

The Uniform Building Inspection Report™



Single Family Residence:

246 Avondale Lane, Bossier City , LA 71112

Prepared Exclusively for:

Erick Jamal & Kiara Danyai Crook

Inspection Date:

12/14/2021, 9:00:00 AM

Report Number:

121421A

Inspection Company:

QED Service

Michael Burroughs, Lic.# LHI 10044

2203 Essex Street ,

Monroe, LA 71201

(318) 376-0482

Web Site: www.QEDService.com

E-mail: Mike.QEDService@Gmail.com

Professional Home and Building Analysis

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QED Service

2203 Essex Street , Monroe, LA 71201

Phone: (318) 376-0482

Professional Home and Building Analysis

Address of inspection: 246 Avondale Lane, Bossier City , LA 71112

Client: Erick Jamal & Kiara Danyai Crook

Date: 12/14/2021

Address:

Phone: 318-936-1418 hers

City:

State/Prov.:

Zip:

GENERAL INFORMATION

Selling Agent:

Company: Louis Dawson Freedom Realty

Phone / Cell: 318-349-3193 /

E-Mail: Lad090985@aol.com

Present at Inspection:

Listing Agent:

Company:

Phone / Cell: /

E-Mail:

Present at Inspection:

Client E-Mail:

Client Present:

Structure Type: Single Family Residence

Main Entry Faces:

Occupancy Status: Not occupied

Approx. Sq. Ft.: 1900

Approx. Year Built: 2006

Weather Conditions: Cloudy with recent rain

Approx. Temp.: Outside temp. = 55 deg.

Time Insp. Began: 9:00:00 AM

Inspector: Michael Burroughs

Lic. Number: LHI 10044

INVOICE

Report Number: 121421A
Inspection Type: Visual

Inspection Base Fee: \$335.00
Mold inspection and testing:

Commercial inspection:
State Fee: \$10.00

Credit card service fee 2%:
Pool/Spa Combo:

Underfloor Crawl:
Technical inspection:

Detached structures.:
TRAVEL: \$25.00

Discount:
Payment made :

Total: \$370.00

Paid by: _____

NOTICE: The written report, and all information gathered during the inspection, is not considered transferable to third parties. The inspection results are intended for the exclusive use of the client.

NOTICE: Client is responsible for payment at the time services are rendered. Accounts 30 DAYS or more PAST DUE are subject to finance charges and/or collection proceedings. Escrow/attorney billing may be available for an additional fee but does not relieve the client of responsibility for payment should the property fail to close.

QED Service Inspection Agreement

THIS IS A LEGALLY BINDING CONTRACT - PLEASE READ IT CAREFULLY

Address: 246 Avondale Lane, Bossier City , LA 71112

Report Number: 121421A

VISUAL INSPECTION DEFINITIONS AND LIMITATIONS:

1. The Client understands and agrees that this Agreement is a part of the Inspection Report and acceptance of or payment for the Inspection Report by the Client will confirm this agreement, even if Client was not present at the inspection and/or has not signed this agreement. The Client understands that Michael Burroughs LHI 10044 will be conducting the inspection and submitting the written inspection report.

2. The Client understands that the report and any information therein is intended for the sole use of the Client and shall not be used in lieu of any required Transfer Disclosure Statements and shall not be disclosed to any person or persons other than the principals associated with this single transaction. The client understands that the Home Inspection is not, and is not intended to constitute Home Warranty coverage.

3. Nothing in the report, and no opinion of the Inspector, should be construed as advice to the Client to purchase, or not to purchase, the property.

4. The Visual Inspection Service is performed by Inspector Michael Burroughs LHI #10044 in accordance with the Standards of Practice as published by the Louisiana State Board of Home Inspectors (LSBHI) and the American Society of Home Inspectors (ASHI). According to these standards, is intended to provide the Client with information regarding the condition of the systems and components of the home as inspected at the time of the home inspection. This inspection and any follow up inspection will comply with any section of the LSBHI SOP that may apply. The specific systems and components of a building to be inspected are listed in these Standards of Practice. **A copy of the LSBHI Standards of Practice and code of Ethics is provided with the inspection contract and report. These Standards may also be found at WWW.LSBHI.State.LA.GOV. This inspection is limited to only those systems or components, as set forth in the LSBHI Standards of Practice or as agreed upon by client and the inspector or expressly excluded.**

5. Any area which is not exposed to view, is concealed, or is inaccessible because of ceilings, walls or wall coverings, floors or floor coverings, furnishings, soils & landscape materials, or any other obstruction, is NOT included in this inspection. Client agrees to assume all the risk for all conditions which are concealed from view at the time of the inspection.

6. The following are NOT included in the inspection:

- Recalls or Callbacks of any kind and from any source, Latent or concealed defects
- Environmental hazards or conditions, including, but not limited to, toxic, reactive, combustible, or corrosive contaminants, wildfire, odors, noise, flood potential, electromagnetic fields, underground storage tanks, asbestos, radon gas, lead paint, urea formaldehyde, PCB's, water or air quality, the proximity to toxic waste sites, or other environmental or health hazards, · Structural, geological, soil or hydrological stability, survey, engineering, analysis or testing
- Permit research or validation, code, installation or zoning violations, · The examination of conditions related to animals, rodents, insects, wood destroying insects, organisms, mold and mildew, or the damage caused thereby
- Radio controlled devices or low-voltage systems or relays, · Security or intercom systems, elevators, lifts or dumbwaiters, · Thermostatic, time clock or photoelectric controls, · Water softener or purifier systems,
- Furnace heat exchangers, solar heating systems and freestanding appliances, · Window coverings
- The examination or operation of any sewage disposal system or component including, but not limited to, septic tanks, cesspools, or any underground system or portion thereof, or ejector pumps for rain or waste
- Landscape or farm irrigation systems, · The condition and/or irrigation of trees, shrubs or vegetation of any kind, · Any item which is hidden from view or impractical to test
- Any system or component not listed in the Standards of Practice as published by the Louisiana State Board of Home Inspectors as an observation requirement
- Any system or component, condition, or application noted in the report as not inspected, not determined, or not reported on

7. It is agreed that pool(s) and/or spa(s) will be observed for an additional fee. The following sets forth the limitations of the pool and/or spa observation: The inspector will observe the enclosure and/or related gates, alarms, the hardscaping and drainage related to the inspected pool or spa, the condition of visible portions of systems, structures, or components, the normally necessary and present equipment such as lights, pumps, heaters, filters, and related mechanical and electrical connections. The inspector will report on any conditions limiting or otherwise inhibiting the inspection. The inspector is not required to determine structural integrity or leakage of any kind, evaluate thermostat(s) or their calibration, heating elements, chemical dispensers, water chemistry or conditioning devices, low voltage or computer controls, timers, sweeps or cleaners, pool or spa covers and related components. The inspector does not operate or evaluate filter backwash systems. Unless agreed upon, the inspector is not required to examine any above-ground, movable, freestanding or otherwise non-permanently installed pool or spa, or self-contained equipment or to come into contact with pool or spa water to examine the system, structure, or components or to determine adequacy of spa jet water force or bubble effect.

8. The Uniform Building Inspection Report utilizes referenced narratives corresponding to items listed on computer generated findings pages. You must read the narratives in the accompanying CD or Flash drive manual corresponding to each item on the findings pages to have read the entire report. The Client agrees to read the entire report. The Client agrees to immediately contact the Inspection Company for copies of any pages found to be missing from any part of the report.

9. The report, including the use of signifying letter codes, is the professional opinion of the Inspector, based on the accessibility of the certain fixed components surveyed. Without dismantling parts of the building and/or its components, and without full use of all utilities, the Inspector may extrapolate conclusions which cannot be confirmed during the inspection.

