces shall be submitted in the Design Review Process.
- Foundations fronting the street side shall be solid in massing.
- Open foundations are not permitted.
- Arched foundation openings are discouraged.
- Stone caps shall be allowed on retaining walls.

## MATERIALS

- Wall, Pier, and Pile foundation finishes shall be natural stone or smooth-finished poured concrete. All Sea Wall construction to be same as Lot 16 (1200 Twin Pines Rd, Sterrett, AL) Color and Design.
- Retaining Walls shall also be natural stone, smooth- finished poured concrete or rough cut timbers.
- Pre-cast or site-cast stone or concrete caps are required on all retaining walls.



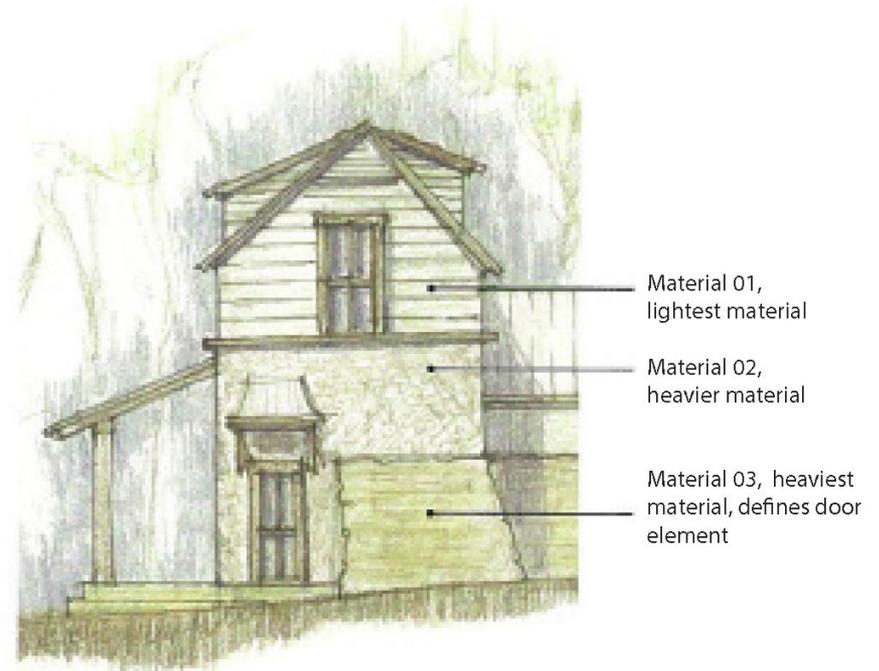
## TERRACES

- Terraces are encouraged to “step” in response to site topography.
- The use of terracing to create outdoor living spaces is encouraged.
- Review maximum allowable terrace square footages and wall heights for individual house types.



### COMPOSITION

- Building Walls shall be constructed of up to three materials and most commonly change materials along horizontal lines with the heavier materials below the lighter.
- Pattern and material changes should also be used to define forms and design elements.
- Predominately glazed building walls are encouraged at key views.
- Wood Siding shall be exposed a minimum of 4" and a maximum of 8".
- Careful consideration should be given to the transition from walls to foundation.
- Material changes which occur between different building forms are encouraged.



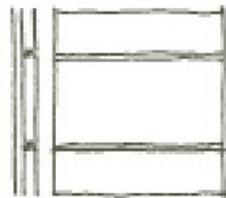
## MATERIALS + COLORS

Acceptable Wall Finishes include:

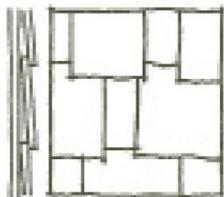
- Painted or stained wood siding including tongue and groove, lap board siding, wood shingles and board and batten. Rough sawn siding and stain are preferred over paint.
- Approved exterior house finish materials: Natural Stone, Stucco, Hardie Board (including simulated wood grain).
- Wall materials and trim will be stained natural or painted a color found on the **Approved Color Palette**. No simulated wood grain siding shall be permitted.
- ARC must have an exterior mock-up with completed roof, window frame, exterior base, exterior siding and paint colors for review.



