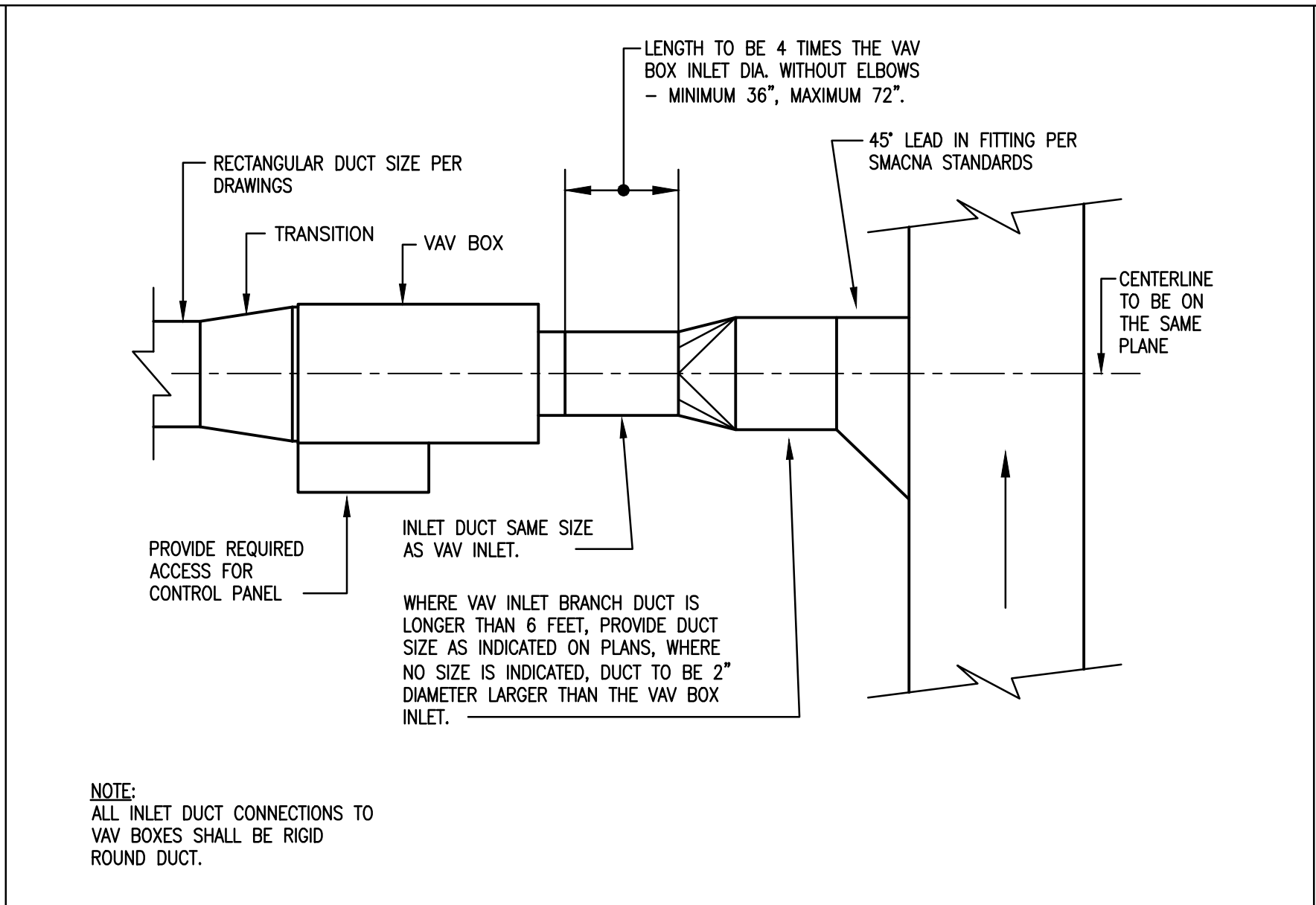
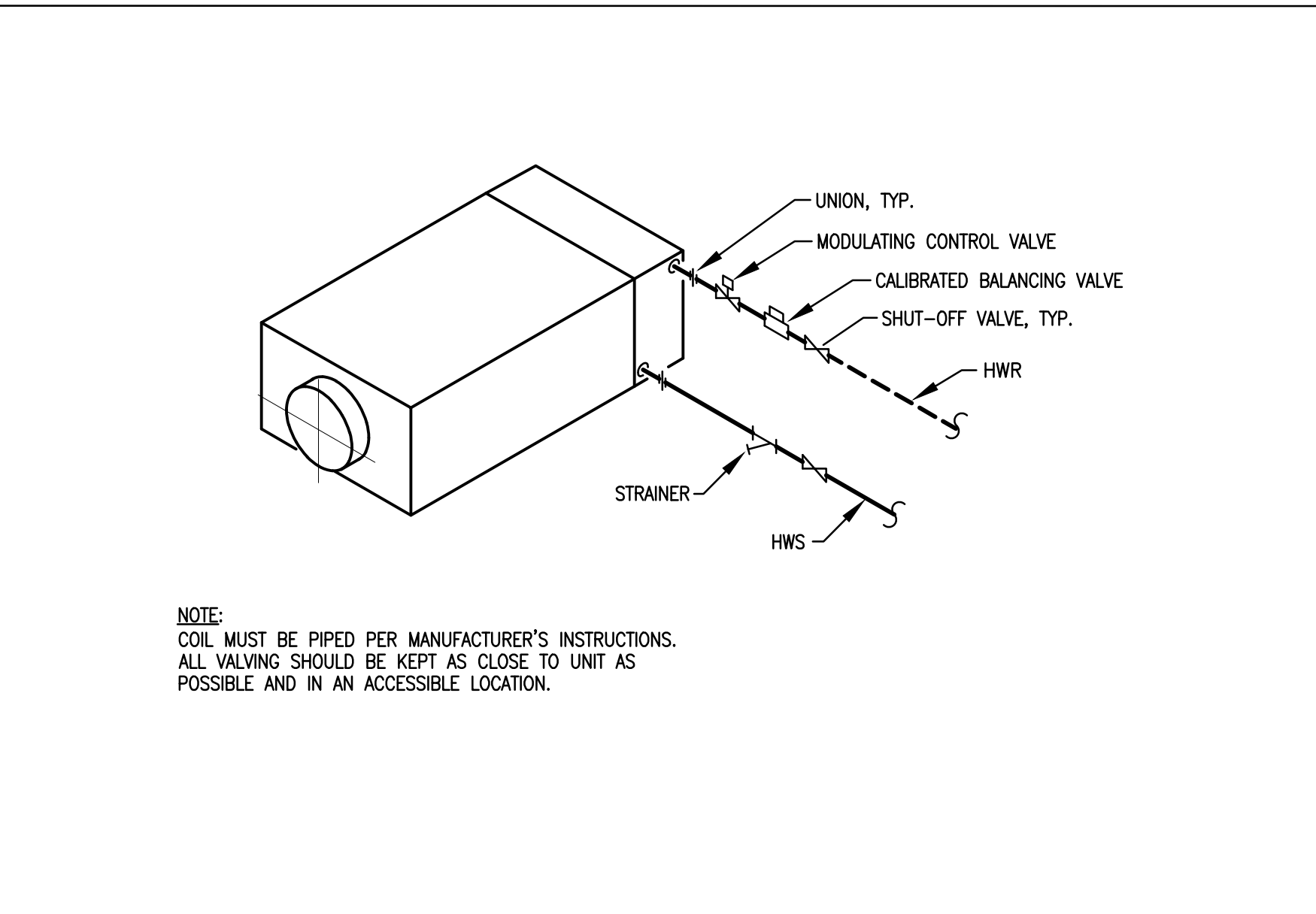
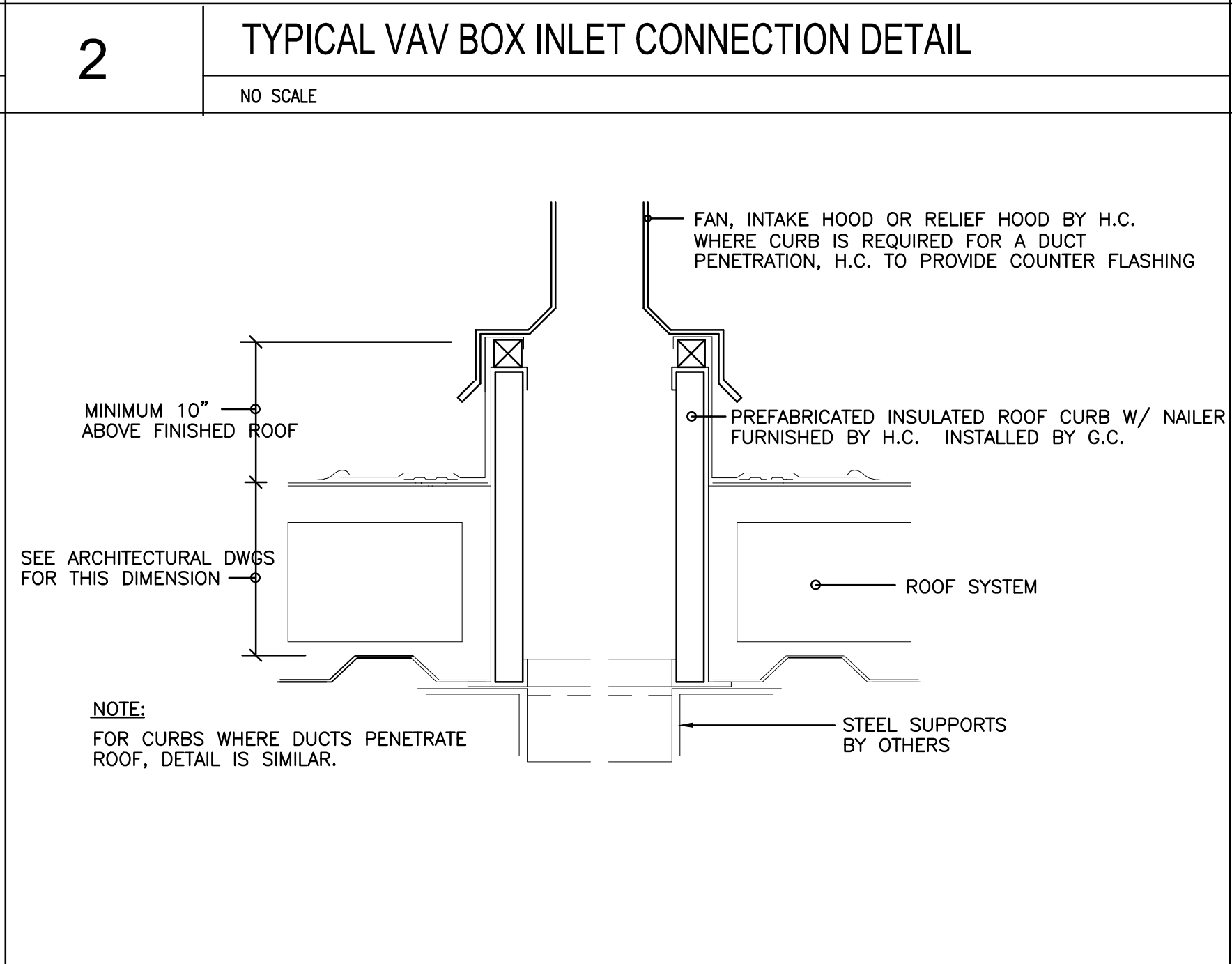
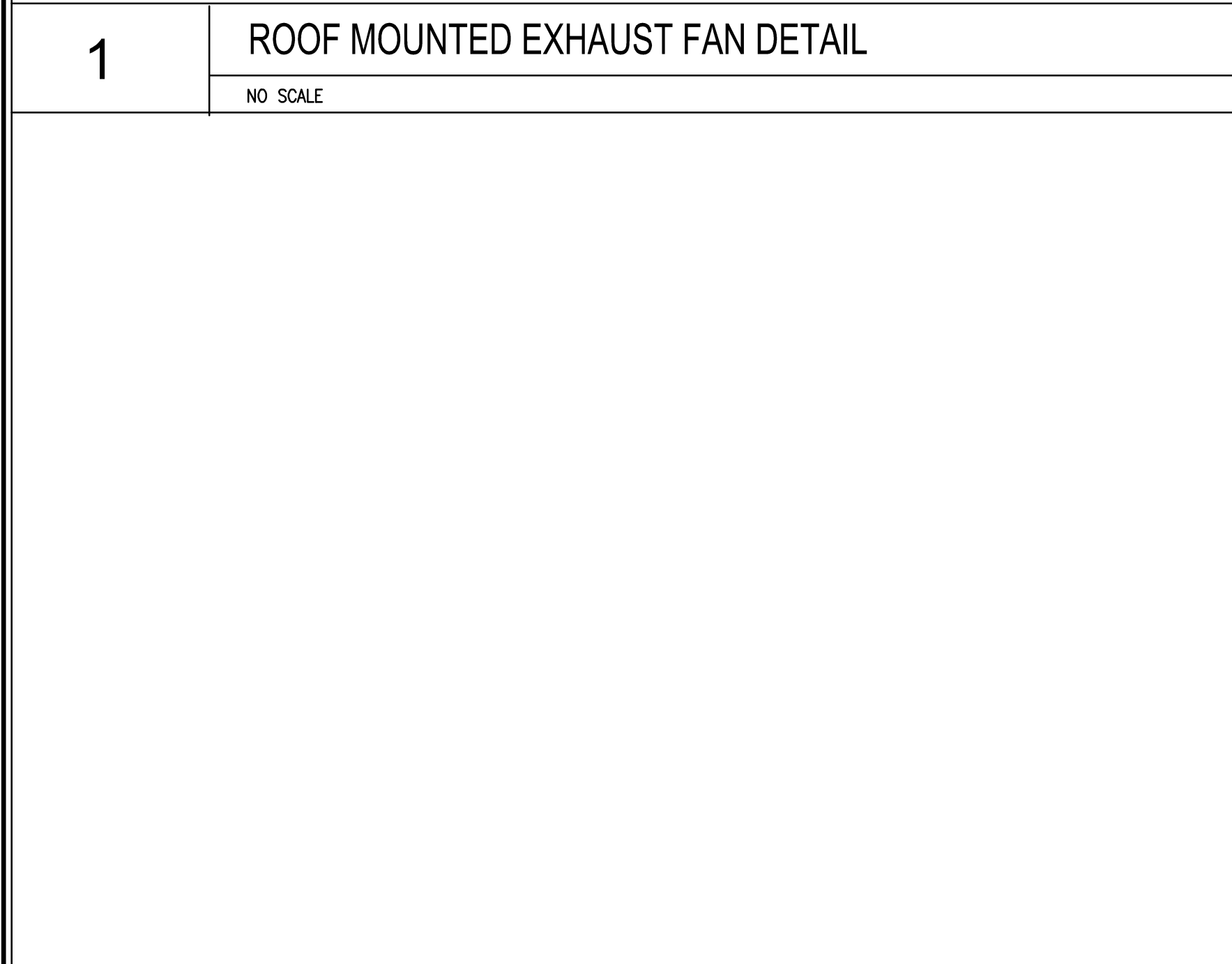
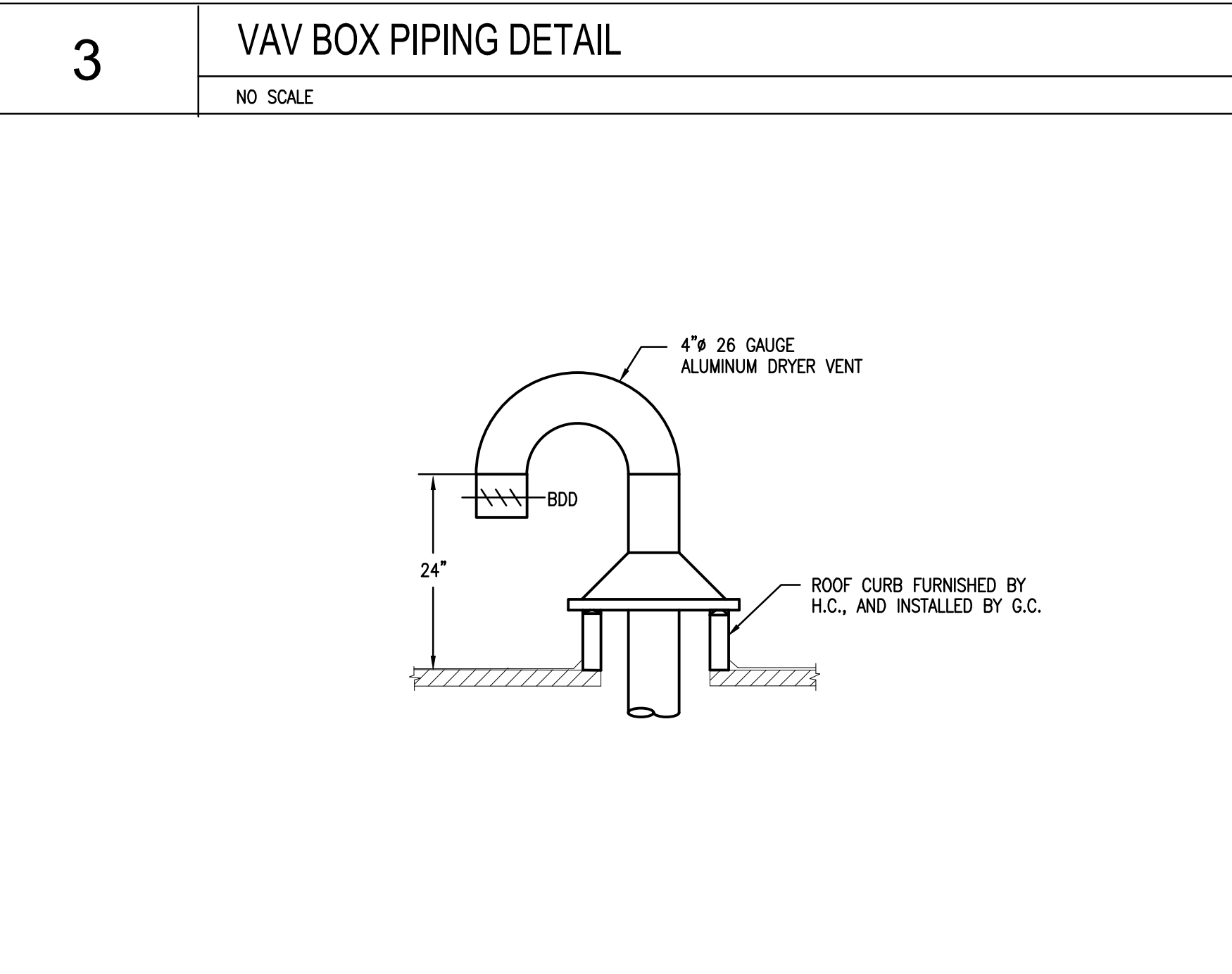
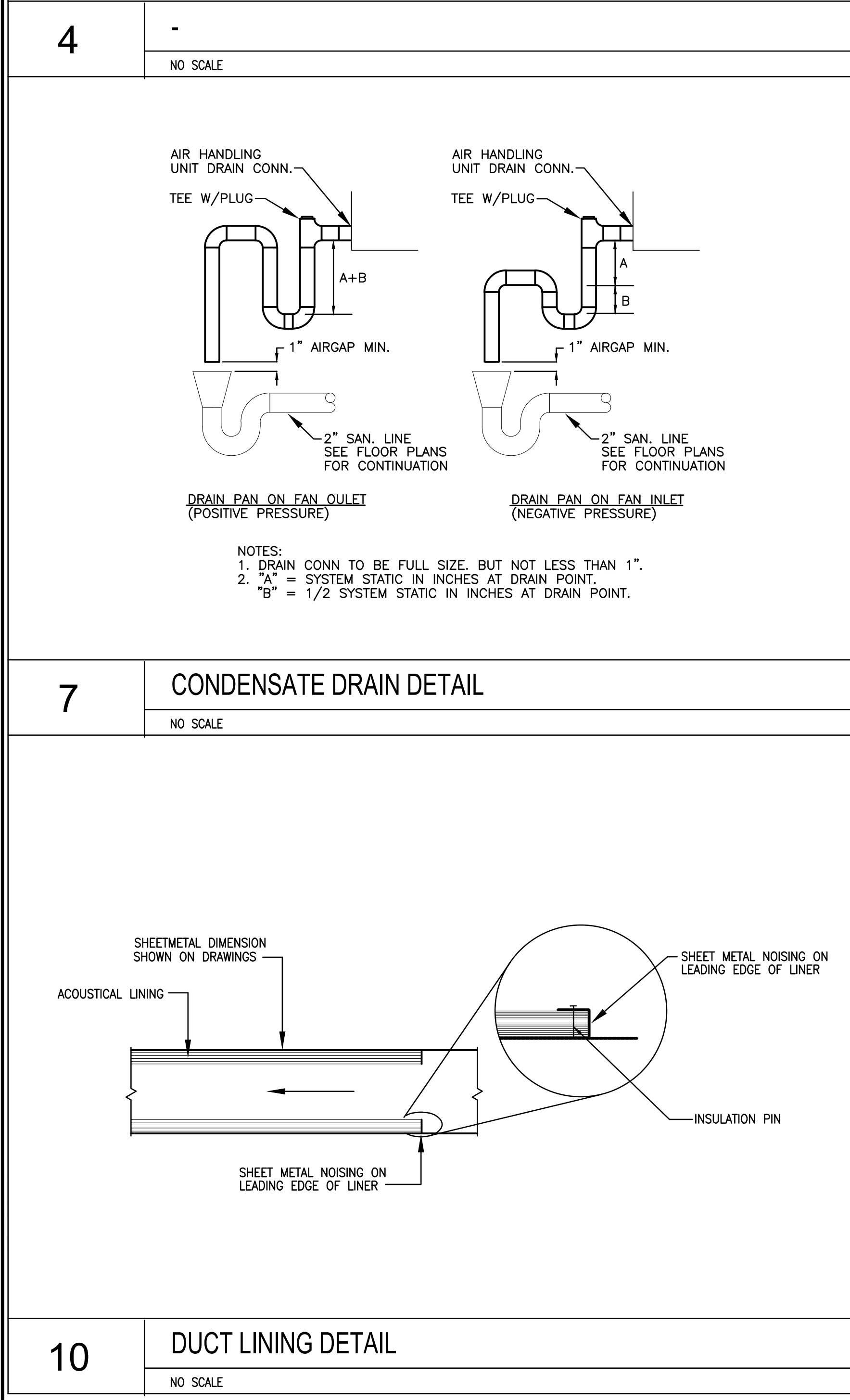
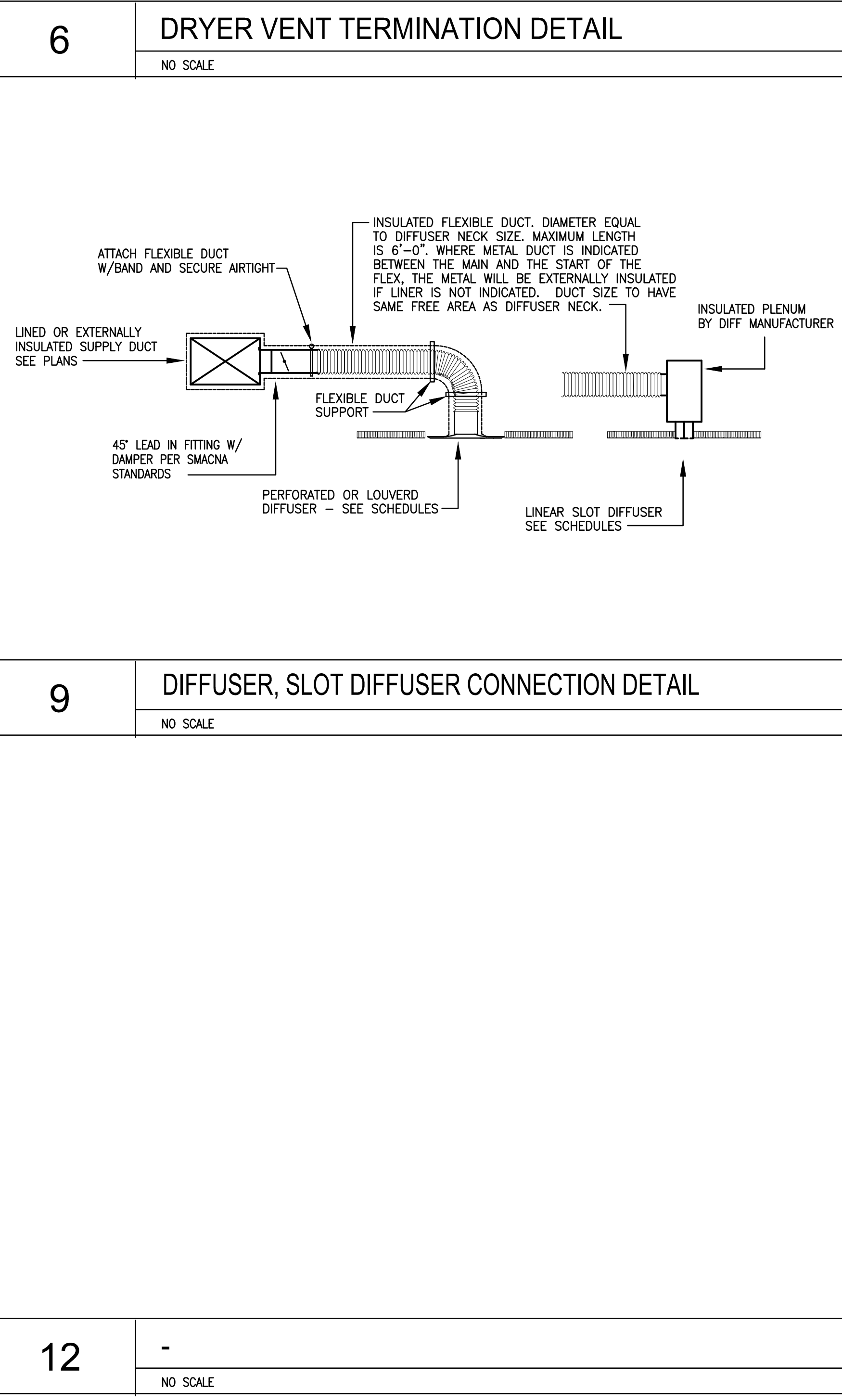
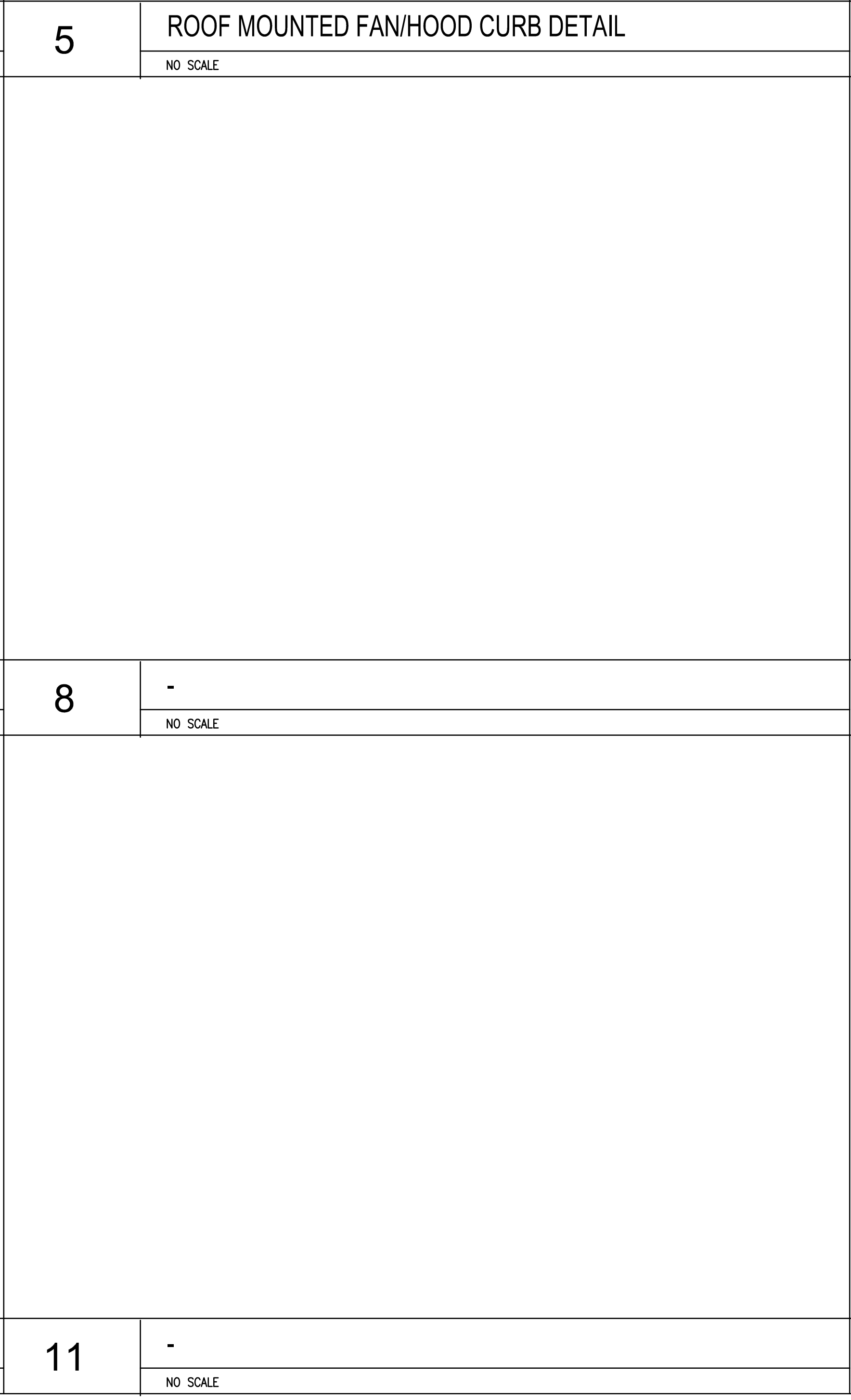
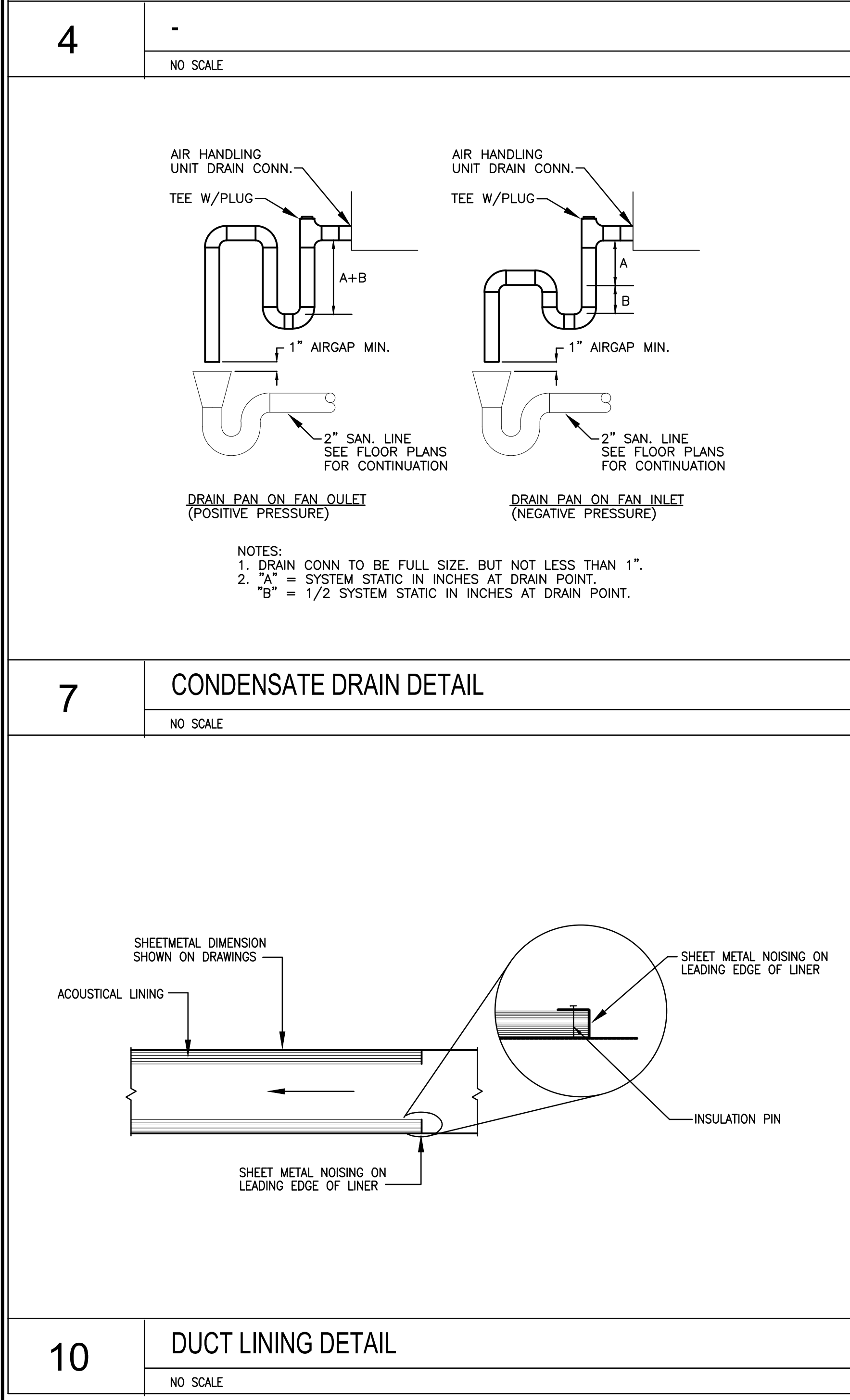
 <p>1</p> <p>ROOF MOUNTED EXHAUST FAN DETAIL</p> <p>NO SCALE</p>		 <p>2</p> <p>TYPICAL VAV BOX INLET CONNECTION DETAIL</p> <p>NO SCALE</p>		 <p>3</p> <p>VAV BOX PIPING DETAIL</p> <p>NO SCALE</p>		 <p>5</p> <p>ROOF MOUNTED FAN/HOOD CURB DETAIL</p> <p>NO SCALE</p>		 <p>7</p> <p>CONDENSATE DRAIN DETAIL</p> <p>NO SCALE</p>		 <p>9</p> <p>DIFFUSER, SLOT DIFFUSER CONNECTION DETAIL</p> <p>NO SCALE</p>		 <p>10</p> <p>DUCT LINING DETAIL</p> <p>NO SCALE</p>		 <p>6</p> <p>DRYER VENT TERMINATION DETAIL</p> <p>NO SCALE</p>		 <p>8</p> <p>-</p> <p>NO SCALE</p>		 <p>4</p> <p>-</p> <p>NO SCALE</p>	
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### HVAC LEGEND