10. The Inspection Company does not offer any warranty or insurance for the Client or any other person in connection with the Inspection Report. THERE IS NO WARRANTY, EXPRESSED OR IMPLIED, OF THE INSPECTION SERVICE OR INSPECTION REPORT.

11. The Client agrees to submit to the Inspection Company, in written form, any claims or complaints prior to taking any action thereupon. Any legal action or proceeding of any kind, whether sounding in tort or contract, against the Inspector/Inspection Company or its officers, agents, or employees, must be brought within Thirty (30) days from the date of the inspection or will be deemed waived and forever barred.

12. Any dispute, controversy, interpretation or claim including claims for, but not limited to, breach of contract, any form of claims for negligence, breach of contract, personal injuries, property damages, loss of use or other damages, shall be resolved in accordance with the Rules and procedures of the Expedited Arbitration of Home Inspection Disputes of CONstruction Arbitration Services, INC. The parties shall select a mutually agreed upon arbitrator who is or has been a home inspector licensed by the State of Louisiana, whether the inspector's license is active, inactive or retired. If the parties are unable to agree upon an arbitrator, either party may request that a licensed home inspector be selected by the Louisiana State Board of Home Inspectors to arbitrate the proceedings. Such selection shall be binding upon the parties. The prevailing party shall be awarded all arbitration costs.

13. **To the extent allowed by law, it is understood and agreed by and between the parties hereto that Michael Burroughs/QEDService is not an insurer, that the payment for the subject inspection is based solely on the value of the service provided by Michael Burroughs/QED service in the performance of its limited visual inspection and production of a written inspection report as described herein, that it is impracticable and extremely difficult to fix the actual damages, if any, which may result from a failure to perform such services, and a resulting loss that Michael Burroughs/QED Service and its officers,' agents,' or employees' liability hereunder shall be limited and fixed in an amount equal to one hundred percent (100%) of the inspection fee, as liquidated damages, and not as penalty, and this liability shall be exclusive.** In the event that the Inspector is found liable due to breach of this Agreement, negligence, misrepresentation, or any other theory of liability based on the performance of this agreement, the total sum of liability shall not exceed the fee paid by the Client for the Inspection and report. Client assumes the risk of all losses greater than the liability of Michael Burroughs/QEDService. Client understands that this inspection is not a home warranty, guarantee, insurance policy, or substitute for real estate transfer disclosures which may be required by law.

14. Neither the inspector nor his company, referring agents, principals or employees shall be liable for any repairs or replacement of any component, system, structure or the property contents therein either during or after the inspection.

15. Review recommendations: Client agrees and understands that, for the purposes of this inspection, the inspector is acting as a License Louisiana State Board Home Inspector in pursuant of the State Laws of Louisiana and not as a professional engineer, plumber, electrician, HVAC Tech, Mold Assessor, Mold Inspector, Roofer, or other specialized contractor or repair profession. Any recommendations made by the inspector to the client to engage the services of any or all of the above referenced contractors or engineers for the purposes of the subject property, shall relieve the inspector for any and all liability to the customer for the inspection and reporting of those components, systems or structure.

16. Attorney Fees: In the event that a client files a suit in any civil court alleging claims arising out of this agreement or the services performed hereunder. The client agrees to pay to the inspector all cost, expenses, and attorneys' fees incurred by the inspector, his agents, employees, insurer in defense of such a suit. This section shall not apply to any arbitration proceedings unless the selected arbitrator finds that the claim brought by client is without merit and the client has been given written notice to the client of the lack of merit prior to the proceedings.

17. The inspector reserves the right to amend, modify or update the inspection report to further explain and / or clarify information and findings in the report for up to 72 hours after the inspection.

18. The inspector has the right to prohibit audio and video recordings of the inspection. The inspector or the client has the right to stop the inspection at any time for cause. Any fees for the agreed upon inspection may be prorated for return.

19. Reporting of Moisture intrusion: if the inspector finds signs of moisture intrusion, he will note it in the report. When moisture intrusion is reported in the home the client is hereby informed that moisture in a home can lead to an increase risk of mold growth. The inspector unless instructed or requested by the client does not do mold sampling. The inspector reporting of moisture is a visual observation. Moisture intrusion should be reviewed by a licensed contractor. Mike Burroughs can do a mold sampling for an additional fee at the client's request.

20. Servability: Client & Inspector agree that a court of competent jurisdiction determines portions of this agreement "VOID or unenforceable" the remaining provisions shall remain in full force and effect.

21. SHOW UP FEE & Cancellation Fee: Shall the inspector show up to perform a home inspection and can not conduct the full inspection due to lack of electrical, water or gas (if required), a fee will be added to the inspection fee of up to one half of the inspection fee and shall be payable at the time of the partial inspection. Shall an contracted inspection be cancelled within 24 hours of the confirmed appointment time and date a cancellation fee of one half the contracted fee will be required. This fee shall be billed and payable as the standard fee.

22. FINAL WALK THROUGH CHECKLIST: client agrees to do a final walk through of the home prior to closing to ensure the clients's that access granted does not reveal hidden or items that need to be reported in the home inspection. IF while conducting the final walk through the client finds an issue of concern they shall contact the inspector for a follow up on the issues.

23. Litigation Consultant: This is a limited inspection and not intended for litigation consulting. For litigation consulting ask Mike for more details. Litigation case work starts at \$200.00 an hour with a retainer required. If the inspector is requested or required to testify for any legal or litigation cause his litigation fee shall apply.

24. The parties hereto agree that, by signing, typing, or pasting their signatures in the signature line below, they hereby agree to conduct this transaction by electronic means and that their handwritten, typed or pasted signatures on this document binds both parties to the terms and conditions of this agreement. Pursuant to LSA.R.S.9:2601,ET.SEQ.

This Report Has Been Prepared Exclusively For: Erick Jamal & Kiara Danyai Crook

25. The client understands that the inspector and inspection company are not doing environmental, mold or other specialized testing during the inspection. If such testing is wanted or requested, additional fees may apply and will be added to the inspection fee. If you wish for more detail inspection or mold inspection please review the technical (in Depth) inspection service section.

26. **Return checks for payment of service are subject to \$25.00 processing fee. Credit card payments are subject to a 2% processing service fee of the total of the inspection price.**

27. **If client request a reinspection of the property to ensure repairs have been made in a workmanship manner. The inspector is not doing a full home inspection at a reinspect nor is he warranting the quality of the repairs reviewed. He is only addressing that the inspection report revealed an issue and that the reported issues has been addressed. This contract is enforced for the complete home inspection and any follow up inspections.**

28. Photos disclaimer: Photos taken during the home inspection are the property of the inspector and inspection company. These photos are to use to show buyers the current condition of the home at the time of the inspection and may be used to aid in training of other inspectors. No photos of persons or photos of photos of persons will be retained or published. No photo shall be use showing the front of home with address except on the provided home inspection report.

The Fee for the Visual Inspection and Report is: \$370.00

TECHNICAL (IN DEPTH) INSPECTION DEFINITIONS AND LIMITATIONS:

The Technical (in-depth) Inspection Service is available at an additional cost of \$3.50 per square foot of building area plus the Visual Inspection base fees. The Technical Inspection objectives are the same as those of the visual inspection except that the Technical Inspection excludes only those items listed below. The Technical Inspection Service is performed by specialists in certain fields and is concluded when the findings of each contractor/technician have been delivered to, and compiled by, the Inspection Company. Performance of the Technical Inspection Service certifies that all defects, existing at the time of the inspection, and which adversely affect the serviceability of the inspected components and systems, will be identified. Defects existing at the time of the inspection which were not disclosed in the inspection reports will be corrected by the inspection company or its agents at no cost to the client. Toxic soils, water and air quality, environmental and/or health hazards, site stability, the condition of any and all vegetation, and other exclusions listed below are not included in the Technical Inspection.