Lap Board



Tongue and Groove



Wood Shingles



Board and Batten

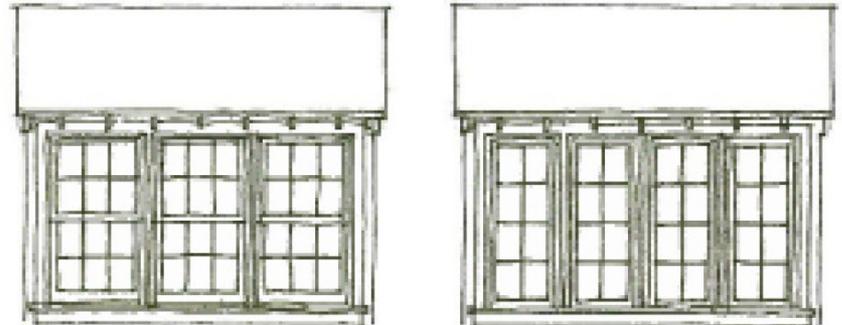
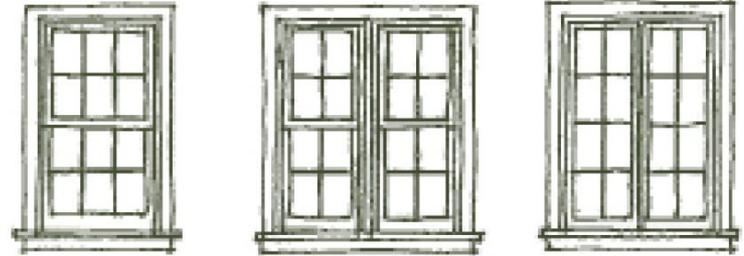
## TRIM

- Wood trim shall be in proportion and scale to openings and should be used in a simple manor.
- Wood trim at corners shall be a maximum of 6”.
- Decorative trim and moldings are discouraged.
- Wood trim shall protrude a minimum of width past the edge of adjacent siding.



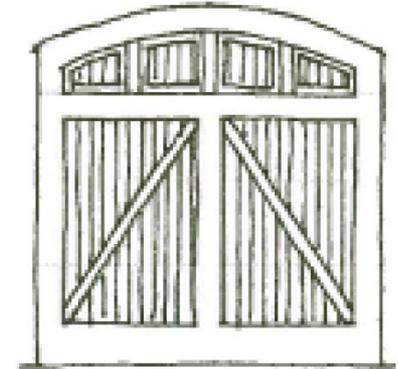
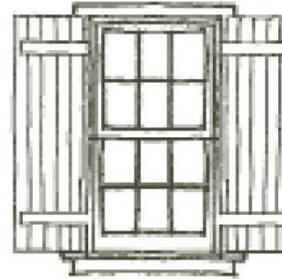
## COMPOSITION

- Windows shall be rectangular, vertically proportioned, and simply detailed. Circular windows shall be considered by the ARC Board.
- Wood casement and double hung windows are encouraged.
- Large grouped openings framing key views are encouraged. Multiple windows in grouped openings shall be separated by a 4" wood post or trim at minimum.
- Window mounts shall be true divided or fixed in the interior and exterior surfaces and will be square or vertical in proportion.
- Traditional proportioning of window mounts in a 2/3 or 1 to 1 proportion are encouraged.
- Windows shall occupy a minimum of 2/3 of a dormer's width.
- French doors and doors combined with transoms are encouraged.
- Garage doors are to be a maximum of 9ft. in width. A maximum of 2 garage doors may occur together in a single volume.
- Sliding glass doors with muntins are approved.
- Windows without muntins are not approved.
- Solid wood double entry doors are not permitted.
- Transoms over windows are discouraged. Arched and eyebrow windows are prohibited.
- All elevations should be given equal attention to window and door composition.