(ALL SYMBOLS MAY NOT APPLY TO THIS PROJECT)

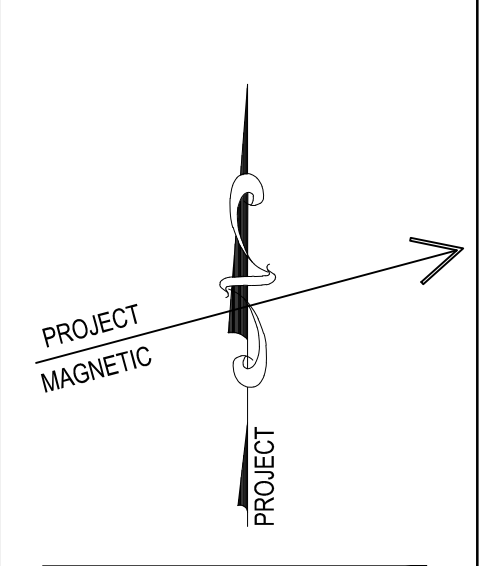
	2-WAY CONTROL VALVE		HWS		HEATING WATER SUPPLY
	3-WAY CONTROL VALVE		HWR		HEATING WATER RETURN
	BACKFLOW PREVENTER		DTS		DUAL TEMPERATURE WATER SUPPLY
	SAFETY RELIEF VALVE		DTR		DUAL TEMPERATURE WATER RETURN
	WATER PRESSURE REDUCING VALVE		CWS		CHILLED WATER SUPPLY
	BALL OR BUTTERFLY VALVE		CWR		CHILLED WATER RETURN
	CALIBRATED BALANCING VALVE		CS		CONDENSER WATER SUPPLY
	CHECK VALVE		CR		CONDENSER WATER RETURN
	STRAINER		HPWS		HEAT PUMP WATER SUPPLY
	TRIPLE DUTY VALVE		HPWR		HEAT PUMP WATER RETURN
	HIGH CAPACITY AUTOMATIC AIR VENT		PWS		POOL WATER SUPPLY
	MANUAL AIR VENT		PWR		POOL WATER RETURN
	UNION OR FLANGED CONNECTION		RL		REFRIGERANT LIQUID
	FLEXIBLE PIPE CONNECTION		RS		REFRIGERANT SUCTON
	FLOW METER		FOS		FUEL OIL SUPPLY
	ELECTROMAGNETIC FLOW METER		FOR		FUEL OIL RETURN
	SOLENOID VALVE		FOG		FUEL OIL GAGE
	THERMOSTAT		FOV		FUEL OIL VENT
	HUMIDITY SENSOR		CD		CONDENSATE DRAIN
	CO2 SENSOR		VERTICAL FIRE DAMPER - 1 1/2 HR		HORIZONTAL FIRE DAMPER - 1 1/2 HR
	TEMPERATURE/HUMIDITY SENSOR		VERTICAL FIRE DAMPER - 3 HR		HORIZONTAL FIRE DAMPER - 3 HR
	PRESSURE GAUGE		VERTICAL SMOKE DAMPER		HORIZONTAL SMOKE DAMPER
	THERMOMETER		VERTICAL COMBINATION SMOKE / FIRE DAMPER		HORIZONTAL COMBINATION SMOKE / FIRE DAMPER
	P/T PLUG		KEYED DRAWING NOTE		KEYED DEMOLITION DRAWING NOTE
	ELECTRIC OPERATOR		CONNECT TO EXISTING		EXTENT OF DEMOLITION
	PNEUMATIC OPERATOR		INDICATES LINED DUCTWORK (SEE SPECS FOR MATERIAL)		INDICATES MANUAL BALANCING DAMPER
	AQUASTAT		INDICATES DUCT RISE OR DROP		HIGH POINT
	SMOKE DETECTOR FURNISHED BY OTHERS INSTALLED BY HC				
	NEEDLE VALVE				
	MOTOR OPERATED DAMPER				
	UNDERCUT DOOR				
	EXISTING CONDITIONS				
	NEW WORK OR DEMOLITION (AS INDICATED)				

### ABBREVIATIONS

ABV	ABOVE ABOVE FINISHED FLOOR
AFF	ACROUSTICALLY LINED
A.L.	ALUMINUM
ALUM	BACKDRAFT DAMPER
BDD	BELOW
BEL	CEILING
CLG	DOWN
DN	ELECTRICAL CONTRACTOR
EC	EA
EA	EXISTING
EX	EXISTING
EXH	EXHAUST
EXIST	EXISTING
FLR	FLOOR
GC	GENERAL CONTRACTOR
GTC	GENERAL TRADES CONTRACTOR
HC	HVAC CONTRACTOR
MOD	MOTOR OPERATED DAMPER
OA	OUTSIDE AIR
PC	PLUMBING CONTRACTOR
PTAC	PACKAGED TERMINAL AIR CONDITIONER
RA	RETURN AIR
RC	ROOFING CONTRACTOR
REQ'D	REQUIRED
SA	SUPPLY AIR
TYP	TYPICAL
UV	UNIT VENTILATOR
VD	VOLUME DAMPER - MANUAL
W/	WITH

### GENERAL PROJECT NOTES:

- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING SECTIONS. USE INFORMATION RELATING TO CEILING HEIGHTS, FLOOR TO FLOOR ELEVATIONS, ETC. TO DETERMINE PIPE AND DUCT RISER QUANTITIES AND TO VERIFY ROUTING OF SAME.
- HVAC CONTRACTOR IS REQUIRED TO COORDINATE ALL HVAC WORK WITH THE WORK OF ALL OTHER TRADES TO ENSURE CORRECT AND QUALITY INSTALLATIONS.
- DUCT DIMENSIONS GIVEN ARE METAL (OUTSIDE) DIMENSIONS UNLESS OTHERWISE NOTED.
- THE HVAC CONTRACTOR SHALL COORDINATE ALL WORK ABOVE THE CEILING WITH THE ELECTRICAL, PLUMBING, AND GENERAL CONTRACTORS TO INSURE THE SCHEDULED CEILING HEIGHTS CAN BE MAINTAINED.
- THE EXISTING ROOF AND FLOOR DECKING SHALL NOT BE USED AS AN ATTACHMENT POINT. ALL ATTACHMENT POINTS SHALL BE TO STEEL FRAMING OR MASONRY WALLS. PROVIDE SUPPLEMENTAL SUPPORTS AS REQUIRED.
- ALL LOW VOLTAGE WIRING (UNDER 120V) REQUIRED FOR HVAC EQUIPMENT SHALL BE PROVIDED BY THE HVAC CONTRACTOR PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS UNLESS OTHERWISE NOTED.
- HVAC AND PIPING LAYOUTS ARE SCHEMATIC, CONTRACTOR SHALL PROVIDE OFFSETS AND FITTINGS AS REQUIRED TO ACCOMMODATE FIELD CONDITIONS.
- IN AREAS WHERE CEILING REMOVAL IS NOT INDICATED TO BE PERFORMED BY THE GENERAL CONTRACTOR, (REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR LIMITS OF WORK). THE CONTRACTOR WILL BE RESPONSIBLE TO REMOVE EXISTING CEILING SYSTEMS. PRIOR TO START OF ANY DEMOLITION WORK, THE CONTRACTOR SHALL PHOTOGRAPH ANY AREAS WITH EXISTING DAMAGE AND NOTIFY THE OWNER PRIOR TO START OF WORK. IN AREAS WHERE ACOUSTICAL CEILINGS ARE PRESENT, CAREFULLY REMOVE AND TEMPORARILY STORE EXISTING ACOUSTICAL CEILING TILE AND ASSOCIATED CEILING TRACK SYSTEM. IN AREAS WHERE PLASTER CEILINGS ARE PRESENT, CUT AND REMOVE EXISTING PLASTER CEILING SYSTEM AS NEEDED TO COMPLETE ALL INDICATED WORK. THE CONTRACTOR WILL BE RESPONSIBLE TO TEMPORARILY SUPPORT ALL EXISTING CEILING DEVICES (LIGHT FIXTURES, SPEAKERS, DETECTORS, SENSORS, ETC.). ONCE ALL INDICATED WORK IS COMPLETE THE CONTRACTOR WILL BE RESPONSIBLE TO RESTORE EXISTING CEILING SYSTEMS AND REINSTALL ALL TEMPORARILY REMOVED EXISTING CEILING DEVICES. THE CONTRACTOR TO REPLACE ALL CEILING TILES, SUPPORTS, GRID AND DEVICES THAT WERE DAMAGED AS A RESULT OF THE CONTRACTOR'S WORK. PROVIDE 24" x 24" ACCESS PANELS WITH PLASTER FRAME IN ALL GYPSUM BOARD / PLASTER CEILING SYSTEMS WHERE NEEDED TO PROVIDE NECESSARY SERVICE ACCESS TO ISOLATION VALVES AND FIRE DAMPERS.



PROJECT MAGNETIC

PROJECT

CONSOLIDATED ENGINEERS

1022 James Drive  
Leesport, PA 19833  
Tel: 610-916-1600 Fax: 610-916-1610  
Internet: www.consolidatedengineers.com

CIE

COMMONWEALTH OF PENNSYLVANIA  
REGISTERED PROFESSIONAL ENGINEER  
ADAM NICHOLAS MOSER  
No. 000000000

AEM ARCHITECTS INC.

3700 PERKINS AVENUE, READING, PA 19606-2785  
Phone: 610-79-3220 Fax: 610-79-3222  
www.aem-arch.com

HVAC DETAILS, NOTES AND LEGEND

RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14  
BCIU MAIN OFFICE  
1111 COMMONS BLVD, READING, PA 19605

ALL DIMENSIONS AND EXISTING CONDITIONS  
WILL BE CHECKED AND VERIFIED  
BY THE CONTRACTOR AT THE SITE

JOB NO.: 24015.00  
DRAWN BY: KA  
DATE: 10.15.25

H-1



SERIES FAN-POWERED AIR TERMINAL UNIT WITH HYDRONIC COIL SCHEDULE																					BASIS OF DESIGN: TRANE		
SYMBOL	MAX PRIMARY CFM	MIN PRIMARY CFM	SIZE	UNIT APD (in. wg)	FAN DATA				EAT (°F)	LAT (°F)	FLUID GPM	CAPACITY MBH	EWT (°F)	COIL ROWS	WPD (in. wg)	SOUND DATA				BRANCH PIPING SIZE	MODEL		REMARKS
					FAN CFM	ESP (in. wg)	FAN HP	ELECTRICAL								INLET SP (in. wg)	RAD NC	DIS NC					
FPV-A1	1310	535	10"ø	0.36"	1310	0.25"	3/4	277V-1ø-60	55	101.1	4.4	52.9	180	1	13.0'	0.75"	21	33	1"	VSWG	-		
FPV-A2	1310	535	10"ø	0.36"	1310	0.25"	3/4	277V-1ø-60	55	101.1	4.4	52.9	180	1	13.0'	0.75"	21	33	1"	VSWG	-		
FPV-A3	910	490	10"ø	0.36"	910	0.25"	1/3	277V-1ø-60	55	99.8	3.3	37.4	180	1	6.4'	0.75"	25	31	1"	VSWG	-		
FPV-A4	700	525	8"ø	0.32"	700	0.25"	1/3	277V-1ø-60	55	102.2	2.8	33.0	180	1	4.7"	0.75"	21	32	3/4"	VSWG	-		
FPV-A5	1060	570	10"ø	0.39"	1060	0.25"	1/3	277V-1ø-60	55	97.6	3.8	41.0	180	1	8.4'	0.75"	27	32	1"	VSWG	-		
FPV-A6	1060	570	10"ø	0.39"	1060	0.25"	1/3	277V-1ø-60	55	97.6	3.8	41.0	180	1	8.4'	0.75"	27	32	1"	VSWG	-		
FPV-A7	700	525	8"ø	0.32"	700	0.25"	1/3	277V-1ø-60	55	102.3	2.8	33.0	180	1	4.7"	0.75"	21	32	3/4"	VSWG	-		
FPV-A8	700	525	8"ø	0.32"	700	0.25"	1/3	277V-1ø-60	55	102.3	2.8	33.0	180	1	4.7"	0.75"	21	32	3/4"	VSWG	-		
FPV-A20	1740	460	12"ø	0.43"	1740	0.25"	3/4	277V-1ø-60	55	98.4	5.5	61.0	180	1	19.2'	0.75"	26	40	1"	VSWG	-		
FPV-A21	1690	400	12"ø	0.42"	1690	0.25"	3/4	277V-1ø-60	55	98.9	5.2	59.6	180	1	17.7'	0.75"	26	40	1"	VSWG	-		
FPV-A22	610	120	8"ø	0.30"	610	0.25"	1/3	277V-1ø-60	55	107.2	1.9	26.6	180	1	2.3'	0.75"	20	31	3/4"	VSWG	-		
FPV-A23	2300	410	14"ø	0.42"	2300	0.25"	1	277V-1ø-60	55	99.2	7.0	79.6	180	1	13.1'	0.75"	45	40	1-1/4"	VSWG	-		
FPV-B1	600	150	8"ø	0.30"	600	0.25"	1/3	277V-1ø-60	55	107.2	1.9	26.6	180	1	2.3'	0.75"	31	20	3/4"	VSWG	-		
FPV-C1	740	150	8"ø	0.33"	740	0.25"	1/3	277V-1ø-60	55	104.8	2.3	30.4	180	1	3.2'	0.75"	21	32	3/4"	VSWG	-		
FPV-C10	560	215	8"ø	0.30"	560	0.25"	1/3	277V-1ø-60	55	107.4	1.9	26.2	180	1	2.3'	0.75"	19	31	3/4"	VSWG	-		