Mold inspection start at \$800.00 for the a base sampling and can go up depending on the number of samples taken in addition the home inspection fee. **Client request mold testing** _____

Additional Requested Technical Inspection Service are at a cost of \$400/per scope: **Please place a check by any Requested Technical Inspection Service and initial at end of section if this service is requested:**

None _____, Technical inspection requested _____, Technical HVAC _____, Structural inspection only _____, Roof inspection only _____, Electrical inspection only _____, plumbing inspection only _____, Mold testing _____, Approving Initial: _____

Client Email: _____

I do desire the Technical Inspection Service. (initials) _____

I do not desire the Technical Inspection Service and I understand that this is not a technical or in-depth inspection. (initials) _____

CLIENT: Erick Jamal & Kiara Danyai Crook _____ (sign) _____ Date: _____
by signing, the client agrees that they have received the LSBHI SOP and COE.

INSPECTION COMPANY: QED Service, a Sole Proprietorship

INSPECTOR: Michael Burroughs Please call (318) 376-0482 _____ Date: _____
Contracted/Emailed: QED Service _____ Report Emailed: _____

This Report Has Been Prepared Exclusively For: Erick Jamal & Kiara Danyai Crook

Property Address: 246 Avondale Lane, Bossier City, LA 71112
Date of Inspection: 12/14/2021 Start Time: 9:00:00 AM Report Number: 121421A

Letter Code Definitions:

The letter code definitions provide the inspector's professional opinion regarding the finding significance, severity, ramifications, course of action, or path of resolution recommended. If further clarification is desired please contact your inspector.

- (+) The plus sign indicates a plus for the property.
- (A) APPEARANCE Repair or alteration usually improves component appearance and should decrease deterioration.
- (B) BUILDING STANDARDS The finding does not conform to building standards and practices in effect at the time of construction or installation. Further study and corrections as needed are advised.
- (C) CAUTION Caution advised. The situation or problem could be, or could become, hazardous under certain circumstances.
- (D) DAMAGED and/or DAMAGING Significant component damage and/or ongoing damage apparent. Corrections advised.
- (E) EFFICIENCY Repair, alteration or replacement usually improves the efficiency of the component or system.
- (F) FAILURE Failure of a system or component. The system or component fails to operate or to operate properly.
- (H) HAZARD The situation, problem or defect should be considered hazardous. Correction by a qualified licensed contractor is advised.
- (M) MONITOR Monitor the situation on a regular basis. Corrections by a qualified licensed contractor, if and when necessary, are recommended.
- (N) NOTICE Discretion advised. The significance of the situation, problem or defect requires further investigation. Further study is advised.
- (P) PREVENTIVE MAINTENANCE Correction or modification decreases the probability of excessive deterioration.
- (R) REVIEW BY SPECIALIST It is recommended that the finding and all associated components be reviewed and corrected as needed, by a qualified licensed contractor.
- (T) TYPICAL/COMMON Although typical or common for the age of the structure or component, modifications may be in order.
- (U) UPGRADE RECOMMENDED Modification or addition is generally considered an upgrade which may improve safety or efficiency.

IMPORTANT: Findings, Components & Applications Listings:

Each section includes a list of Findings, if any, and a list of Components and applications noted during the inspection. Please note that some components and some applications require additional maintenance and consideration and that the survey of some components is limited. Some component information contains disclosures. Some Findings information may be far-reaching. **To obtain this information you are advised to read all narratives in the Uniform Building Inspection Report™ Reference Manual, referenced by item number, before purchasing the property.**

This Report Has Been Prepared Exclusively For: Erick Jamal & Kiara Danyai Crook

Property Address: 246 Avondale Lane, Bossier City, LA 71112
Date of Inspection: 12/14/2021 Start Time: 9:00:00 AM Report Number: 121421A

Grounds Introductory Statement:

Inspector Mike Burroughs of QED SERVICE would like to thank you for allowing him to serve you.

If present, vegetation, grading, drainage, driveways, patio ground surfaces, walkways and retaining walls, stoops, steps, non-abutting decks, visible components of grounds electrical systems and watering systems, and other general conditions were observed. The inspector is not required to test grounds lighting systems or watering systems. Significant visible deficiencies or potential concerns, if any, are reported below. Grounds systems or components are indicated by type or described in the components section.

Experience shows that the consequential nature of some findings can be more severe than may be inferred during a visual inspection. An example such as a stain on a ceiling is an excellent case in point. Stain causes are varied and many and are not always due to moisture. To more fully understand the nature of a finding, such as this, requires reading the associated narratives in the Uniform Building Inspection Report Reference Manual, referenced by finding number.



Photo: 0220 (1)

Grounds Survey Findings:

[H] 0220: Trip or safety concern.

The finding should be considered hazardous. Corrections by a qualified licensed contractor, before purchasing the property, are advised. Noted at the rear of the structure. See Photo(s) 0220.

[P] [N] 0510.03: Fence slat(s) damaged. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Correction or modification decreases the probability of continued and excessive deterioration. See Photo(s) 0510.03.

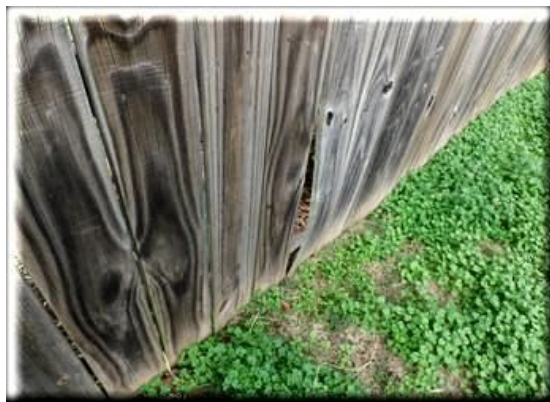


Photo: 0510.03 (1)

[P] [N] 0510.23: General fence repairs needed. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Correction or modification decreases the probability of continued and excessive deterioration. See Photo(s) 0510.23.

[P] [N] [M] 0630.05: Gate(s) drag ground surfaced or walk. Monitor the situation on a regular basis. Corrections by a qualified licensed contractor, if and when necessary, are recommended. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Correction or modification decreases the probability of continued and excessive deterioration. See Photo(s) 0630.05.



Photo: 0510.23 (1)

This Report Has Been Prepared Exclusively For: Erick Jamal & Kiara Danyai Crook

Property Address: 246 Avondale Lane, Bossier City, LA 71112
Date of Inspection: 12/14/2021 Start Time: 9:00:00 AM Report Number: 121421A

[P] 0860.02: Shrubbery against building.
Correction or modification decreases the probability of continued and excessive deterioration.
See Photo(s) 0860.02.

[M] 0860.02: Shrubbery against building.
Monitor the situation on a regular basis. Corrections by a qualified licensed contractor, if and when necessary, are recommended.
See Photo(s) 0860.02.

Grounds Components & Applications:

The client should be aware that some components and some applications require additional maintenance and consideration and that the survey of some components and some applications is limited.

Some component and some application information contains disclosures. This information is conveyed through the reference manual given to you by the inspector. Read all narratives in the Uniform Building Inspection Report™ Reference Manual, referenced by item number, before purchasing the property.

