

# WEST BRADFORD TOWNSHIP NEW MUNICIPAL BUILDING

## PROJECT TEAM

**OWNER:**  
WEST BRADFORD TOWNSHIP  
1385 CAMPUS DRIVE  
WEST BRADFORD, PA 19335  
PHONE: 610.269.4174  
CONTACT: X

**ARCHITECT:**  
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BLUE BELL, PA 19422  
PHONE: 610.834.7805  
CONTACT: JONATHAN TRUMP, RA

**STRUCTURAL ENGINEER:**  
BAKER INGRAM and ASSOCIATES  
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LANCASTER, PA 17601  
PHONE: 717.290.7400  
CONTACT: LARRY BAKER, PE

**MEP ENGINEER:**  
SHARPE ENGINEERING, INC.  
130 FUTURA DRIVE, SUITE 200  
LIMERICK TWP, PA 19464  
PHONE: 610.489.8212  
CONTACT: RYAN FRONHEISER, PE

**CIVIL ENGINEER:**  
EDWARD B. WALSH & ASSOCIATES  
125 DOWLIN FORGE ROAD  
EXTON, PA 19341  
PHONE: 610.903.0060

## CONCEPTUAL RENDERING



\* CONCEPTUAL IMAGE MAY NOT EXACTLY REFLECT SCOPE OF WORK. REFER TO CONTRACT DOCUMENTS FOR COMPLETE SCOPE.

## DRAWING LIST

### CIVIL

- 1 OF 7 - COVER SHEET
- 2 OF 7 - EXISTING FEATURES PLAN / DEMOLITION PLAN
- 3 OF 7 - SITE PLAN
- 4 OF 7 - GRADING PLAN
- 5 OF 7 - PHASING PLAN
- 6 OF 7 - EROSION AND SEDIMENT CONTROL PLAN
- 7 OF 7 - DETAIL SHEET

### ARCHITECTURAL

- CS-1 - COVER SHEET
- A0.1 - CODE PLANS
- A0.2 - PHASING PLANS
- A1.1 - DEMOLITION PLANS
- A2.1 - BASEMENT PLAN
- A2.2 - FIRST FLOOR PLAN
- A2.3 - ROOF PLAN
- A3.1 - EXTERIOR ELEVATIONS
- A3.2 - BUILDING SECTIONS
- A3.3 - BUILDING SECTIONS
- A4.1 - ENLARGED FLOOR PLANS
- A5.1 - INTERIOR ELEVATIONS
- A5.2 - INTERIOR ELEVATIONS
- A5.3 - INTERIOR ELEVATIONS
- A5.4 - INTERIOR ELEVATIONS
- A6.1 - REFLECTED CEILING PLAN
- A6.2 - REFLECTED CEILING PLAN
- A8.1 - WALL SECTIONS
- A8.2 - PLAN & SECTION DETAILS
- A8.3 - PLAN & SECTION DETAILS
- A8.4 - PLAN & SECTION DETAILS
- A10.1 - DOOR & FINISH SCHEDULES
- A10.2 - WINDOW SCHEDULE & DETAILS

### STRUCTURAL

- S1.1 - STRUCTURAL NOTES
- S2.1 - FOUNDATION & FLOOR FRAMING PLAN
- S2.2 - ROOF FRAMING PLAN
- S3.1 - FOUNDATION SECTIONS
- S4.1 - FRAMING SECTIONS
- S6.1 - TYPICAL FOUNDATION DETAILS
- S6.2 - TYPICAL DETAILS
- S6.3 - COLD-FORMED METAL TYPICAL DETAILS

### MECHANICAL

- M0.1 - COVER SHEET
- M1.1 - BASEMENT DEMOLITION PLAN
- M1.2 - GROUND FLOOR DEMOLITION PLAN
- M2.1 - BASEMENT DUCTWORK PLAN
- M2.2 - GROUND FLOOR DUCTWORK PLAN
- M3.1 - BASEMENT PIPING PLAN
- M3.2 - GROUND FLOOR PIPING PLAN
- M3.3 - GEOTHERMAL BORE FIELD SITE PLAN
- M4.1 - PARTIAL PLANS & SECTIONS
- M5.1 - DETAILS
- M5.2 - DETAILS
- M5.3 - GEOTHERMAL BORE DETAILS
- M5.4 - GEOTHERMAL BORE DETAILS
- M6.1 - SCHEDULES
- M6.2 - SCHEDULES

### ELECTRICAL

- E0.1 - COVER SHEET
- E1.1 - BASEMENT DEMOLITION PLAN
- E1.2 - GROUND FLOOR DEMOLITION PLAN
- E2.1 - BASEMENT LIGHTING PLAN
- E2.2 - GROUND FLOOR LIGHTING PLAN
- E3.1 - BASEMENT POWER PLAN
- E3.2 - GROUND FLOOR POWER PLAN
- E4.1 - BASEMENT FIRE ALARM PLAN
- E4.2 - GROUND FLOOR FIRE ALARM PLAN
- E5.1 - SITE PLAN
- E5.2 - COMMUNICATIONS PATHWAYS
- E6.1 - PANEL SCHEDULES
- E6.2 - LIGHT FIXTURE SCHEDULE
- E6.3 - SINGLE LINE DIAGRAM

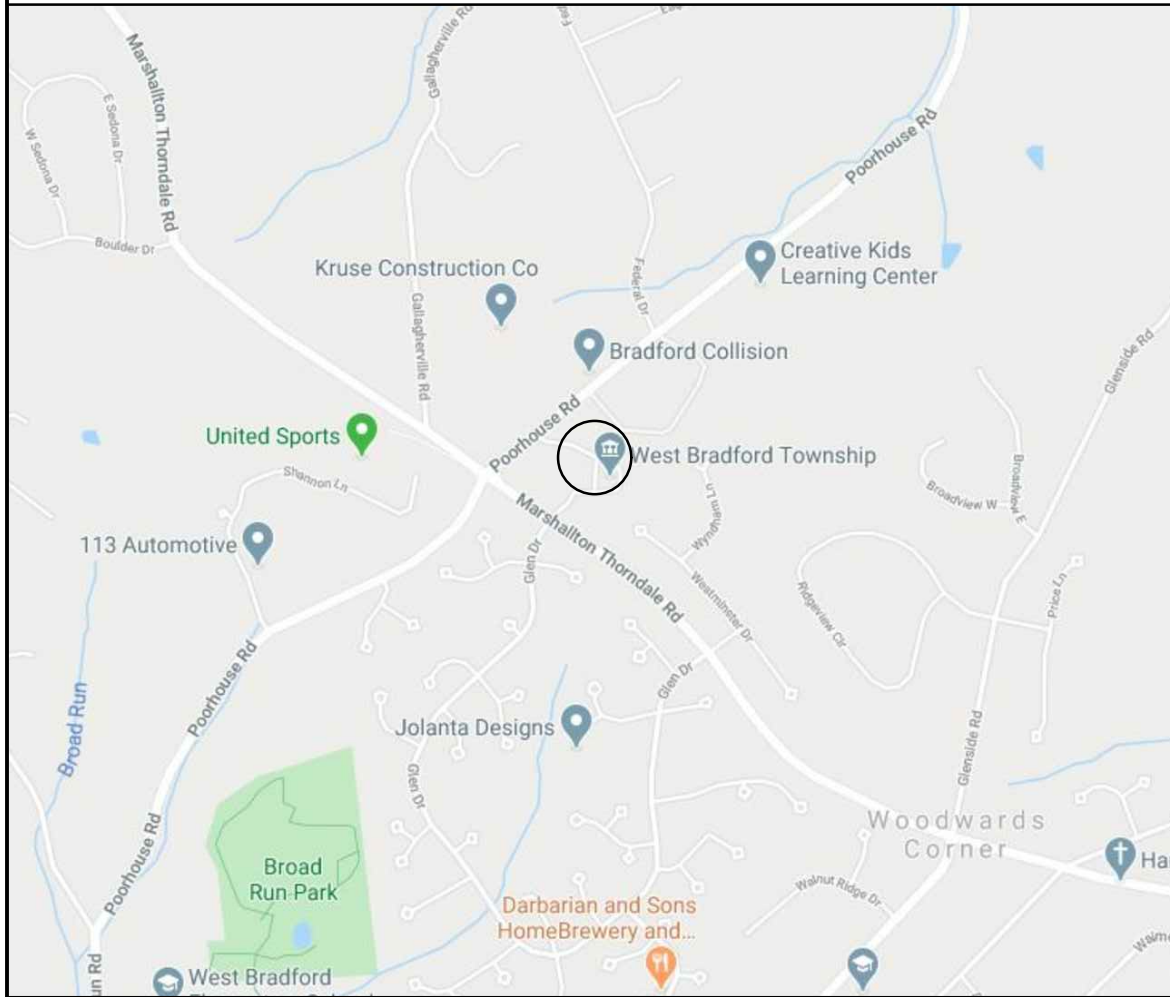
### PLUMBING

- P0.1 - COVER SHEET
- P1.1 - BASEMENT DEMOLITION PLAN
- P1.2 - GROUND FLOOR DEMOLITION PLAN
- P2.1 - BASEMENT NEW WORK PLAN
- P2.2 - GROUND FLOOR NEW WORK PLAN
- P2.3 - GROUND FLOOR NEW WORK PLAN
- P4.1 - DETAILS
- P4.2 - RISER DIAGRAM & DETAILS
- A5.1 - SCHEDULES

### FIRE PROTECTION

- FP0.1 - COVER SHEET
- FP2.1 - BASEMENT NEW WORK PLAN
- FP2.2 - GROUND FLOOR NEW WORK PLAN
- FP4.1 - DETAILS
- FP4.2 - DETAILS

## AREA MAP

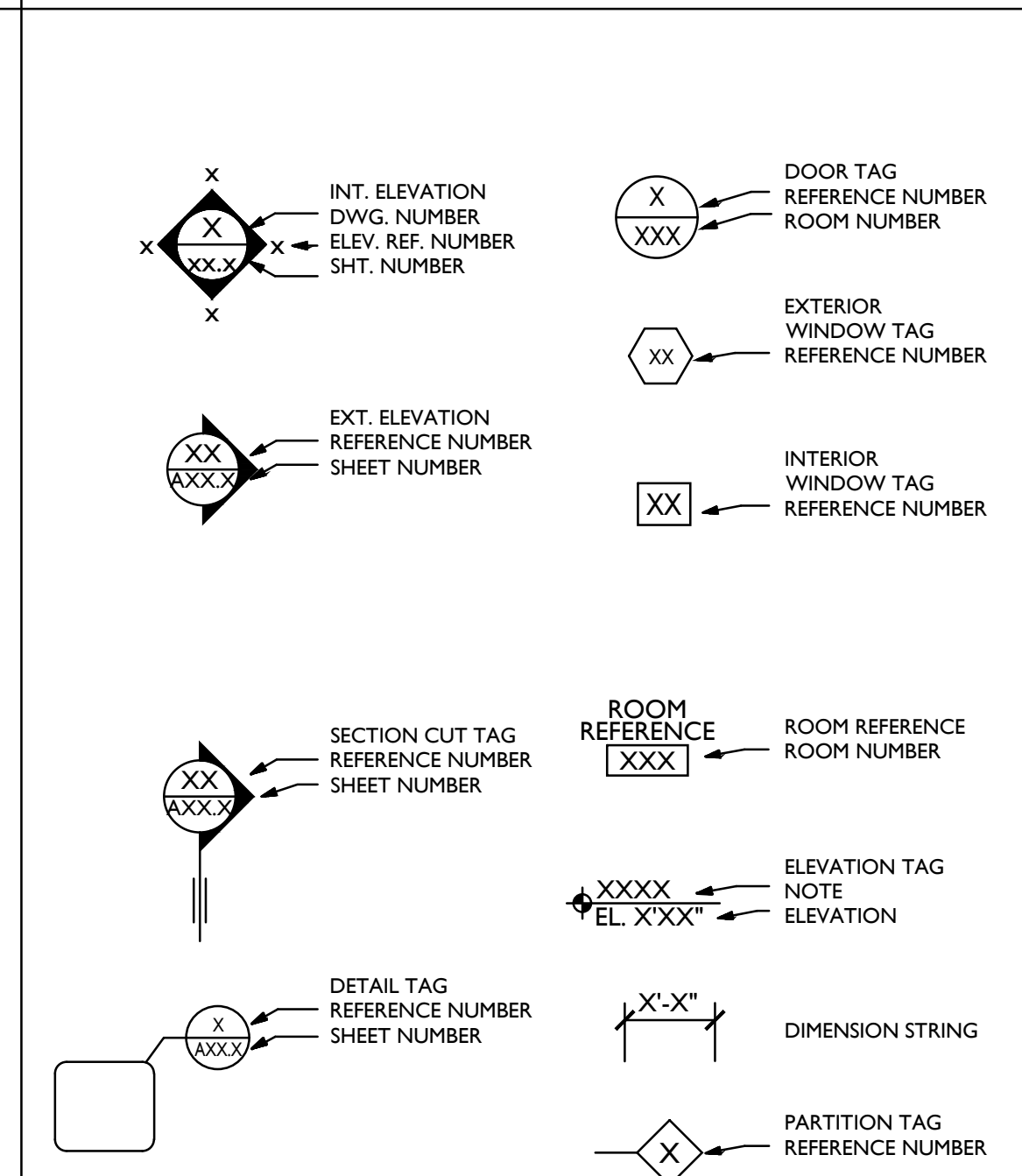


## GENERAL REQUIREMENTS

1. IT IS THE INTENT OF THESE DRAWINGS TO SHOW THE CONSTRUCTION OF ADDITIONS AND ALTERATIONS OF AN EXISTING 1-STORY, XX SQUARE FEET MUNICIPAL BUILDING.
2. ALL WORK IS TO BE DONE IN ACCORDANCE WITH STATE AND LOCAL CODE REQUIREMENTS.
3. ALL WORK SHOWN IS NEW, UNLESS OTHERWISE NOTED.
4. ALL CONTRACTORS SHALL COORDINATE THE INSTALLATION OF THEIR SCOPE OF WORK WITH THE ARCHITECTURAL, MEP, AND STRUCTURAL DOCUMENTS AND DESIGN INTENT. TO THE EXTENT THAT CONFLICTS ARISE, THE CONTRACTORS SHALL IDENTIFY ANY CONFLICTS BETWEEN THE DESIGN, DESIGN INTENT, AND THEIR SCOPE OF WORK PRIOR TO FABRICATING OR ATTEMPTING THE INSTALLATION OF WORK SO THAT SUCH CONFLICT(S) CAN BE RESOLVED WITHOUT DISRUPTION OF THE WORK PROGRESS. ANY SUCH CONFLICTS ARE TO BE REPORTED TO THE ARCHITECT DURING THE COORDINATION DRAWING PROCESS OR EARLIER.
5. IT SHALL BE THE RESPONSIBILITY OF THE PLUMBING, MECHANICAL, FIRE PROTECTION, AND ELECTRICAL CONTRACTORS TO MEET OR EXCEED THE REQUIREMENTS OF THE APPLICABLE GOVERNING CODES & TO COORDINATE THEIR WORK WITH THE ARCHITECTURAL / STRUCTURAL DRAWINGS WHICH ARE PROPRIETARY. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS.
6. NO PRODUCTS CONTAINING ASBESTOS OR OTHER HAZARDOUS MATERIAL SHALL BE INSTALLED ON THIS PROJECT OR USED DURING THE CONSTRUCTION OF THE PROJECT.
7. THE CONTRACTORS ARE TO PROVIDE FIELD ENGINEERING SERVICES AS REQUIRED FOR PROPER COMPLETION OF THE WORK INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
  - A. ESTABLISHING AND MAINTAINING LINES, LEVELS, ELEVATIONS, LAYOUTS, STAKES, ETC.
  - B. STRUCTURAL DESIGN OF SHORES, FORMS, ANCHORS, SUPPORTS, OR SIMILAR ITEMS AS PART OF THE CONTRACTORS MEANS AND METHODS OF CONSTRUCTION.
8. ALL FIXTURES AND APPLIANCES REQUIRING PLUMBING OF ANY KIND, INCLUDING BUT NOT LIMITED TO HOT AND COLD WATER SUPPLY AND DRAINAGE OR VENTING, SHOWN IN THE CONTRACT DOCUMENTS ARE TO BE PLUMBED BY THE PLUMBING CONTRACTOR REGARDLESS OF WHETHER THE ITEMS OR PLUMBING FIXTURES ARE SHOWN ON THE PLUMBING DRAWINGS.
9. ELECTRICAL: ALL DEVICES REQUIRING POWER, WIRING, OR GROUNDING SHOWN IN THE CONTRACT DOCUMENTS, ARE TO BE WIRED BY THE ELECTRICAL CONTRACTOR REGARDLESS OF WHETHER THE ITEM IS SPECIFICALLY SHOWN ON THE ELECTRICAL DRAWINGS. CONSULT THE ELECTRICAL ENGINEER FOR ANY ITEM NOT SHOWN ON CIRCUIT PANEL SCHEDULES FOR FINAL ROUTING. NO CHANGE ORDERS WILL BE APPROVED FOR ITEMS SHOWN IN THE CONTRACT DOCUMENTS THAT WERE NOT ACCOUNTED FOR BY THE ELECTRICAL CONTRACTOR REGARDLESS WHERE THE ITEMS ARE LOCATED IN THE CONTRACT DOCUMENTS.
10. CONTRACTOR SHALL PROVIDE CONSTRUCTION FACILITIES AND TEMPORARY UTILITIES SUCH AS: HEAT, WATER, ELECTRICITY, TELEPHONE, SANITARY FACILITIES, ENCLOSURES, TARP/PAVILIONS, BARRICADES, CANOPIES, AND TEMPORARY FENCING AS REQUIRED TO PROTECT THE SITE, THE PUBLIC, AND THE USER OF THE BUILDING, AS REQUIRED AND OUTLINED IN THE SPECIFICATIONS.
11. THE RISK OF LOSS OF ITEMS STORED ON THE SITE SHALL BE EACH CONTRACTORS RESPONSIBILITY. THE CONTRACTORS SHALL PROVIDE THE APPROPRIATE INSURANCE COVERAGE TO MEET THE ABOVE REQUIREMENTS.
12. THE CONTRACTORS SHALL PROCURE AND OBTAIN ALL THE NECESSARY PERMITS AND/OR APPROVALS EXCEPT FOR LAND DEVELOPMENT APPROVAL.
13. ANY ITEM NOT COMPATIBLE WITH THE SUBSTRATE SHALL BE ISOLATED AS PER MANUFACTURERS' RECOMMENDATIONS.
14. ELECTRICAL CONTRACTOR SHALL SUPPLY & INSTALL EMERGENCY LIGHTING & EXIT SIGNS AS REQUIRED BY CODE AND IN ALL LOCATIONS APPROVED BY THE FIRE MARSHALL. CONTRACTOR SHALL REVIEW LOCATIONS WITH CODE OFFICIAL/FIRE MARSHALL PRIOR TO INSTALLATION.
15. CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL SITE UTILITIES WITH LOCAL AUTHORITIES AND UTILITY PROVIDERS PRIOR TO BEGINNING ANY WORK.
16. FIRE STOPPING IS REQUIRED AT ALL PENETRATIONS THROUGH RATED ASSEMBLIES. FIRE STOPPING LOCATIONS ARE NOT INDICATED ON THE DRAWINGS. EACH PRIME CONTRACTOR SHALL PROVIDE FIRE-STOPPING FOR THEIR OWN WORK.
17. FIRE EXTINGUISHERS, EMERGENCY LIGHTS, EXIT SIGNS, PULL STATIONS, AND SMOKE DETECTORS: CONTACT THE GOVERNING INSPECTOR/OFFICIAL AND COORDINATE ALL FINAL LOCATIONS PRIOR TO INSTALLATION.
18. THESE DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE WRITTEN BOOK FORMAT SPECIFICATIONS PREPARED FOR THIS PROJECT. THE CONTRACTORS SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS BETWEEN THE SPECIFICATIONS AND THE DRAWINGS PRIOR TO RECEIPT OF BID. SHOULD ANY CONFLICT BE DISCOVERED DURING CONSTRUCTION, THE CONTRACTOR SHALL ADHERE TO THE MORE STRINGENT REQUIREMENT UNLESS DIRECTED OTHERWISE BY THE ARCHITECT.

19. CONSTRUCTION REQUIRED TO BE FIRE RATED SHALL CONFORM TO MATERIALS AND METHODS OF TESTED SYSTEMS BY UNDERWRITERS LABORATORIES (U.L.).
20. ALL LUMBER IN CONTACT WITH EITHER CMU OR CONCRETE SHALL BE PRESSURE-TREATED LUMBER.
21. EACH CONTRACTOR SHALL PROVIDE ACCESS PANELS AS REQUIRED FOR THEIR OWN WORK. ACCESS PANELS IN GWB SHALL BE TRIMLESS (W/ CONCEALED FLANGE TO RECEIVE GWB), AS SPECIFIED IN THE ARCHITECTURAL SPECIFICATIONS.
22. DIMENSIONS INDICATED ON FLOOR PLANS FOR STUD PARTITIONS ARE "ACTUAL", AND ARE TO FACE OF STUD. DIMENSIONS INDICATED ON FLOOR PLANS TO C.M.U. WALLS ARE "ACTUAL". DIMENSIONS TO EXTERIOR WALLS ARE TO OUTSIDE FACE OF SHEATHING, TYPICAL UNLESS OTHERWISE NOTED.
23. PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
24. FINISH FLOOR ELEVATION DATUM INDICATED ON THE CIVIL DRAWINGS 403.0' = ELEVATION +0'-0" ON THE ARCHITECTURAL DRAWINGS.
25. THIS PROJECT WILL ALLOW "EQUAL" SUBSTITUTIONS TO SPECIFIED ITEMS, PROVIDED ALL OF THE TERMS OF THE SPECIFICATIONS ARE MET, AND THAT THE "EQUAL" ITEM IS APPROVED BY THE ARCHITECT AND OWNER. CONTRACTOR SHALL SUBMIT DOCUMENTATION COMPARING SPECIFIED PRODUCT TO PROPOSED SUBSTITUTION AND SHALL DEMONSTRATE IT IS AN "EQUAL" PRODUCT. SEE SPECIFICATIONS FOR COMPLETE INFO.
26. MECHANICAL CONTRACTOR SHALL ALLOW SUFFICIENT TIME FOR THE ARCHITECT TO LOCATE EXTERIOR LOUVERS, DIFFUSERS AND EXPOSED DUCTWORK DURING THE COORDINATION & SHOP DRAWING PHASE. THE ARCHITECT RESERVES THE RIGHT TO REASONABLY MODIFY LOCATIONS OF EXTERIOR LOUVERS, DIFFUSERS, AND EXPOSED DUCTWORK WHERE CURRENTLY SHOWN ON THE MECHANICAL DRAWINGS FOR AESTHETIC REASONS.
27. ANY EXPOSED INSULATION SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450.
28. THESE PLANS SHOW THE APPROXIMATE LOCATIONS AND INVERTS OF EXISTING SITE UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING SITE UTILITIES AND COORDINATING THE INSTALLATION OF ALL NEW UTILITY RUNS FROM THEIR SOURCE TO THE NEW BUILDING WITH EXISTING SITE FEATURES, STREET CROSSINGS, AND UTILITY CROSSINGS, INCLUDING BUT NOT LIMITED TO EXISTING SANITARY SEWER LINES, UNDERGROUND PIPE LINES, ELECTRICAL DUCTBANKS, AND STORM WATER LINES. FINAL ROUTES, DEPTHS, COVERAGES, SWEEPS, AND UTILITY AUTHORITY REQUIREMENTS ARE TO BE COORDINATED WITH AUTHORITIES HAVING JURISDICTION PRIOR TO THE START OF ANY AND ALL WORK.
29. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH OWNER'S SPECIAL INSPECTION AGENCY FOR ALL ITEMS REQUIRING INSPECTION AS PER CHAPTER 17 OF THE INTERNATIONAL BUILDING CODE.
30. THE CONTRACTOR ACKNOWLEDGES AND AGREES THAT THE CONTRACT DOCUMENTS ARE SUFFICIENT TO PROVIDE FOR THE COMPLETION OF THE WORK AND INCLUDE WORK, WHETHER OR NOT SHOWN OR DESCRIBED, WHICH REASONABLY MAY BE INFERRED TO BE REQUIRED OR USEFUL FOR THE COMPLETION OF THE WORK IN ACCORDANCE WITH APPLICABLE LAWS, CODES, AND CUSTOMARY STANDARDS OF THE INDUSTRY.
31. ALL WORK PERFORMED SHALL BE BY EXPERIENCED CRAFTSMEN SKILLED IN THEIR TRADE AS REQUIRED TO COMPLETE THE WORK IN A MANNER CONSISTENT WITH THE CONTRACT DOCUMENTS AND ACCEPTABLE TO THE OWNER.
32. EACH CONTRACTOR SHALL FULLY REVIEW THE COMPLETE SET OF CONTRACT DOCUMENTS AS SOME WORK OF EACH CONTRACTOR/TRADE MAY BE SHOWN THROUGHOUT THE DOCUMENTS. CONTRACTORS SHALL SUBMIT COORDINATION DRAWINGS DETAILING THE INTERFACE OF THE MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION WITH THE BUILDING STRUCTURE AT THE BEGINNING OF THE SHOP DRAWING PHASE AND PRIOR TO THE INSTALLATION OF THE WORK AS DETAILED IN THE SPECIFICATIONS.
33. FINISHED GRADE IS TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING AND ITS DOORS.
34. ALL CONCEALED FLASHING SHALL BE COPPER OR STAINLESS STEEL (THICKNESS AS SPECIFIED). ALL EXPOSED FLASHING SHALL BE .040" THICK ALUMINUM.
36. BLOCKING: THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING TO HANG AND SUPPORT ALL FIXTURES, EQUIPMENT AND SYSTEMS AND ACCESSORIES REQUIRED FOR THE JOB REGARDLESS OF WHETHER THE ITEM IS INCLUDED IN THE SCOPE OF WORK OR TO BE PROVIDED BY THE OWNER OR OTHER TRADES.
37. CONTRACTOR SHALL PREVENT MOVEMENT OF STRUCTURE, PROVIDE AND PLACE BRACING AND SUPPORTS OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE AND ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT, DAMAGE, OR INJURY. CONTRACTOR SHALL CEASE OPERATION AND NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS ENDANGERED AND TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.

## DRAWING SYMBOLS



KIMMEL BOGRETTE

Architecture + Site

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MUNICIPAL BUILDING  
WEST BRADFORD TOWNSHIP  
1385 CAMPUS DRIVE  
WEST BRADFORD, PA 19335

Construction Issue Date:  
01/26/21  
Drawn By: TM, YP  
Checked By: JT  
Scale: AS NOTED

Sheet Name: COVER SHEET  
Progress Prints:  
10/15/20 ISSUED FOR BIDDING  
01/26/21 FOR CONSTRUCTION  
Revisions:  
REVISED DURING BIDDING

CS-1

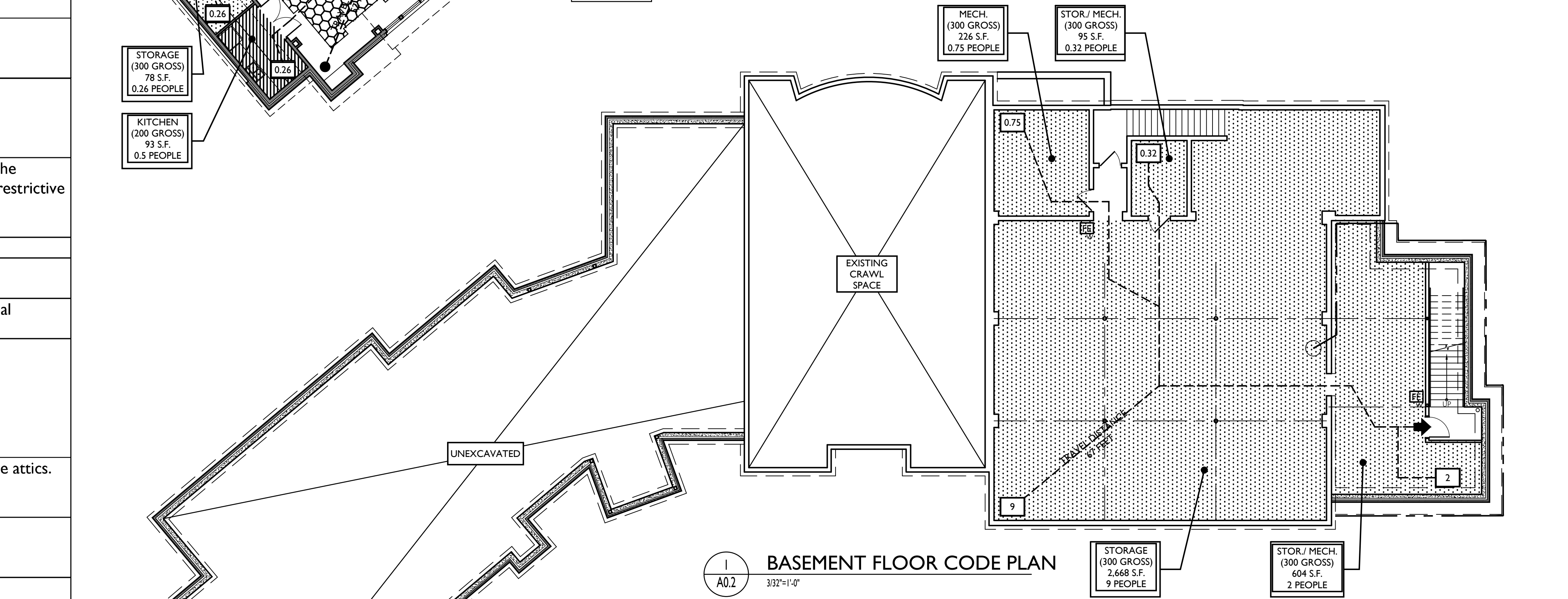
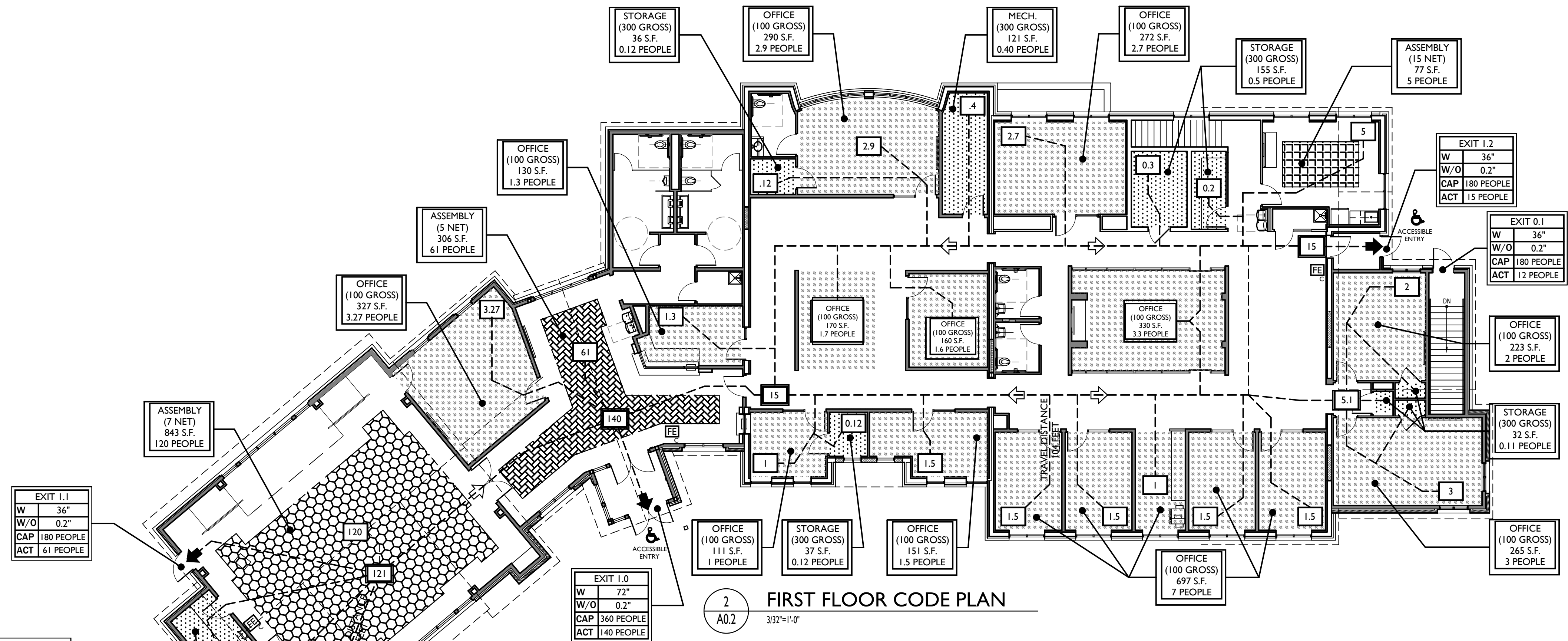
- Codes Reviewed:  
 1) International Building Code 2015  
 2) American National Standard ANSI A117.1-2009

Proposed Building:  
 Existing building is a 1 story approximately 5,700 square feet with partial basement. Existing building is constructed of wood floor, CMU exterior bearing walls and wood trusses. Approximately 4,600 square foot proposed addition will be slab on grade, metal stud exterior bearing walls and wood trusses. As per township ordinance the entire building will have a sprinkler system.

Proposed Construction (Addition):  
 Slab on grade. Metal stud exterior walls. Wood truss roof.

Building Size:  
 Existing Basement: 3,200 sf  
 Existing First Floor: 5,700 sf  
 Proposed Additions: 4,200 sf  
 Total First Floor: 9,900 sf

Occupancy:  
 Public Meeting Room: 1,540 sf / 7 sf per person (net) = 165 people  
 Lobby, Offices, Bathrooms, Storage: 7,575 sf / 100 sf per person (gross) = 76 people  
 Basement Storage / Mechanical: 3,200 sf / 300 sf per person (gross) = 11 people  
 Total Building Occupant Load = 252 people



1) International Building Code 2018

Section	Heading	Remarks
302.1	Bldg Class	Use Group: Group B – Civic Administration Group A3 – Public Meeting Room
Table 506.2	Building Height and Area	Use Group B -Type 5B construction –1 story, sprinkler, 36,000 SF Actual square footage proposed: <b>7,575 sf</b> Use Group A3 -Type 5B construction –1 story, sprinkler, 24,000 SF Actual square footage proposed: <b>1,540 sf</b>
508.3.2	Non-Separated Occupancies	Non separated occupancies shall be individually classified per 302.1. The allowable building area and height shall be based on the most restrictive allowances for the occupancy groups. <b>Note: A3 is the most restrictive group</b>
508.3.3	Separation	No separation is required between non separated occupancies
Table 509	Incidental Use Areas	Room containing fire pumps – 1 hour and sprinkler system
603	Type V Construction	Structural elements, exterior walls and interior walls are of any material permitted by code
Table 601	Fire resistance ratings of structure elements	Bldg Element Type VB Primary Structural frame including Bearing Walls: exterior 0 Interior 0 Floor construction 0 Roof Construction 0
Table 718.4	Draftstopping in Attics	In combustible construction draftstopping shall be installed to subdivide attics. Draftstopping required every 3,000 sf <b>Exception: draftstopping not required with sprinkler system</b>
803.1.1	Interior Finish	Class A flame spread 0-25, smoke developed 0-450 Class B flame spread 26-75, smoke developed 0-450 Class C flame spread 76-200, smoke developed 0-450
Table 803.1.1	Interior Finish	Sprinklered: A-3 B Vertical exits and exit passage ways B B Exit access corridors B C Rooms and enclosed spaces C C
903.2.1.3	Sprinklers Group A-3	Required where one of the following exists 1. Fire area exceeds 12,000 SF 2. Fire area has an occupant load of 300 or more <b>Note: Sprinkler System Provided as per Ordinance</b>
903.2.2	Sprinklers Group B	Sprinkler only required in Group B for ambulatory health care facilities <b>Note: Sprinkler System Provided as per Ordinance</b>
906.1	Portable Fire Extinguishers	As require by fire marshal. Typical at all exits and in labs with open flames.
907.2	Fire Alarm & detection systems	For A3 and B manual fire alarm NOT required, sprinkler system installed.
912	FD Connection	Required. Locate as directed by the Township
1003.2	Ceiling Ht.	Means of Egress to have 7'-6" min. ceiling ht.

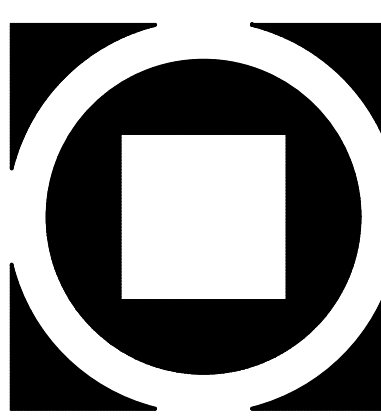
FIRE EXTINGUISHER KEY  
 FE = FIRE EXTINGUISHER CABINET: LARSEN SEMI RECESSED VERTICAL DUO FIRE EXTINGUISHER CABINET W/ CLEAR ACRYLIC GLAZING, SATIN ANODIZED ALUM. DOOR, 3" ROLLED EDGE, AND OPTIONAL RECESSED HANDLE OR EQUAL. EXTINGUISHER PROVIDED BY GENERAL CONTRACTOR.  
 FE = WALL MOUNTED FIRE EXTINGUISHER

NOTE: ALL FIRE EXTINGUISHER LOCATIONS TO BE COORDINATED AND APPROVED WITH THE ARCH. & FIRE MARSHAL PRIOR TO INSTALLATION.

	IBC CODE 2015 - OCCUPANT LOAD (TABLE 1004.1.1)			
	ASSEMBLY A3	BUSINESS B	BUILDING TOTAL	
AREA TYPE:	SQUARE FOOTAGE:	OCCUPANT LOAD:	SQUARE FOOTAGE:	OCCUPANT LOAD:
STORAGE/MECHANICAL SPACES (300 GROSS)	3,594 S.F.	12		12
TOTAL OCCUPIED BASEMENT:	3,594 S.F.	12		12
AREA TYPE:	SQUARE FOOTAGE:	OCCUPANT LOAD:	SQUARE FOOTAGE:	OCCUPANT LOAD:
STORAGE/MECHANICAL SPACES (300 GROSS)	78 S.F.	1	381 S.F.	2
BUSINESS SPACES (100 GROSS)	327 S.F.	4	2,799 S.F.	28
KITCHEN (200 GROSS)	93 S.F.	1		1
ASSEMBLY (STANDING) (5 NET)	306 S.F.	61		61
ASSEMBLY (CONCENTRATED) (15 NET)	843 S.F.	120		120
ASSEMBLY (UNCONCENTRATED) (15 NET)			77 S.F.	5
TOTAL OCCUPIED FIRST FLOOR:	4,904 S.F.	187	4,904 S.F.	35
TOTAL OCCUPANT LOAD:		199 PEOPLE A3 OCCUPANCY	35 PEOPLE B OCCUPANCY	234 PEOPLE

IBC Code Egress Width Analysis (1005.1):	
Required Egress Width:	Egress Width:
OCC LOAD: 234 x 2" = 468" (36' MIN)	
Door Number:	Egress Width:
E1.0	36"
E1.1	72"
E1.2	36"
E1.3	36"
Totals Provided:	180"

IBC Code Plumbing Fixtures (Table 2901.1): Group A3 Occupancy			IBC Code Plumbing Fixtures (Table 2901.1): Group B Occupancy		
Occupants 199 / 2 = 100	# of Fixtures Provided	# of Fixtures Required	Occupants 35 / 2 = 18	# of Fixtures Provided	# of Fixtures Required
WATER CLOSETS MEN'S (1/125)	1	2	WATER CLOSETS MEN'S (1/25 first 50)	1	1
WOMEN'S (1/65)	2	2	WOMEN'S (1/40 first 50)	1	1
UNISEX LABORATORIES (1/200)	0	0	UNISEX LABORATORIES (1/80 first 80)	1	1
WOMEN'S (1/200)	1	2	WOMEN'S (1/40 first 80)	1	1
UNISEX	0	0	UNISEX	0	0
DRINKING FOUNTAIN 1/500	1	2	DRINKING FOUNTAIN 1/100	1	2
JANITOR'S CLOSETS	1	1	JANITOR'S CLOSETS	1	1



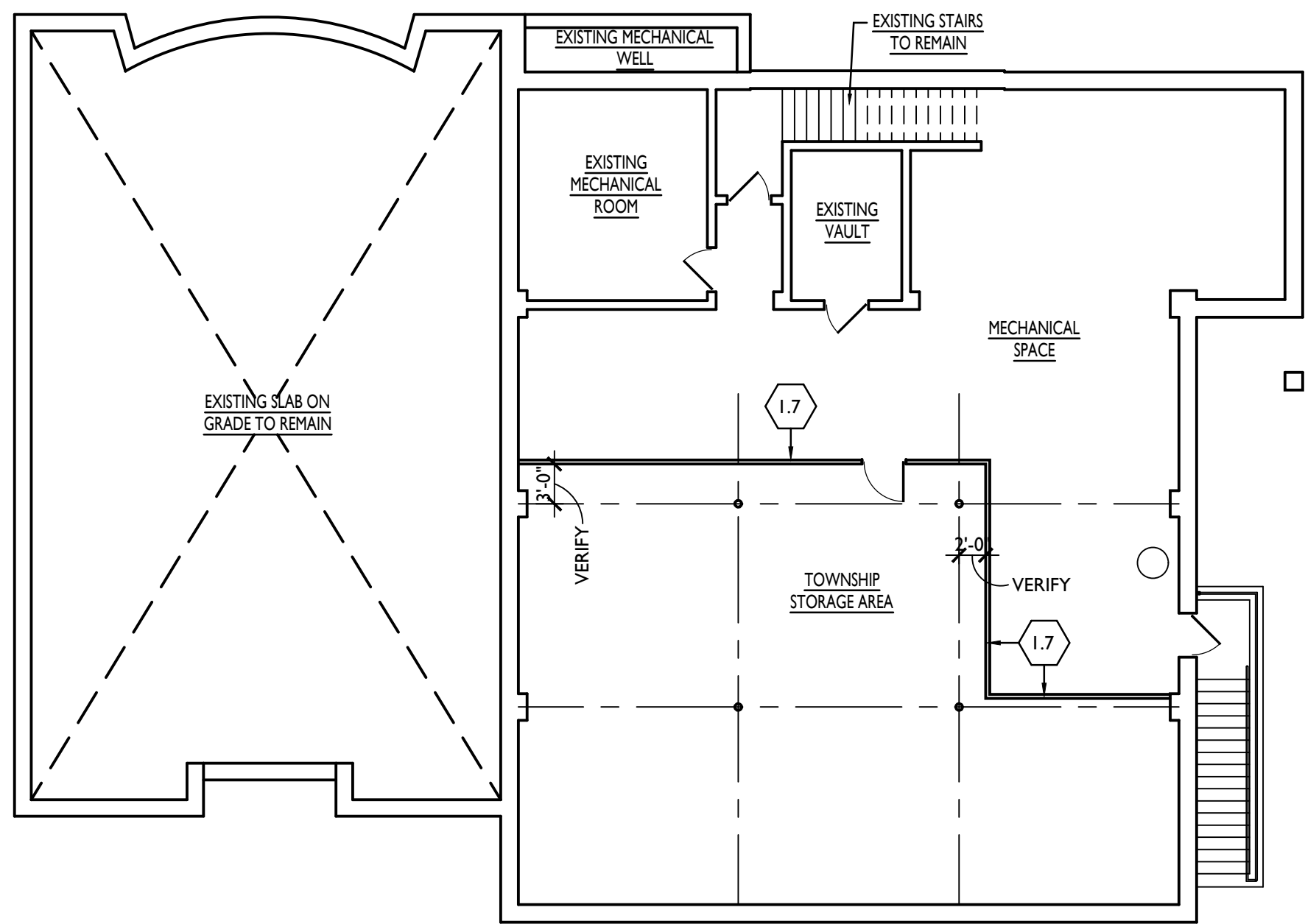
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MUNICIPAL BUILDING  
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 1385 CAMPUS DRIVE  
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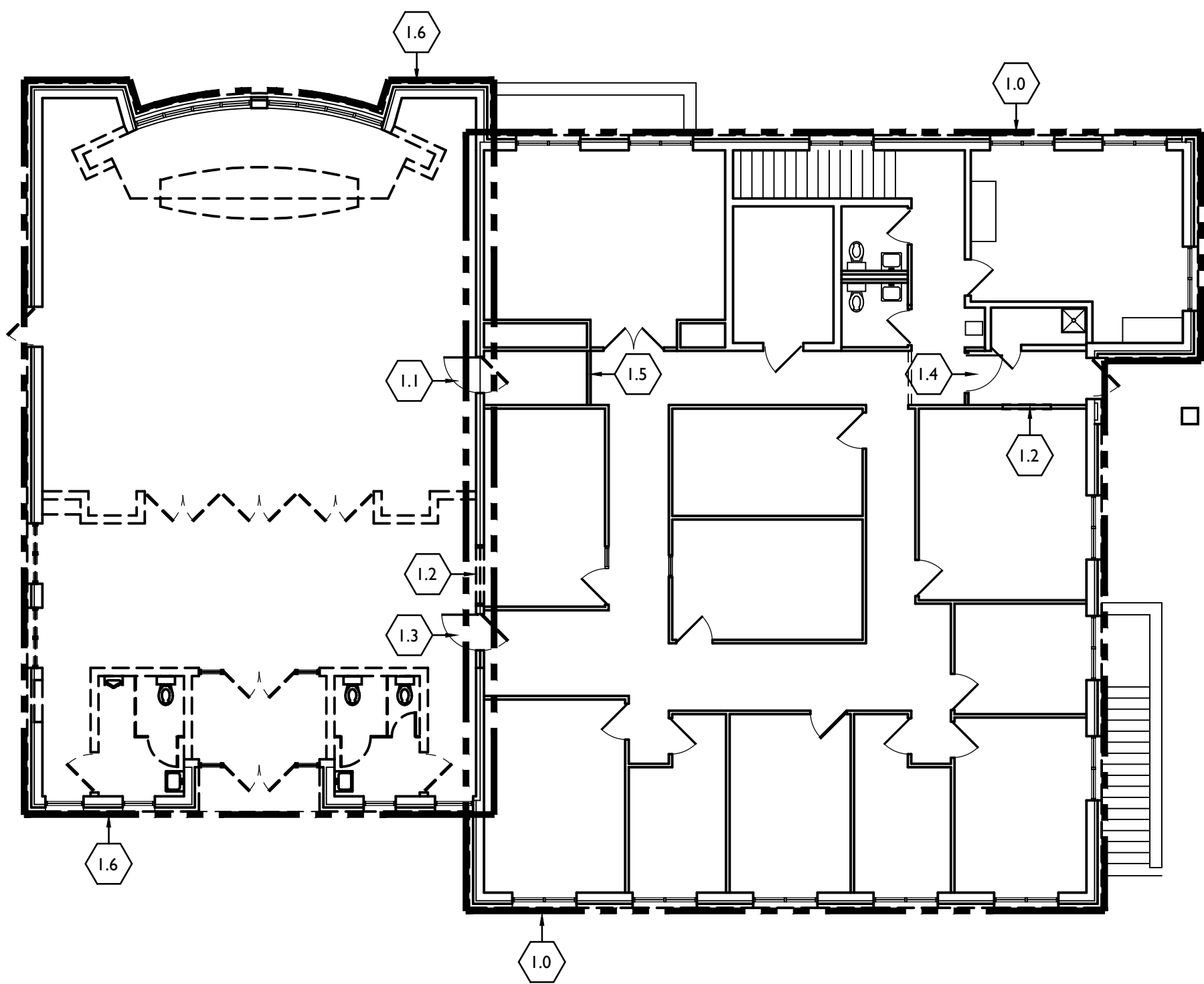
Construction Issue Date: 01/26/21  
 Drawn By: TM, YP  
 Checked By: JT  
 Scale: AS NOTED