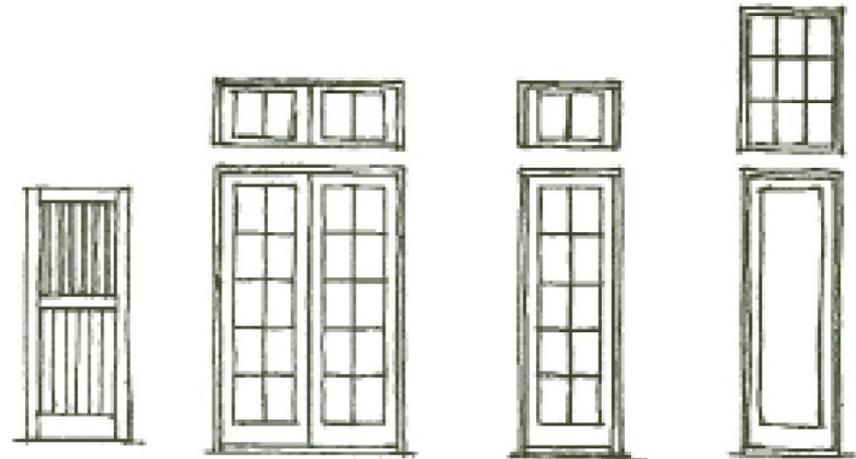
## MATERIALS + COLORS

- Windows shall be wood or clad and glazed with clear glass. All windows should be painted.
- Doors shall be constructed of wood.
- Screen doors and wood frames shall be painted or stained. Screens shall be integral to window and made of either bronze or black vinyl.
- All window and door trim colors must be selected from the Approved Color Palette.



## SHUTTERS

- Wood shutters must be operable, mounted directly to window casing, and one-half the width of the window opening.
- Shutters shall be stained or painted.
- Shutters shall be square-edge paneled or board and frame.
- Louvered and Bahama shutters are discouraged.
- Single shutter shall be approved when deemed appropriate by the ARC.



### COMPOSITION

- Parking structures/Carriage Houses will follow all illustrated architectural guidelines.
- Parking structures/Carriage Houses shall be in the same character as the main building and should use complementary materials, colors, and detailing as the main house.
- Separate or detached parking structures are encouraged. A minimum of 12' distance is required from the main house.
- A separate living space may be placed above a parking structure and accessed with exterior stairs.
- Porches and balconies at carriage houses are encouraged.
- A maximum of 2 garage doors may occur in the same building
- Form. A maximum single car garage shall be 14'x24'. A maximum double car garage may be 28'x24'.
- Parking structures attached to the main house are not permitted.
- Side entry garage doors are required. Garage doors facing the lakeside or street are not permitted.
- Each garage door shall be a maximum of 9' in width. Double wide garage doors are not permitted.
- Garage doors shall be stained or painted wood. In addition to wood doors, Clopay Steel + Composite Overlay is also allowed.



Carriage House Side & Front Elevation

### TRASH ENCLOSURES

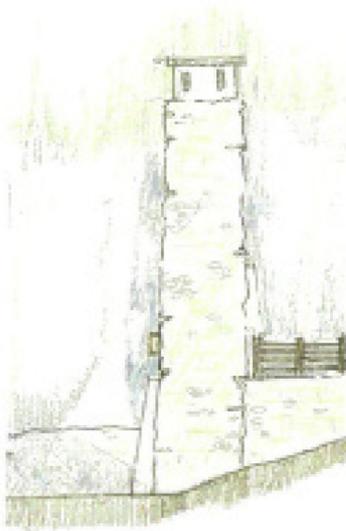
- Trash enclosures shall not be visible from the street or lakeside.
- Trash enclosures are required and shall be placed in close proximity to the main house. Trash enclosures along streets are not permitted.

### SPAS

- Above ground spas approved on a case-by-case basis **when hidden from view.**

## FIREPLACES + CHIMNEYS

- A minimum of one (1) fireplace is required at every Saunders Bridge home.
- Outdoor fireplaces are encouraged.
- Fireplaces/Chimneys must be faced with natural stone, stucco, or smooth-finished concrete.
- Fireplace chimneys and enclosures shall extend to the ground.
- Metal flu escapes **not permitted**.
- All fireplaces must be constructed in block framing vs. stick framing to support the stone exterior and cap that are required in the design book.



## FENCES + GARDEN WALLS

- With the exception of pools, which will meet local code requirements for fencing, is discouraged.
- Fencing used to enclose a small dog run for pets is allowed but must not exceed 1000 square feet.
- Property buffers have been created to reduce the need for property line fences. Where barriers are desired, a height of 18" must not be exceeded. Property barriers shall be constructed of stone.
- Fences are allowed within the allowable building area only.
- Fences/Gardens Walls shall have a maximum height of 4'-6" and must be constructed of wood or stone.
- Gates shall be constructed of wood.