IRRIGATION:

The irrigation and/or sprinkler system(s) were not inspected

SITE ELEMENTS, GRADING, DRAINAGE:

- 01a Enclosed plant area next to foundation
- 01d(1) Above grade (with respect to roadway)
- 01e(1) Low to moderate slope
- 01k Expansive/clay type soil

FENCES & GATES:

- 04c(1) Wood

WALKS, DRIVES, & PARKING:

- 05b(1) Cement concrete walks/drives

ATTACHED AND DETACHED UNCOVERED EXTERIOR DECKS / BALCONIES / PATIOS:

- 05b(4) Cement concrete deck / patio

GROUNDS/PARKING LIGHTING:

- 06c 110/120 volt lighting/outlets
- 06c(1) GFCI protected outlet(s) (The inspector indicates GFCI protection is provided at exterior outlets even though all exterior outlets may not be so equipped.)

MISC. GROUNDS DEVICES & OUTBUILDINGS:

- No misc. grounds devices noted
- No outbuildings noted



Photo: 0630.05 (1)



Photo: 0860.02 (1)



Photo: 0860.02 (2)

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Property Address: 246 Avondale Lane, Bossier City, LA 71112
Date of Inspection: 12/14/2021 Start Time: 9:00:00 AM Report Number: 121421A

Exterior/Roof Introductory Statement:

The roof, roof drainage systems, jacks, flashings, skylights, chimneys, other roof penetrations were observed within the limits of accessibility. The method of observation, which is suggestive of the extent to which the roof and related components were observed, is set forth in the components section.

Wall cladding, flashing, trim, eaves and rake fascias (barge rafters), all doors, a representative number of windows, and all garage doors were observed if present. Any garage door operators were tested for the ability to stop or reverse when meeting normal hand resistance.

If bedroom windows have security bars, they may be required to have release mechanisms. The release mechanisms are not tested by the inspection company. It is strongly recommended that you have the owner or agent demonstrate the release mechanism on each window.

Significant visible deficiencies or potential concerns, if any, are reported below.

Any visible deficiencies in abutting or attached decks may be reported in the STRUCTURE section rather than here.

Visible signs of leaks or abnormal condensation (if any) on surfaces are reported in this, and/or other pertinent, sections. Exterior systems or components are indicated by type or described in the components section.



Photo: 1000 (1)

Exterior / Roof Survey Findings:

[U] [R] [P] [N] [M] 1000: Roof repairs / general maintenance needed.

Signs of roof repairs noted in various locations on the roof. Monitor the situation on a regular basis. Corrections by a qualified licensed contractor, if and when necessary, are recommended. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Correction or modification decreases the probability of continued and excessive deterioration. It is recommended that the finding be reviewed, and corrected as needed, by a qualified licensed contractor before purchasing the property. Modification or addition is generally considered an upgrade which should improve safety or efficiency. The opinion of a qualified licensed contractor is recommended.

See Photo(s) 1000.



Photo: 1190 (1)

[M] [N] 1190: Full evaluation and written findings with costs to cure by a qualified Roofing Contractor advised.

Roof patched in several locations. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Monitor the situation on a regular basis. Corrections by a qualified licensed contractor, if and when necessary, are recommended.

See Photo(s) 1190.

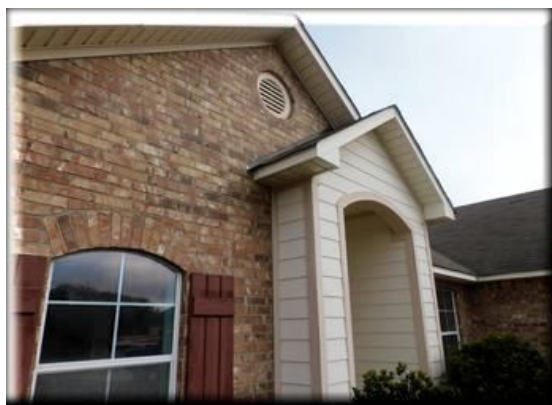


Photo: 1230.04 (1)

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[U] [P] [N] 1230.04: Metal flashing faulty or otherwise amiss.

Kickout flashings have been required by the International Residential Code (IRC) since 2009, yet I've rarely seen them installed on new homes. Part of that might be the original awkward language that didn't even include the term kickout flashing." In the 2012 IRC, Section R903. Roof kickout flashings not installed allowing for roof run off to flow down the siding. In Section R903. 2 Flashings, a kick-out flashing now is required for steep-slope roof systems to divert runoff water from where an eave intersects a vertical sidewall. When a metal kick-out flashing is used, it should be corrosion-resistant and at least 0.19 of an inch thick (26-gauge galvanized steel). Roof kickout flashings not installed allowing for roof run off to flow down the siding. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Correction or modification decreases the probability of continued and excessive deterioration. Modification or addition is generally considered an upgrade which should improve safety or efficiency. The opinion of a qualified licensed contractor is recommended. Noted at numerous and various locations around the exterior of the building. See Photo(s) 1230.04.



Photo: 1230.04 (2)

[D] [U] [R] [P] [N] 1230.04: Metal flashing faulty or otherwise amiss.

In Section R903. 2 Flashings, a kick-out flashing now is required for steep-slope roof systems to divert runoff water from where an eave intersects a vertical sidewall. When a metal kick-out flashing is used, it should be corrosion-resistant and at least 0.19 of an inch thick (26-gauge galvanized steel). Roof kickout flashings not installed allowing for roof run off to flow down the siding. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Correction or modification decreases the probability of continued and excessive deterioration. It is recommended that the finding be reviewed, and corrected as needed, by a qualified licensed contractor before purchasing the property. Modification or addition is generally considered an upgrade which should improve safety or efficiency. The opinion of a qualified licensed contractor is recommended. Significant component damage and/or ongoing damage apparent. Before purchasing the property, needed corrections by a qualified licensed contractor are advised. See Photo(s) 1230.04.



Photo: 1350.01 (1)

[P] [M] 1350.01: Masonry cracked.

Monitor the situation on a regular basis. Corrections by a qualified licensed contractor, if and when necessary, are recommended. Correction or modification decreases the probability of continued and excessive deterioration. See Photo(s) 1350.01.



Photo: 1350.01 (2)

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[N] [M] 1350.01: Masonry cracked.

Noted at numerous and various locations around the exterior of the building. Monitor the situation on a regular basis. Corrections by a qualified licensed contractor, if and when necessary, are recommended. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. See Photo(s) 1350.01.



Photo: 1350.01 (3)

[R] [P] [N] 1350.01: Masonry cracked.

Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Correction or modification decreases the probability of continued and excessive deterioration. It is recommended that the finding be reviewed, and corrected as needed, by a qualified licensed contractor before purchasing the property. See Photo(s) 1350.01.

[N] [N] 1350.10: Masonry weep holes missing.

Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. R703.7 Stone and Masonry Veneer, General Stone and masonry veneer shall be installed in accordance with this chapter, Table R703.4 and Figure R703.7.



Photo: 1350.10 (1)

These veneers installed over a backing of wood or cold-formed steel shall be limited to the first story above-grade plane and shall not exceed 5 inches (127 mm) in thickness.

See Section R602.10 for wall bracing requirements for masonry veneer for wood-framed construction and Section R603.9.5 for wall bracing requirements for masonry veneer for cold-formed steel construction.

Exceptions:

For all buildings in Seismic Design Categories A, B and C, exterior stone or masonry veneer, as specified in Table R703.7(1), with a backing of wood or steel framing shall be permitted to the height specified in Table R703.7(1) above a noncombustible foundation.