Sheet Name: CODE PLANS  
 Progress Prints: 10/15/20 ISSUED FOR BIDDING  
 01/26/21 FOR CONSTRUCTION  
 Revisions:  
 1 REVISED DURING BIDDING

A0.1



**1**  
A0.2  
**PHASE I: BASEMENT PLAN**  
3/32"=1'-0"

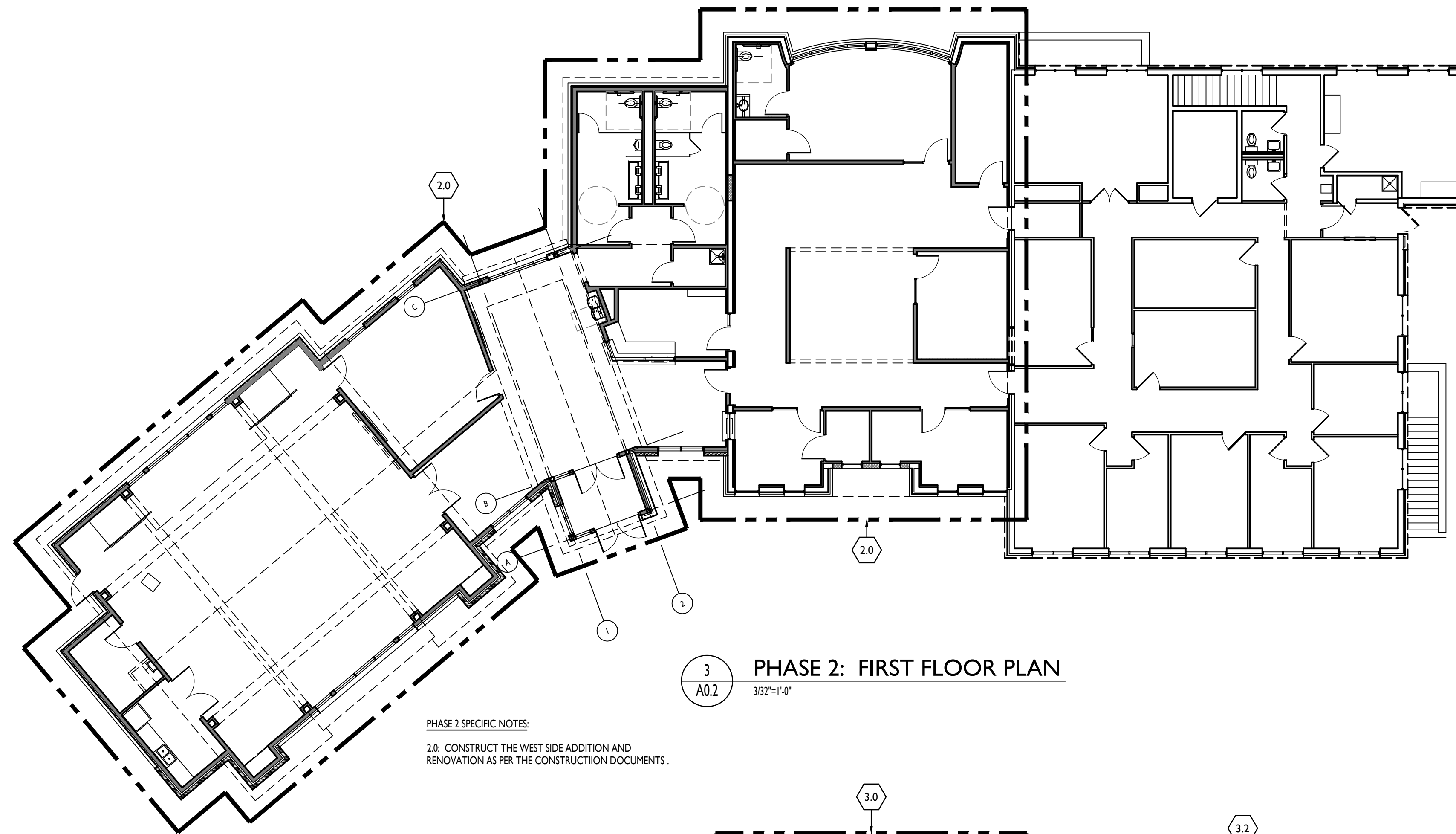


**2**  
A0.2  
**PHASE I: FIRST FLOOR PLAN**  
3/32"=1'-0"

**PHASE I SPECIFIC NOTES:**

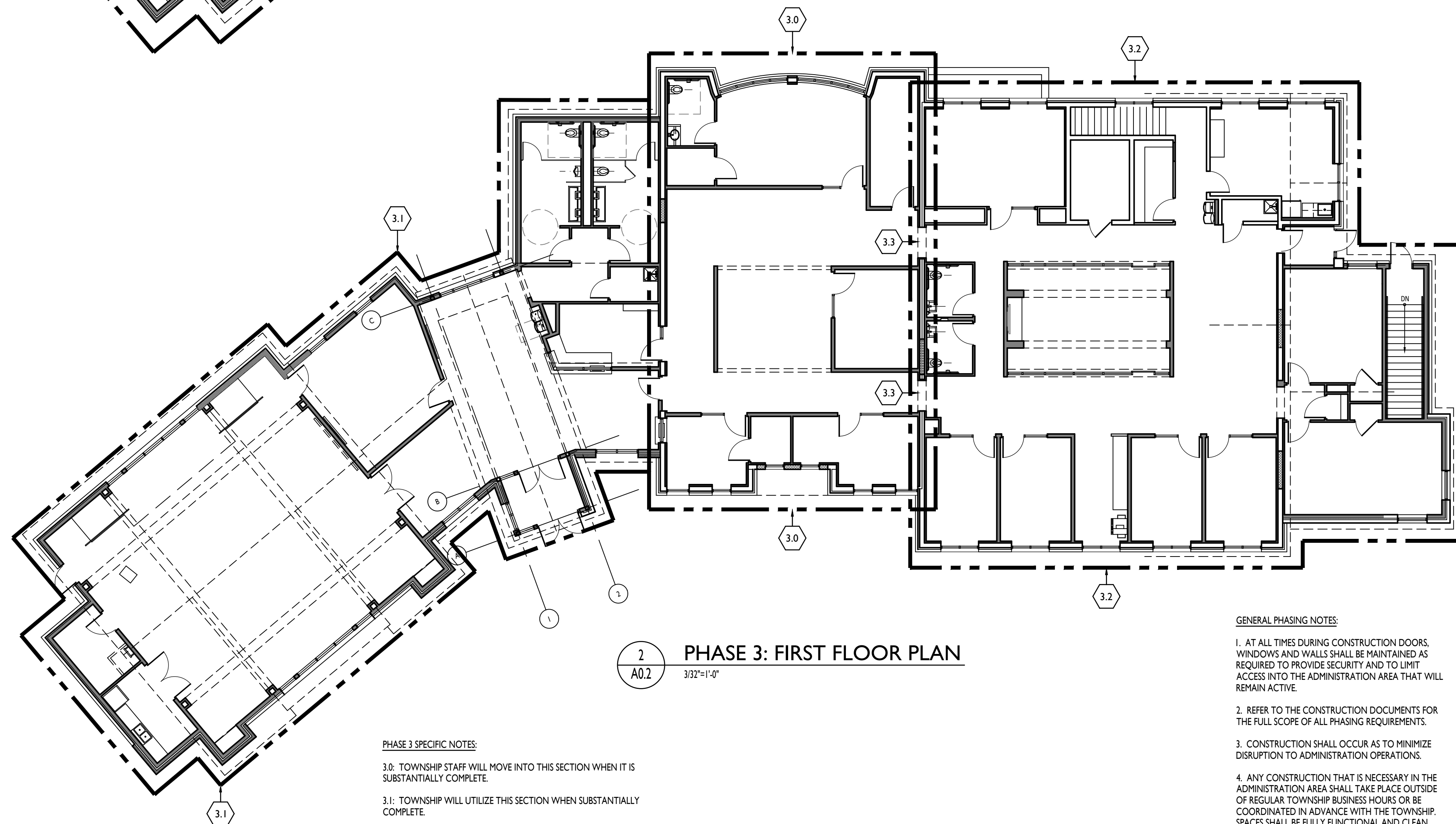
- 1.0: THE TOWNSHIP ADMINISTRATION WILL OCCUPY THIS AREA DURING THE INITIAL CONSTRUCTION PHASES. CONTRACTORS ARE TO MAINTAIN ALL UTILITIES AND SERVICES TO THE SPACE DURING CONSTRUCTION.
- 1.1: REMOVE EXISTING INTERIOR DOOR AND REPLACE WITH TEMPORARY EXTERIOR GRADE INSULATED DOOR FOR CONTRACTOR USE.
- 1.2: REMOVE EXISTING RECEPTION WALK UP WINDOW AND MAILBOX CASEWORK. CUT OUT WALL AND REINSTALL AS REQUIRED FOR TEMPORARY RECEPTION AREA WHERE SHOWN.
- 1.3: REMOVE EXISTING INTERIOR DOOR AND REPLACE WITH A TEMPORARY EXTERIOR GRADE INSULATED DOOR WITH EXTERIOR LOCK, PANIC DEVICE AND CLOSER FOR TOWNSHIP USE.
- 1.4: RELOCATE EXISTING INTERIOR ACCESS CONTROL DOOR (ITEM 1.3) TO THE LOCATION NOTED AND RECONNECT ACCESS CONTROL DEVICES.

- 1.5: CONSTRUCT A TEMPORARY FLOOR TO CEILING METAL STUD AND DRYWALL PARTITION TO CREATE AN ACCESS SPACE TO THE EXISTING MECHANICAL CHASE.
- 1.6: DEMOLISH THE EXISTING LOBBY, BATHROOMS AND PUBLIC MEETING ROOM AS REQUIRED FOR THE NEW CONSTRUCTION.
- 1.7: PROVIDE TEMPORARY FLOOR TO CEILING METAL STUD AND DRYWALL PARTITION WITH TEMPORARY 3'-0" X 7'-0" HOLLOW METAL DOOR AND FRAME WITH STORAGE LOCKSET, TO CREATE TOWNSHIP STORAGE AREA. COORDINATE NEW UTILITIES AS REQUIRED. REMOVE TEMPORARY WALLS AT THE END OF THE PROJECT.



**3**  
A0.2  
**PHASE 2: FIRST FLOOR PLAN**  
3/32"=1'-0"

- PHASE 2 SPECIFIC NOTES:**
- 2.0: CONSTRUCT THE WEST SIDE ADDITION AND RENOVATION AS PER THE CONSTRUCTION DOCUMENTS.



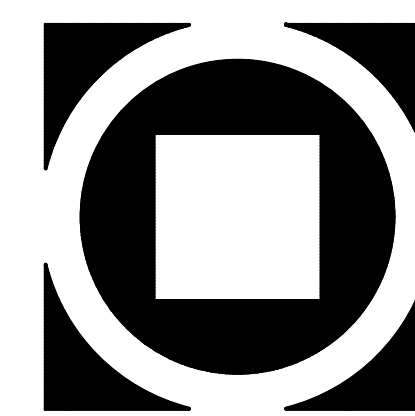
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A0.2  
**PHASE 3: FIRST FLOOR PLAN**  
3/32"=1'-0"

**PHASE 3 SPECIFIC NOTES:**

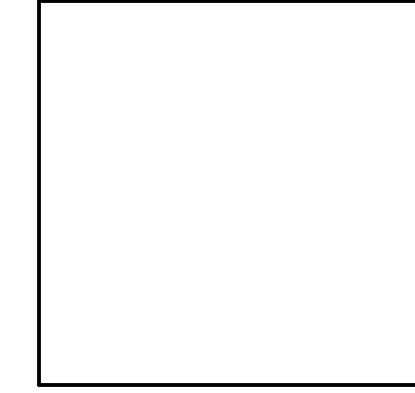
- 3.0: TOWNSHIP STAFF WILL MOVE INTO THIS SECTION WHEN IT IS SUBSTANTIALLY COMPLETE.
  - 3.1: TOWNSHIP WILL UTILIZE THIS SECTION WHEN SUBSTANTIALLY COMPLETE.
  - 3.2: DEMOLISH EXISTING ADMINISTRATION AREA AS REQUIRED FOR THE NEW CONSTRUCTION. CONSTRUCT NEW EAST SIDE BASEMENT AND FIRST FLOOR ADDITION AND RENOVATIONS.
  - 3.3: MAINTAIN EXISTING BARRIERS UNTIL EAST SIDE ADDITIONS AND RENOVATIONS ARE COMPLETE AND THEN REMOVE AND PATCH TO MATCH EXISTING ADJACENT CONSTRUCTION.
- NOTE:**  
ANY REQUIRED OFFICE TRAILERS FOR TOWNSHIP STAFF WILL BE PROVIDED AND INSTALLED BY THE TOWNSHIP INCLUDING ALL UTILITIES.

**GENERAL PHASING NOTES:**

- 1. AT ALL TIMES DURING CONSTRUCTION DOORS, WINDOWS AND WALLS SHALL BE MAINTAINED AS REQUIRED TO PROVIDE SECURITY AND TO LIMIT ACCESS INTO THE ADMINISTRATION AREA THAT WILL REMAIN ACTIVE.
- 2. REFER TO THE CONSTRUCTION DOCUMENTS FOR THE FULL SCOPE OF ALL PHASING REQUIREMENTS.
- 3. CONSTRUCTION SHALL OCCUR AS TO MINIMIZE DISRUPTION TO ADMINISTRATION OPERATIONS.
- 4. ANY CONSTRUCTION THAT IS NECESSARY IN THE ADMINISTRATION AREA SHALL TAKE PLACE OUTSIDE OF REGULAR TOWNSHIP BUSINESS HOURS OR BE COORDINATED IN ADVANCE WITH THE TOWNSHIP. SPACES SHALL BE FULLY FUNCTIONAL AND CLEAN AFTER COMPLETION OF THE WORK.
- 5. PRIME CONTRACTORS TO HOLD A PHASING MEETING WITH THE OWNER AND ARCHITECT PRIOR TO THE START OF WORK.
- 6. THE PROVIDED PLANS ARE TO PROVIDE A GENERAL GUIDELINE FOR PHASING ON THE PROJECT AND MAY BE MODIFIED BY THE PRIME CONTRACTORS WITH APPROVAL FROM THE OWNER AND ARCHITECT. ALL CONSTRUCTION SCOPE IS NOT SHOWN IN THE PHASING PLANS. SEE THE CONTRACT DOCUMENTS FOR COMPLETE SCOPE OF WORK.



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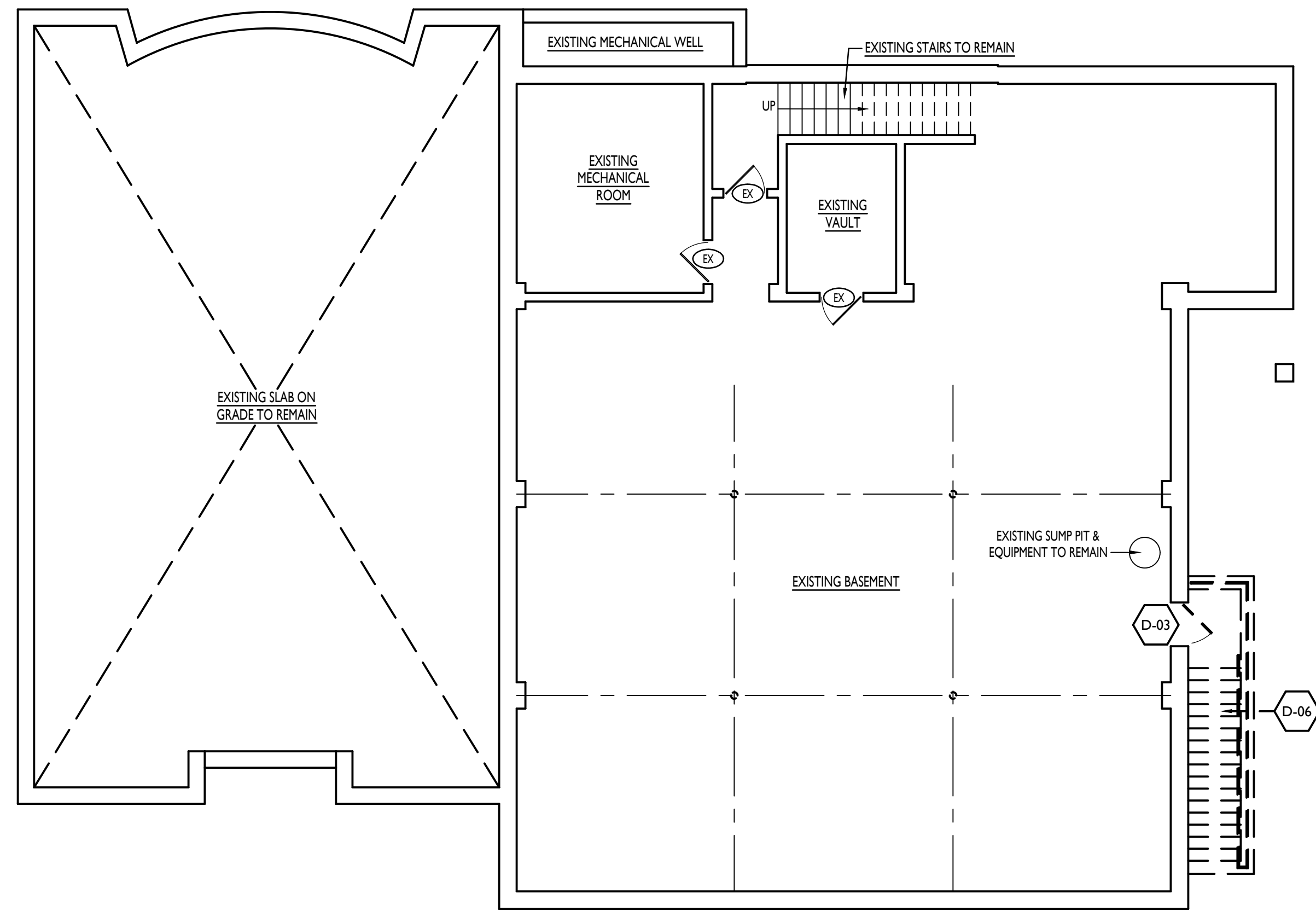


**MUNICIPAL BUILDING**  
**WEST BRADFORD TOWNSHIP**  
 1385 CAMPUS DRIVE  
 WEST BRADFORD, PA 19335

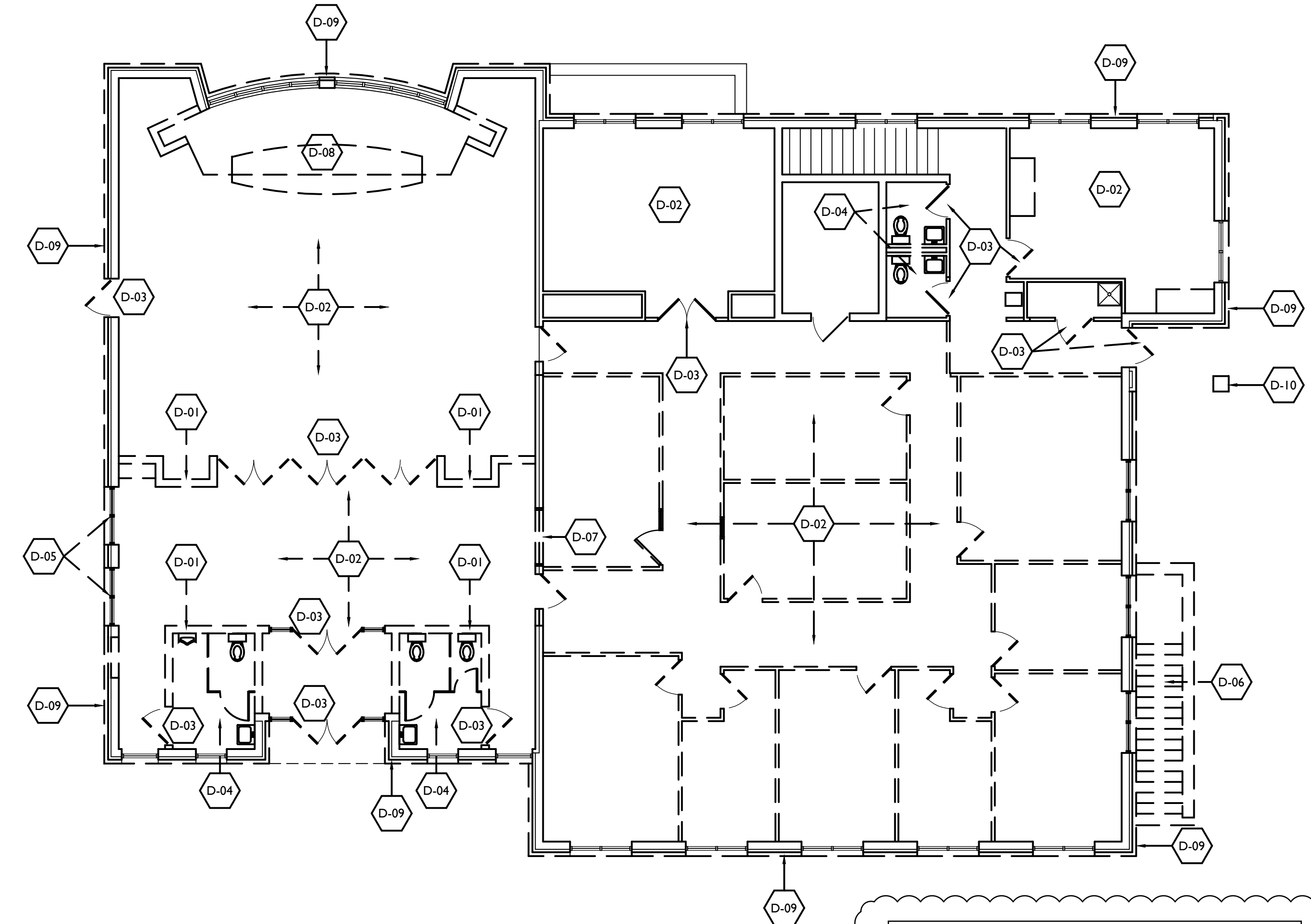
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**A0.2**



1 EXISTING CONDITIONS/DEMO. BASEMENT PLAN  
ALL 1/8"=1'-0"



2 EXISTING CONDITIONS/DEMO. 1ST FLOOR PLAN  
ALL 1/8"=1'-0"

RESPONSE FROM RFI DURING BIDDING:  
ALL EXISTING BUILDING FLOOR FINISHES ARE TO BE DEMOLISHED. THE EXISTING CONCRETE OR PLYWOOD FLOORS ARE TO BE PATCHED / REPAIRED / LEVELED AS NECESSARY TO RECEIVE THE NEW FLOOR FINISHES AND THOSE COSTS ARE TO BE INCLUDED WITH THE BID PRICE.

**SPECIFIC DEMOLITION NOTES**

ALL DEMOLITION WORK TO BE PERFORMED IN STRICT ACCORDANCE WITH CURRENT OSHA REQUIREMENTS

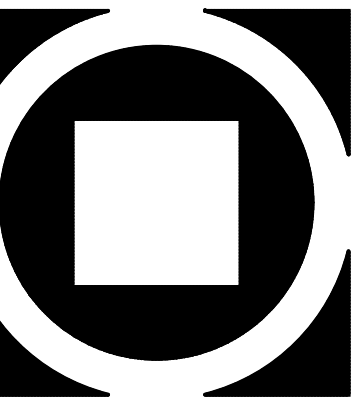
- D-01** TYPICAL: REMOVE ALL INTERIOR PARTITIONS AS INDICATED; SCOPE TO INCLUDE:
  - REMOVE PARTITION INCLUDING FRAMING, SHEATHING AND FINISHES.
  - BUILT-IN ITEMS SUCH AS DOORS, SWITCHES, OUTLETS AND SIMILAR ITEMS.
  - REFER TO ENGINEERING DRAWINGS REGARDING DISCONNECT AND REMOVAL OF ELECTRICAL AND MECHANICAL SERVICES
- D-02** TYPICAL: REMOVE ALL EXISTING SUSPENDED CEILING, INCLUDING CEILING GRID AND TILE AND LIGHT FIXTURES, INCLUDING:
  - BUILT-IN ITEMS SUCH AS SMOKE AND HEAT DETECTORS, SPEAKERS, AND SIMILAR DEVICES
  - SEE MECHANICAL AND ELECTRICAL DRAWINGS REGARDING SPECIFIC DEMOLITION REQUIREMENTS.
- D-03** REMOVE EXISTING DOOR AND FRAME AS INDICATED.
- D-04** REMOVE EXISTING PLUMBING FIXTURES (TOILET, SINK, ETC.), INCLUDING ACCESSORIES; SEE ENGINEERING DRAWINGS REGARDING MODIFICATION / REMOVAL OF SERVICES; PATCH WALLS AND FLOORS AS REQUIRED; PREPARE FOR PROPOSED NEW FINISHES.
- D-05** REMOVE EXISTING WINDOW AND CUT NEW OPENING IN EXISTING EXTERIOR WALL AS REQUIRED FOR NEW SCHEDULED DOOR AND SIDELIGHT; PROVIDE TEMPORARY SHORING AS REQUIRED.
- D-06** REMOVE EXISTING STAIR CONSTRUCTION IN ITS ENTIRETY, i.e.: MASONRY WALLS, CONCRETE STEPS AND ANY EXISTING FINISHES THAT WILL BE EXPOSED IN THE NEW BASEMENT.
- D-07** REMOVE EXISTING INTERIOR WINDOW, SALVAGE SPEAKER FOR RE-USE IN NEW RECEPTION WINDOW.
- D-08** GENERAL CONTRACTOR TO CAREFULLY REMOVE EXISTING DAIS AND STORE IN SAFE PLACE FOR RE-INSTALLATION IN THE NEW PUBLIC MEETING ROOM LOCATION.
- D-9** REMOVE EXISTING SPLIT FACE MASONRY WATER TABLE DOWN TO FOUNDATION, INSTALL NEW MASONRY VENEER AS PER SPECIFICATIONS, ELEVATIONS & DETAILS.
- D-10** REMOVE EXISTING MASONRY PIER AND RE-SUPPORT ROOF AS REQUIRED UNTIL NEW SUPPORT WALLS ARE CONSTRUCTED.

**GENERAL DEMOLITION NOTES**

1. DEMOLITION PLANS SHOW THE APPROXIMATE LAYOUT OF THE EXISTING BUILDING AND ARE NOT INTENDED TO REPRESENT "AS BUILT" CONDITIONS.
2. PARTITIONS SHOWN TO BE REMOVED ARE TO BE REMOVED IN THEIR ENTIRETY FROM FLOOR TO STRUCTURE ABOVE, EXCEPT WHERE NOTED OTHERWISE. REMOVE OR RELOCATE ALL EQUIPMENT, FIXTURES OR FURNISHINGS, AND ACCESSORIES ON THE PARTITION OR WALL. EDGES OF WALLS TO REMAIN SHALL BE SAW CUT OR CLEANLY TOOTHED TO ACCEPT NEW CONSTRUCTION. REPAIR AND PATCH EXISTING WALLS AND PARTITIONS TO REMAIN WHERE INTERSECTING PARTITIONS, WINDOWS, DOORS, FRAMES, ETC. ARE TO BE REMOVED AND WHERE EXISTING CONSTRUCTION WILL NOT BE COVERED UP WITH NEW CONSTRUCTION.
3. DOORS TO BE REMOVED ARE SHOWN DASHED, EXCEPT WHERE NOTED OTHERWISE. REMOVE DOOR, FRAME, AND HARDWARE IN THEIR ENTIRETY. PREPARE OPENING THAT REMAINS FOR INFILL WORK OR FOR NEW DOOR AND FRAME WHERE NEW DOOR IS SCHEDULED.
4. WHERE FINISHES ARE TO BE REMOVED FROM EXISTING CONSTRUCTION TO REMAIN (E.G., FLOOR, CEILINGS, WALLS, ETC.), PATCH REMAINING SUBSTRATE AND PREPARE REMAINING SUBSTRATE AS REQUIRED FOR NEW FINISH. ALL FINISHES SHALL BE REMOVED UNLESS NOTED OTHERWISE.
5. CONTRACTOR SHALL CAREFULLY PROTECT ALL CONSTRUCTION TO REMAIN. ANY DAMAGE WILL BE REPAIRED AS REQUIRED TO MATCH EXISTING AND/OR NEW CONDITIONS WITHOUT ADDITIONAL COST TO THE OWNER.
6. CONSULT WITH THE OWNER REGARDING ANY ITEMS TO BE SALVAGED FOR REUSE BY THE OWNER. ALL SUCH SALVAGEABLE ITEMS ARE TO BE REMOVED WITH CARE AND SET ASIDE IN A DESIGNATED AREA. ALL OTHER ITEMS SHALL BE PROMPTLY REMOVED FROM THE SITE IN ACCORDANCE WITH THESE PLANS.
7. IT IS MANDATORY THAT ALL DEMOLITION AND REMOVAL OPERATIONS PERFORMED BE CAREFULLY AND CONTINUOUSLY COORDINATED WITH THE PROJECTS REQUIREMENTS.
8. PROVIDE SHORING, BRACING, CHUTES, SCAFFOLDING, BARRICADES, TEMPORARY PARTITIONS AND DOORS, DUST ENCLOSURES, SAFETY AND SECURITY DEVICES AS REQUIRED FOR THE SAFE AND PROPER EXECUTION OF THE WORK.
9. SUBJECT TO APPROVAL BY OWNER, ITEMS OF SALVAGEABLE VALUE TO THE CONTRACTOR MAY BE REMOVED FROM THE STRUCTURE AS THE WORK PROGRESSES. SALVAGED ITEMS MUST BE TRANSPORTED FROM THE SITE AS THEY ARE REMOVED. STORAGE OR SALE OF REMOVED ITEMS ON THE SITE WILL NOT BE PERMITTED.
10. REFER TO WRITTEN SPECIFICATIONS, MECHANICAL, ELECTRICAL AND PLUMBING DEMOLITION PLANS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
11. CONDUCT DEMOLITION OPERATIONS AND THE REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH STREETS, WALKS, PEDESTRIAN TRAFFIC AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM THE OWNER. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS. COORDINATE ALL WORK WITH PROPER OFFICIALS OF THE OWNER.
12. PROVIDE COVERED PASSAGEWAYS TO ENSURE THE SAFE PASSAGE OF PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT OPERATIONS TO PREVENT DAMAGE BY FALLING DEBRIS OR OTHER CAUSE TO ADJACENT FACILITIES AS WELL AS PERSONS.
13. MAINTAIN EXISTING UTILITIES, INDICATED TO REMAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
14. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN AREAS TO EXISTING CONDITION PRIOR TO THE START OF THE WORK.
15. BURNING OF REMOVED MATERIALS FROM DEMOLISHED WORK WILL NOT BE PERMITTED ON THE SITE.
16. TRANSPORT ALL MATERIALS REMOVED FROM DEMOLISHED STRUCTURES AND LEGALLY DISPOSE OF OFF THE SITE.

**DEMOLITION LEGEND:**

- EXISTING WALLS AND ACCESSORIES TO REMAIN
- EXISTING WALLS AND ACCESSORIES TO BE REMOVED
- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- EXISTING WINDOWS TO REMAIN
- EXISTING WINDOWS TO BE REMOVED



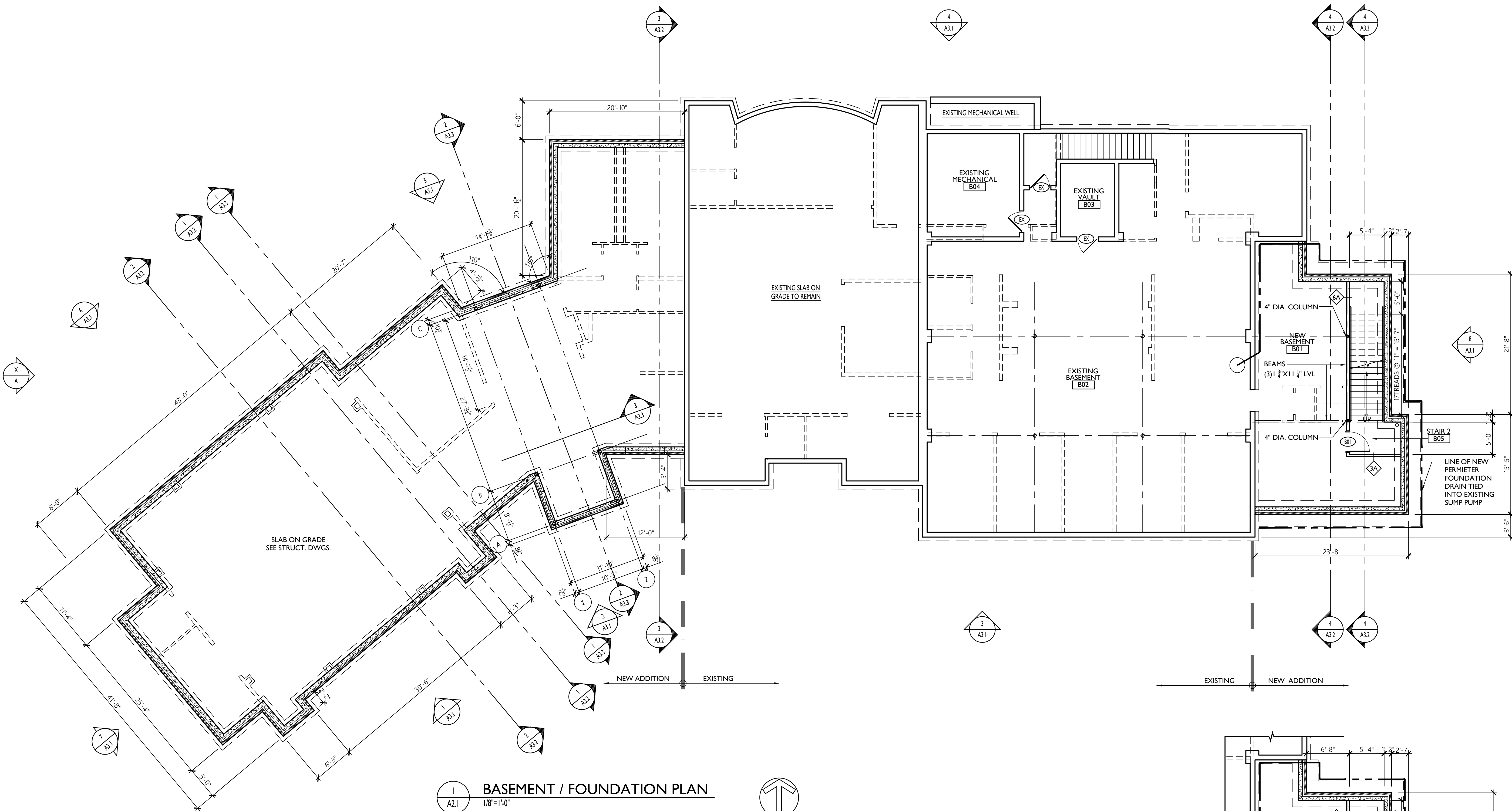
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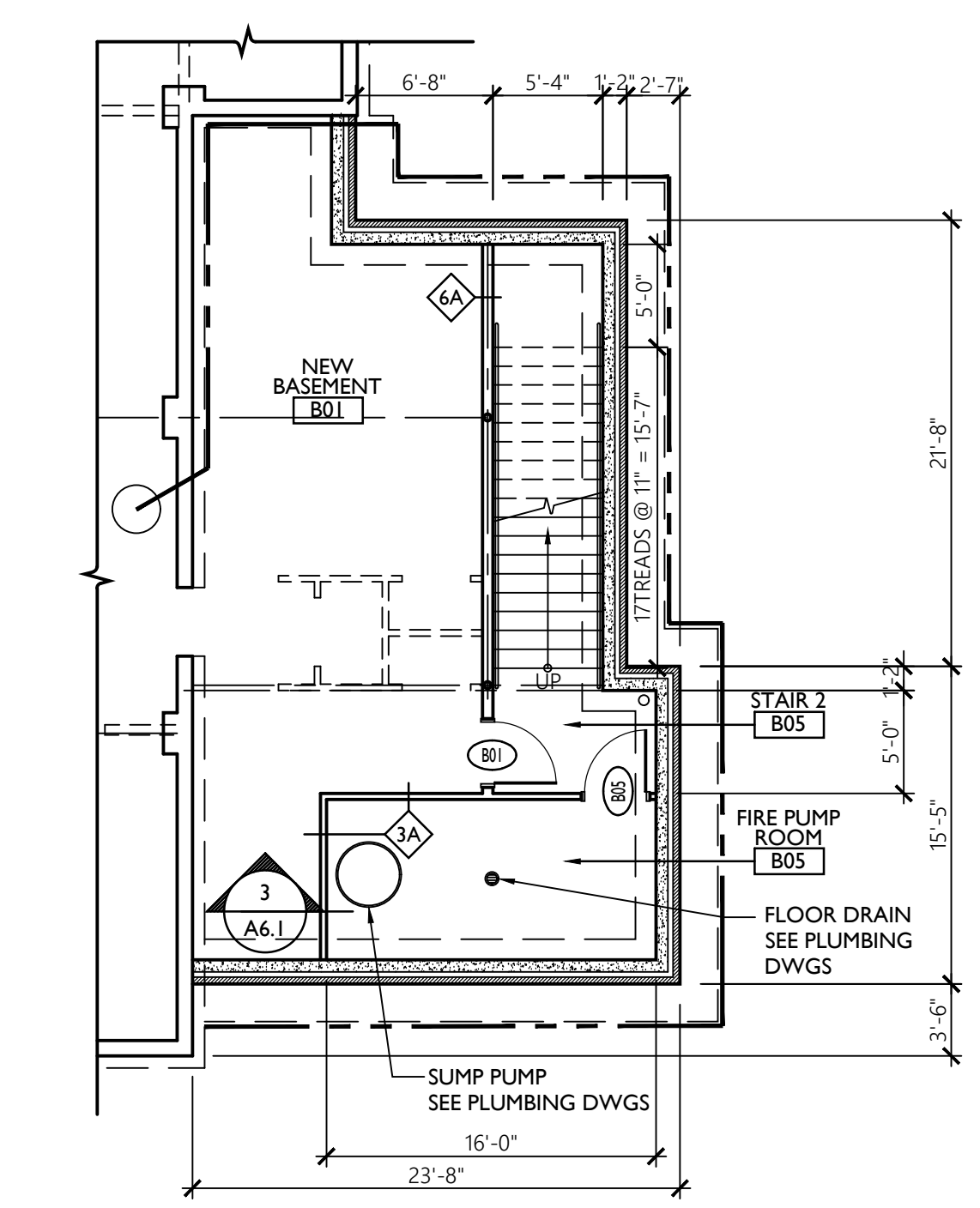
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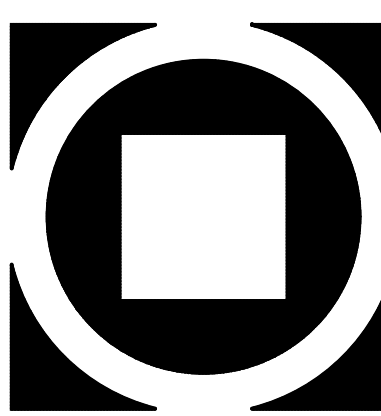
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1  
A2.1  
BASEMENT / FOUNDATION PLAN  
1/8"=1'-0"



2  
A2.1  
FIRE PUMP ROOM: ADD ALT. #G-1  
1/8"=1'-0"



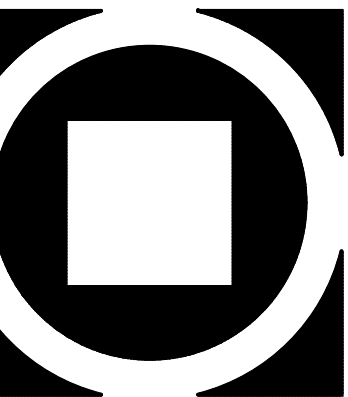
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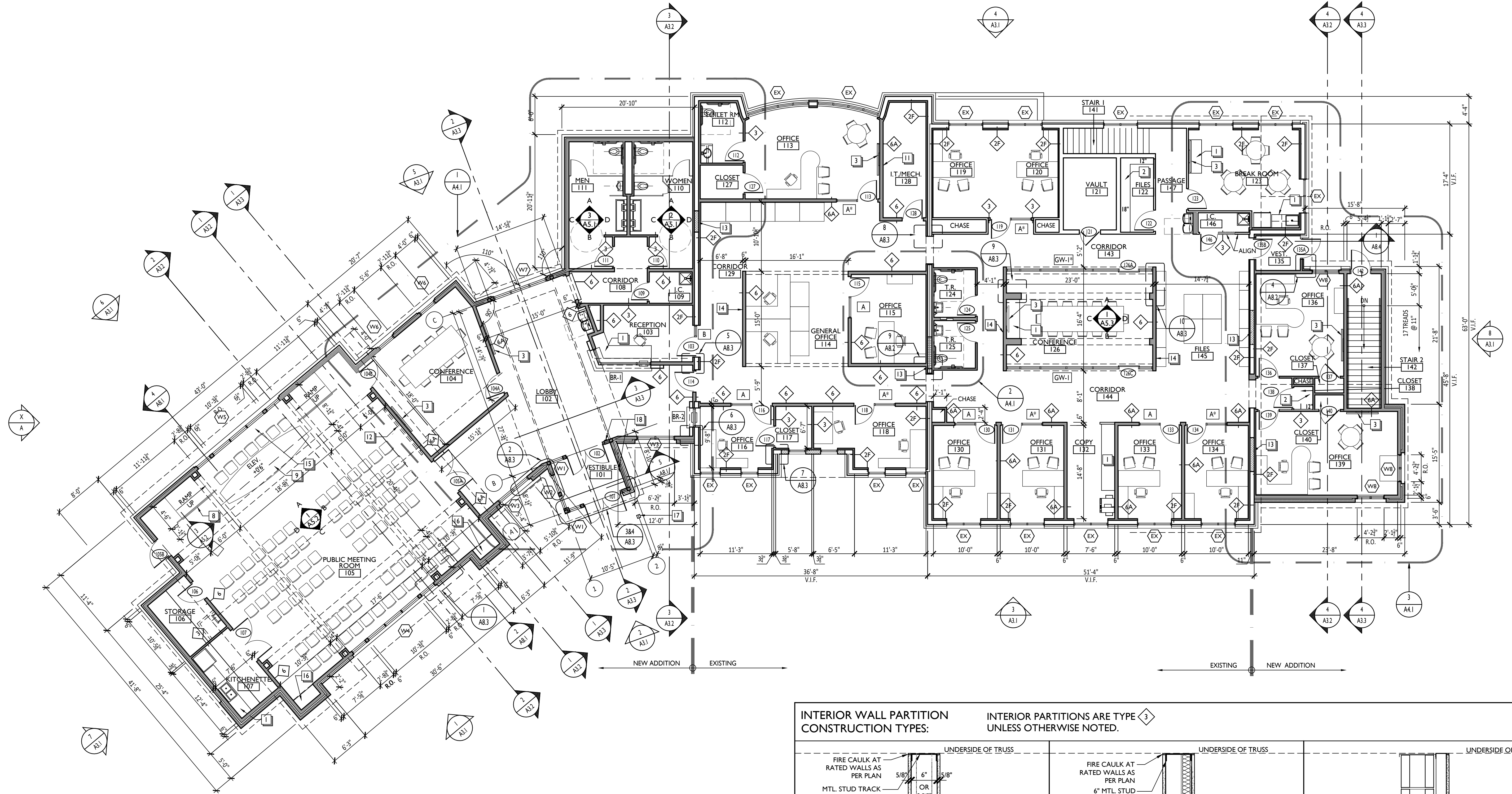
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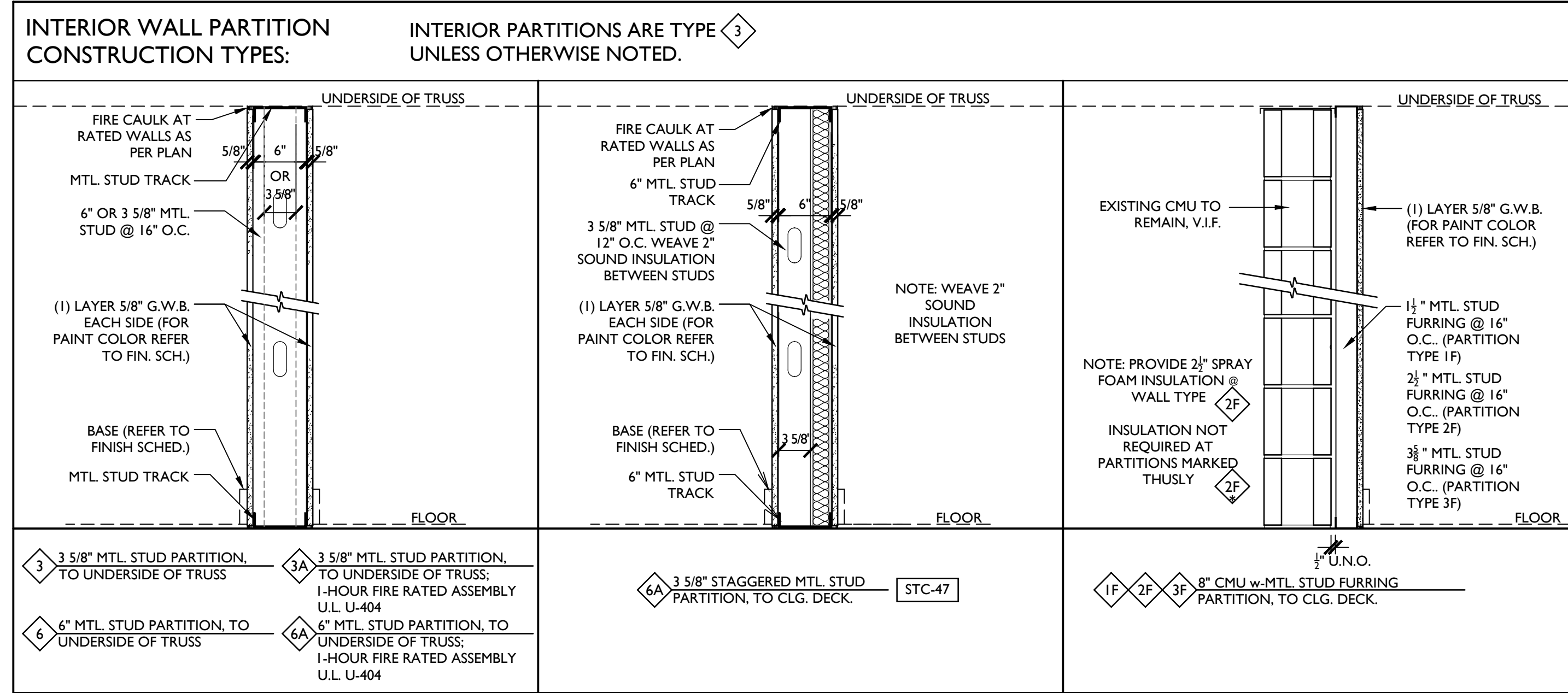
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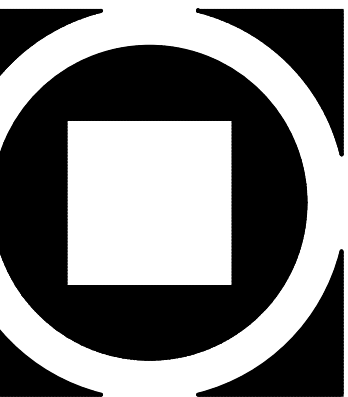
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**1 OVERALL FLOOR PLAN**  
 1/8"=1'-0"  
 PROJECT NORTH

- PLAN KEYNOTES**
- CASEWORK AS PER INTERIOR ELEVATIONS ON A-5 SERIES SHEETS.
  - 12" OR 18" DEEP WHITE MELAMINE SHELVES ON HEAVY DUTY ADJUSTABLE STANDARDS, 5 SHELVES.
  - MONITOR SUPPLIED AND INSTALLED BY OWNER.
  - EQUIPMENT SUPPLIED AND INSTALLED BY OWNER.
  - LINE OF ROOF OVERHANG ABOVE.
  - PLASTIC LAMINATE COUNTERTOP w/KICKER SUPPORTS AS REQUIRED.
  - PROVIDE TRANSITION STRIP BETWEEN DISSIMILAR FLOORING MATERIALS.
  - 1 1/2" DIAMETER ALUMINUM HANDRAIL AND/OR GUARDRAIL AS PER SPECIFICATIONS.
  - GENERAL CONTRACTOR TO RE-INSTALL DAIS, REFER TO DEMOLITION PLAN DWG. A1.1.
  - LADDER TO MEZZANINE ABOVE; SEE SECTION AND SPECIFICATIONS.
  - ADD 1/2" PLYWOOD BEHIND DRYWALL FOR THE ATTACHMENT OF IT AND FUTURE EQUIPMENT.
  - GC TO PROVIDE MOTORIZED PROJECTOR SCREEN, SIZE TO BE 9'-6" WIDE.
  - INFILL EXISTING CMU OPENING WITH CMU TO MATCH EXISTING, SHOWN WITH HATCH.
  - PAINT WALL PT-2.
  - CONSTRUCT RAISED DAIS AND RAMPS WITH 2X6 PT WOOD SLEEPERS AT 16" O.C. AND 3/4" FIRE TREATED PLYWOOD SUBFLOOR.
  - COAT ROD AND SHELF AS PER INTERIOR ELEVATIONS.
  - BOLLARD FOR ACCESS CONTROL, SEE HARDWARE SPECIFICATIONS.
  - ADA ACTUATOR BUTTONS AS PER HARDWARE SPECS.