SHUT-OFF AIR TERMINAL UNIT SCHEDULE																	BASIS OF DESIGN: TRANE		
SYMBOL	COOLING CFM		BOX INLET SIZE	UNIT APD (BOX + COIL)	HEATING COIL DATA									SOUND DATA			BRANCH PIPING SIZE	MODEL	REMARKS
	MAX	MIN			HEATING CFM	E.A.T. (°F)	L.A.T. (°F)	GPM	MBH	EWT (°F)	LWT (°F)	ROWS	WPD	INLET S.P.	DISCHARGE NC	RADIATED NC			
SOV-A10	260	70	5"ø	0.09"	170	55	100.2	0.7	8.3	180	156.9	1	0.9'	0.75"	29	16	3/4"	VCWF	—
SOV-A11	100	25	4"ø	0.03"	60	55	129.8	0.5	4.9	180	160.6	1	0.5'	0.75"	20	—	3/4"	VCWF	—
SOV-A20	400	170	6"ø	0.28"	360	55	93.8	1.1	10.9	180	160.3	1	2.0'	0.75"	30	19	3/4"	VCWF	—
SOV-A21	200	70	4"ø	0.05"	180	55	105.0	0.6	7.1	180	154.9	1	0.6'	0.75"	31	—	3/4"	VCWF	—
SOV-A22	390	120	6"ø	0.26"	240	55	94.9	1.0	10.4	180	159.7	1	1.7'	0.75"	30	18	3/4"	VCWF	—
SOV-A23	150	30	4"ø	0.04"	90	55	115.2	0.5	5.9	180	156.5	1	0.5'	0.75"	26	—	3/4"	VCWF	—
SOV-A24	380	60	6"ø	0.25"	230	55	95.5	1.0	10.1	180	159.4	1	1.6'	0.75"	30	18	3/4"	VCWF	—
SOV-A25	400	200	6"ø	0.28"	260	55	95.0	0.6	8.7	180	152.1	1	0.7'	0.75"	30	19	3/4"	VCWF	—
SOV-B1	300	70	5"ø	0.1"	180	55	99.3	0.8	8.7	180	157.6	1	1.1'	0.75"	30	19	3/4"	VCWF	—
SOV-B2	100	40	4"ø	0.03"	60	55	129.8	0.5	4.9	180	160.6	1	0.5	0.75"	20	—	3/4"	VCWF	—
SOV-B3	250	70	5"ø	0.08"	220	55	96.2	0.9	9.8	180	159.1	1	1.5'	0.75"	29	16	3/4"	VCWF	—
SOV-B4	100	40	4"ø	0.03"	60	55	129.8	0.5	4.9	180	160.6	1	0.5'	0.75"	20	—	3/4"	VCWF	—
SOV-B5	100	40	4"ø	0.03"	60	55	129.8	0.5	4.9	180	160.6	1	0.5'	0.75"	20	—	3/4"	VCWF	—
SOV-B6	290	120	5"ø	0.1"	180	55	99.3	0.8	8.7	180	157.6	1	1.1'	0.75"	31	18	3/4"	VCWF	—
SOV-B7	140	40	4"ø	0.04"	130	55	105.0	0.6	7.1	180	154.9	1	0.6'	0.75"	25	—	3/4"	VCWF	—
SOV-B8	250	40	5"ø	0.08"	150	55	102.3	0.6	7.7	180	156.0	1	0.8'	0.75"	29	16	3/4"	VCWF	—
SOV-B9	460	105	8"ø	0.14"	280	55	98.3	1.2	13.1	180	158.0	1	3.0'	0.75"	29	15	3/4"	VCWF	—
SOV-B10	460	105	8"ø	0.14"	280	55	98.3	1.2	13.1	180	158.0	1	3.0'	0.75"	29	15	3/4"	VCWF	—
SOV-B11	460	105	8"ø	0.14"	280	55	98.3	1.2	13.1	180	158.0	1	3.0'	0.75"	29	15	3/4"	VCWF	—
SOV-B12	310	70	5"ø	0.11"	190	55	98.4	0.8	9.0	180	157.9	1	1.2'	0.75"	30	19	3/4"	VCWF	—
SOV-B13	150	70	4"ø	0.04"	90	55	115.2	0.5	5.9	180	156.5	1	0.5'	0.75"	26	—	3/4"	VCWF	—
SOV-B20	100	25	4"ø	0.03"	60	55	129.8	0.5	4.9	180	160.6	1	0.5'	0.75"	20	—	3/4"	VCWF	—
SOV-C1	410	210	6"ø	0.29"	250	55	94.3	1.1	10.7	180	159.9	1	1.8'	0.75"	30	19	3/4"	VCWF	—
SOV-C2	620	0	8"ø	0.22"	380	55	93.7	1.6	16.0	180	160.2	1	5.1'	0.75"	31	19	3/4"	VCWF	—
SOV-C10	320	60	5"ø	0.11"	230	55	95.5	1.0	10.1	180	159.4	1	1.6'	0.75"	31	20	3/4"	VCWF	—

KITCHEN VENTILATION SYSTEM SCHEDULE													BASIS OF DESIGN: CAPTIVEAIRE	
SYMBOL	SUPPLY FAN				ELECTRICAL			HEATING			SONES	MODEL	MAX. OPERATING WEIGHT	REMARKS
	CFM	E.S.P.	H P	RPM	ELEC.	MCA	MOP	MBH INPUT	MBH OUTPUT	TEMP. RISE °F				
KVS-1	1550	1.0"	1.5	1235	480-3-60	3.7	15	146.7	118.9	71.0	22	CAS-HVAC2-1,200-15	1550 lbs.	REFER TO SPEC. SECTION 235830

NOTES: 1. VERIFY FINAL MOUNTING LOCATION OF REMOTE CONTROL STATION WITH OWNER PRIOR TO INSTALLATION.

KITCHEN VENTILATION FAN SCHEDULE											BASIS OF DESIGN: CAPTIVEAIRE	
SYMBOL	EXHAUST FAN				ELECTRICAL		TYPE	SONES	CONTROL	MODEL	MAX. OPERATING WEIGHT	REMARKS
	CFM	E.S.P.	H P	RPM	ELEC.	FLA						
KEF-1	1783	1.0"	1	1417	480-3-60	1.8	UPBLAST	9.7	INTERLOCK WITH KVS-1	DU180HFA	250 lbs.	REFER TO SPEC. SECTION 235830

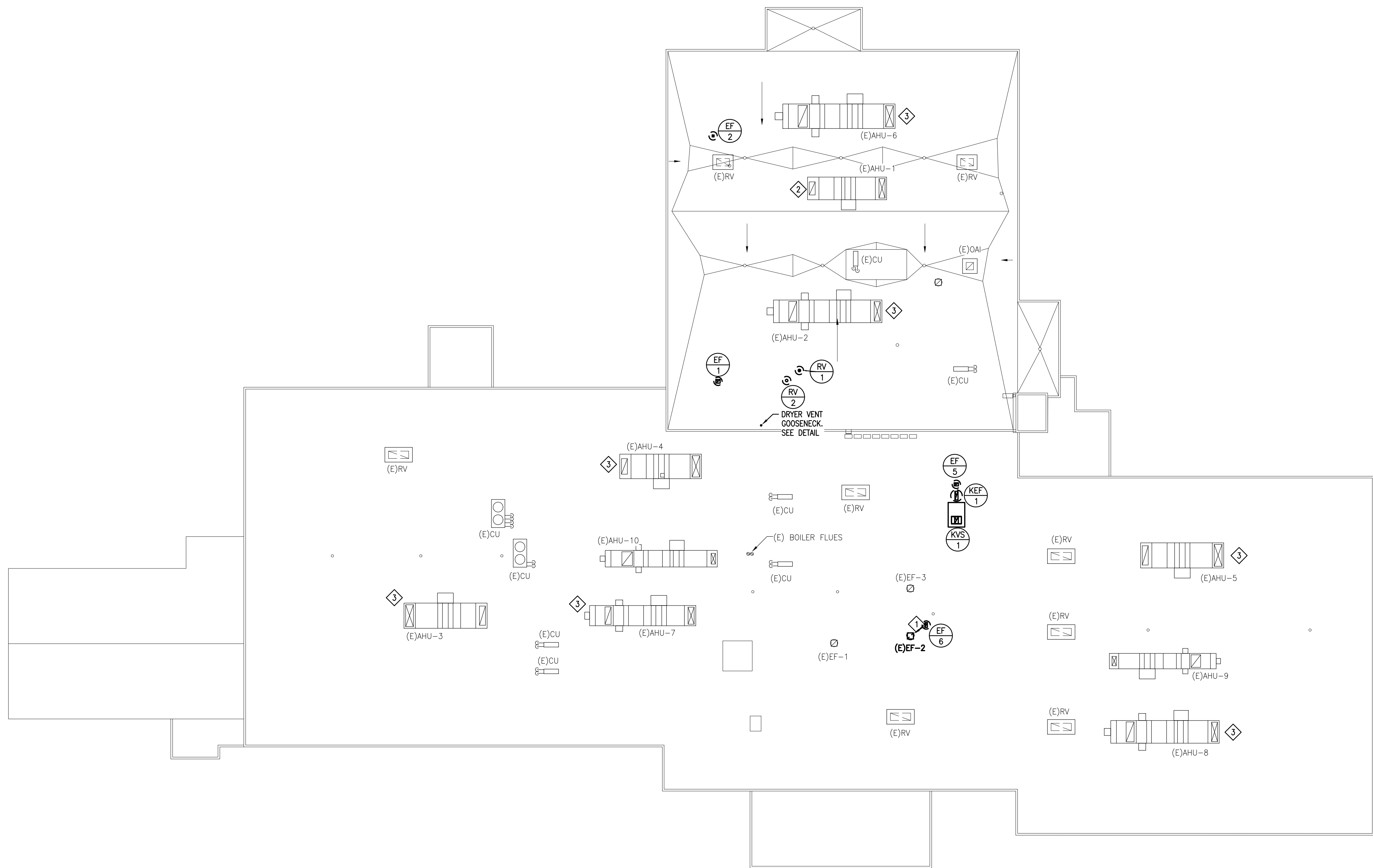
NOTES: 1. VERIFY FINAL MOUNTING LOCATION OF REMOTE CONTROL STATION WITH OWNER PRIOR TO INSTALLATION.

EXHAUST FAN SCHEDULE													BASIS OF DESIGN: LOREN COOK	
SYMBOL	CFM	SP	FAN DATA			DRIVE	BMS INTERLOCK	DAMPER	SONES	CONTROL	MOUNTING	MODEL	REMARKS	
			H.P.	RPM	ELECTRICAL									
EF-1	1000	0.90"	1/2	1287	120V-1ø	DIRECT	YES	BDD	10.6	TIME OF DAY SCHEDULE	ROOF	135C15D	PROVIDE W/ DISCONNECT, CURB, AND SPEED CONTROL	
EF-2	100	0.25"	65 WATTS	1239	120V-1ø	DIRECT	YES	BDD	3.3	REVERSE ACTING T-STAT	ROOF	70C15D	PROVIDE W/ DISCONNECT, CURB, AND SPEED CONTROL	
EF-3	140	0.25"	48 WATTS	1071	120V-1ø	DIRECT	NO	BDD	2.5	MANUAL SWITCH BY E.C.	CEILING	GC-166	PROVIDE W/ DISCONNECT, CEILING GRILLE, AND SPEED CONTROL	
EF-4	100	0.25"	38 WATTS	891	120V-1ø	DIRECT	NO	BDD	1.5	MANUAL SWITCH BY E.C.	CEILING	GC-148	PROVIDE W/ DISCONNECT, CEILING GRILLE, AND SPEED CONTROL	
EF-5	600	0.50"	1/8	1520	120V-1ø	DIRECT	YES	BDD	1.5	INTERLOCK W/ DISHWASHER	ROOF	101R15D	PROVIDE W/ DISCONNECT, CURB, AND SPEED CONTROL	
EF-6	520	0.75"	1/3	1777	120V-1ø	DIRECT	YES	BDD	11.4	TIME OF DAY SCHEDULE	ROOF	01ACEDOR8B	PROVIDE W/ DISCONNECT, CURB, AND SPEED CONTROL	

NOTES: 1. MODEL NUMBERS ARE INDICATED FOR REFERENCE ONLY. THE DUTIES AND CAPACITIES ARE TO BE USED FOR FINAL UNIT SELECTION BY THE MANUFACTURER.

AIR COOLED CONDENSING UNIT SCHEDULE												BASIS OF DESIGN: MITSUBISHI
SYMBOL	ASSOCIATED INDOOR UNIT	MAXIMUM MBH	MINIMUM MBH	AMBIENT TEMP.	COMPRESSOR STAGES	ELECTRICAL			WEIGHT LBS	REFRIGERANT	MODEL	REMARKS
						VOLTAGE/PHASE	MCA	BRKR				
CU-1	AC-1	18.0	4.3	95°F	VARIABLE	208-1-60	11	15	120	R-454B	PUY-A18NKA7	
CU-2	AC-2	18.0	4.3	95°F	VARIABLE	208-1-60	11	15	120	R-454B	PUY-A18NKA7	

NOTES: 1



1 ROOF PLAN - HVAC  
H-3 SCALE: 1/8" = 1'-0"

### GENERAL DRAWING NOTES:

1. REFER TO DRAWING H-1 FOR HVAC GENERAL PROJECT NOTES.
2. PROVIDE REQUIRED SERVICE CLEARANCE FOR ALL HVAC UNITS AS RECOMMENDED BY THE EQUIPMENT MANUFACTURER.
3. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF HVAC CEILING OUTLETS AND OTHER CEILING MOUNTED DEVICES. ANY CEILING REMOVAL REQUIRED FOR WORK TO BE COMPLETED UNDER THIS CONTRACT, THAT IS NOT INDICATED ON THE ARCHITECTURAL PLANS, SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR. CEILINGS REMOVED BY THIS CONTRACTOR SHALL BE REPLACE AND/OR REPAIRED BY HIM, AS PER SPECIFICATIONS.

### KEYED DRAWING NOTES:

- ◆ RE-USE EXISTING PENETRATION OF DEMOLISHED EXHAUST FAN. PATCH ROOF AS REQ'D TO MATCH EXISTING MATERIALS.
- ◆ MODIFY BMS CONTROLS TO CONVERT EXIST AHU-1 TO VAV OPERATION. REFER TO SECTION 230605 - SEQUENCE OF OPERATIONS FOR DETAILS.
- ◆ PROVIDE HUMIDITY SENSORS AND CONTROL PROGRAMMING TO ENABLE DEHUMIDIFICATION CONTROL ON EXIST. AHU. REFER TO SECTION 230905 - SEQUENCE OF OPERATIONS - HVAC CONTROLS FOR DETAILS.

ROOF PLAN - HVAC

RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14  
BCIU MAIN OFFICE  
1111 COMMONS BLVD, READING, PA 19605

ALL DIMENSIONS AND EXISTING CONDITIONS  
SHALL BE CHECKED AND VERIFIED  
BY THE CONTRACTOR AT THE SITE.  
JOB NO: 24015.00  
DRAWN BY: KA  
DATE: 10.15.25

H-3

CONSOLIDATED  
ENGINEERS

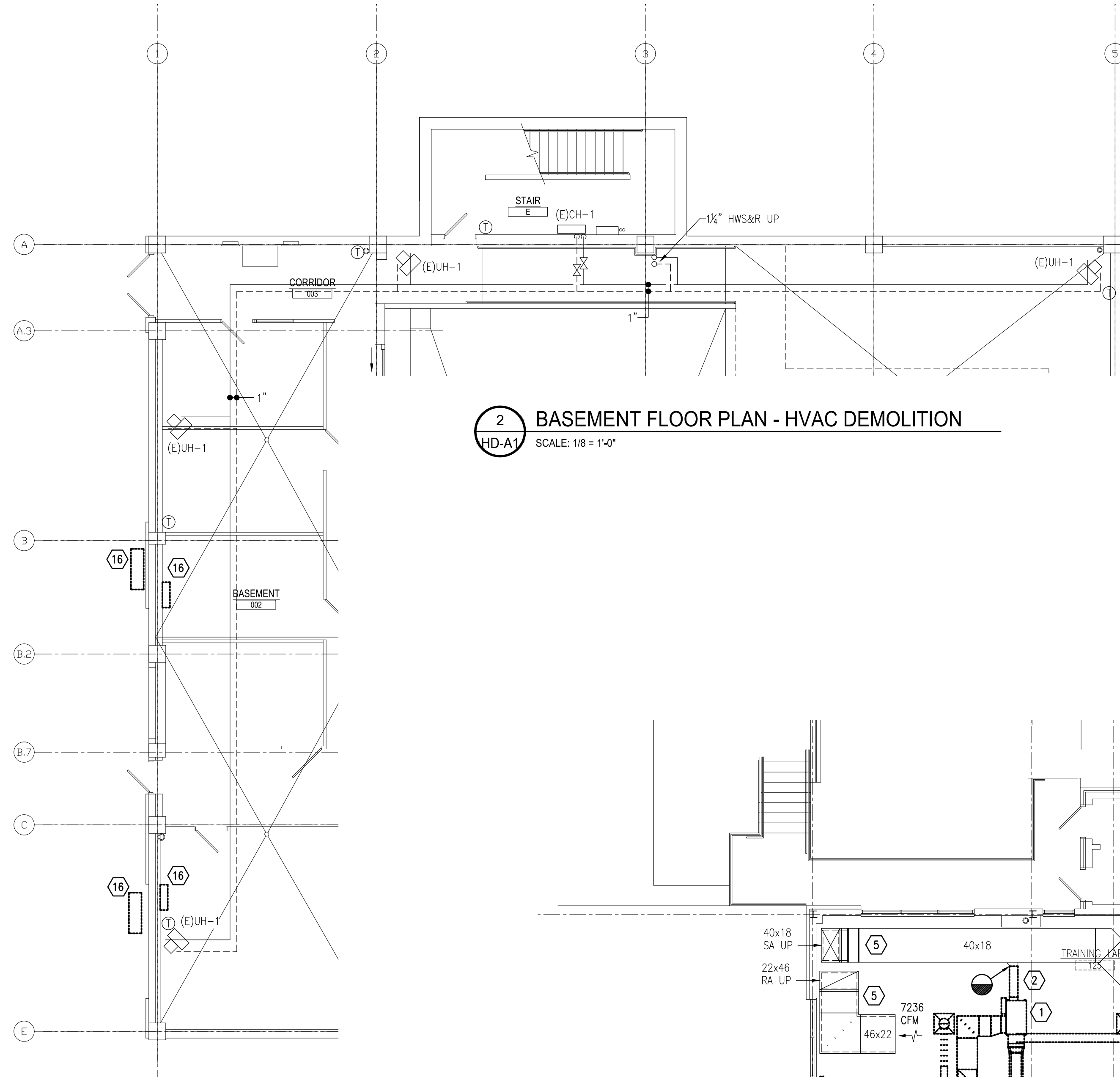
1022 James Drive  
Leopold, PA 19533  
Tel: 610-916-1600 Fax: 610-916-1610  
Internet: www.consolidatedengineers.com