For detached one- or two-family dwellings in Seismic Design Categories D0, D1 and D2, exterior stone or masonry veneer, as specified in Table R703.7(2), with a backing of wood framing shall be permitted to the height specified in Table R703.7(2) above a noncombustible foundation.

See Photo(s) 1350.10.



Photo: 1510.01 (1)

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[A] [U] [P] [N] 1510.01: Insulated window (I.G.) appears to have lost seal.

Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Correction or modification decreases the probability of continued and excessive deterioration. Modification or addition is generally considered an upgrade which should improve safety or efficiency. The opinion of a qualified licensed contractor is recommended. Maintenance, alteration or repair could be expected to improve component appearance and may decrease deterioration.
See Photo(s) 1510.01.



Photo: 1510.01 (2)

[E] [A] [P] [N] 1510.01: Insulated window (I.G.) appears to have lost seal.

Noted at the front of the building. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Correction or modification decreases the probability of continued and excessive deterioration. Maintenance, alteration or repair could be expected to improve component appearance and may decrease deterioration. Repair, alteration or replacement usually improves the efficiency of the component or system.
See Photo(s) 1510.01.



Photo: 1550.02 (1)

[U] [P] [N] 1550.02: Window screen(s) damaged. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Correction or modification decreases the probability of continued and excessive deterioration. Modification or addition is generally considered an upgrade which should improve safety or efficiency. The opinion of a qualified licensed contractor is recommended.
See Photo(s) 1550.02.

[A] [N] [M] 1900: Paint maintenance recommended. (spot / overall / wood only)

METAL LINTELS RUSTING OR NOT PAINTED. Monitor the situation on a regular basis. Corrections by a qualified licensed contractor, if and when necessary, are recommended. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Maintenance, alteration or repair could be expected to improve component appearance and may decrease deterioration.
See Photo(s) 1900.



Photo: 1900 (1)

Exterior Components & Applications:

The client should be aware that some components and some applications require additional maintenance and consideration and that the survey of some components and some applications is limited.

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Some component and some application information contains disclosures. This information is conveyed through the reference manual given to you by the inspector. Read all narratives in the Uniform Building Inspection Report™ Reference Manual, referenced by item number, before purchasing the property.

ROOF REVIEW METHOD:

- 17d Viewed from eaves
- 17e Viewed with binoculars
- 17f Viewed from ground
- 17g Partially traversed

ROOF / DECK STYLES:

- 13a Gable
- 13u 7 in 12 pitch and up

ROOF/DECKFLOOR WATERPROOFING MATERIALS:

- 15m(1) Fiberglass shingles

ROOF FLASHING AND PENETRATIONS:

- 15n(1) Mineral flashing
- 15p Metal flashing

GUTTERS / ROOF DRAINS:

- 11a Metal gutters

WALL CLADDING MATERIALS (Siding), FLASHING & TRIM:

- 16a(1) Brick (all types)
- 16f (1) Metal siding
- 16f (2) Vinyl siding
- 16r Exterior trims (all types)

EAVES, SOFFITS, FASCIA, PORCHES & RAILINGS

- 16s(1) Eaves with covered soffit(s)
- 16s(6) Visible fascias

WINDOWS AS VIEWED FROM EXTERIOR (see Interior Section also):

- 10a Multi-glaze (I.G.)
- 10c(1) Metal sash
- 10m Single hung sash

ENTRY DOORS:

- 12b Solid core
- 12c(1) Glass (large pane(s))

VEHICLE DOORS and SAFETY REVERSE DEVICES:

- 14a(1) Automatic opener
- 14a(2) Obstruction sensor
 - One or more garage door operators is/are equipped with an obstruction sensor safety reverse device(s). Test the operation on a regular basis.
- 14a(3) Pressure sensitive reverse mechanism
 - One or more garage door operators is/are equipped

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with pressure sensitive safety reverse device(s). Test the operation on a regular basis and keep the reverse pressure properly adjusted.

The safety reverse mechanism(s), including the pressure sensitive and the obstruction sensor type, was/were tested by the Inspector and it/they did reverse.

14b(1) Sectional

14g Metal (frame/skin)

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HVAC Introductory Statement:

HVAC generally includes Heating, Ventilating and Air Conditioning. In this report HVAC also includes Fireplaces and Chimneys.

Within the limits of visibility, heating equipment, normal operating controls, automatic safety controls, related chimneys, flues, & vents were observed. If present and visible, fans, pumps, piping, supports, dampers, related insulation, registers, radiators, fan coil units or convectors were observed. The inspector looked for the presence of installed heat and cooling sources for each room.

If installed, the fireplace(s) and parts of any chimney(s) were observed.

Significant visible deficiencies or potential concerns, if any, are reported below.

Heating/air conditioning/fireplace systems or components, if present, are indicated by type or described in the components section.



Photo: 2200.06 (1)

HVAC Survey Findings:

(Includes Heating, Air Conditioning, Fireplaces, Stoves and Chimneys, where present)

[R] [P] [N] 2200.06: Ducting faulty or otherwise amiss. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Correction or modification decreases the probability of continued and excessive deterioration. It is recommended that the finding be reviewed, and corrected as needed, by a qualified licensed contractor before purchasing the property. See Photo(s) 2200.06.



Photo: 2200.06 (2)

[P] [N] 2200.06: Ducting faulty or otherwise amiss. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Correction or modification decreases the probability of continued and excessive deterioration. See Photo(s) 2200.06.

[P] 2250.01: Filter dirty. Correction or modification decreases the probability of continued and excessive deterioration. See Photo(s) 2250.01.



Photo: 2250.01 (1)

[U] [P] [N] [M] 2310.05: Condensate drain faulty or otherwise amiss. Condensate drain line not insulated which may lead to water spots on ceiling.. Monitor the situation on a regular basis. Corrections by a qualified licensed contractor, if and when necessary, are recommended. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Correction or modification decreases the probability of continued and

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excessive deterioration. Modification or addition is generally considered an upgrade which should improve safety or efficiency. The opinion of a qualified licensed contractor is recommended.
See Photo(s) 2310.05.

HVAC / Fireplace / Stove Components:

The client should be aware that some components and some applications require additional maintenance and consideration and that the survey of some components and some applications is limited.

Some component and some application information contains disclosures. This information is conveyed through the reference manual given to you by the inspector. Read all narratives in the Uniform Building Inspection Report™ Reference Manual, referenced by item number, before purchasing the property.

HEATING EQUIPMENT LOCATION(S):

Heating equipment #1 is located in the attic.

HEATING SYSTEM(S):

21a(1) Natural gas heating: If not presently installed, the installation of a carbon monoxide (CO) detector in each sleeping room is highly recommended.

21n Visually restricted heat exchanger

HEATING EQUIPMENT THERMOSTATS / OPERATING CONTROLS / ZONING

22b Non set-back thermostat(s)

24b Disposable or washable filters

25a Heat Distribution Methods

25a(2) Ducting (forced air)

APPROXIMATE AMBIENT TEMPERATURE AND TEMPERATURE DIFFERENTIAL TEST RESULTS, IF TAKEN:

Outside temp. = 55 degrees

Unit 1 Temperature Differential = Not applicable in cooling mode

Unit 2 Temperature Differential = 30+ degrees Heat mode

COOLING / VENTILATION SYSTEM(S):

20a(1) Electric cooling system

20c(1) Condenser/evaporator separate (split system)

24c Ceiling vent(s)

20h Cooling Distribution Methods

20h(1) Ducting

FIREPLACE(S), STOVE(S):

23a(1) Prefab wood burning fireplace

23h(2) Face screen in place

CHIMNEY, VENT SYSTEM(S):

23j (2) Metal chimney



Photo: 2310.05 (1)

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CHIMNEY INTERIOR REVIEW METHOD(S):

23k(2) Partially reviewed
23k(4) From inside firebox.