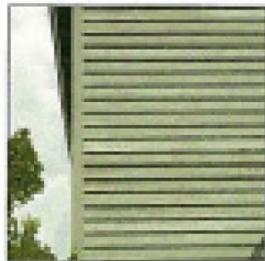
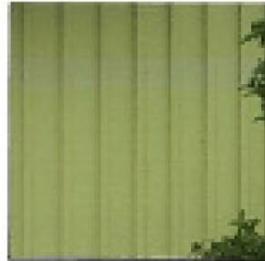
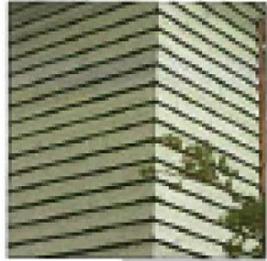
## BALCONIES + RAILINGS

- Balconies are to be constructed primarily of wood.
- Iron railing, precast stone, and other ornamental detailing on balconies are not permitted.
- Acceptable railing materials include wood or steel cable railing.
- Balconies shall have a minimum depth of three (3) feet and a maximum depth of five (5) feet.
- Balconies shall be structurally supported by brackets or tapered beams.
- Repetitive arched openings are not permitted.

### ADDITIONAL REQUIREMENTS

- Metal structured awnings covered with canvas are not permitted.
- Metal elements shall be natural in finish.
- Classical Columns and Arches are not permitted.
- Exterior lighting fixtures shall have the following requirements; 40 watt maximum incandescent lamping or equivalent at each main house fixture and parking structure fixture, and a 25 watt maximum incandescent lamping or equivalent at gate openings.
- If used, fluorescent lamping bulbs shall be 27k in color and an equivalent intensity to indicated incandescent lamping.
- Elevated buildings with solid foundations shall have undercroft openings for ventilation and drainage. Number and size of openings shall be in proportion with the building wall.
- The following items are subject to review by the Design Review Board; Stone and shingle selections and colors, fence design, exterior lighting fixtures, arbors, trellises, hardscape, landscape, terrace design, planters, sculptures, pool design, fountains, exterior furniture, spa and pool elements, play structures, signage, and decks.
- Variances to the Architectural Regulations illustrated in this Pattern Book may be granted on the basis of architectural merit.
- Driveway gates shall have a maximum opening of 14'.
- Individual mailboxes are not permitted.
- Outbuildings shall be a minimum of 12' from main building.
- The following items must be located where they are not easily visible from the street, lake, or trails; HVAC Equipment, utility meters, satellite dishes, permanent grills, hot tubs, permanent play equipment, basketball goals, and trash enclosures.
- The following items shall not be permitted: hollow or fiberglass wall caps, stained glass, curved windows, window air conditioning units, exterior neon lights, above ground pools, painted metal roofing, color and material schemes which duplicate adjacent houses, vinyl, glass block, antennas, exterior flood lights, landscape or up lighting, signs (on private property), solid stained shingles, pull down shutters, above ground spas, simulated shingle siding,
- No EIFS or synthetic stucco will be permitted.
- Storm water management. All sites shall submit, for review, a grading and drainage plan design that is designed and certified by a registered civil engineer. The design shall also show erosion control measures during construction.
- Septic System. All sites shall submit, for review, a complete septic system design that is designed and certified by a registered civil engineer.

SAMPLE WOODS



ACCENTS LIGHTS



PAVERS



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The Saunders Bridge color palette consists of natural colors that serve to integrate homes and structures with the natural landscape. The palette has been limited to provide a harmonized relationship between buildings and structures within the lakeside community.

