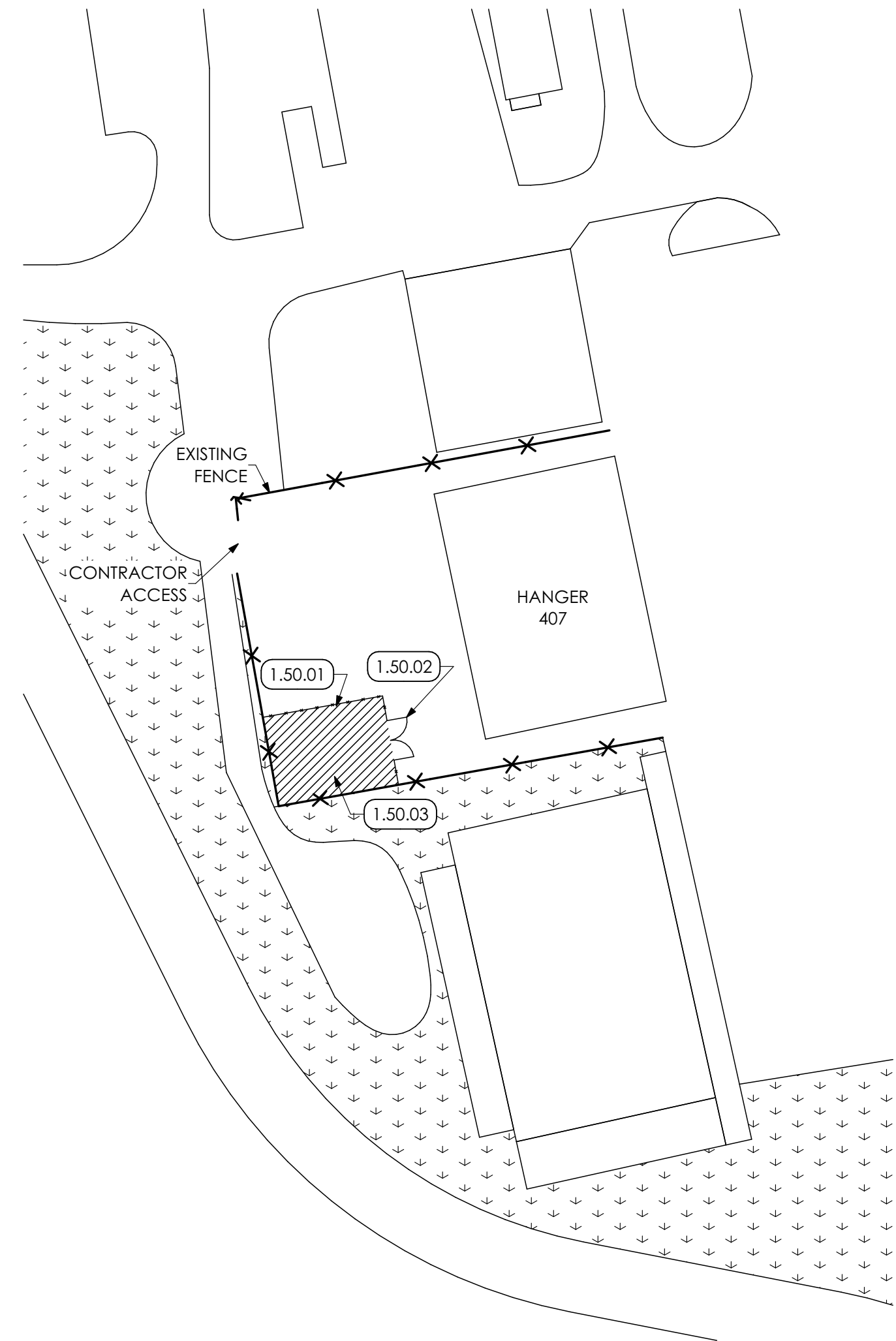


1 CONTRACTOR STAGING PLAN 1
SCALE: 1" = 100'



2 CONTRACTOR STAGING PLAN 2
SCALE: 1" = 50'

KEYED NOTES

- 01 GENERAL CONSTRUCTION**
1.50 TEMPORARY FACILITIES AND CONTROLS
1.50.01 G.C. TO PROVIDE TEMPORARY 8'-0" HIGH CHAIN-LINK FENCE FOR PERIMETER OF STAGING AREA.
1.50.02 G.C. TO PROVIDE TWO (2) 8'-0" WIDE CHAIN-LINK FENCE GATES WITH PADLOCK.
1.50.03 EXISTING ASPHALT PARKING LOT. G.C. TO REPAIR ANY DAMAGE TO PARKING LOT PAVING CAUSED BY CONSTRUCTION ACTIVITIES WITHIN STAGING AREA OR ALONG ROUTE TO WORK AREA.



PROJECT #:
24-0022

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1	CONSTRUCTION	10/10/24

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GRAPHIC SCALE
0 1
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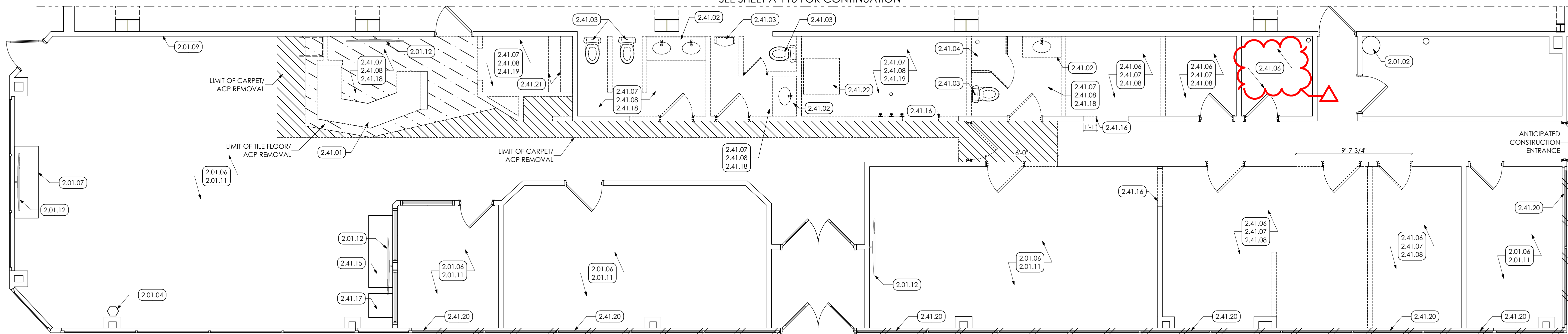
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SHEET TITLE:

CONTRACTOR
STAGING AREAS

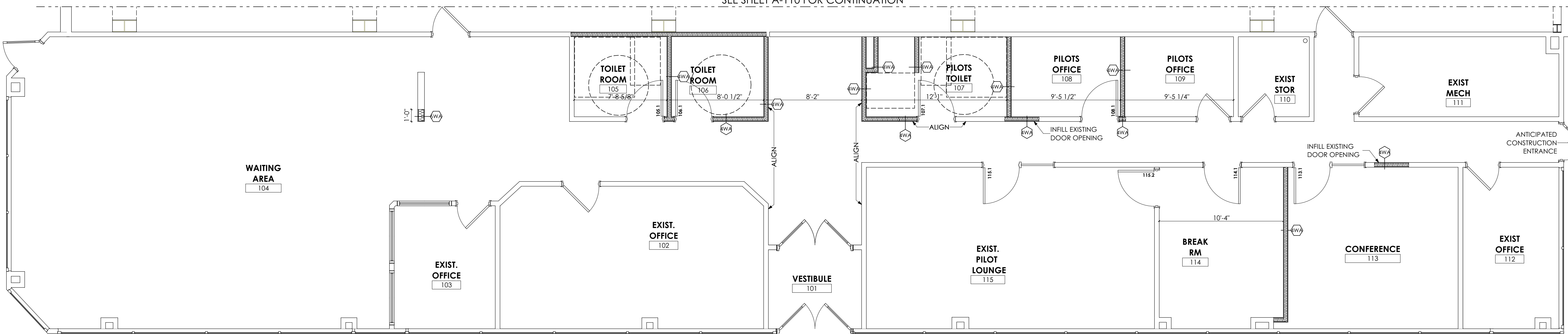
A-002

SEE SHEET A-110 FOR CONTINUATION



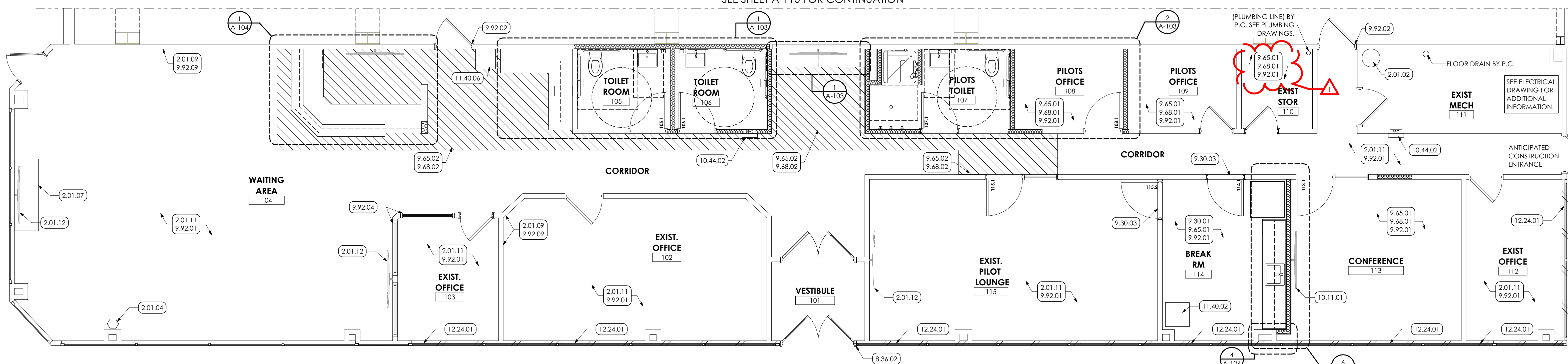
1 FBO DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

SEE SHEET A-110 FOR CONTINUATION



2 FBO PARTITION PLAN
SCALE: 1/4" = 1'-0"

SEE SHEET A-110 FOR CONTINUATION



3 FBO KEYNOTE PLAN
SCALE: 1/4" = 1'-0"

PARTITION NOTES:

1. PARTITION KEY INDICATES MAJOR TYPES OF PARTITIONS ONLY. FOR ISOLATED CONDITIONS, SEE NOTES AND DETAILS.
2. SEAL ALL PIPE AND DUCT PENETRATIONS THRU WALLS AND PARTITIONS (FOR SMOKE, ACOUSTICAL, AND FIRE STOP) BY G.C.
3. DIMENSIONS NOTED DO NOT INCLUDE TILE, MORTAR OR VENER PANELING.
4. IN FINISHED SPACES, ALL PIPES, CONDUITS, DUCTS, ETC. SHALL BE CONCEALED AND INSTALLED WITHIN PARTITIONS WHERE POSSIBLE. AT CONDITIONS WHERE VERTICAL RUNS DO NOT FIT INTO PARTITIONS, PIPES, ETC. SHALL BE CONCEALED WITH GYPSUM BOARD AND CMU SURROUNDS. SEE MECH. AND ELEC. DRAWINGS FOR LIMITS.
5. PROVIDE WOOD BLOCKING AS REQUIRED IN METAL STUD PARTITIONS FOR ANCHORING ALL ACCESSORIES AND DEVICES SHOWN AND/OR SPECIFIED (I.E. ROBE HOOKS, SHELF STANDARDS, HAND DRYERS, GRAB BARS, ETC.). COORDINATE WITH ACCESSORY MANUFACTURERS RECOMMENDATIONS.

PARTITION NOTES CONT.:

6. INTERIOR DIMENSIONS ARE TO THE FACE OF FRAMING.
7. PROVIDE FIRE STOPPING AT VOIDS BETWEEN TOP OF PARTITIONS AND UNDERSIDE OF DECK FLUTES.
8. PARTITIONS ABOVE OPENINGS SHALL BE THE SAME TYPE AS THE PARTITIONS BESIDE THE OPENING.
9. REFER TO SPECIFICATION SECTION 011200 FOR CUTTING AND PATCHING RESPONSIBILITIES
10. PROVIDE TILE BACKER BOARD IN AREAS SCHEDULED TO RECEIVE CERAMIC TILE. COORDINATE WITH ENLARGED PLANS AND ELEVATIONS ON SHEETS A-103 THRU A-104.

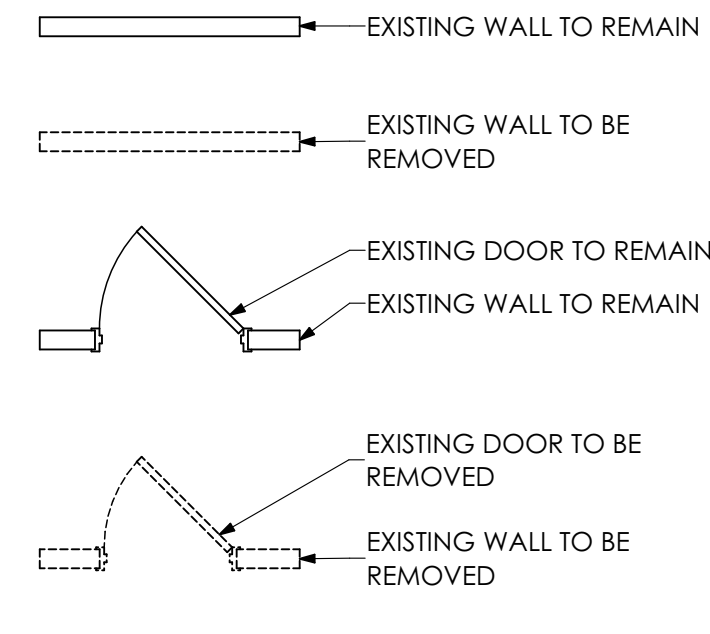
GENERAL SHEET NOTES:

1. SEE SHEET A-001 FOR GENERAL DEMOLITION NOTES.
2. G.C. TO PROTECT ALL EXISTING FINISHES SHOWN TO REMAIN, INCLUDING BUT NOT LIMITED TO FLOORING AND WALLS. FLOOR IS TO BE PROTECTED FULLY FROM WALL TO WALL.
3. AT EXISTING PARTITIONS SHOWN TO BE REMOVED, REMOVE CARPET TILE BACK TO NEAREST SEAM. FOR LENGTH OF PARTITION BEING REMOVED.
4. SEE SHEET A-105 FOR DOOR AND PARTITION TYPES.
5. EXISTING DOOR FRAMES TO BE PREPARED AND PAINTED ((2) TWO COATS)

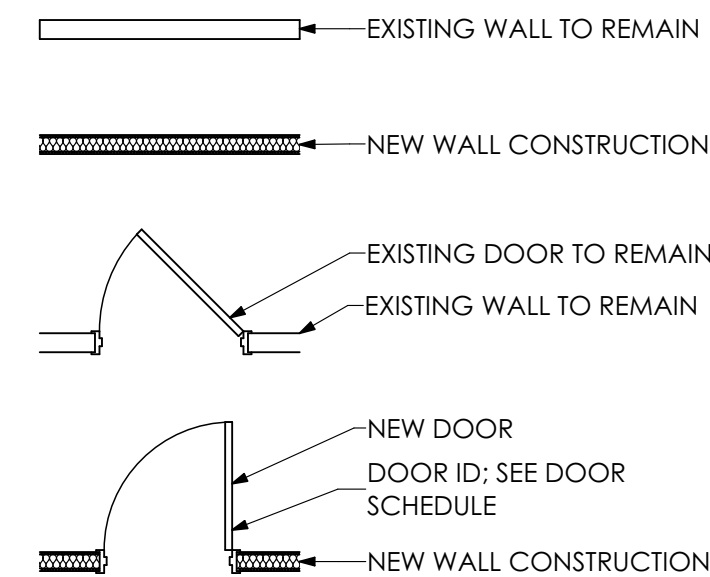
KEYED NOTES

- 02 DEMOLITION**
02.01 EXISTING CONDITIONS
EXISTING WATER HEATER TO REMAIN.
EXISTING FISH TANK TO REMAIN.
EXISTING WALL BASE THROUGHOUT SPACE TO REMAIN UNLESS NOTED OTHERWISE.
EXISTING CABINET TO REMAIN.
G.C. TO PROTECT EXISTING MURAL.
EXISTING CARPET TO REMAIN. G.C. TO PROTECT FULL WIDTH OF CARPET FROM WALL TO WALL.
EXISTING TV TO REMAIN.
- 2.41 SELECTIVE DEMOLITION | SPEC 024119**
EXISTING DESK TO BE REMOVED.
EXISTING SINK TO BE DISCONNECTED AND LINES CAPPED BY P.C. REMOVAL OF VANITY, INCLUDING DISCONNECTED SINKS, BY G.C.
EXISTING FLOOR MOUNTED TOILET TO BE REMOVED, BY P.C.
REMOVE EXISTING SHOWER, SHOWER WALLS, AND SHOWER DOORS IN THEIR ENTIRETY. P.C. TO DISCONNECT PLUMBING FIXTURES AND CAP LINES.
REMOVE EXISTING CARPET FINISH FLOOR INCLUDING ALL ADHESIVES AND UNDERLAYMENTS FOR EXTENTS SHOWN.
REMOVE WALL BASE FOR PERIMETER OF ROOM.
REMOVE ACOUSTICAL CEILING IN ITS ENTIRETY INCLUDING SUSPENSION GRID.
EXISTING COFFEE BAR TO BE REMOVED.
EXISTING WALL TO BE REMOVED.
REMOVE STORE FOR REINSTALLATION.
REMOVE TILED FLOOR INCLUDING ALL MORTAR/ GROUT AND UNDERLAYMENTS, THROUGHOUT ROOM.
REMOVE LVT FLOOR INCLUDING ALL ADHESIVES AND UNDERLAYMENTS, THROUGHOUT ROOM.
EXISTING BLINDS TO BE REMOVED.
EXISTING CASEWORK TO BE REMOVED IN ENTIRETY.
EXISTING VENDING MACHINE TO BE CAREFULLY REMOVED. STORE FOR REINSTALLATION.
- 08 OPENINGS**
8.36 SECTIONAL DOOR | SPEC 083613
INSPECT AND REPAIR TO A LIKE NEW WORKING CONDITIONS (DOOR HATCHES).
- 09 FINISHES**
9.30 CERAMIC TILING | SPEC 093013
FLOOR TILE THROUGHOUT ROOM. PATCH AND REPAIR EXISTING CONCRETE SLAB TO PROVIDE A SUBSTRATE SUITABLE FOR INSTALLATION. STONE THRESHOLD FOR WIDTH OF DOOR OPENING.
9.65 RESILIENT FLOORING | SPEC 096513
4" RUBBER BASE CONTINUOUS FOR PERIMETER OF ROOM.
PATCH 4" RUBBER BASE TO EXISTING BASE.
9.68 CARPETING | SPEC 096800/ 035416
CARPETING THROUGHOUT ENTIRE ROOM.
PATCH CARPET FOR AREA SHOWN.
9.92 INTERIOR PAINTING | SPEC 099123
PREP, PRIME AND PAINT ((2) COATS) ALL WALLS THROUGHOUT SPACE UNLESS NOTED OTHERWISE. PAINT PARTITION FROM FLOOR OR TOP OF EXISTING BASE TO 8' ABOVE ACOUSTICAL CEILING OR TO UNDERSIDE OF DECK IN AREAS OF OPEN CEILING. IN AREA WITH EXISTING CEILING, PAINT TO UNDERSIDE OF EXISTING GRID. PREP AND PAINT ((2) COATS) ENTIRE DOOR AND FRAME.
PREP AND PAINT ((2) COATS) ENTIRE WINDOW FRAME. DO NOT PAINT GLASS.
DO NOT PAINT EXISTING MURAL ALONG SIDE OF WALL.
- 10 SPECIALTIES**
10.11 VISUAL DISPLAY UNITS
DISPLAY SCREEN WITH WALL MOUNT SUPPORT BY OWNER.
10.44 FIRE PROTECTION SPECIALTIES | SPEC 104413, 104414
PROVIDE NEW RECESSED FIRE EXTINGUISHER AND CABINET.
11.40 FOOD SERVICE EQUIPMENT
REINSTALL EXISTING VENDING MACHINE.
REINSTALL EXISTING POPCORN MACHINE.
12 FURNISHINGS
12.24 HORIZONTAL LOUVER BLINDS | SPEC 122113
NEW HORIZONTAL WINDOW BLINDS.

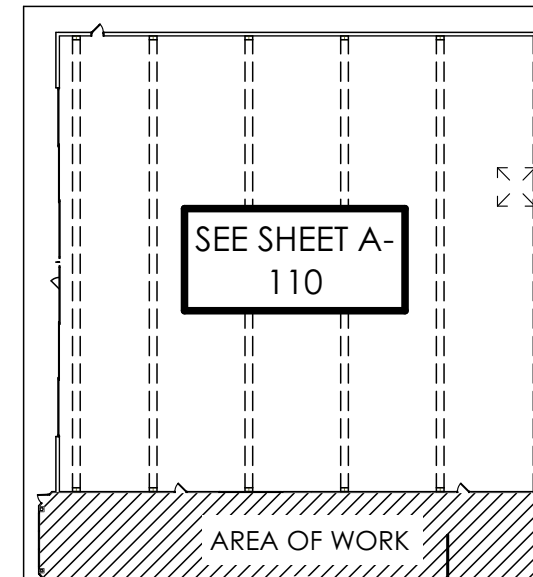
DEMOLITION LEGEND



FLOOR PLAN LEGEND



KEY PLAN



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SCALE: 1" = 1'-0"
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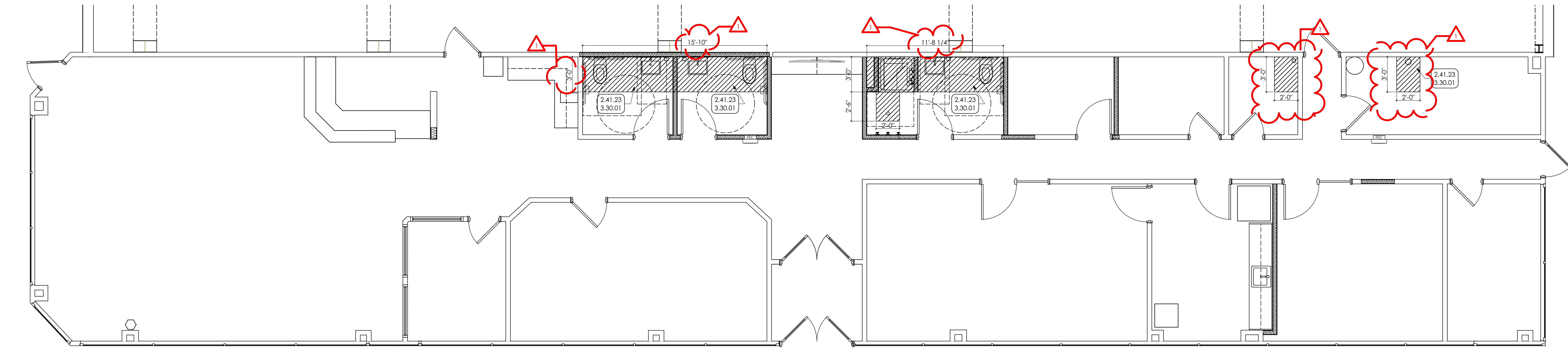
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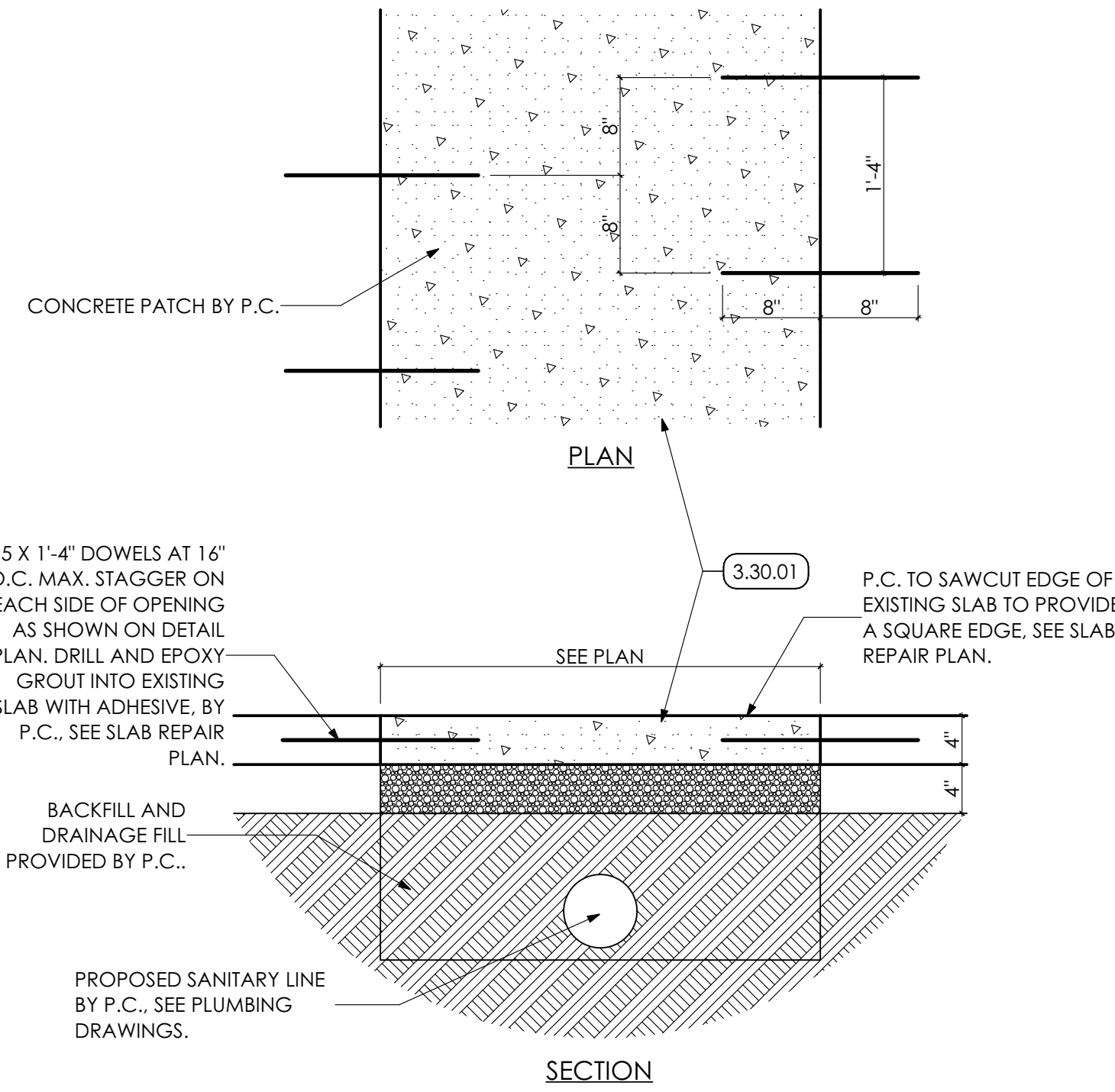
SHEET TITLE:

FLOOR PLANS

A-101



1 SLAB REPAIR PLAN
SCALE: 1/4" = 1'-0"



2 SLAB REPAIR DETAIL
SCALE: 1" = 1'-0"

- KEYED NOTES**
- 02 DEMOLITION**
2.41 SELECTIVE DEMOLITION | SPEC 024119
2.41.23 CAREFULLY CUT EXISTING CONCRETE SLAB AND EXCAVATE FOR NEW PLUMBING LINES, BY P.C. COORDINATE WITH PLUMBING DRAWINGS.
- 03 CONCRETE**
3.30 CAST-IN-PLACE CONCRETE
3.30.01 P.C. SHALL PROVIDE BACKFILL 4" DRAINAGE FILL AND 4" CONCRETE TO PATCH EXCAVATED AREAS. CONCRETE TO FINISH FLUSH WITH ADJACENT EXISTING SURFACE.