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Plumbing Introductory Statement:

The hot water systems, visible sections of interior water supply and distribution systems, including pipes, supports, and insulation, and functional flow (if water was on) were observed. All water handling fixtures, faucets & valves, interior drain systems including waste & vent systems, functional drainage (if water was on) and sump pumps (if installed) were observed. (Drains to clothes washers, roofs, floors, and decks were not tested.)

If present, interior and exterior fuel storage & distribution systems were observed.

The inspector did inspect for visible evidence of leaks and cross connections.

The clothes dryer venting system was also visibly examined, if accessible, though not tested (unless so stated).

Significant visible deficiencies or potential concerns, if any, are reported below.

Visible plumbing systems or components are indicated by type or described in the components section.



Photo: 4380.01 (1)

Plumbing Survey Findings:

[B] [H] [U] [R] [P] [N] 4140.03: Water heater pressure / temperature relief valve discharge not terminated within 6" to 12" of ground or floor.

Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Correction or modification decreases the probability of continued and excessive deterioration. It is recommended that the finding be reviewed, and corrected as needed, by a qualified licensed contractor before purchasing the property. Modification or addition is generally considered an upgrade which should improve safety or efficiency. The opinion of a qualified licensed contractor is recommended. The finding should be considered hazardous. Corrections by a qualified licensed contractor, before purchasing the property, are advised. The finding does not conform to building standards and practices in effect at the time of construction or installation. Before purchasing the property, further study and corrections, as needed, by a qualified licensed contractor are advised.



Photo: 4980 (1)

[P] [N] 4380.01: Fuel pipe(s) not supported.

Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Correction or modification decreases the probability of continued and excessive deterioration. See Photo(s) 4380.01.

[Note] 4980: Finding not covered in narratives.

Main gas shut off located on the right side of the home at the gas meter.

See Photo(s) 4980.

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Plumbing Components & Applications:

The client should be aware that some components and some applications require additional maintenance and consideration and that the survey of some components and some applications is limited.

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MAIN WATER SOURCE, SHUTOFF LOCATION, VACUUM BREAKERS AND ANTI-SIPHON DEVICES:

- 45a Main water valve located at the meter only.
- 45f Water supply approximate size: 3/4"
- 42a Municipal water supply indicated
- 45c Spade type main water valve installed

FUNCTIONAL FLOW AND FUNCTIONAL DRAINAGE:

- 47a Functional water flow tested
- 47b Functional drainage tested

PRIMARY INTERIOR HEATING ENERGY SOURCE AND SHUTOFF LOCATION:

- 44a Natural gas
- Gas shutoff valve located at the meter only.

WATER HEATER(S):

- 43a(1) Natural gas water heater(s)

WATER HEATER AUTOMATIC SAFETY CONTROL DEVICE(S) OBSERVED:

- 43k Temperature, pressure relief valve
- 43n Thermocouples, other safety control devices

WATER HEATER LOCATION(S), APPROXIMATE AGE(S) AND SIZE(S):

Water Heater #1 is located in the garage.
The approximate age of this water heater is 10 to 15 years.
Its approximate size is 50 gals.

APPLIANCE VENT TYPES AND CONDITION:

- 41a(1) Sheet-metal appliance vents

LAUNDRY FACILITIES AND VENTING:

- 40a Washer connections
- 40b Electric dryer connections

INTERIOR WATER SUPPLY AND DISTRIBUTION PIPING:

- 41c Copper/brass water lines visible
- 41e(2) Plastic flex fixture supply connector(s) visible

FUEL DISTRIBUTION PIPING AND SUPPORTS:

- 41g Steel gas/oil lines visible
- 41j Flex gas/oil connectors visible

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WASTE AND VENT PIPING SYSTEM:

41q Plastic drain lines visible
41q(2) Polyvinyl chloride (PVC)

SEWAGE DISPOSAL:

46a It is believed the sewer is connected to municipal lines. This is not verified by the inspector. You are advised to verify the connection with the proper authorities.

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Electrical Introductory Statement:

Where visible and if installed, the service entrance conductors, service equipment, main over-current device, main & distribution panels, grounding equipment, amperage and voltage ratings, branch circuit conductors, including the presence of aluminum conductors, their overcurrent devices, and the compatibility of the ampacities and voltages were observed.

A representative number of lighting fixtures, switches, and receptacles (if power was on) were observed with respect to their operation, polarity and grounding, on the interior, within 6 feet of plumbing fixtures, in attached garages, carports, and on the exterior.

All accessible ground fault circuit interrupters and arc fault circuit interrupters (if power was on) were tested with the installed test button.

Significant visible deficiencies or potential concerns, if any, are reported below.

Visible electrical systems or components are indicated by type, or described, in the Components Section.



Photo: 5280.30 (1)

Electrical Survey Findings:

[R] [P] [N] 5280.30: Meter clearances sub-standard. Meter height from grade questionable. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Correction or modification decreases the probability of continued and excessive deterioration. It is recommended that the finding be reviewed, and corrected as needed, by a qualified licensed contractor before purchasing the property. See Photo(s) 5280.30.

Electrical Components & Applications:

The client should be aware that some components and some applications require additional maintenance and consideration and that the survey of some components and some applications is limited.

Some component and some application information contains disclosures. This information is conveyed through the reference manual given to you by the inspector. Read all narratives in the Uniform Building Inspection Report™ Reference Manual, referenced by item number, before purchasing the property.

MAIN / SUB-PANEL LOCATION(S):

Main service panel located in the garage.

SERVICE DROP/SERVICE LATERAL & SERVICE PANEL:

- 51a Underground service lateral
- 51k Copper entrance conductors
- 51f Interior main service panel
- 51g Single disconnect

SERVICE AMPERAGE / VOLTAGE, ETC:

- 52b 110/120 volt service
 - 52c 220/240 volt service
-

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52d Single phase
52h Over 200 amp service
52j The service amperage rating is 150 amps. (This was
determined by the amperage rating of the main disconnect)

DISTRIBUTION SYSTEMS:

53b Circuit breakers
53f Nonmetallic sheathed cable ("Romex")
53j Copper wires
53g Metal conduit
53h Plastic conduit

A Representative Number of Lights and Switches were
Tested.

A Representative Number of Receptacles were Tested.

GROUNDING METHOD, ETC.:

54a Grounded to rod driven in earth

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Bathroom(s) Introductory Statement:

Bathroom/restroom electrical systems, including any venting systems (if present) were observed (and tested if power was on). If any deficiencies or concerns were observed, they may be reported under the ELECTRICAL section.

Unless access was impaired, all water handling fixtures were observed (and tested if water was on). Walls, ceilings, floors, counters, a representative number of cabinets, and windows were observed.

Significant visible deficiencies or potential concerns, if any, are reported below (window deficiencies may also be reported under the EXTERIOR or INTERIOR sections). (Some plumbing or fixture deficiencies, if any, might be reported under the PLUMBING section.)

Visible bathroom/restroom specific systems or components are indicated by type or described in the components section.