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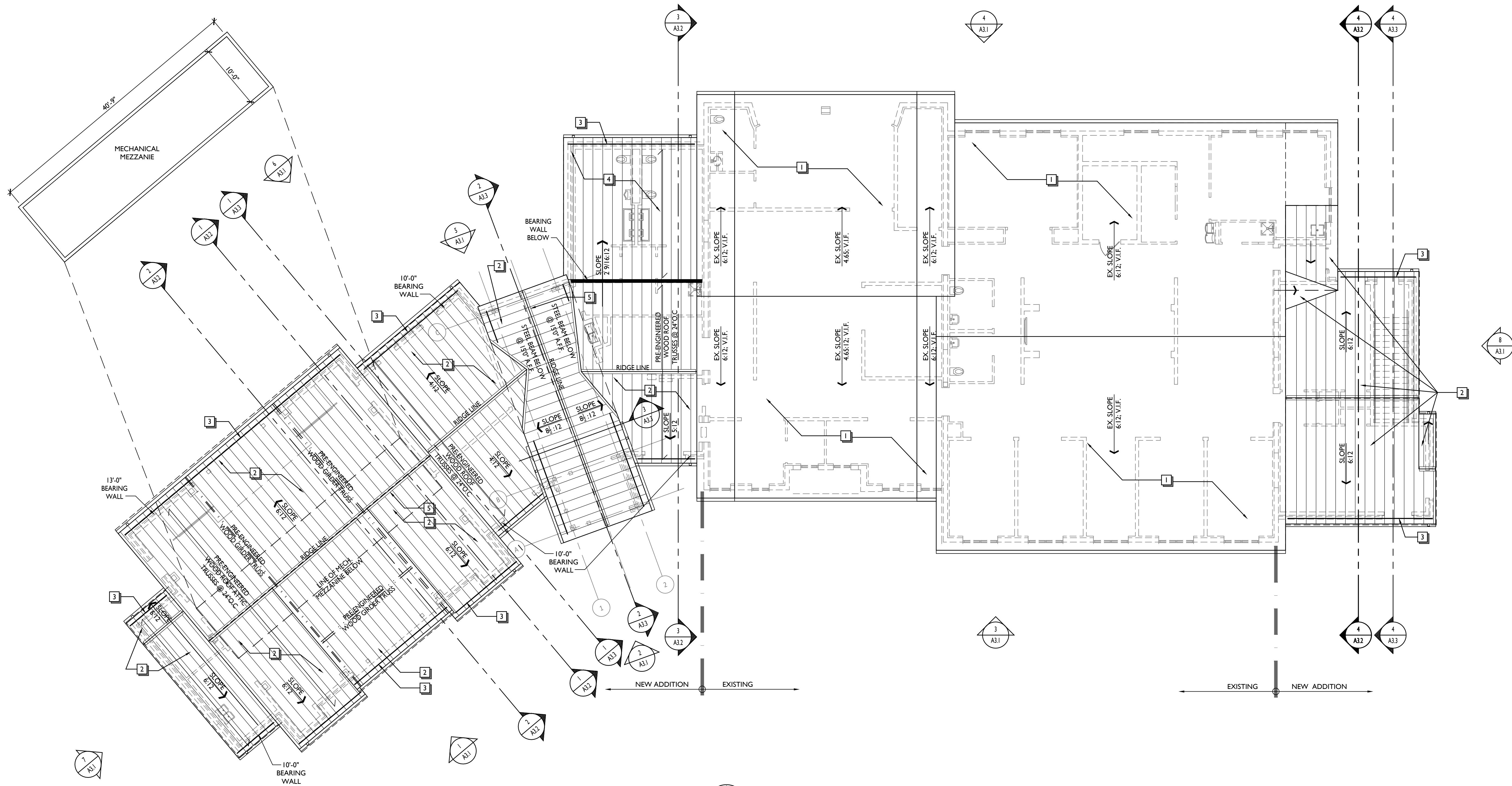
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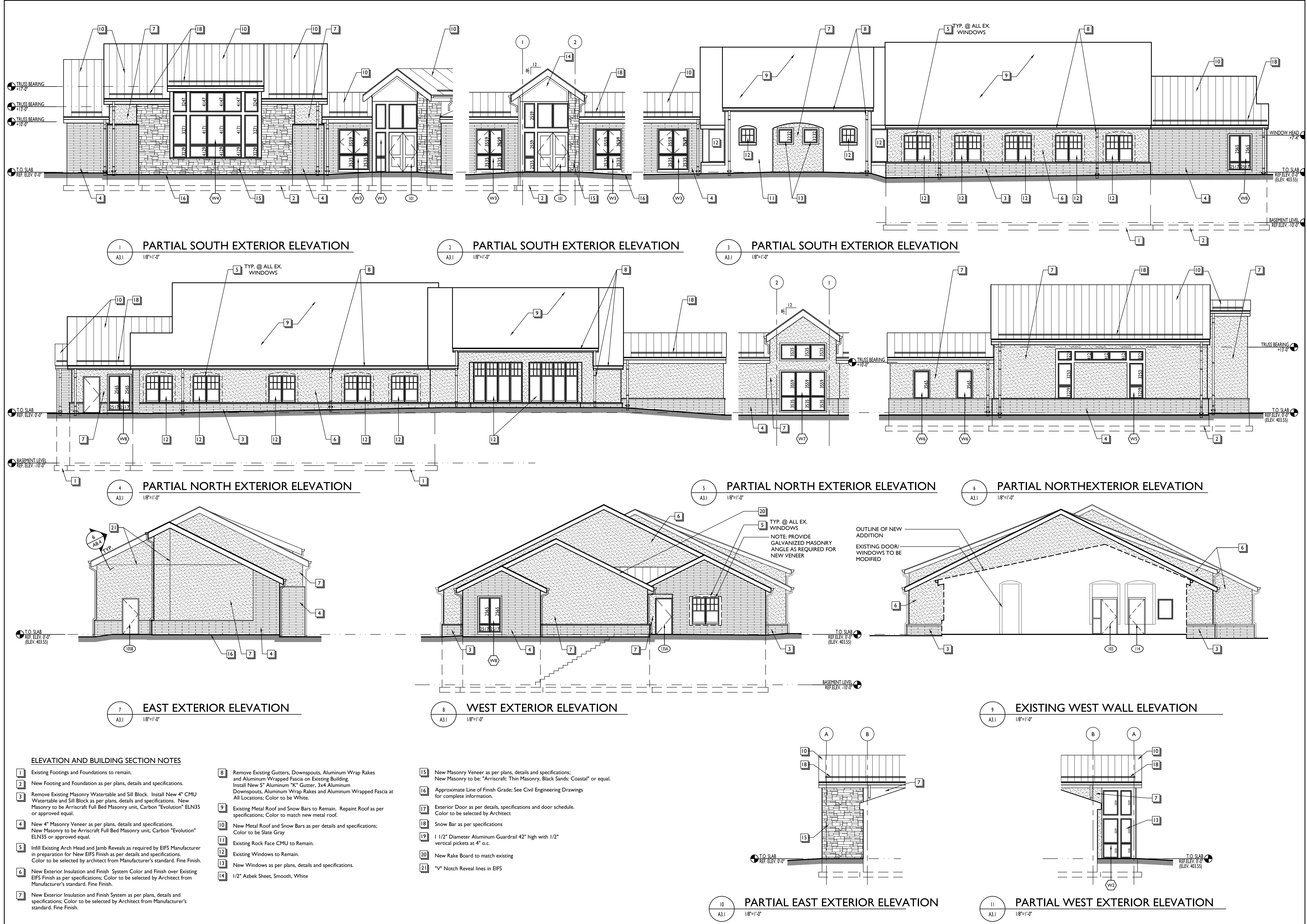


1  
A2.2  
1/8"=1'-0"

**OVERALL ROOF PLAN**

PROJECT NORTH

- PLAN KEYNOTES**
- 1 EXISTING METAL ROOF; PREP AND PAINT AS PER SPECIFICATIONS.
  - 2 NEW STANDING SEAM METAL ROOF AS PER ELEVATIONS AND SPECIFICATIONS.
  - 3 SNOW BAR AS PER SPECIFICATIONS
  - 4 ROLL ROOFING AS PER ELEVATIONS & SPECIFICATIONS.
  - 5 VENTED RIDGE CAP. PROVIDE MANUFACTURER'S STANDARD METAL AT METAL ROOFS.

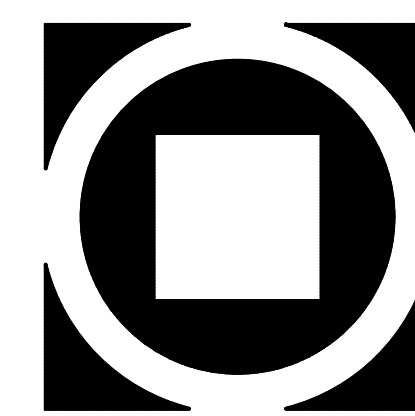


**ELEVATION AND BUILDING SECTION NOTES**

- 1 Existing Footings and Foundations to remain.
- 2 New Footing and Foundation as per plans, details and specifications.
- 3 Remove Existing Masonry Watertable and Sill Block. Install New 4" CMU Watertable and Sill Block as per plans, details and specifications. New Masonry to be Arriscraft Full Bed Masonry unit, Carbon "Evolution" ELN35 or approved equal.
- 4 New 4" Masonry Veneer as per plans, details and specifications. New Masonry to be Arriscraft Full Bed Masonry unit, Carbon "Evolution" ELN35 or approved equal.
- 5 Infill Existing Arch Head and Jamb Reveals as required by EIFS Manufacturer in preparation for New EIFS Finish as per details and specifications. Color to be selected by architect from Manufacturer's standard. Fine Finish.
- 6 New Exterior Insulation and Finish System Color and Finish over Existing EIFS Finish as per specifications. Color to be selected by Architect from Manufacturer's standard. Fine Finish.
- 7 New Exterior Insulation and Finish System as per plans, details and specifications; Color to be selected by Architect from Manufacturer's standard. Fine Finish.
- 8 Remove Existing Gutters, Downspouts, Aluminum Wrap Rakes and Aluminum Wrapped Fascia on Existing Building. Install New 5" Aluminum "K" Gutter, 3x4 Aluminum Downspouts, Aluminum Wrap Rakes and Aluminum Wrapped Fascia at All Locations; Color to be White.
- 9 Existing Metal Roof and Snow Bars to Remain. Repaint Roof as per specifications; Color to match new metal roof.
- 10 New Metal Roof and Snow Bars as per details and specifications; Color to be Slate Gray.
- 11 Existing Rock Face CMU to Remain.
- 12 Existing Windows to Remain.
- 13 New Windows as per plans, details and specifications.
- 14 1/2" Azbek Sheet, Smooth, White

- 15 New Masonry Veneer as per plans, details and specifications; New Masonry to be: "Arriscraft Thin Masonry, Black Sands; Coastal" or equal.
- 16 Approximate Line of Finish Grade; See Civil Engineering Drawings for complete information.
- 17 Exterior Door as per details, specifications and door schedule. Color to be selected by Architect.
- 18 Snow Bar as per specifications.
- 19 1 1/2" Diameter Aluminum Guardrail 42" high with 1/2" vertical pickets at 4" o.c.
- 20 New Rake Board to match existing.
- 21 "V" Notch Reveal lines in EIFS

OUTLINE OF NEW ADDITION  
EXISTING DOOR/WINDOWS TO BE MODIFIED



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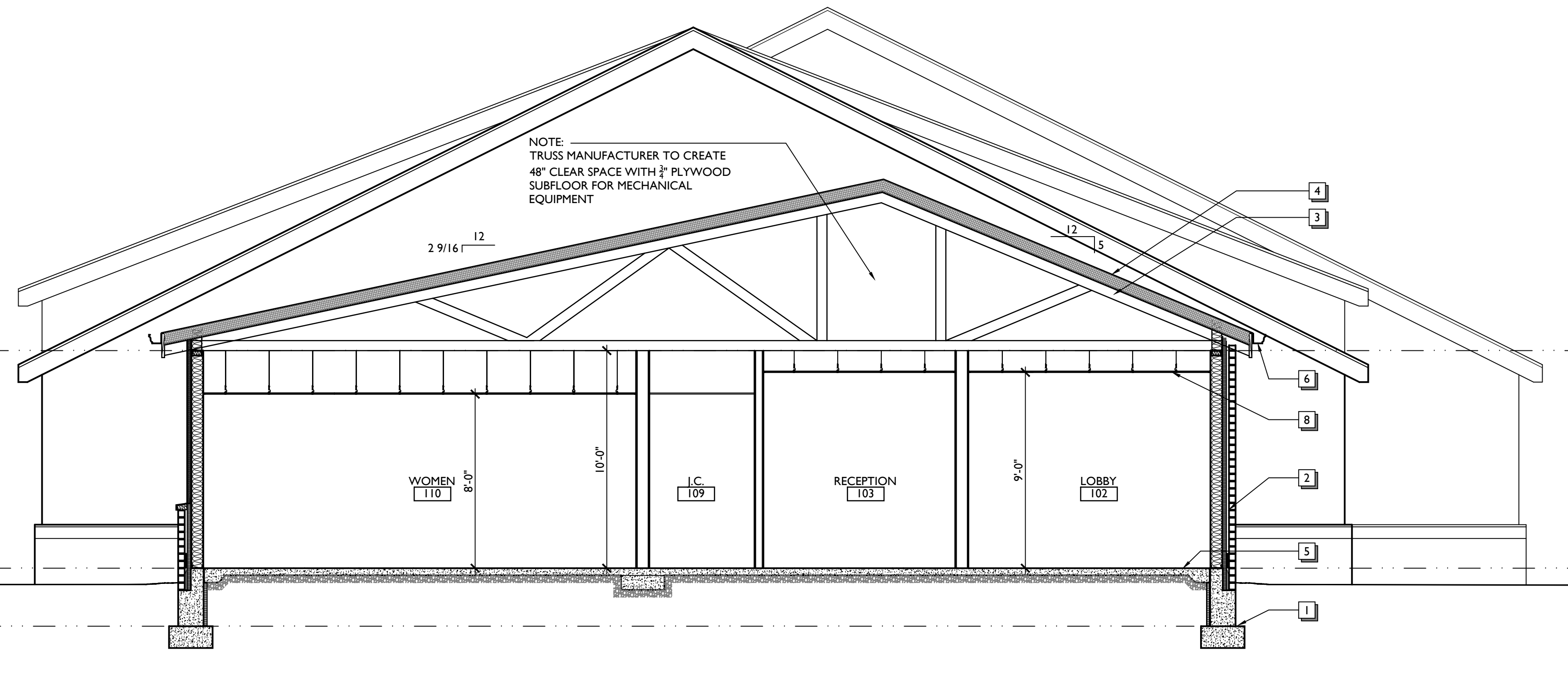
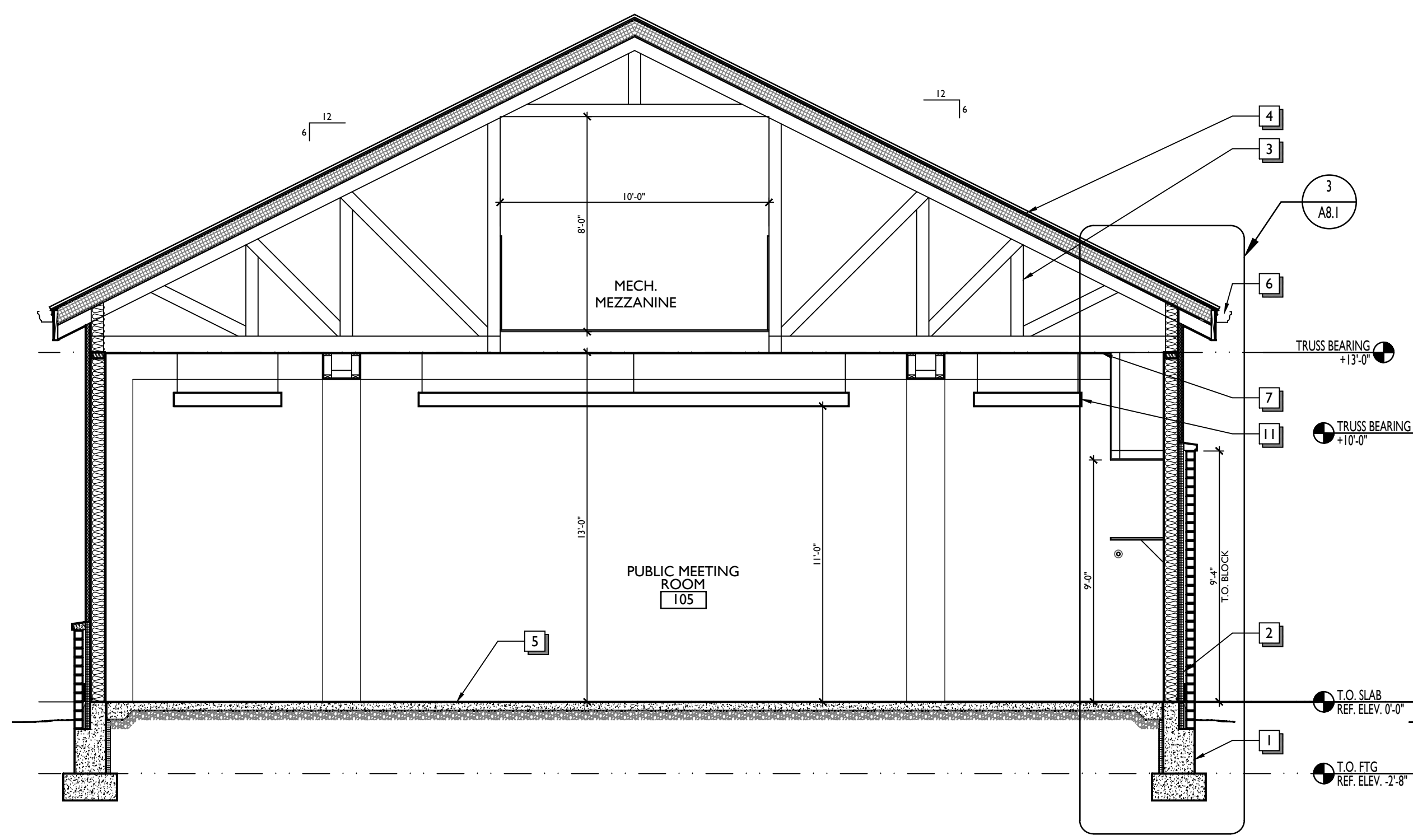
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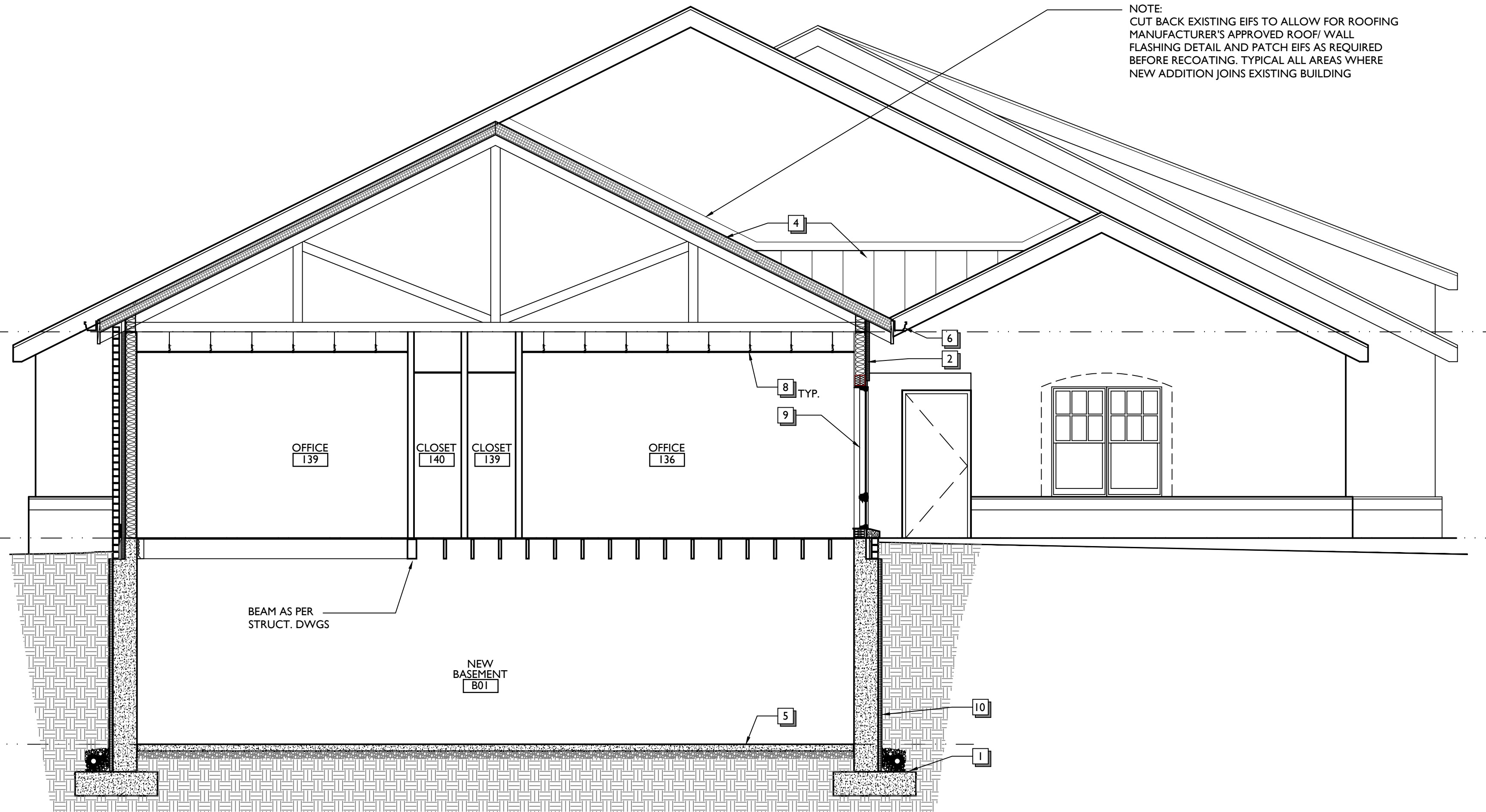
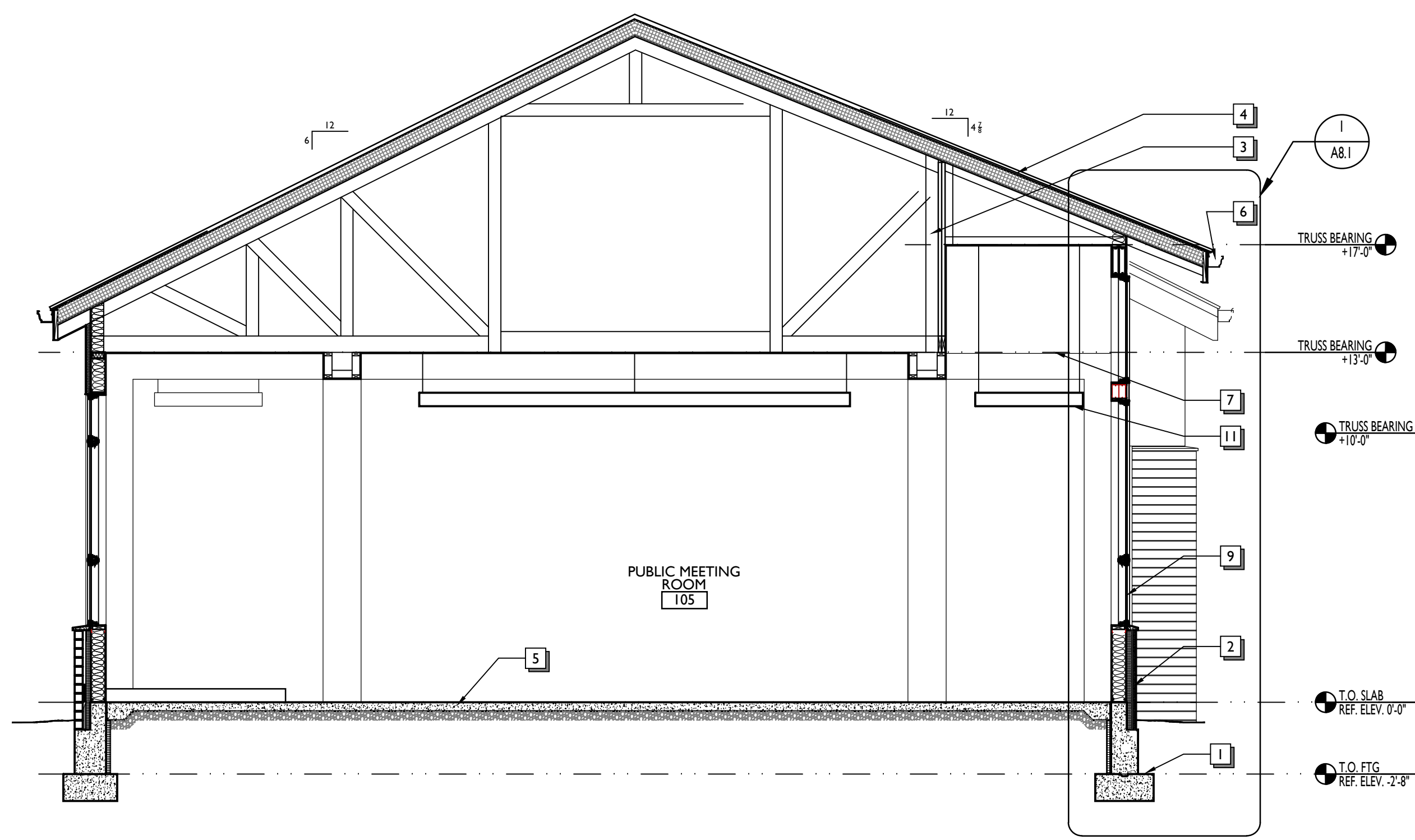
**A3.1**





1 BUILDING SECTION  
A3.2 1/4"=1'-0"

3 BUILDING SECTION  
A3.2 1/4"=1'-0"

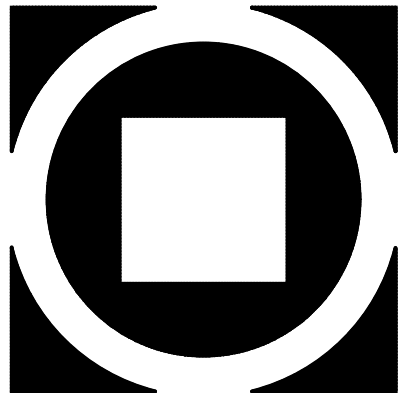


2 BUILDING SECTION  
A3.2 1/4"=1'-0"

4 BUILDING SECTION  
A3.2 1/4"=1'-0"

**BUILDING SECTION NOTES**

- 1 Footings and Foundation as per structural drawings and specifications.
- 2 Typical Exterior Wall Construction as per details and specifications.
- 3 Wood Trusses as per details, structural drawings and specifications.
- 4 Typical Roof Construction as per details and specifications.
- 5 Concrete Slab on Grade as per details and specifications.
- 6 Fascia, Soffit and Gutter as per details and specifications.
- 7 Wood Ceiling as per details and specifications.
- 8 Suspended Acoustical Ceiling as per RCP and specifications.
- 9 Windows as per elevations, details and specifications.
- 10 Foundation waterproofing and drainage as per details and specifications.
- 11 Light Fixture as per RCP and electrical drawings.
- 12 Louvers as per mechanical drawings.



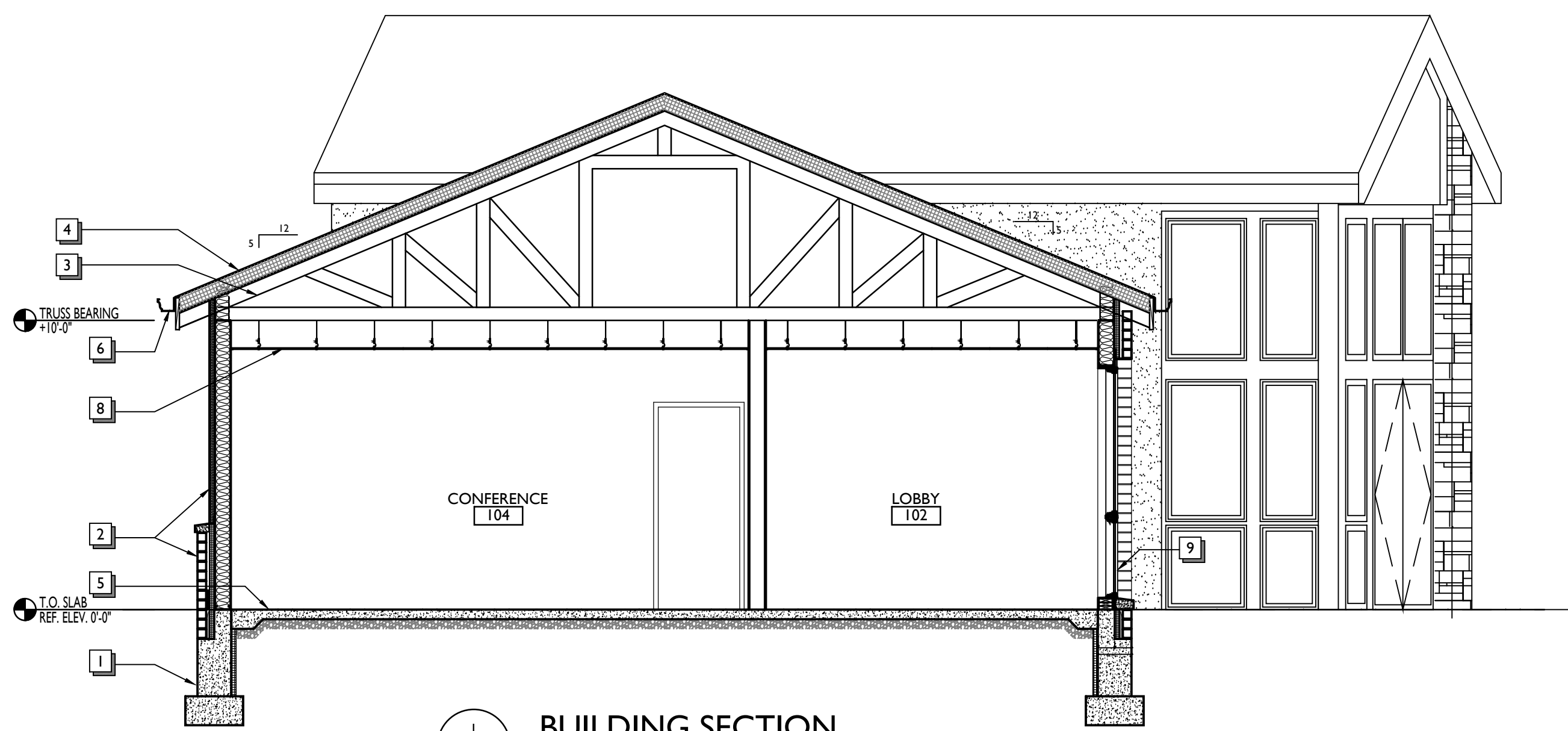
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**MUNICIPAL BUILDING**  
**WEST BRADFORD TOWNSHIP**  
 1385 CAMPUS DRIVE  
 WEST BRADFORD, PA 19335

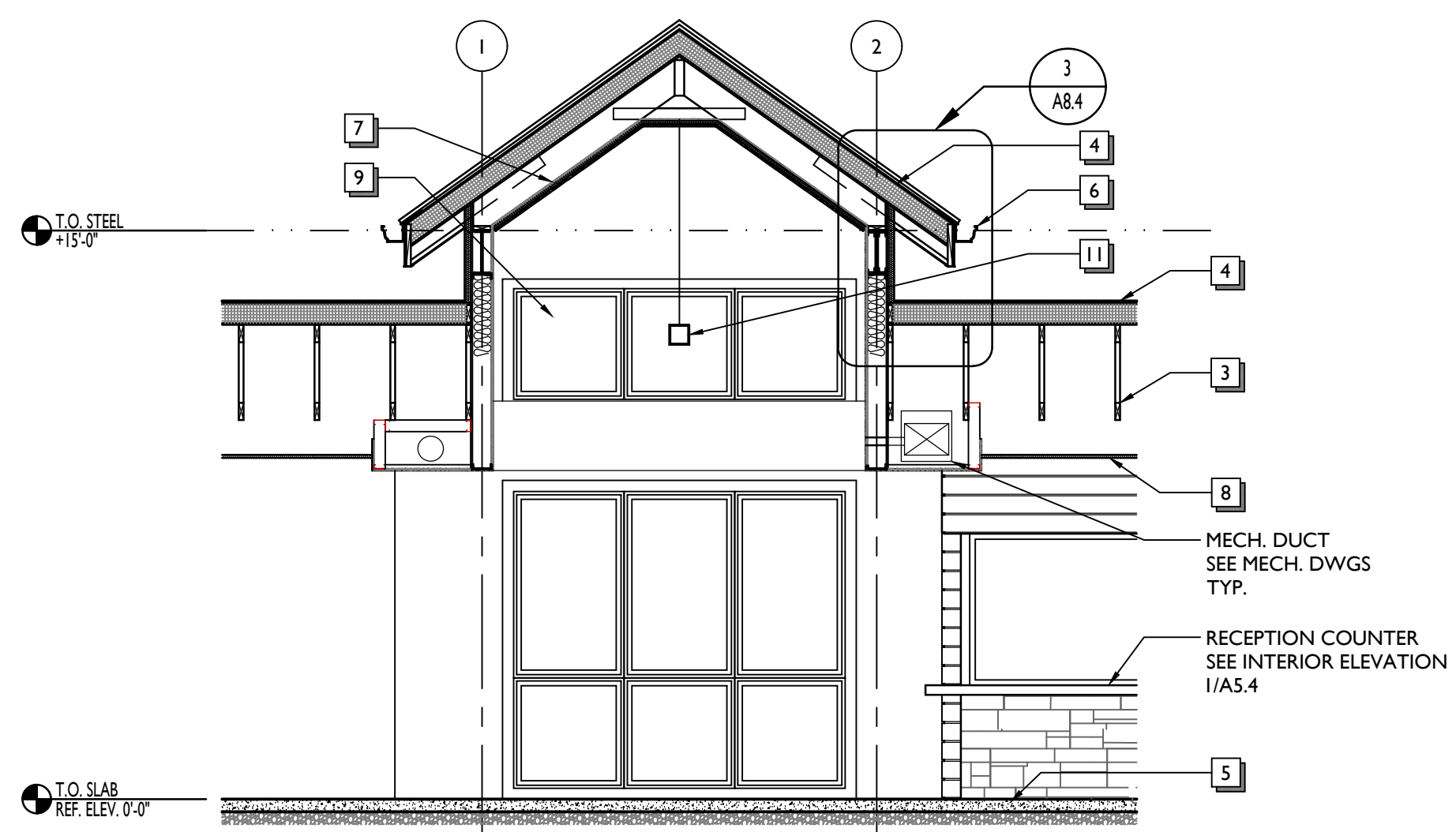
Construction Issue Date: 01.26.21  
 Drawn By: TM, YP  
 Checked By: JT  
 Scale: AS NOTED

Sheet Name:	BUILDING SECTIONS
Progress Prints:	Revisions:
1/01/15/20 ISSUED FOR BIDDING	1/01/15/20 ISSUED FOR BIDDING
01/26/21 FOR CONSTRUCTION	01/26/21 FOR CONSTRUCTION
	REVISOR
	DATE
	DESCRIPTION

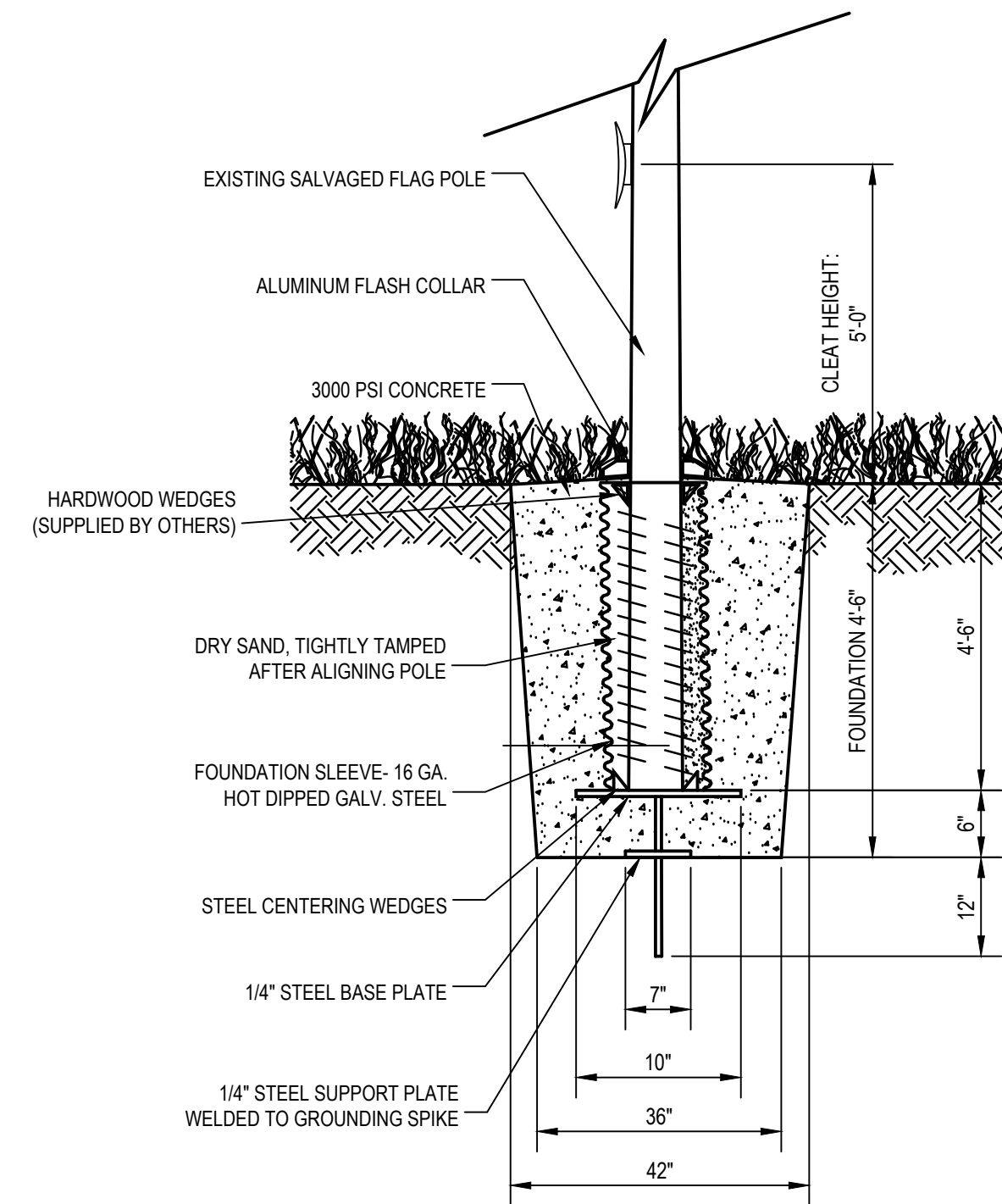
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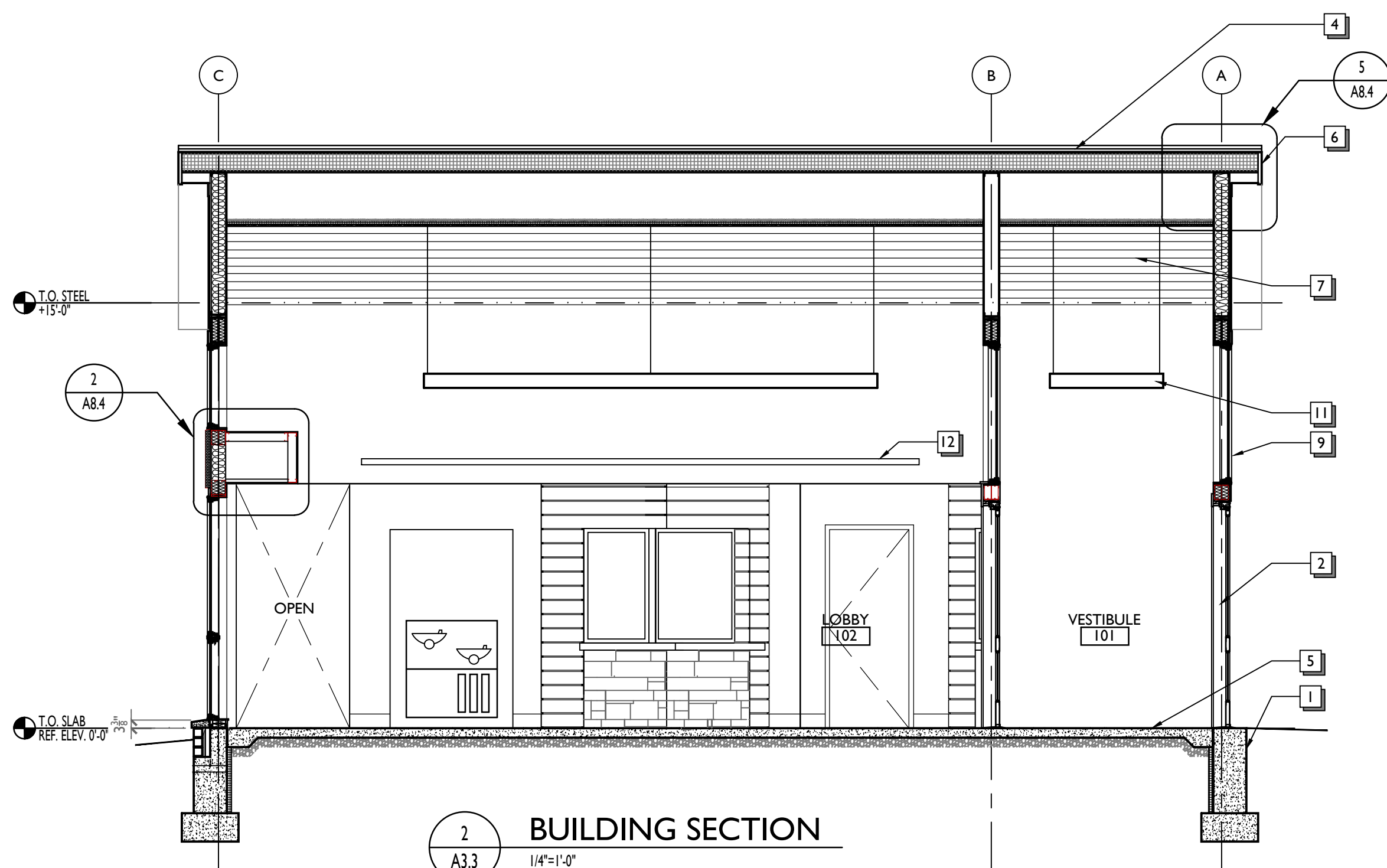
1 BUILDING SECTION  
A3.3 1/4"=1'-0"