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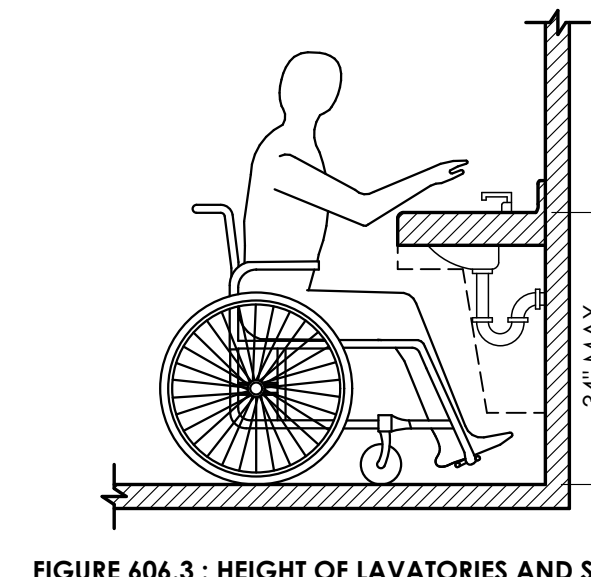
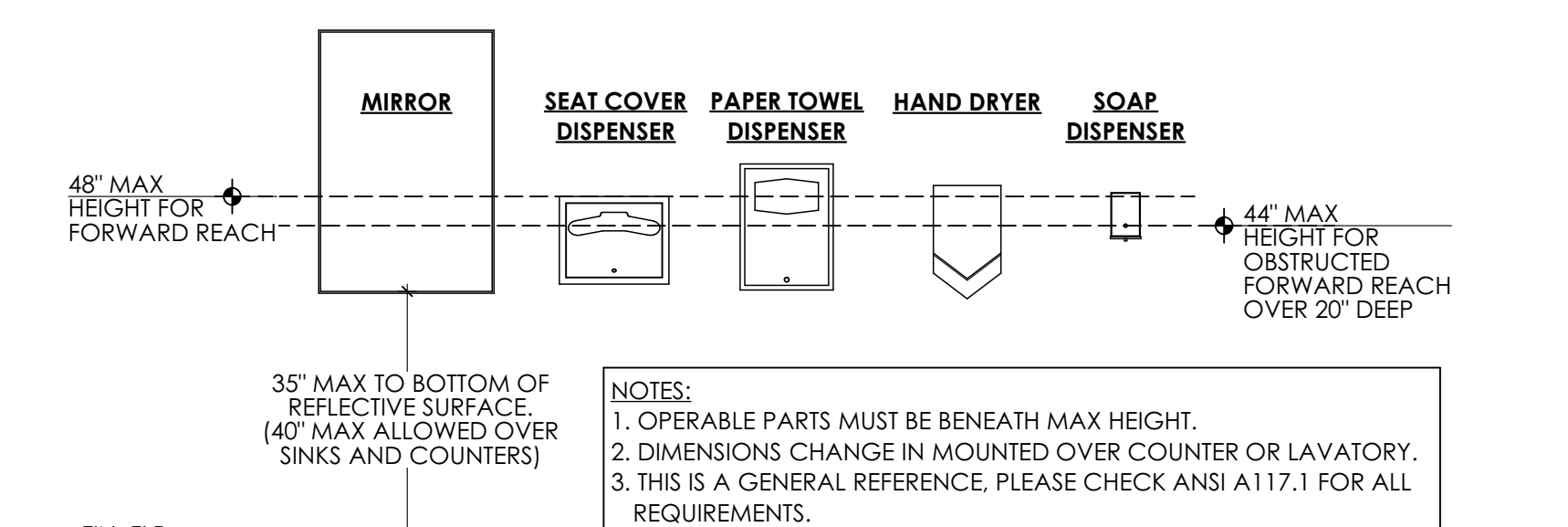
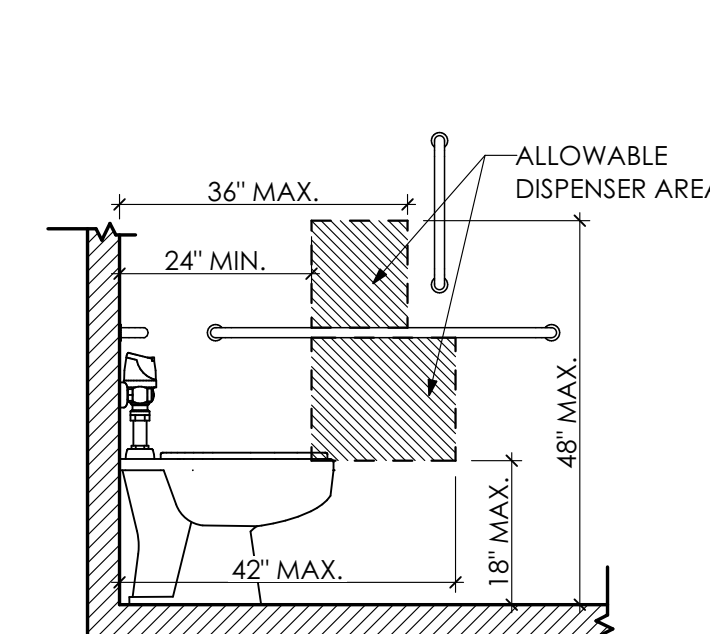
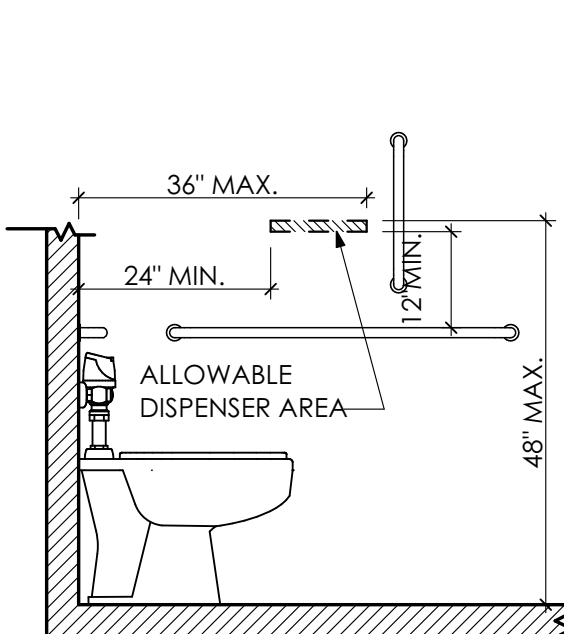
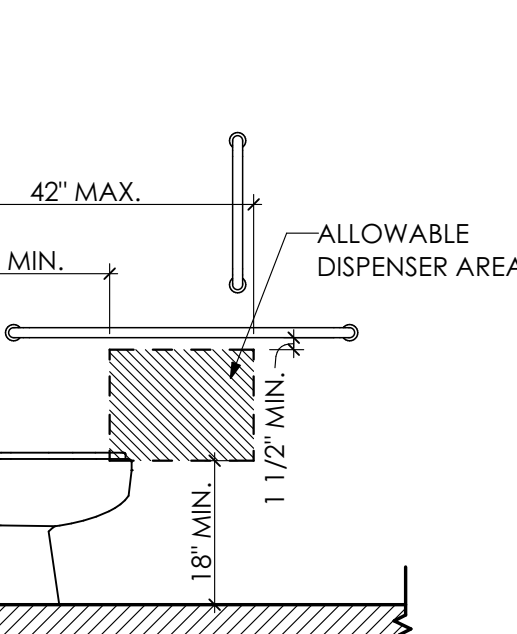
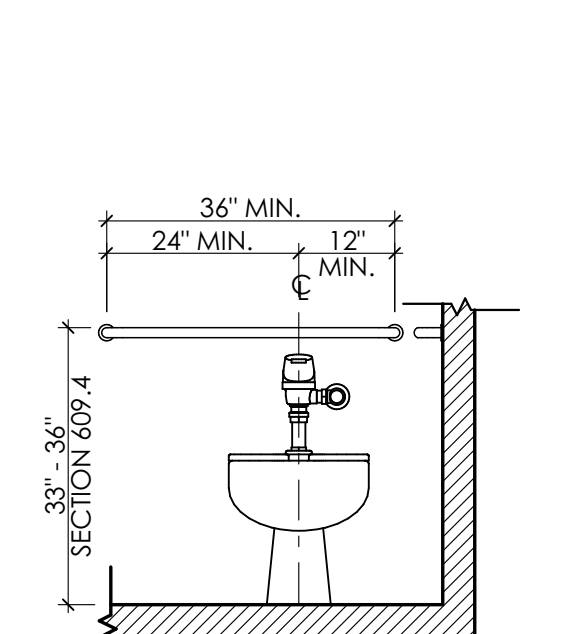
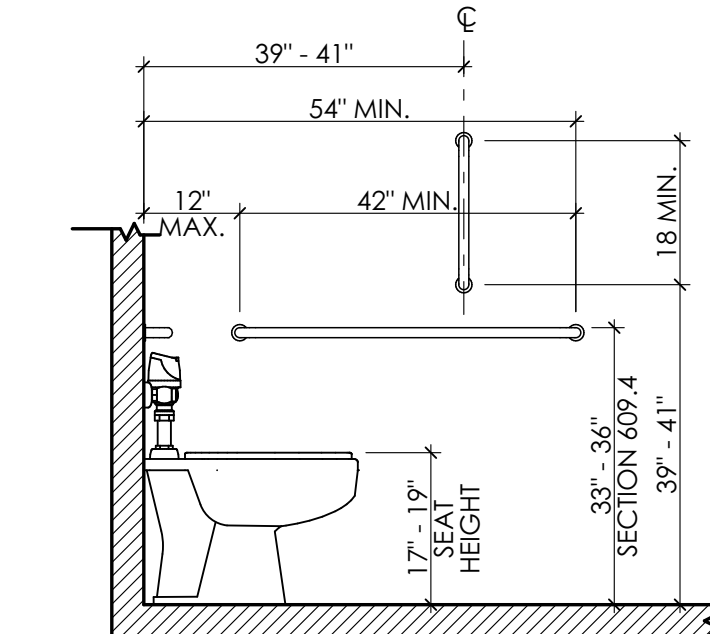
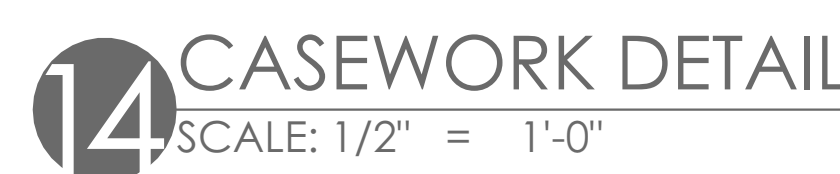
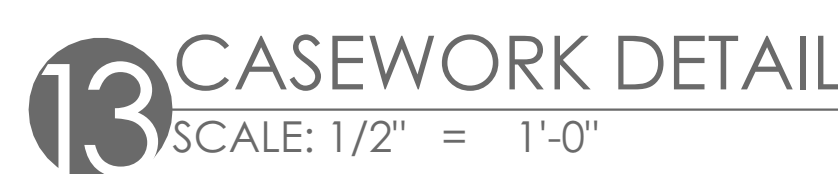
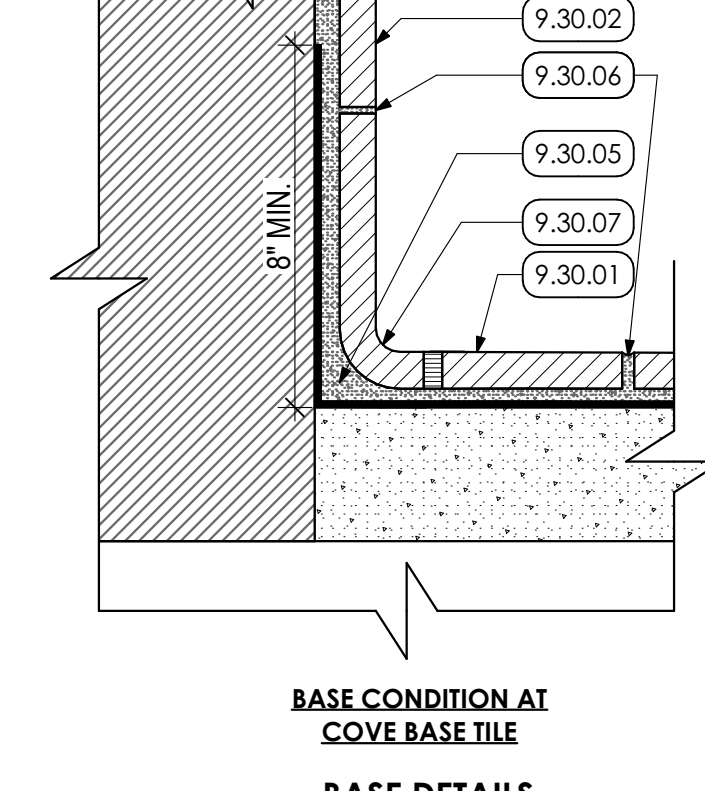
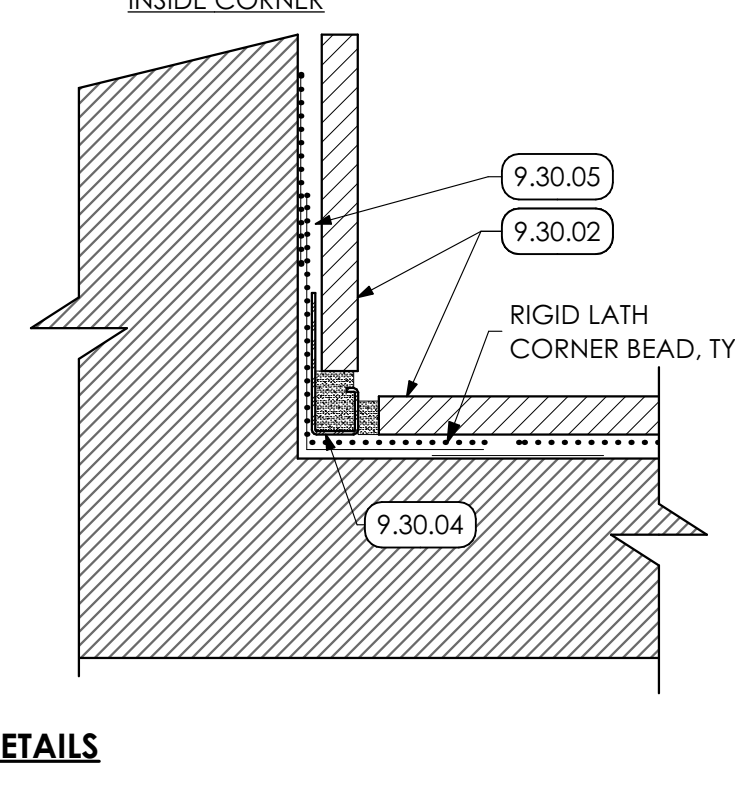
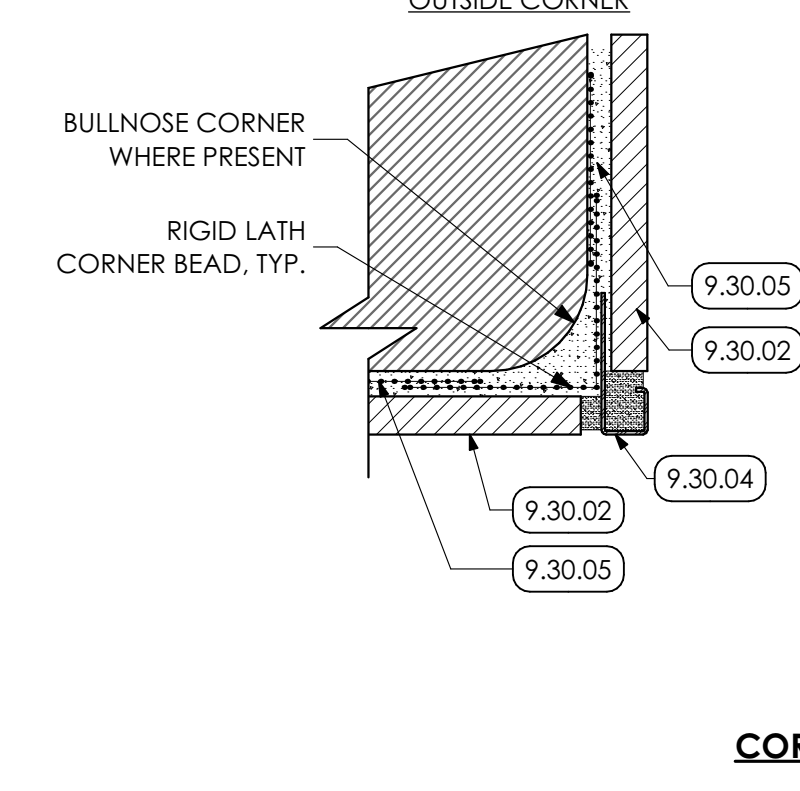
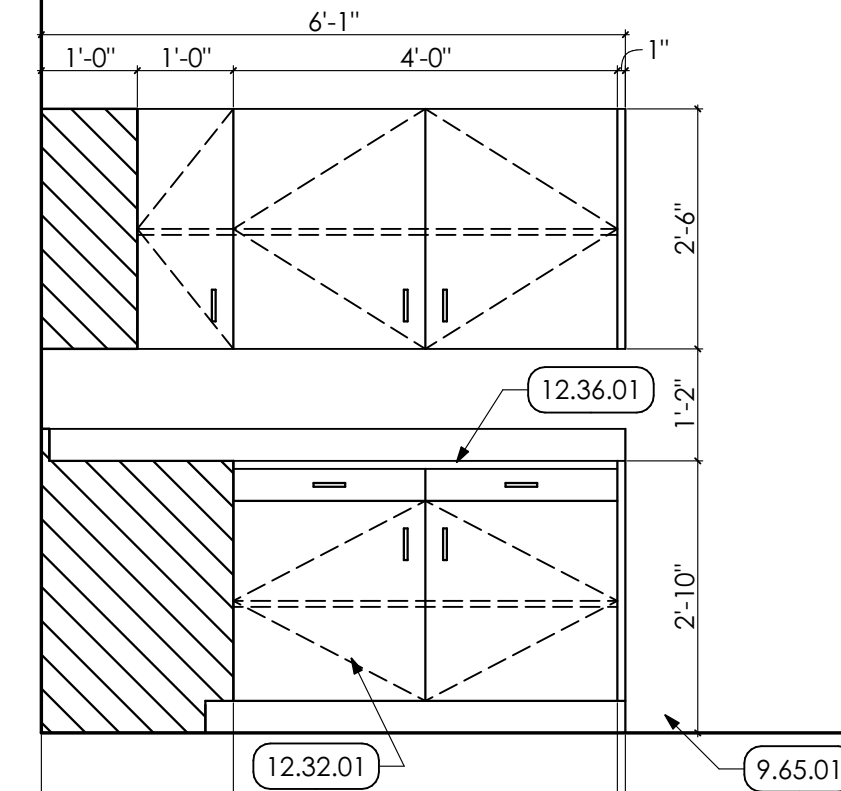
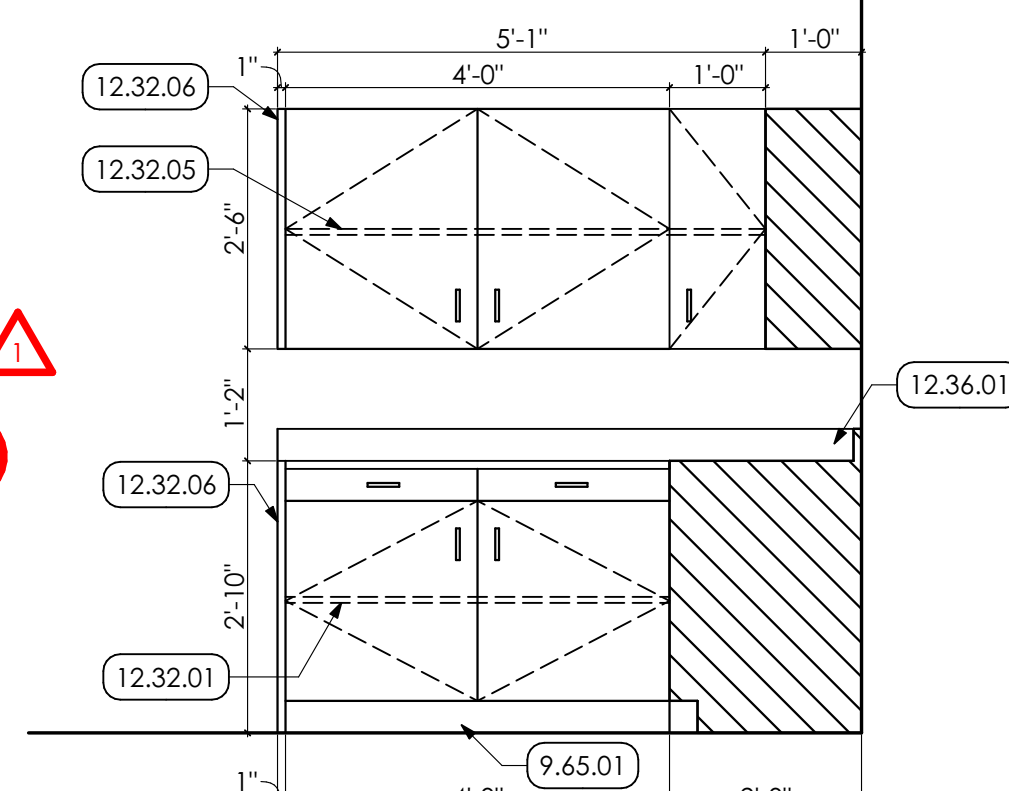
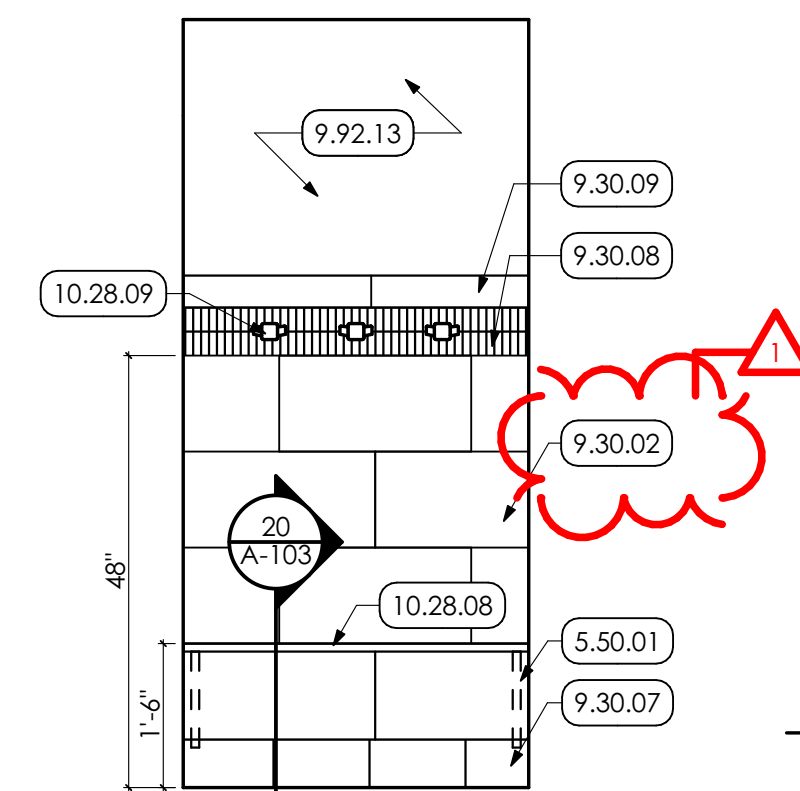
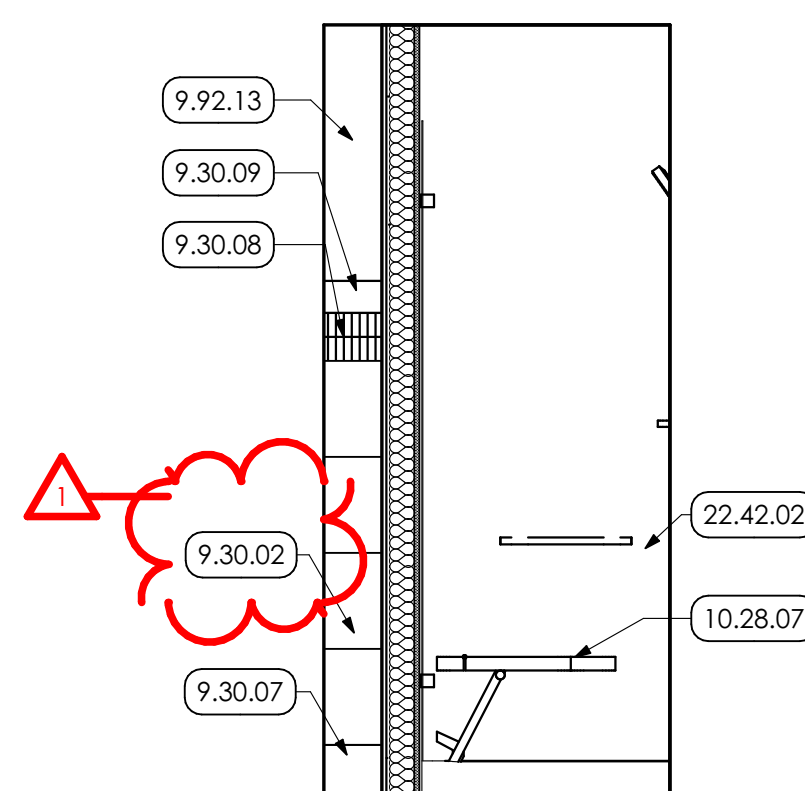
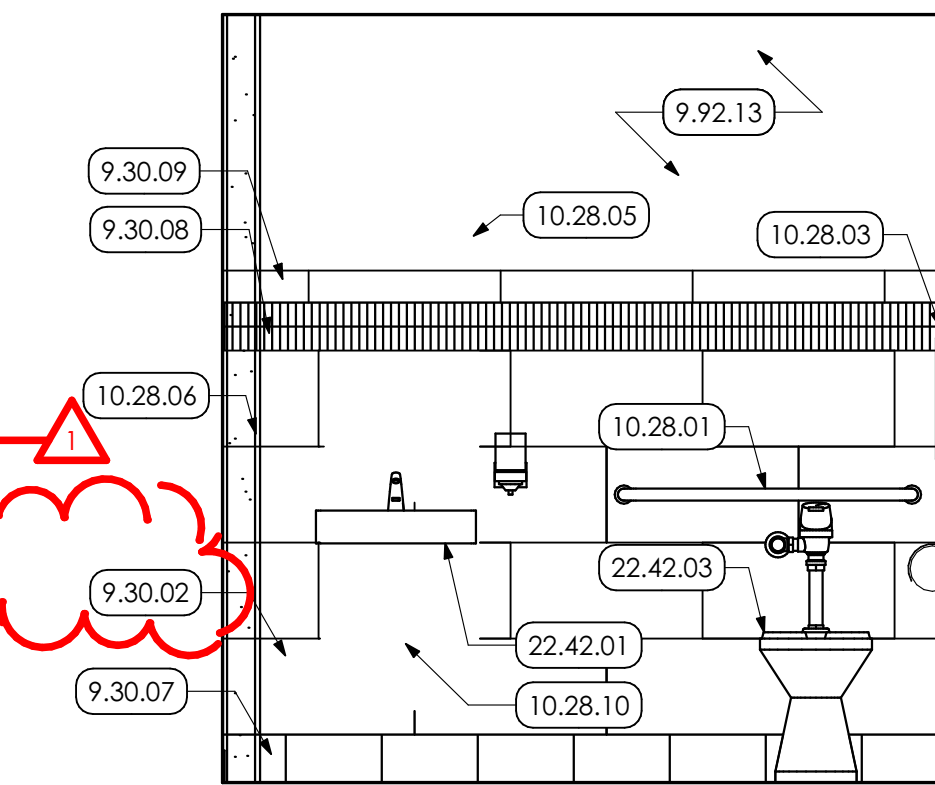
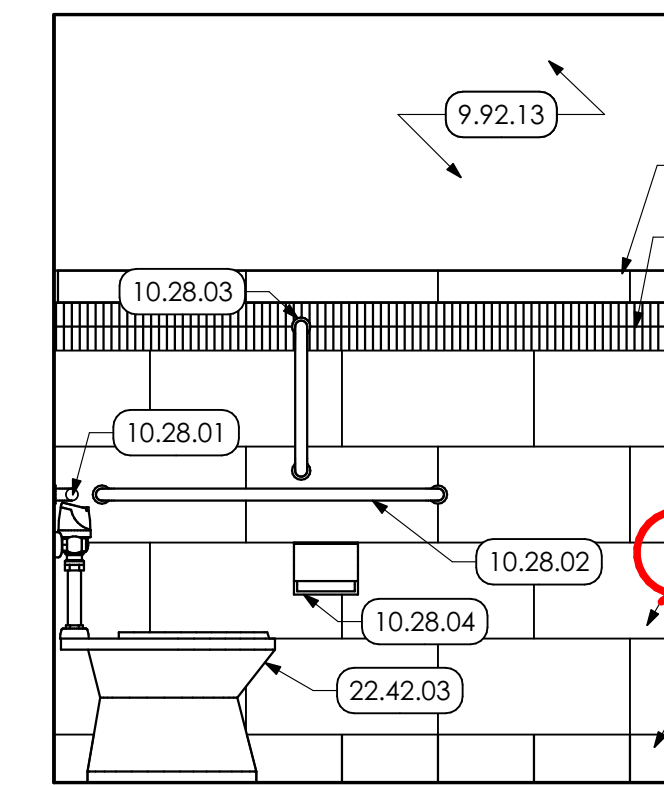
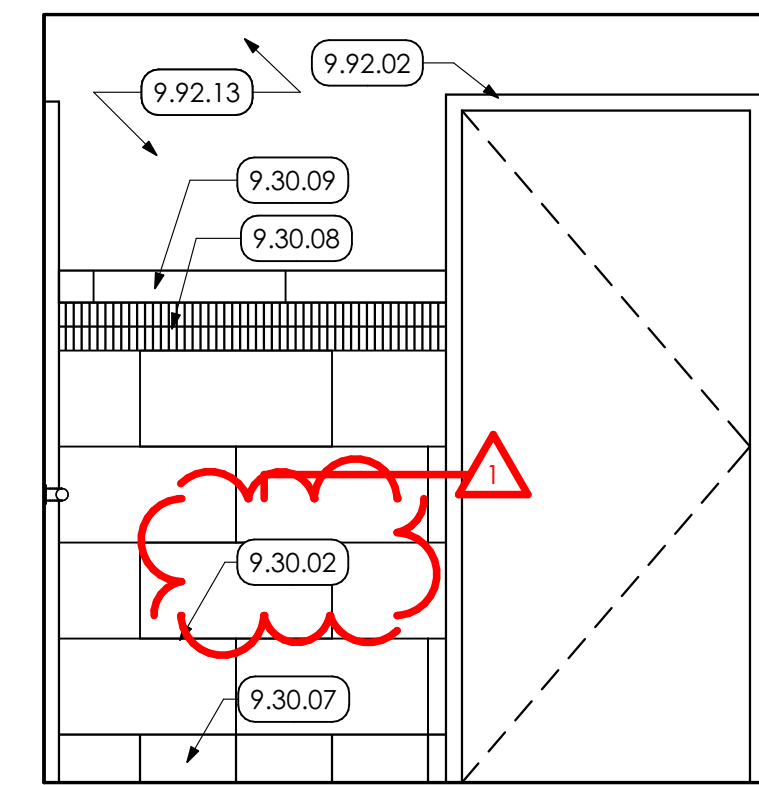
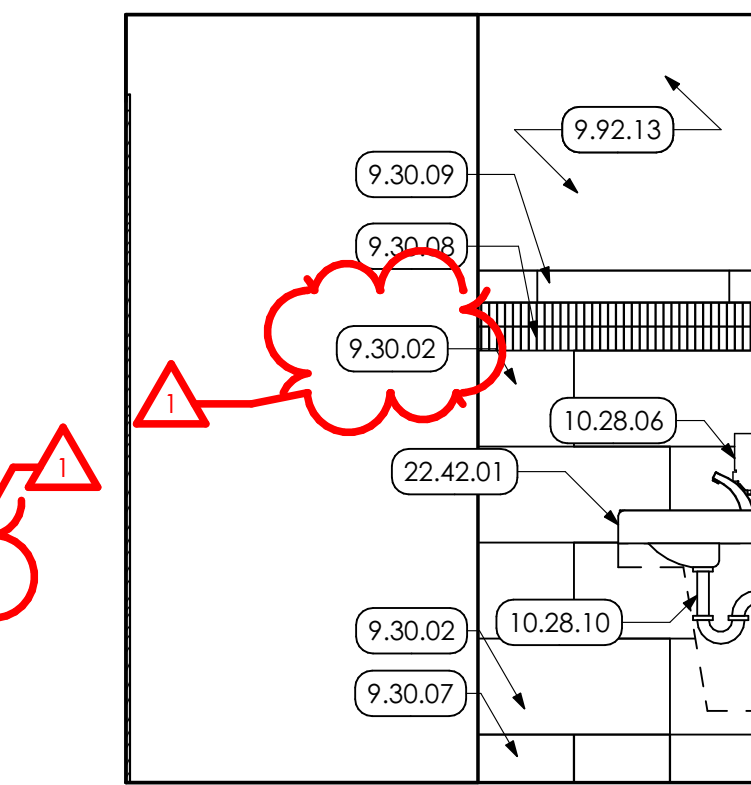
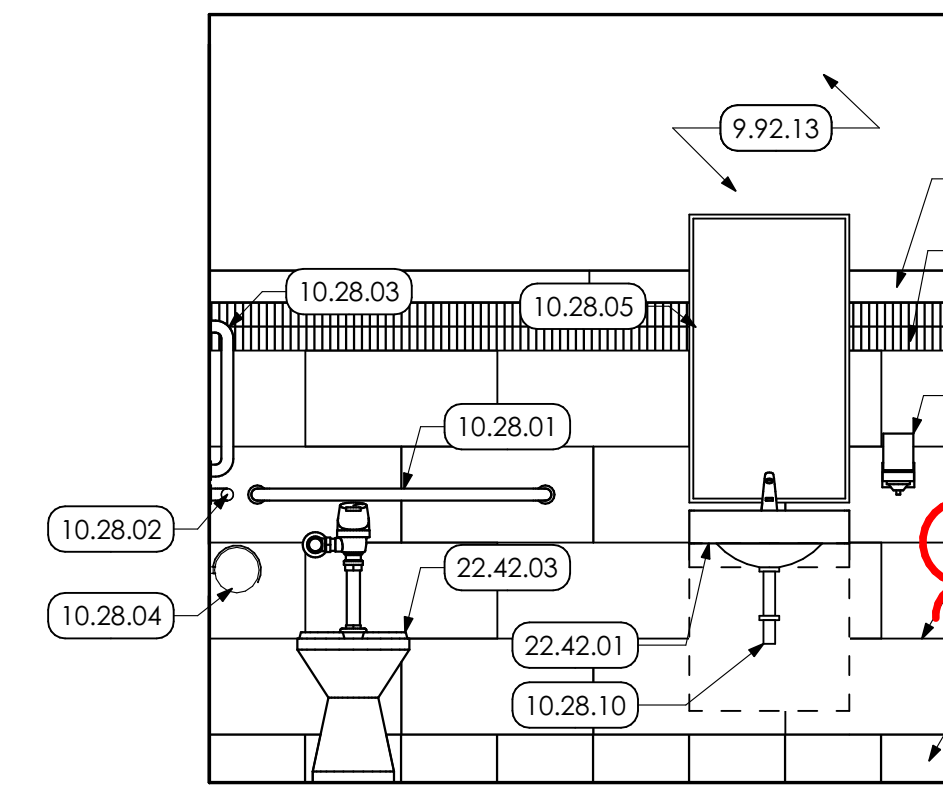
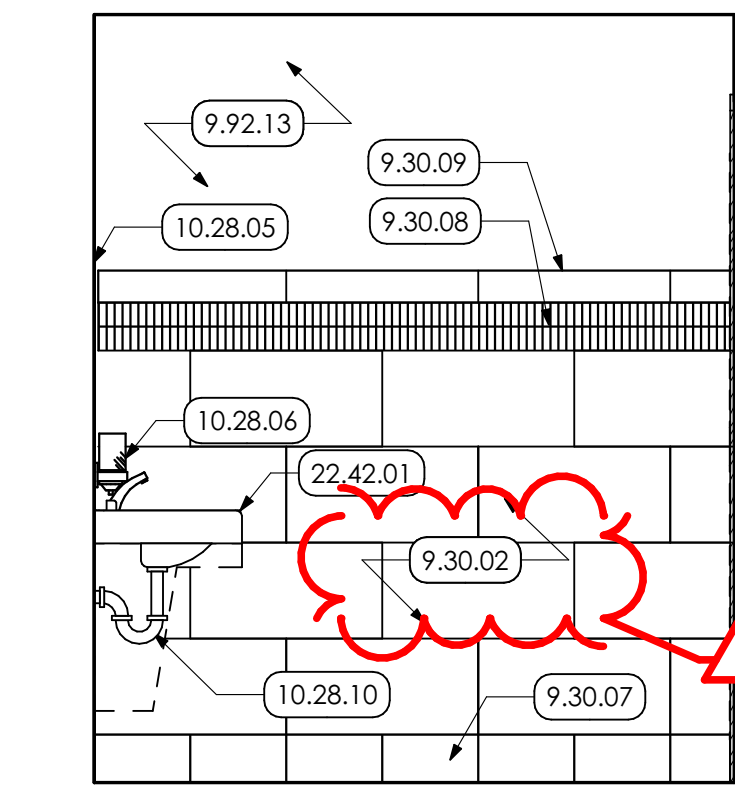
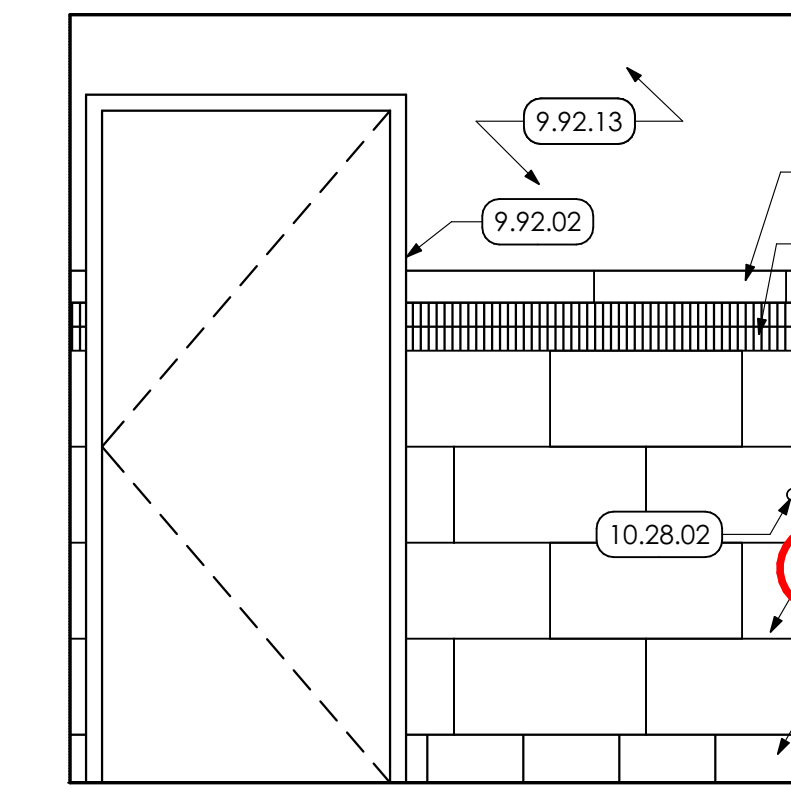
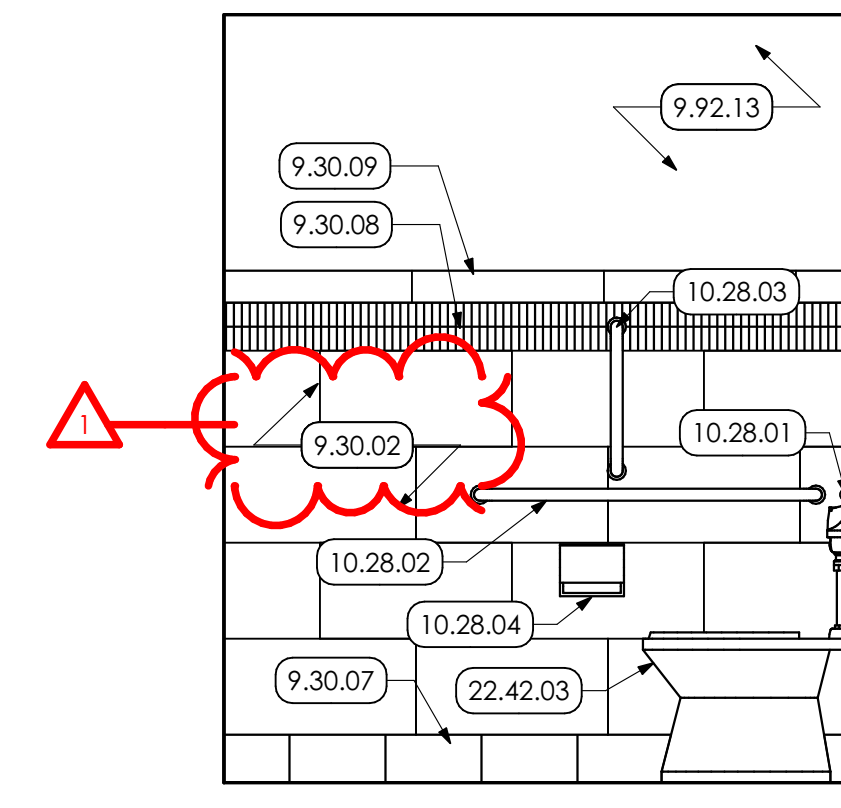
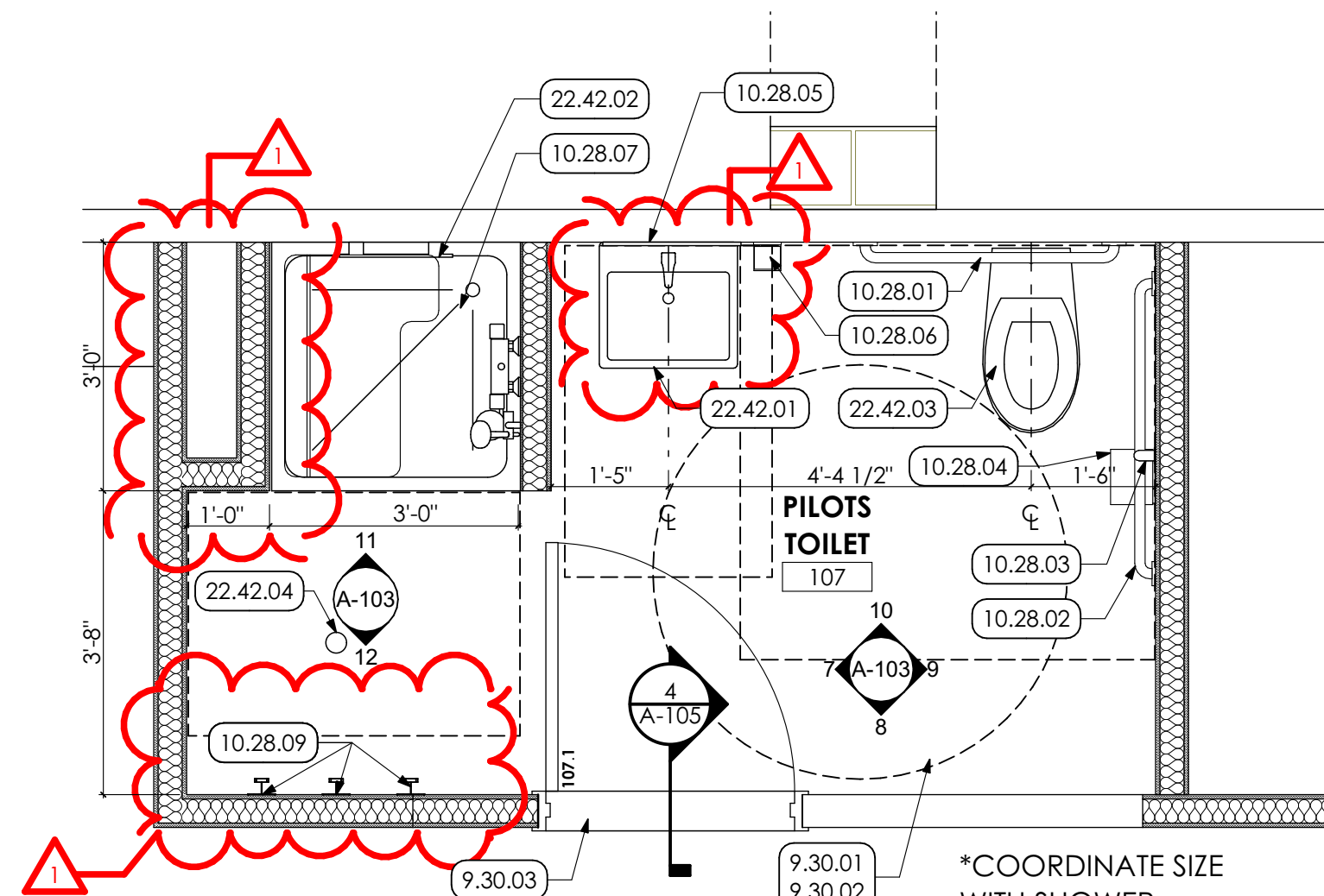
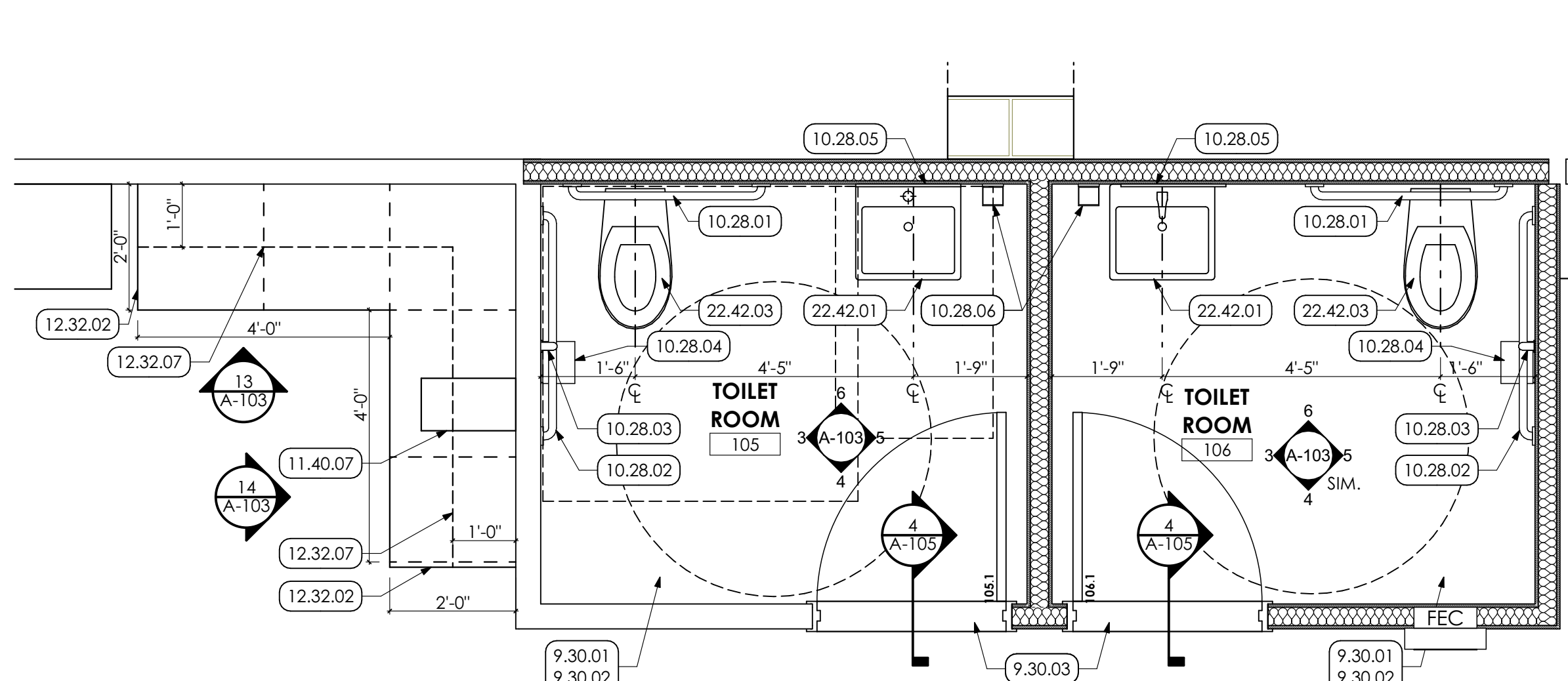
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SHEET TITLE:
SLAB REPAIR