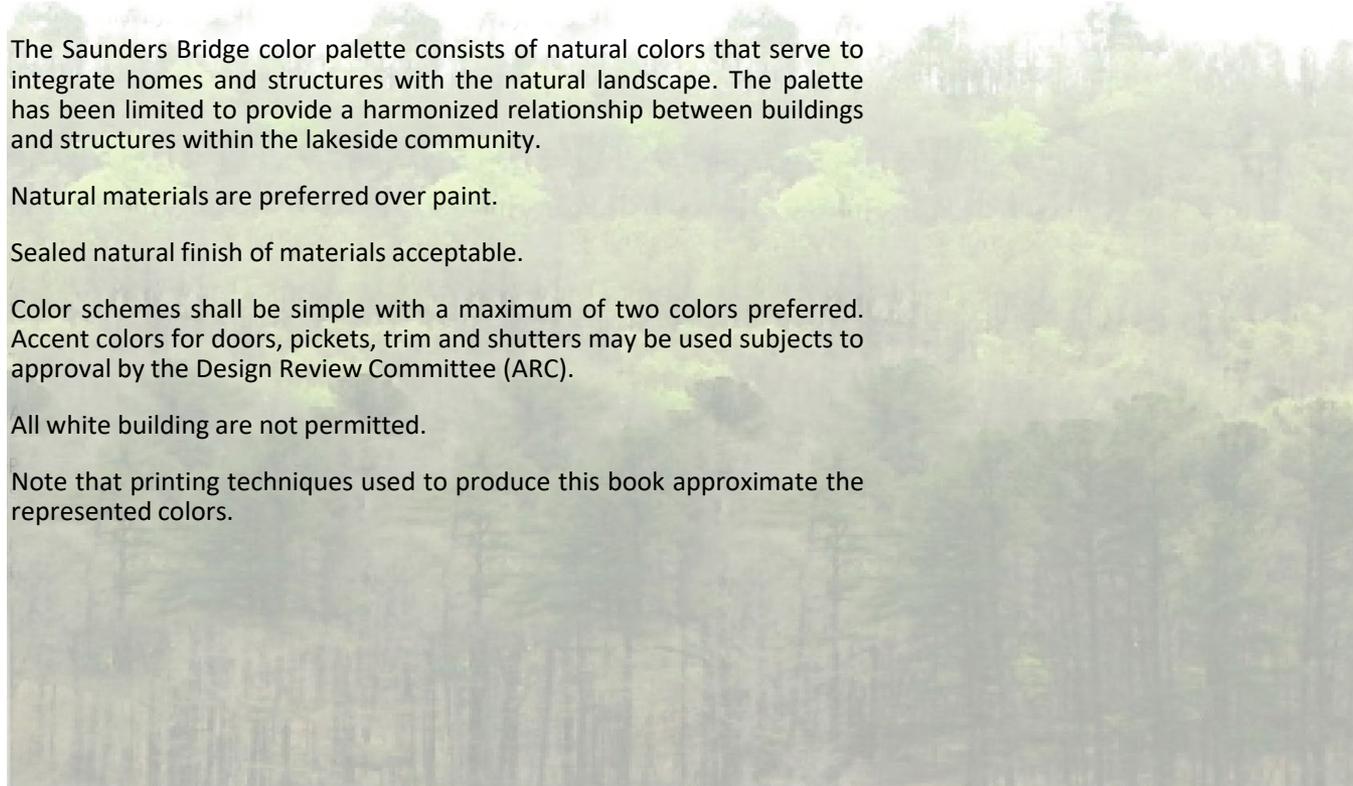
Natural materials are preferred over paint.

Sealed natural finish of materials acceptable.

Color schemes shall be simple with a maximum of two colors preferred. Accent colors for doors, pickets, trim and shutters may be used subjects to approval by the Design Review Committee (ARC).

All white building are not permitted.

Note that printing techniques used to produce this book approximate the represented colors.