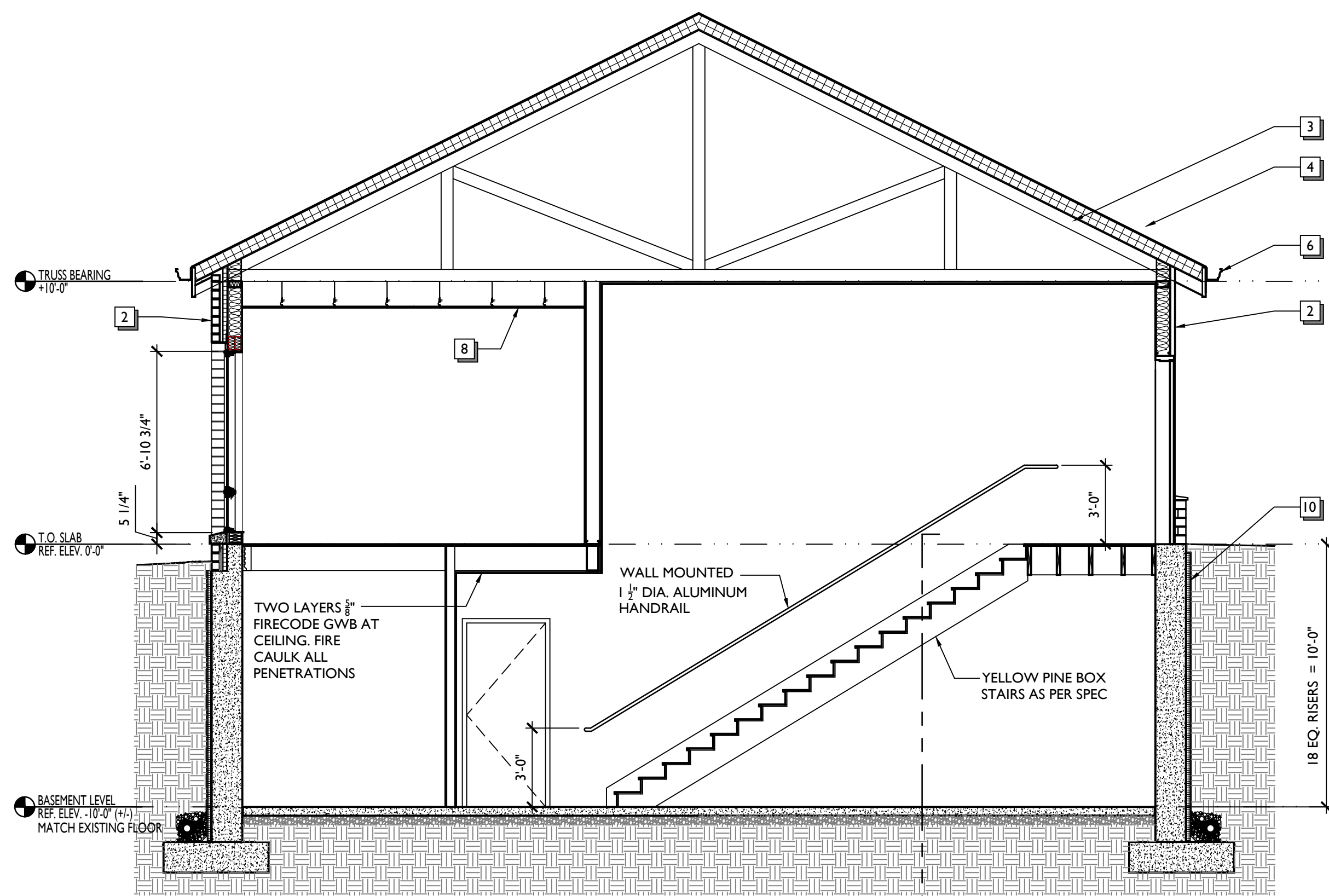
3 BUILDING SECTION  
A3.3 1/4"=1'-0"



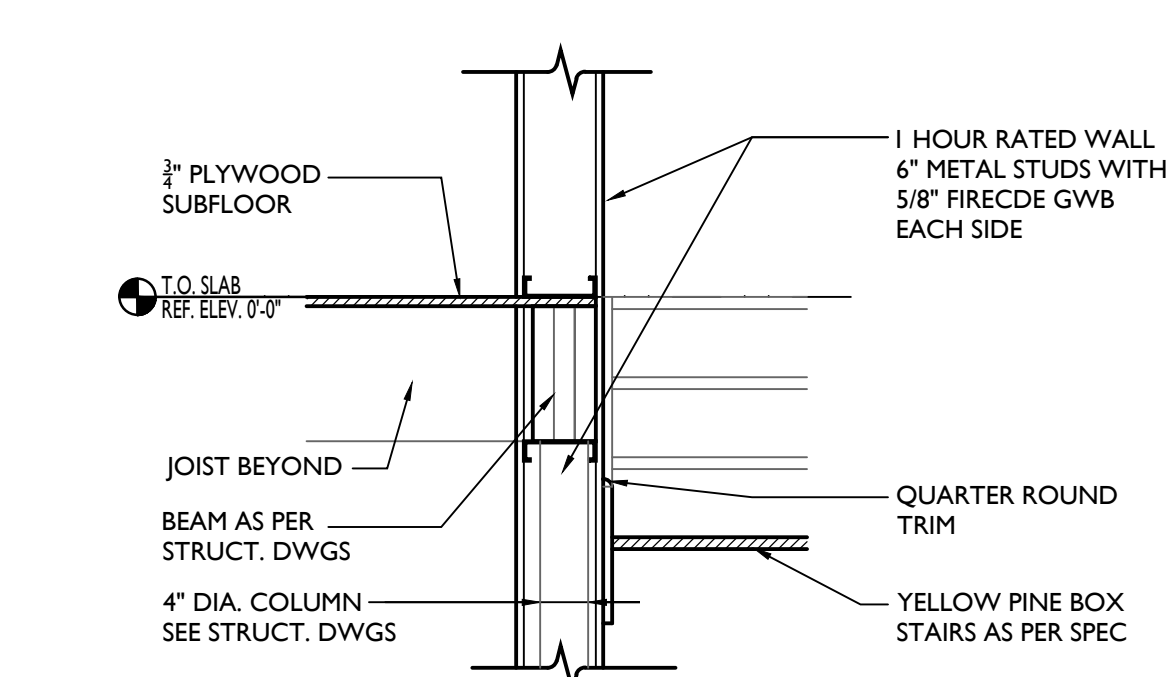
5 NEW FLAG POLE AND BASE DETAIL  
A3.3 NTS



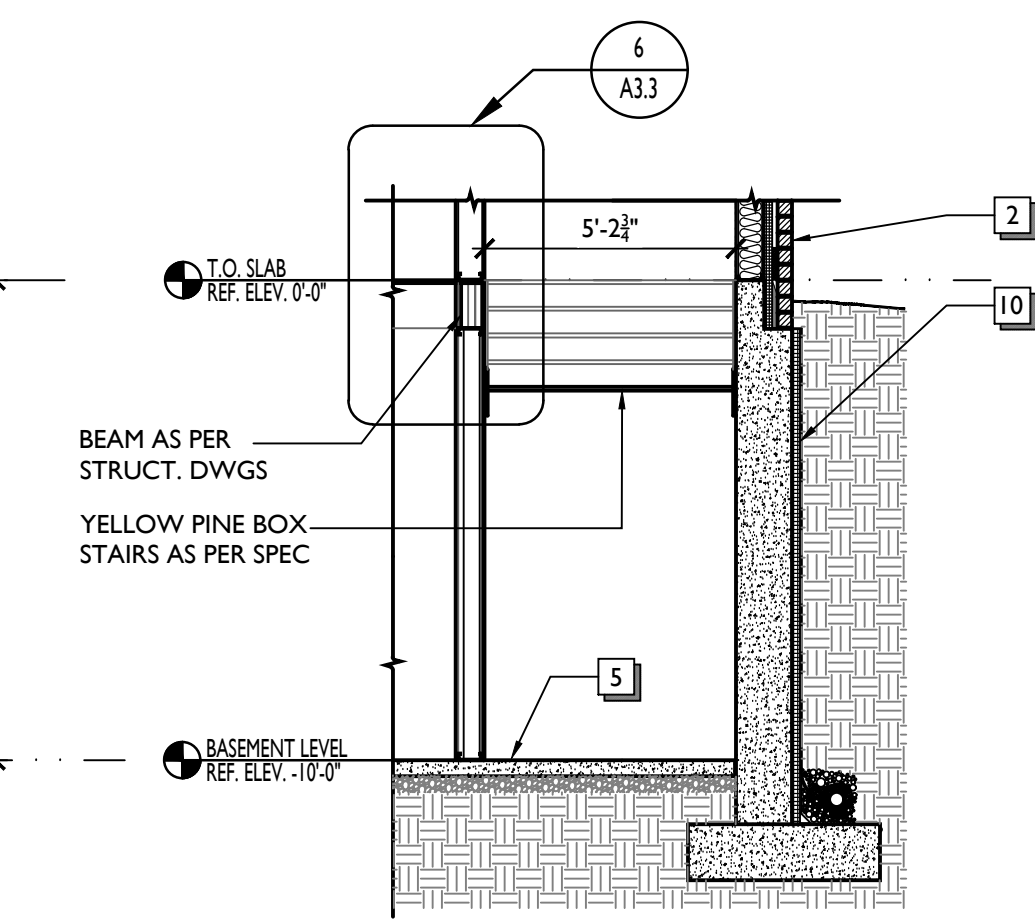
2 BUILDING SECTION  
A3.3 1/4"=1'-0"



4 BUILDING SECTION  
A3.3 1/4"=1'-0"



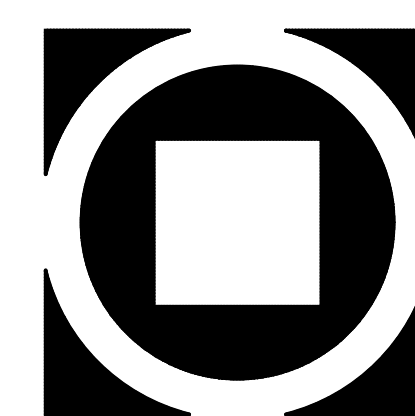
6 STAIR DETAIL  
A3.3 3/4"=1'-0"



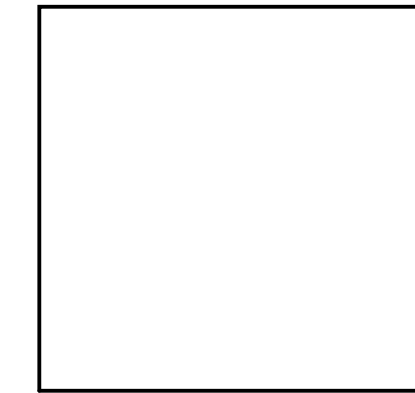
5 STAIR TRANSVERSE SECTION  
A3.3 1/4"=1'-0"

**BUILDING SECTION NOTES**

- 1 Footings and Foundation as per structural drawings and specifications.
- 2 Typical Exterior Wall Construction as per details and specifications.
- 3 Wood Trusses as per details, structural drawings and specifications.
- 4 Typical Roof Construction as per details and specifications.
- 5 Concrete Slab on Grade as per details and specifications.
- 6 Fascia, Soffit and Gutter as per details and specifications.
- 7 Wood Ceiling as per details and specifications.
- 8 Suspended Acoustical Ceiling as per RCP and specifications.
- 9 Windows as per elevations, details and specifications.
- 10 Foundation waterproofing and drainage as per details and specifications.
- 11 Light Fixture as per RCP and electrical drawings.
- 12 Louvers as per mechanical drawings.



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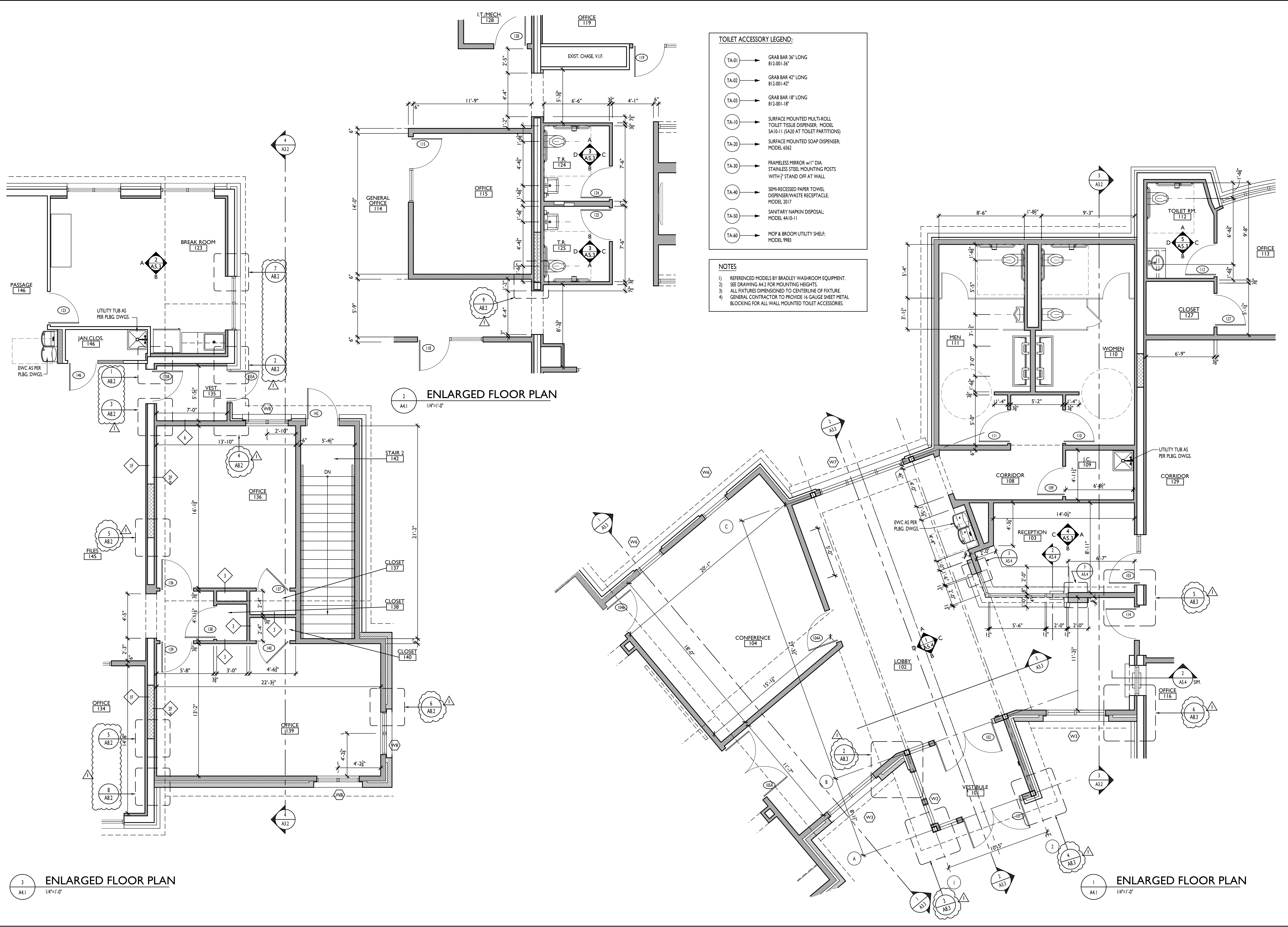


**MUNICIPAL BUILDING**  
**WEST BRADFORD TOWNSHIP**  
 1385 CAMPUS DRIVE  
 WEST BRADFORD, PA 19335

Construction Issue Date: 01.26.21  
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 Checked By: JT  
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Progress Prints:	Revisions:
1/01/17/20 ISSUED FOR BIDDING	
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	DESCRIPTION

**A3.3**



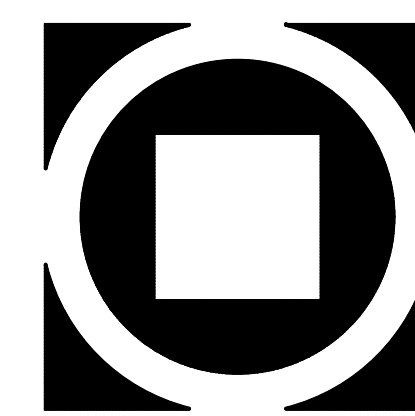
- TOILET ACCESSORY LEGEND:**
- TA-01 → GRAB BAR 36" LONG  
812-001-36"
  - TA-02 → GRAB BAR 42" LONG  
812-001-42"
  - TA-03 → GRAB BAR 18" LONG  
812-001-18"
  - TA-10 → SURFACE MOUNTED MULTI-ROLL  
TOILET TISSUE DISPENSER, MODEL  
SA10-11 (SA20 AT TOILET PARTITIONS)
  - TA-20 → SURFACE MOUNTED SOAP DISPENSER,  
MODEL 6562
  - TA-30 → FRAMELESS MIRROR w/1" DIA.  
STAINLESS STEEL MOUNTING POSTS  
WITH 1/2" STAND OFF AT WALL
  - TA-40 → SEMI-RECESSED PAPER TOWEL  
DISPENSER/WASTE RECEPTACLE,  
MODEL 2017
  - TA-50 → SANITARY NAPKIN DISPOSAL,  
MODEL 4A10-11
  - TA-60 → MOP & BROOM UTILITY SHELF,  
MODEL 9983

- NOTES:**
- 1) REFERENCED MODELS BY BRADLEY WASHROOM EQUIPMENT.
  - 2) SEE DRAWING A4.2 FOR MOUNTING HEIGHTS.
  - 3) ALL FIXTURES DIMENSIONED TO CENTERLINE OF FIXTURE.
  - 4) GENERAL CONTRACTOR TO PROVIDE 1/2 GAUGE SHEET METAL BLOCKING FOR ALL WALL MOUNTED TOILET ACCESSORIES.

2 ENLARGED FLOOR PLAN  
1/4"=1'-0"

3 ENLARGED FLOOR PLAN  
1/4"=1'-0"

4 ENLARGED FLOOR PLAN  
1/4"=1'-0"



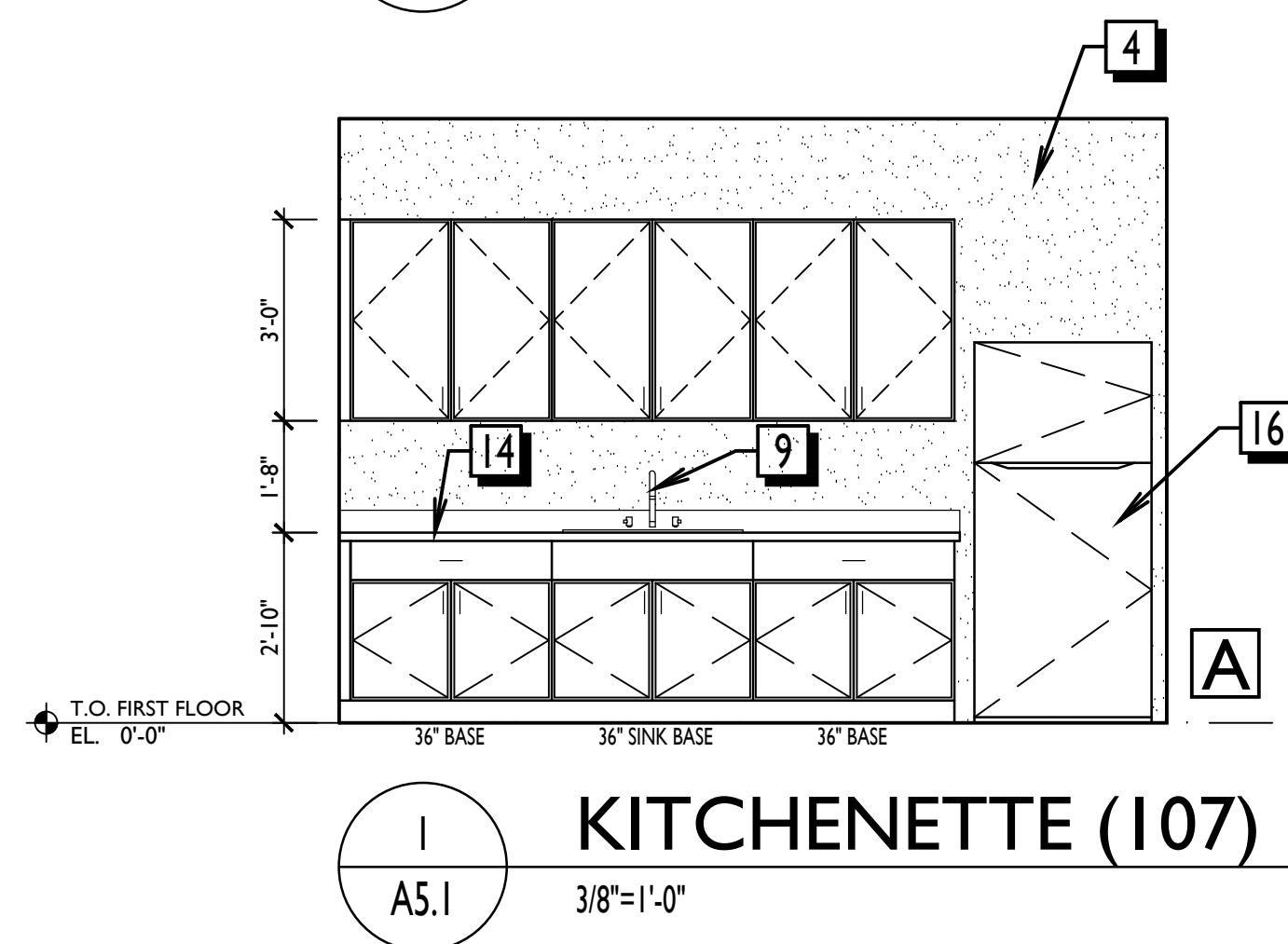
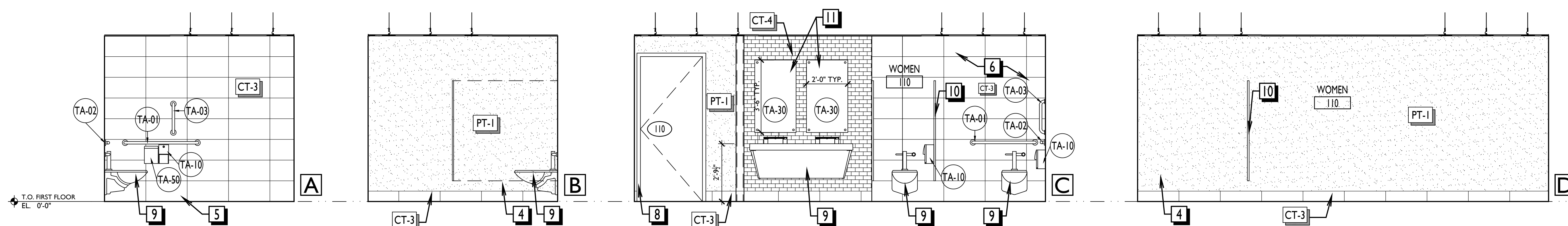
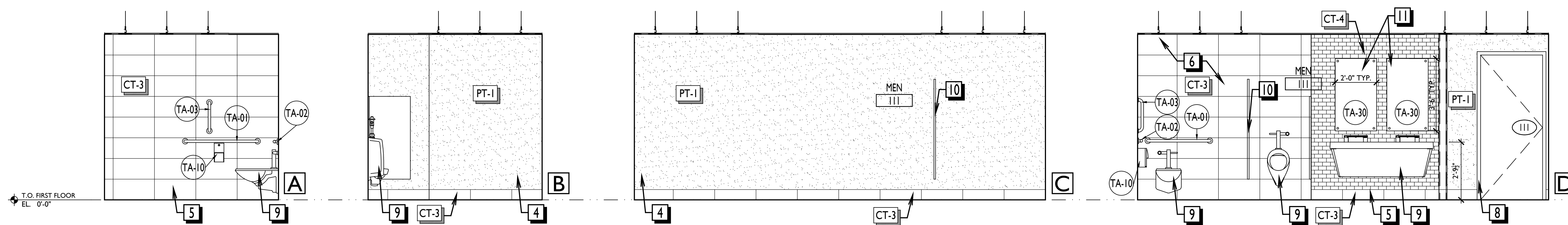
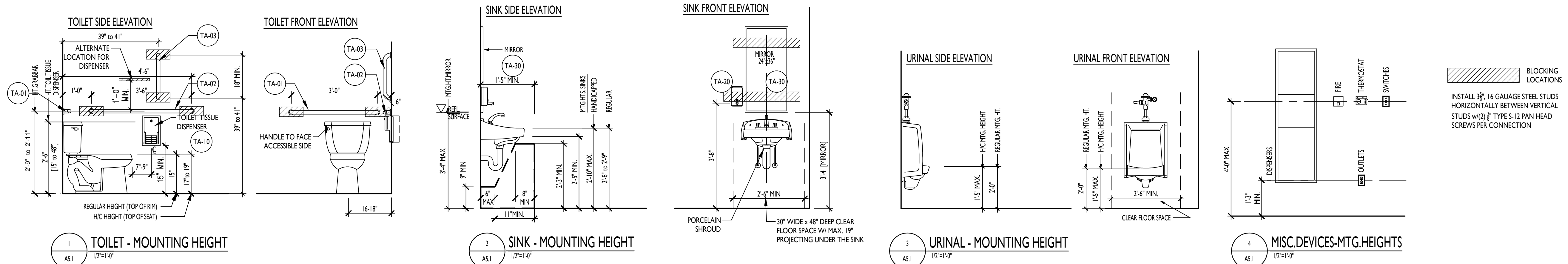
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**A4.1**



TOILET ACCESSORY LEGEND:		INTERIOR ELEVATION KEYNOTES:	
TA-01	GRAB BAR 36" LONG 812-001-36"	1	LIGHT FIXTURE AS PER RCP, SCHEDULE AND SPECIFICATIONS
TA-02	GRAB BAR 42" LONG 812-001-42"	2	WINDOW SYSTEM AS PER SPECIFICATIONS, SCHEDULE AND DETAILS
TA-03	GRAB BAR 18" LONG 812-001-18"	3	TV SUPPLIED AND INSTALLED BY OWNER
TA-10	SURFACE MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER, MODEL 5A10-11	4	PAINTED GWB. SEE ELEVATIONS AND FINISH SCHEDULE
TA-20	SURFACE MOUNTED SOAP DISPENSER, MODEL 6562	5	WALL BASE. SEE ELEVATIONS AND SCHEDULE
TA-30	FRAMELESS MIRROR w/1" DIA. STAINLESS STEEL MOUNTING POSTS WITH 1/2" STAND OFF AT WALL	6	TILE WAINSCOT OR ACCENT WALL AS PER PLANS AND FINISH SCHEDULE
TA-40	SEMI-RECESSED PAPER TOWEL DISPENSER/WASTE RECEPTACLE, MODEL 2017	7	1x6 STAINED OAK CEILING AS PER FINISH SCHEDULE
TA-50	SANITARY NAPKIN DISPOSAL, MODEL 4A10-11	8	DOOR AND FRAME AS PER SCHEDULE AND SPECIFICATIONS
TA-60	MOP & BROOM UTILITY SHELF, MODEL 9983	9	PLUMBING FIXTURES AS PER PLUMBING DRAWINGS AND SPECIFICATIONS
		10	TOILET PARTITIONS AS PER PLANS AND SPECIFICATIONS
		11	FRAMELESS MIRROR WITH 1" DIAMETER STAINLESS STEEL MOUNTING POSTS WITH 1/2" STAND OFF AT WALL
		12	1X6 STAINED OAK TRIM AS PER FINISH SCHEDULE
		13	STONE VENEER AS PER EXTERIOR ELEVATIONS AND SPECIFICATIONS
		14	CASEWORK AND COUNTERTOP AS PER FINISH SCHEDULE
		15	SUSPENDED CEILING AS PER RCP AND SPECIFICATIONS
		16	EQUIPMENT SUPPLY AND INSTALL BY OWNER
		17	1X6 STAIN WOOD WAINSCOT AS PER DETAIL
		18	LETTERS AND LOGO SUPPLIED AND INSTALLED BY TOWNSHIP'S VENDOR
		19	WALL MOUNTED MOTORIZED PROJECTION SCREEN AS PER PLAN AND SPECIFICATIONS
		20	ALUMINUM COATED ROD WITH 1X12 STAINED OAK SHELF AND STAINED OAK CLEATS
		21	ADA ACTUATOR BUTTON AS PER HARDWARE SPEC

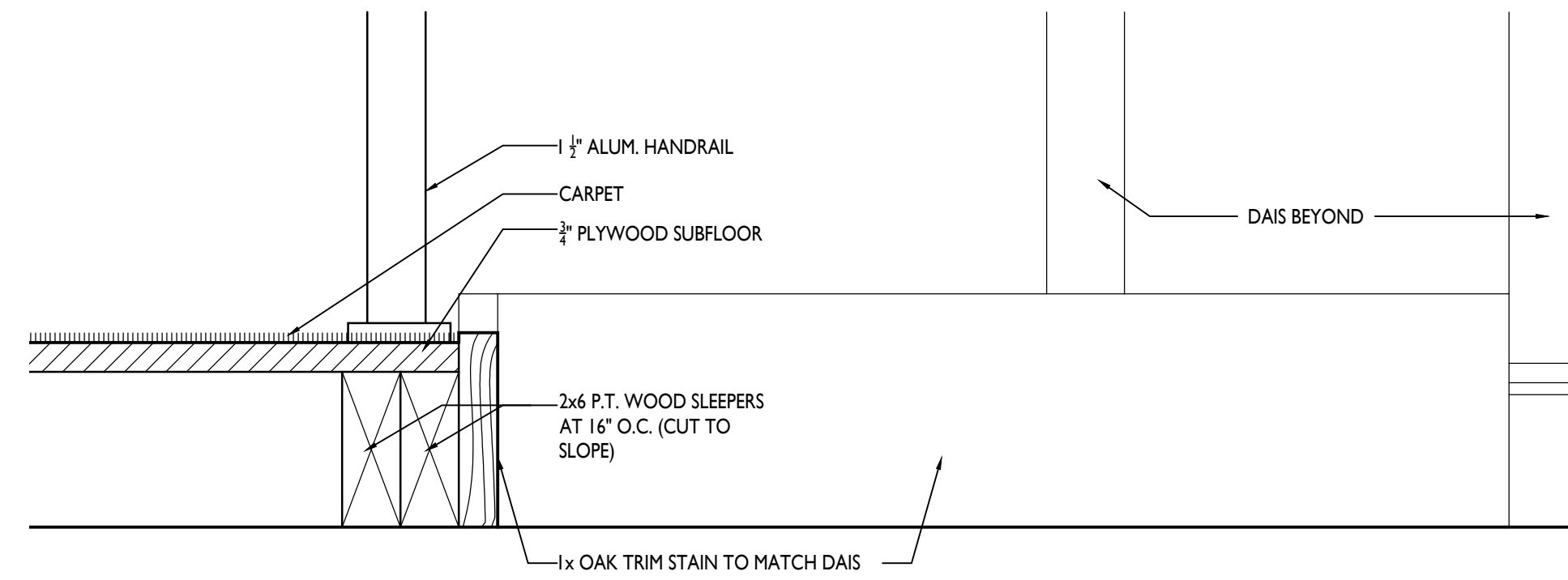
BRADLEY MODEL NUMBERS INDICATED. SEE SPECS FOR ADDITIONAL APPROVED MANUFACTURERS

**INTERIOR ELEVATION KEYNOTES:**

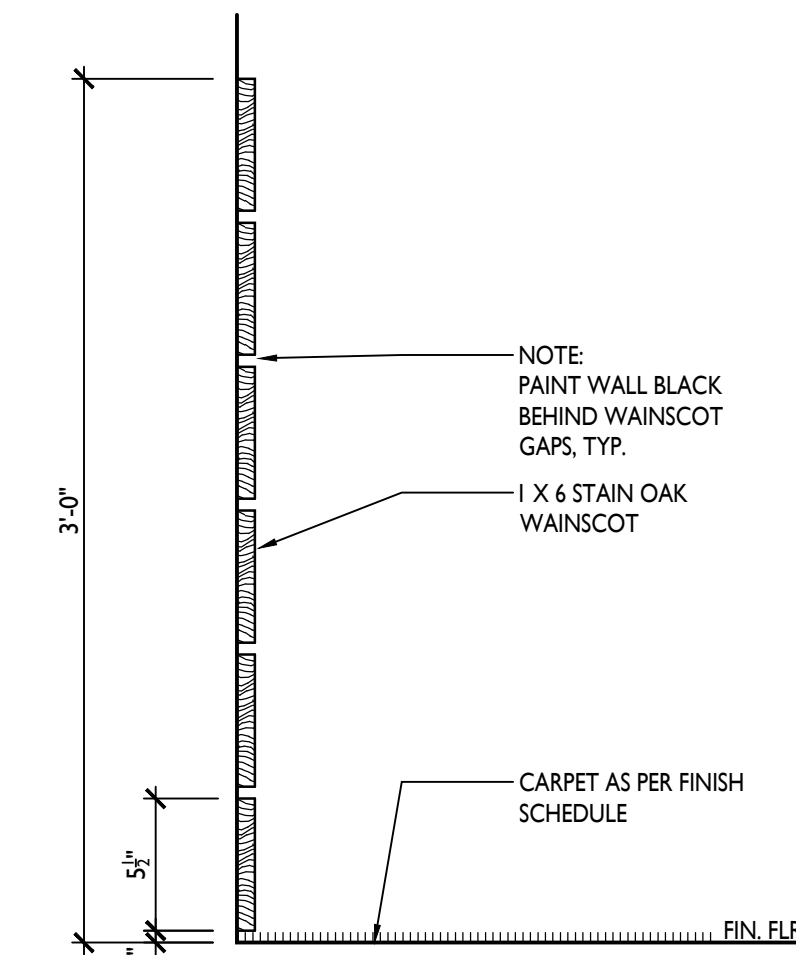
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|---|--|
| 1 LIGHT FIXTURE AS PER RCP, SCHEDULE AND SPECIFICATIONS   | 13 STONE VENEER AS PER EXTERIOR ELEVATIONS AND SPECIFICATIONS              |
| 2 WINDOW SYSTEM AS PER SPECIFICATIONS, SCHEDULE AND DETAILS.                                    | 14 CASEWORK AND COUNTERTOP AS PER FINISH SCHEDULE                          |
| 3 TV SUPPLIED AND INSTALLED BY OWNER  | 15 SUSPENDED CEILING AS PER RCP AND SPECIFICATIONS                         |
| 4 PAINTED GWB. SEE ELEVATIONS AND FINISH SCHEDULE   | 16 EQUIPMENT SUPPLY AND INSTALL BY OWNER                                   |
| 5 WALL BASE. SEE ELEVATIONS AND SCHEDULE  | 17 1X6 STAIN WOOD WAINSCOT AS PER DETAIL                                   |
| 6 TILE WAINSCOT OR ACCENT WALL AS PER PLANS AND FINISH SCHEDULE                                 | 18 LETTERS AND LOGO SUPPLIED AND INSTALLED BY TOWNSHIP'S VENDOR            |
| 7 1X6 STAINED OAK CEILING AS PER FINISH SCHEDULE  | 19 WALL MOUNTED MOTORIZED PROJECTION SCREEN AS PER PLAN AND SPECIFICATIONS |
| 8 DOOR AND FRAME AS PER SCHEDULE AND SPECIFICATIONS   | 20 ALUMINUM COATED ROD WITH 1X12 STAINED OAK SHELF AND STAINED OAK CLEATS  |
| 9 PLUMBING FIXTURES AS PER PLUMBING DRAWINGS AND SPECIFICATIONS                                 | 21 ADA ACTUATOR BUTTON AS PER HARDWARE SPEC                                |
| 10 TOILET PARTITIONS AS PER PLANS AND SPECIFICATIONS  |  |
| 11 FRAMELESS MIRROR WITH 1" DIAMETER STAINLESS STEEL MOUNTING POSTS WITH 1/2" STAND OFF AT WALL |  |
| 12 1X6 STAINED OAK TRIM AS PER FINISH SCHEDULE  |  |

**RFI RESPONSE DURING BIDDING:**

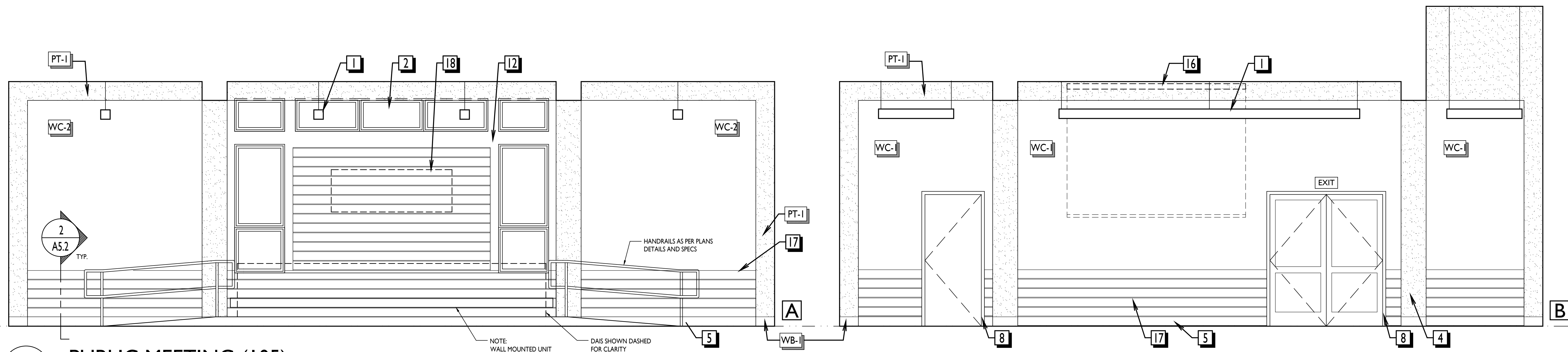
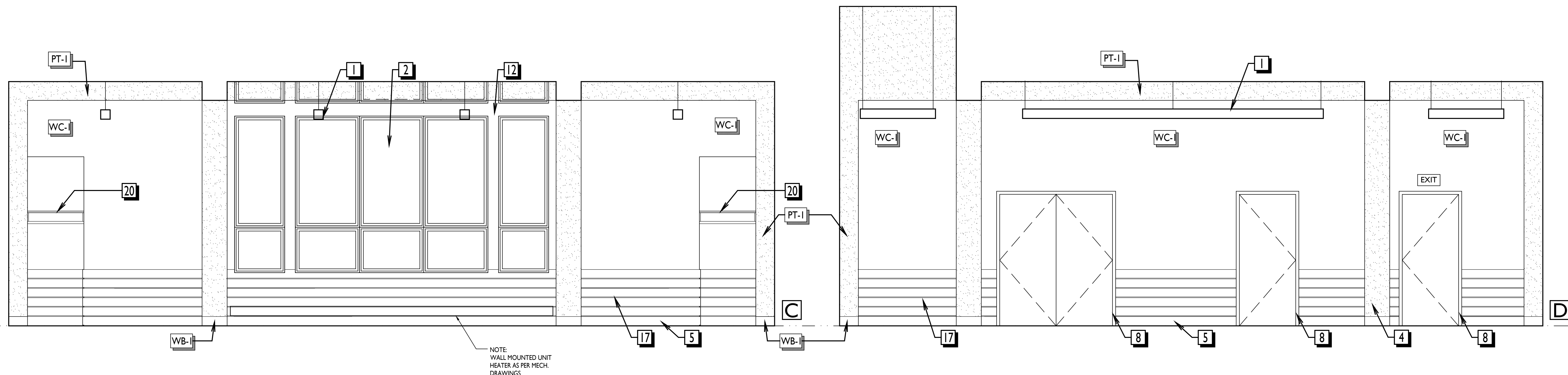
ANY EXISTING WOOD TRIM TO REMAIN WILL NEED TO BE SANDED AND REFINISHED TO MATCH THE NEW STAIN COLOR.  
 THE EXISTING DAIS THAT IS TO BE REUSED DOES NOT NEED TO BE REFINISHED. ANY NEW WOOD TRIM REQUIRED WITH THE REINSTALLATION OF THE DAIS SHOULD MATCH THE SPECIES AND STAIN COLOR OF THE EXISTING DAIS.



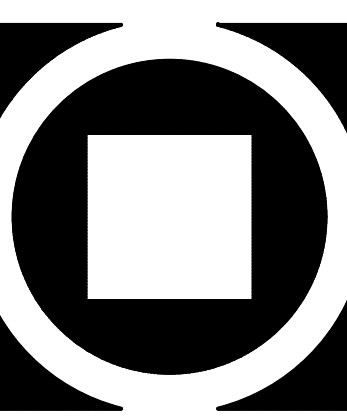
**3 SECTION AT DAIS & RAMP**  
 A5.2 3/8"=1'-0"



**2 WAINSCOT DETAIL**  
 A5.2 1/2"=1'-0"



**1A PUBLIC MEETING (105)**  
 A5.2 3/8"=1'-0"



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**MUNICIPAL BUILDING**  
**WEST BRADFORD TOWNSHIP**  
 1385 CAMPUS DRIVE  
 WEST BRADFORD, PA 19335

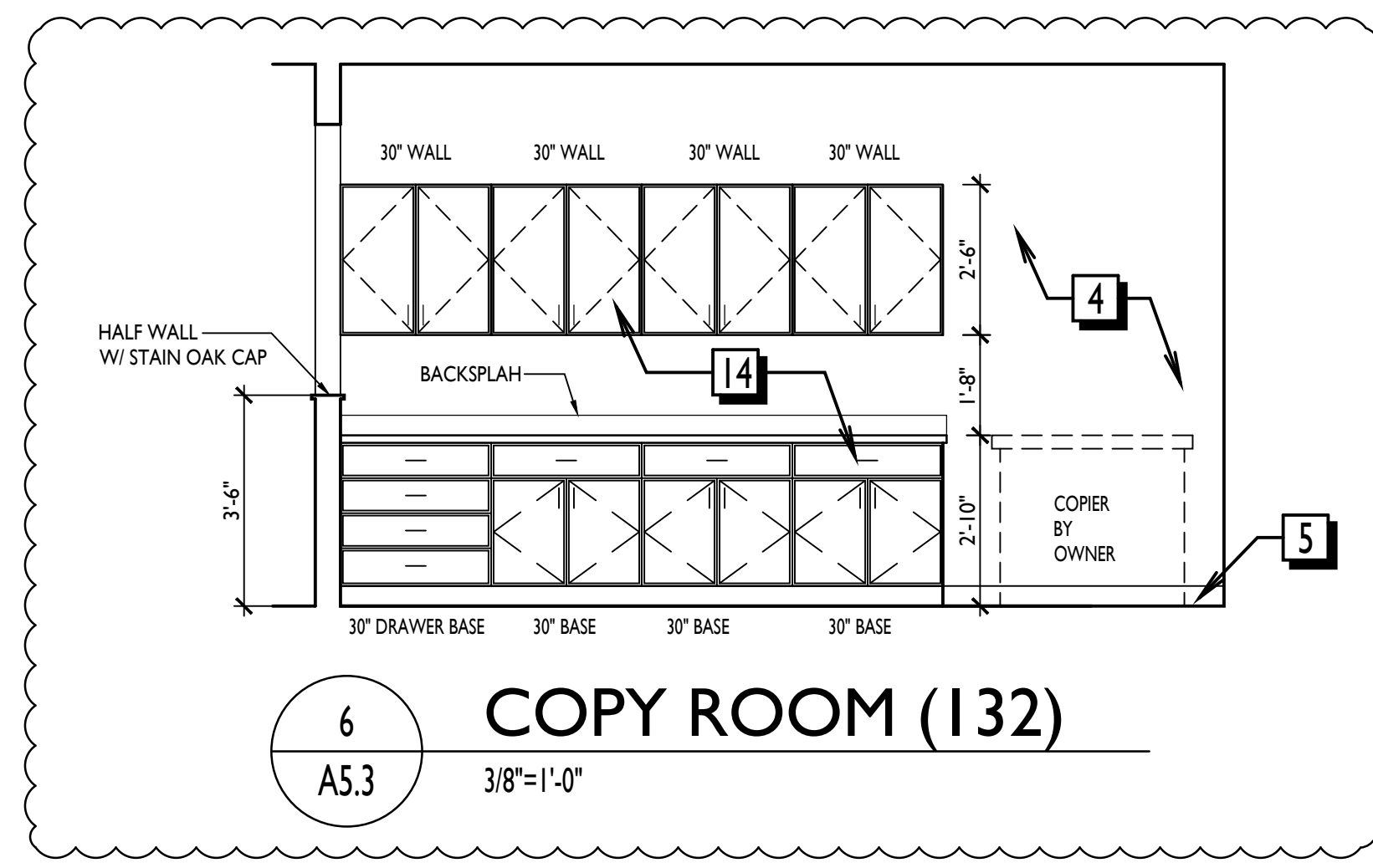
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 01/26/21  
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Revisions:	
10/15/20 ISSUED FOR BIDDING	
01/26/21 FOR CONSTRUCTION	REVISED DURING BIDDING