A-102



- KEYED NOTES**
- 05 METALS**
5.50 METAL FABRICATIONS
5.50.01 UNDERSIDE METAL BRACKET.
6.40 WOODS, PLASTICS AND COMPOSITES
ARCHITECTURAL WOODWORK
6.40.01 WOOD BENCH SEATED.
09 FINISHES
CERAMIC TILING | SPEC 093013
9.30.01 FLOOR TILE THROUGHOUT ROOM. PATCH AND REPAIR EXISTING CONCRETE SLAB TO PROVIDE A SUBSTRATE SUITABLE FOR INSTALLATION.
9.30.02 WALL TILE ON ALL WALLS IN ROOM, UNLESS SPECIFIC WALLS NOTED OTHERWISE. COORDINATE TILE SIZES AND EXTENTS WITH ELEVATIONS.
9.30.03 STONE THRESHOLD FOR WIDTH OF DOOR OPENING.
9.30.04 CONTINUOUS EXTRUDED METAL TILE EDGE TRIM.
9.30.05 THIN SET MORTAR BED.
9.30.06 TILE GROUT.
9.30.07 6\"/>

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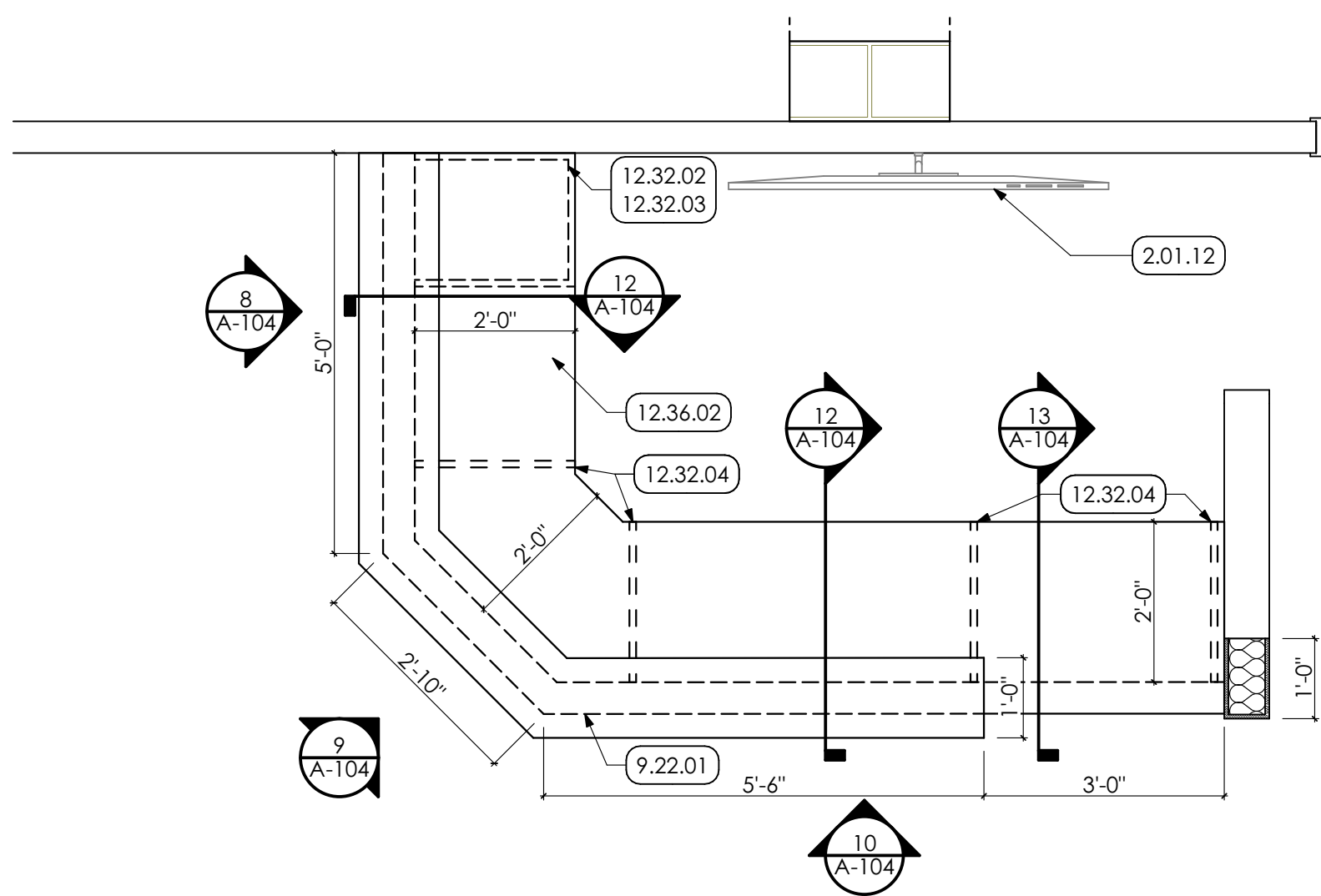
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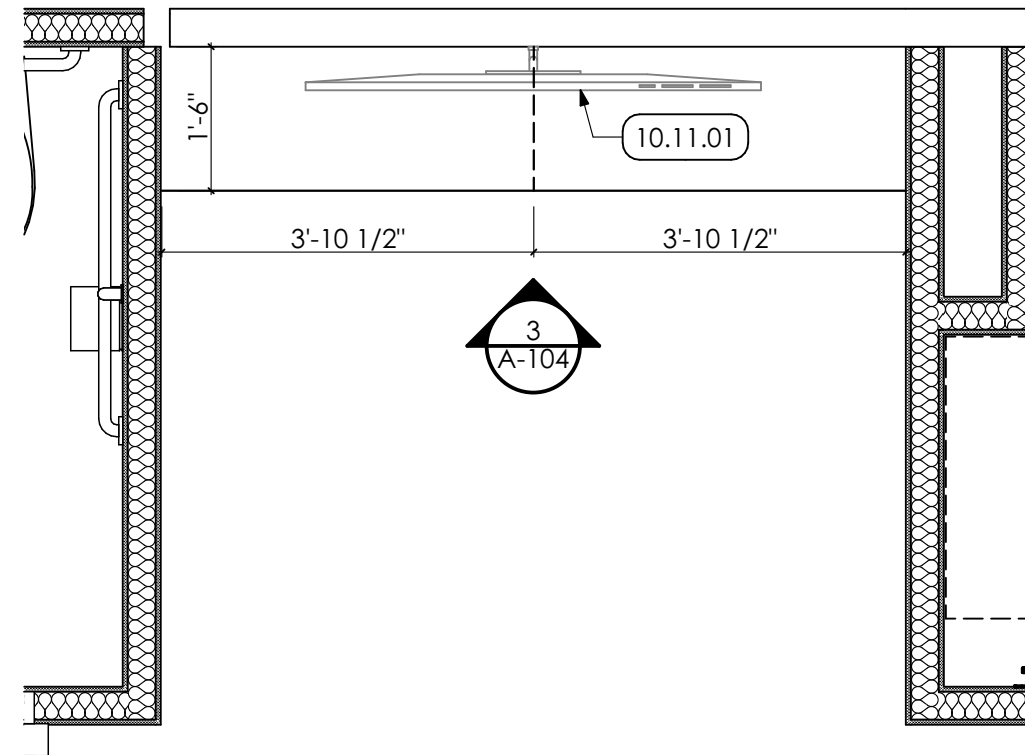
ENLARGED TOILET ROOM PLANS