CIE

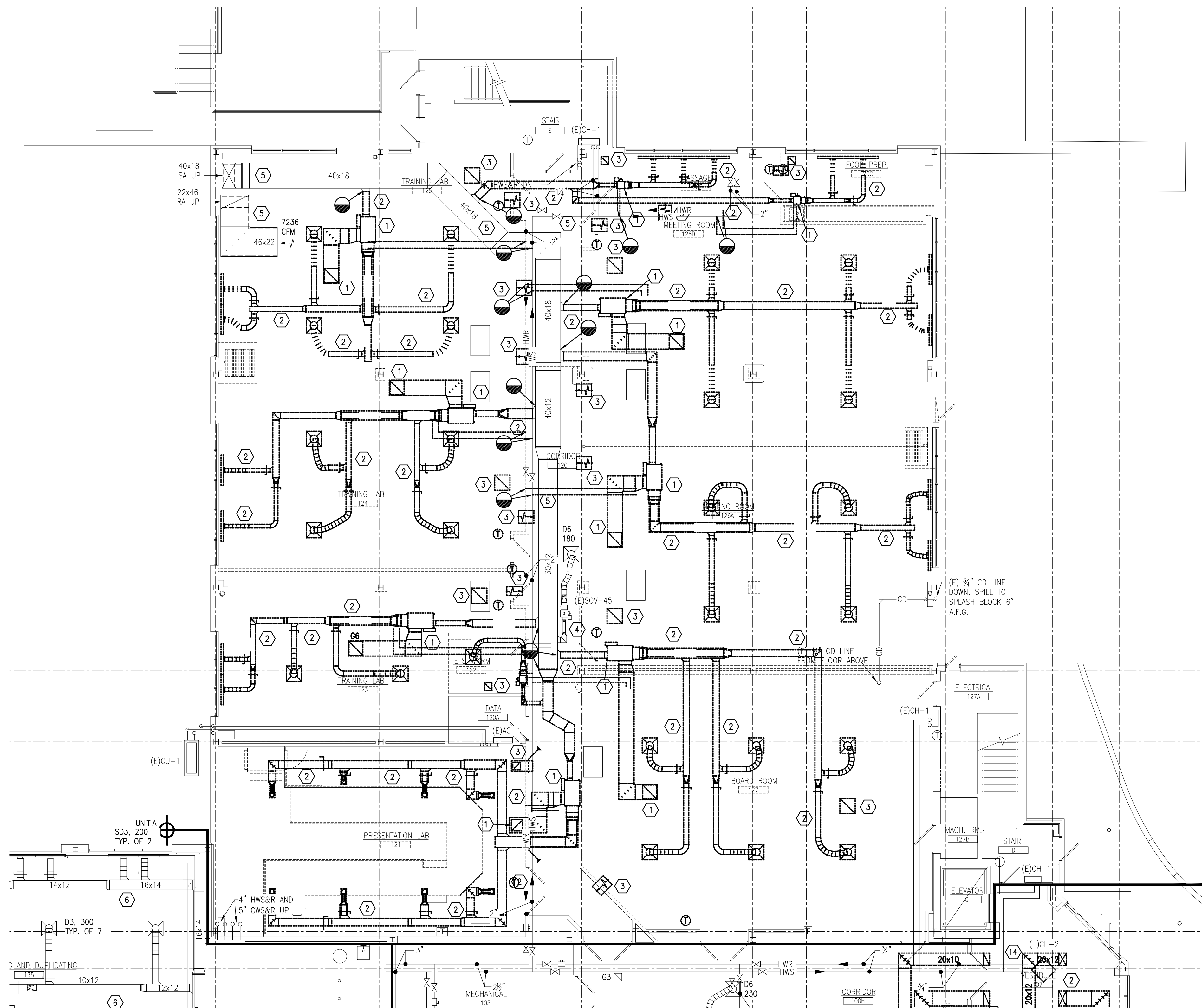


AEM ARCHITECTS INC.  
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Phone: 610-779-3220 Fax: 610-779-3222 www.aem-arch.com





**2 BASEMENT FLOOR PLAN - HVAC DEMOLITION**  
 SCALE: 1/8" = 1'-0"



**1 FIRST FLOOR PLAN - UNIT A - HVAC DEMOLITION**  
 SCALE: 1/8" = 1'-0"

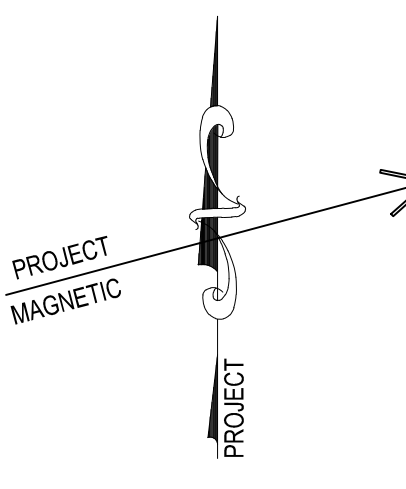
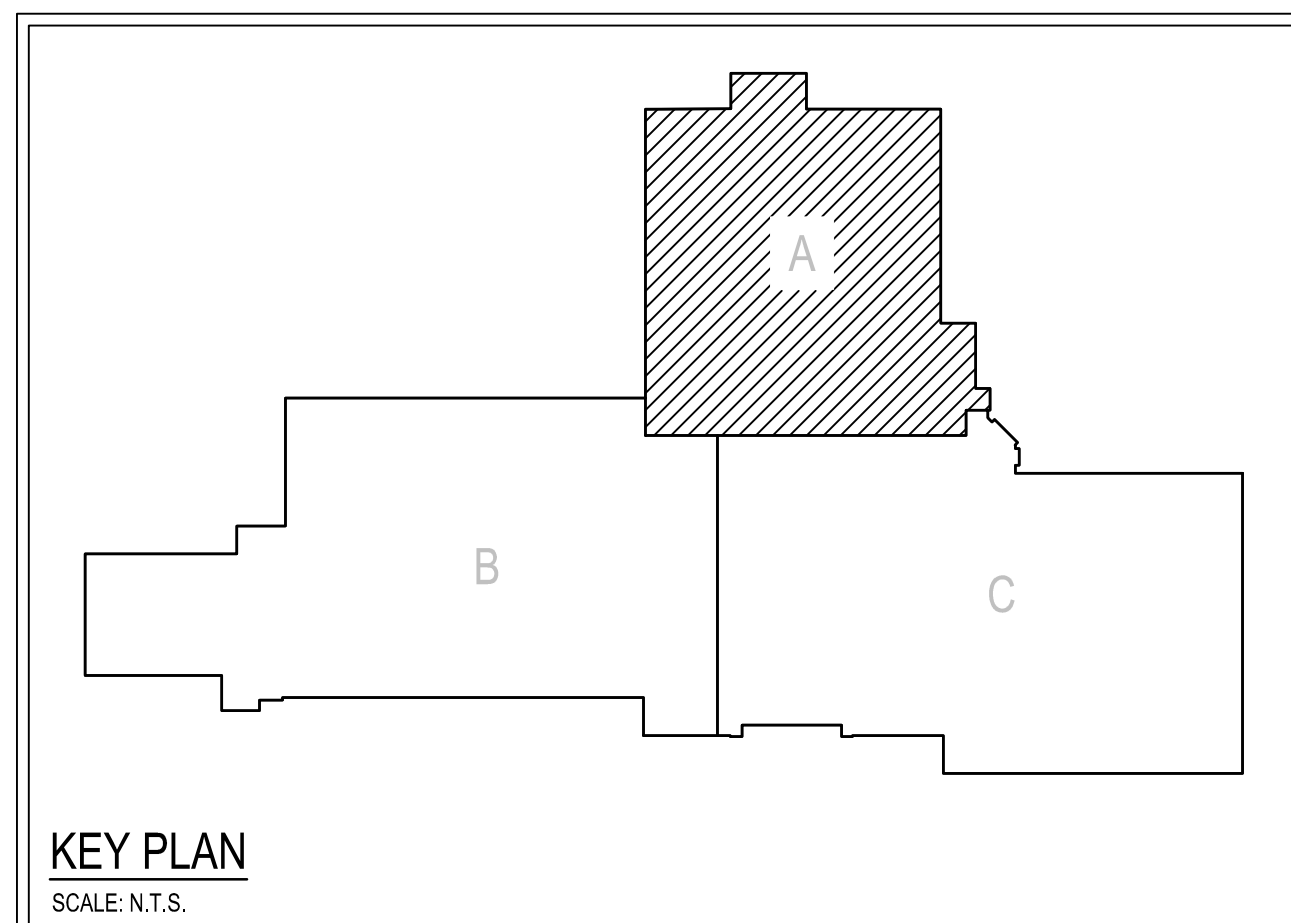
THE DEMOLITION WORK INDICATED IS INTENDED TO ASSIST THE CONTRACTOR AND GIVE GENERAL INFORMATION. THE CONTRACTOR SHALL BE REQUIRED TO VISIT THE PROJECT SITE PRIOR TO BIDDING TO FULLY ACQUAINT HIMSELF WITH THE EXTENT OF ALL DEMOLITION WORK WHICH IS NECESSARY TO COMPLETE THE ALTERATIONS AND NEW CONSTRUCTION AS DESCRIBED IN THE CONTRACT DOCUMENTS. ALL DEMOLITION WORK REQUIRED SHALL BE INCLUDED IN THE CONTRACT PRICE WHETHER INDICATED ON THE DRAWING OR NOT. THE CONTRACTOR WILL NOT BE ENTITLED TO ANY CLAIMS FOR ADDITIONAL COMPENSATION RELATED TO REQUIRED DEMOLITION.

**GENERAL DEMOLITION NOTES:**

1. THE HVAC CONTRACTOR SHALL COORDINATE THE SALVAGE AND DISPOSAL OF ALL EQUIPMENT AND MATERIAL WITH THE OWNER. THE HVAC CONTRACTOR SHALL RETURN TO THE OWNER ANY ITEMS NOTED OR NOT NOTED, ON THE DRAWINGS, AT THE OWNERS REQUEST. ALL REMAINING EQUIPMENT AND MATERIAL SHALL BE DISPOSED OF BY THE HVAC CONTRACTOR.
2. THE HVAC CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS AS REQUIRED TO ACCOMMODATE PROJECT PHASING.
3. THE HVAC CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING, PATCHING, EXCAVATION AND BACKFILLING REQUIRED TO COMPLETE ALL INDICATED WORK.
4. ALL EXISTING PIPING AND EQUIPMENT SHOWN MUST BE VERIFIED IN THE FIELD. ANY HVAC EQUIPMENT NOT SHOWN SHALL BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO REMOVAL.
5. REMOVE ALL EXISTING CONCRETE EQUIPMENT PADS LOCATED BENEATH ALL DEMOLISHED EQUIPMENT, UNLESS OTHERWISE NOTED.
6. PRIOR TO REMOVAL OF ANY EXISTING HVAC EQUIPMENT THAT CONTAINS REFRIGERANT THE HVAC CONTRACTOR SHALL REMOVE AND RECOVER THE ENTIRE CONTENT OF THE REFRIGERANT AND ALL ASSOCIATED OIL IN THE EXISTING EQUIPMENT. ALL REFRIGERANT/OIL RECOVERY EQUIPMENT IS REQUIRED TO BE CERTIFIED BY AN EPA-APPROVED TESTING ORGANIZATION TO ASSURE THAT THE EQUIPMENT MEETS EPA STANDARDS BASED ON THE TESTING METHOD ESTABLISHED BY AHRI STANDARD 740. REMOVAL OF ALL CFC AND HCFC REFRIGERANTS MUST CONFORM TO THE REQUIREMENTS OF THE ENVIRONMENTAL PROTECTION AGENCY. ALL WORK IS TO BE PERFORMED BY AN EPA CERTIFIED TECHNICIAN.
7. IN AREAS WHERE THE EXISTING HVAC SYSTEM WILL REMAIN AND THE SPACE IS SCHEDULED TO RECEIVE NEW ACUSTICAL CEILINGS AS INDICATED ON THE ARCHITECTURAL DRAWINGS, THE HVAC CONTRACTOR WILL BE RESPONSIBLE TO TEMPORARILY REMOVE, THOROUGHLY CLEAN AND STORE ALL EXISTING CEILING MOUNTED GRILLES, REGISTERS AND DIFFUSERS. ONCE THE CEILING REPLACEMENT IS COMPLETE, THE HVAC CONTRACTOR SHALL REINSTALL AND RECONNECT ALL EXISTING TEMPORARILY REMOVED HVAC CEILING MOUNTED GRILLES, REGISTERS AND DIFFUSERS.
8. HVAC CONTRACTOR WILL BE RESPONSIBLE TO REMOVE AND REPLACE ALL EXISTING CEILING SYSTEMS THAT ARE NOT NOTED TO BE REMOVED BY THE G.C. ON THE ARCHITECTURAL DRAWINGS, IN ALL AREAS WHERE REQUIRED HVAC WORK IS INDICATED.

**KEYED DRAWING NOTES:**

- 1 REMOVED EXISTING VAV UNIT AND ALL ASSOCIATED DUCTWORK, PIPING, INSULATION, GRILLES, DIFFUSERS, DAMPERS, HANGERS, SUPPORTS, AND CONTROLS IN THEIR ENTIRETY.
- 2 REMOVE EXISTING DUCTWORK AND ALL ASSOCIATED DIFFUSERS, GRILLES, DAMPERS, INSULATION, HANGERS, AND SUPPORTS IN THEIR ENTIRETY BACK TO POINT(S) INDICATED.
- 3 REMOVE EXISTING CEILING GRILLE, REGISTER, OR DIFFUSER, AND ALL ASSOCIATED TRANSFER DUCTWORK, DAMPERS, INSULATION, HANGERS, AND SUPPORTS IN THEIR ENTIRETY.
- 4 EXISTING VAV UNIT TO REMAIN.
- 5 EXISTING DUCTWORK SHALL REMAIN AND BE THOROUGHLY CLEANED, REFER TO SPECIFICATIONS FOR REQUIREMENTS.
- 6 (ALTERNATE BID ONLY) EXISTING DUCTWORK SHALL REMAIN AND BE THOROUGHLY CLEANED, REFER TO SPECIFICATIONS FOR REQUIREMENTS.
- 7 EXISTING GRILLE, REGISTER, OR DIFFUSER TO BE REUSED IN NEW CEILING (BY GC). HC TO PROVIDE TEMPORARY SUPPORTS. EXTEND DUCTWORK AS REQUIRED TO ACCOMMODATE NEW LOCATION. THOROUGHLY CLEAN PRIOR TO REUSE.
- 8 (BASE BID ONLY. DEDUCT THIS WORK IF ALTERNATE IS CHOSEN) EXISTING GRILLE, REGISTER, OR DIFFUSER TO BE REUSED IN NEW CEILING (BY GC). HC TO PROVIDE TEMPORARY SUPPORTS. EXTEND DUCTWORK ARE REQUIRED TO ACCOMMODATE NEW LOCATION. THOROUGHLY CLEAN PRIOR TO REUSE.
- 9 (BASE BID ONLY. DEDUCT THIS WORK IF ALTERNATE IS CHOSEN) EXISTING CEILING EXHAUST FAN TO BE REUSED IN NEW CEILING (BY GC). HC TO PROVIDE TEMPORARY SUPPORTS. EXTEND DUCTWORK ARE REQUIRED TO ACCOMMODATE NEW LOCATION. THOROUGHLY CLEAN PRIOR TO REUSE.
- 10 EXISTING WALL HUNG A/C ON DEMOLISHED WALL TO BE RELOCATED. HC TO PROVIDE TEMPORARY SUPPORTS FOR UNIT AND PIPING.
- 11 REMOVE EXISTING KITCHEN VENTILATION UNIT, EXHAUST FAN, ROOF CURB AND ALL ASSOCIATED DUCTWORK, INSULATION, DAMPER, HANGERS, SUPPORTS, AND CONTROLS IN THEIR ENTIRETY. PATCH REMAINING ROOF OPENINGS USING MATERIALS THAT MATCH THE ORIGINAL CONSTRUCTION.
- 12 REMOVE EXISTING EXHAUST FAN, ROOF CURB, AND ALL ASSOCIATED CONTROLS AND DUCTWORK IN THEIR ENTIRETY. PATCH REMAINING ROOF OPENINGS USING MATERIALS THAT MATCH THE ORIGINAL CONSTRUCTION.
- 13 EXISTING INLINE EXHAUST FAN TO REMAIN.
- 14 EXISTING CABINET HEATER IN CEILING TO REMAIN. HC TO PROVIDE TEMPORARY SUPPORTS.
- 15 REMOVE EXISTING CONDENSING UNIT AND ASSOCIATED PIPING, VALVES, INSULATION, SUPPORTS AND CONTROLS IN THEIR ENTIRETY.
- 16 REMOVE EXISTING DUCTLESS SPLIT AIR CONDITIONING UNIT AND ALL ASSOCIATED PIPING, VALVES, INSULATION, CONTROLS, SUPPORTS, AND EXTERIOR CONDENSING UNIT IN THEIR ENTIRETY. EXISTING CONCRETE PAD TO REMAIN.