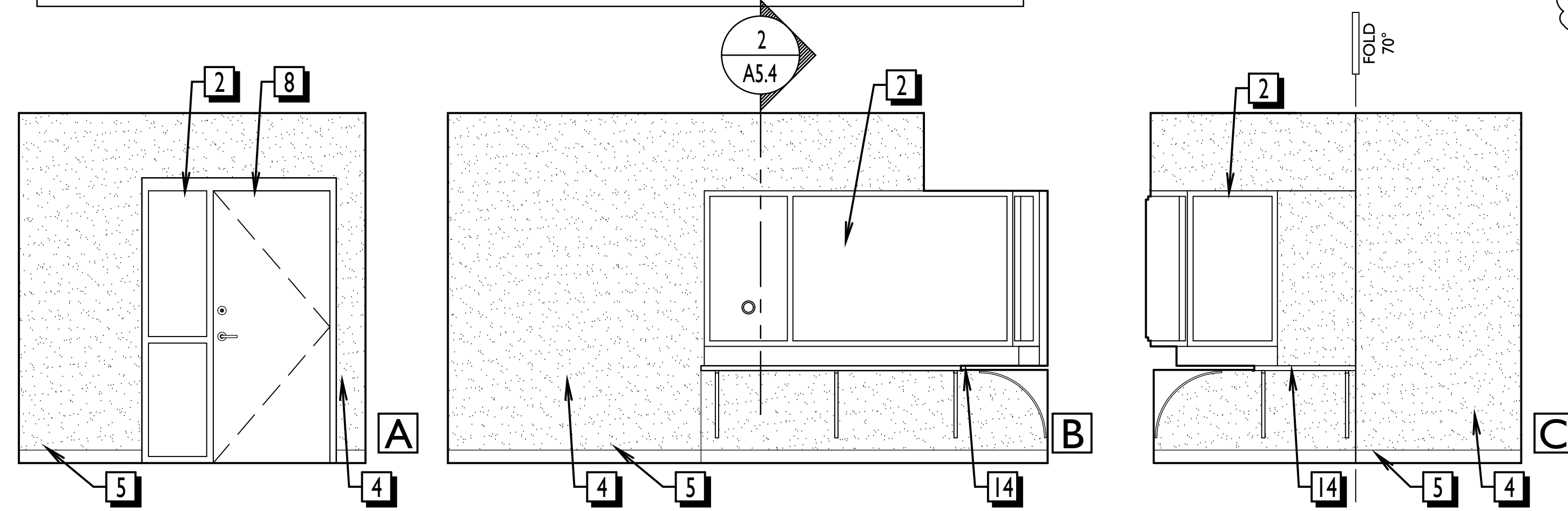
**A5.2**

**INTERIOR ELEVATION KEYNOTES:**

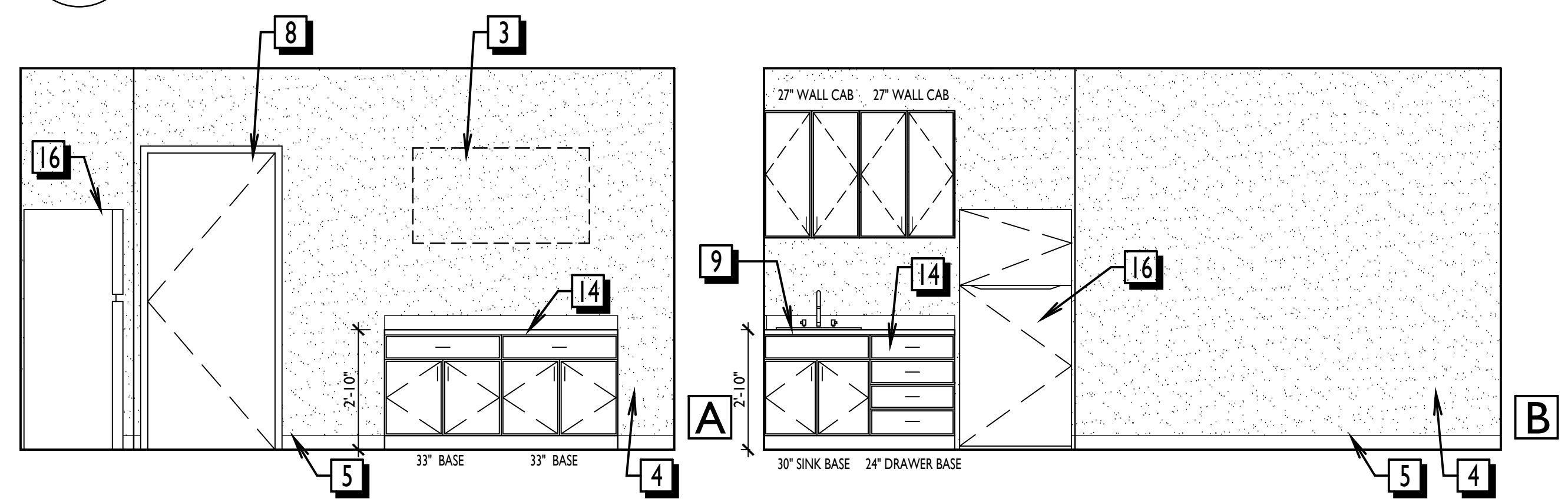
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| 1 LIGHT FIXTURE AS PER RCP, SCHEDULE AND SPECIFICATIONS   | 13 STONE VENEER AS PER EXTERIOR ELEVATIONS AND SPECIFICATIONS              |
| 2 WINDOW SYSTEM AS PER SPECIFICATIONS, SCHEDULE AND DETAILS.                                    | 14 CASEWORK AND COUNTERTOP AS PER FINISH SCHEDULE                          |
| 3 TV SUPPLIED AND INSTALLED BY OWNER  | 15 SUSPENDED CEILING AS PER RCP AND SPECIFICATIONS                         |
| 4 PAINTED GWB. SEE ELEVATIONS AND FINISH SCHEDULE   | 16 EQUIPMENT SUPPLY AND INSTALL BY OWNER                                   |
| 5 WALL BASE. SEE ELEVATIONS AND SCHEDULE  | 17 1X6 STAIN WOOD WAINSCOT AS PER DETAIL                                   |
| 6 TILE WAINSCOT OR ACCENT WALL AS PER PLANS AND FINISH SCHEDULE                                 | 18 LETTERS AND LOGO SUPPLIED AND INSTALLED BY TOWNSHIP'S VENDOR            |
| 7 1X6 STAINED OAK CEILING AS PER FINISH SCHEDULE  | 19 WALL MOUNTED MOTORIZED PROJECTION SCREEN AS PER PLAN AND SPECIFICATIONS |
| 8 DOOR AND FRAME AS PER SCHEDULE AND SPECIFICATIONS   | 20 ALUMINUM COATED ROD WITH 1X12 STAINED OAK SHELF AND STAINED OAK CLEATS  |
| 9 PLUMBING FIXTURES AS PER PLUMBING DRAWINGS AND SPECIFICATIONS                                 | 21 ADA ACTUATOR BUTTON AS PER HARDWARE SPEC                                |
| 10 TOILET PARTITIONS AS PER PLANS AND SPECIFICATIONS  |  |
| 11 FRAMELESS MIRROR WITH 1" DIAMETER STAINLESS STEEL MOUNTING POSTS WITH 1/2" STAND OFF AT WALL |  |
| 12 1X6 STAINED OAK TRIM AS PER FINISH SCHEDULE  |  |



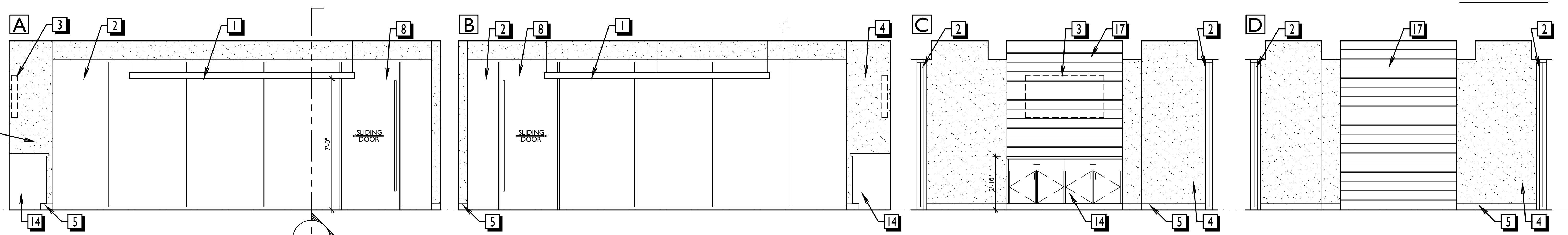
6 COPY ROOM (132)  
A5.3 3/8"=1'-0"



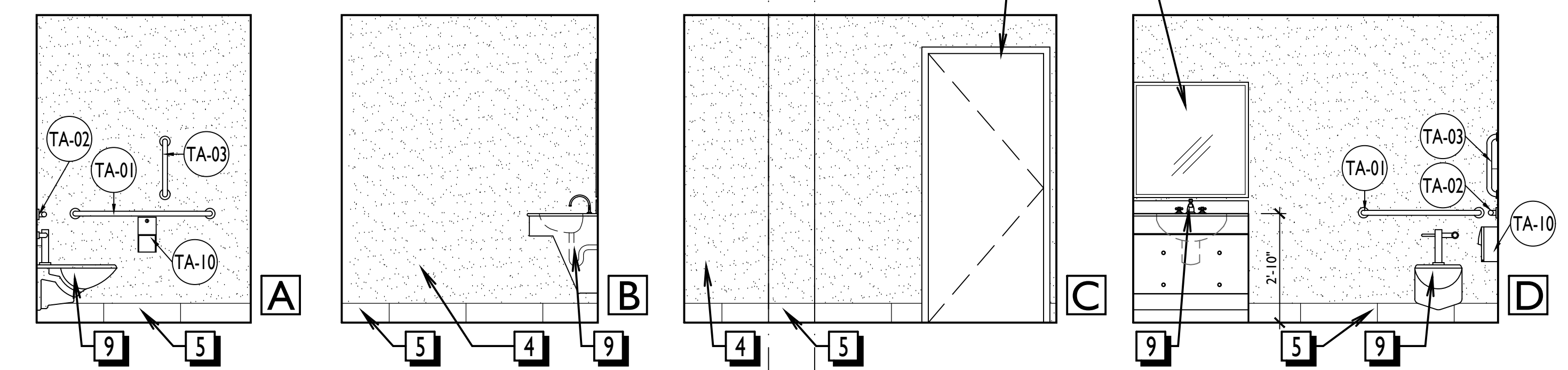
4 RECEPTION (103)  
A5.3 3/8"=1'-0"



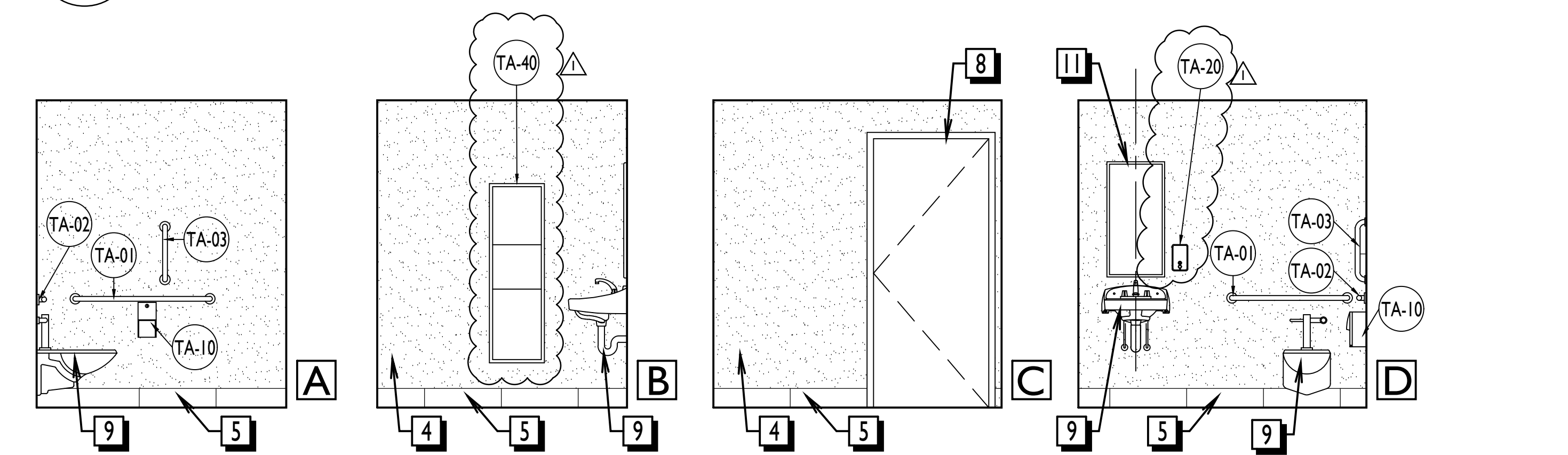
2 BREAK ROOM (123)  
A5.3 3/8"=1'-0"



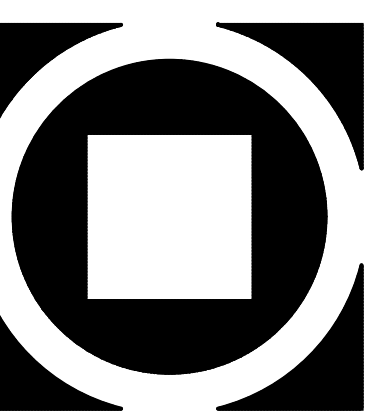
1 CONFERENCE (126)  
A5.3 3/8"=1'-0"



5 TOILET ROOM (112)  
A5.3 3/8"=1'-0"



3 TOILET ROOM (124 & 125\*)  
A5.3 3/8"=1'-0"



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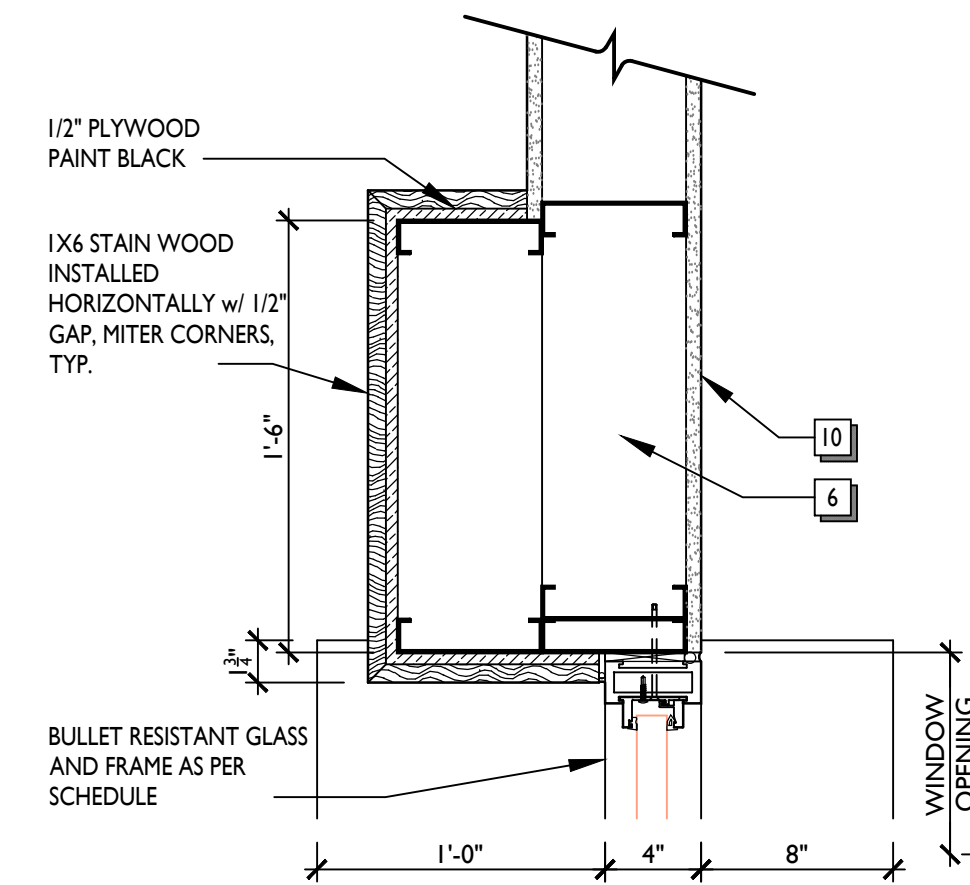
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Checked By: JT  
Scale: AS NOTED

Sheet Name:	Revisions:
INTERIOR ELEVATIONS	
Progress Prints:	
10/15/20 ISSUED FOR BIDDING	
01/26/21 FOR CONSTRUCTION	REVISED DURING BIDDING

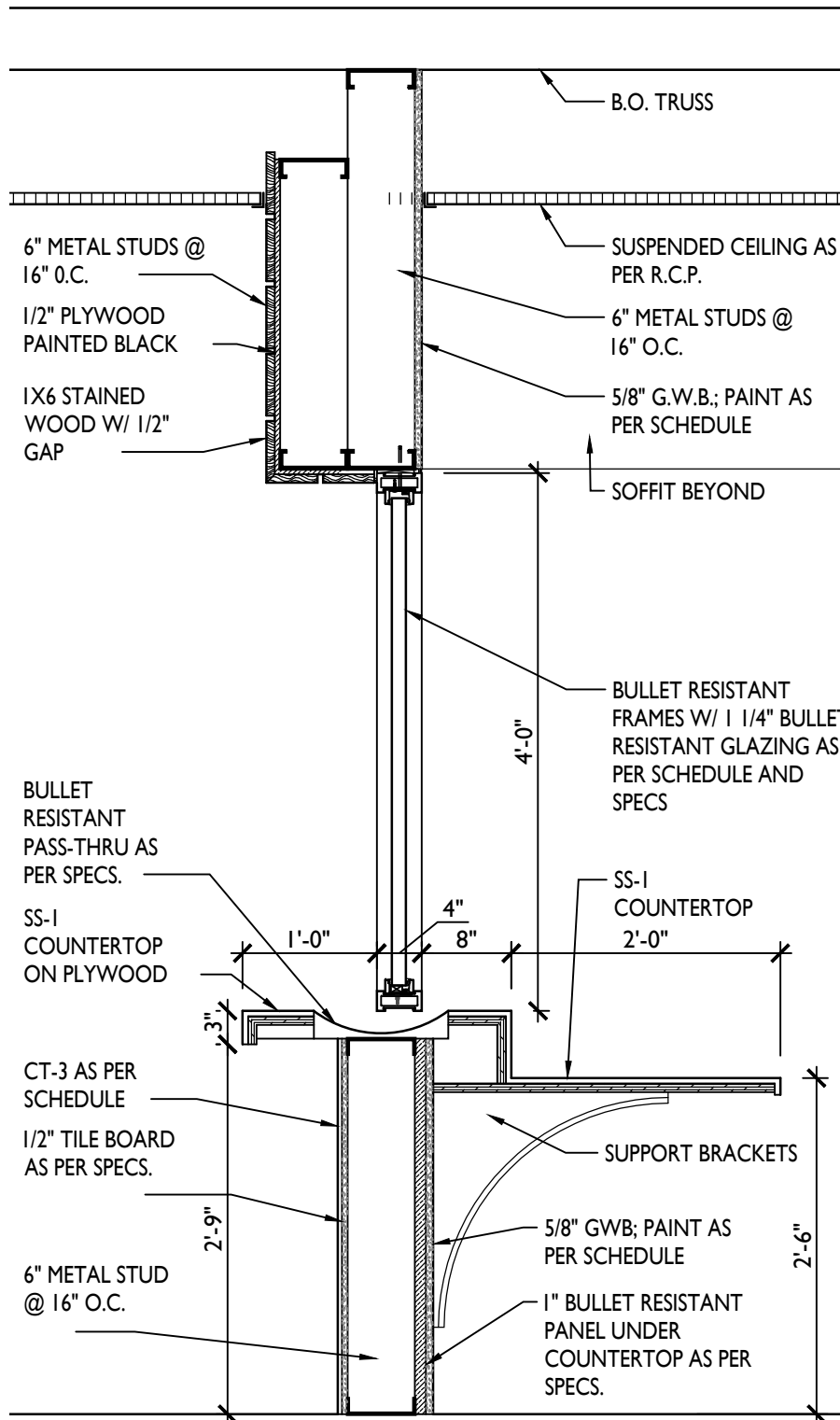
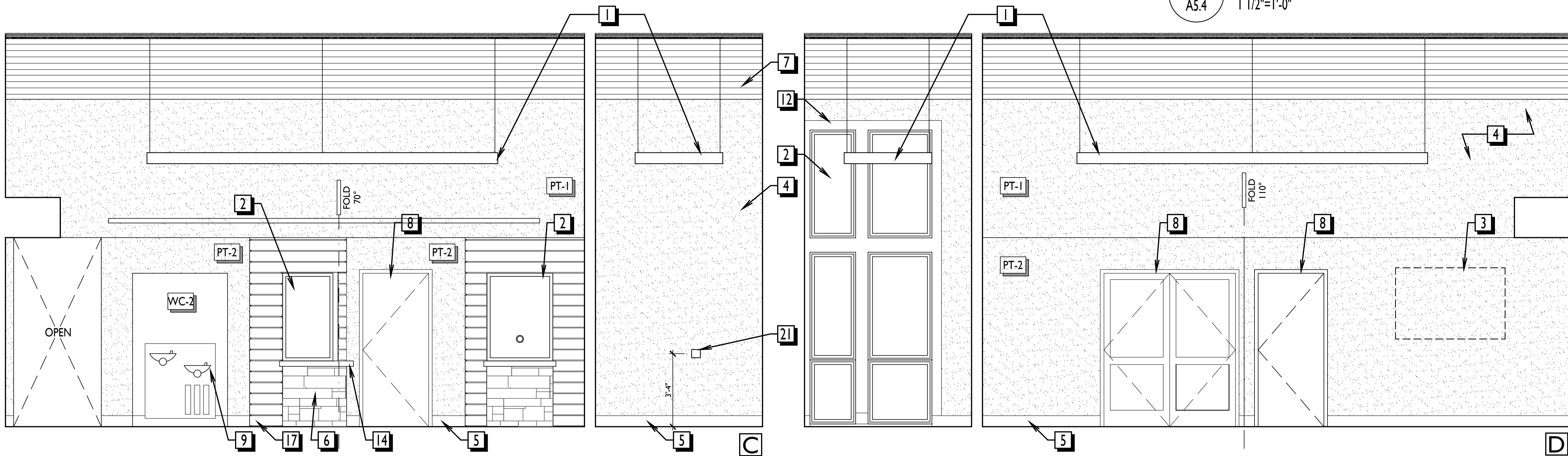
**A5.3**

**INTERIOR ELEVATION KEYNOTES:**

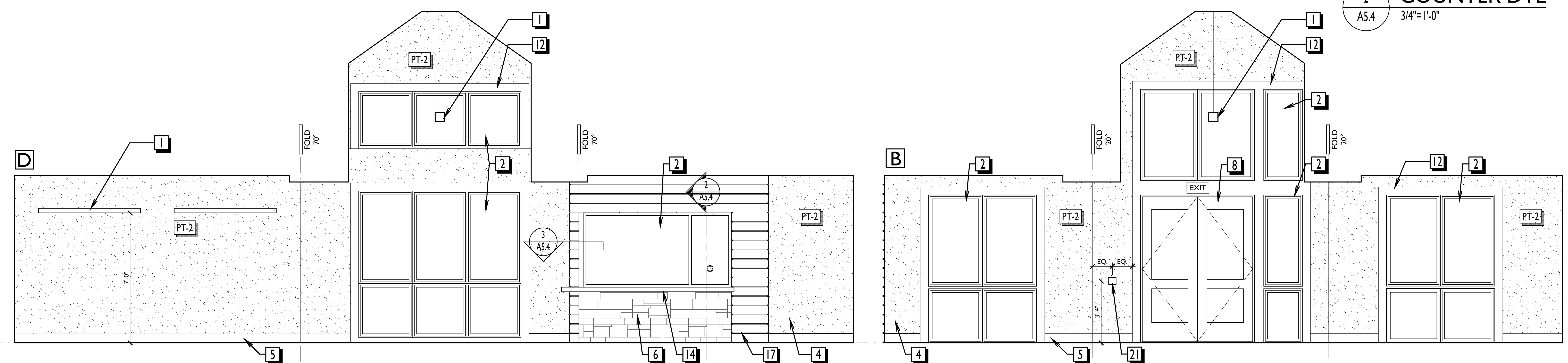
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|---|--|
| 1 LIGHT FIXTURE AS PER RCP, SCHEDULE AND SPECIFICATIONS   | 13 STONE VENEER AS PER EXTERIOR ELEVATIONS AND SPECIFICATIONS              |
| 2 WINDOW SYSTEM AS PER SPECIFICATIONS, SCHEDULE AND DETAILS.                                    | 14 CASEWORK AND COUNTERTOP AS PER FINISH SCHEDULE                          |
| 3 TV SUPPLIED AND INSTALLED BY OWNER  | 15 SUSPENDED CEILING AS PER RCP AND SPECIFICATIONS                         |
| 4 PAINTED G.W.B. SEE ELEVATIONS AND FINISH SCHEDULE   | 16 EQUIPMENT SUPPLY AND INSTALL BY OWNER                                   |
| 5 WALL BASE. SEE ELEVATIONS AND SCHEDULE  | 17 1X6 STAIN WOOD WAINSCOT AS PER DETAIL                                   |
| 6 TILE WAINSCOT OR ACCENT WALL AS PER PLANS AND FINISH SCHEDULE                                 | 18 LETTERS AND LOGO SUPPLIED AND INSTALLED BY TOWNSHIP'S VENDOR            |
| 7 1X6 STAINED OAK CEILING AS PER FINISH SCHEDULE  | 19 WALL MOUNTED MOTORIZED PROJECTION SCREEN AS PER PLAN AND SPECIFICATIONS |
| 8 DOOR AND FRAME AS PER SCHEDULE AND SPECIFICATIONS   | 20 ALUMINUM COATED ROD WITH 1X12 STAINED OAK SHELF AND STAINED OAK CLEATS  |
| 9 PLUMBING FIXTURES AS PER PLUMBING DRAWINGS AND SPECIFICATIONS                                 | 21 ADA ACTUATOR BUTTON AS PER HARDWARE SPEC                                |
| 10 TOILET PARTITIONS AS PER PLANS AND SPECIFICATIONS  |  |
| 11 FRAMELESS MIRROR WITH 1" DIAMETER STAINLESS STEEL MOUNTING POSTS WITH 1/2" STAND OFF AT WALL |  |
| 12 1X6 STAINED OAK TRIM AS PER FINISH SCHEDULE  |  |



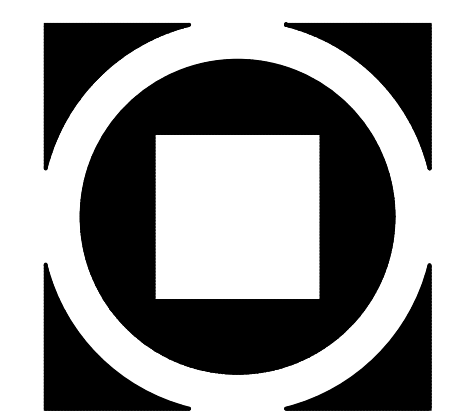
**3 RECEPTION PLAN DETAIL**  
A5.4 1/2"=1'-0"



**2 RECEPTION COUNTER DTL**  
A5.4 3/4"=1'-0"



**1 LOBBY (102)**  
A5.4 3/8"=1'-0"



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**MUNICIPAL BUILDING**  
WEST BRADFORD TOWNSHIP  
1385 CAMPUS DRIVE  
WEST BRADFORD, PA 19335

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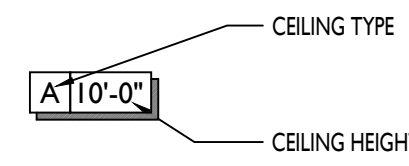
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Progress Prints:	Revisions:
10/15/20 ISSUED FOR BIDDING	10/15/20 ISSUED FOR BIDDING
01/26/21 FOR CONSTRUCTION	01/26/21 FOR CONSTRUCTION

**A5.4**

**REFLECTED CEILING PLAN GENERAL NOTES**

1. ALL A.C.T. TO BE HUNG @ +10'-0" A.F.F. UNLESS OTHERWISE NOTED.
2. TYP. A.C.T. STARTING POINT TO BE LOCATED BY CENTERING ONE TILE IN CENTER OF EACH ROOM (UNLESS OTHERWISE NOTED).
3. ALL G.W.B. CEILINGS TO BE HUNG @ +9'-0" A.F.F. UNLESS OTHERWISE NOTED.
4. ALL CASED OPENING SOFFITS SHALL BE @ +8'-0" A.F.F. UNLESS OTHERWISE NOTED.
5. THIS R.C.P. IS FOR LOCATION & COORDINATION PURPOSES OF HVAC AND ELECTRICAL FIXTURES. REFER TO HVAC & ELEC. PLANS FOR FIXTURE TYPE & DESIGNATION.
6. CENTER ALL FIXTURES IN ROOMS OR CEILING TILES UNLESS OTHERWISE NOTED.

**ROOM TAG LEGEND**

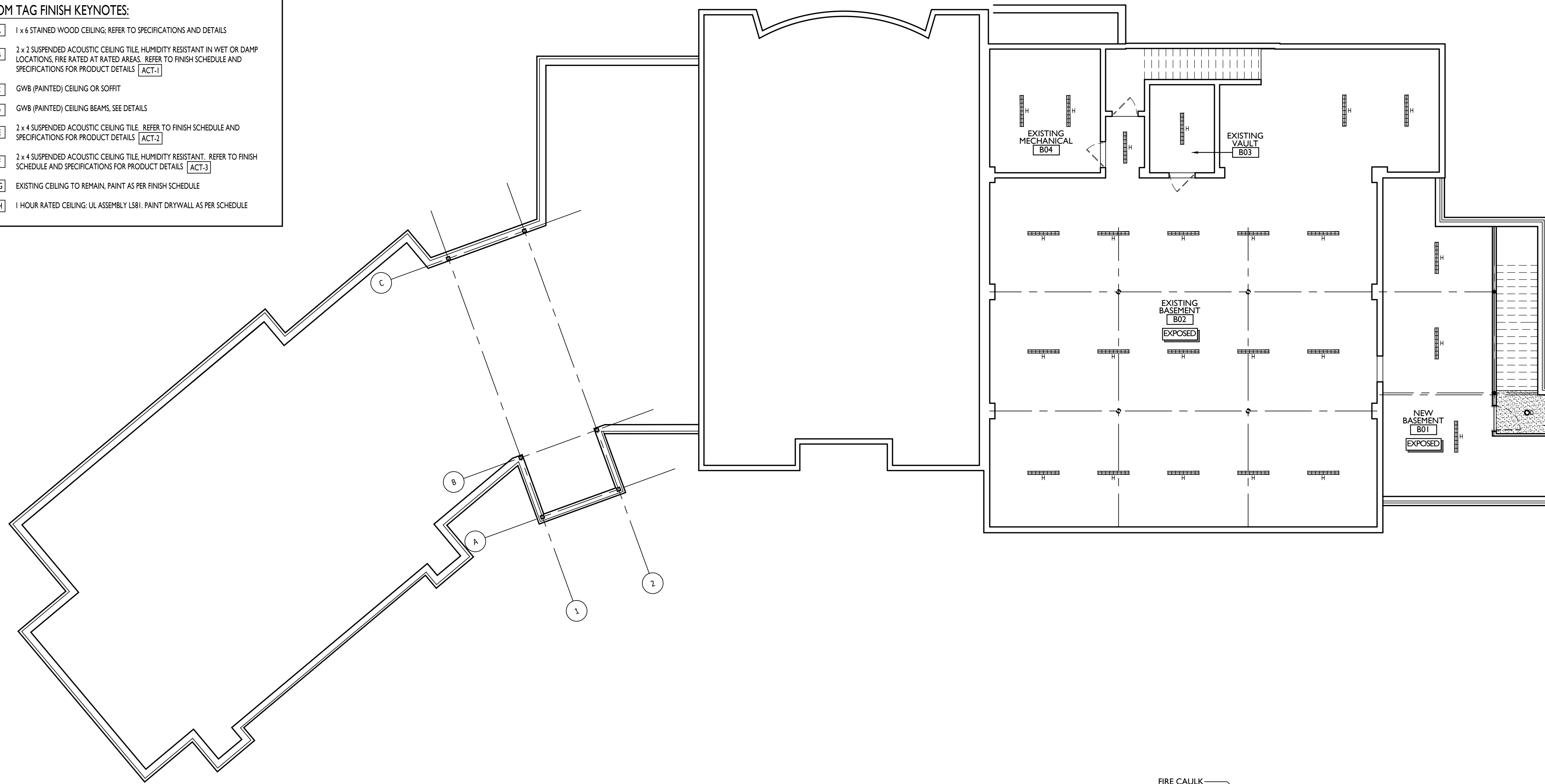


**ROOM TAG FINISH KEYNOTES:**

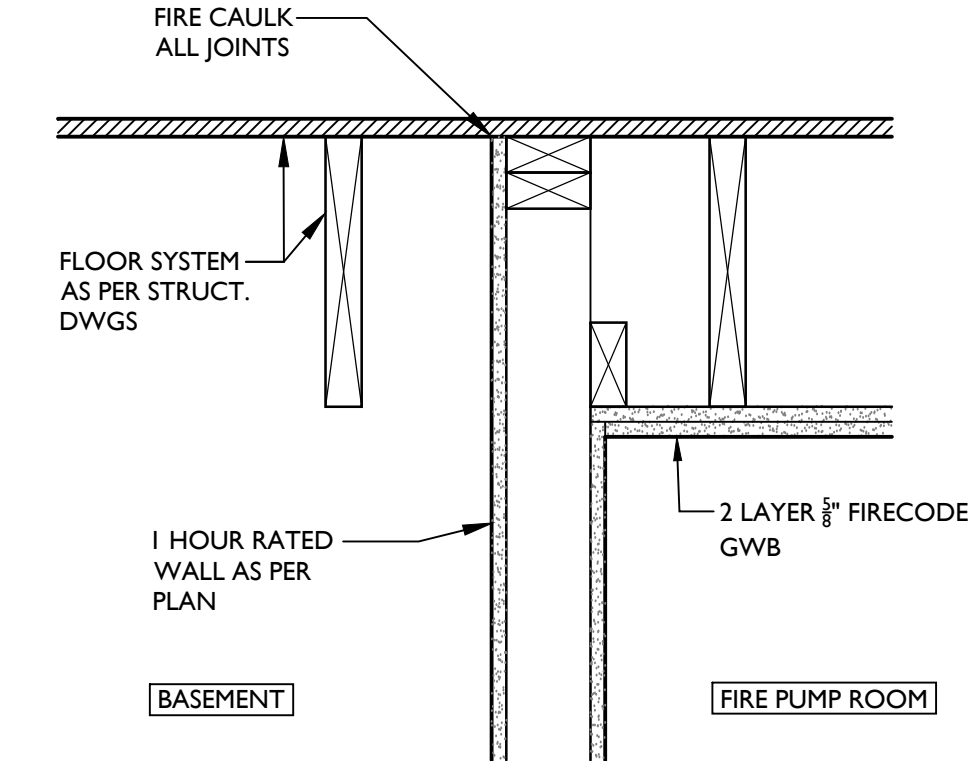
- A** 1 x 6 STAINED WOOD CEILING. REFER TO SPECIFICATIONS AND DETAILS
- B** 2 x 2 SUSPENDED ACOUSTIC CEILING TILE. HUMIDITY RESISTANT IN WET OR DAMP LOCATIONS. FIRE RATED AT RATED AREAS. REFER TO FINISH SCHEDULE AND SPECIFICATIONS FOR PRODUCT DETAILS [ACT-1]
- C** GWB (PAINTED) CEILING OR SOFFIT
- D** GWB (PAINTED) CEILING BEAMS. SEE DETAILS
- E** 2 x 4 SUSPENDED ACOUSTIC CEILING TILE. REFER TO FINISH SCHEDULE AND SPECIFICATIONS FOR PRODUCT DETAILS [ACT-2]
- F** 2 x 4 SUSPENDED ACOUSTIC CEILING TILE. HUMIDITY RESISTANT. REFER TO FINISH SCHEDULE AND SPECIFICATIONS FOR PRODUCT DETAILS [ACT-3]
- G** EXISTING CEILING TO REMAIN. PAINT AS PER FINISH SCHEDULE
- H** 1 HOUR RATED CEILING: UL ASSEMBLY L581. PAINT DRYWALL AS PER SCHEDULE

**LIGHTING LEGEND - SEE ELECTRICAL DRAWINGS FOR COMPLETE INFORMATION**

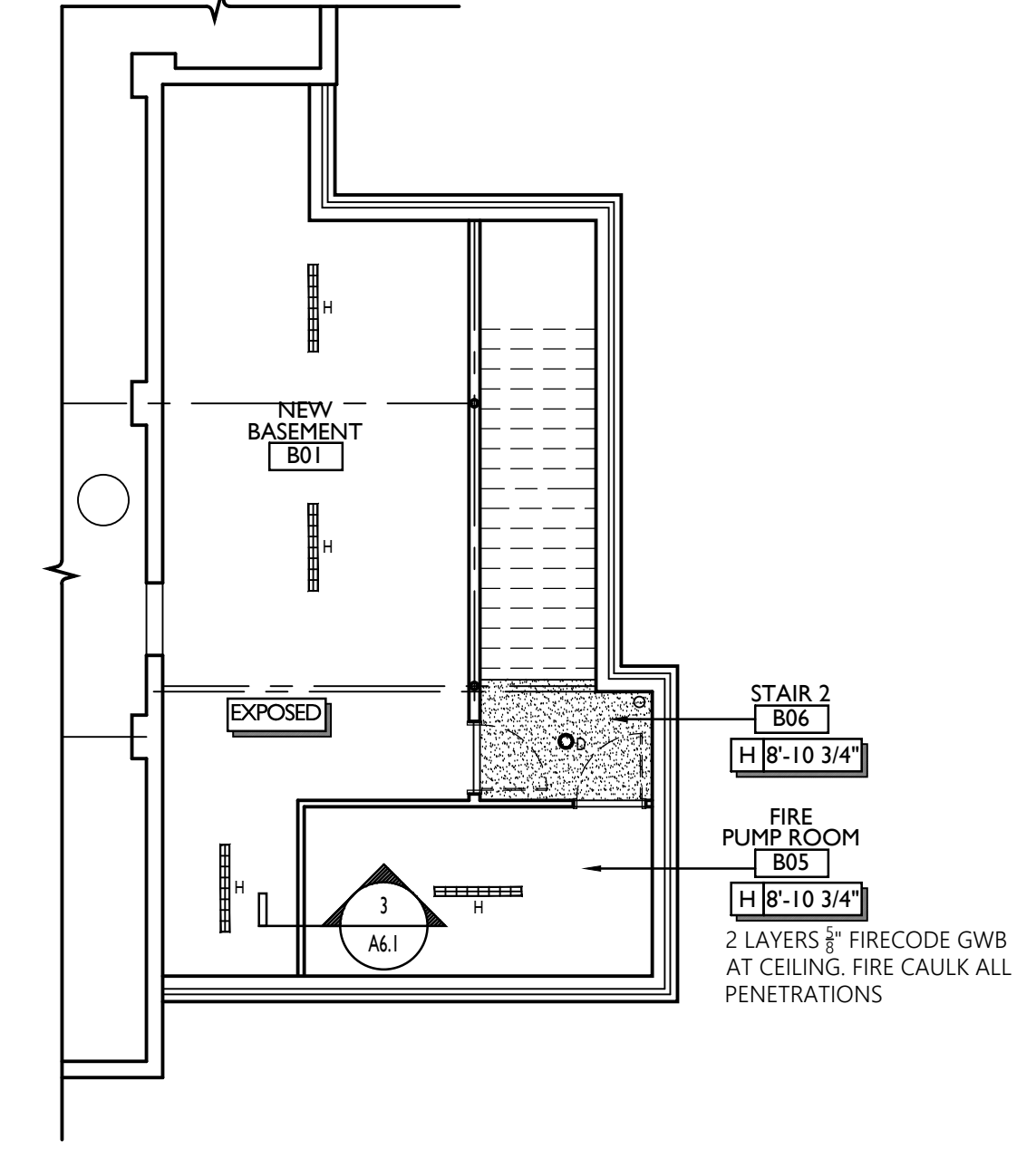
SYMBOL	DESCRIPTION	REMARKS
○	AD 6" LED DOWNLIGHT; BLACK PAINTED FLANGE	
○	ADL TOILET ROOM FIXTURE?	
○	AW 6" LED WALL WASH; BLACK PAINTED FLANGE	
—	Bx SUSPENDED LED LINEAR LIGHT FIXTURE; LENGTH AS NOTED	
▭	C22 2 x 2 VOLUMETRIC RECESSED LED LAY IN FIXTURE	
○	D 4" DECORATIVE LED RECESSED DOWNLIGHT	
—	E WALL MOUNTED LINEAR LED WALL WASH FIXTURE; LENGTH AS NOTED	
—	F RECESS LINEAR LED LIGHT FIXTURE	
—	G DECORATIVE LINEAR SUSPENDED LED LIGHT FIXTURE	
▭	H 4" LED INDUSTRIAL STYLE FIXTURE	
□	WP WALL PACK??	
●	BOL BOLLARDS??	



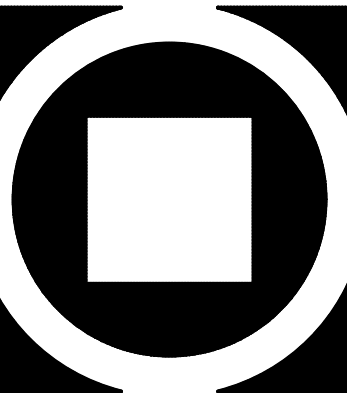
**1 REFLECTED CEILING PLAN - BASEMENT**  
A6.1 1/8"=1'-0"



**3 FIRE PUMP ROOM CEILING**  
A6.1 1/12"=1'-0"



**2 FIRE PUMP ROOM: ADD ALT. #G-1**  
A6.1 1/8"=1'-0"



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 Facsimile: 610.834.7815  
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**MUNICIPAL BUILDING**  
**WEST BRADFORD TOWNSHIP**  
 1385 CAMPUS DRIVE  
 WEST BRADFORD, PA 19335

Construction Issue Date:	01.26.21
Drawn By:	TM, YP
Checked By:	JT
Scale:	AS NOTED

Sheet Name:	REFLECTED CEILING PLAN
Progress Prints:	1/01/15/20 ISSUED FOR BIDDING
Revisions:	01/26/21 FOR CONSTRUCTION Δ REVISED DURING BIDDING

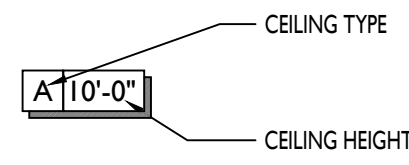
**A6.1**



**REFLECTED CEILING PLAN GENERAL NOTES**

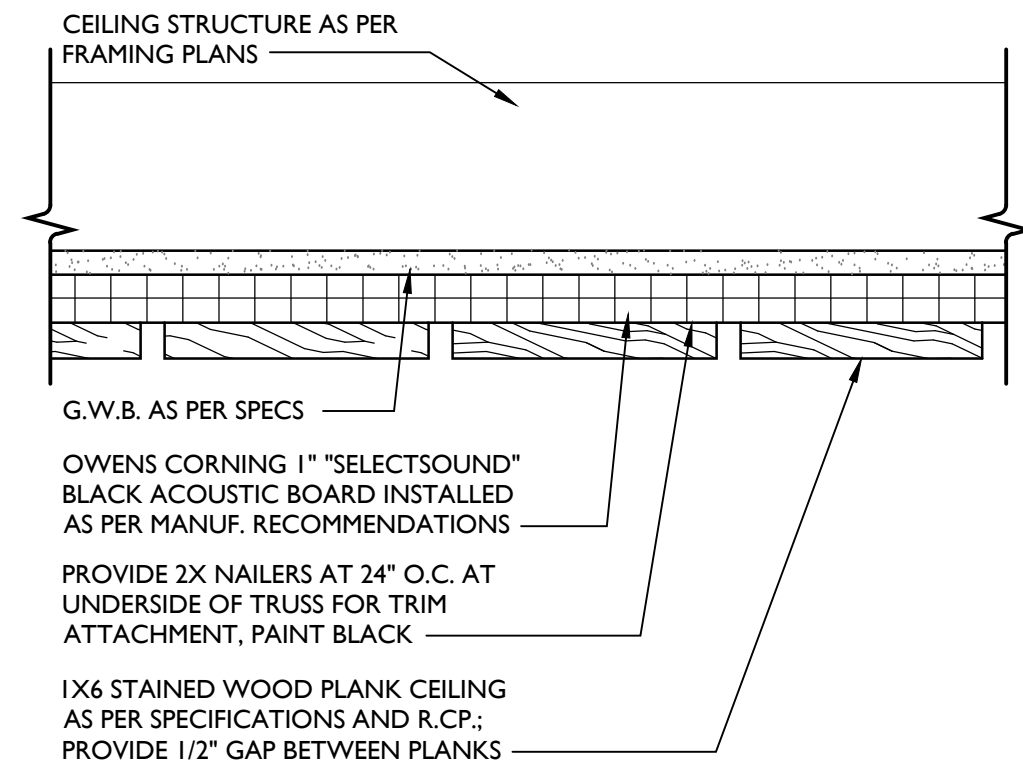
1. ALL A.C.T. TO BE HUNG @ +10'-0" A.F.F. UNLESS OTHERWISE NOTED.
2. TYP. A.C.T. STARTING POINT TO BE LOCATED BY CENTERING ONE TILE IN CENTER OF EACH ROOM (UNLESS OTHERWISE NOTED).
3. ALL G.W.B. CEILINGS TO BE HUNG @ +9'-0" A.F.F. UNLESS OTHERWISE NOTED.
4. ALL CASED OPENING SOFFITS SHALL BE @ +8'-0" A.F.F. UNLESS OTHERWISE NOTED.
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6. CENTER ALL FIXTURES IN ROOMS OR CEILING TILES UNLESS OTHERWISE NOTED.