A-103

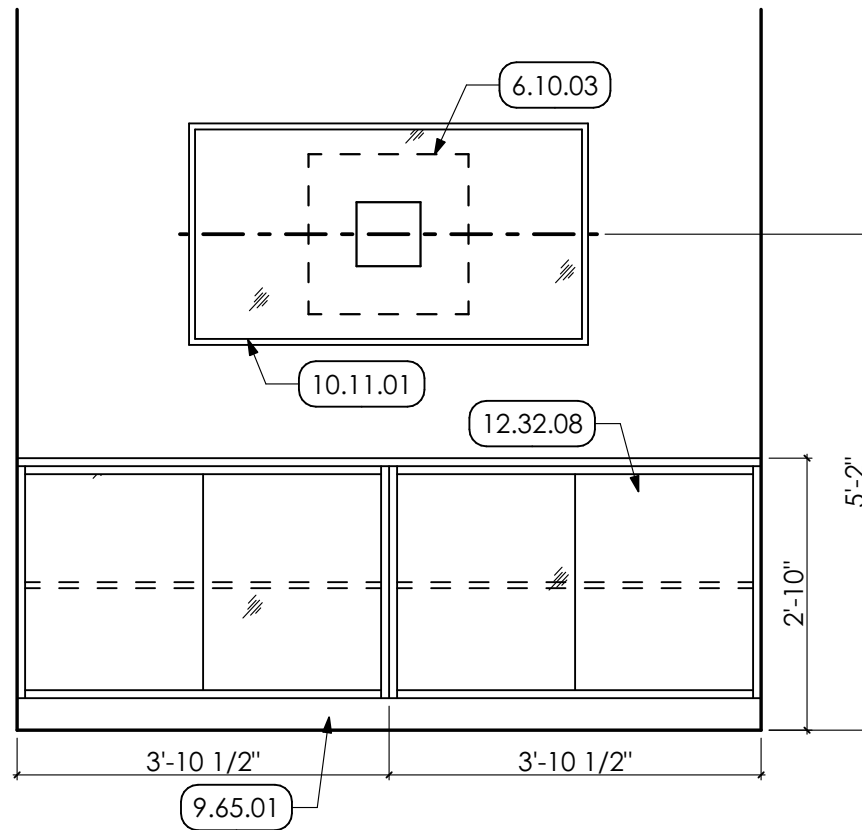
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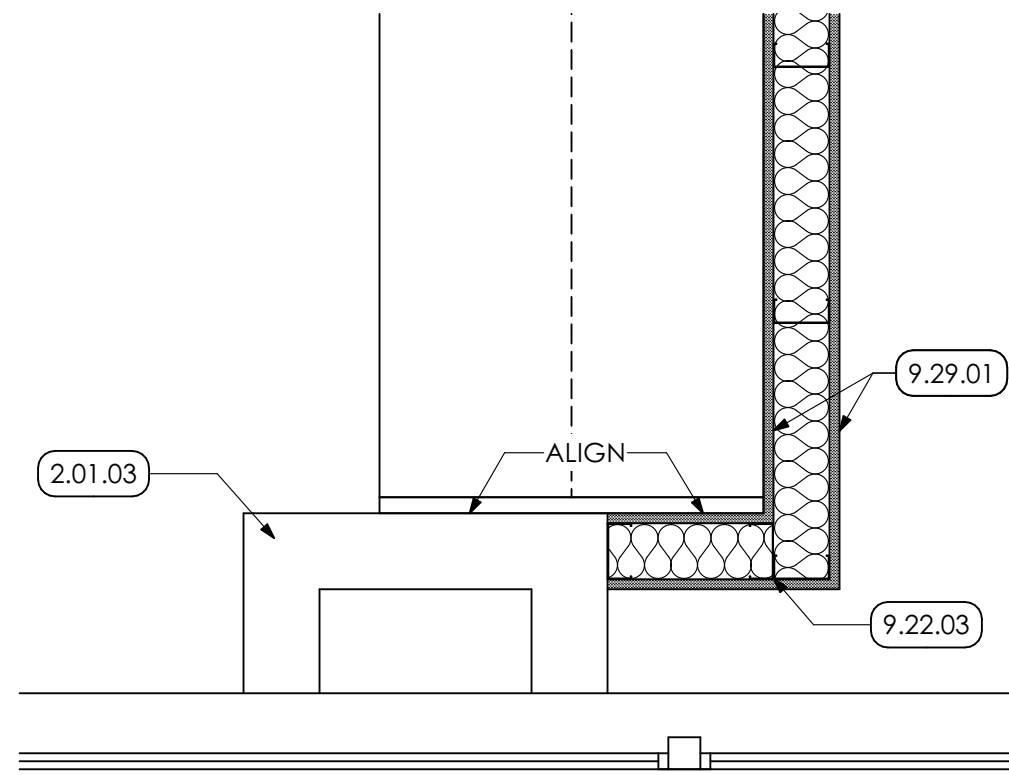
1 ENLARGED DESK FLOOR PLAN
SCALE: 1/2" = 1'-0"



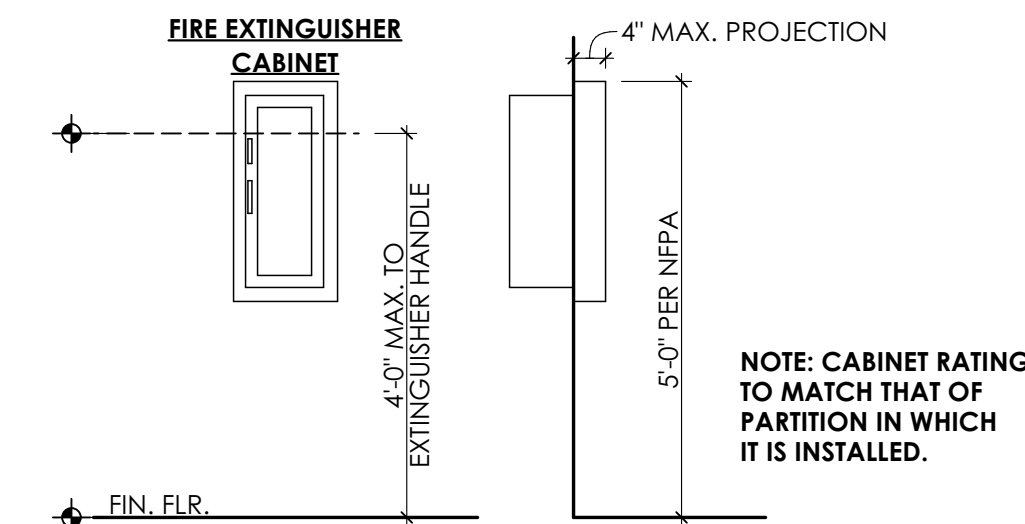
2 ENLARGED PLAN
SCALE: 1/2" = 1'-0"



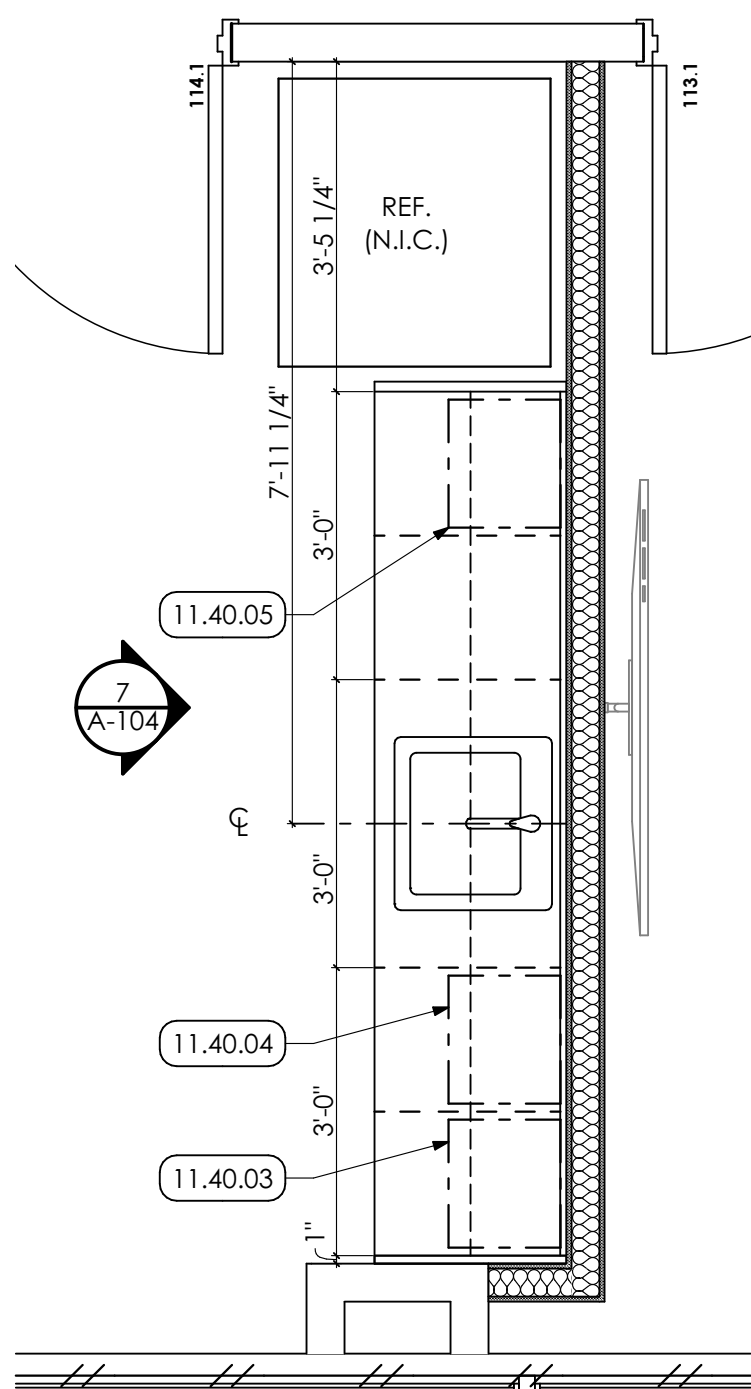
3 CASEWORK DETAIL
SCALE: 1/2" = 1'-0"



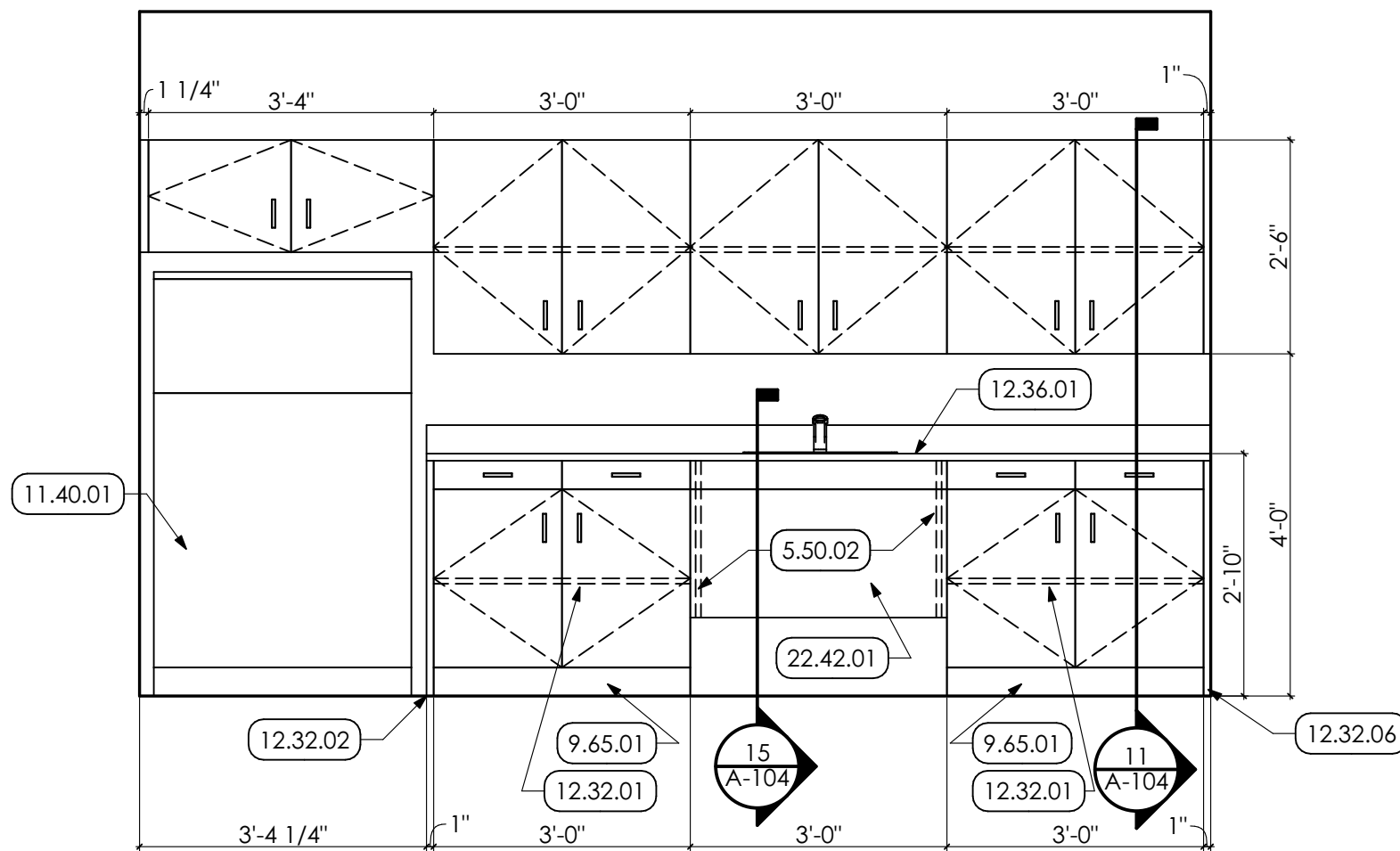
4 DETAIL
SCALE: 1" = 1'-0"



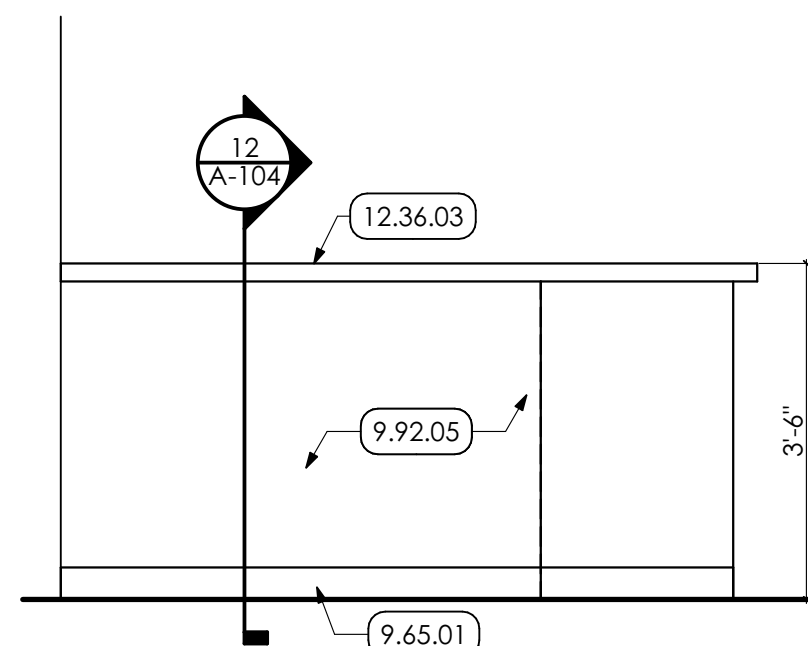
5 FIRE EXTINGUISHER DETAIL
SCALE: 1/2" = 1'-0"



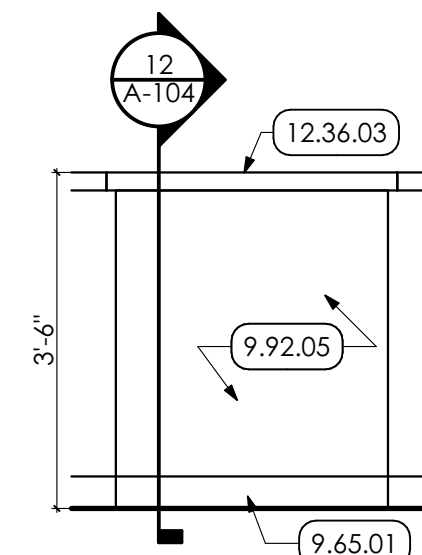
6 ENLARGED BREAK ROOM PLAN
SCALE: 1/2" = 1'-0"



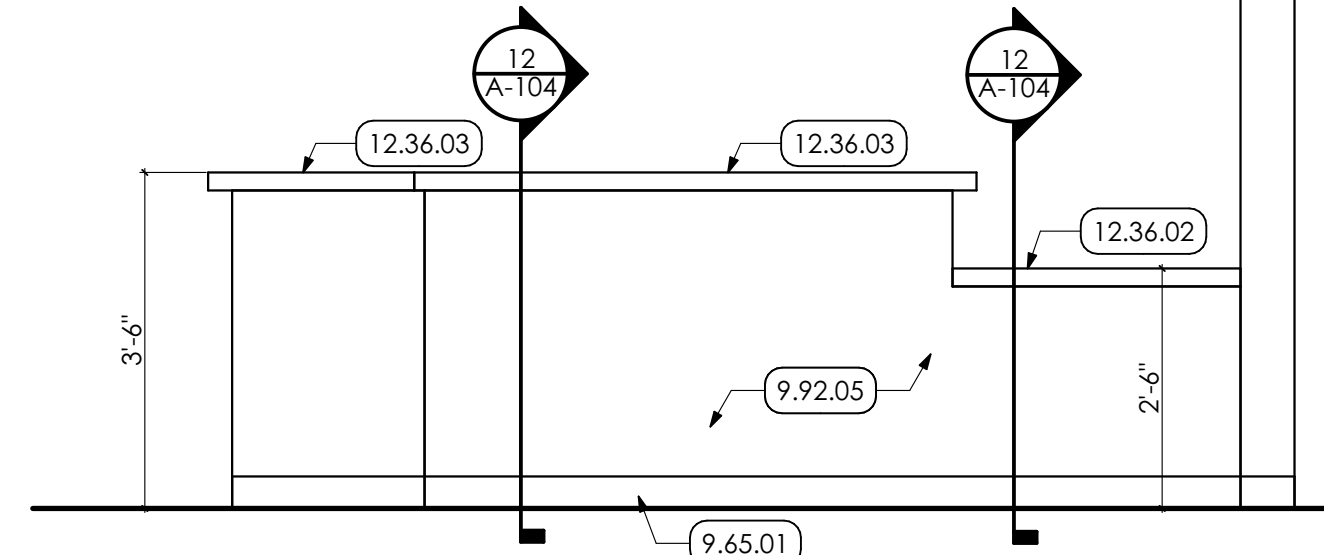
7 CASEWORK DETAIL
SCALE: 1/2" = 1'-0"



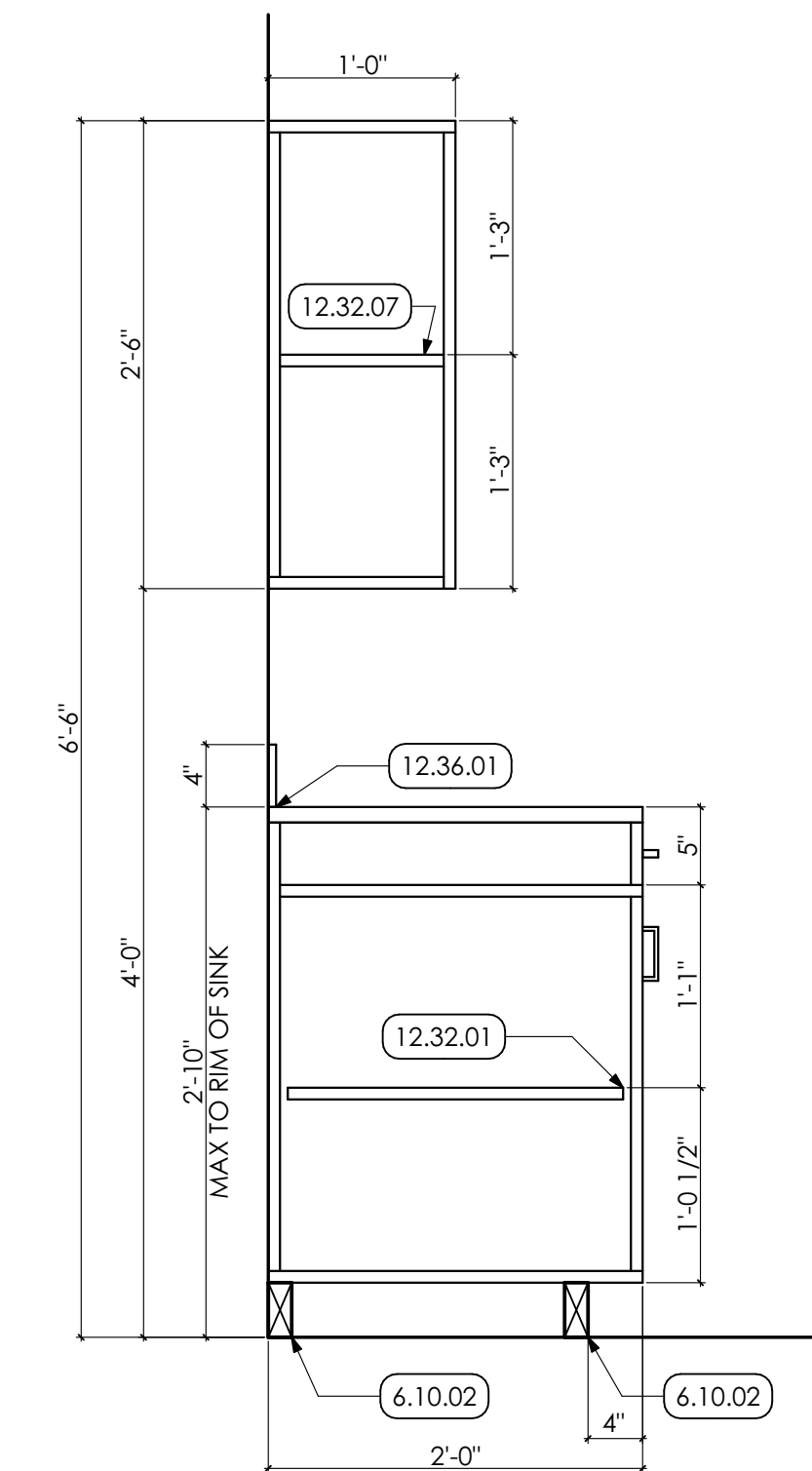
8 DETAIL
SCALE: 1/2" = 1'-0"



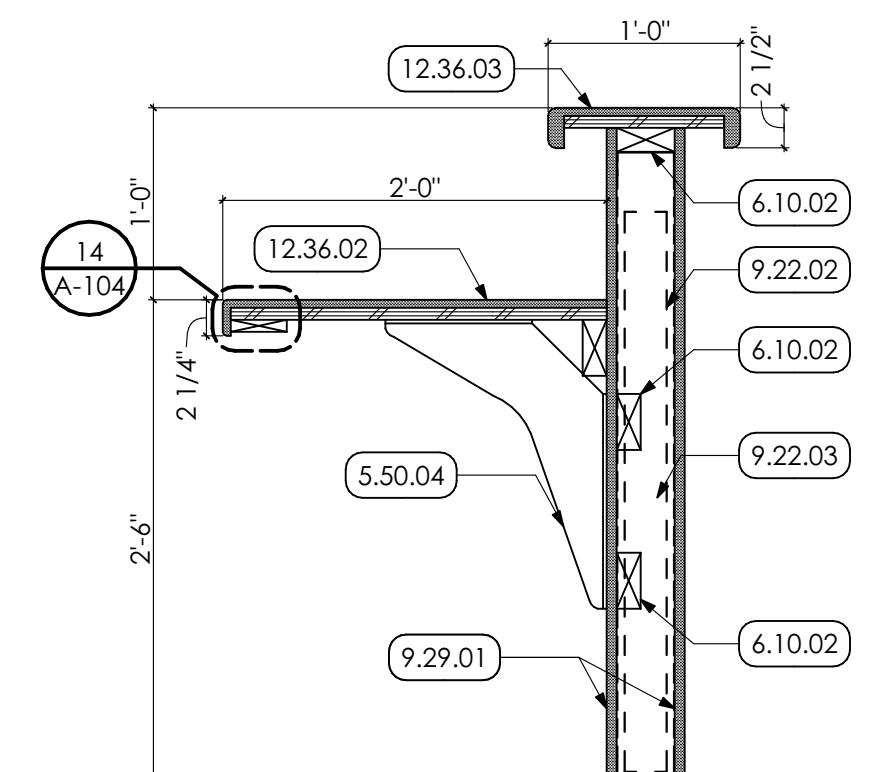
9 DETAIL
SCALE: 1/2" = 1'-0"



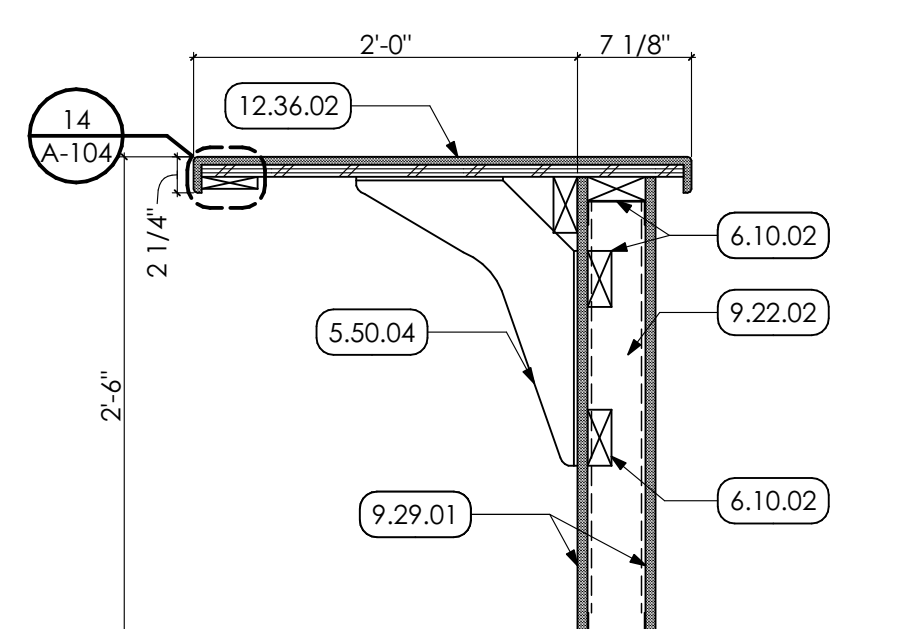
10 DETAIL
SCALE: 1/2" = 1'-0"



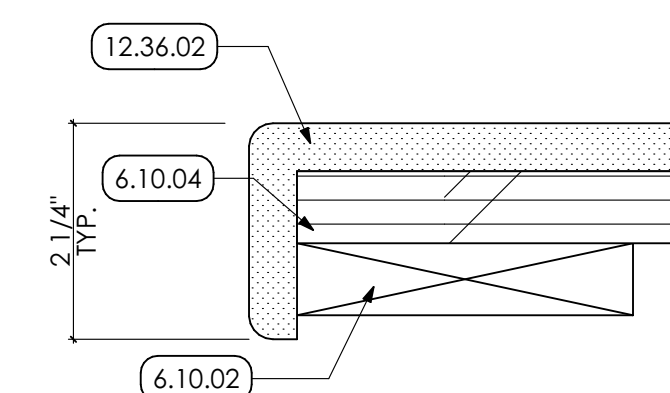
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SCALE: 1" = 1'-0"