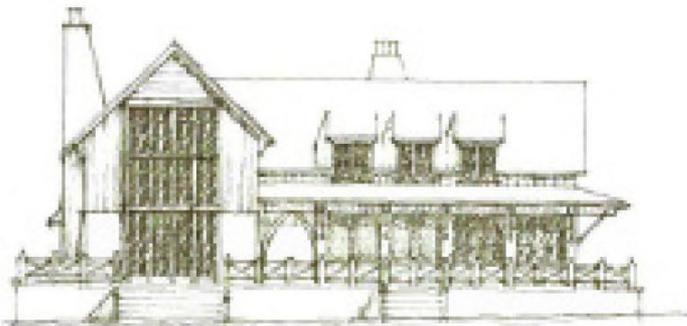
THE SAUNDERS BRIDGE HOUSE

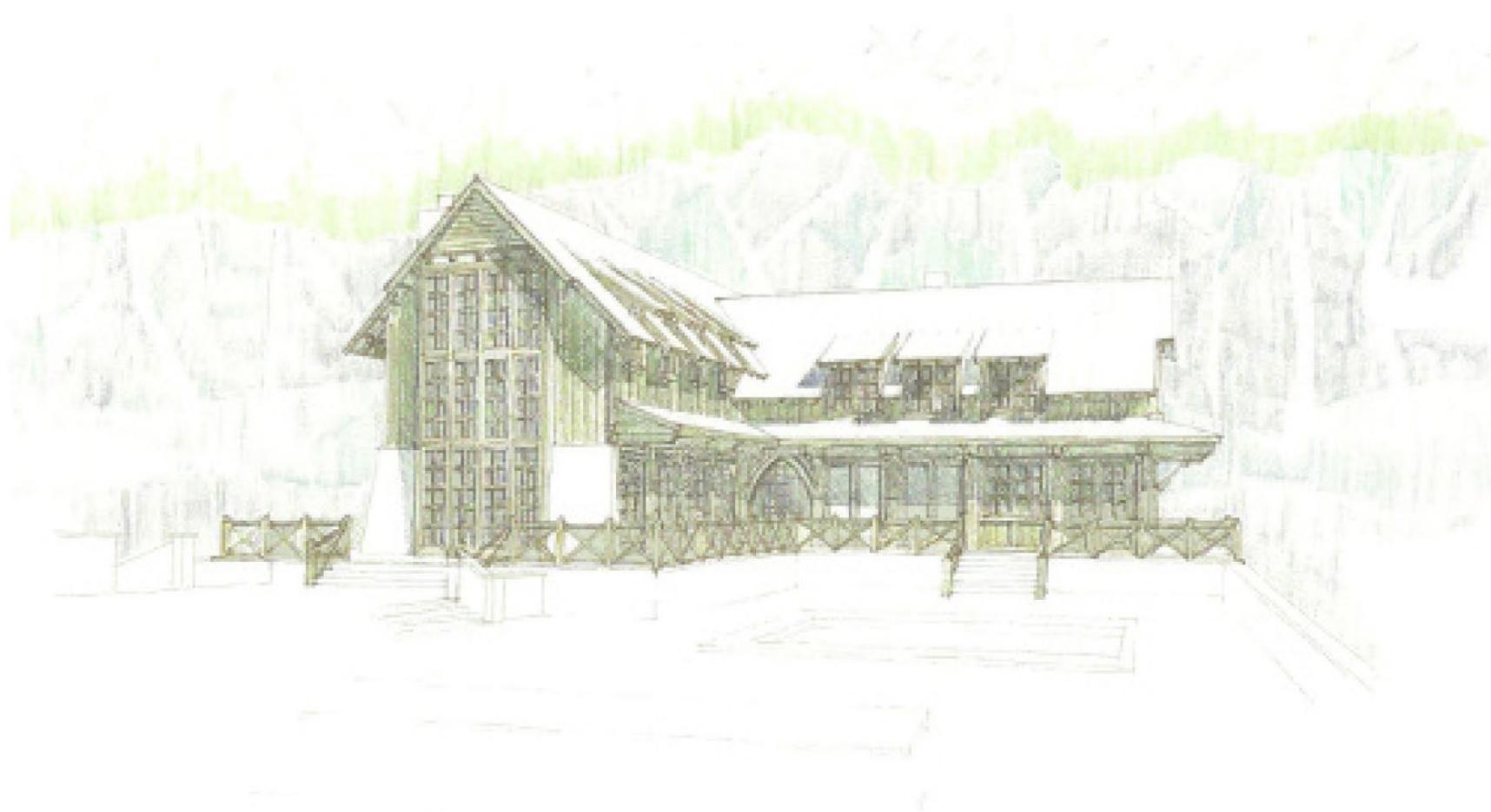
## AREA REQUIREMENTS

- House sizes will be determined by lot sizes and lot configurations. Contact your real estate agent or the ARC Board for details.
- Hardscape areas including paved terraces, pools, and decks not under roof shall have an additional allowable combined coverage maximum of 3000sq. ft.
- Carriage House and Outbuilding sizes shall be approved by ARC. To be determined by the house plans relative to how they blend with the lot.
- Carriage Houses/Parking Structures shall have a maximum upper story plate height of twenty-one (21) ft.
- Building elements, terraces, and porches are encouraged to “step” in response to site topography.
- Foundation walls for primary buildings shall be exposed a minimum of 18” and a maximum of 3’ at shallow end and a maximum of 8’ at steep end.