**ROOM TAG LEGEND**

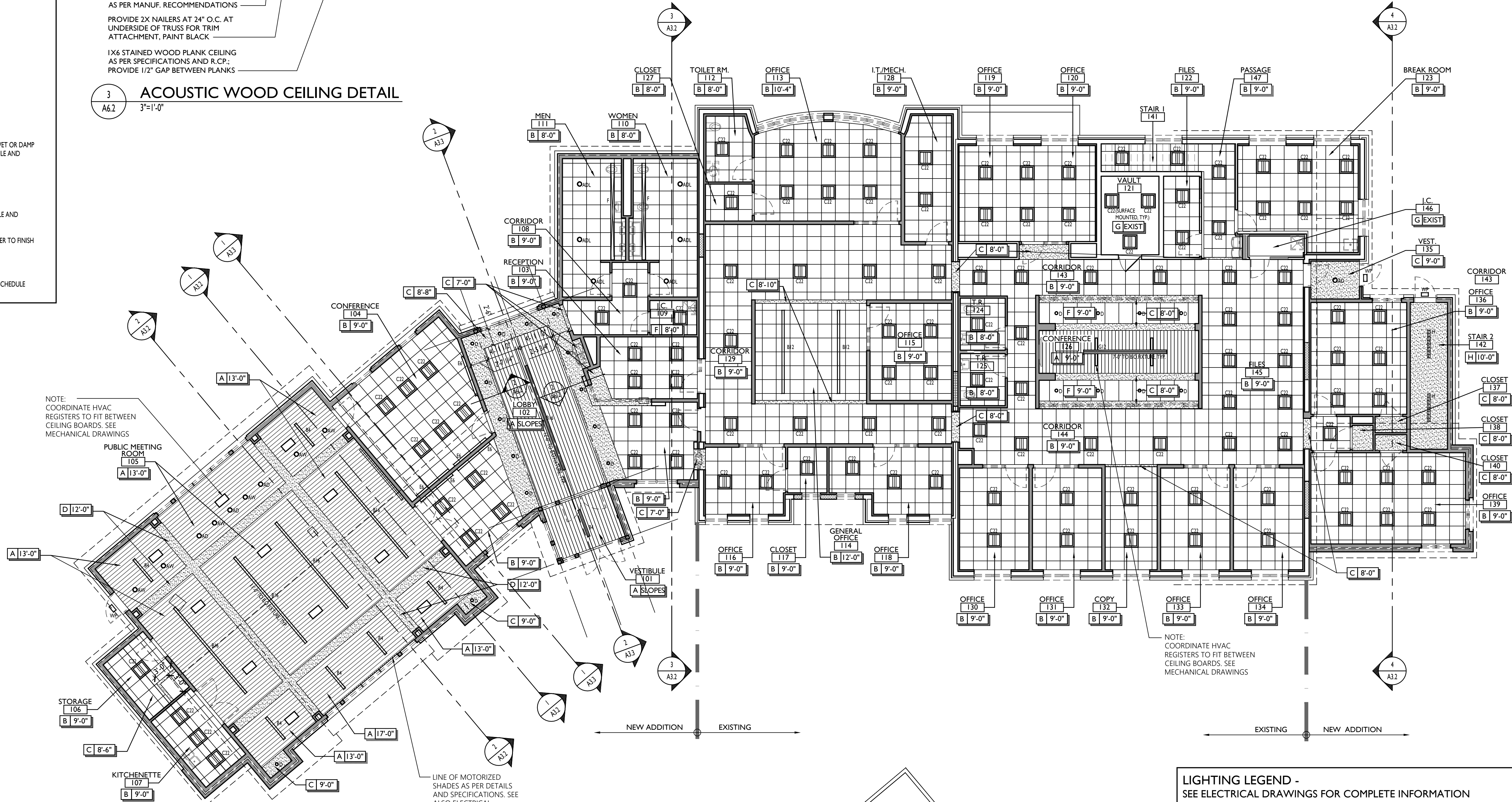


**ROOM TAG FINISH KEYNOTES:**

- A 1 x 6 STAINED WOOD CEILING. REFER TO DETAIL 3/A6.2
- B 2 x 2 SUSPENDED ACOUSTIC CEILING TILE. HUMIDITY RESISTANT IN WET OR DAMP LOCATIONS. FIRE RATED AT RATED AREAS. REFER TO FINISH SCHEDULE AND SPECIFICATIONS FOR PRODUCT DETAILS [ACT-1]
- C GWB (PAINTED) CEILING OR SOFFIT
- D GWB (PAINTED) CEILING BEAMS. SEE DETAILS
- E 2 x 4 SUSPENDED ACOUSTIC CEILING TILE. REFER TO FINISH SCHEDULE AND SPECIFICATIONS FOR PRODUCT DETAILS [ACT-2]
- F 2 x 4 SUSPENDED ACOUSTIC CEILING TILE. HUMIDITY RESISTANT. REFER TO FINISH SCHEDULE AND SPECIFICATIONS FOR PRODUCT DETAILS [ACT-3]
- G EXISTING CEILING TO REMAIN. PAINT AS PER FINISH SCHEDULE
- H 1 HOUR RATED CEILING: UL ASSEMBLY LS81. PAINT DRYWALL AS PER SCHEDULE



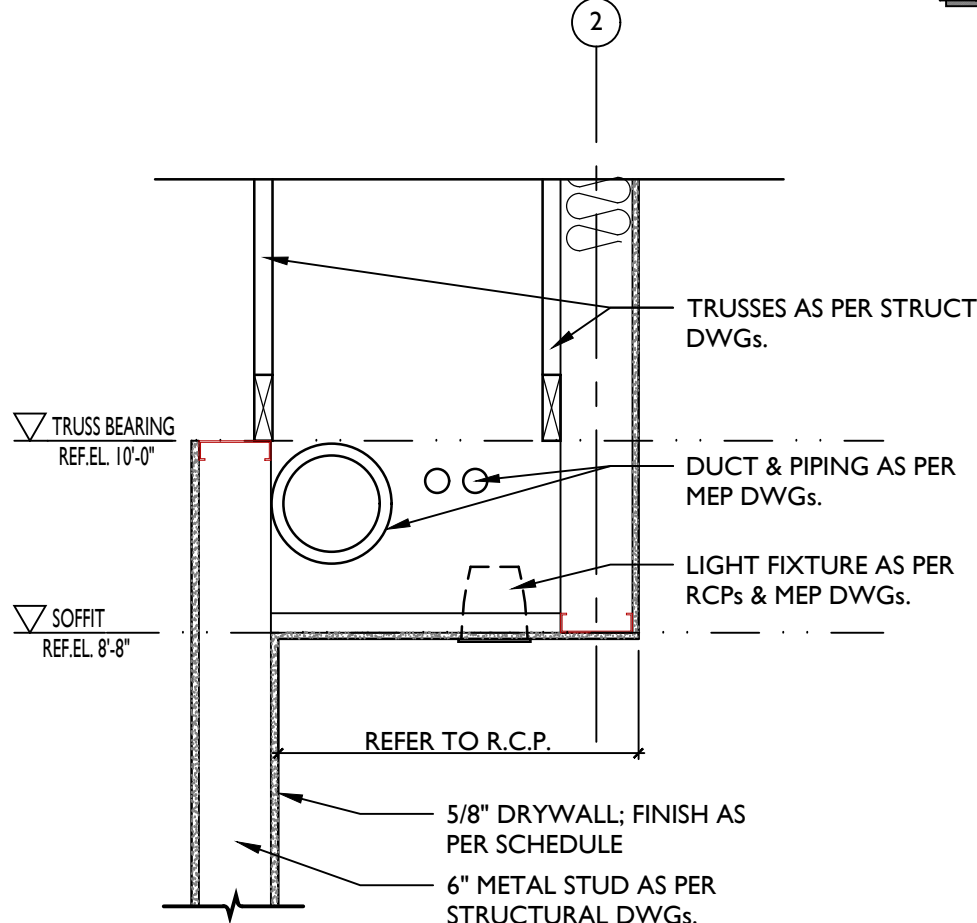
**ACoustic WOOD CEILING DETAIL**  
3/3"=1'-0"



NOTE: COORDINATE HVAC REGISTERS TO FIT BETWEEN CEILING BOARDS. SEE MECHANICAL DRAWINGS

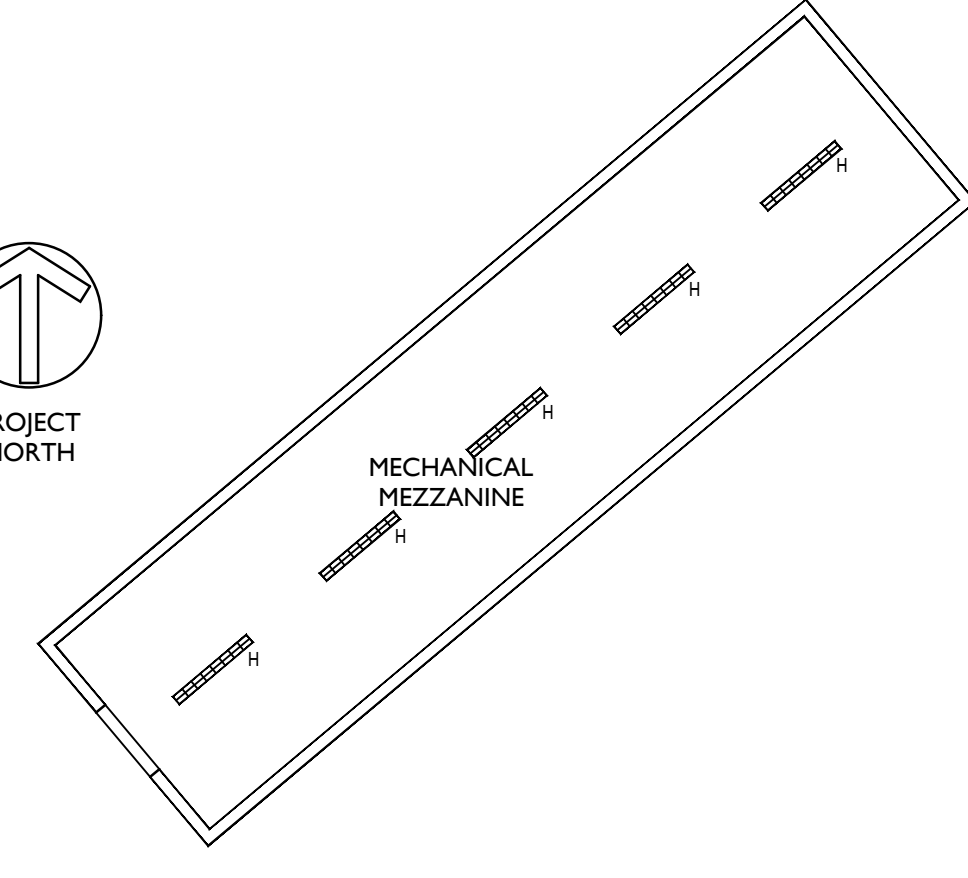
NOTE: COORDINATE HVAC REGISTERS TO FIT BETWEEN CEILING BOARDS. SEE MECHANICAL DRAWINGS

LINE OF MOTORIZED SHADES AS PER DETAILS AND SPECIFICATIONS. SEE ALSO ELECTRICAL DRAWINGS



**SOFFIT DETAIL**  
3/4"=1'-0"

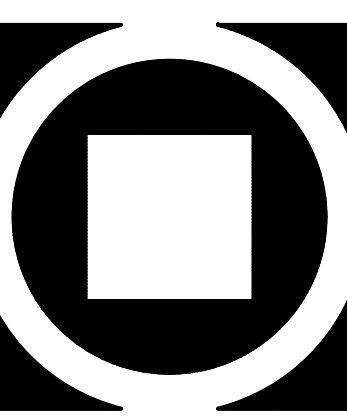
**REFLECTED CEILING PLAN - 1ST FLOOR**  
1/8"=1'-0"



**REFLECTED CEILING PLAN - MEZZANINE**  
1/8"=1'-0"

**LIGHTING LEGEND - SEE ELECTRICAL DRAWINGS FOR COMPLETE INFORMATION**

SYMBOL	DESCRIPTION	REMARKS
○	AD 6" LED DOWNLIGHT; BLACK PAINTED FLANGE	
○	ADL TOILET ROOM FIXTURE??	
○	AW 6" LED WALL WASH; BLACK PAINTED FLANGE	
—	Bx SUSPENDED LED LINEAR LIGHT FIXTURE; LENGTH AS NOTED	
■	C22 2 x 2 VOLUMETRIC RECESSED LED LAY IN FIXTURE	
○	D 6" DECORATIVE LED RECESSED DOWNLIGHT	
—	E WALL MOUNTED LINEAR LED WALL WASH FIXTURE; LENGTH AS NOTED	
—	F RECESS LINEAR LED LIGHT FIXTURE	
—	G DECORATIVE LINEAR SUSPENDED LED LIGHT FIXTURE	
—	H 4" LED INDUSTRIAL STYLE FIXTURE	
□	WP WALL PACK??	
●	BOL BOLLARDS??	



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**MUNICIPAL BUILDING**  
WEST BRADFORD TOWNSHIP  
1385 CAMPUS DRIVE  
WEST BRADFORD, PA 19335

Construction Issue Date: 01/26/21  
Drawn By: TM, YP  
Checked By: JT  
Scale: AS NOTED

Sheet Name: REFLECTED CEILING PLAN  
Progress Prints: 10/15/20 ISSUED FOR BIDDING  
01/26/21 FOR CONSTRUCTION  
Revisions:  
REVISED DURING BIDDING

**A6.2**

**WALL SECTION AND DETAIL NOTES**

- 1 Footing as per structural drawings and specifications
- 2 Foundation wall as per structural drawings and specifications
- 3 Concrete floor slab, reinforcing, sub-base and vapor barrier as per structural drawings and specifications
- 4 2" rigid insulation as per specifications at entire perimeter of building.
- 5 Grade as per civil drawings
- 6 6" metal studs as per structural drawings and specifications
- 7 3/8" metal studs as per structural drawings and specifications
- 8 Spray applied weather barrier as per specifications

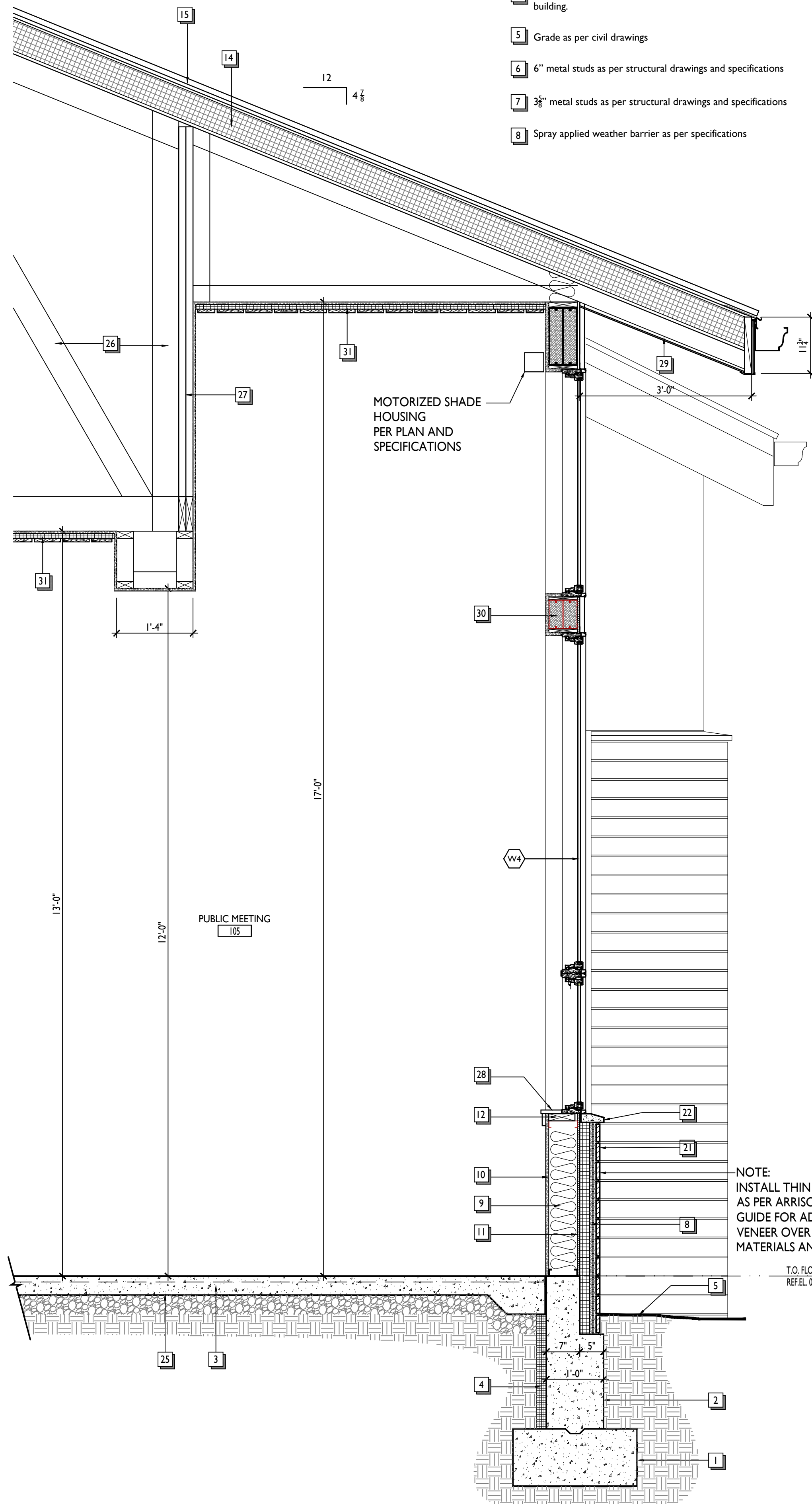
- 9 3 5/8" or 6" batt insulation as per specifications and stud width
- 10 5/8" GWB as per details and specifications
- 11 1/2" plywood sheathing / blocking
- 12 2x pressure treated wood blocking
- 13 Steel beam or column as per structural drawings
- 14 6" polyiso roof insulation as per specifications
- 15 Standing seam metal roof system as per specifications
- 16 1 1/2" x 14 LVL Fascia Board with .032 aluminum wrap as per details and specifications.
- 17 Acoustic ceiling and suspension system as per plans and specifications

- 18 Not used.
- 19 Aluminum flashing to match window system
- 20 Caulk and backer rod as per specifications or manufacturer's recommendations
- 21 Masonry veneer as per plans, elevations, details and specifications
- 22 Cast Stone sill as per plans, elevations, details and specifications
- 23 1/4" pressure treated plywood sill
- 24 Door or window jamb/ head as per schedule and specifications
- 25 Vapor Barrier as per specifications
- 26 Pre-engineered Wood Truss as per structural drawings, details and specifications.

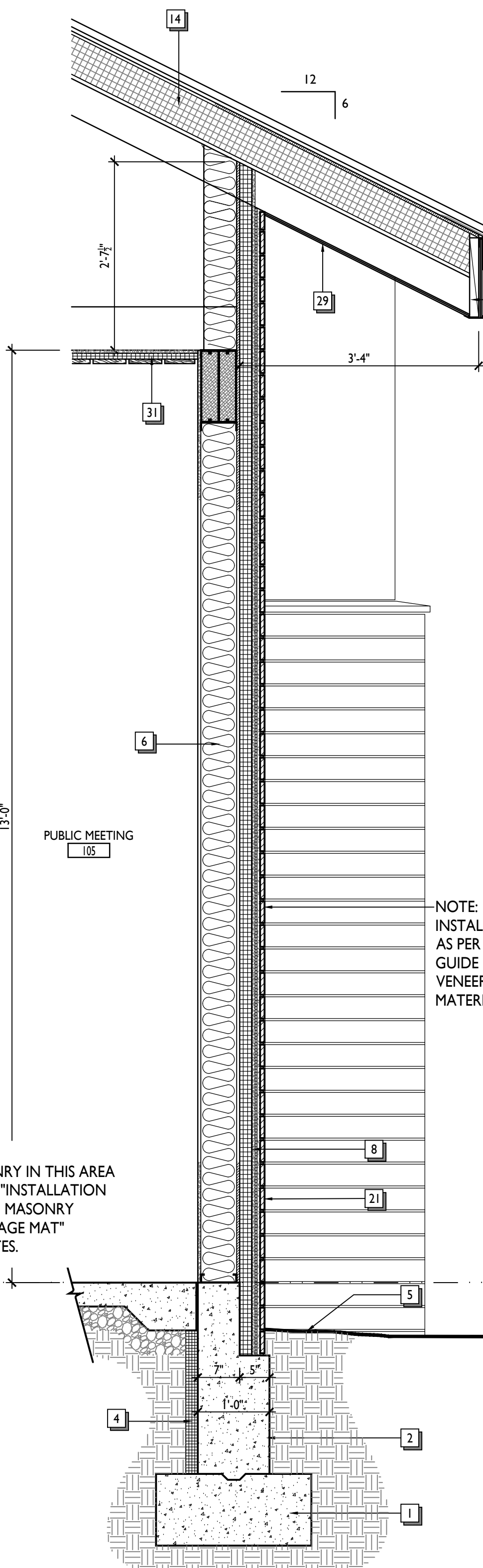
- 27 Pre-engineered Wood Girder Truss as per structural drawings, details and specifications.
- 28 Stained Wood Sill and apron as per details.
- 29 Vinyl Soffit as per details and specifications.
- 30 Spray Foam Insulation as per details and specifications.
- 31 1 x 6 Stained Wood Plank Ceiling as per specifications and Reflected Ceiling Plans
- 32 2" Rigid Insulation
- 33 Azek Trim or Equal
- 34 1x4 Stained Oak Trim
- 35 1x6 Stained Oak Trim
- 36 1x8 Stained Oak Trim

- 37 Wood Subfloor and Joists as per Structural Drawings.
- 38 EIFS Synthetic Stucco system on 2" Rigid Insulation as per details and specifications.
- 39 Existing Building EIFS system with new finish as per Specifications.
- 40 Self-Adhered Stainless Steel flashing installed as per Manuf. Details. H&B Mighty Flash or similar.
- 41 1 1/2" HDPE Mortar Net installed as per Manuf. Details.

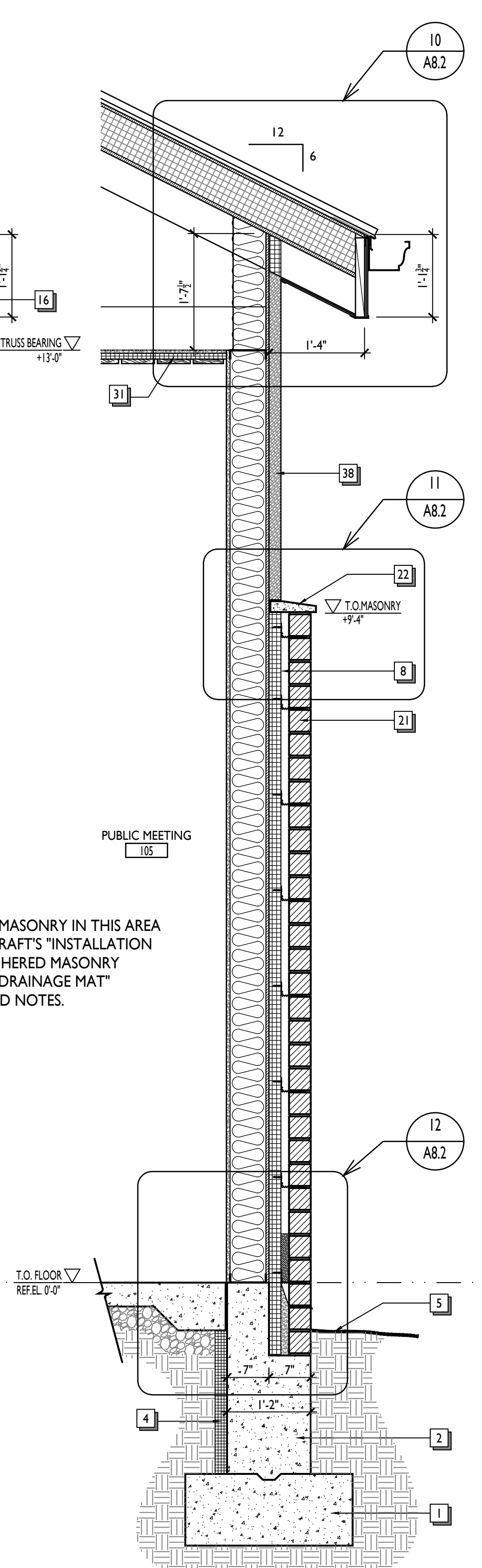
- 42 Rectangular Plastic Masonry Weeps at 24" O.C.
- 43 Aluminum Flashing at top of Stone Sill installed as per EIFS Manuf. Standard Details.
- 44 Owens Corning 1" SelectSound Black Acoustic Board installed as per Manuf. recommendations
- 45 Fiberglass Roof Shingles as per specifications.
- 46 5" Aluminum "K" Gutter and Downspouts as per Elevations and Specifications.
- 47 1 1/2" Aluminum Handrails as per elevations and specifications.



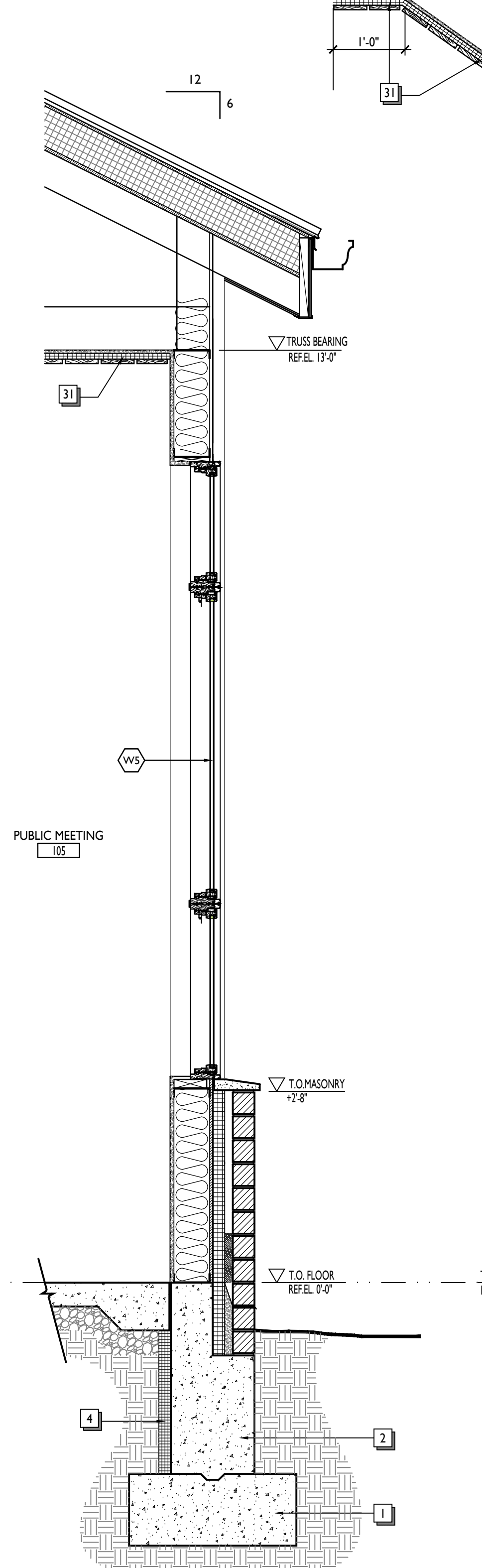
1 WALL SECTION  
3/4"=1'-0"



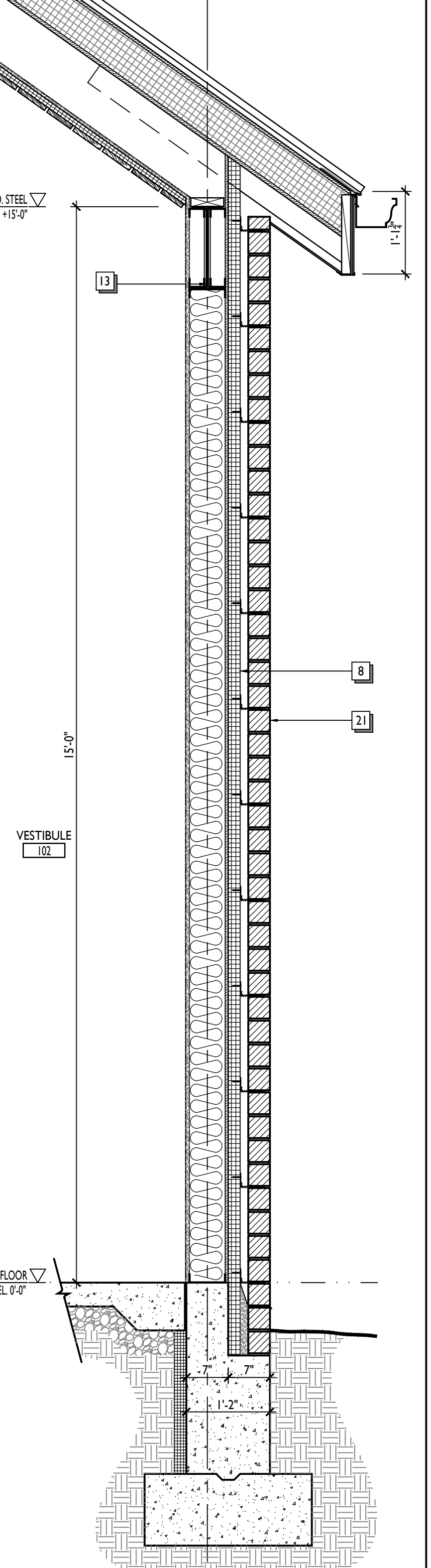
2 WALL SECTION  
3/4"=1'-0"



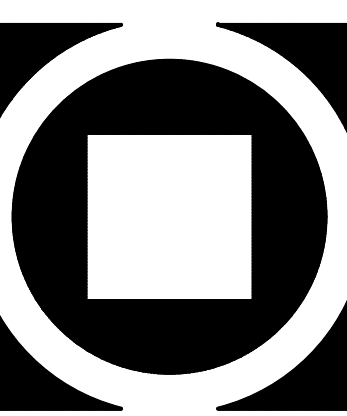
3 WALL SECTION  
3/4"=1'-0"



4 WALL SECTION  
3/4"=1'-0"



5 WALL SECTION  
3/4"=1'-0"



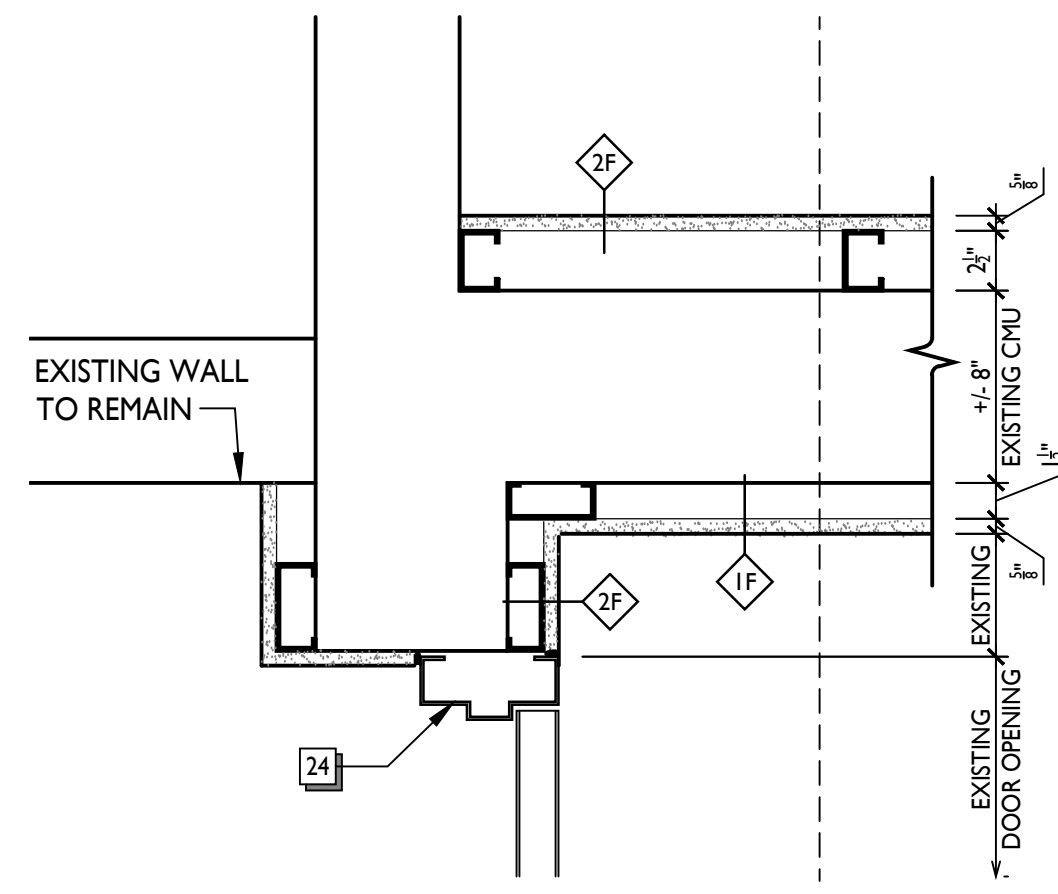
**KIMMEL BOGRETTE**  
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 482 Norristown Road, Suite 200  
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**MUNICIPAL BUILDING**  
**WEST BRADFORD TOWNSHIP**  
 1385 CAMPUS DRIVE  
 WEST BRADFORD, PA 19335

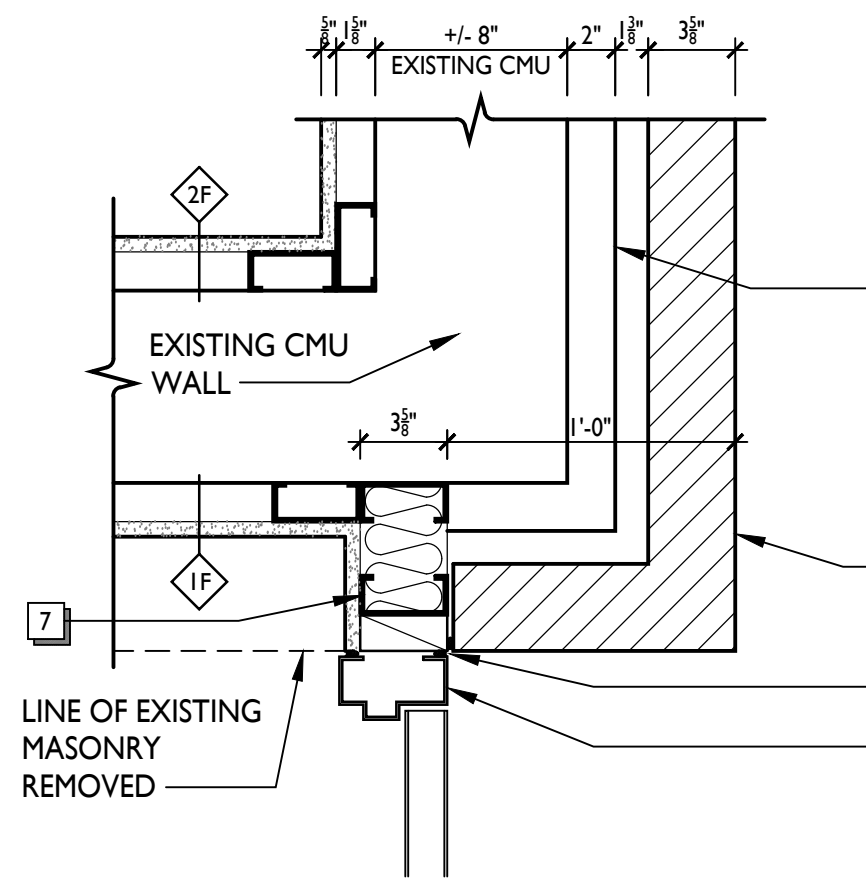
Construction Issue Date:  
01/26/21  
 Drawn By: TM, YP  
 Checked By: JT  
 Scale: AS NOTED

Sheet Name: WALL SECTION	Revisions:
Progress Prints:	Δ REVISED DURING BIDDING
01/26/21 FOR CONSTRUCTION	

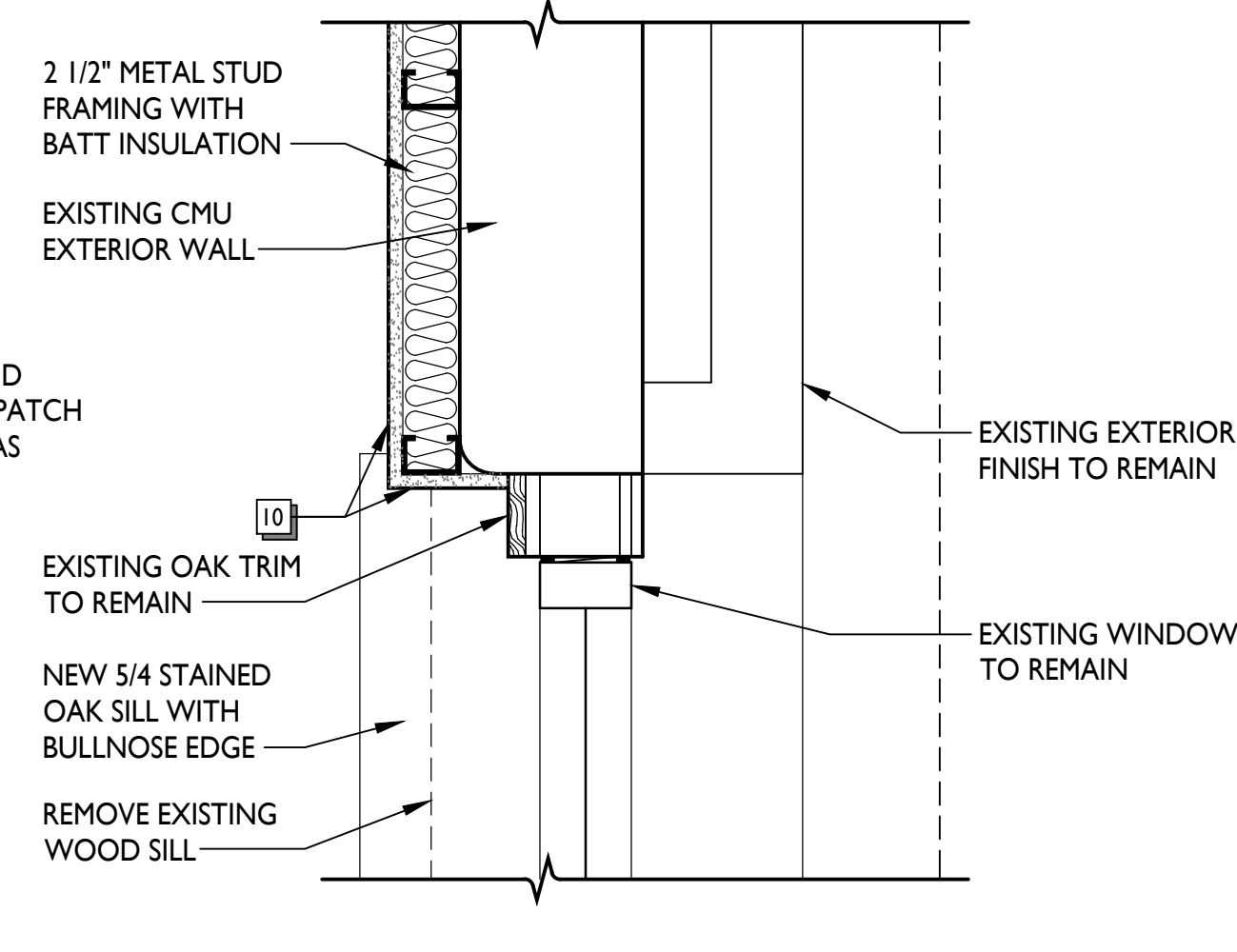
**A8.1**



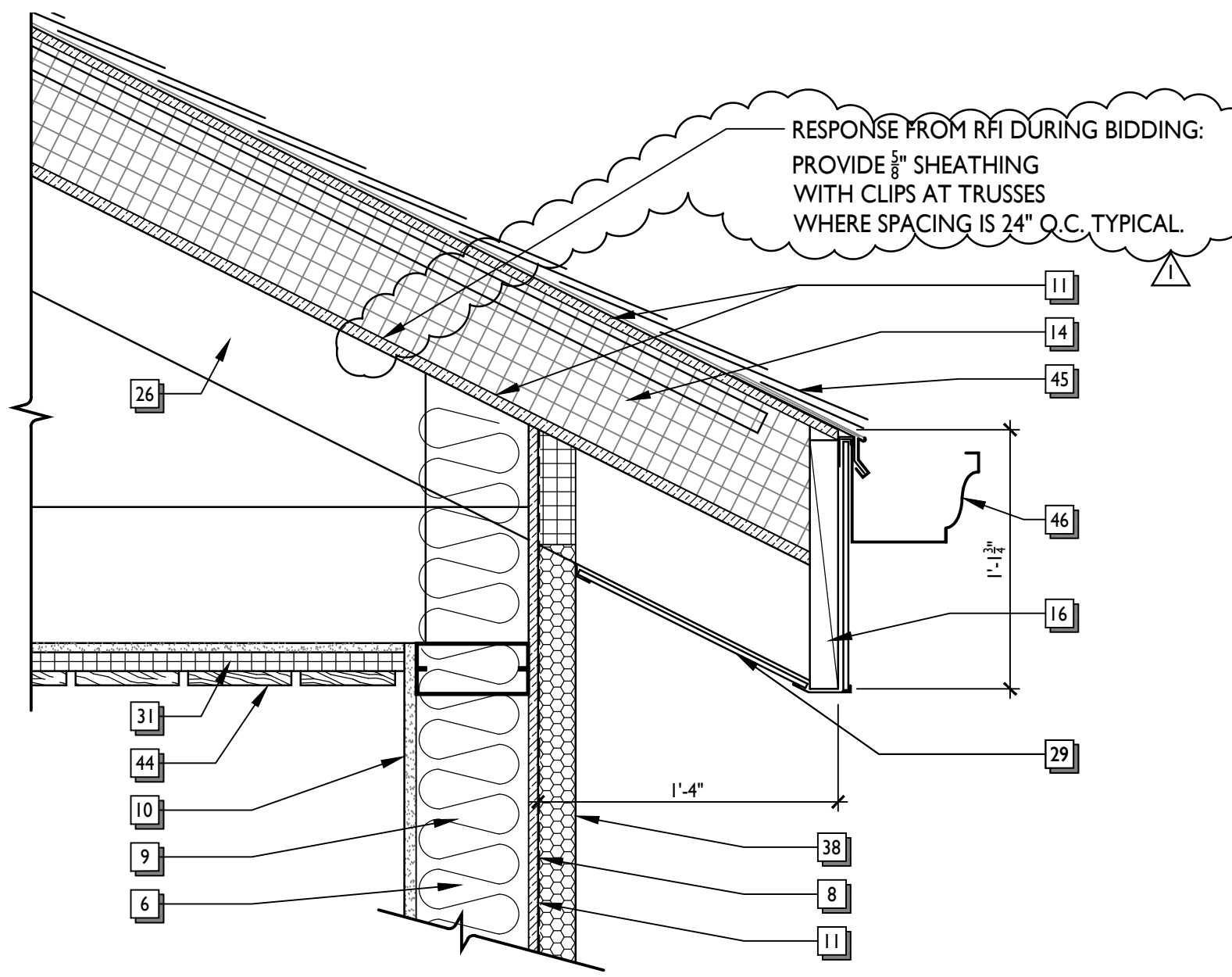
1 PLAN DETAIL  
A8.2 1 1/2"=1'-0"



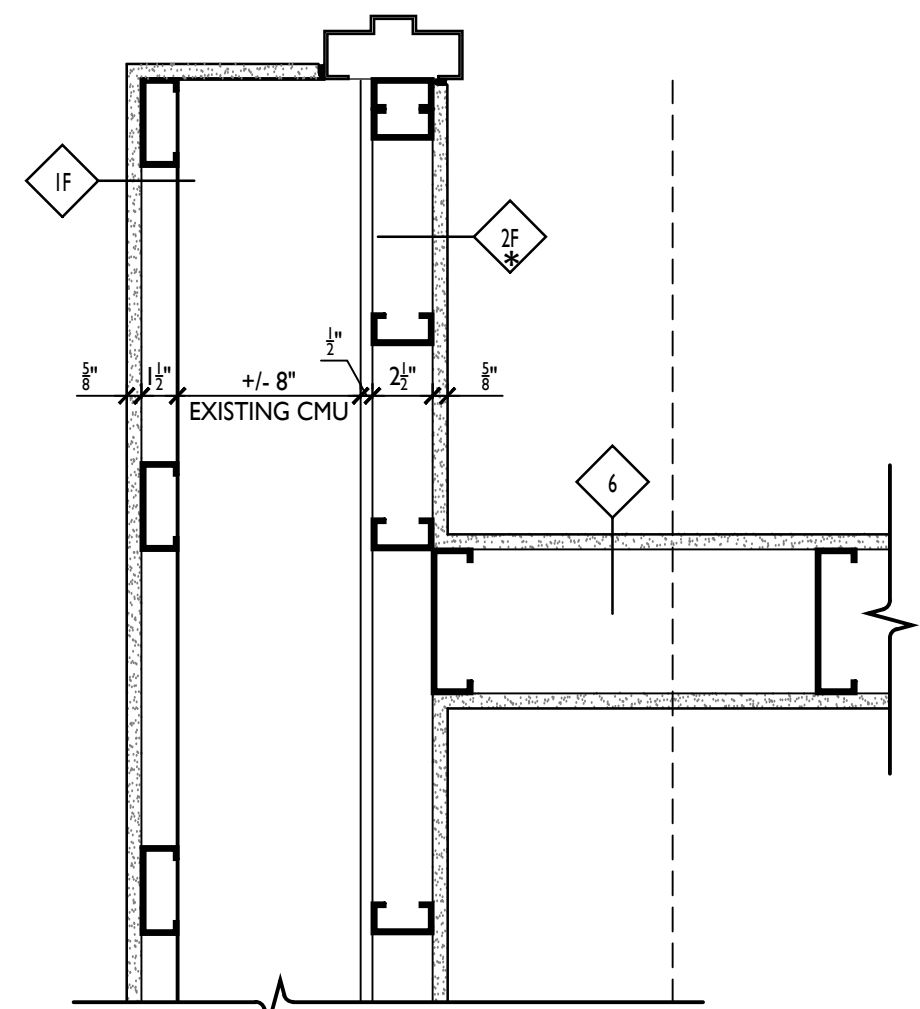
2 PLAN DETAIL  
A8.2 1 1/2"=1'-0"



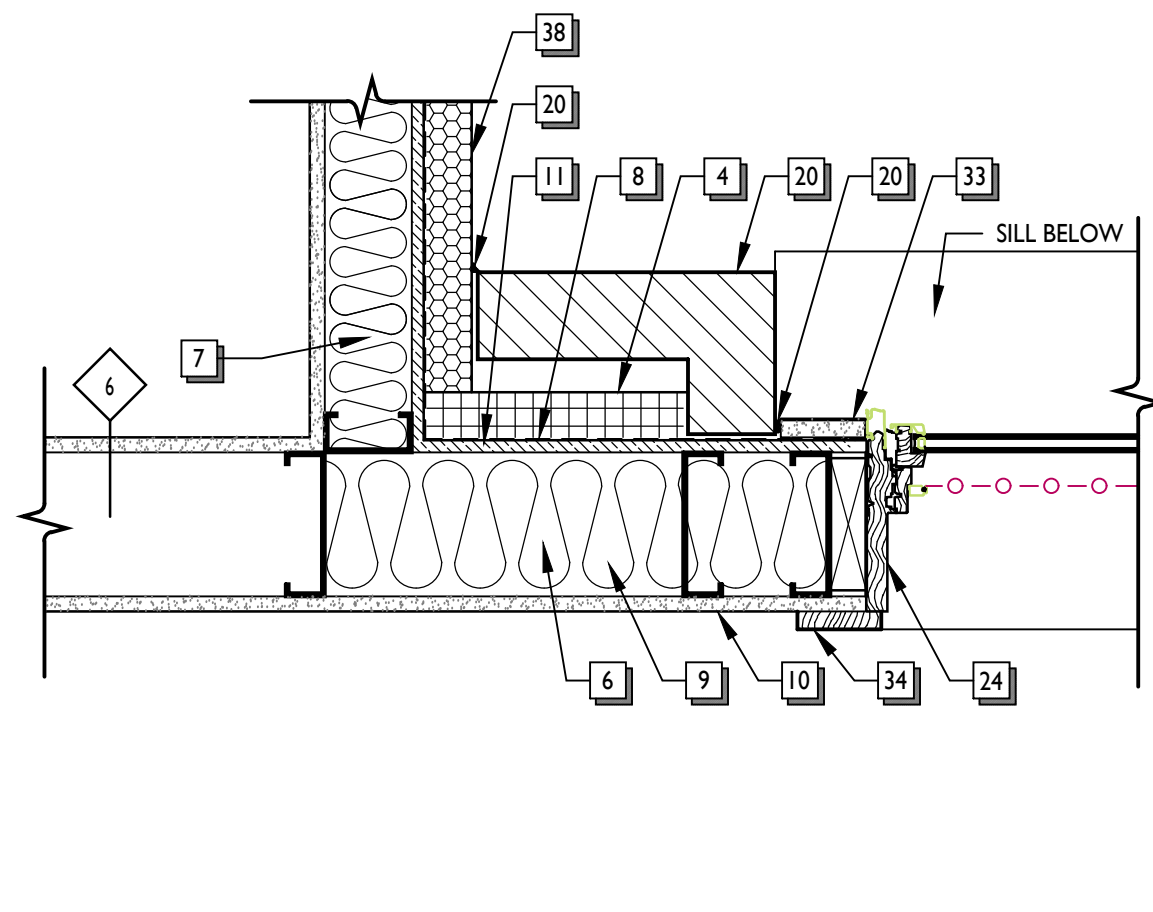
7 PLAN DETAIL  
A8.2 1 1/2"=1'-0"