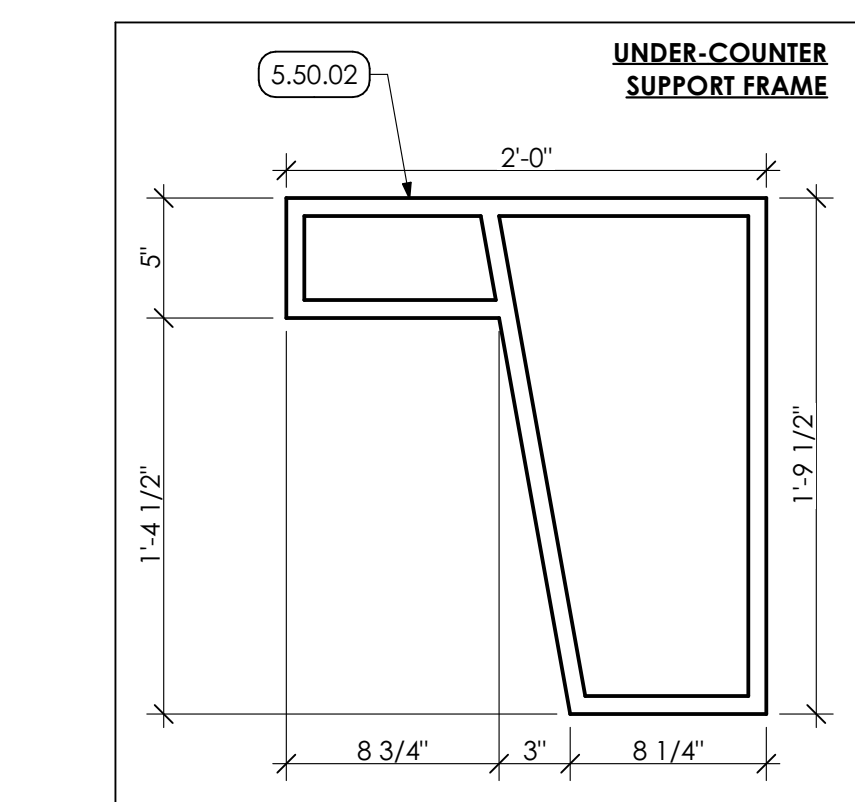
12 SECTION
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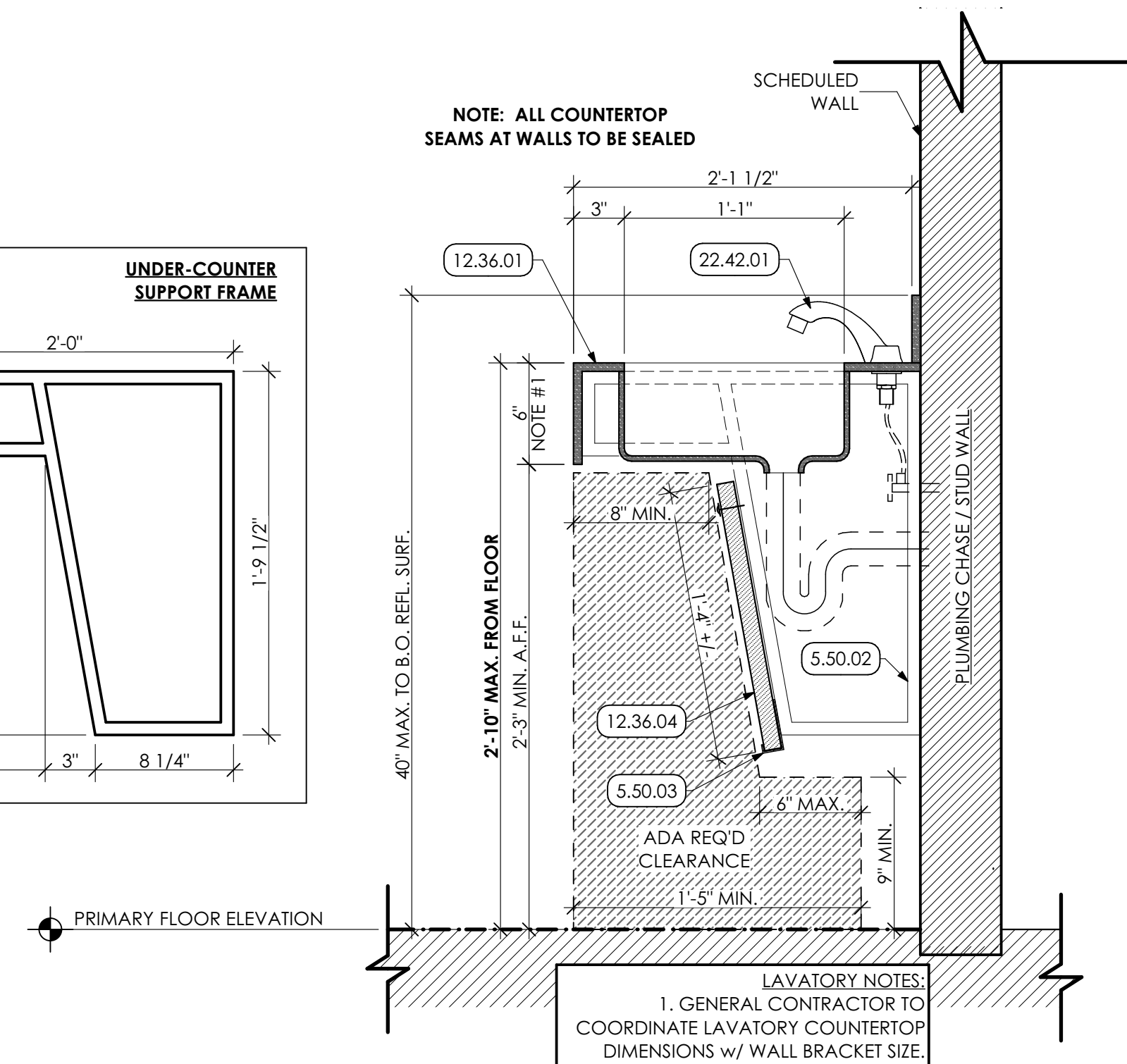
13 SECTION
SCALE: 1" = 1'-0"



14 DETAIL
SCALE: 6" = 1'-0"



15 DETAIL
SCALE: 1 1/2" = 1'-0"

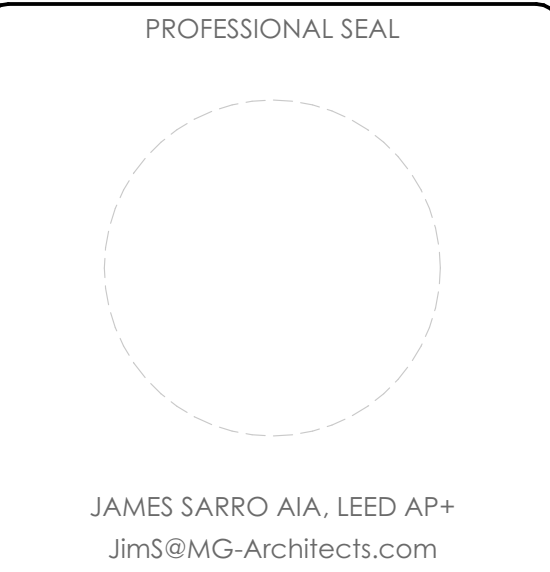


KEYED NOTES

- 02 DEMOLITION**
2.01.03 EXISTING WALL TO REMAIN.
2.01.12 EXISTING TV TO REMAIN.
- 05 METALS**
5.50 METAL FABRICATIONS
5.50.02 14ga. GALVANIZED STEEL COUNTERTOP SUPPORT. FABRICATE FRAME 2" WIDE 14ga. STEEL CHANNELS AND SECURELY BOLT 3 LOCATIONS EACH SUPPORT TO STUDS OR BLOCKING IN WALL FRAME. PRIOR TO FABRICATION, COORDINATE FINAL DIMENSIONS w/ LAVATORY COUNTERTOP FABRICATOR AND IN-FIELD CONDITIONS. SUPPORT FRAME TO CONFORM TO ANSI 117.1 DIMENSIONAL REQUIREMENTS.
- 5.50.03 20ga. CONTINUOUS ALUMINUM J-CHANNEL ATTACHED TO UNDER COUNTER SUPPORTS. SIZE TO ACCEPT 1" THICK COVER PANEL. UNDER COUNTER SUPPORT BASIS OF DESIGN: ADA VANITY BRACKET BY A&M HARDWARE INC.
- 5.50.04 ADA COMPLIANT UNDER COUNTER SUPPORT BRACKETS.
- 06 WOODS, PLASTICS AND COMPOSITES**
6.10 ROUGH CARPENTRY | SPEC 061053
6.10.02 PROVIDE 2X WOOD BLOCKING AS REQUIRED.
6.10.03 PROVIDE WOOD BLOCKING IN PARTITION FOR MONITOR MOUNTING BRACKET.
6.10.04 3/4" PLYWOOD.
- 09 FINISHES**
9.22 NON-STRUCTURAL METAL FRAMING | SPEC 092216
9.22.01 3 5/8" METAL STUD SOFFIT FRAMING @16" O.C.
9.22.02 PONYWALL SUPPORT @ 48" O.C.
9.22.03 3 5/8" NON-STRUCTURAL METAL STUD FRAMING @ 16" O.C.
- 9.29 GYPSUM BOARD | SPEC 092900**
9.29.01 5/8" GYPSUM BOARD.
- 9.65 RESILIENT FLOORING | SPEC 096513**
9.65.01 4" RUBBER BASE CONTINUOUS FOR PERIMETER OF ROOM.
- 9.92 INTERIOR PAINTING | SPEC 099123**
9.92.05 PREP, PRIME, AND PAINT (TWO (2) COATS) ENTIRE WALL UNLESS OTHERWISE SPECIFIED.
- 10 SPECIALTIES**
10.11 VISUAL DISPLAY UNITS
10.11.01 DISPLAY SCREEN WITH WALL MOUNT SUPPORT BY OWNER.
- 11 EQUIPMENT**
11.40 FOOD SERVICE EQUIPMENT
11.40.01 REFRIGERATOR (N.I.C.)
11.40.03 MICROWAVE (BY OWNER)
11.40.04 COUNTERTOP OVEN (BY OWNER)
11.40.05 COFFEE MAKER (OWNER).
- 12 FURNISHINGS**
12.32 MANUFACTURED CASEWORK | SPEC 123216
12.32.01 PREMANUFACTURED PLASTIC LAMINATE BASE CABINET W/ ADJUSTABLE SHELF.
12.32.02 FINISHED END PANEL.
12.32.03 UNDER COUNTERTOP SHELVING.
12.32.04 CASEWORK COUNTERTOP FRAMING.
12.32.06 1" FILLER PANEL.
12.32.07 PREMANUFACTURED PLASTIC LAMINATE WALL CABINET W/ ADJUSTABLE SHELF.
12.32.08 PREMANUFACTURED PLASTIC LAMINATE DISPLAY CABINET W/ ADJUSTABLE SHELF AND SLIDING GLASS DOOR.
- 12.36 COUNTERTOPS | SPEC 123666.16**
12.36.01 SOLID SURFACE COUNTERTOP W/ 4" BACKSLASH.
12.36.02 SOLID SURFACE COUNTERTOP.
12.36.03 SOLID SURFACE WALL CAP.
12.36.04 1'-4" HT. x 1" THICK SOLID SURFACE PANEL ATTACHED TO FACE OF UNDER COUNTER MOUNTING BRACKETS AND SET IN CONTINUOUS ALUMINUM J-CHANNEL. PROVIDE CONTINUOUS PANEL ALONG UNDERSIDE OF SINK. PROVIDE STAINLESS STEEL SECURITY FASTENERS AND WASHERS AT EACH CORNER.
- 22 PLUMBING**
22.42 COMMERCIAL PLUMBING FIXTURES
22.42.01 WALL MOUNTED ADA-COMPLIANT UNDERMOUNT STAINLESS STEEL SINK AND FAUCET. BY P.C. COORDINATE WITH PLUMBING DRAWINGS.



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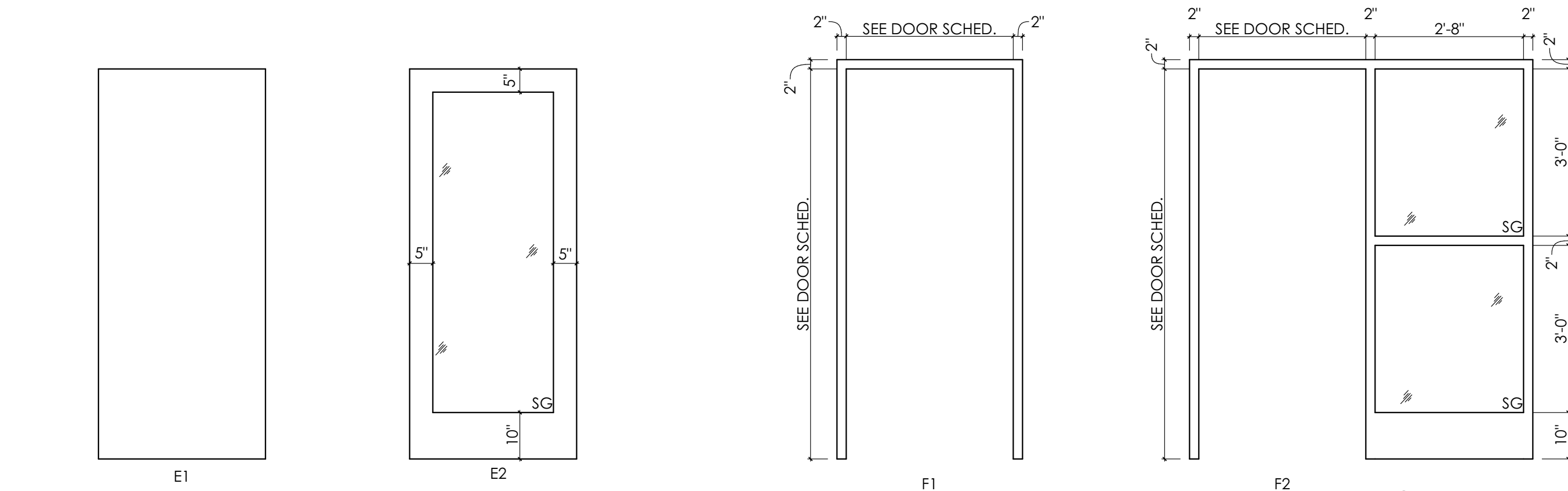
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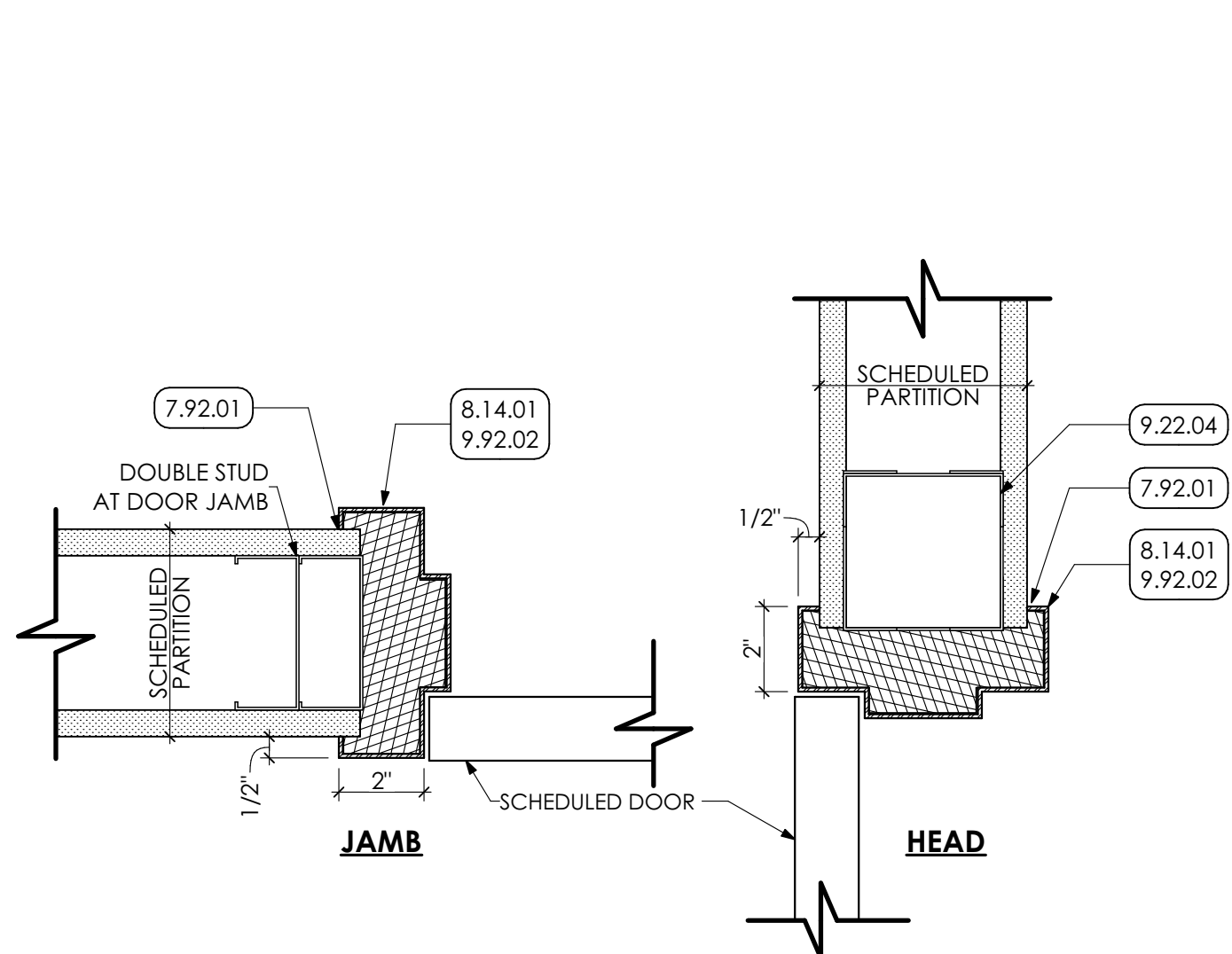
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SHEET TITLE:
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PLANS
A-104

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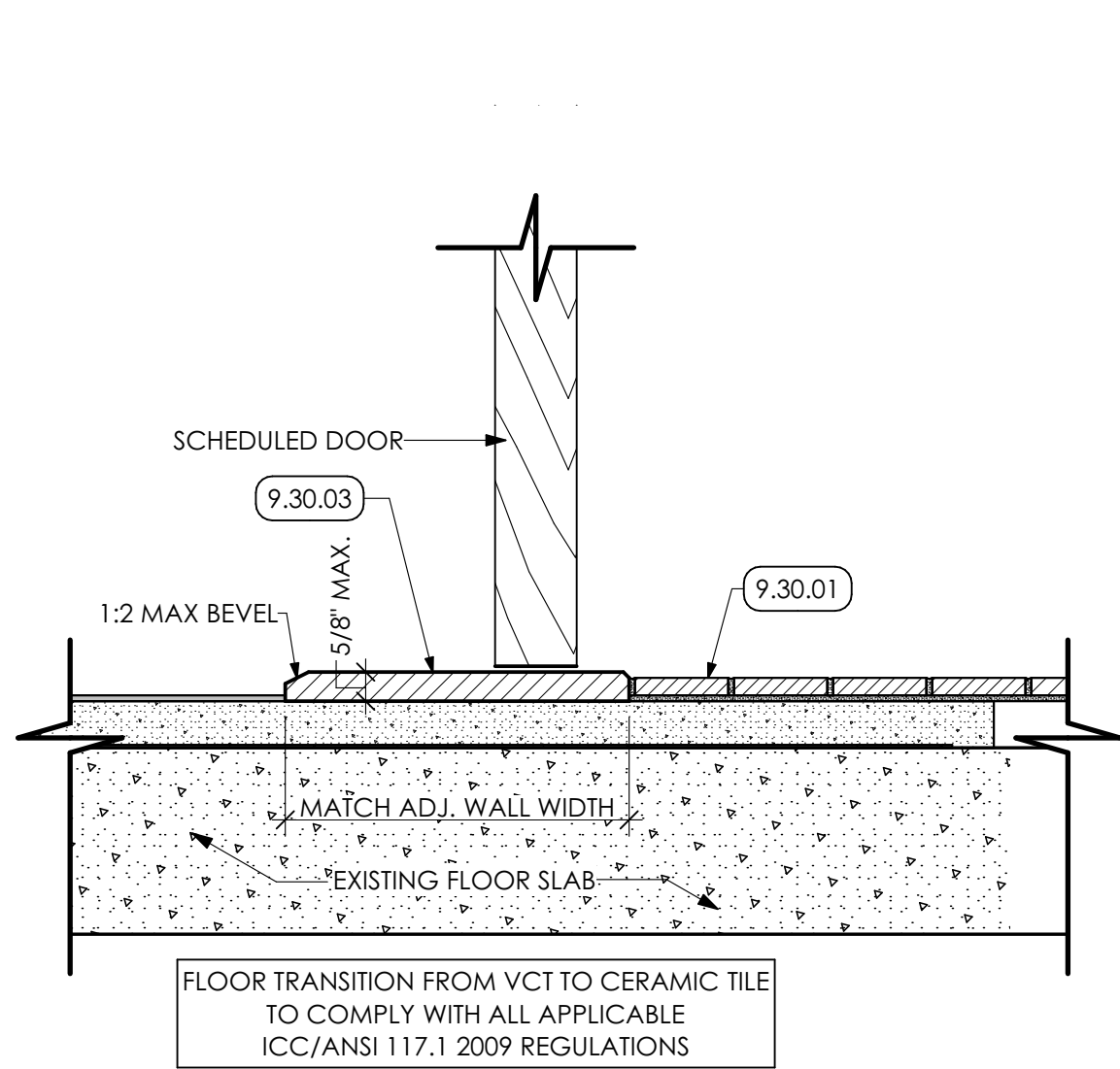


1 DOOR PANEL | SPEC. 081416
SCALE: 1/2" = 1'-0"

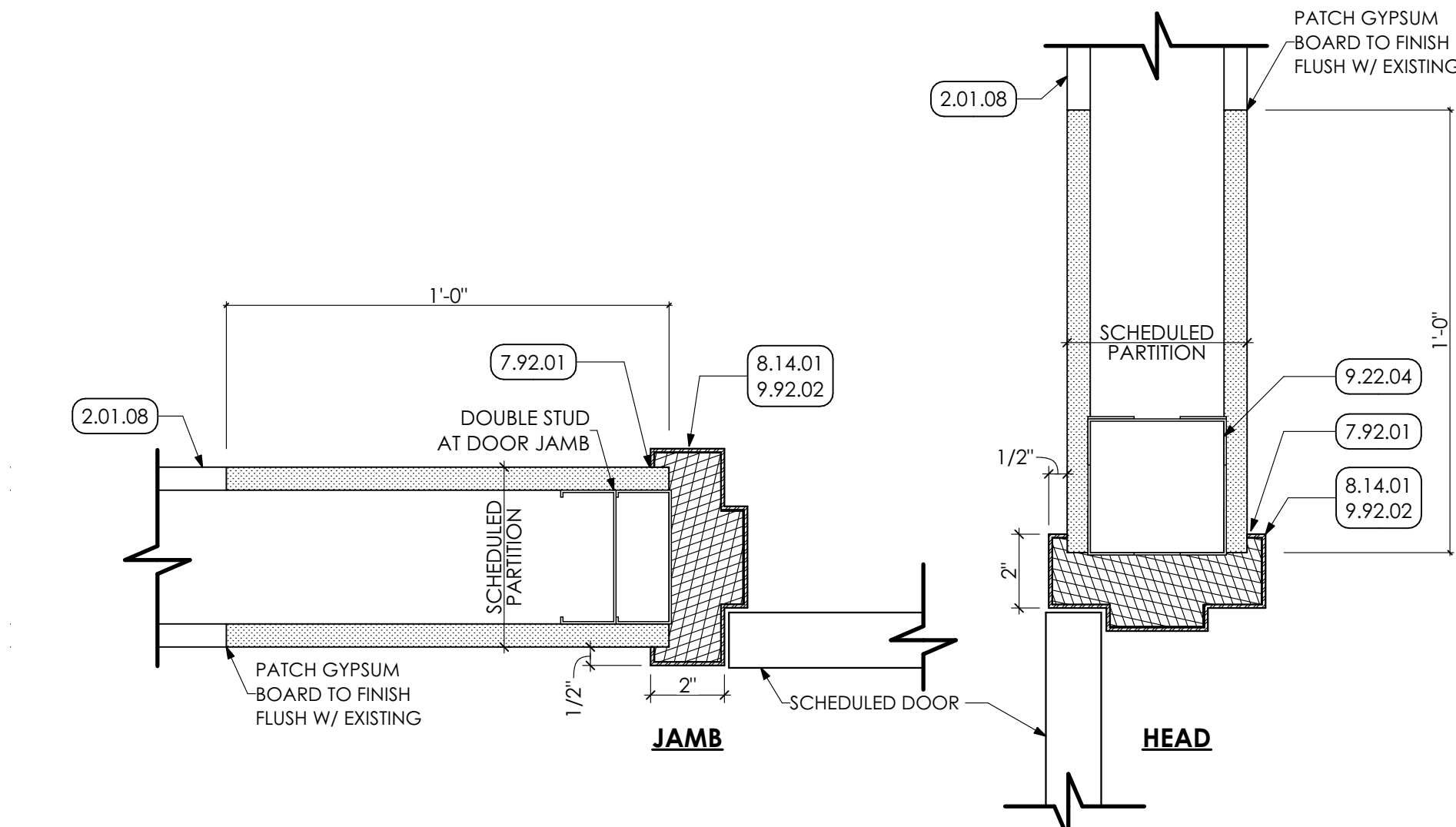
2 DOOR FRAME | SPEC. 081113
SCALE: 1/2" = 1'-0"



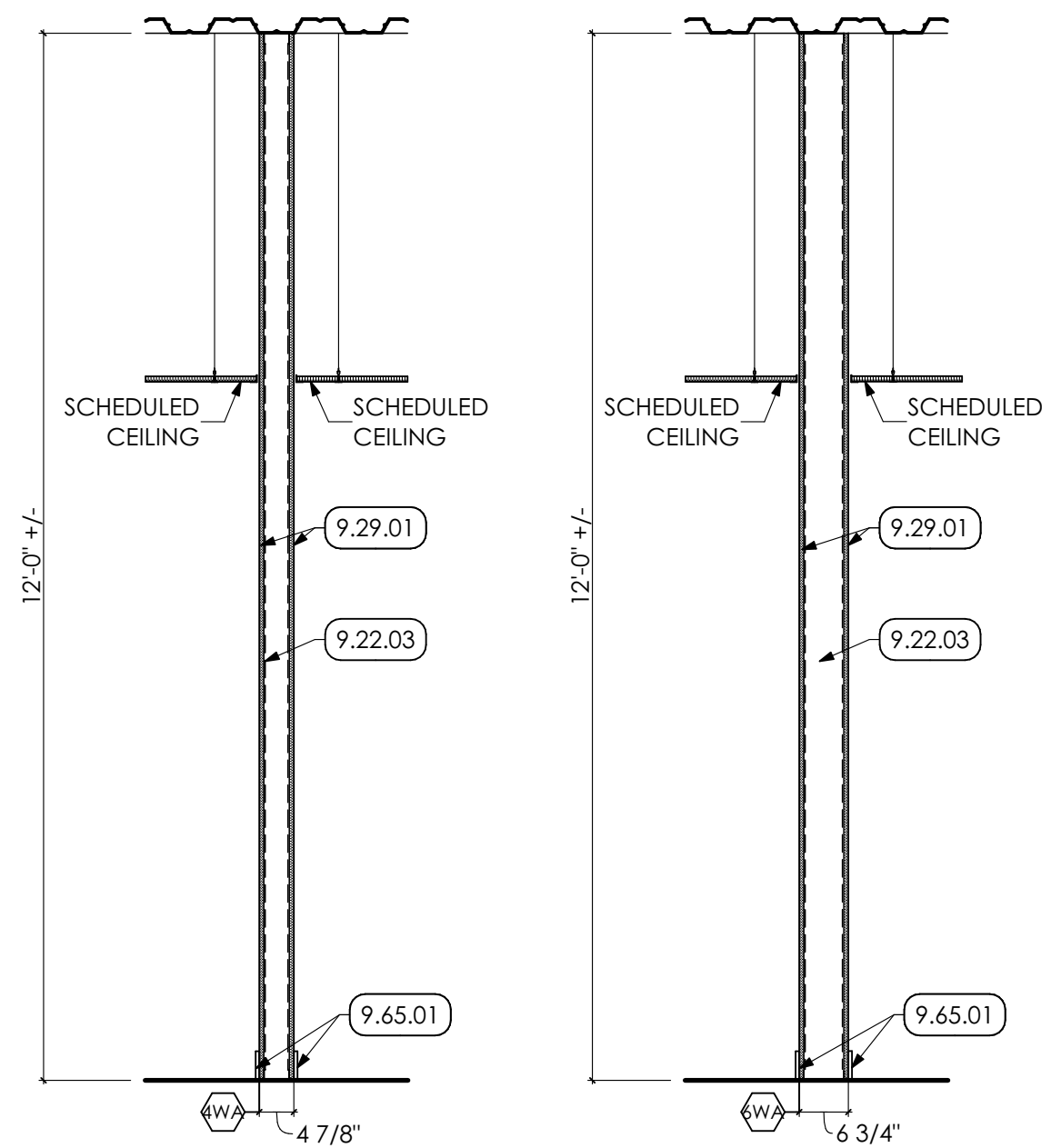
3 DOOR HEAD AND JAMB
SCALE: 3" = 1'-0"