**CONSOLIDATED ENGINEERS**  
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 Leesport, PA 19633  
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 Internet: www.consolidatedengineers.com



**COMMONWEALTH OF PENNSYLVANIA**  
 REGISTERED PROFESSIONAL ENGINEER  
 ADAM NICHOLAS MOSER  
 No. 1000000000000000

**AEM ARCHITECTS, INC.**  
 3700 PERKIDOMEN AVENUE, READING, PA 19606-2785  
 Phone: 610-779-3220 Fax: 610-779-3222  
 www.aem-arch.com

**FIRST FLOOR PLAN - UNIT A - HVAC DEMOLITION**  
**RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14**  
**BCIU MAIN OFFICE**  
 1111 COMMONS BLVD, READING, PA 19605

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR AT THE SITE.  
 JOB NO: 24015.00  
 DRAWN BY: KA  
 DATE: 10.15.25

**HD-A1**



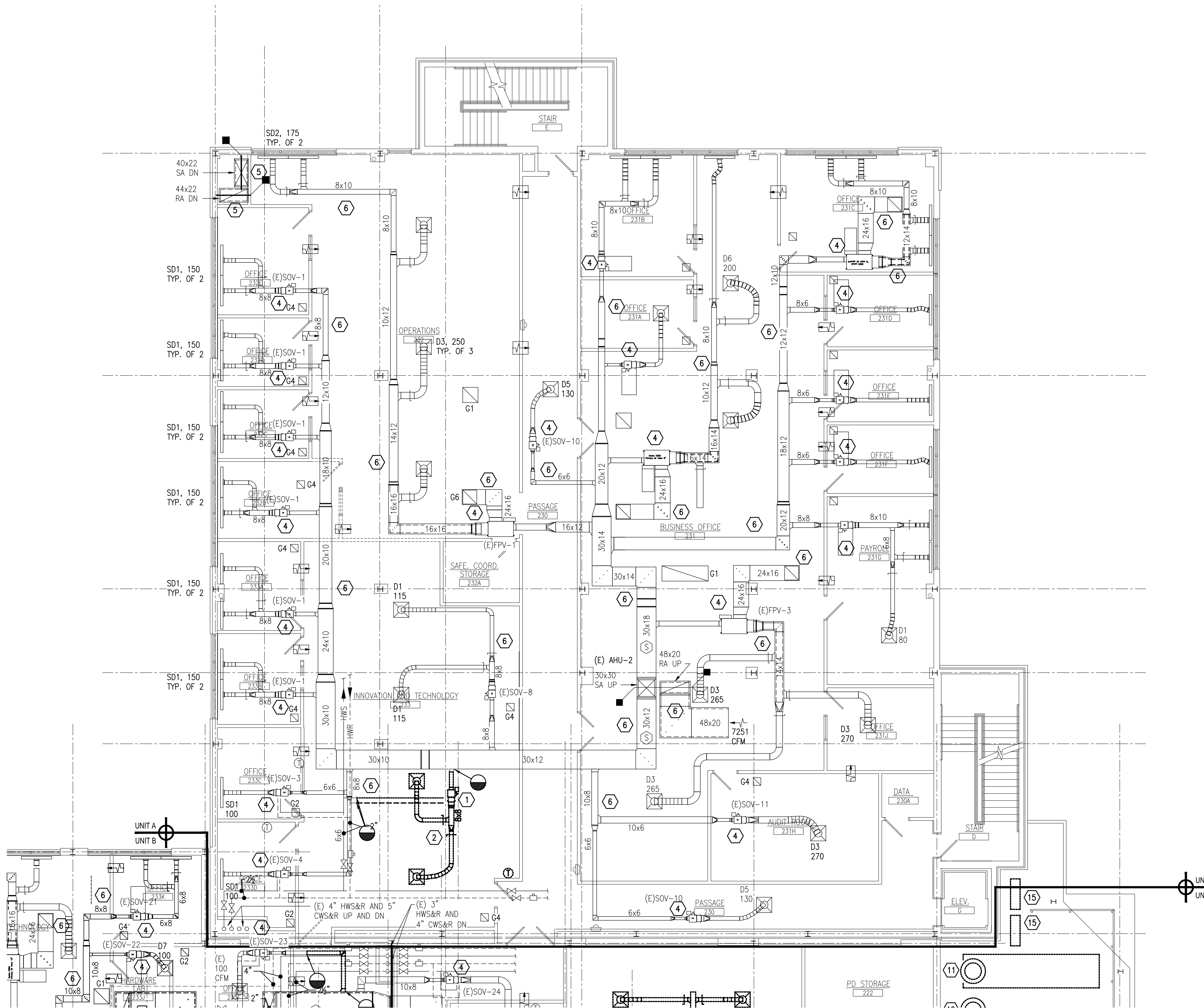
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### GENERAL DEMOLITION NOTES:

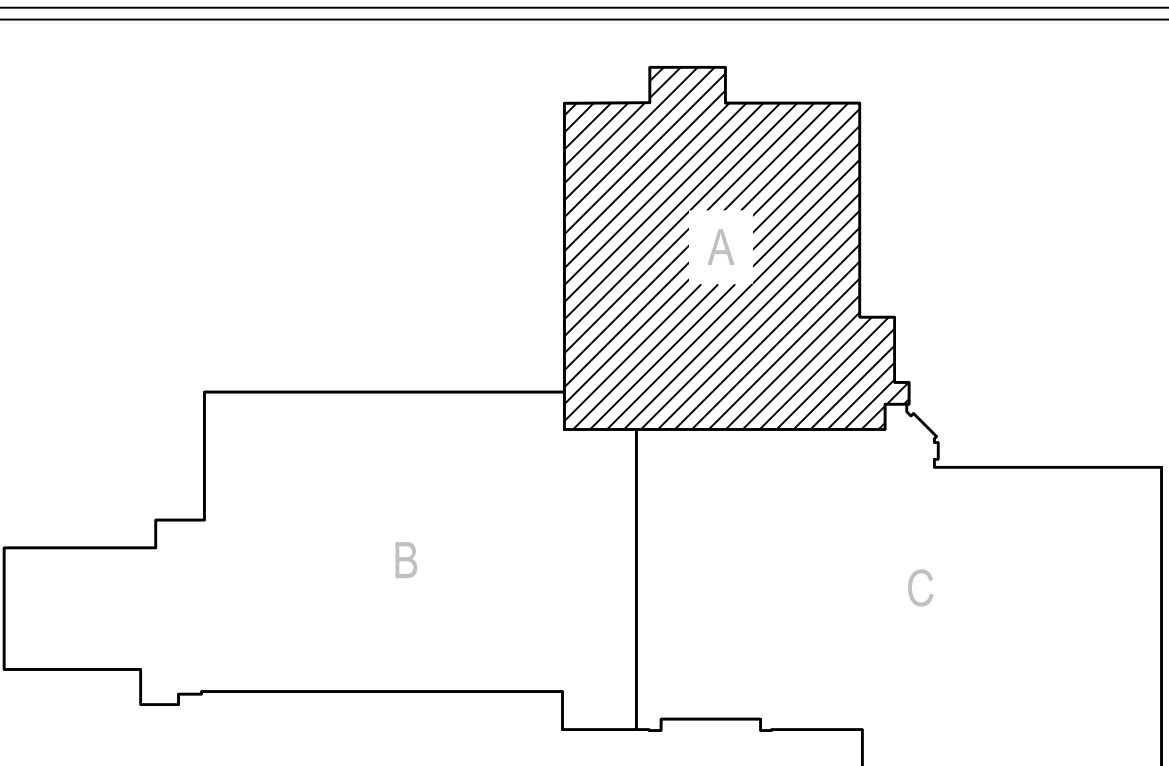
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5. REMOVE ALL EXISTING CONCRETE EQUIPMENT PADS LOCATED BENEATH ALL DEMOLISHED EQUIPMENT, UNLESS OTHERWISE NOTED.
6. PRIOR TO REMOVAL OF ANY EXISTING HVAC EQUIPMENT THAT CONTAINS REFRIGERANT THE HVAC CONTRACTOR SHALL REMOVE AND RECOVER THE ENTIRE CONTENT OF THE REFRIGERANT AND ALL ASSOCIATED OIL IN THE EXISTING EQUIPMENT. ALL REFRIGERANT/OIL RECOVERY EQUIPMENT IS REQUIRED TO BE CERTIFIED BY AN EPA-APPROVED TESTING ORGANIZATION TO ASSURE THAT THE EQUIPMENT MEETS EPA STANDARDS BASED ON THE TESTING METHOD ESTABLISHED BY AHRF STANDARD 740. REMOVAL OF ALL CFC AND HCFC REFRIGERANTS MUST CONFORM TO THE REQUIREMENTS OF THE ENVIRONMENTAL PROTECTION AGENCY. ALL WORK IS TO BE PERFORMED BY AN EPA CERTIFIED TECHNICIAN.
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8. HVAC CONTRACTOR WILL BE RESPONSIBLE TO REMOVE AND REPLACE ALL EXISTING CEILING SYSTEMS THAT ARE NOT NOTED TO BE REMOVED BY THE G.C. ON THE ARCHITECTURAL DRAWINGS, IN ALL AREAS WHERE REQUIRED HVAC WORK IS INDICATED.

### KEYED DRAWING NOTES:

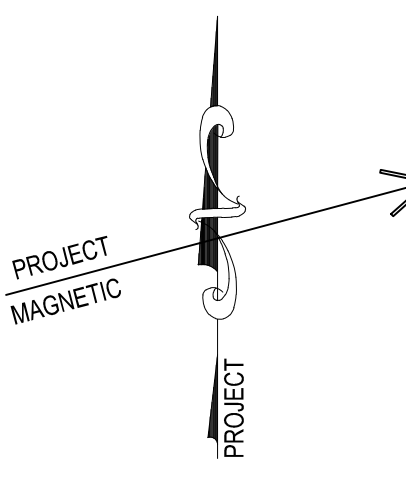
- 1 REMOVED EXISTING VAV UNIT AND ALL ASSOCIATED DUCTWORK, PIPING, INSULATION, GRILLES, DIFFUSERS, DAMPERS, HANGERS, SUPPORTS, AND CONTROLS IN THEIR ENTIRETY.
- 2 REMOVE EXISTING DUCTWORK AND ALL ASSOCIATED DIFFUSERS, GRILLES, DAMPERS, INSULATION, HANGERS, AND SUPPORTS IN THEIR ENTIRETY BACK TO POINT(S) INDICATED.
- 3 REMOVE EXISTING CEILING GRILLE, REGISTER, OR DIFFUSER, AND ALL ASSOCIATED TRANSFER DUCTWORK, DAMPERS, INSULATION, HANGERS, AND SUPPORTS IN THEIR ENTIRETY.
- 4 EXISTING VAV UNIT TO REMAIN.
- 5 EXISTING DUCTWORK SHALL REMAIN AND BE THOROUGHLY CLEANED, REFER TO SPECIFICATIONS FOR REQUIREMENTS.
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- 10 EXISTING WALL HUNG A/C ON DEMOLISHED WALL TO BE RELOCATED. HC TO PROVIDE TEMPORARY SUPPORTS FOR UNIT AND PIPING.
- 11 REMOVE EXISTING KITCHEN VENTILATION UNIT, EXHAUST FAN, ROOF CURB AND ALL ASSOCIATED DUCTWORK, INSULATION, DAMPER, HANGERS, SUPPORTS, AND CONTROLS IN THEIR ENTIRETY. PATCH REMAINING ROOF OPENINGS USING MATERIALS THAT MATCH THE ORIGINAL CONSTRUCTION.
- 12 REMOVE EXISTING EXHAUST FAN, ROOF CURB, AND ALL ASSOCIATED CONTROLS AND DUCTWORK IN THEIR ENTIRETY. PATCH REMAINING ROOF OPENINGS USING MATERIALS THAT MATCH THE ORIGINAL CONSTRUCTION.
- 13 EXISTING INLINE EXHAUST FAN TO REMAIN.
- 14 EXISTING CABINET HEATER IN CEILING TO REMAIN. HC TO PROVIDE TEMPORARY SUPPORTS.
- 15 REMOVE EXISTING CONDENSING UNIT AND ASSOCIATED PIPING, VALVES, INSULATION, SUPPORTS AND CONTROLS IN THEIR ENTIRETY.
- 16 REMOVE EXISTING DUCTLESS SPLIT AIR CONDITIONING UNIT AND ALL ASSOCIATED PIPING, VALVES, INSULATION, CONTROLS, SUPPORTS, AND EXTERIOR CONDENSING UNIT IN THEIR ENTIRETY. EXISTING CONCRETE PAD TO REMAIN.



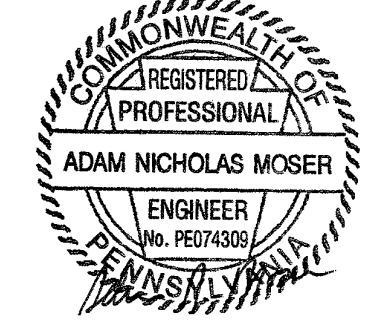
1 SECOND FLOOR PLAN - UNIT A - HVAC DEMOLITION  
HD-A2 SCALE: 1/8" = 1'-0"



KEY PLAN  
SCALE: N.T.S.