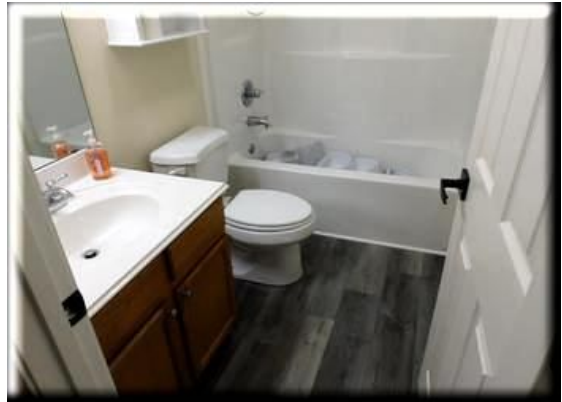


Photo: 6200.01 (1)

Bathroom(s) Survey Findings:

[P] [N] 6200.01: Water closet bowl loose on floor. Noted in the master bath. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Correction or modification decreases the probability of continued and excessive deterioration. See Photo(s) 6200.01.



Photo: 6200.01 (2)

[R] [P] [N] 6200.01: Water closet bowl loose on floor. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Correction or modification decreases the probability of continued and excessive deterioration. It is recommended that the finding be reviewed, and corrected as needed, by a qualified licensed contractor before purchasing the property. Noted in the hall bath. See Photo(s) 6200.01.

[U] [P] [N] 6200.01: Water closet bowl loose on floor. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Correction or modification decreases the probability of continued and excessive deterioration. Modification or addition is generally considered an upgrade which should improve safety or efficiency. The opinion of a qualified licensed contractor is recommended. Noted in the hall bath. See Photo(s) 6200.01.



Photo: 6200.01 (3)

[M] [P] [N] 6850: Access impaired. Noted in the hall bath. Tub full stored items and could not be properly tested by inspector. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Correction or modification decreases the probability of continued and

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excessive deterioration. Monitor the situation on a regular basis. Corrections by a qualified licensed contractor, if and when necessary, are recommended.
See Photo(s) 6850.

Bath Components & Applications:

The client should be aware that some components and some applications require additional maintenance and consideration and that the survey of some components and some applications is limited.

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BATHTUB TYPE(S):

60c Fiberglass bathtub(s)

SHOWER FLOOR TYPE(S):

60a(2) Tub/shower combination

TUB/SHOWER WALLS:

62e Fiberglass or plastics walls

62h(3) The inspector could not ascertain whether the tub and/or shower door(s) were safety glaze

WASH BASIN(S):

64b Pressed steel wash basin(s)

64g(2) The wash basin(s) is/are installed in or under the countertop material(s)

64j Self-rimming wash basin(s)

COUNTERTOP MATERIALS:

65e(1) Acrylics countertop(s)

WATER CLOSET(S):

63a(1) Down-flush toilet

PLUMBING AND ACCESSORIES:

61a "Washerless" faucet(s)

61d Pop-up stopper(s)

64n Under-sink valves

VENTILATION, SUPPLEMENTAL HEATING AND ELECTRICAL:

66a(1) Openable window(s)

66a(2) Non-openable window(s)

66b Exhaust fan(s)

66e Electric heater(s)

66g GFCI Receptacle(s)

FLOOR(S):

67d(1) Wood floor(s)



Photo: 6850 (1)

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Interior Introductory Statement:

Wall, ceiling, and floor surfaces were observed. If present, interior steps, stairways, balconies, railings, counters, and a representative number of cabinets & doors were observed. A representative number of windows (in terms of opening & locking mechanisms, and operation) were observed.

If present, fire separation walls, ceilings, & doors between the attached garage and living space or other dwellings were observed.

Smoke alarms (if present) were examined for visible condition and location placement (in most cases there is no requirement for the inspector to test these).

Ceiling fans (if present) were observed and tested, if electricity was on, with switch control only. Remote control devices are not tested.

Laundry room venting system, if installed, was observed (and tested if electricity was on). Intruder alarms and internal communication systems (if present) were not checked by the inspector.

Significant visible deficiencies or potential concerns, if any, are reported below (however, any deficiencies in bathroom walls, ceilings, floors, or cabinets may be addressed under the BATHROOM section, and kitchen cabinets may be addressed under the KITCHEN section).

Visible interior systems or components are indicated by type or described in the components section.

The following is a message regarding mold from the United States Environmental Protection Agency:

Molds produce tiny spores to reproduce. Mold spores waft through the indoor and outdoor air continually. When mold spores land on a damp spot indoors, they may begin growing and digesting whatever they are growing on in order to survive. There are molds that can grow on wood, paper, carpet, and foods. When excessive moisture or water accumulates indoors, mold growth will often occur, particularly if the moisture problem remains undiscovered or un-addressed. There is no practical way to eliminate all mold and mold spores in the indoor environment; the way to control indoor mold growth is to control moisture.

<http://www.epa.gov/mold/>

The client is advised to consider all findings associated with moisture, such as, but not limited to, stains, leaks, vapor barrier defects, exhaust fan failures, wall cladding cracks and gaps, caulking and sealing needs, etc., as conditions conducive to the growth of molds and other fungi, whether direct information regarding mold is provided by the inspector or not.

Interior Survey Findings:

[P] 7300.04: Insufficient clearance under door for adequate a/c or heating air return.
Correction or modification decreases the probability of continued and excessive deterioration.
See Photo(s) 7300.04.



Photo: 7300.04 (1)



Photo: 7330.05 (1)

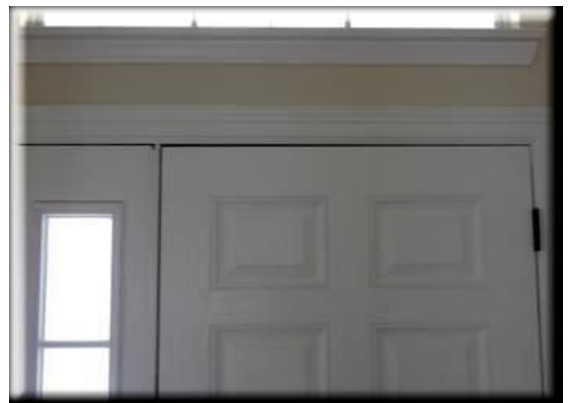


Photo: 7330.05 (2)

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[U] [N] 7330.05: Door faulty or otherwise amiss. Front door appears to be sagging toward striker side. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Modification or addition is generally considered an upgrade which should improve safety or efficiency. The opinion of a qualified licensed contractor is recommended. See Photo(s) 7330.05.

[P] [N] 7330.05: Door faulty or otherwise amiss. Closet door latch faulty. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Correction or modification decreases the probability of continued and excessive deterioration. See Photo(s) 7330.05.

[A] [P] [N] 7510.05: Window faulty or otherwise amiss. window screen damaged. Noted in the living room. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Correction or modification decreases the probability of continued and excessive deterioration. Maintenance, alteration or repair could be expected to improve component appearance and may decrease deterioration. See Photo(s) 7510.05.

[P] [N] 7570: Safety glass or other protection not apparent. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Correction or modification decreases the probability of continued and excessive deterioration. Noted in the master bath. See Photo(s) 7570.

[Note] 7800: Smoke alarm missing / inoperative / loosely mounted / parts missing / placement questionable. Smoke alarms are present but not tested by inspector. Recommend having detectors tested. Central alarms system are not tested or inspected by inspector. Recommend review by contractor. See Photo(s) 7800.

Interior Components & Applications:

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Photo: 7510.05 (1)



Photo: 7570 (1)



Photo: 7800 (1)

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WALLS AND CEILINGS:

70b Drywall

FIRE SEPARATION WALLS AND CEILINGS

FIRE SEPARATION DOOR(S)

EXTERIOR AND INTERIOR DOOR SYSTEMS:

71e Hinged door(s)

71g(1) Metal door(s)

71g(2) Fiberglass door(s)

71h Dead bolt(s)

71m Weather stripped

WINDOWS

75a A representative number of windows were tested.