## HEIGHT

- 50% of the main house may be 2 stories.
- The remainder of the house shall be limited to 1112 stories with a maximum rooftop plate height of 6’-0” above the second floor.
- The maximum overall building height shall not exceed thirty-two (32) ft., measured from the first floor elevation.





THE SAUNDERS BRIDGE HOUSE



### LANDSCAPE VISION

Saunders Bridge strives to use native plants that will aide in the preservation of the natural landscape. Landscaping compliments outdoor living spaces so the community can enjoy the natural environment that Saunders Bridge has to offer. The planting palette lends itself to choices that not only highlight the native landscape, but also require low maintenance and lowered irrigation requirements.

### BUILDING PROCEDURES

In order to maintain and preserve the natural landscape, builders shall be responsible for the following:

- Builders will guarantee that surveying will occur without excessive damage and that all building shall occur within the Allowable Building Area and bound by erosion control measures.
- They shall stake work and access zones and confine clearing with in the ABA.
- They shall supervise the digging of foundations within the building footprint, with excavators using the future driveway, and that access and storage of all building operation will be on the future driveway.
- Building operations will be supervised by the Design Committee until contractor's procedures have been proven effective.

### LANDSCAPE REQUIREMENTS

- Landscaping located outside of fences and building walls shall be protected throughout the course of construction. Scrub areas disturbed during construction shall be restored. Upon completion of construction, all vegetated areas shall be replaced with native plant material per the plant list.
- Outside of terraces, walls, and fences, all landscape areas are to be planted with native plants.

### PATH MATERIALS

- All paths should be constructed of pavers, pea gravel, mulch, stamped or poured concrete stain. Additional materials are acceptable if approved by the Design Review Board.
- The following shall not be permitted: electric bug deterrent systems, segmental retaining wall systems, plastic/vinyl /uncoated aluminium edging, recycled plastic decking, composite decking, lava rock, plastic trellises, astro turf or artificial plant material.

### RAISED PLANTERS

- Native plant material are acceptable for use in raised or freestanding planters. Freestanding planters may occur on both the interior and exterior of terraces and outside offences/walls. Irrigation is highly recommended for plant success in contained gardening. Water spigots are recommended for those areas adjacent to gardens and gardens.

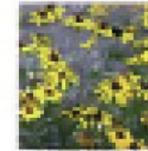
### LANDSCAPING OPTIONS

- OPTION 01- A landscape architect or garden designer is required when interested in creating landscape plans that incorporate elaborate planting and hardscape designs. Plans prepared by a designer are subject to review by the Design Review Board.

- OPTION 02- A landscape contractor may utilize and install

TREES

- Yaupon Holly
- Southern Magnolia
- American Holly
- Red Bud
- Eastern Red Cedar
- Sweet Bay Magnolia
- Loblolly Pine
- Chickasaw Plum
- Southern Red Oak
- Turkey Oak
- Red Maple
- Red Buckeye
- Pignut Hickory
- Mockernut Hickory
- Sugarberry
- White Dogwood
- Persimmon
- Sweetgum
- Blackgum
- Longleaf Pine
- Sycamore
- Water Oak
- Bald Cypress
- Wax Myrtle
- White Frindge Tree



SHRUBS

- Summersweet
- Spicebush
- Sweetspire
- Inkberry
- Firebush
- Beautyberry

PERENNIALS

- Partridge Pea
- Queen Ann's Lace
- Bitterweed
- Swamp Sunflower
- Blue Flag Iris
- Black Eyed Susan
- Yarrow
- Blanketflower
- Milkweed
- Cardinal Flower
- Joe Pye Weed

GRASSES + GROUNG COVERS +VINES

- Jointweed
- Blue Eyed Grass
- Yellow Carolina Jasmine
- Coral Honneysuckle
- Muscadine
- Virginia Creeper



## OVERVIEW

The function of the design review process is to assist in creating and maintaining a community that is harmonious with the architectural characteristics set forth in the Pattern Book.

In reviewing the submitted applications neither TP Development nor Saunders Bridge HOA is responsible for: The structural adequacy, capacity or safety features of the structure and/or improvement, non-compatible or unstable soil conditions, erosion control or other sub-surface conditions, compliance with any or all building codes, safety requirements and governmental laws, regulations or ordinances, the performance or quality of work of any contractor or architect.