4 THRESHOLD DETAIL
SCALE: 3" = 1'-0"



5 EXISTING DOOR HEAR AND FRAME
SCALE: 3" = 1'-0"



7 PARTITION TYPE DETAIL
SCALE: 1/2" = 1'-0"

DOOR AND FRAME SCHEDULE												
ID	ROOM NAME	PANEL			SIZE			FRAME		DETAIL		NOTES
		EL	MATL	W	HT	THK	EL	MATL	HEAD	JAMB	SET NO	
105.1	TOILET ROOM	E1	WD	3'-0"	7'-0"	1 3/4"	F1	HM	A-601	A-601	1	
106.1	TOILET ROOM	E1	WD	3'-0"	7'-0"	1 3/4"	F1	HM	A-601	A-601	1	
107.1	PILOTS TOILET	E1	WD	3'-0"	7'-0"	1 3/4"	F1	HM	A-601	A-601	1	
108.1	PILOTS OFFICE	E1	WD	3'-0"	7'-0"	1 3/4"	F1	HM	A-601	A-601	2	
113.1	CONFERENCE ROOM	E2	WD/GLASS	3'-0"	7'-0"	1 3/4"	F2	HM	A-601	A-601	2	
114.1	BREAK RM.	E1	WD	3'-0"	7'-0"	1 3/4"	F1	HM	A-601	A-601	4	
115.1	EXIST PILOT LOUNGE	E2	WD/GLASS	3'-0"	7'-0"	1 3/4"	F2	HM	A-601	A-601	4	
115.2	EXIST PILOT LOUNGE	E1	WD	3'-0"	7'-0"	1 3/4"	F1	HM	A-601	A-601	3	

DOOR SCHEDULE LEGEND

HM - HOLLOW METAL
WD - WOOD

HARDWARE SETS | SPEC. 087100

SET NO. 1 1 1/2" PAIR HINGES; CLOSER; DOOR STOP, SILENCERS, PRIVACY HARDWARE
SET NO. 2 1 1/2" PAIR HINGES; DOOR STOP, SILENCERS, PASSAGE HARDWARE
SET NO. 3 1 1/2" PAIR HINGES; CLOSER; DOOR STOP, SILENCERS, PUSH/PULL PLATE
SET NO. 4 1 1/2" PAIR HINGES; SILENCERS, PASSAGE HARDWARE

KEYED NOTES

02 DEMOLITION
2.01 EXISTING GYPSUM BOARD TO REMAIN.
07 THERMAL AND MOISTURE PROTECTION
7.92 JOINT SEALANTS | SPEC 079200
7.92.01 CONTINUOUS SEALANT AROUND FRAME, BOTH SIDES.
08 OPENINGS
8.14 FLUSH WOOD DOORS | SPEC 081416
8.14.01 1 3/4" SOLID CORE WOOD DOOR.
09 FINISHES
9.22 NON-STRUCTURAL METAL FRAMING | SPEC 092216
9.22.03 3 5/8" NON-STRUCTURAL METAL STUD FRAMING @ 16" O.C.
9.22.04 METAL STUD BOX HEADER
9.29 GYPSUM BOARD | SPEC 092900
9.29.01 5/8" GYPSUM BOARD.
9.30 CERAMIC TILING | SPEC 093013
9.30.01 FLOOR TILE THROUGHOUT ROOM; PATCH AND REPAIR EXISTING CONCRETE SLAB TO PROVIDE A SUBSTRATE SUITABLE FOR INSTALLATION.
9.30.03 STONE THRESHOLD FOR WIDTH OF DOOR OPENING.
9.65 RESILIENT FLOORING | SPEC 096513
9.65.01 4" RUBBER BASE CONTINUOUS FOR PERIMETER OF ROOM.
9.92 INTERIOR PAINTING | SPEC 099123
9.92.02 PREP AND PAINT (TWO (2) COATS) ENTIRE DOOR AND FRAME.

GENERAL DOOR NOTES

- ALL METAL THRESHOLDS SHALL BE SET IN A BED OF SEALANT.
- PROVIDE SEALANT AT PERIMETER OF DOOR FRAMES.
- UNLESS OTHERWISE NOTED, ALL DOORS SHALL BE PREFINISHED, REFER TO SPECIFICATIONS.
- UNLESS NOTED "R.O." (ROUGH OPENING), DIMENSIONS REPRESENT UNIT SIZES. SEE SCHEDULE FOR DOOR TYPES AND HEIGHTS.
- SEE SCHEDULE FOR GLASS TYPES.



PROJECT #:
24-0022



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A	BID	8/01/24
1	CONSTRUCTION	10/10/24

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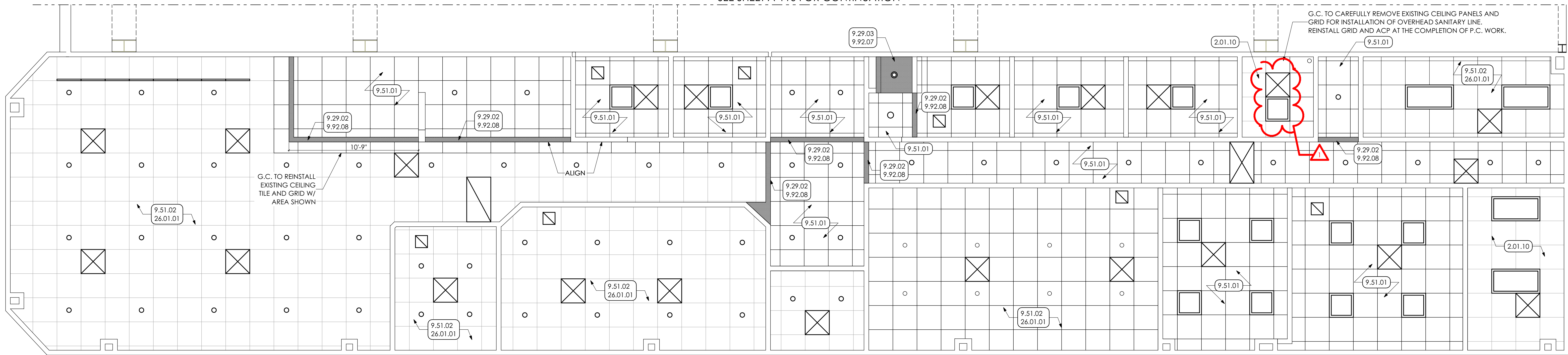
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SHEET TITLE:

SCHEDULES

A-105

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SEE SHEET A-110 FOR CONTINUATION



KEYED NOTES

- 02 DEMOLITION**
2.01 EXISTING CONDITIONS
09 FINISHES
9.22 NON-STRUCTURAL METAL FRAMING | SPEC 092216
3 5/8" NON-STRUCTURAL METAL STUD FRAMING @ 16" O.C.
9.29 GYPSUM BOARD | SPEC 092900
9.29.02 5/8" GYPSUM BOARD BULKHEAD OR SOFFIT.
9.29.03 5/8" MOLD RESISTANT GYPSUM BOARD.
9.51 ACOUSTIC CEILINGS | SPEC 095113
24" X 24" ACOUSTICAL CEILING PANELS AND SUSPENSION GRID THROUGHOUT SPACE.
9.51.01 REMOVE EXISTING ACP TILES AND PROVIDE NEW TILES IN EXISTING GRID.
9.51.02 **INTERIOR PAINTING | SPEC 091213**
9.51.07 PREP, PRIME, AND PAINT (TWO (2) COATS) GYP. BOARD WITH MOLD RESISTANT PAINT.
9.51.08 PREP, PRIME, AND PAINT (TWO (2) COATS) BULKHEAD/ SOFFIT UNLESS NOTED OTHERWISE. PAINT BULKHEAD/ SOFFIT FROM BOTTOM. BULKHEAD/ SOFFIT TO 4" ABOVE ACOUSTICAL CEILING OR TO UNDERSIDE OF DECK IN AREAS OF OPEN CEILING. IN AREA WITH EXISTING CEILING, PAINT TO UNDERSIDE OF EXISTING GRID.
26 ELECTRICAL
26.01.01 E.C. TO DISCONNECT EXISTING LIGHTS AND CAREFULLY REMOVE AND STORE FOR REINSTALLATION. IN AREAS TO RECEIVE NEW ACP, REINSTALL EXISTING LIGHTS AFTER ACP IS INSTALLED.



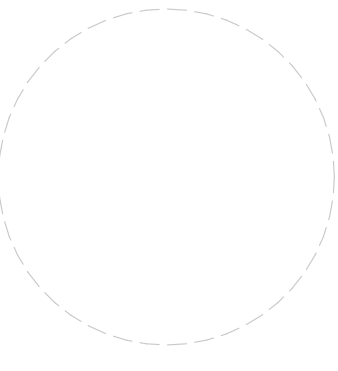
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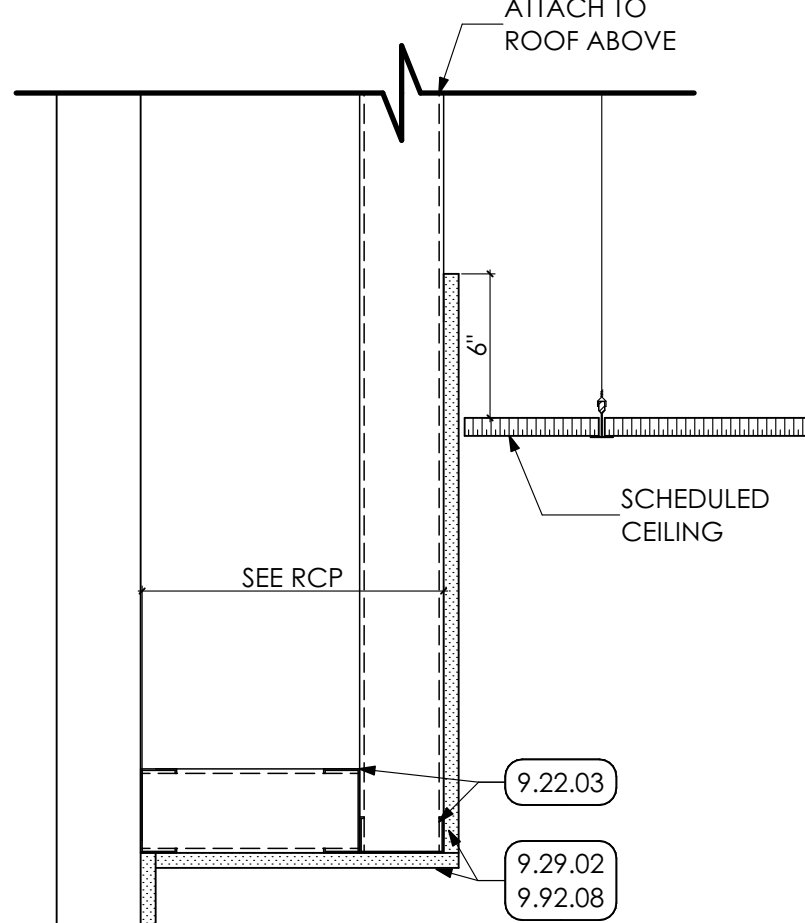
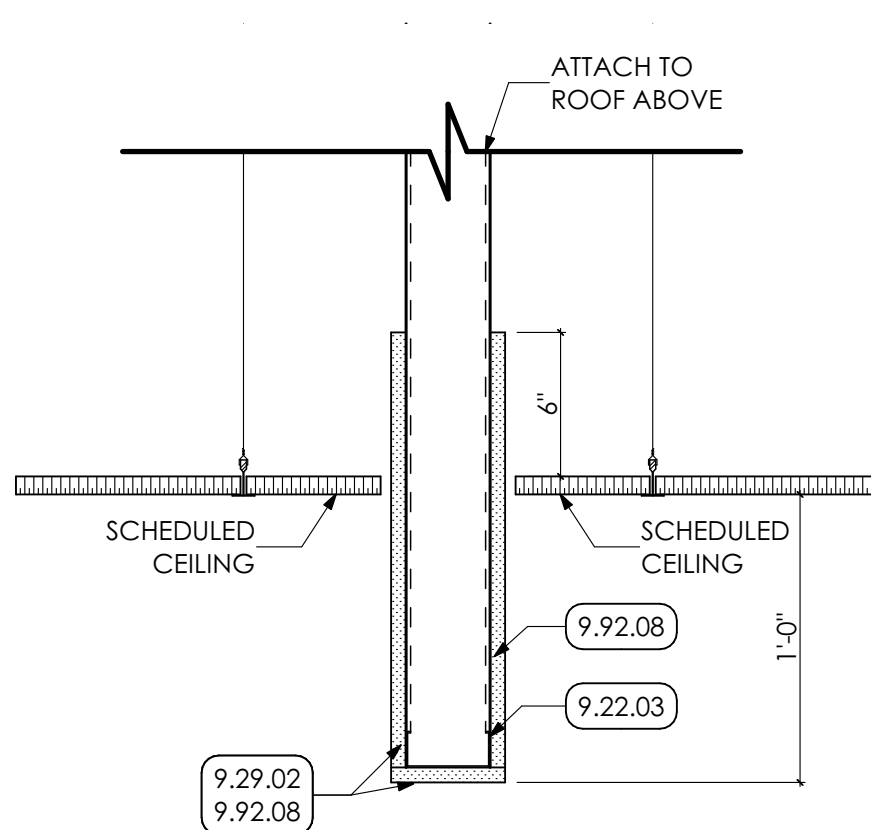
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1 REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



2 BULKHEAD DETAIL

SCALE: 1 1/2" = 1'-0"

3 SOFFIT DETAIL

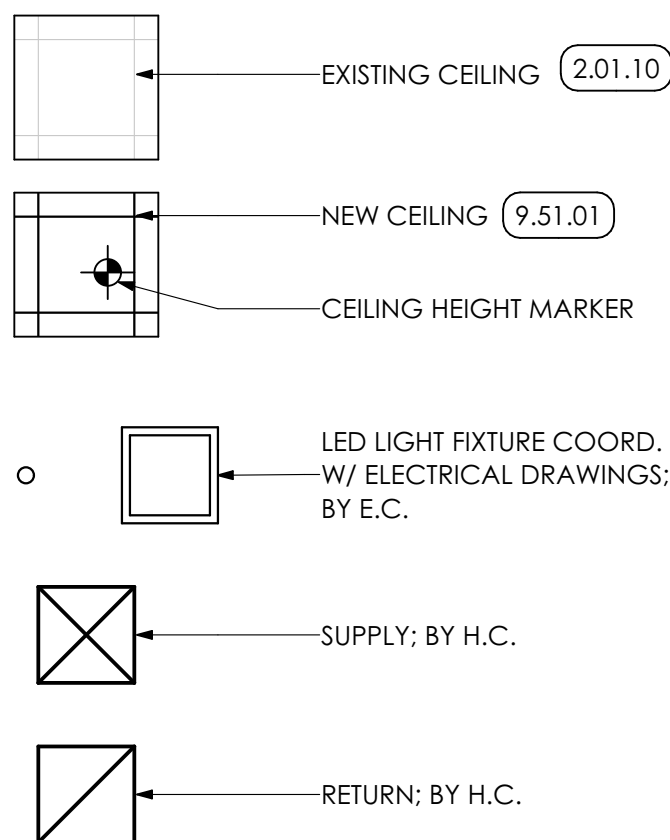
SCALE: 1 1/2" = 1'-0"

GENERAL SHEET NOTES:

1. FIXTURES SHALL BE CENTERED IN SOFFITS AND CEILING GRIDS UNLESS NOTED OTHERWISE. COORDINATE WITH ENGINEERING DRAWINGS.
2. WHERE THERE IS A DISCREPANCY BETWEEN THE REFLECTED CEILING PLAN AND FIRE PROTECTION, FIRE ALARM, AND/OR LIGHTING PLANS, THE ENGINEERING PLANS SHALL TAKE PRECEDENCE, EXCEPT IF LIGHTING LAYOUTS SHOWN ARE IMPACTED, IN THAT CASE CONSULT THE ARCHITECT.
3. SUSPENDED ACOUSTICAL CEILING PANELS ARE TO BE 9'-0" A.F.F. UNLESS NOTED OTHERWISE.
4. SOFFITS AND BULKHEADS ARE TO BE 8'-0" HIGH, UNLESS NOTED OTHERWISE.

REFLECTED CEILING

PLAN LEGEND



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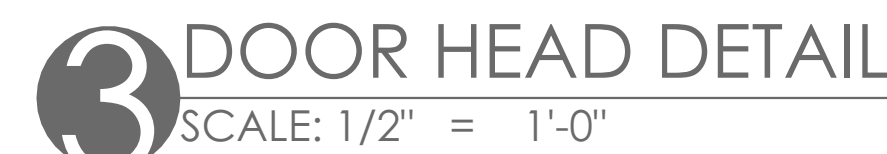
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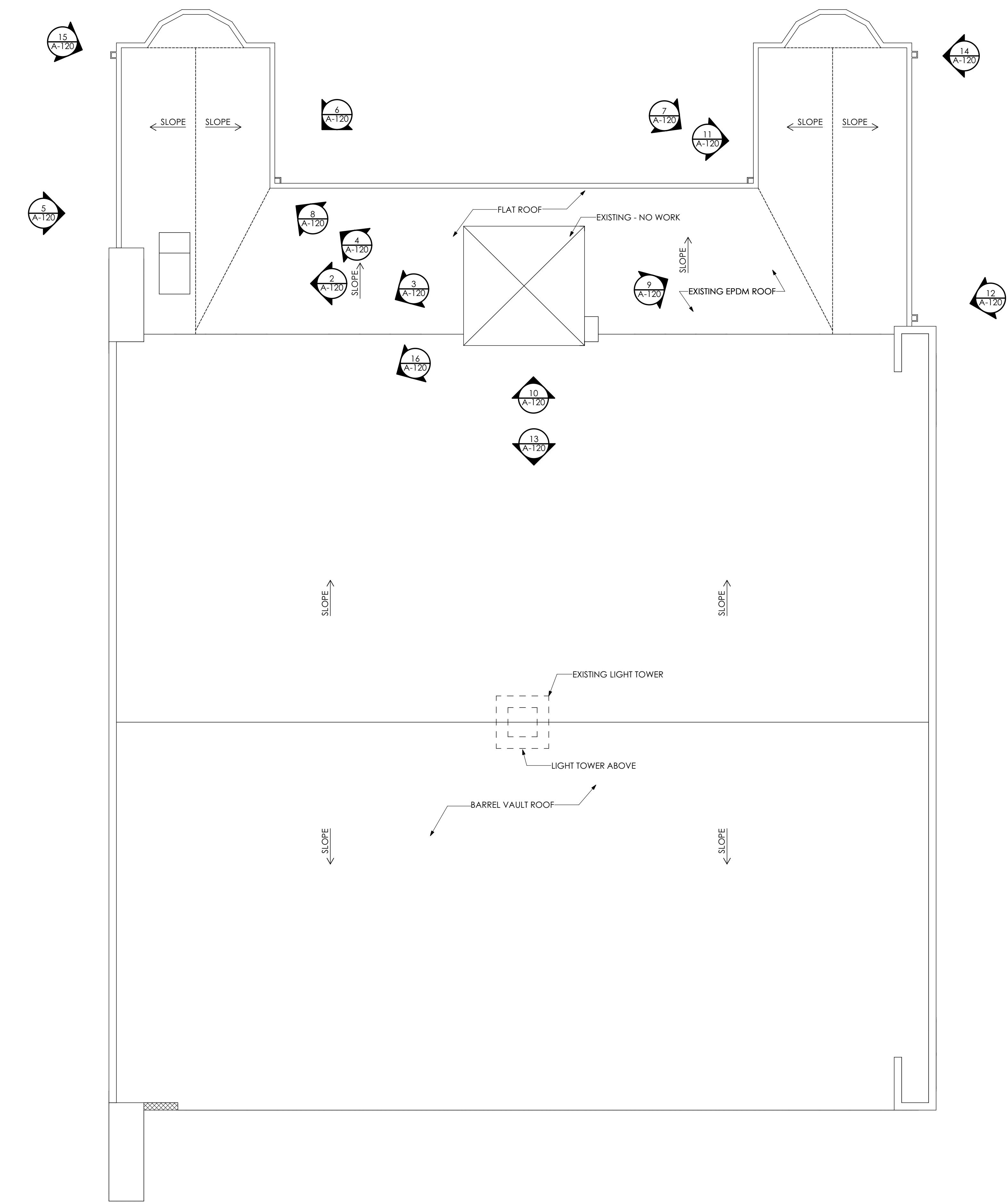
REFLECTED
CEILING PLAN

A-106



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1 PHOTO KEY PLAN
SCALE: 1/8" = 1'-0"



2 PHOTO



3 PHOTO



4 PHOTO



5 PHOTO



6 PHOTO



7 PHOTO



8 PHOTO



9 PHOTO



10 PHOTO



11 PHOTO



12 PHOTO



13 PHOTO



14 PHOTO



15 PHOTO



16 PHOTO



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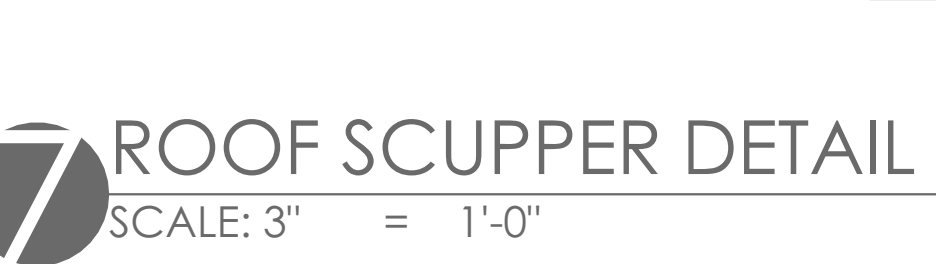
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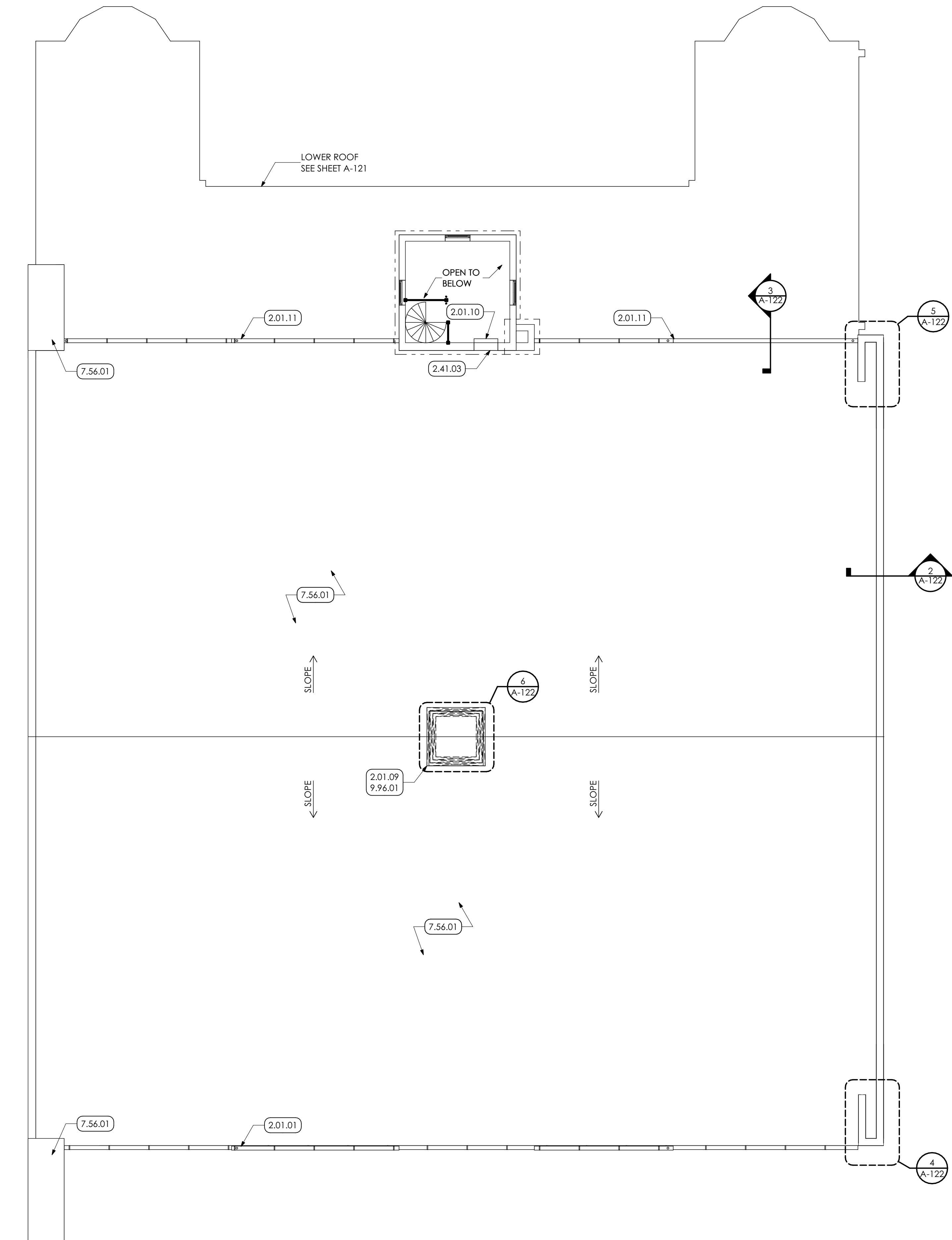
A-120

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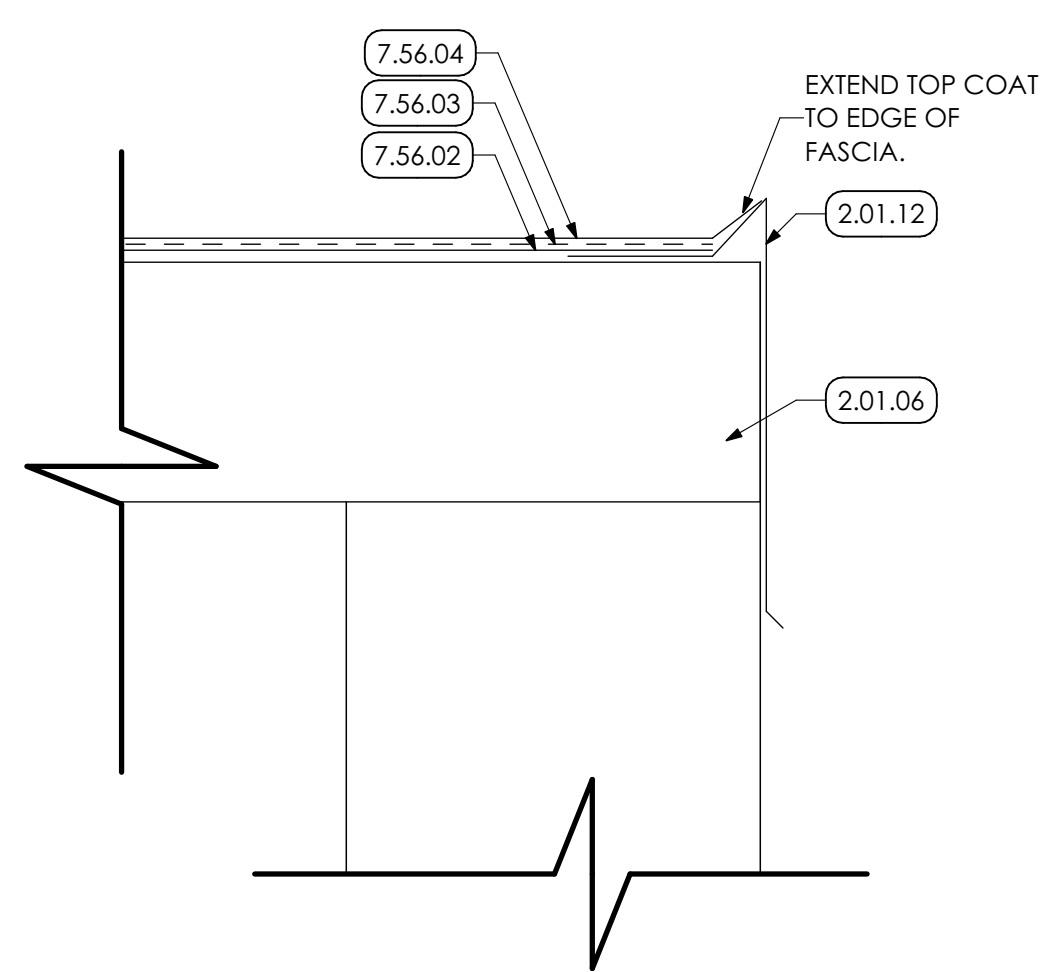