INTERIOR STYLES, STAIRS, ETC.:

72a Volume, vaulted or high ceilings

FINISH FLOORING:

73a Carpet

73d Wood (may be simulated)

73e(1) Tile (All types)

MISC. SYSTEMS:

74a(1) Smoke alarm

74b Intruder alarm

74e(3) Interior cabinetry

74f Pull-down ladder

74h Ceiling fan(s)

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Kitchen Introductory Statement:

Kitchen/break area specific water supply and distribution systems, including visible piping, supports, and insulation were observed where visible (and tested if water was on). Kitchen/break area specific electrical and venting systems were observed (and tested if power was on). Counters and a representative number of cabinets were observed. Appliances have been examined within the scope of the inspection agreement (see Inspection Agreement). Significant visible deficiencies or potential concerns, if any, are reported below (however, any deficiencies in electrical receptacles and lighting may be addressed under the ELECTRICAL section; and any wall, ceiling, and/or floor deficiencies may be addressed under INTERIOR section). Visible kitchen/break area specific systems or components are indicated by type or described in the components section.

Kitchen Survey Findings:

No Kitchen Findings Noted.

Kitchen Components & Applications:

The client should be aware that some components and some applications require additional maintenance and consideration and that the survey of some components and some applications is limited.

Some component and some application information contains disclosures. This information is conveyed through the reference manual given to you by the inspector. Read all narratives in the Uniform Building Inspection Report™ Reference Manual, referenced by item number, before purchasing the property.

RANGE(S) / COOKTOP(S):
80a(2) Electric range or cooktop
80b Free-standing range

OVEN(S):
83a(2) Electric oven
83b Free-standing oven

VENTILATION:
81a Mechanical exhaust
81c Ventless filtered hood

CABINETS:
84c Built-in or custom cabinets

COUNTERTOP(S) AND BACKSPLASH:
86d Plastic laminate

SINK(S):
82b Stainless steel sink
82d Self-rimming sink
82g Washerless faucet

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REFRIGERATOR(S):

85a Ice maker connection
85c Electric refrigerator

LIGHTING AND ELECTRIC:

87a Counter outlets
87a(1) GFCI Protection
87c Incandescent lighting

OTHER APPLIANCES:

88d Disposal
88e Dishwasher

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Structure Introductory Statement:

Visible portions of the following were observed: foundations; structure to walls, columns, floors, roofs, overhang posts, and columns; attached or firmly abutting decks, balconies, and railings; ventilation techniques and applications of attic and foundation; visible insulation and vapor retarders in unfinished spaces; termination locations of kitchen, bathroom, and laundry venting systems; and visible appliance flue and vent clearances and related visible fire blocking.

The inspector did look for evidence of past or present leaks. Significant visible deficiencies or potential concerns, if any, are reported below.

Visible structure specific systems or components are indicated by type or described in the components section.



Photo: 9650 (1)

Structure Survey Findings:

[N] 9650: Roof leak evidence noted (stained wood). Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Although stains were noted at several locations there is no way to determine whether there are ongoing roof leaks. It appears that the roof needs minimal repairs and that the stains are old. See Photo(s) 9650.

[P] [N] [M] 9700.02: Insulation missing. Monitor the situation on a regular basis. Corrections by a qualified licensed contractor, if and when necessary, are recommended. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Correction or modification decreases the probability of continued and excessive deterioration. See Photo(s) 9700.02.



Photo: 9700.02 (1)

[P] [N] 9700.04: Insulation faulty or otherwise amiss. Insulation cover bathroom vent fans. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Correction or modification decreases the probability of continued and excessive deterioration. See Photo(s) 9700.04.



Photo: 9700.04 (1)

[H] [C] [U] [P] [N] [B] 9860: Unexpected repairs and maintenance. Attached garage firewall / separation wall questionable. Attached garage firewall material should be used on the garage side of walls and ceiling common to the house must meet certain requirements in order to slow the spread of fire. IRC (International Building Code) specifies that single and 2-family building must have a one hour rated surface, half an hour if an automatic sprinkler system has been installed. Pull down ladders in attached garages should be fire rated as well. The finding does not conform to building

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standards and practices in effect at the time of construction or installation. Before purchasing the property, further study and corrections, as needed, by a qualified licensed contractor are advised. Discretion advised. The significance of the finding is uncertain. Further study by a qualified licensed contractor is advised. Correction or modification decreases the probability of continued and excessive deterioration. Modification or addition is generally considered an upgrade which should improve safety or efficiency. The opinion of a qualified licensed contractor is recommended. Caution is advised. The finding could be, or could become, hazardous under certain circumstances. The opinion of a qualified licensed contractor is recommended. The finding should be considered hazardous. Corrections by a qualified licensed contractor, before purchasing the property, are advised. See Photo(s) 9860.



Photo: 9860 (1)

Structure Components & Applications:

The client should be aware that some components and some applications require additional maintenance and consideration and that the survey of some components and some applications is limited.

Some component and some application information contains disclosures. This information is conveyed through the reference manual given to you by the inspector. Read all narratives in the Uniform Building Inspection Report™ Reference Manual, referenced by item number, before purchasing the property.

INSPECTED STRUCTURES BUILDING TYPE:

94a Single family residence

APPROXIMATE ERA OF CONSTRUCTION:

91g 1996 to Present

ROOF/CEILINGS STRUCTURAL COMPONENTS:

90a(1) Truss roof system

90b(1) Site-framed roof system

90c Plywood/OSB roof sheathing

FLOOR STRUCTURAL COMPONENTS:

90j(1) Concrete slab floor

EXTERIOR WALLS STRUCTURAL COMPONENTS:

90t Wood framing

FOUNDATION AND/OR BASEMENT STRUCTURES

WHERE VISIBLE (if basement present):

93a Concrete foundation

SUB-AREA OBSERVATION EXTENT AND METHOD:

This type of construction has no sub-area

ATTIC OBSERVATION EXTENT AND METHOD:

96b Partially viewed

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ATTIC ACCESS LOCATION:

An attic access is located in the garage ceiling. There may be other attic access locations not listed here.

ATTIC VENTILATION:

92a Attic ventilation

APPROXIMATE ATTIC INSULATION THICKNESS:

(In many cases, such as with flat or vaulted roof structures without attics, the inspector cannot ascertain the thickness of the insulation or whether any is installed. An indication of insulation thickness does not guarantee complete coverage. The presence of wall insulation generally cannot be ascertained at all)

95e 9 to 12 inches (attic)

APPROXIMATE FLOOR INSULATION THICKNESS:

INSTALLED ATTIC AND FLOOR INSULATION TYPES:

95a(1) Fiberglass (batt or loose)

VAPOR RETARDERS/BARRIERS:

Vapor retarder presence and type not fully ascertainable

Moisture barrier presence and type not fully ascertainable

95d(1) Vapor barrier noted

95d(3) Ceiling vapor retarder material not possible to ascertain

95d(12) Wall vapor retarder material not possible to ascertain

95d(20) Floor vapor retarder material not possible to ascertain

95d(2) Moisture barrier noted

Additional Information:

Note: Read the first page of the Uniform Building Inspection Report Reference Manual and the Louisiana State Board of Home Inspectors' Standards of Practice for an insight into the scope of the inspection.

The inspection represents the condition of the visually inspected areas of the property on the date of the inspection. Component conditions may change between the date of the inspection and the title transfer date. A thorough walk-through prior to title transfer helps protect against unexpected surprises, and is recommended. The purchase of a home warranty is recommended, Please send any comments regarding the inspector or inspection to mike.qedservice@gmail.com.