The Design Review Process will consist of the following stages, from the beginning of design through construction completion:

- Review Documents
- Sketch Review Submittal
- Construction Document Review Submittal
- Construction Commencement
- Final Inspection
- Minor Changes

## REVIEW DOCUMENTS

1. Pattern Book, Obtain a SB Pattern Book prior to beginning design work.
2. Review Documents, Prior to beginning design, review all Saunders Bridge Covenants and Restrictions, Pattern Book, the Design Review Process, Specific Lot Requirements, Easements, Buffers and all utility locations at the street.

## SKETCH REVIEW

The Sketch Review Submittal shall consist of two (2) sets of the following drawings submitted with a completed Sketch Review Application and associated review fees.

1. Site Plan (Scale 1:50) indicating:
  - a. North arrow
  - b. Property line
  - c. Main and Secondary buildings and or structures with overall building dimensions
  - d. All retaining walls or fences
  - e. Drive and pedestrian paths & materials

- f. Parking areas
- g. Topography
- h. All required setbacks & buffers (dimensioned)
- i. Trash enclosure location
- j. Drainage

### 2. Civil Engineering- Schematic:

- a. Site Section showing position of house, terraces and foundation walls as it relates to existing grade
- b. Stormwater management plan
- c. Grading plan with areas of cut and fill shown
- d. Proposed measures for protecting landscaping
- e. Driveway location
- f. Indicate adjacent trails
- g. Utility connection locations
- h. Septic system layout and initial testing

### 2. Floor Plans (Scale 1/8" or 1/4" =1'-0") including terraces

### 3. Roof Plan (Scale 1/8" or 1/4" =1'-0")

### 4. Exterior Elevations (Scale 1/8" or 1/4" =1'-0") indicating

- a. All Sides of home and detached structures
- b. Porches, balconies, and terraces
- c. Roof pitch
- d. All principal materials
- e. Existing grade, finish grade, and height of each floor
- f. Windows and doors
- g. Total height of house measured for Finish Floor

5. Variance Requests, If any, submit a description and justification based on merit or hardship.

## CONSTRUCTION DOCUMENT REVIEW

A Construction Document Review submittal shall consist of two (2) sets of the following drawings submitted with a completed Construction Document Review Application.

1. Sketch Review Application - Stamped approved
2. Site Plan (Scale 1:50) indicating all information required in the Sketch Submittal
3. Civil Engineering
  - a. Site Section showing position of house, terraces and foundation walls as it relates to existing grade
  - b. Storm water management plan
  - c. Grading plan with areas of cut and fill shown
  - d. Proposed measures for protecting landscaping
  - e. Driveway location
  - f. Indicate adjacent trails
  - g. Utility connection locations
  - h. Septic system
4. Foundation Plan, (Scale 1/8" or 1/4" =1'-0")
5. Floor Plans, (Scale 1/8" or 1/4" =1'-0") indicating;;
  - a. Room labels and fully dimensioned floor plans
  - b. All overhangs of roofs and balconies dashed on plans.
  - c. Provide Sq. Ft. Areas as outlined on Construction Document Review Application
6. Roof Plan, (Scale 1/8" or 1/4" =1'-0")
7. Exterior Elevations (Scale 1/8" or 1/4" =1'-0") indicating all information required in the Sketch Submittal Review plus;
  - A. Exposed Structural Connections
8. Typical Wall Section, (Scale 3/4" or 1W' =1'-0")

9. Details including:

- a. Chimney construction
- b. Guardrail and Handrail details
- c. Eaves
- d. Porches and Balconies
- e. Louvers and Vents
- f. Exterior lighting plan (with cut sheets of lights)
- g. Other requested details.

10. Material and Finishes List

11. Exterior Color Scheme (Attached two (2) sets of manufacturer color chips, material color)

12. Landscape Plan

13. Variance Requests, if any, submit a description and justification based on merit or hardship

## CONSTRUCTION COMMENCEMENT

1. Obtain Building Information Packet
2. Building Permits
3. Submit all Construction Management Fees and Deposits
4. Pre-Construction Conference
5. Landscape Preservation Procedures
6. Periodic Field Inspections (see Building Info Packet)

## FINAL INSPECTION

1. Final Certified Survey
2. Certificate of Occupancy
3. Submit Architectural Form of Completion

## MINOR CHANGES

1. During Construction - submit requested changes
2. After Construction completion- submit requested changes