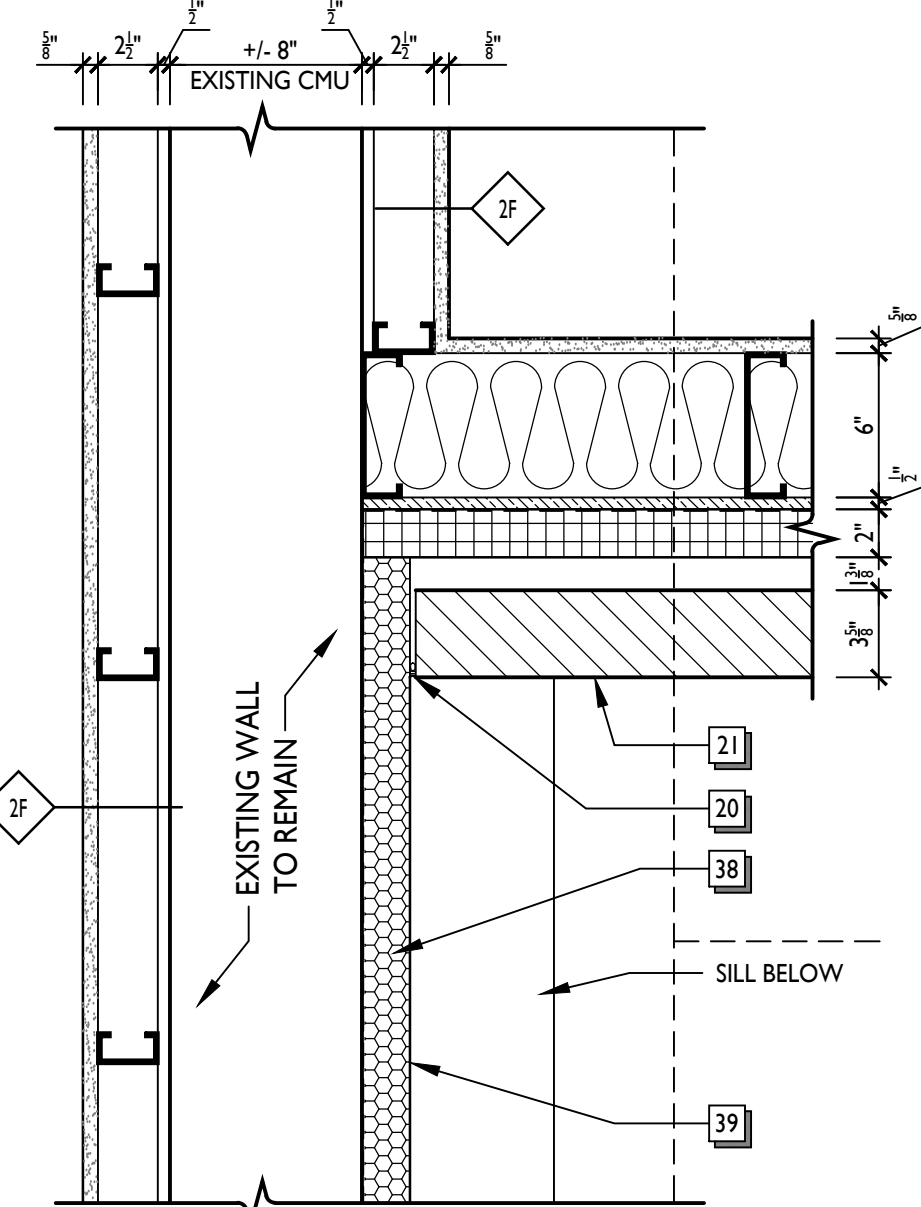
10 SECTION DETAIL  
A8.2 1 1/2"=1'-0"



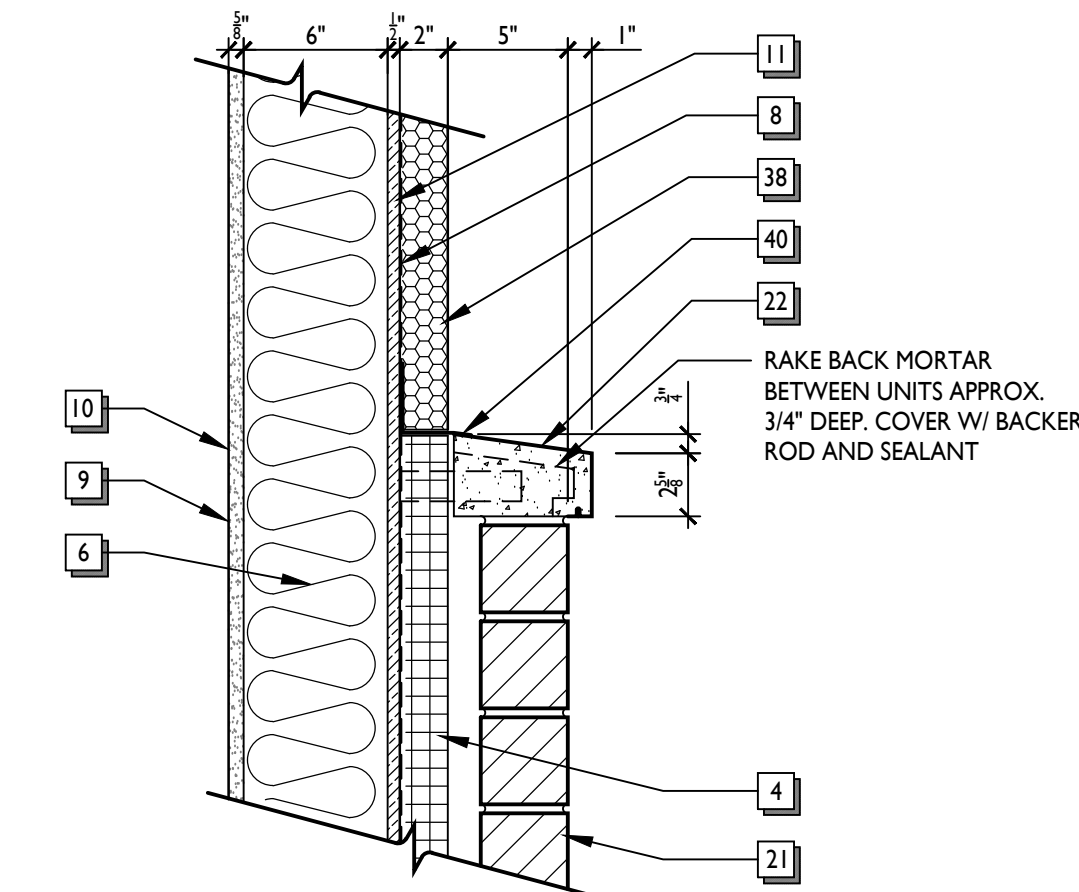
3 PLAN DETAIL  
A8.2 1 1/2"=1'-0"



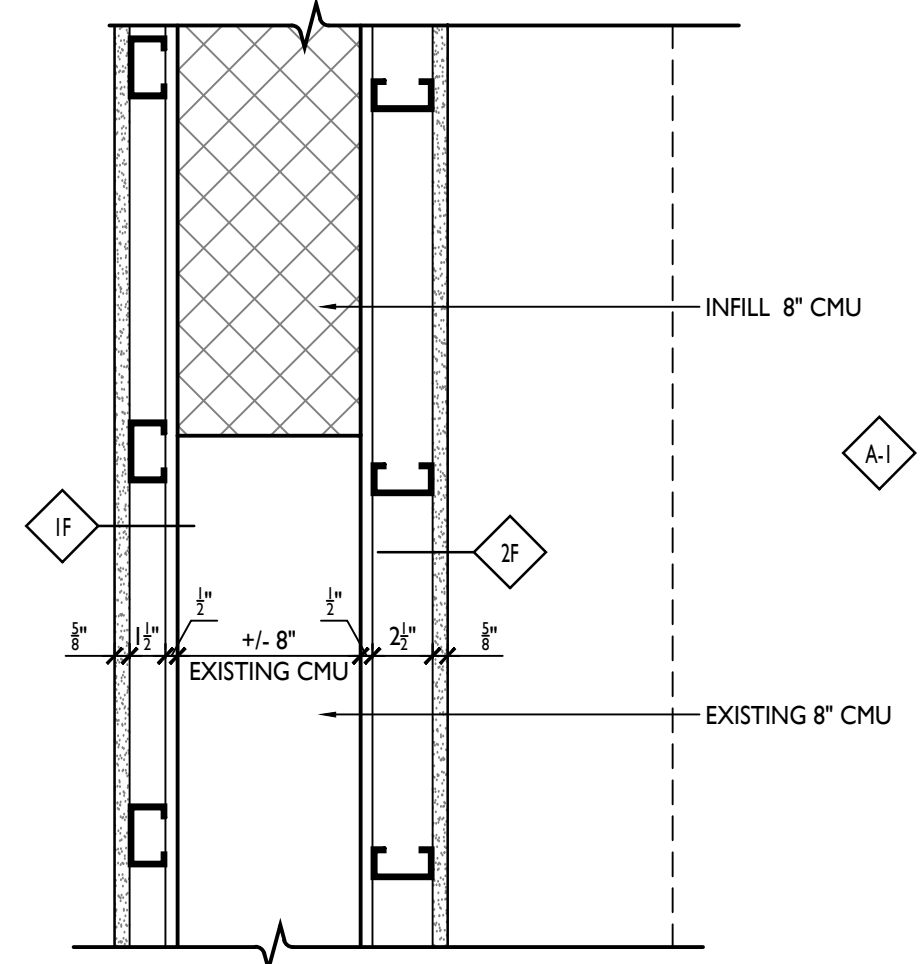
4 PLAN DETAIL  
A8.2 1 1/2"=1'-0"



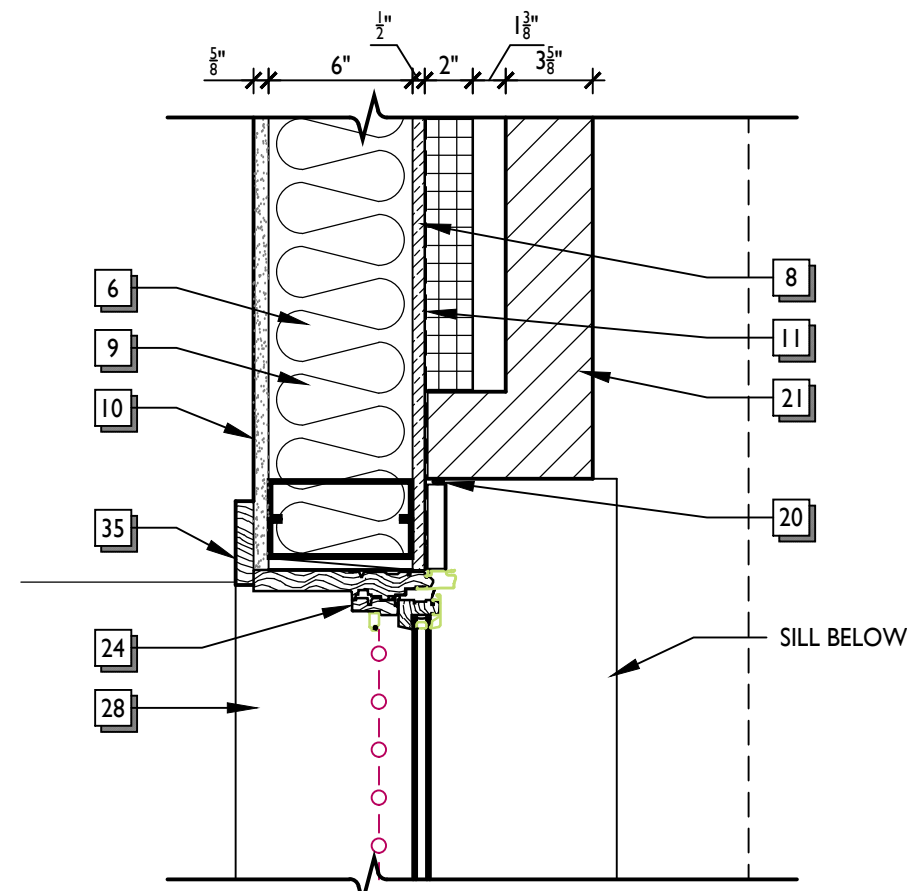
8 PLAN DETAIL  
A8.2 1 1/2"=1'-0"



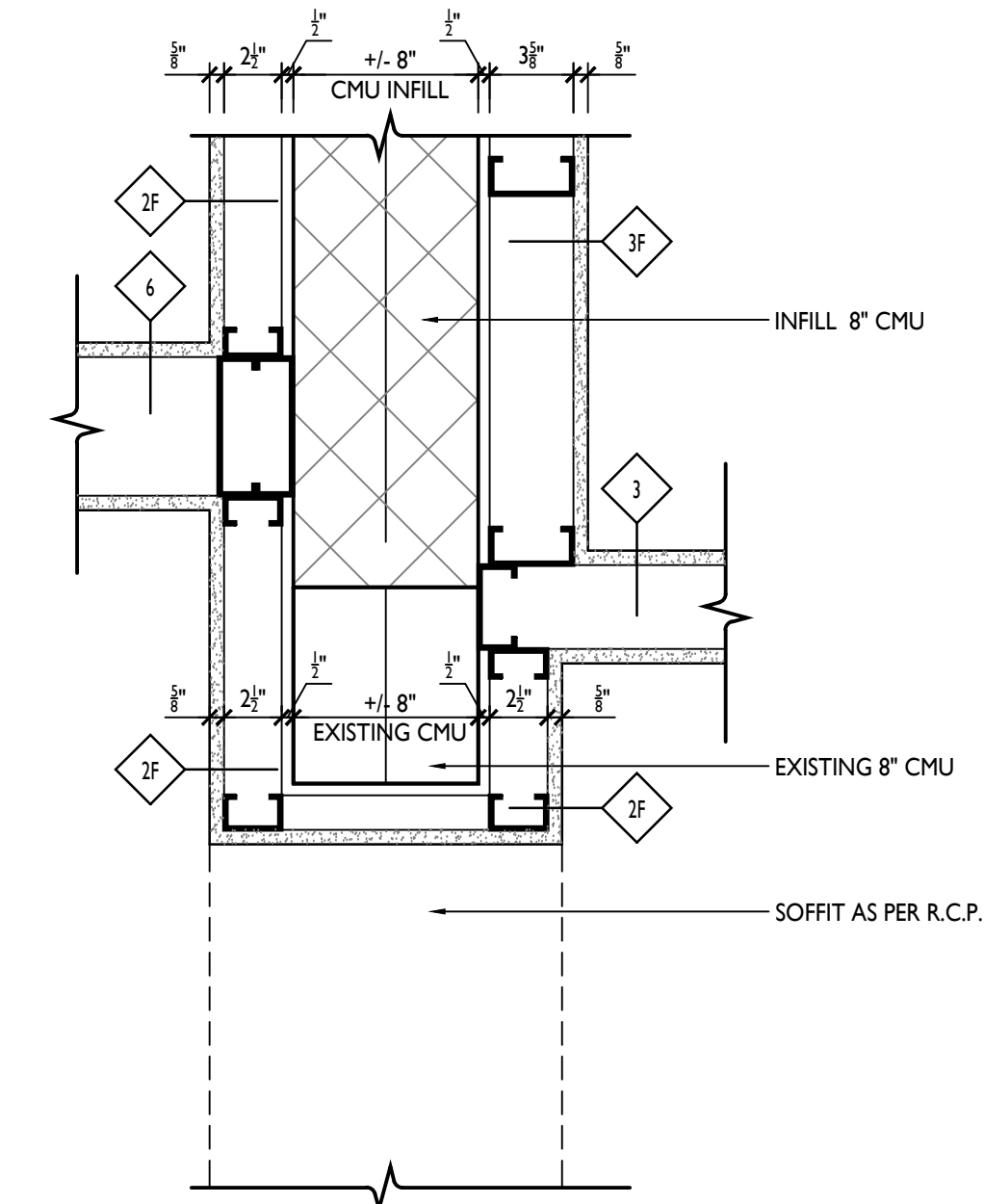
11 SECTION DETAIL  
A8.2 1 1/2"=1'-0"



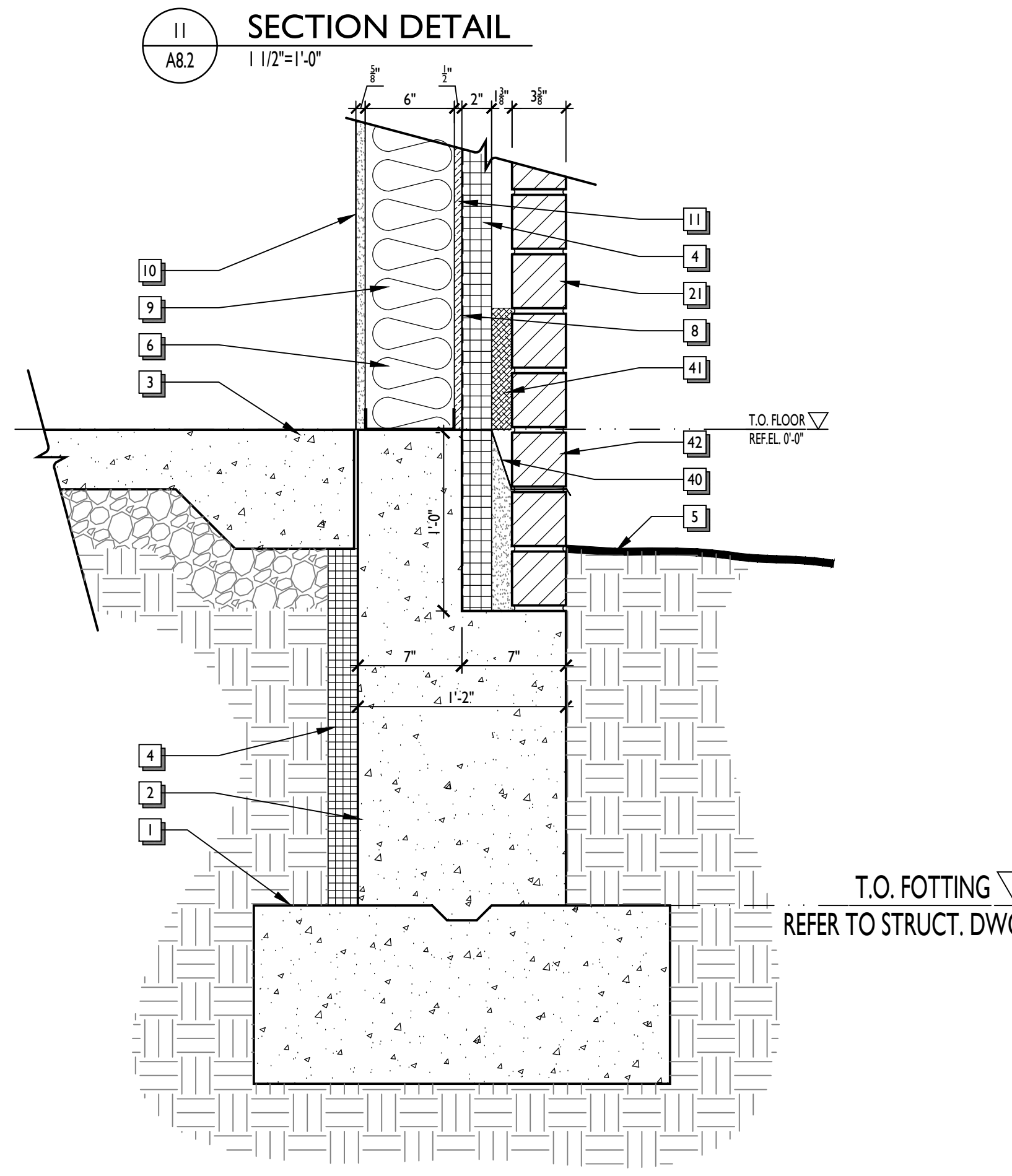
5 PLAN DETAIL  
A8.2 1 1/2"=1'-0"



6 PLAN DETAIL  
A8.2 1 1/2"=1'-0"



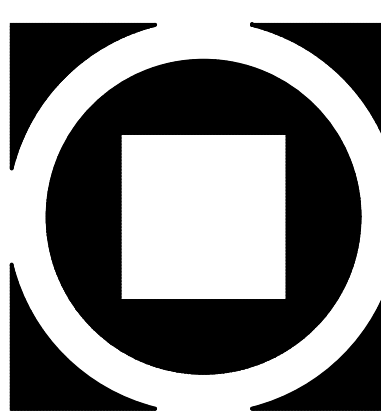
9 PLAN DETAIL  
A8.2 1 1/2"=1'-0"



12 SECTION DETAIL  
A8.2 1 1/2"=1'-0"

WALL SECTION AND DETAIL NOTES

- 1 Footing as per structural drawings and specifications
- 2 Foundation wall as per structural drawings and specifications
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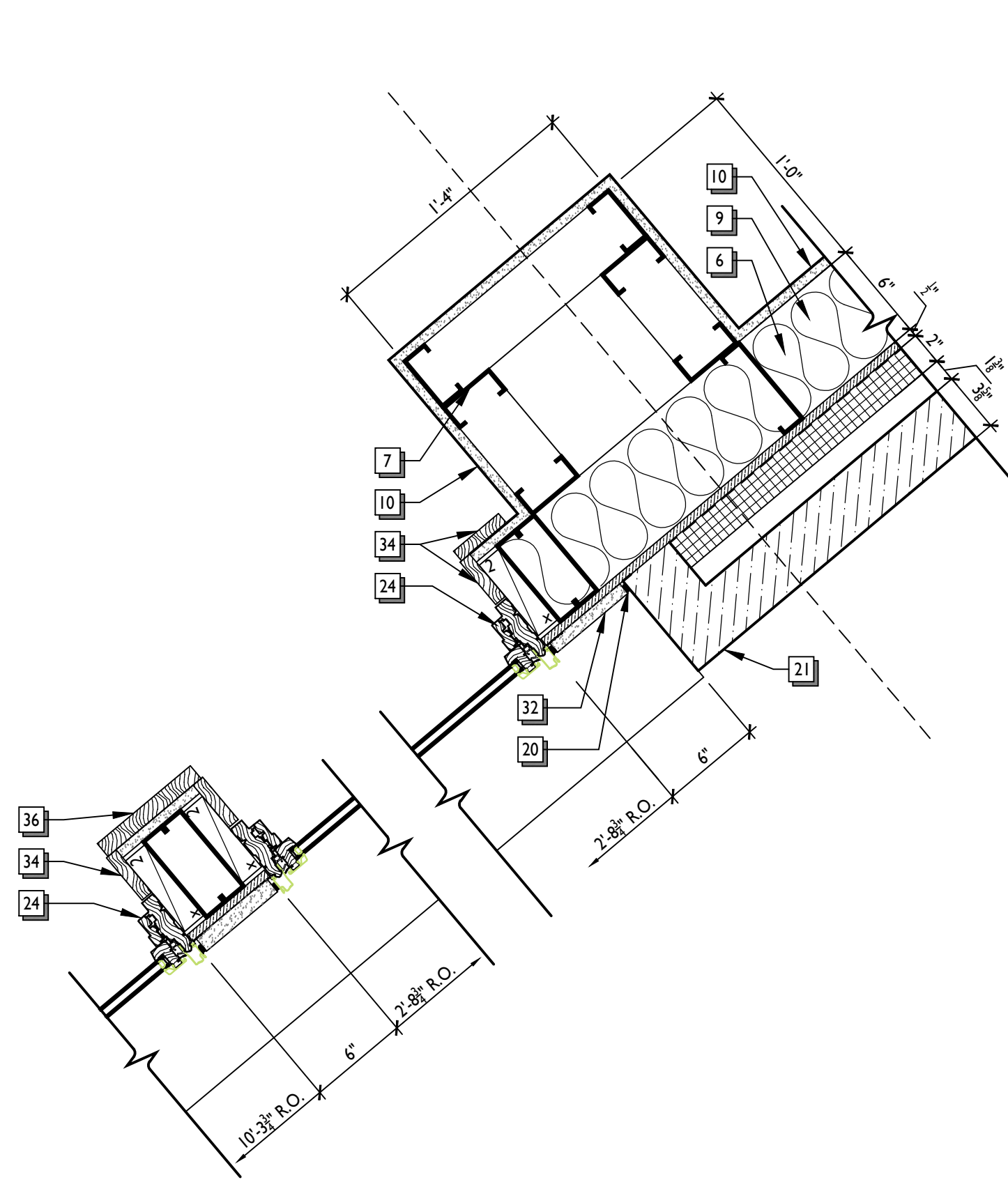
KIMMEL BOGRETTE  
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Blue Bell, PA 19422  
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MUNICIPAL BUILDING  
WEST BRADFORD TOWNSHIP  
1385 CAMPUS DRIVE  
WEST BRADFORD, PA 19385

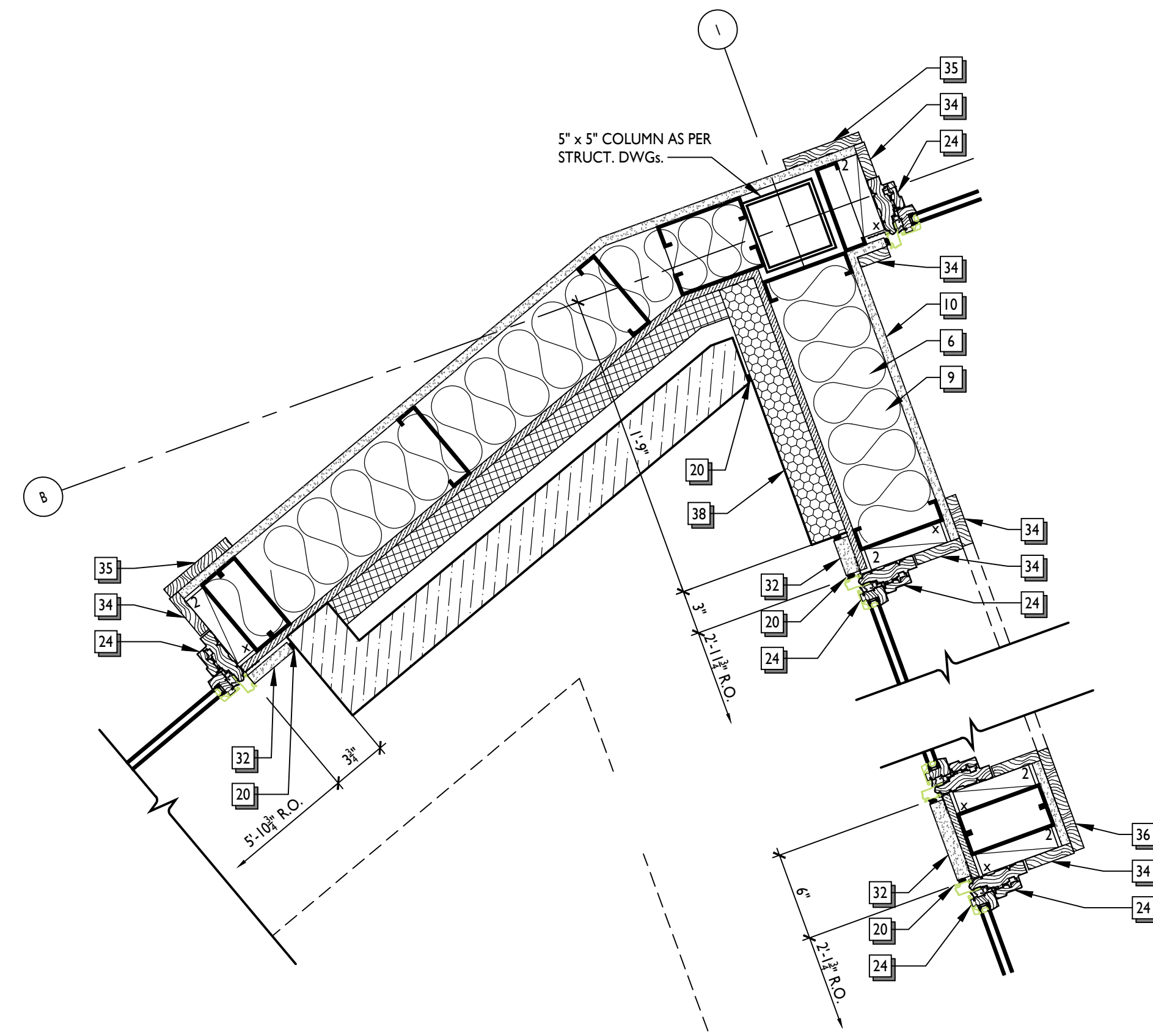
Construction Issue Date:  
01/26/21  
Drawn By: TM, YP  
Checked By: JT  
Scale: AS NOTED

Sheet Name: PLAN & SECTION DETAILS  
Progress Prints:  
10/15/20 ISSUED FOR BIDDING  
01/12/21 FOR CONSTRUCTION  
Revisions:  
REVISED DURING BIDDING

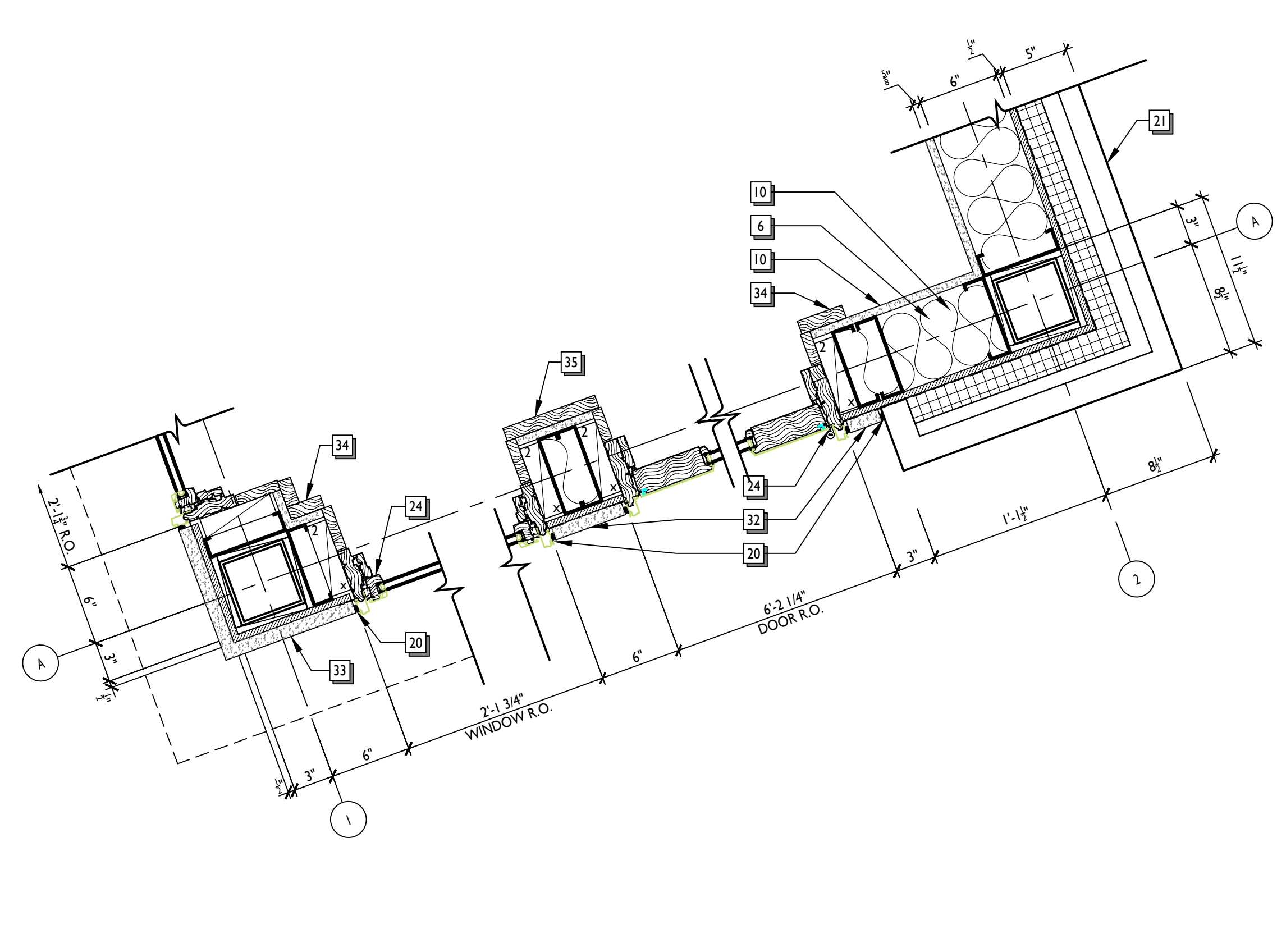
A8.2



1 PLAN DETAIL  
A8.3 1 1/2"=1'-0"

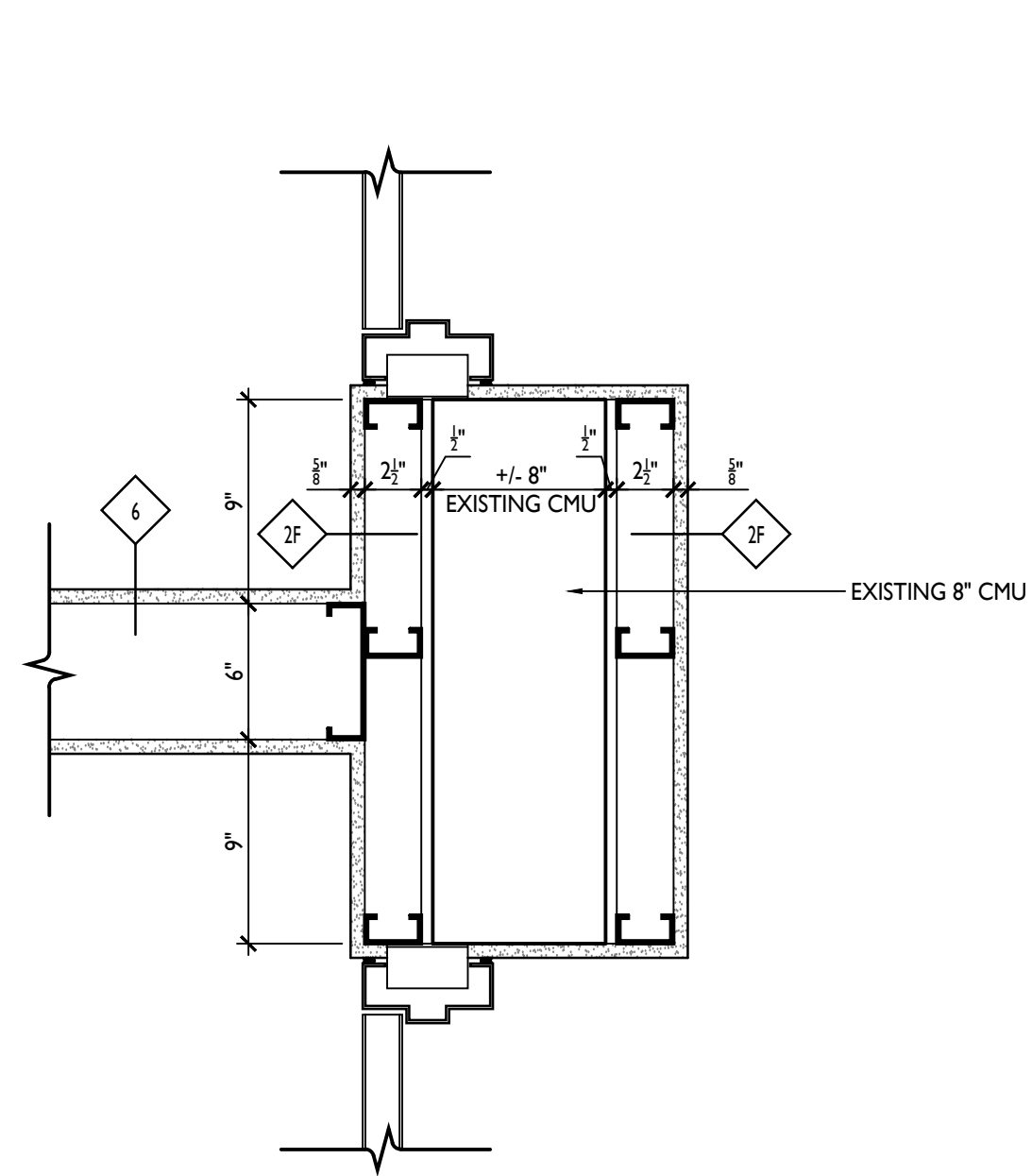


2 PLAN DETAIL  
A8.3 1 1/2"=1'-0"

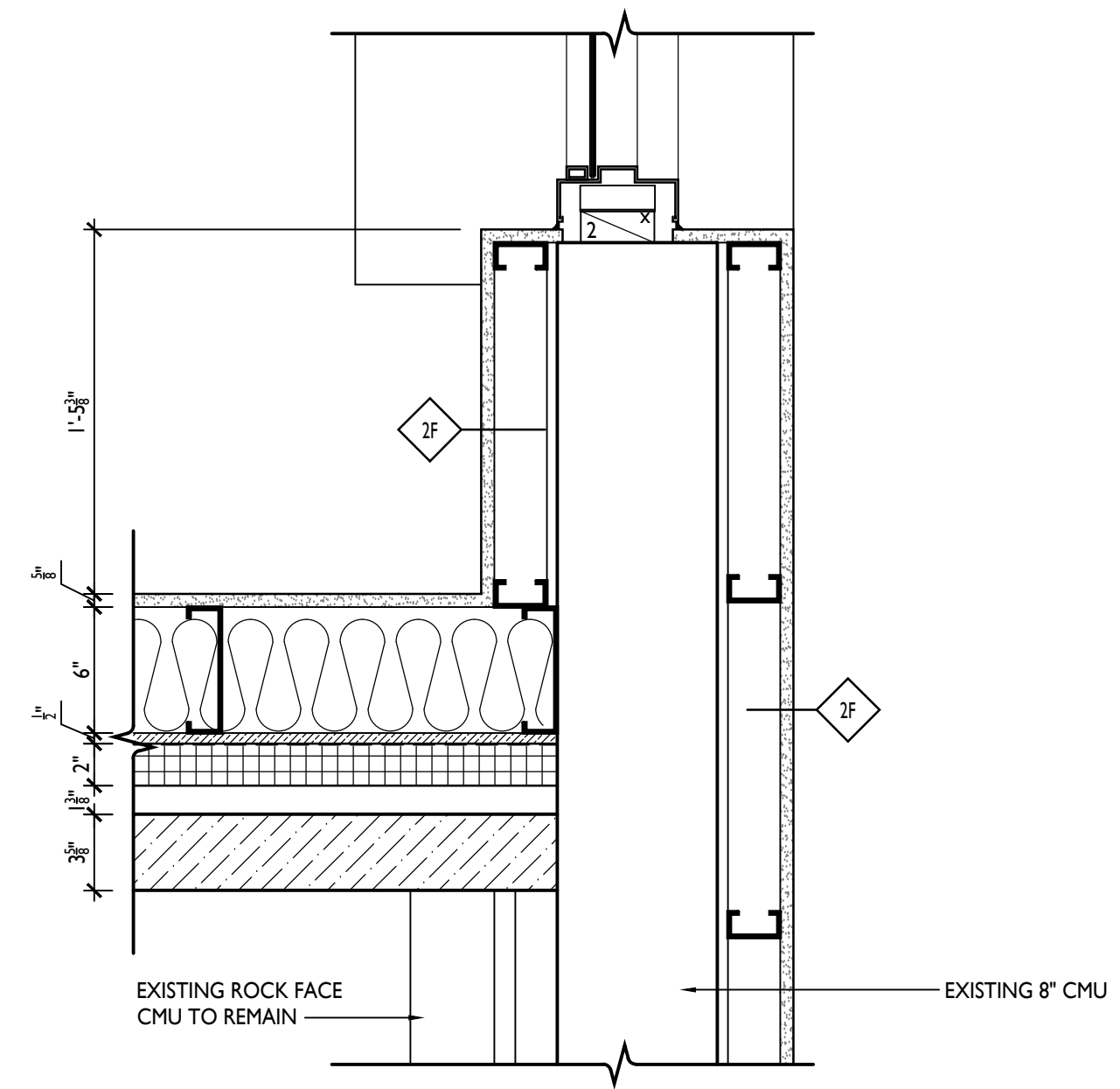


3 PLAN DETAIL  
A8.3 1 1/2"=1'-0"

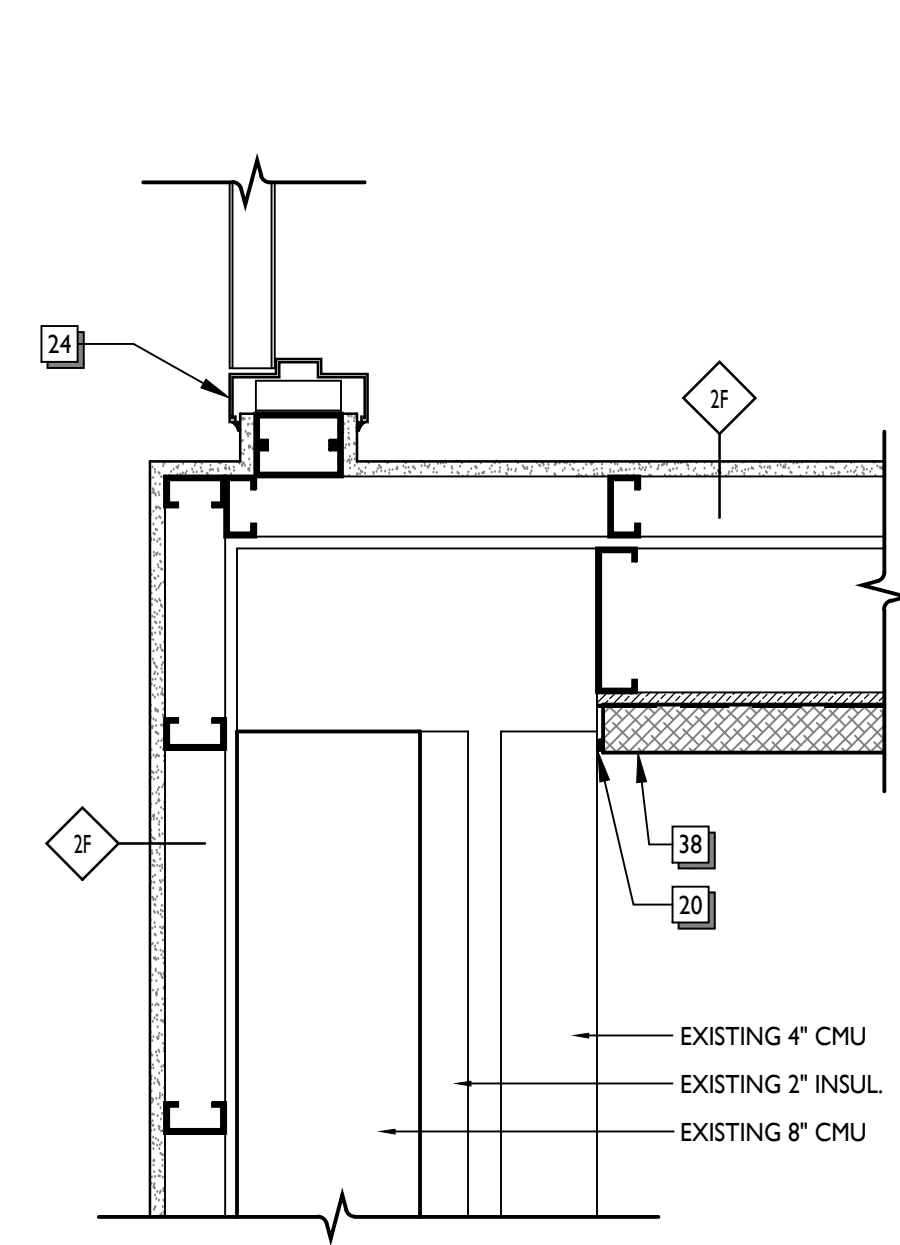
4 PLAN DETAIL  
A8.3 1 1/2"=1'-0"



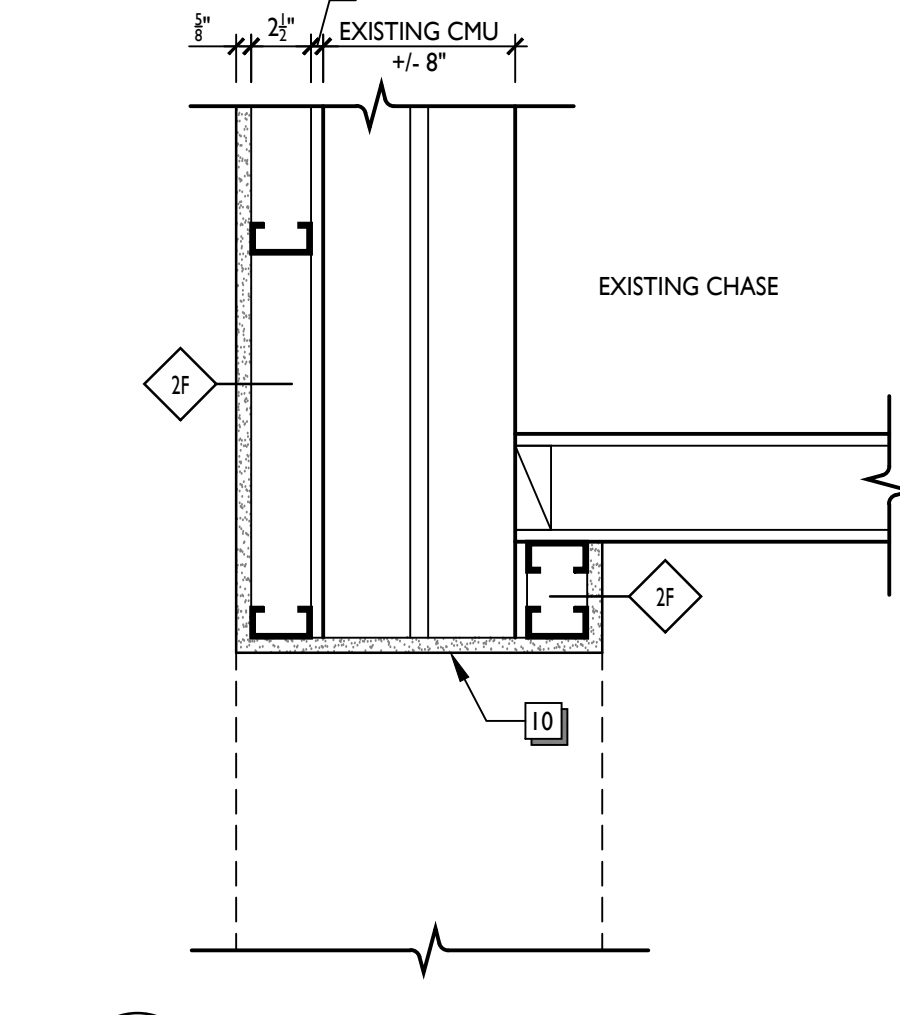
5 PLAN DETAIL  
A8.3 1 1/2"=1'-0"



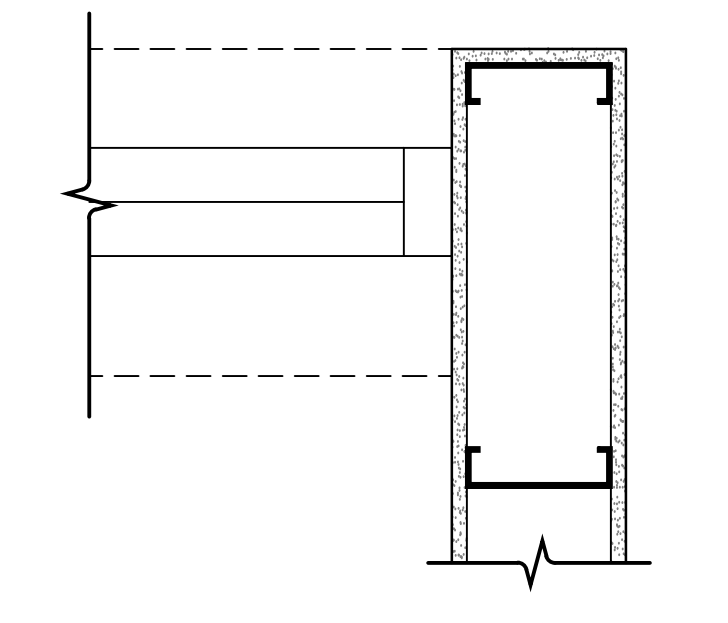
6 PLAN DETAIL  
A8.3 1 1/2"=1'-0"



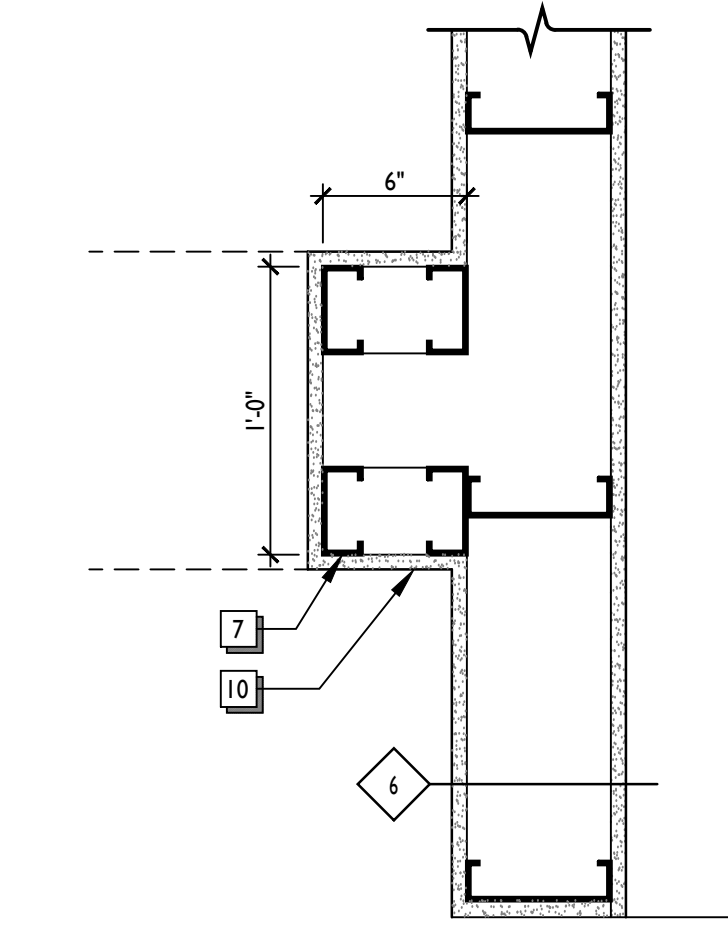
7 PLAN DETAIL  
A8.3 1 1/2"=1'-0"



8 PLAN DETAIL  
A8.3 1 1/2"=1'-0"



9 PLAN DETAIL  
A8.3 1 1/2"=1'-0"

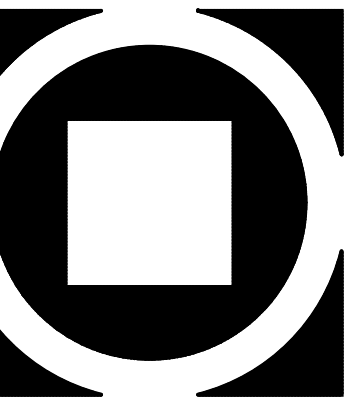


10 PLAN DETAIL  
A8.3 1 1/2"=1'-0"

**WALL SECTION AND DETAIL NOTES**

- 1 Footing as per structural drawings and specifications
- 2 Foundation wall as per structural drawings and specifications
- 3 Concrete floor slab, reinforcing, sub-base and vapor barrier as per structural drawings and specifications
- 4 2" rigid insulation as per specifications at entire perimeter of building.
- 5 Grade as per civil drawings
- 6 6" metal studs as per structural drawings and specifications
- 7 3 1/2" metal studs as per structural drawings and specifications
- 8 Spray applied weather barrier as per specifications
- 9 3 5/8" or 6" batt insulation as per specifications and stud width
- 10 5/8" GWB as per details and specifications
- 11 1/2" plywood sheathing / blocking
- 12 2x pressure treated wood blocking
- 13 Steel beam or column as per structural drawings
- 14 6" polyiso roof insulation as per specifications
- 15 Standing seam metal roof system as per specifications
- 16 1 1/2" x 14 LVL Fascia Board with .032 aluminum wrap as per details and specifications.
- 17 Acoustic ceiling and suspension system as per plans and specifications
- 18 Not used
- 19 Aluminum flashing to match window system
- 20 Caulk and backer rod as per specifications or manufacturer's recommendations
- 21 Masonry veneer as per plans, elevations, details and specifications
- 22 Cast Stone sill as per plans, elevations, details and specifications
- 23 1/2" pressure treated plywood sill
- 24 Door or window jamb/ head as per schedule and specifications
- 25 Vapor Barrier as per specifications
- 26 Pre-engineered Wood Truss as per structural drawings, details and specifications.
- 27 Pre-engineered Wood Girder Truss as per structural drawings, details and specifications.
- 28 Stained Wood Sill and apron as per details.
- 29 Vinyl Soffit as per details and specifications.
- 30 Spray Foam Insulation as per details and specifications.
- 31 1 x 6 Stained Wood Plank Ceiling as per specifications and Reflected Ceiling Plans
- 32 2" Rigid Insulation
- 33 Azek Trim or Equal
- 34 1x4 Stained Oak Trim
- 35 1x6 Stained Oak Trim
- 36 1x8 Stained Oak Trim
- 37 Wood Subfloor and Joists as per Structural Drawings.