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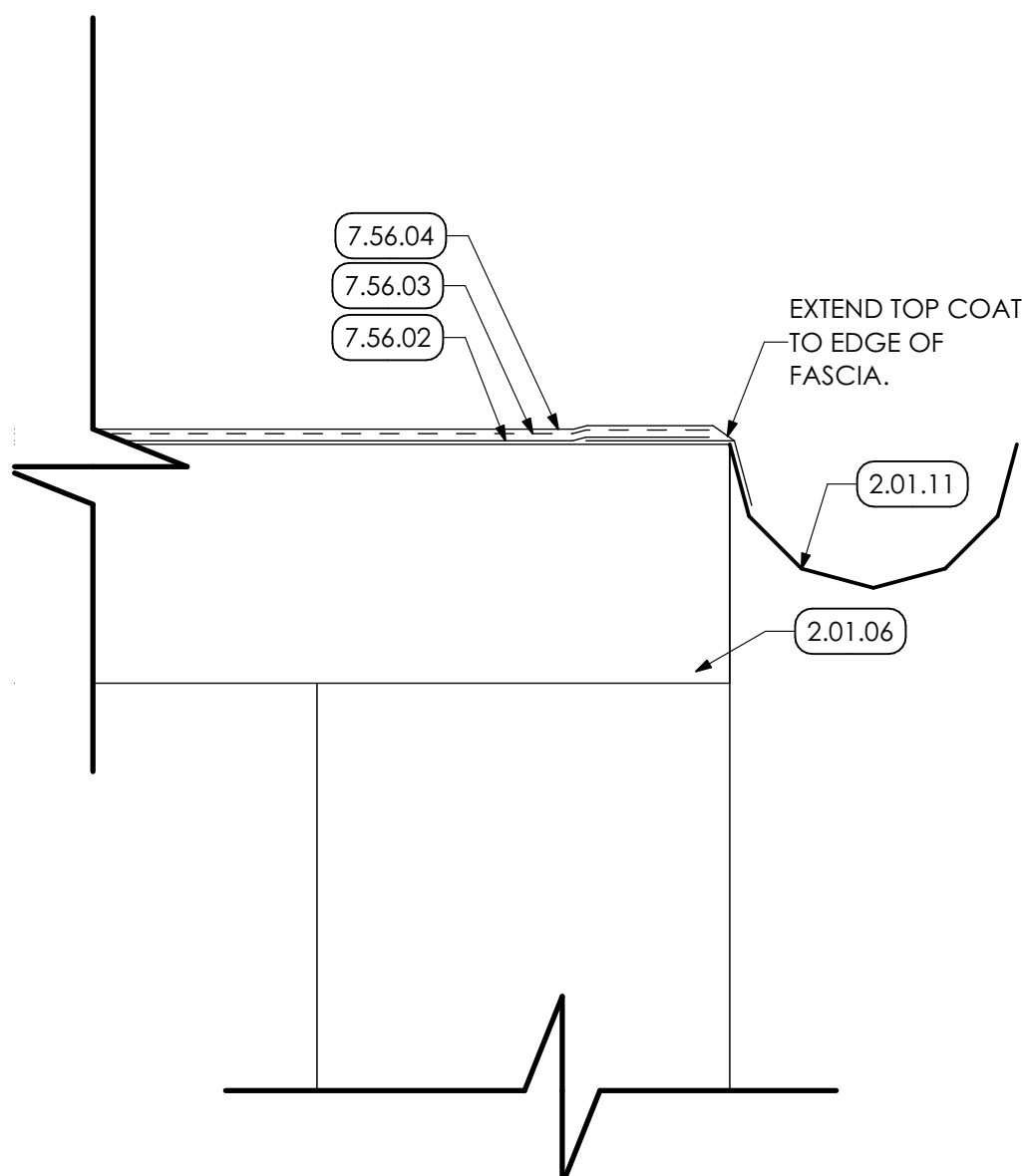
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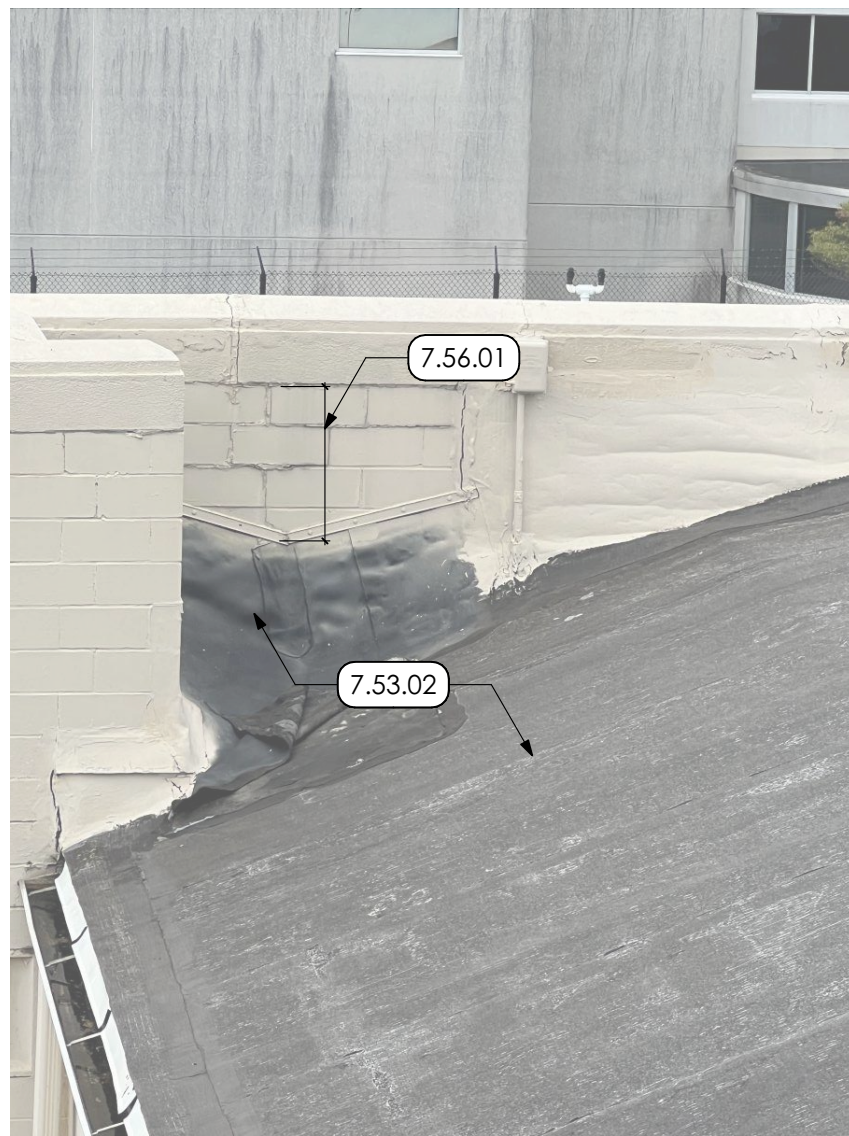
1 UPPER ROOF PLAN
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2 ROOF EDGE DETAIL
SCALE: 3" = 1'-0"



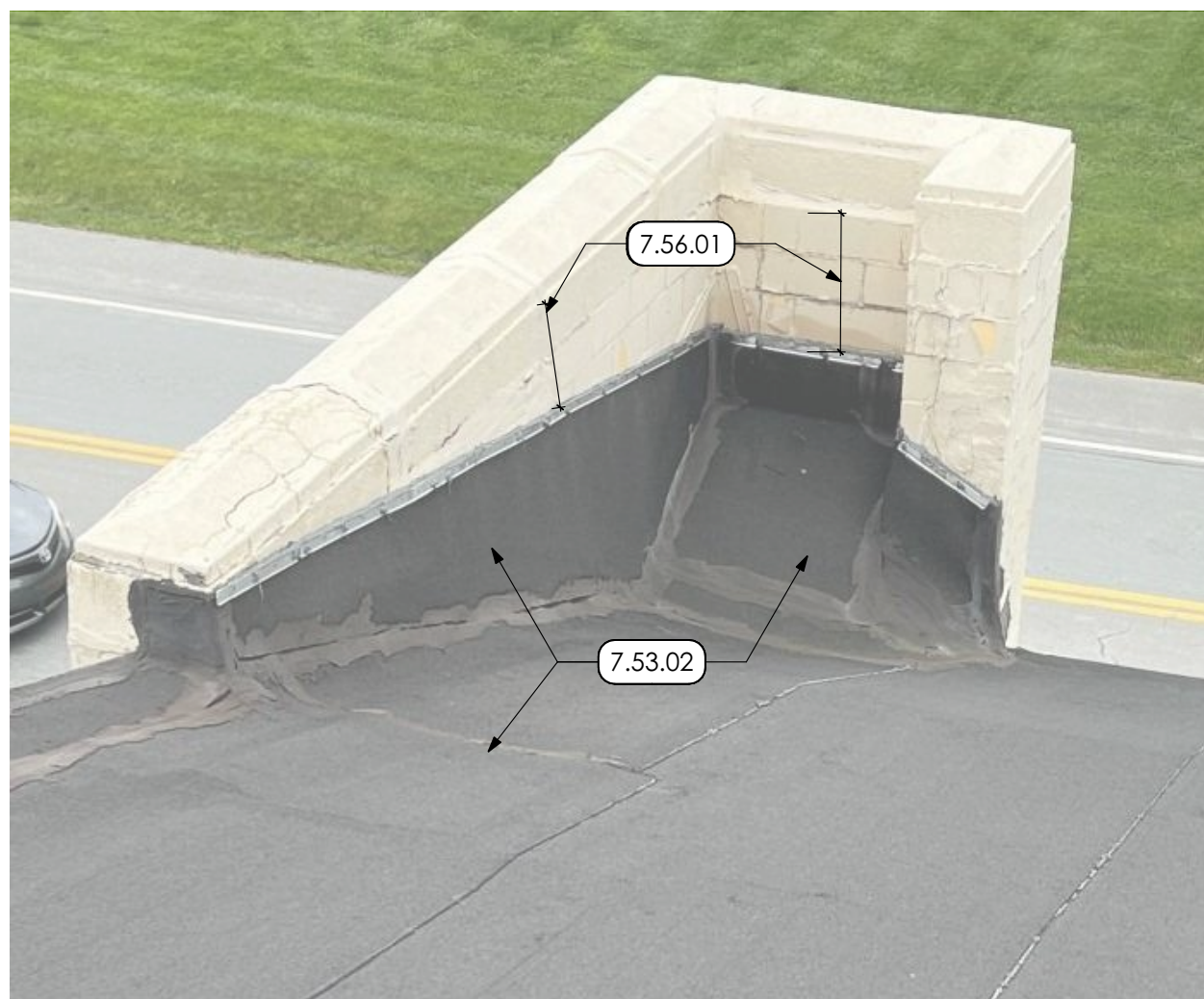
3 ROOF EDGE DETAIL
SCALE: 3" = 1'-0"



4 PHOTO
SCALE: 1" = 5'



5 PHOTO
SCALE: 1" = 5'



6 PHOTO
SCALE: 1" = 5'

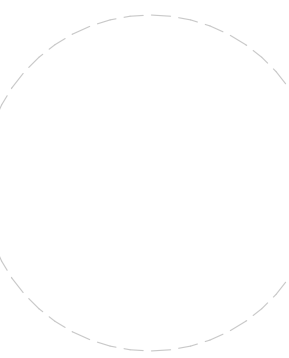
KEYED NOTES

- 02 DEMOLITION**
2.01 EXISTING CONDITIONS
2.01.01 EXISTING DOWNSPOUT TO REMAIN
2.01.06 EXISTING ROOF DECK TO REMAIN
2.01.09 EXISTING SPOTLIGHT STRUCTURE TO REMAIN
2.01.10 EXISTING LADDER TO REMAIN
2.01.11 EXISTING GUTTER TO REMAIN
2.01.12 EXISTING METAL FASCIA TO REMAIN
2.41 SELECTIVE DEMOLITION | SPEC 024119
2.41.03 REMOVE EXISTING PLYWOOD ENCLOSURE AND PROVIDE NEW INSULATED ACCESS PANEL
07 THERMAL AND MOISTURE PROTECTION
7.53 NEW ELASTOMERIC ROOFING | SPEC 075323
7.53.02 TAPERED INSULATION OVER ENTIRE ROOF AREA. SEE TAPERED INSULATION PLAN FOR THICKNESS
7.56 FLUID APPLIED ROOFING | SPEC 075600
7.56.01 ELASTOMERIC COATING SYSTEM OVER ENTIRE EXISTING BARREL VAULT ROOF
7.56.02 ELASTOMERIC BASE COAT
7.56.03 ELASTOMERIC REINFORCING COAT
7.56.04 ELASTOMERIC FINAL COAT
09 FINISHES
9.96 HIGH PERFORMANCE COATINGS | SPEC 099600
9.96.01 PREP AND PAINT (TWO (2) COATS) ENTIRE EXISTING SPOTLIGHT STRUCTURE.



PROJECT #:
24-0022

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ISSUED REVISION HISTORY		
ID	DESCRIPTION	DATE
A	BID	7/25/24
1	CONSTRUCTION	10/10/24

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SHEET SCALE
0" = 1" (1" LONG ON ORIGINAL DRAWING)

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HANGAR 520

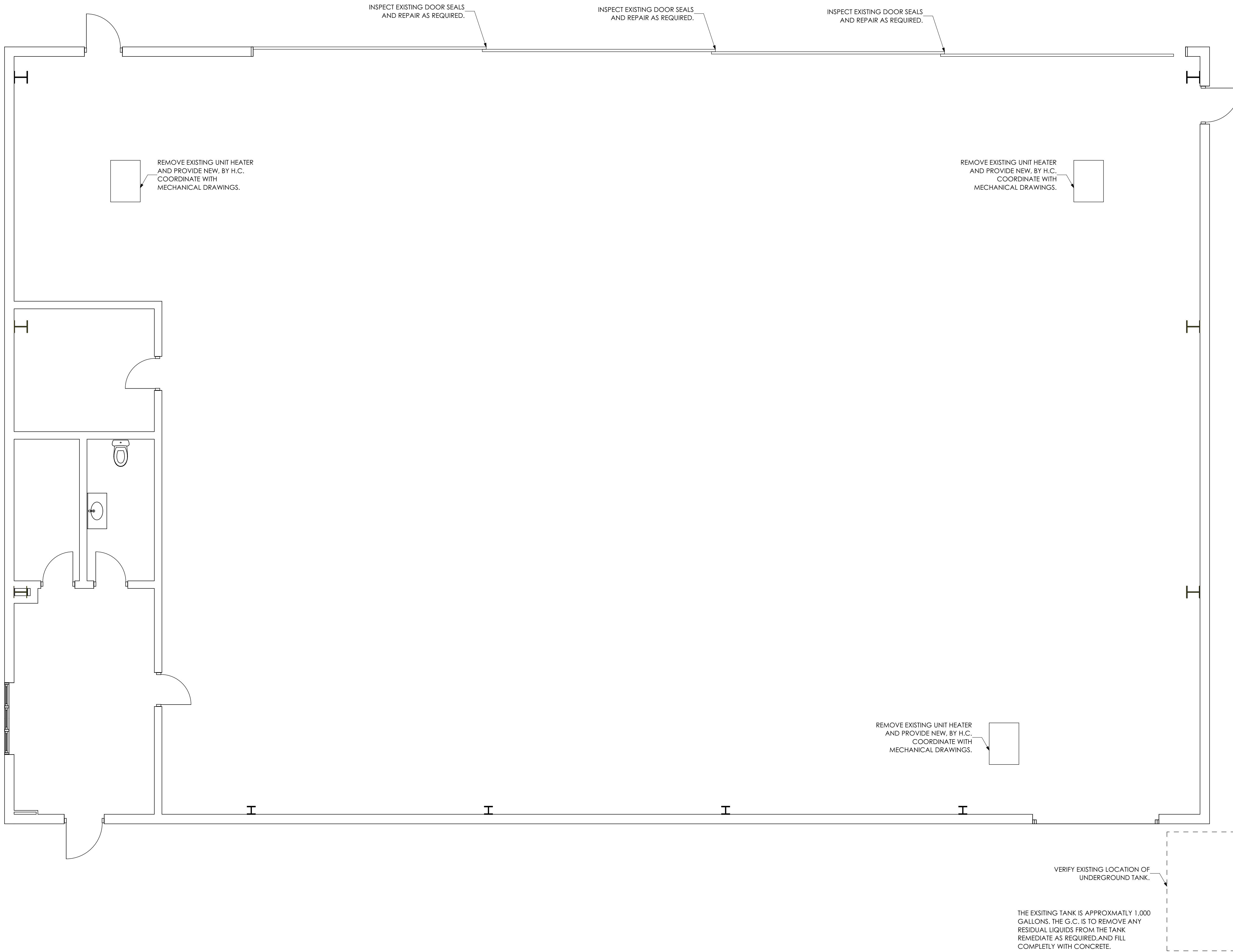
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UPPER ROOF
PLAN

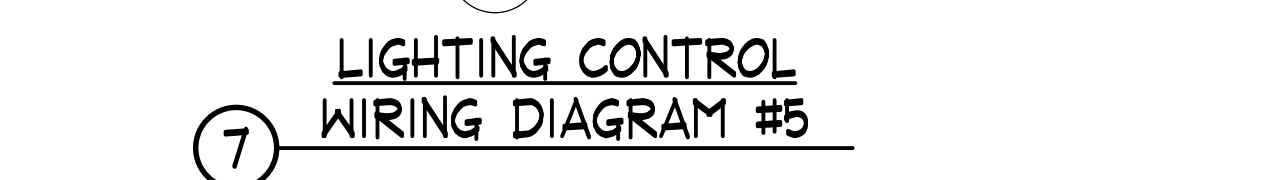
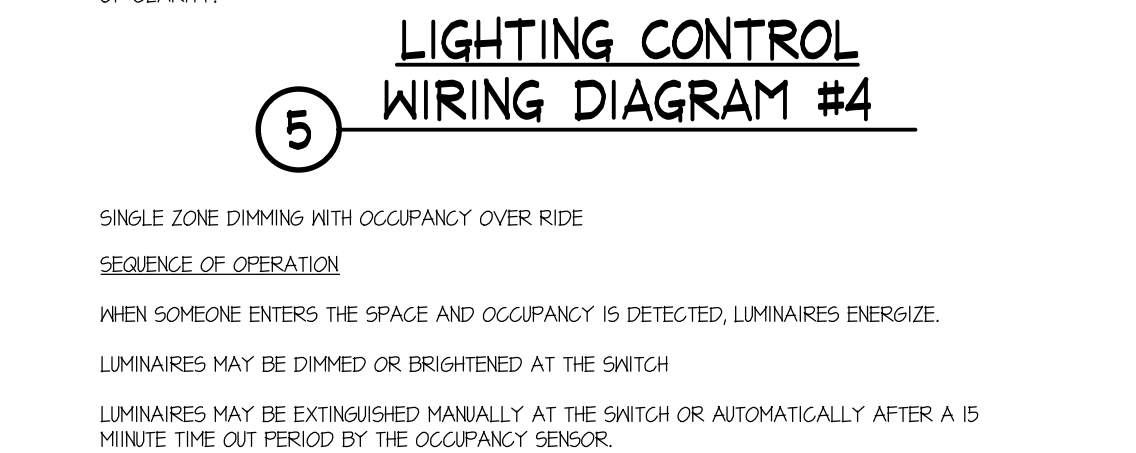
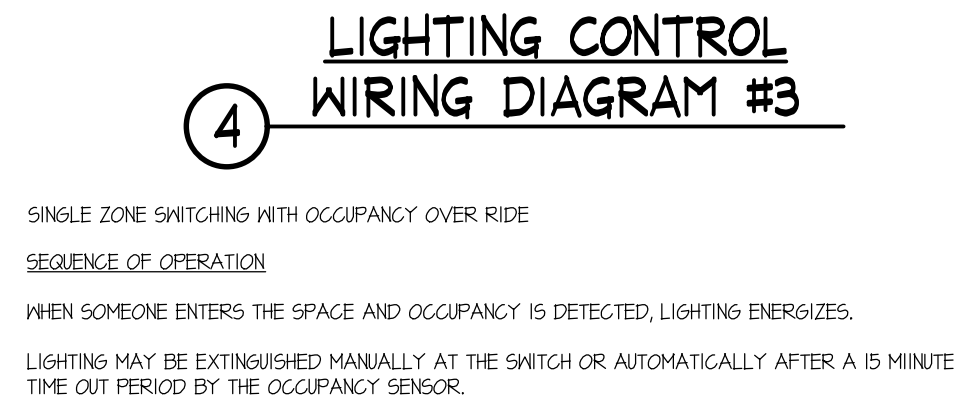
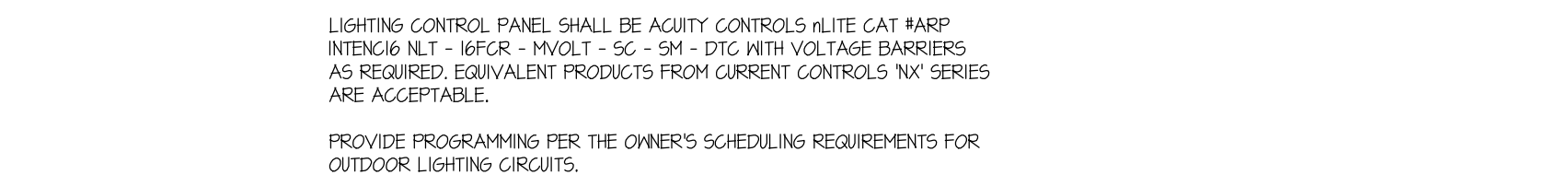
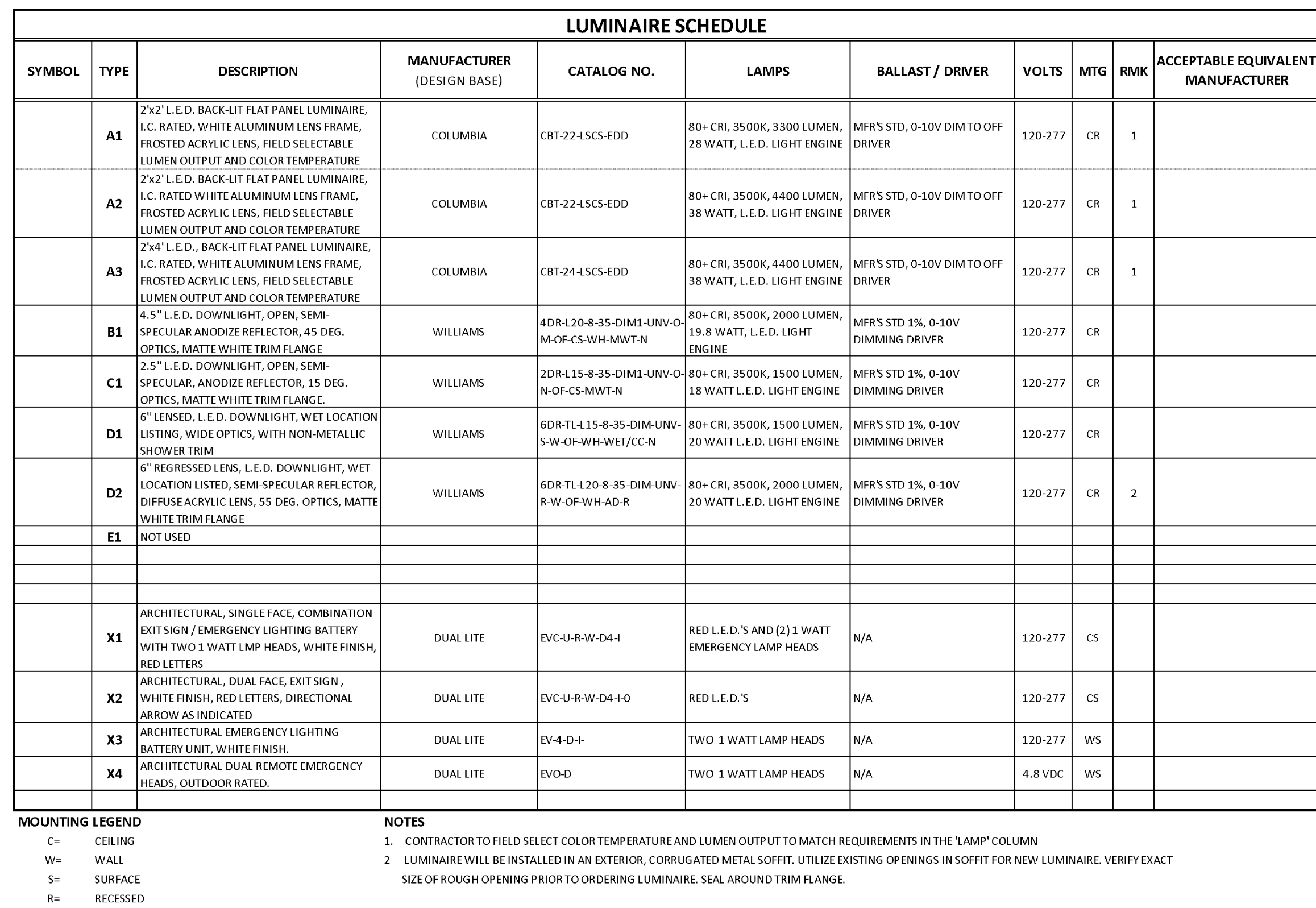
A-122

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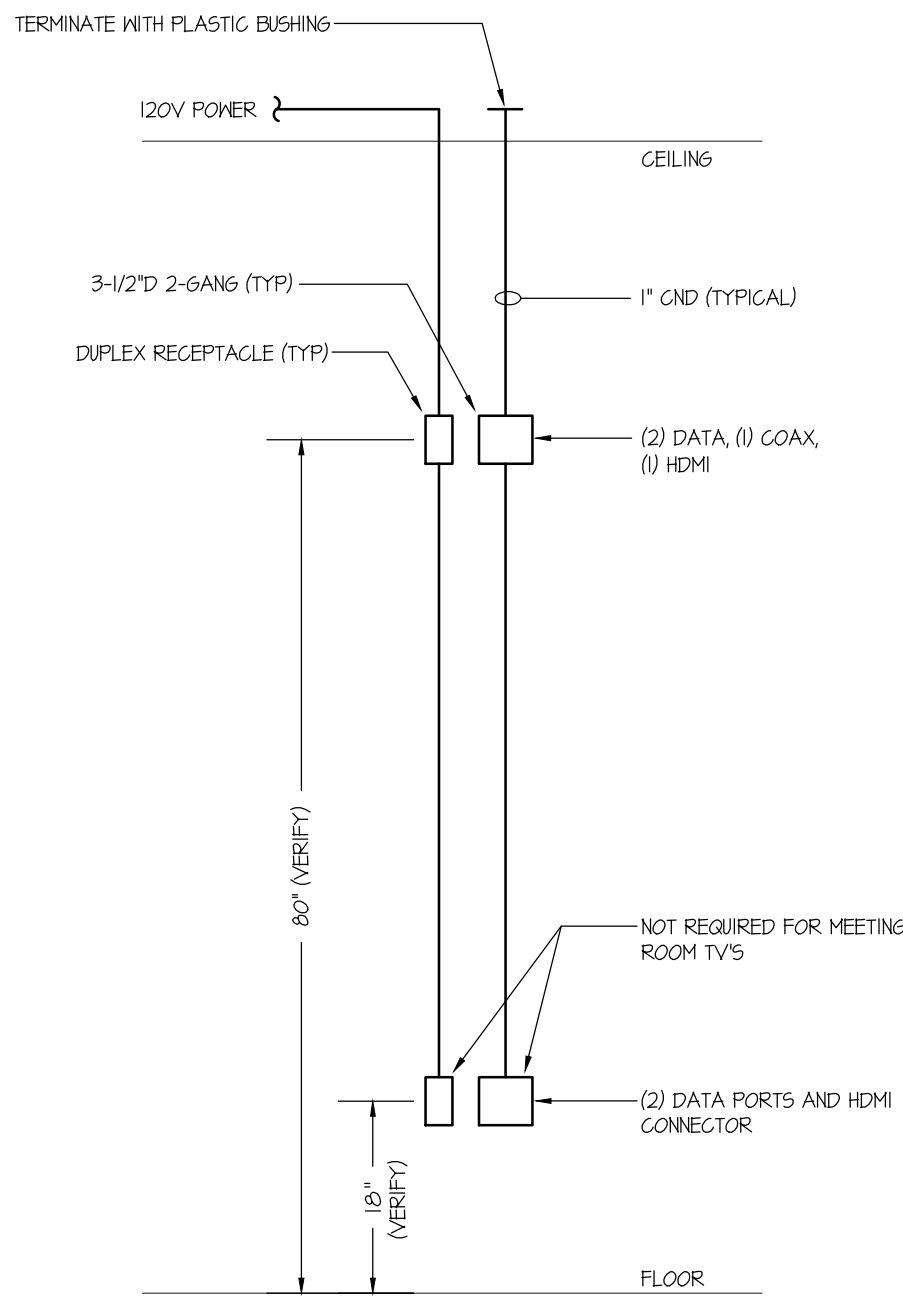


ISSUED REVISION HISTORY		
ID	DESCRIPTION	DATE
A	BID	7/25/24



1. EXACT ARRANGEMENT OF EXISTING LIGHTING BRANCH CIRCUITS COULD NOT BE CONFIRMED; THE E.G. SHALL CONFIRM ALL EXISTING LIGHTING BRANCH CIRCUITS AND PROVIDE ELECTRICAL DIRECTORY THAT CORRECTLY REFLECTS NEW AND EXISTING BRANCH CIRCUITS.
2. ALL NEW LIGHTING BRANCH CIRCUITS OR BRANCH CIRCUIT EXTENSIONS, SHALL UTILIZE METAL GLAD CABLE (MC) THAT INCORPORATES 0-10V DIMMING WIRING. WHETHER DIMMING IS SPECIFIED, OR NOT, WHERE DIMMING IS NOT SPECIFIED, TERMINATE THE 0-10V WIRING FOR FUTURE USE.