CONSOLIDATED  
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SECOND FLOOR PLAN - UNIT A - HVAC DEMOLITION  
RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14  
BCIU MAIN OFFICE  
1111 COMMONS BLVD, READING, PA 19605

ALL DIMENSIONS AND EXISTING CONDITIONS  
SHALL BE CHECKED AND VERIFIED  
BY THE CONTRACTOR AT THE SITE.  
JOB NO.: 24015.00  
DRAWN BY: KA  
DATE: 10.15.25

HD-A2



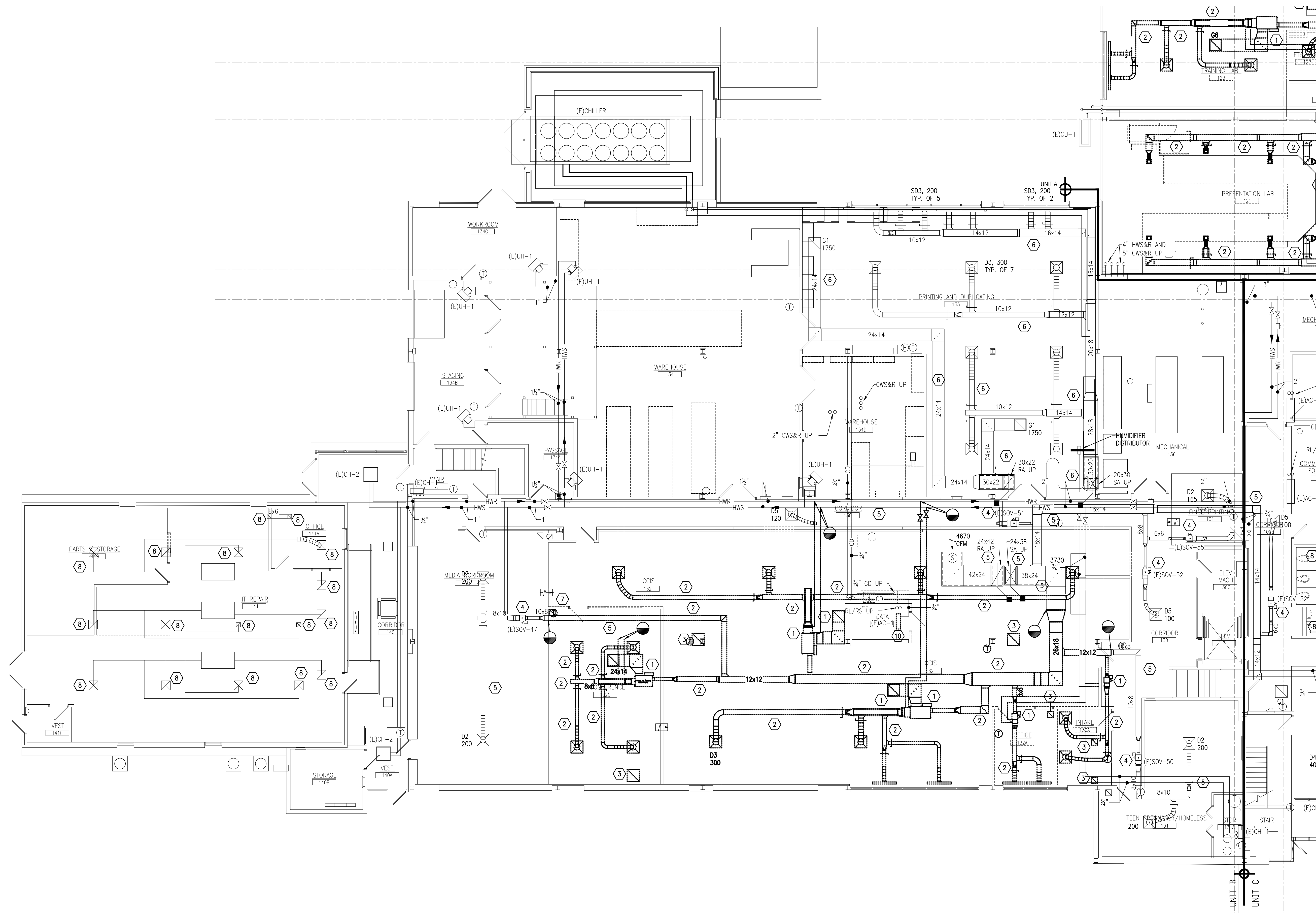
A diagram showing a vertical wire with an upward-pointing arrow and the label 'PROJECT' next to it. A horizontal vector labeled 'PROJECT' and 'MAGNETIC' points to the right, originating from the wire.

1. THE HVAC CONTRACTOR SHALL COORDINATE THE SALVAGE AND DISPOSAL OF ALL EQUIPMENT AND MATERIAL WITH THE OWNER. THE HVAC CONTRACTOR SHALL RETURN TO THE OWNER ANY ITEMS NOTED (OR NOT NOTED) ON THE DRAWINGS, AT THE OWNER'S REQUEST. ALL REMAINING EQUIPMENT AND MATERIAL SHALL BE DISPOSED OF BY THE HVAC CONTRACTOR.
2. THE HVAC CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS AS REQUIRED TO ACCOMMODATE PROJECT PHASING.
3. THE HVAC CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING, PATCHING, EXCAVATION AND BACKFILLING REQUIRED TO COMPLETE ALL INDICATED WORK.
4. ALL EXISTING PIPING AND EQUIPMENT SHOWN MUST BE VERIFIED IN THE FIELD. ANY HVAC EQUIPMENT NOT SHOWN SHALL BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO REMOVAL.
5. REMOVE ALL EXISTING CONTAMINATED EQUIPMENT PADS LOCATED BENEATH ALL DEMOLISHED EQUIPMENT, UNLESS OTHERWISE NOTED.
6. PRIOR TO REMOVAL OF ANY EXISTING HVAC EQUIPMENT THAT CONTAINS REFRIGERANT THE HVAC CONTRACTOR SHALL REMOVE AND RECOVER THE ENTIRE CHARGE OF REFRIGERANT. IF REFRIGERANT IS INDICATED ON THE EXISTING EQUIPMENT, ALL REFRIGERANT/OIL RECOVERY EQUIPMENT IS REQUIRED TO BE CERTIFIED BY AN EPA-APPROVED TESTING ORGANIZATION TO ASSURE THAT THE EQUIPMENT MEETS EPA STANDARDS BASED ON THE TESTING METHOD ESTABLISHED BY THE ARIH STANDARD. THE CEILING REPLACEMENT IS COMPLETE. THE HVAC CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF THE ENVIRONMENTAL PROTECTION AGENCY. ALL WORK IS TO BE PERFORMED BY AN EPA CERTIFIED TECHNICIAN.
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8. HVAC CONTRACTOR WILL BE RESPONSIBLE TO REMOVE AND REPLACE ALL EXISTING CEILING SYSTEMS THAT ARE NOT NOTED TO BE REMOVED BY THE G.C. ON ARCHITECTURAL DRAWINGS, IN ALL AREAS WHERE REQUIRED HVAC WORK IS INDICATED.

- 1) REMOVE EXISTING VAV UNIT AND ALL ASSOCIATED DUCTWORK, PIPING, INSULATION, GRILLES, DIFFUSERS, DAMPERS, HANGERS, SUPPORTS, AND CONTROLS IN THEIR ENTIRETY.
- 2) REMOVE EXISTING DUCTWORK AND ALL ASSOCIATED DIFFUSERS, GRILLES, DAMPERS, INSULATION, HANGERS, AND SUPPORTS IN THEIR ENTIRETY BACK TO POINT(S) INDICATED.
- 3) REMOVE EXISTING CEILING GRILLE, REGISTER, OR DIFFUSER, AND ALL ASSOCIATED TRANSFER DUCTWORK, DAMPERS, INSULATION, HANGERS, AND SUPPORTS IN THEIR ENTIRETY.
- 4) EXISTING VAV UNIT TO REMAIN.
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- 8) (BASE BID ONLY) DEDUCT THIS WORK IF ALTERNATE IS CHOSEN) EXISTING GRILLE, REGISTER, OR DIFFUSER TO BE REUSED IN NEW CEILING (BY GC). HC TO PROVIDE TEMPORARY SUPPORTS. EXTEND DUCTWORK AS REQUIRED TO ACCOMMODATE NEW LOCATION. THOROUGHLY CLEAN PRIOR TO REUSE.
- 9) (BASE BID ONLY) DEDUCT THIS WORK IF ALTERNATE IS CHOSEN) EXISTING CEILING EXHAUST FAN TO BE REUSED IN NEW CEILING (BY GC). HC TO PROVIDE TEMPORARY SUPPORTS. EXTEND DUCTWORK AS REQUIRED TO ACCOMMODATE NEW LOCATION. THOROUGHLY CLEAN PRIOR TO REUSE.
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- 14) EXISTING CABINET HEATER IN CEILING TO REMAIN. HC TO PROVIDE TEMPORARY SUPPORTS.
- 15) REMOVE EXISTING CONDENSING UNIT AND ASSOCIATED PIPING, VALVES, INSULATION, SUPPORTS AND CONTROLS IN THEIR ENTIRETY.
- 16) REMOVE EXISTING DUSTLESS SPLIT AIR CONDITIONING UNIT AND ALL ASSOCIATED PIPING, VALVES, INSULATION, CONTROLS, SUPPORTS, AND EXTERIOR CONDENSING UNIT IN THEIR ENTIRETY. EXISTING CONCRETE PAD TO REMAIN.







1 FIRST FLOOR PLAN - UNIT B - HVAC DEMOLITION  
HD-B1 SCALE: 1/8" = 1'-0"

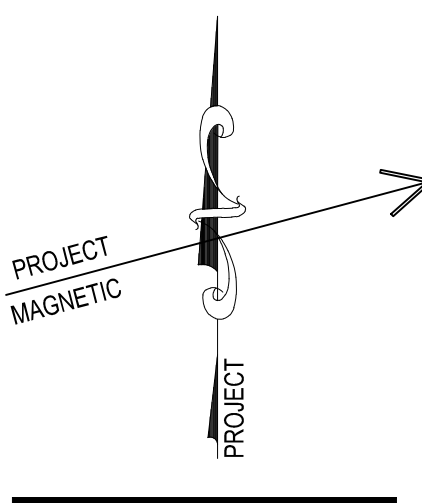
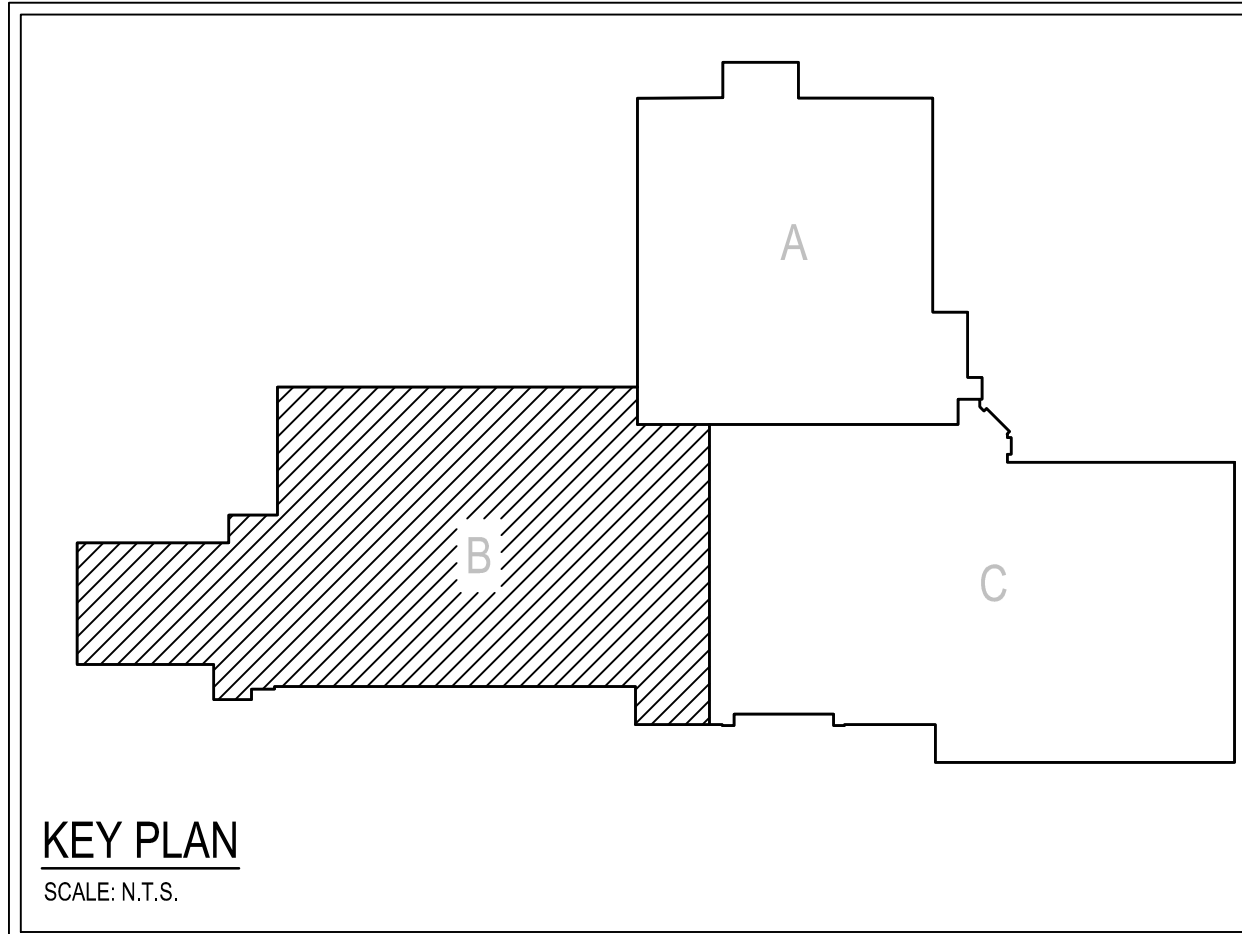
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GENERAL DEMOLITION NOTES:

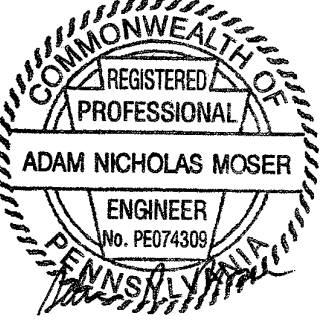
1. THE HVAC CONTRACTOR SHALL COORDINATE THE SALVAGE AND DISPOSAL OF ALL EQUIPMENT AND MATERIAL WITH THE OWNER. THE HVAC CONTRACTOR SHALL RETURN TO THE OWNER ANY ITEMS NOTED OR NOT NOTED, ON THE DRAWINGS, AT THE OWNERS REQUEST. ALL REMAINING EQUIPMENT AND MATERIAL SHALL BE DISPOSED OF BY THE HVAC CONTRACTOR.
2. THE HVAC CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS AS REQUIRED TO ACCOMMODATE PROJECT PHASING.
3. THE HVAC CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING, PATCHING, EXCAVATION AND BACKFILLING REQUIRED TO COMPLETE ALL INDICATED WORK.
4. ALL EXISTING PIPING AND EQUIPMENT SHOWN MUST BE VERIFIED IN THE FIELD. ANY HVAC EQUIPMENT NOT SHOWN SHALL BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO REMOVAL.
5. REMOVE ALL EXISTING CONCRETE EQUIPMENT PADS LOCATED BENEATH ALL DEMOLISHED EQUIPMENT, UNLESS OTHERWISE NOTED.
6. PRIOR TO REMOVAL OF ANY EXISTING HVAC EQUIPMENT THAT CONTAINS REFRIGERANT THE HVAC CONTRACTOR SHALL REMOVE AND RECOVER THE ENTIRE CONTENT OF THE REFRIGERANT AND ALL ASSOCIATED OIL IN THE EXISTING EQUIPMENT. ALL REFRIGERANT/OIL RECOVERY EQUIPMENT IS REQUIRED TO BE CERTIFIED BY AN EPA-APPROVED TESTING ORGANIZATION TO ASSURE THAT THE EQUIPMENT MEETS EPA STANDARDS BASED ON THE TESTING METHOD ESTABLISHED BY AHR STANDARD 740. REMOVAL OF ALL CFC AND HCFC REFRIGERANTS MUST CONFORM TO THE REQUIREMENTS OF THE ENVIRONMENTAL PROTECTION AGENCY. ALL WORK IS TO BE PERFORMED BY AN EPA CERTIFIED TECHNICIAN.
7. IN AREAS WHERE THE EXISTING HVAC SYSTEM WILL REMAIN AND THE SPACE IS SCHEDULED TO RECEIVE NEW ACoustICAL CEILINGS AS INDICATED ON THE ARCHITECTURAL DRAWINGS, THE HVAC CONTRACTOR WILL BE RESPONSIBLE TO TEMPORARILY REMOVE, THOROUGHLY CLEAN AND STORE ALL EXISTING CEILING MOUNTED GRILLES, REGISTERS AND DIFFUSERS. ONCE THE CEILING REPLACEMENT IS COMPLETE, THE HVAC CONTRACTOR SHALL REINSTALL AND RECONNECT ALL EXISTING TEMPORARILY REMOVED HVAC CEILING MOUNTED GRILLES, REGISTERS AND DIFFUSERS.
8. HVAC CONTRACTOR WILL BE RESPONSIBLE TO REMOVE AND REPLACE ALL EXISTING CEILING SYSTEMS THAT ARE NOT NOTED TO BE REMOVED BY THE G.C. ON THE ARCHITECTURAL DRAWINGS, IN ALL AREAS WHERE REQUIRED HVAC WORK IS INDICATED.