- 38 EIFS Synthetic Stucco system on 2" Rigid Insulation as per details and specifications.
- 39 Existing Building EIFS system with new finish as per Specifications.
- 40 Self-Adhered Stainless Steel flashing installed as per Manuf. Details. H&B Mighty Flash or similar.
- 41 1 1/2" HDPE Mortar Net installed as per Manuf. Details.
- 42 Rectangular Plastic Masonry Weeps at 24" O.C.
- 43 Aluminum Flashing at top of Stone Sill installed as per EIFS Manuf. Standard Details.
- 44 Owens Corning 1" SelectSound Black Acoustic Board installed as per Manuf. recommendations
- 45 Fiberglass Roof Shingles as per specifications.
- 46 5" Aluminum "K" Gutter and Downspouts as per Elevations and Specifications.
- 47 1 1/2" Aluminum Handrails as per elevations and specifications.



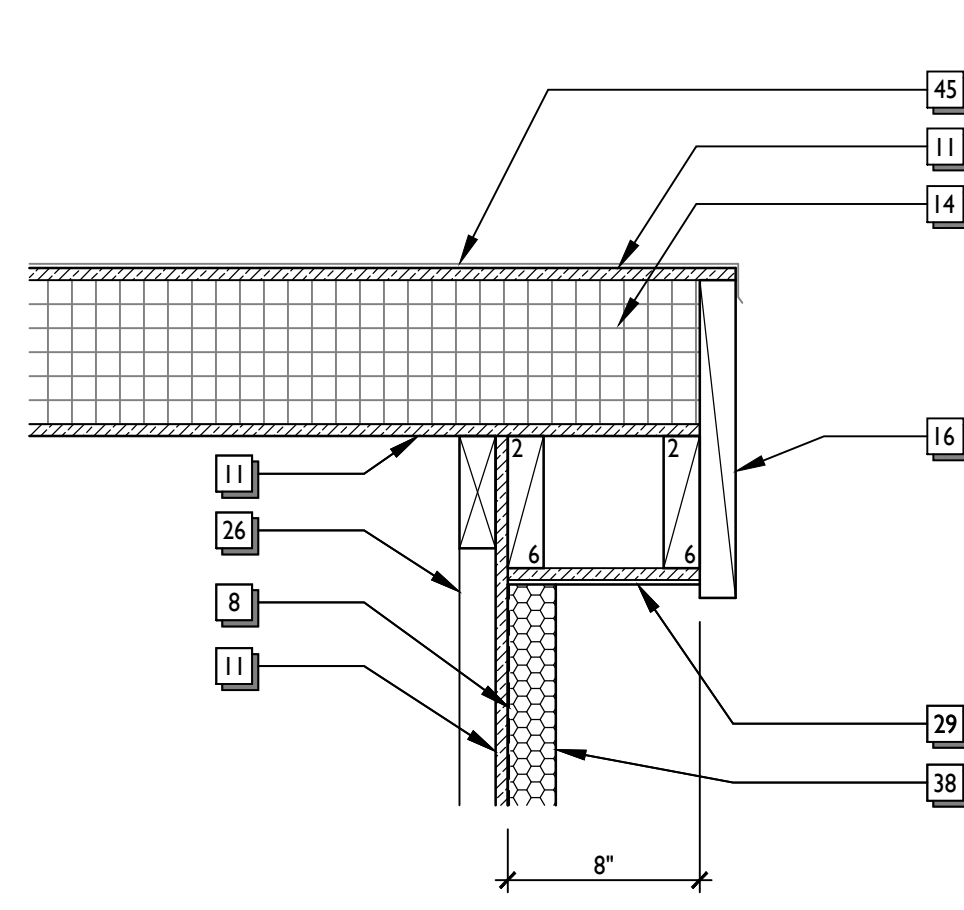
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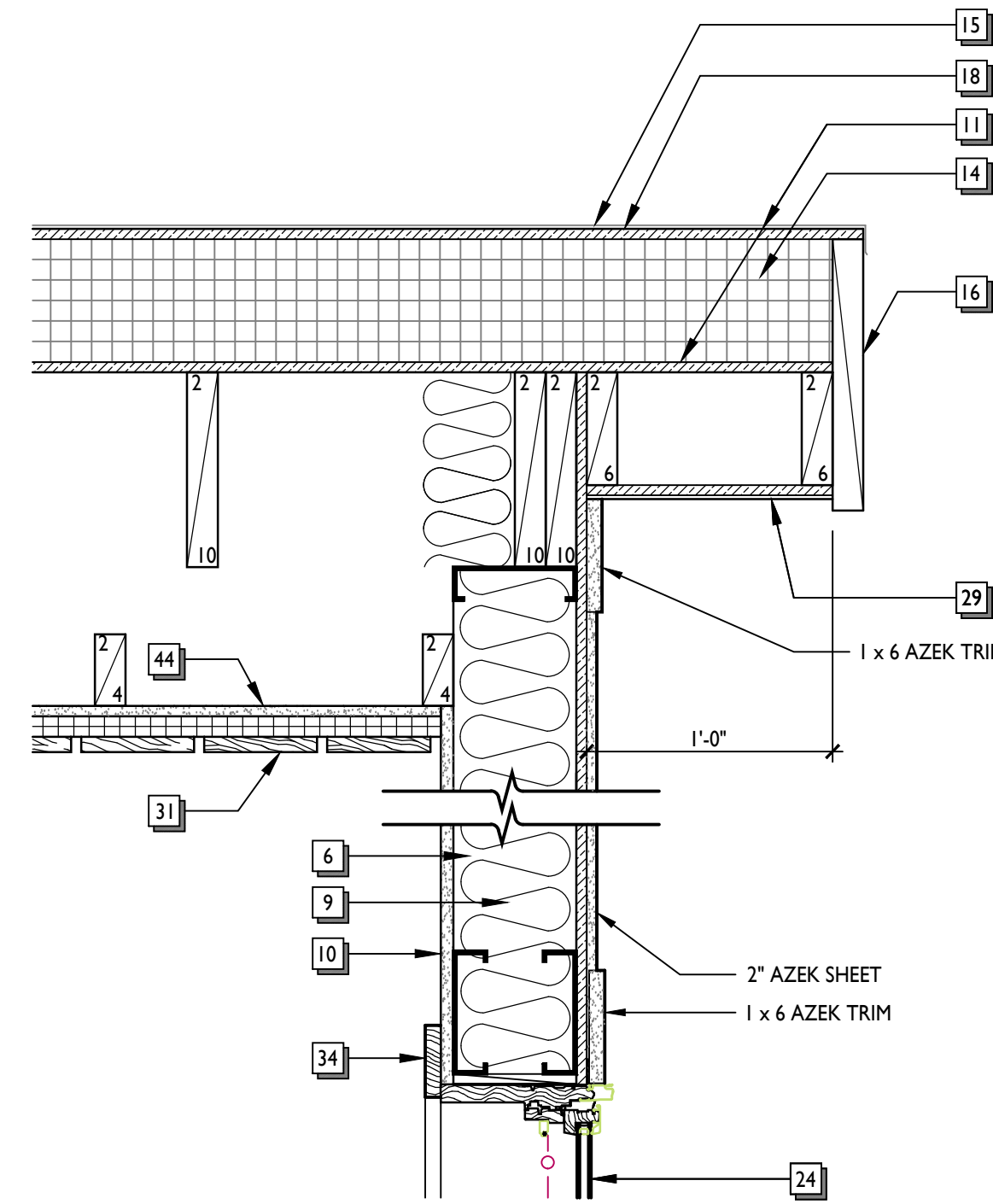
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01/26/21 FOR CONSTRUCTION	REVIS/ISSUED DURING BIDDING

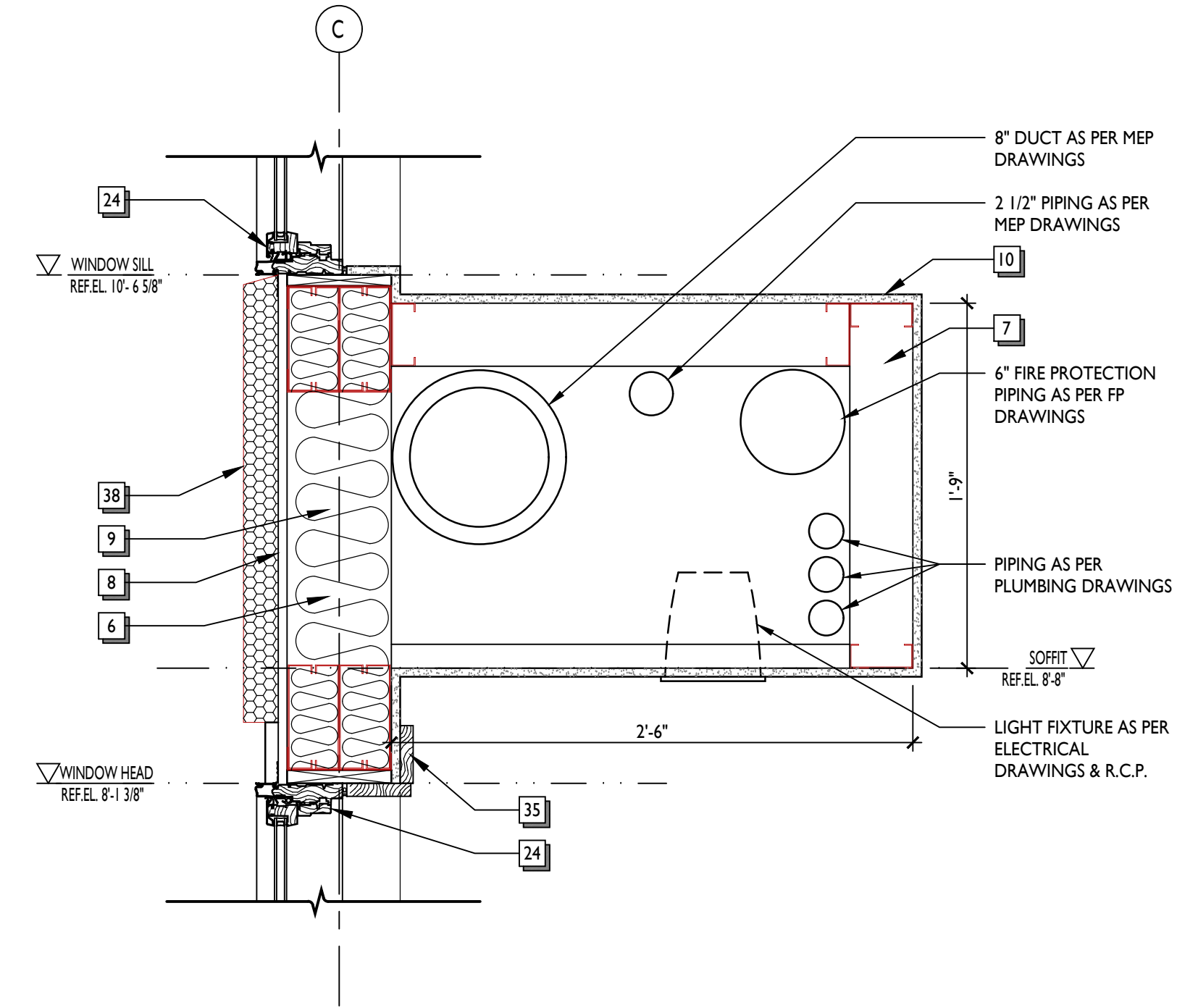
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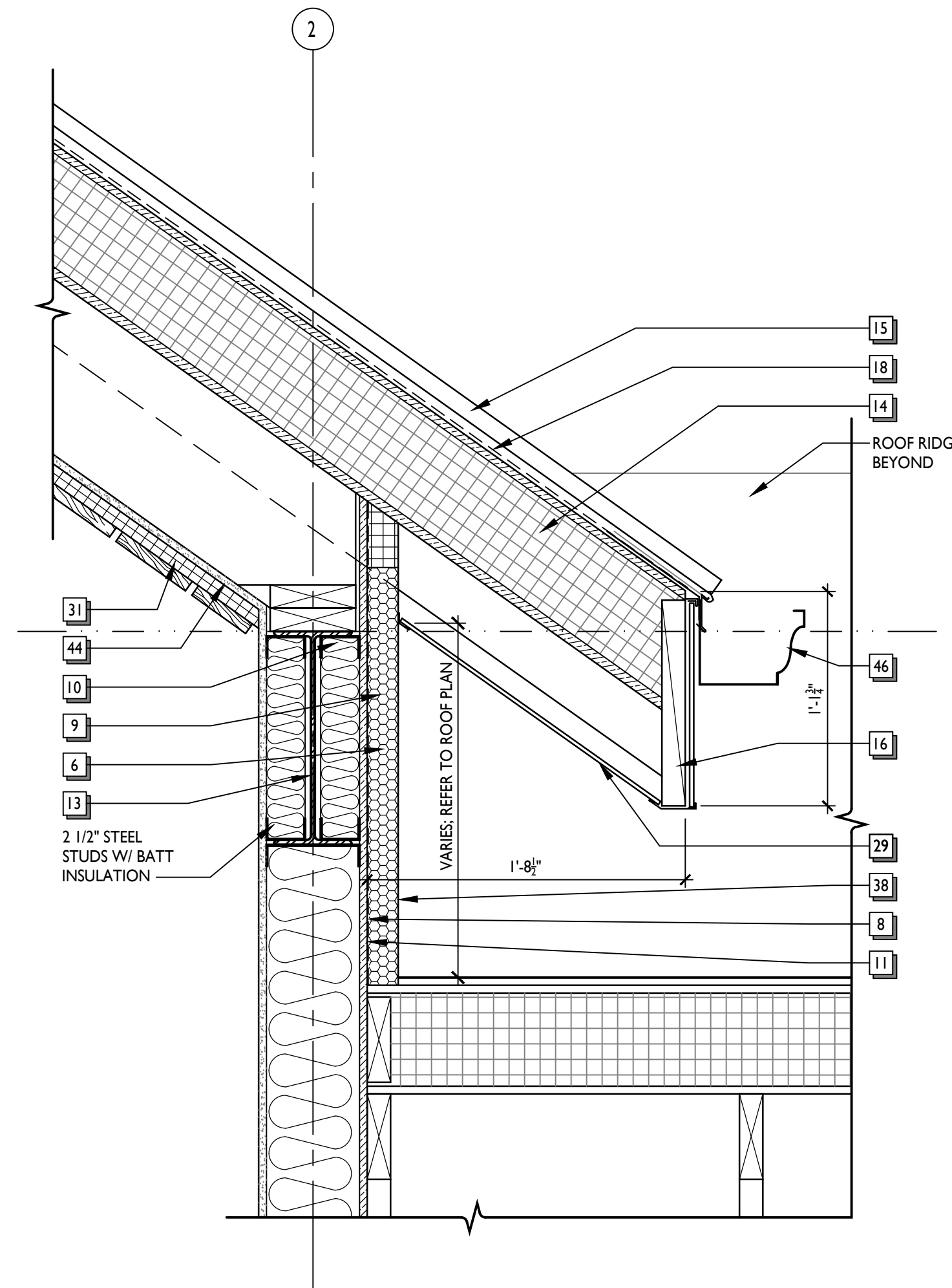
6  
A8.4  
TYPICAL RAKE DETAIL  
1 1/2"=1'-0"



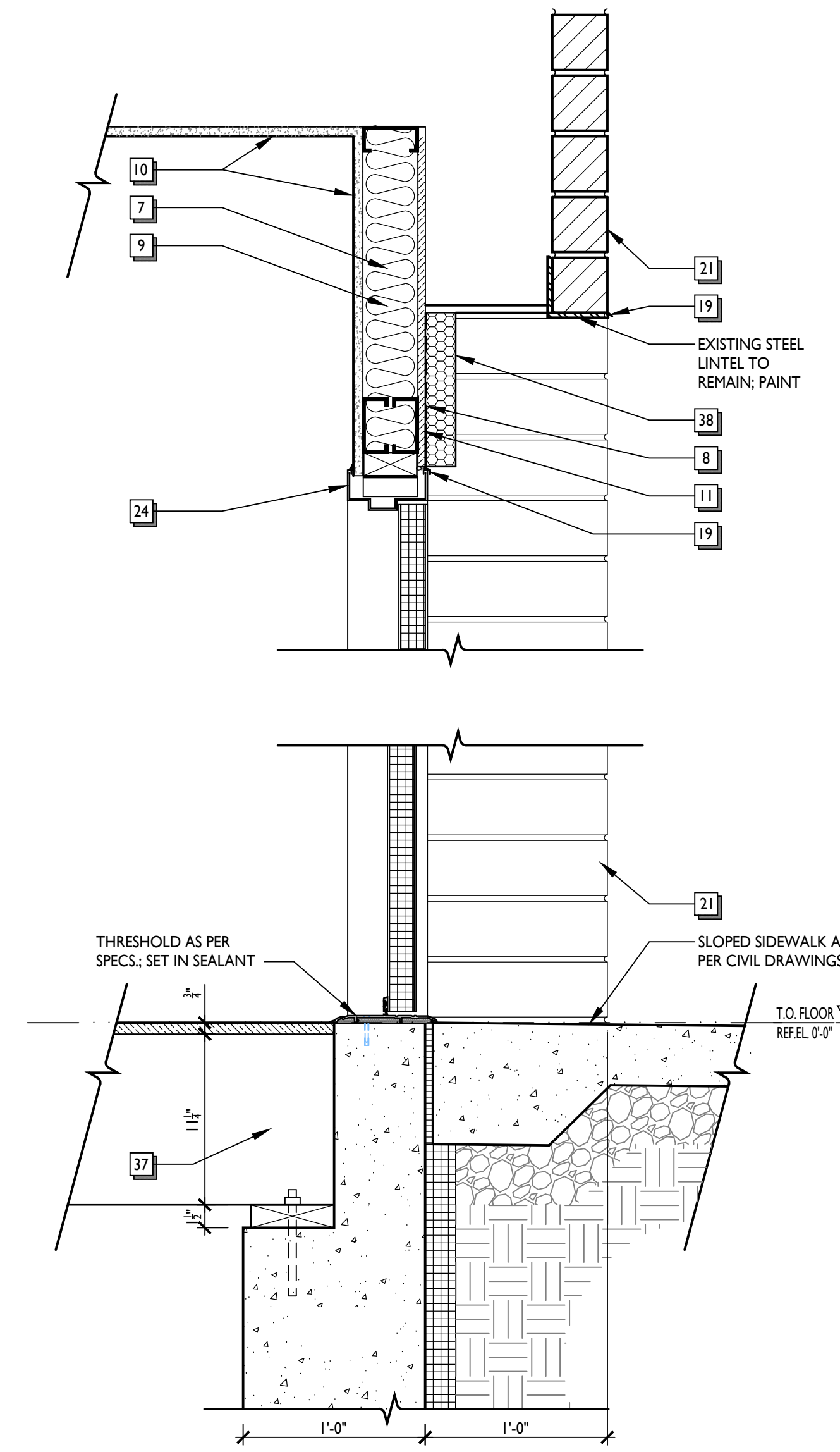
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A8.4  
LOBBY GABLE DETAIL  
1 1/2"=1'-0"



2  
A8.4  
SECTION DETAIL  
1 1/2"=1'-0"



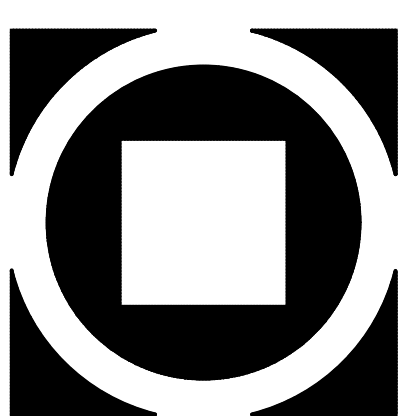
3  
A8.4  
SECTION DETAIL  
1 1/2"=1'-0"



1  
A8.4  
SECTION DETAIL  
1 1/2"=1'-0"

WALL SECTION AND DETAIL NOTES

- 1 Footing as per structural drawings and specifications
- 2 Foundation wall as per structural drawings and specifications
- 3 Concrete floor slab, reinforcing, sub-base and vapor barrier as per structural drawings and specifications
- 4 2" rigid insulation as per specifications at entire perimeter of building.
- 5 Grade as per civil drawings
- 6 6" metal studs as per structural drawings and specifications
- 7 3/8" metal studs as per structural drawings and specifications
- 8 Spray applied weather barrier as per specifications
- 9 3 5/8" or 6" batt insulation as per specifications and stud width
- 10 5/8" GWB as per details and specifications
- 11 1/2" plywood sheathing / blocking
- 12 2x pressure treated wood blocking
- 13 Steel beam or column as per structural drawings
- 14 6" polyiso roof insulation as per specifications
- 15 Standing seam metal roof system as per specifications
- 16 1 1/2" x 14 LVL Fascia Board with .032 aluminum wrap as per details and specifications.
- 17 Acoustic ceiling and suspension system as per plans and specifications
- 18 Roof underlayment as per roofing specifications.
- 19 Aluminum flashing to match window system
- 20 Caulk and backer rod as per specifications or manufacturer's recommendations
- 21 Masonry veneer as per plans, elevations, details and specifications
- 22 Cast Stone sill as per plans, elevations, details and specifications
- 23 3/4" pressure treated plywood sill
- 24 Door or window jamb/ head as per schedule and specifications
- 25 Vapor Barrier as per specifications
- 26 Pre-engineered Wood Truss as per structural drawings, details and specifications.
- 27 Pre-engineered Wood Girder Truss as per structural drawings, details and specifications.
- 28 Stained Wood Sill and apron as per details.
- 29 Vinyl Soffit as per details and specifications.
- 30 Spray Foam Insulation as per details and specifications.
- 31 1 x 6 Stained Wood Plank Ceiling as per specifications and Reflected Ceiling Plans
- 32 2" Rigid Insulation
- 33 2" Azek Trim or Equal
- 34 1x4 Stained Oak Trim
- 35 1x6 Stained Oak Trim
- 36 1x8 Stained Oak Trim
- 37 Wood Subfloor and Joists as per Structural Drawings.
- 38 EIFS Synthetic Stucco system on 2" Rigid Insulation as per details and specifications.
- 39 Existing Building EIFS system with new finish as per Specifications.
- 40 Self-Adhered Stainless Steel flashing installed as per Manuf. Details. H&B Mighty Flash or similar.
- 41 1 1/2" HDPE Mortar Net installed as per Manuf. Details.
- 42 Rectangular Plastic Masonry Weeps at 24" O.C.
- 43 Aluminum Flashing at top of Stone Sill installed as per EIFS Manuf. Standard Details.
- 44 Owens Corning 1" SelectSound Black Acoustic Board installed as per Manuf. recommendations
- 45 Fiberglass Roof Shingles as per specifications.
- 46 5" Aluminum "K" Gutter and Downspouts as per Elevations and Specifications.
- 47 1 1/2" Aluminum Handrails as per elevations and specifications.



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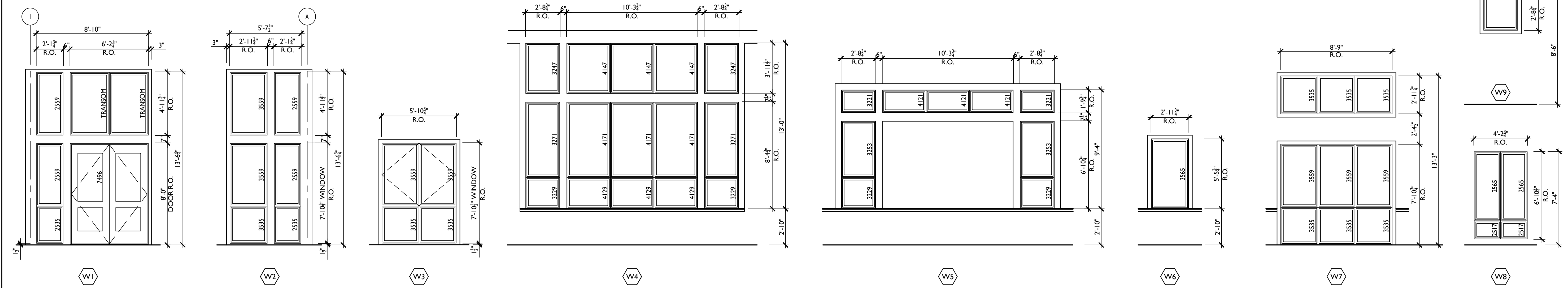
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1/01/15/20 ISSUED FOR BIDDING	1/01/15/20 ISSUED FOR BIDDING
01/26/21 FOR CONSTRUCTION	REVISOR'S NAME
	REVISION DESCRIPTION

A8.4

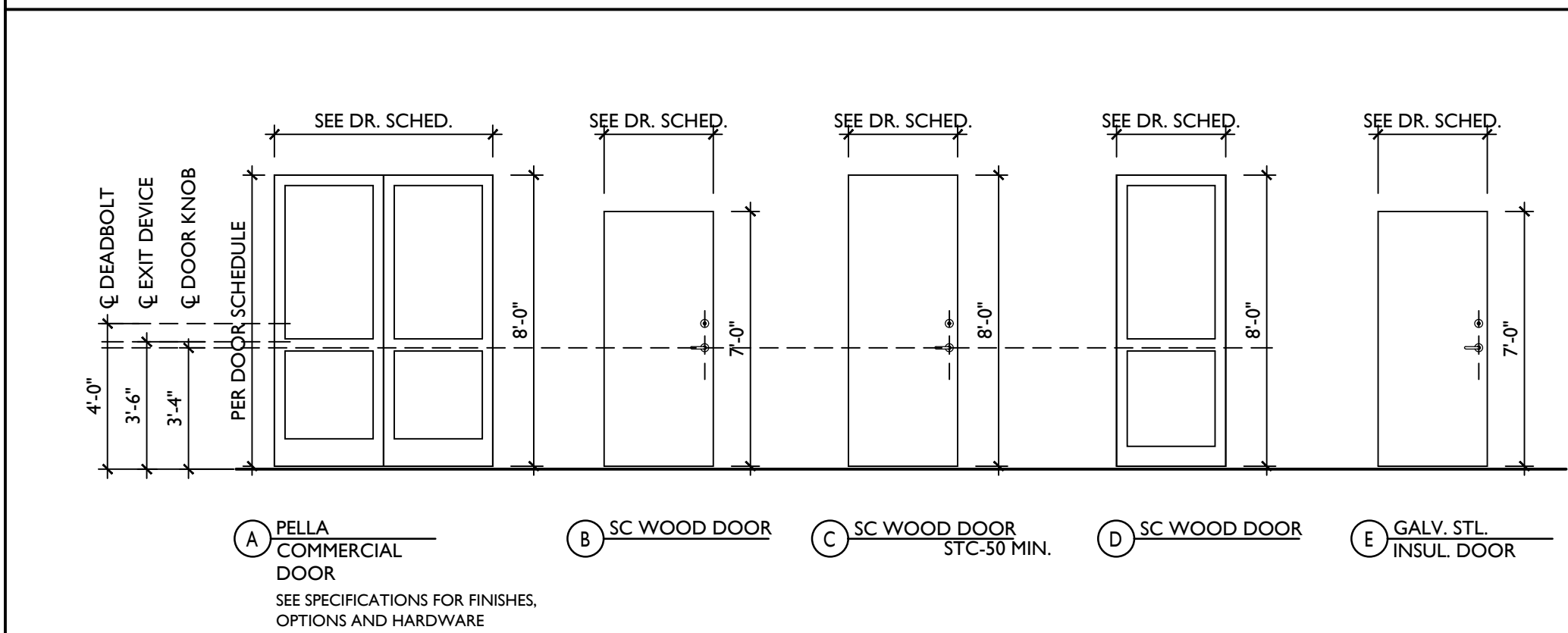


**WINDOW TYPES**

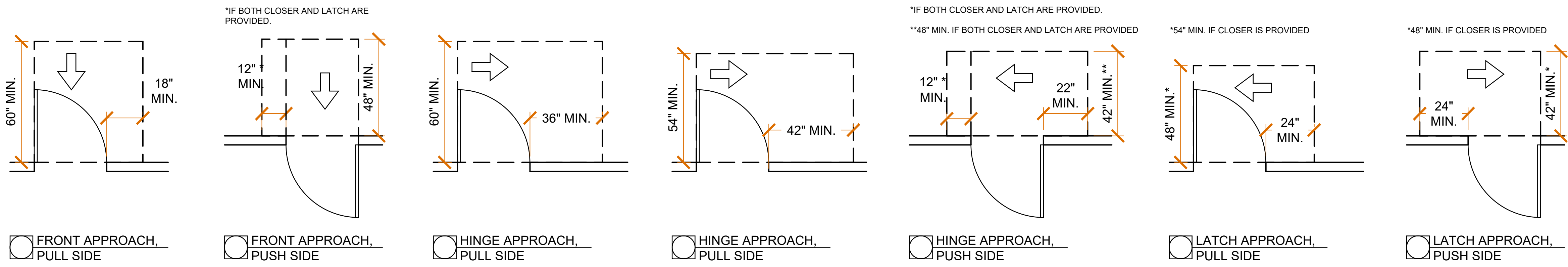
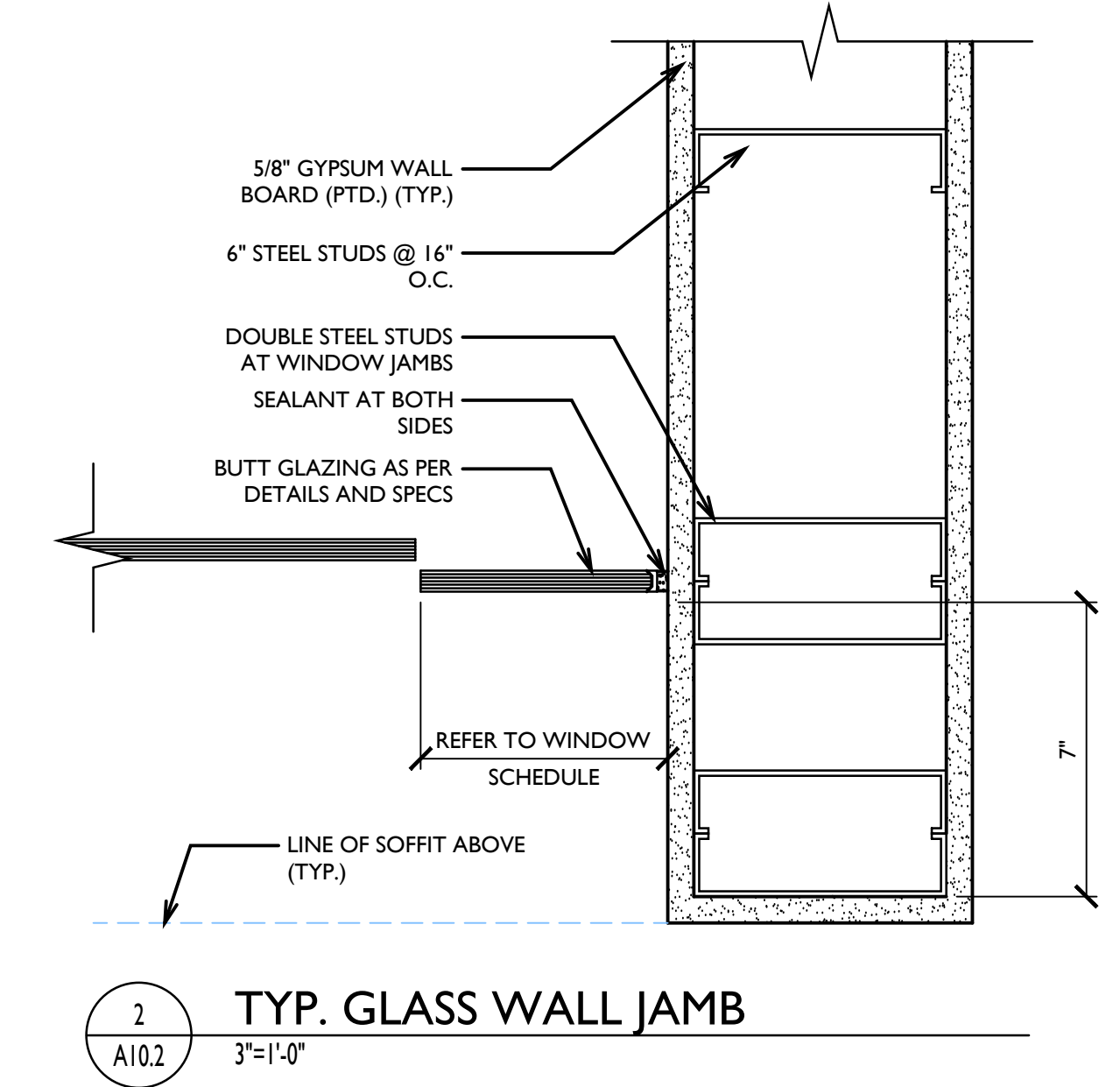
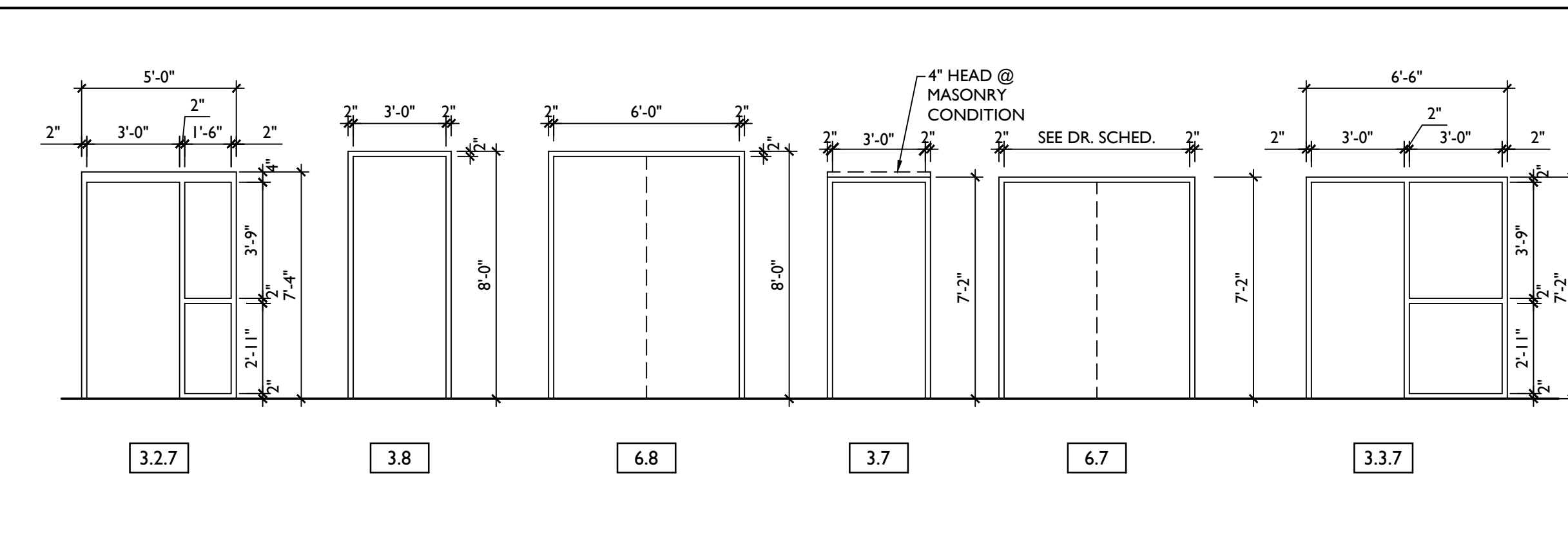
WINDOWS TO BE PELLA ARCHITECT SERIES CONTEMPORARY OR APPROVED EQUAL AS PER SPECIFICATIONS. SEE SPECIFICATIONS FOR ALL FINISHES AND OPTIONS.



**DOOR TYPES**

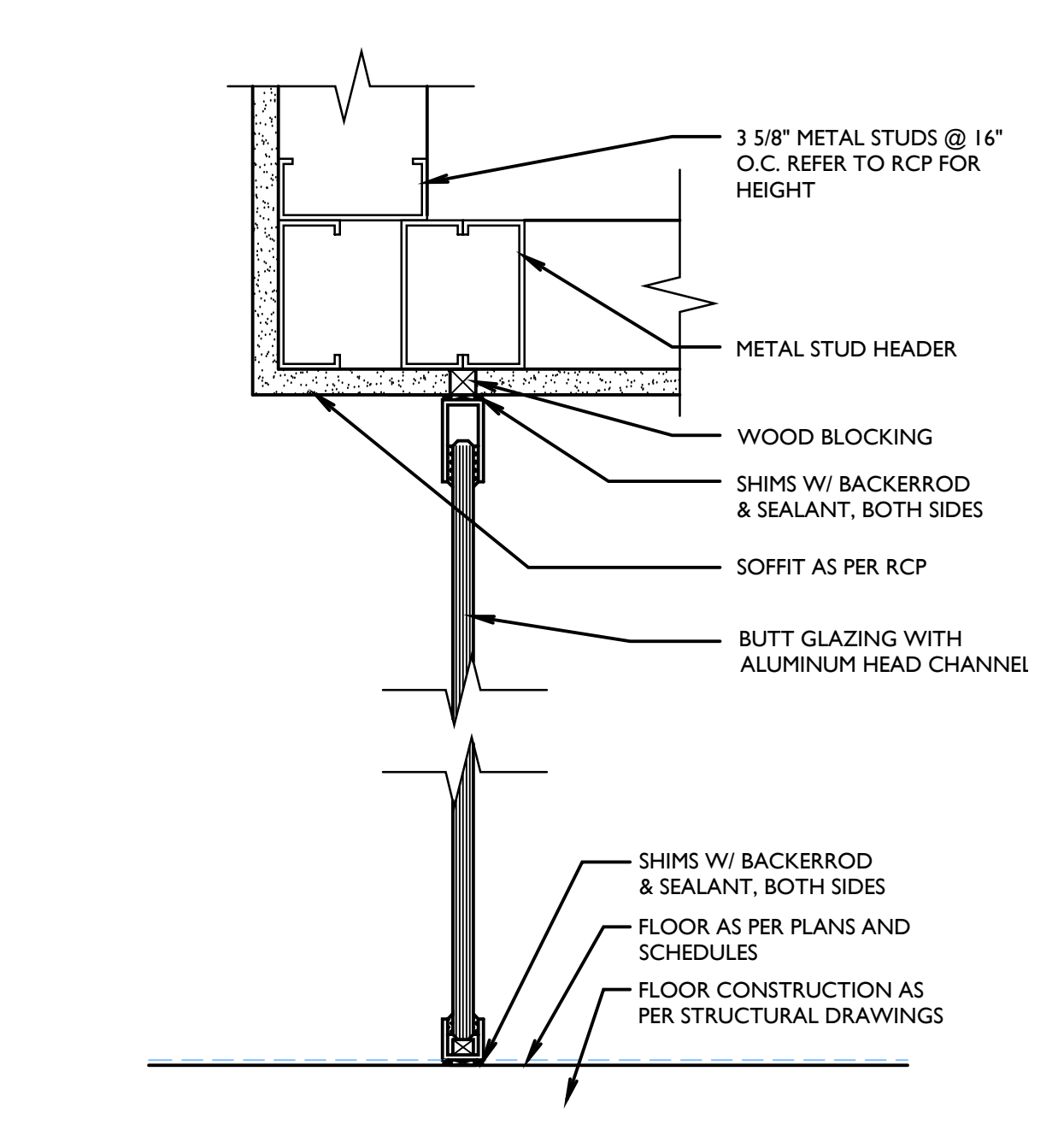
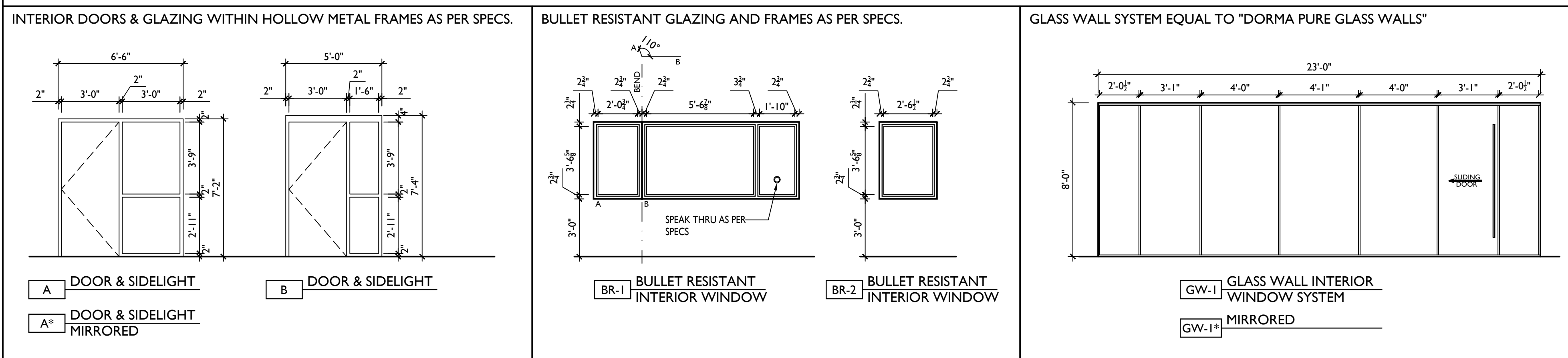


**DOOR FRAME TYPES**

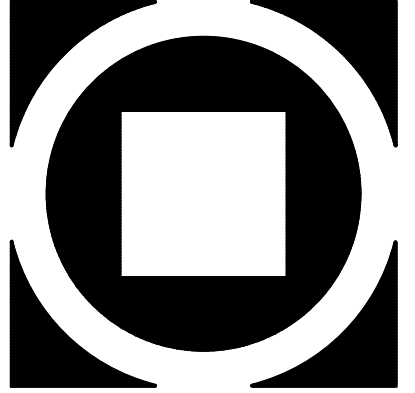


2 A10.2 TYP. GLASS WALL JAMB 3'=1'-0"

**INTERIOR WINDOW TYPES**



1 A10.2 TYP. GLASS WALL SECTION 3'=1'-0"



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**A10.2**