FBO BUILDING & HANGAR 1
SHEET TITLE:
LIGHTING PLAN
E-101



3 TV / MONITOR DETAIL
NOT TO SCALE

DATA NETWORK SYMBOL KEY

- ▽ 2 PHONE/DATA OUTLET - FLUSH MOUNTED, 4" SQUARE BOX WITH SINGLE GANG TRIM 18" AFF WITH 1" CONDUIT TO ABOVE ACCESSIBLE CEILING FLENUM - NUMBER INDICATES QUANTITY OF PORTS - HIBELL 1600K STAINLESS STEEL DECORATOR COVER PLATE WITH HIBELL 1600K DECORATOR OUTLET FRAME
- F 18" ABOVE FINISHED FLOOR
- G 12" ABOVE FINISHED COUNTER
- H 48" ABOVE FINISHED FLOOR
- A ABOVE CEILING - PROVIDE SINGLE GANG OUTLET BOX WITH GROMMET IN KNOCKOUT, MOUNT BOX TO STRUCTURE ABOVE CEILING
- B BOX WITH BLANK COVER AND 3/4" CONDUIT TO ABOVE CEILING
- E EXISTING
- N NEW
- (NC) HARD CEILING LOCATION

FOR EACH PORT IN A PLATE, PROVIDE A CAT 6 DATA CABLE TO THE EXISTING DATA RACK.

MOUNTING HEIGHTS NOTED ABOVE ARE TO CENTER OF OUTLETS UNLESS NOTED OTHERWISE. IN MASONRY CONSTRUCTION, THE ABOVE HEIGHTS SHALL BE USED FOR REFERENCE TO NEAREST BLOCK OR BRICK COURSE.

KEYED DEMOLITION NOTES

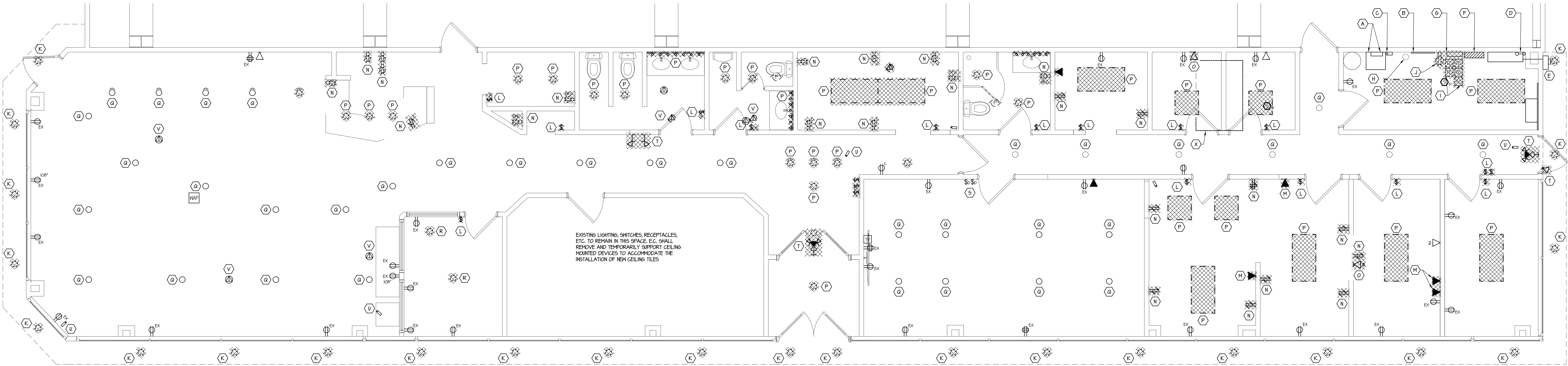
- (A) EXISTING WALL MOUNTED DATA RACK WITH FIBER PATCH PANEL ABOVE TO REMAIN.
- (B) EXISTING PLYWOOD BACKBOARD WITH TELEPHONE PUNCH DOWN BLOCKS TO REMAIN.
- (C) EXISTING 3" CONDUIT UP THROUGH CONCRETE SLAB WITH INCOMING TELEPHONE CABLE TO REMAIN.
- (D) EXISTING METERING TRANSFORMER CABINET TO REMAIN.
- (E) EXISTING ELECTRIC METER TO REMAIN.
- (F) EXISTING PANEL 'A' TO REMAIN.
- (G) EXISTING PANEL 'B' TO BE REPLACED. REFER TO DRAWING E-201 FOR NEW WORK.
- (H) EXISTING WATER SERVICE LINE UP THROUGH CONCRETE SLAB TO REMAIN.
- (I) FIVE EXISTING TIMELOCKS TO BE REPLACED WITH LIGHTING CONTROL RELAY PANEL. REFER TO DRAWING E-101 FOR NEW WORK.
- (J) REMOVE AND RE-INSTALL RECEPTACLE TO ACCOMMODATE NEW PANEL 'B' INSTALLATION.
- (K) DISCONNECT, REMOVE, AND DISPOSE OF EXISTING DOWNLIGHT IN EXTERIOR CORRUGATED METAL SOFFIT. REMOVE EXISTING WIRING AS MUCH AS POSSIBLE. NEW LUMINAIRES WILL RE-USE EXISTING OPENINGS IN SOFFIT.
- (L) DISCONNECT, REMOVE, AND DISPOSE OF EXISTING SWITCH. REMOVE EXISTING WIRING TO CONTROLLED LUMINAIRES.
- (M) DISCONNECT, REMOVE, AND DISPOSE OF EXISTING UNUSED PHONE OUTLET. REMOVE WIRING COMPLETE TO EXISTING PUNCH DOWN BLOCKS IN THE MECHANICAL / ELECTRICAL ROOM.
- (N) DISCONNECT, REMOVE, AND DISPOSE OF EXISTING RECEPTACLE. REMOVE WIRING TO NEXT DEVICE IN CIRCUIT OR TO SOURCE, AS APPLICABLE. MAINTAIN CIRCUIT CONTINUOUS TO DEVICES NOT SCHEDULED FOR REMOVAL.
- (O) DISCONNECT, REMOVE, AND DISPOSE OF EXISTING DATA OUTLET. REMOVE EXISTING WIRING COMPLETE TO EXISTING DATA RACK IN THE EXISTING MECHANICAL / ELECTRICAL ROOM.
- (P) DISCONNECT, REMOVE, AND DISPOSE OF EXISTING LUMINAIRE. REMOVE BRANCH CIRCUIT AND CONTROL WIRING COMPLETE. MAINTAIN CIRCUIT CONTINUOUS TO DEVICES NOT SCHEDULED FOR REMOVAL.
- (Q) CONTRACTOR SHALL REMOVE AND TEMPORARILY SUPPORT EXISTING LUMINAIRE TO ACCOMMODATE INSTALLATION OF NEW CEILING TILE. G.C. WILL CUT OPENINGS IN TILE PER THE EXISTING LUMINAIRE REQUIREMENTS.
- (R) DISCONNECT, REMOVE, AND DISPOSE OF EXISTING LUMINAIRE. RETAIN EXISTING UN-SWITCHED BRANCH CIRCUIT IN CEILING SPACE FOR CONNECTION TO NEW LUMINAIRES.
- (S) EXISTING SWITCHES / DIMMERS TO REMAIN.
- (T) DISCONNECT, REMOVE, AND DISPOSE OF EXISTING EMERGENCY LIGHTING DEVICE / EXIT SIGN.
- (U) CONTRACTOR SHALL REMOVE AND TEMPORARILY SUPPORT EXISTING CCTV CAMERA TO ACCOMMODATE INSTALLATION OF NEW CEILING TILE. G.C. WILL CUT ANY REQUIRED OPENINGS IN NEW TILE TO RE-MOUNT EXISTING CAMERA.
- (V) CONTRACTOR SHALL REMOVE AND TEMPORARILY SUPPORT EXISTING SPEAKER TO ACCOMMODATE THE INSTALLATION OF NEW CEILING TILE. G.C. WILL CUT REQUIRED OPENINGS IN NEW TILE TO RE-MOUNT EXISTING CAMERA.
- (W) CONTRACTOR TO CAREFULLY REMOVE EXISTING CCTV CAMERA FOR RELOCATION. REFER TO NEW WORK PLAN THIS DRAWING FOR NEW LOCATION.
- (X) CONTRACTOR SHALL DISCONNECT POWER TO EXISTING RTU-2. REMOVE BRANCH FEEDER COMPLETE TO EXISTING PANEL 'B'.

KEYED DRAWING NOTES

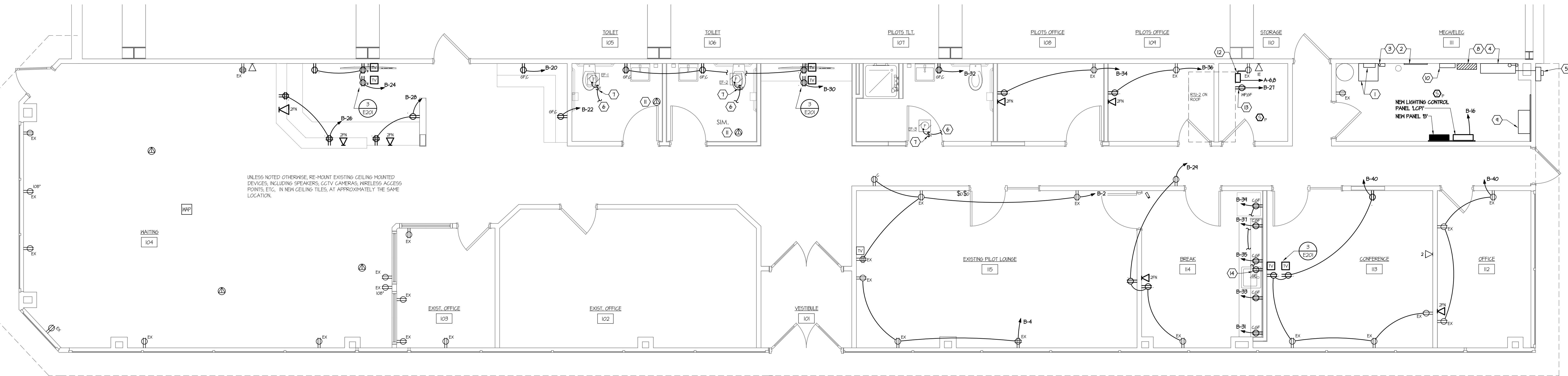
- (1) EXISTING WALL MOUNTED DATA RACK WITH FIBER PATCH PANEL ABOVE.
- (2) EXISTING PLYWOOD BACKBOARD WITH TELEPHONE PUNCH DOWN BLOCKS.
- (3) EXISTING 3" CONDUIT UP THROUGH CONCRETE SLAB WITH INCOMING TELEPHONE CABLE.
- (4) EXISTING METERING TRANSFORMER CABINET TO REMAIN.
- (5) EXISTING ELECTRIC METER TO REMAIN.
- (6) CONNECT TO LIGHTING CIRCUIT. REFER TO DRAWING E-101 FOR CONTINUATION.
- (7) MOUNT DISCONNECT TO EQUIPMENT ENCLOSURE.
- (8) EXISTING PANEL 'A' TO REMAIN.
- (9) EXISTING CCTV EQUIPMENT CABINET AND BACKBOARD TO REMAIN.
- (10) EXISTING PANEL 'B' MAY REMAIN AND BE USED AS A SPICE BOX TO FACILITATE THE CONNECTION OF EXISTING PANEL 'B' CIRCUITS TO NEW PANEL 'B'. EXTEND EXISTING BRANCH CIRCUITS THAT REMAIN TO NEW CIRCUIT BREAKERS IN NEW PANEL 'B'.
- (11) RELOCATED CCTV CAMERA. INSTALL IN NEW CEILING. PROVIDE NEW CABLE PER SYSTEM REQUIREMENTS TO CCTV CAMERA EQUIPMENT CABINET. CCTV EQUIPMENT VENDOR WILL MAKE ANY REQUIRED CONNECTIONS WITHIN CABINET.
- (12) NON-FUSED DISCONNECT SWITCH FURNISHED BY M.C., WIRED BY E.C.
- (13) MOUNT RECEPTACLE TO ROOF-TOP UNIT ENCLOSURE.
- (14) MOUNT RECEPTACLE BENEATH COUNTER FOR DRAIN PUMP.

GENERAL NOTES

1. CIRCUITS IN EXISTING PANEL 'B' THAT ARE CRITICAL TO MAINTAINING OPERATIONS, MAY NOT BE DE-ENERGIZED DURING NORMAL OPERATING HOURS OF 6 AM TO 11 PM. WORK REQUIRING THESE CIRCUITS TO BE DE-ENERGIZED MUST BE DONE BETWEEN THE HOURS OF 11 PM AND 6 AM. COORDINATE ACCESS WITH AIRPORT STAFF.
2. REFER TO DRAWING E-001 FOR ELECTRICAL LEGEND, NOTES, AND PANEL SCHEDULES.



2 ELECTRICAL DEMOLITION PLAN
SCALE: 1/4"=1'-0"



1 POWER AND SYSTEMS PLAN
SCALE: 1/4"=1'-0"



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24-0022

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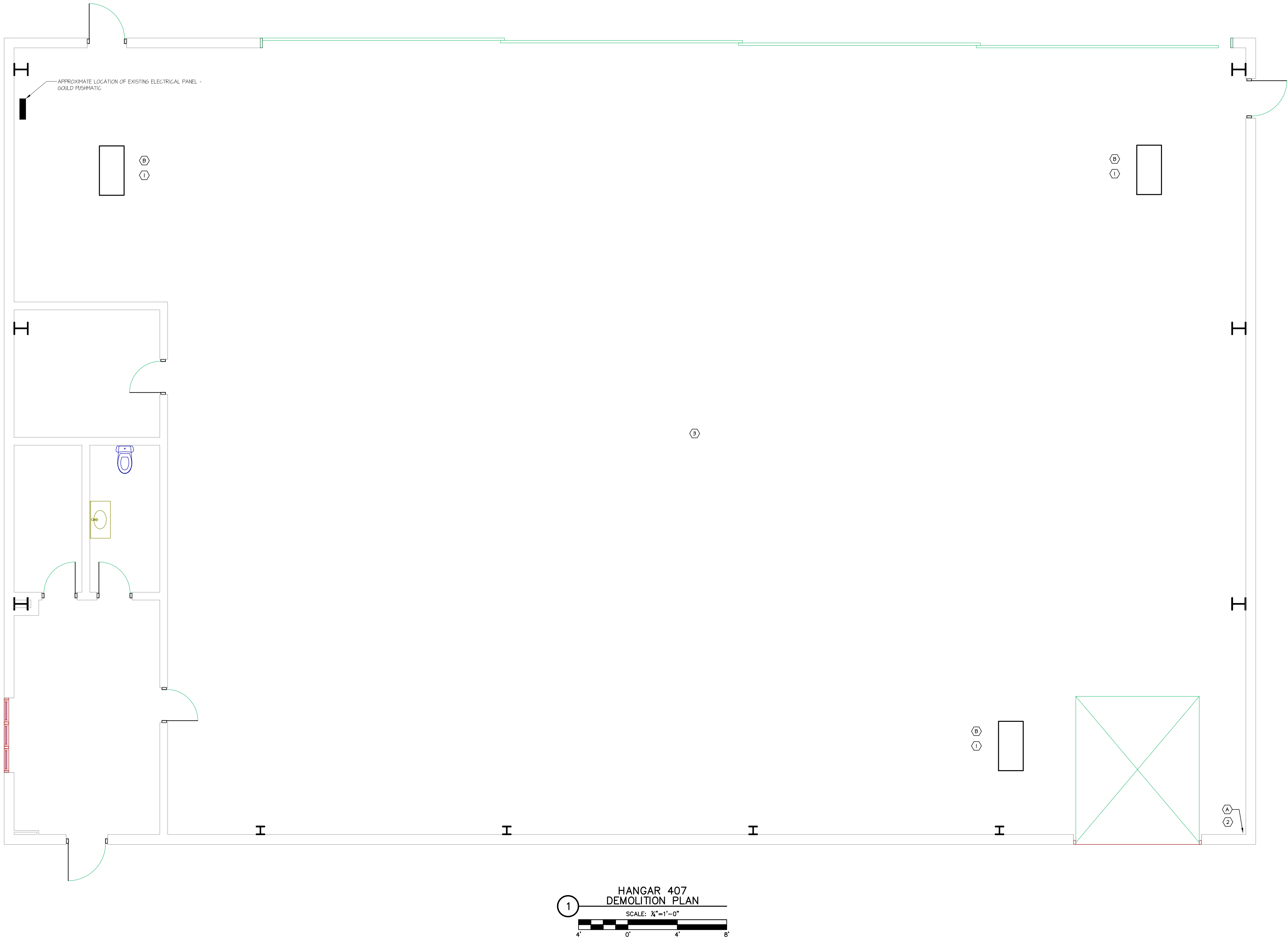
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FBO BUILDING & HANGAR 1

SHEET TITLE:

POWER &
SYSTEMS PLAN

E-201



HVAC DEMOLITION NOTES:

- ① CONTRACTOR SHALL REMOVE EXISTING OIL FIRED UNIT HEATER AND ASSOCIATED ACCESSORIES. CONTRACTOR REMOVE EXISTING FLUE, AND RETAIN EXISTING ROOF OPENING.
- ② CONTRACTOR SHALL REMOVE EXISTING OIL BURNER.
- ③ CONTRACTOR SHALL FIELD LOCATE AND REMOVE ALL EXISTING OIL PIPING UP TO WHERE IT ENTERS THE BUILDING. CONTRACTOR SHALL CAP PIPING WHERE IT ENTERS THE BUILDING.

ELECTRICAL DEMOLITION NOTES:

- Ⓐ DISCONNECT POWER FROM OIL TRANSFER PUMP. REMOVE AND DISPOSE OF DISCONNECT SWITCH, BRANCH CIRCUIT CONDUIT AND WIRE COMPLETE TO EXISTING ELECTRICAL PANEL.
- Ⓑ DISCONNECT POWER FROM EXISTING OIL FIRED UNIT HEATER. REMOVE AND DISPOSE OF DISCONNECT SWITCH. RETAIN EXISTING BRANCH CIRCUIT WIRING FOR CONNECTION TO NEW GAS FIRED UNIT HEATER.
- Ⓒ CONTRACTOR SHALL FIELD LOCATE AND REMOVE ALL EXISTING OIL PIPING UP TO WHERE IT ENTERS THE BUILDING. CONTRACTOR SHALL CAP PIPING WHERE IT ENTERS THE BUILDING.



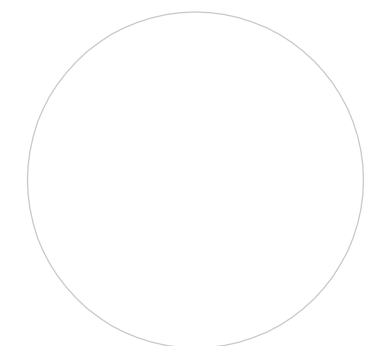
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24-0022

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ISSUED
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A	BID	7/25/24

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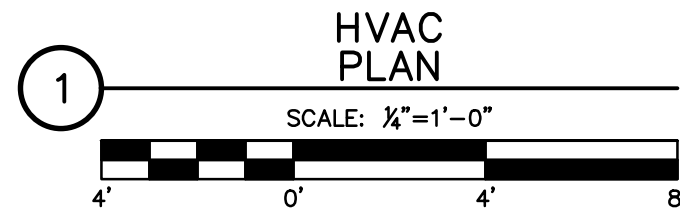
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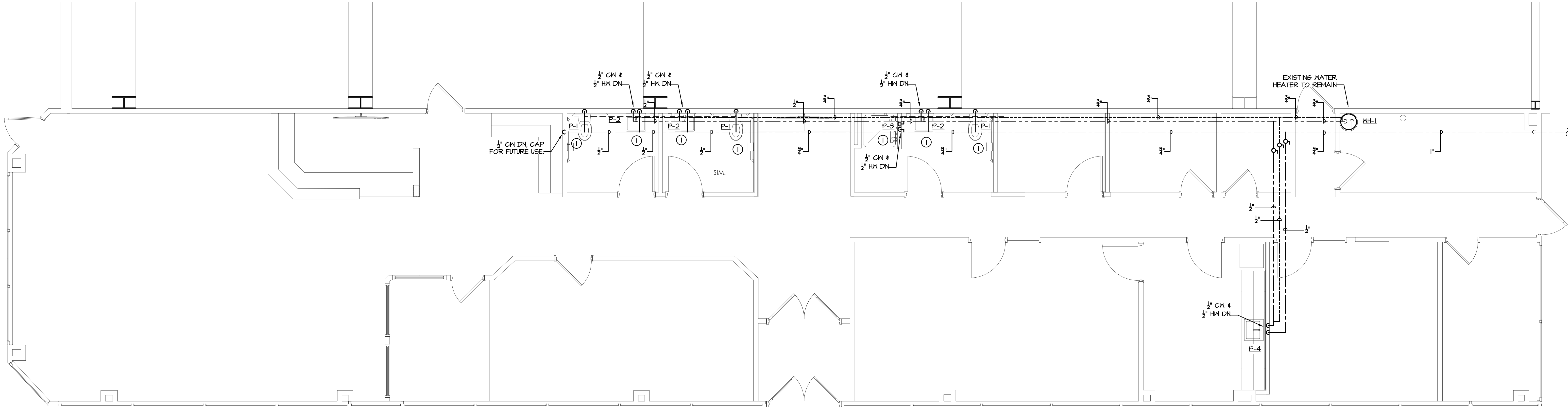
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HANGAR 407

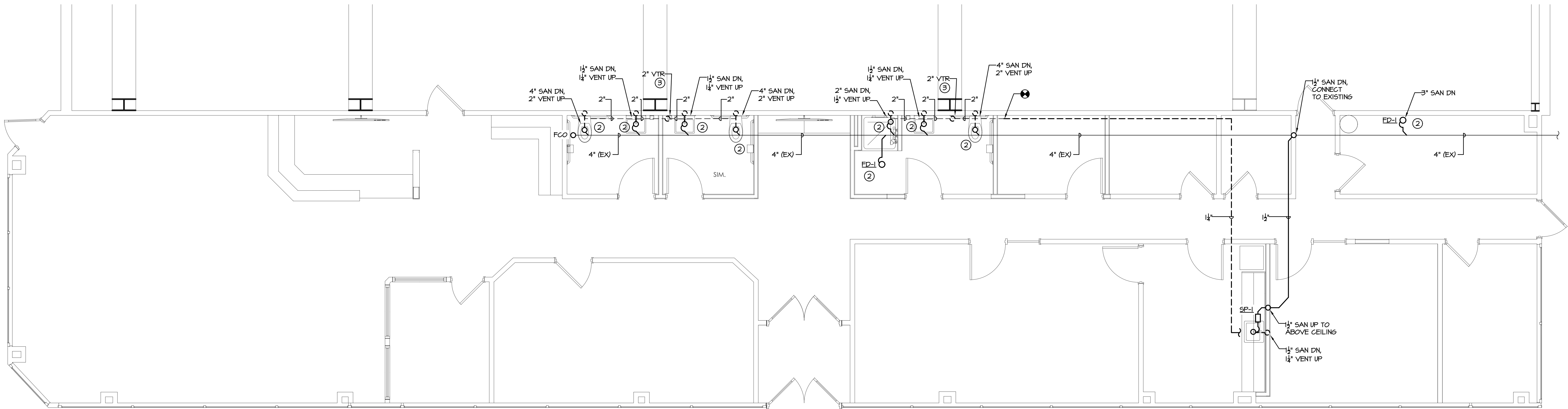
SHEET TITLE:
HVAC
DEMOLITION
PLAN

H-101D





1
DOMESTIC WATER
PIPING PLAN
SCALE: 1/4"=1'-0"



2
SANITARY/VENT
PIPING PLAN
SCALE: 1/4"=1'-0"

GENERAL NOTES:

- CONTRACTOR SHALL SCOPE EXISTING SANITARY LINE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY SIZE AND LOCATION OF EXISTING SANITARY AND VENT LINES.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF EXISTING HOT AND COLD WATER LINES PRIOR TO STARTING CONSTRUCTION.

DRAWING NOTES:

- CONTRACTOR SHALL FIELD VERIFY LOCATION OF NEAREST EXISTING HOT AND COLD WATER LINES. CONTRACTOR SHALL EXTEND AND CONNECT NEW FIXTURE TO EXISTING HOT AND COLD WATER LINES AS SHOWN.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF NEAREST EXISTING SANITARY LINE. CONTRACTOR SHALL EXTEND AND CONNECT NEW FIXTURE TO EXISTING SANITARY AND VENT LINES AS SHOWN.
- CONTRACTOR SHALL LOCATE EXISTING ROOF PENETRATIONS FOR ROOF VENTS. CONTRACTOR SHALL RETAIN EXISTING ROOF PENETRATIONS AND EXISTING VENTS TO ROOF.

ISSUED REVISION HISTORY		
ID	DESCRIPTION	DATE
A	BID	7/25/24

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0 1
1/4" = 1'-0"
BAR & ONE (1) INCH LONG ON ORIGINAL DRAWING

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FBO BUILDING & HANGAR 1

SHEET TITLE:
**PLUMBING
PIPING PLAN**

P-101