KEYED DRAWING NOTES:

- 1 REMOVED EXISTING VAV UNIT AND ALL ASSOCIATED DUCTWORK, PIPING, INSULATION, GRILLES, DIFFUSERS, DAMPERS, HANGERS, SUPPORTS, AND CONTROLS IN THEIR ENTIRETY.
- 2 REMOVE EXISTING DUCTWORK AND ALL ASSOCIATED DIFFUSERS, GRILLES, DAMPERS, INSULATION, HANGERS, AND SUPPORTS IN THEIR ENTIRETY BACK TO POINT(S) INDICATED.
- 3 REMOVE EXISTING CEILING GRILLE, REGISTER, OR DIFFUSER, AND ALL ASSOCIATED TRANSFER DUCTWORK, DAMPERS, INSULATION, HANGERS, AND SUPPORTS IN THEIR ENTIRETY.
- 4 EXISTING VAV UNIT TO REMAIN.
- 5 EXISTING DUCTWORK SHALL REMAIN AND BE THOROUGHLY CLEANED, REFER TO SPECIFICATIONS FOR REQUIREMENTS.
- 6 (ALTERNATE BID ONLY) EXISTING DUCTWORK SHALL REMAIN AND BE THOROUGHLY CLEANED, REFER TO SPECIFICATIONS FOR REQUIREMENTS.
- 7 EXISTING GRILLE, REGISTER, OR DIFFUSER TO BE REUSED IN NEW CEILING (BY GC). HC TO PROVIDE TEMPORARY SUPPORTS. EXTEND DUCTWORK AS REQUIRED TO ACCOMMODATE NEW LOCATION. THOROUGHLY CLEAN PRIOR TO REUSE.
- 8 (BASE BID ONLY. DEDUCT THIS WORK IF ALTERNATE IS CHOSEN) EXISTING GRILLE, REGISTER, OR DIFFUSER TO BE REUSED IN NEW CEILING (BY GC). HC TO PROVIDE TEMPORARY SUPPORTS. EXTEND DUCTWORK ARE REQUIRED TO ACCOMMODATE NEW LOCATION. THOROUGHLY CLEAN PRIOR TO REUSE.
- 9 (BASE BID ONLY. DEDUCT THIS WORK IF ALTERNATE IS CHOSEN) EXISTING CEILING EXHAUST FAN TO BE REUSED IN NEW CEILING (BY GC). HC TO PROVIDE TEMPORARY SUPPORTS. EXTEND DUCTWORK ARE REQUIRED TO ACCOMMODATE NEW LOCATION. THOROUGHLY CLEAN PRIOR TO REUSE.
- 10 EXISTING WALL HUNG A/C ON DEMOLISHED WALL TO BE RELOCATED. HC TO PROVIDE TEMPORARY SUPPORTS FOR UNIT AND PIPING.
- 11 REMOVE EXISTING KITCHEN VENTILATION UNIT, EXHAUST FAN, ROOF CURB AND ALL ASSOCIATED DUCTWORK, INSULATION, DAMPER, HANGERS, SUPPORTS, AND CONTROLS IN THEIR ENTIRETY. PATCH REMAINING ROOF OPENINGS USING MATERIALS THAT MATCH THE ORIGINAL CONSTRUCTION.
- 12 REMOVE EXISTING EXHAUST FAN, ROOF CURB, AND ALL ASSOCIATED CONTROLS AND DUCTWORK IN THEIR ENTIRETY. PATCH REMAINING ROOF OPENINGS USING MATERIALS THAT MATCH THE ORIGINAL CONSTRUCTION.
- 13 EXISTING INLINE EXHAUST FAN TO REMAIN.
- 14 EXISTING CABINET HEATER IN CEILING TO REMAIN. HC TO PROVIDE TEMPORARY SUPPORTS.
- 15 REMOVE EXISTING CONDENSING UNIT AND ASSOCIATED PIPING, VALVES, INSULATION, SUPPORTS AND CONTROLS IN THEIR ENTIRETY.
- 16 REMOVE EXISTING DUCTLESS SPLIT AIR CONDITIONING UNIT AND ALL ASSOCIATED PIPING, VALVES, INSULATION, CONTROLS, SUPPORTS, AND EXTERIOR CONDENSING UNIT IN THEIR ENTIRETY. EXISTING CONCRETE PAD TO REMAIN.



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FIRST FLOOR PLAN - UNIT B - HVAC DEMOLITION  
RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14  
BCIU MAIN OFFICE  
1111 COMMONS BLVD, READING, PA 19605

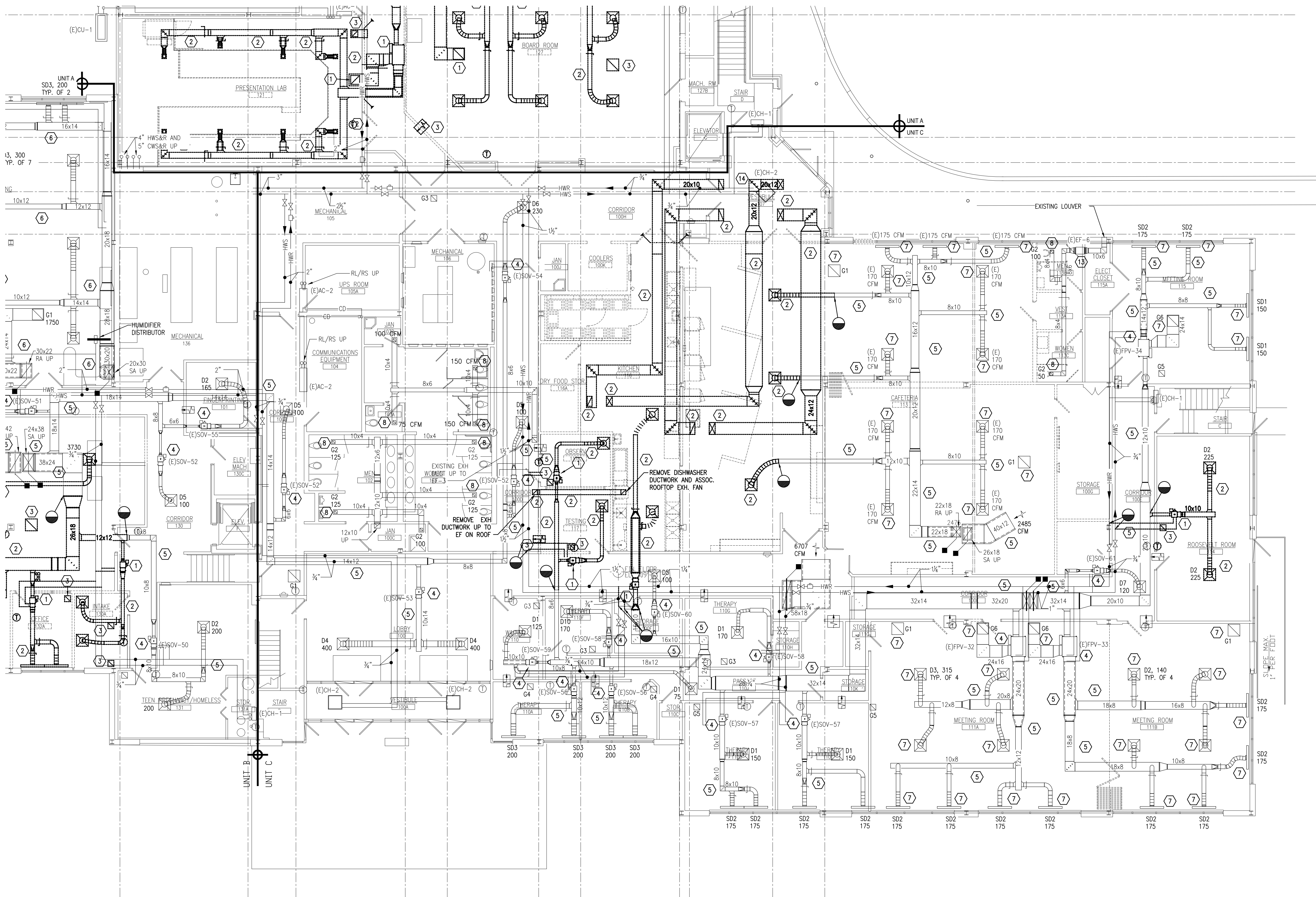
ALL DIMENSIONS AND EXISTING CONDITIONS  
WALLS AND CEILING ARE TO BE  
VERIFIED BY THE CONTRACTOR AT THE SITE.  
JOB NO: 24015.00  
DRAWN BY: JKA  
DATE: 10.15.25

HD-B1









1 FIRST FLOOR PLAN - UNIT C - HVAC DEMOLITION  
SCALE: 1/8" = 1'-0"

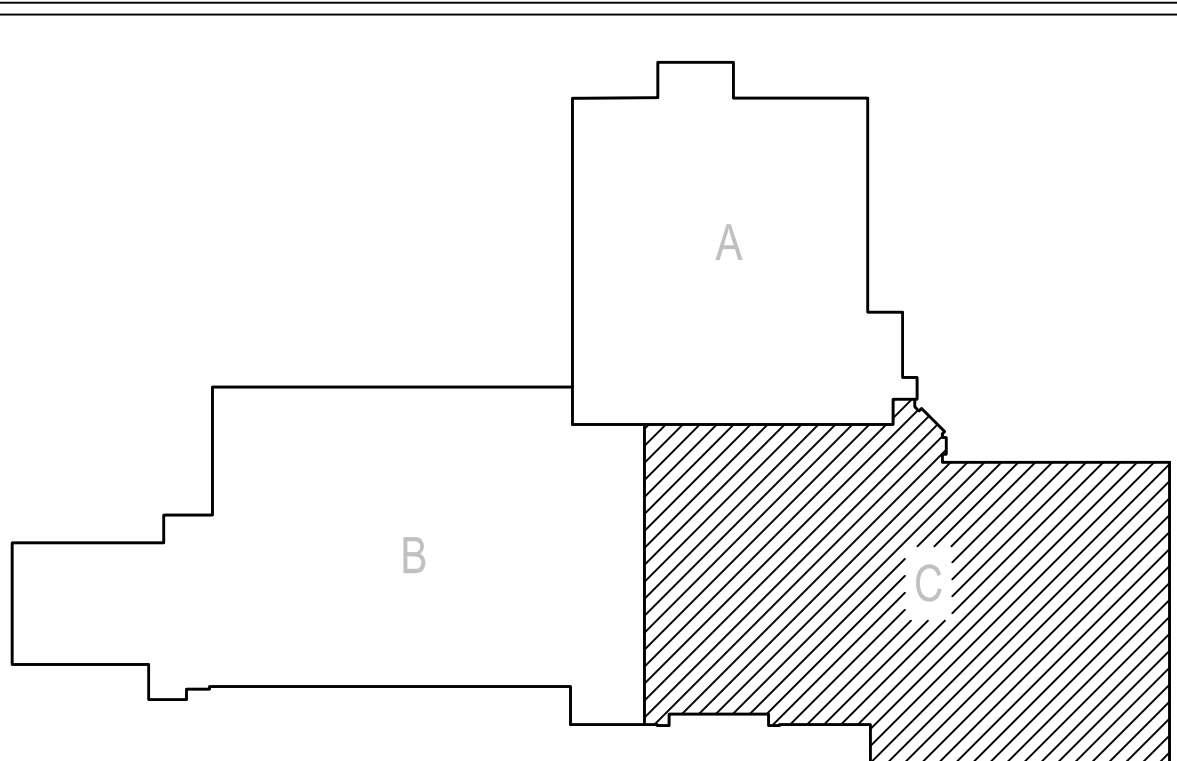
THE DEMOLITION WORK INDICATED IS INTENDED TO ASSIST THE CONTRACTOR AND GIVE GENERAL INFORMATION. THE CONTRACTOR SHALL BE REQUIRED TO VISIT THE PROJECT SITE PRIOR TO BIDDING TO FULLY ACCOUNT HIMSELF WITH THE EXTENT OF ALL DEMOLITION WORK WHICH IS NECESSARY TO COMPLETE THE ALTERATIONS AND NEW CONSTRUCTION AS DESCRIBED IN THE CONTRACT DOCUMENTS. ALL DEMOLITION WORK REQUIRED SHALL BE INCLUDED IN THE CONTRACT PRICE WHETHER INDICATED ON THE DRAWING OR NOT. THE CONTRACTOR WILL NOT BE ENTITLED TO ANY CLAIMS FOR ADDITIONAL COMPENSATION RELATED TO REQUIRED DEMOLITION.

GENERAL DEMOLITION NOTES:

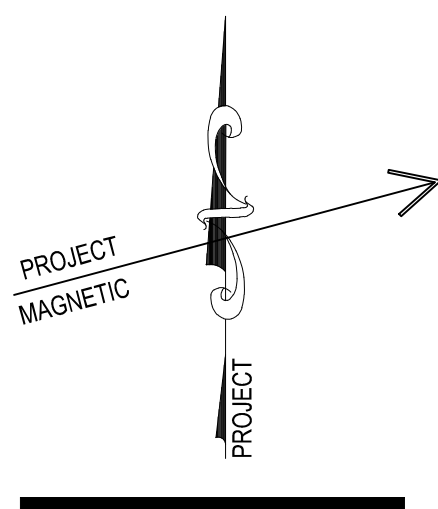
1. THE HVAC CONTRACTOR SHALL COORDINATE THE SALVAGE AND DISPOSAL OF ALL EQUIPMENT AND MATERIAL WITH THE OWNER. THE HVAC CONTRACTOR SHALL RETURN TO THE OWNER ANY ITEMS NOTED OR NOT NOTED, ON THE DRAWINGS, AT THE OWNERS REQUEST. ALL REMAINING EQUIPMENT AND MATERIAL SHALL BE DISPOSED OF BY THE HVAC CONTRACTOR.
2. THE HVAC CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS AS REQUIRED TO ACCOMMODATE PROJECT PHASING.
3. THE HVAC CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING, PATCHING, EXCAVATION AND BACKFILLING REQUIRED TO COMPLETE ALL INDICATED WORK.
4. ALL EXISTING PIPING AND EQUIPMENT SHOWN MUST BE VERIFIED IN THE FIELD. ANY HVAC EQUIPMENT NOT SHOWN SHALL BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO REMOVAL.
5. REMOVE ALL EXISTING CONCRETE EQUIPMENT PADS LOCATED BENEATH ALL DEMOLISHED EQUIPMENT, UNLESS OTHERWISE NOTED.
6. PRIOR TO REMOVAL OF ANY EXISTING HVAC EQUIPMENT THAT CONTAINS REFRIGERANT THE HVAC CONTRACTOR SHALL REMOVE AND RECOVER THE ENTIRE CONTENT OF THE REFRIGERANT AND ALL ASSOCIATED OIL IN THE EXISTING EQUIPMENT. ALL REFRIGERANT/OIL RECOVERY EQUIPMENT IS REQUIRED TO BE CERTIFIED BY AN EPA-APPROVED TESTING ORGANIZATION TO ASSURE THAT THE EQUIPMENT MEETS EPA STANDARDS BASED ON THE TESTING METHOD ESTABLISHED BY AHRI STANDARD 740. REMOVAL OF ALL CFC AND HCFC REFRIGERANTS MUST CONFORM TO THE REQUIREMENTS OF THE ENVIRONMENTAL PROTECTION AGENCY. ALL WORK IS TO BE PERFORMED BY AN EPA CERTIFIED TECHNICIAN.
7. IN AREAS WHERE THE EXISTING HVAC SYSTEM WILL REMAIN AND THE SPACE IS SCHEDULED TO RECEIVE NEW ACoustICAL CEILINGS AS INDICATED ON THE ARCHITECTURAL DRAWINGS, THE HVAC CONTRACTOR WILL BE RESPONSIBLE TO TEMPORARILY REMOVE, THOROUGHLY CLEAN AND STORE ALL EXISTING CEILING MOUNTED GRILLES, REGISTERS AND DIFFUSERS. ONCE THE CEILING REPLACEMENT IS COMPLETE, THE HVAC CONTRACTOR SHALL REINSTALL AND RECONNECT ALL EXISTING TEMPORARILY REMOVED HVAC CEILING MOUNTED GRILLES, REGISTERS AND DIFFUSERS.
8. HVAC CONTRACTOR WILL BE RESPONSIBLE TO REMOVE AND REPLACE ALL EXISTING CEILING SYSTEMS THAT ARE NOT NOTED TO BE REMOVED BY THE G.C. ON THE ARCHITECTURAL DRAWINGS, IN ALL AREAS WHERE REQUIRED HVAC WORK IS INDICATED.

KEYED DRAWING NOTES:

- 1 REMOVED EXISTING VAV UNIT AND ALL ASSOCIATED DUCTWORK, PIPING, INSULATION, GRILLES, DIFFUSERS, DAMPERS, HANGERS, SUPPORTS, AND CONTROLS IN THEIR ENTIRETY.
- 2 REMOVE EXISTING DUCTWORK AND ALL ASSOCIATED DIFFUSERS, GRILLES, DAMPERS, INSULATION, HANGERS, AND SUPPORTS IN THEIR ENTIRETY BACK TO POINT(S) INDICATED.
- 3 REMOVE EXISTING CEILING GRILLE, REGISTER, OR DIFFUSER, AND ALL ASSOCIATED TRANSFER DUCTWORK, DAMPERS, INSULATION, HANGERS, AND SUPPORTS IN THEIR ENTIRETY.
- 4 EXISTING VAV UNIT TO REMAIN.
- 5 EXISTING DUCTWORK SHALL REMAIN AND BE THOROUGHLY CLEANED, REFER TO SPECIFICATIONS FOR REQUIREMENTS.
- 6 (ALTERNATE BID ONLY) EXISTING DUCTWORK SHALL REMAIN AND BE THOROUGHLY CLEANED, REFER TO SPECIFICATIONS FOR REQUIREMENTS.
- 7 EXISTING GRILLE, REGISTER, OR DIFFUSER TO BE REUSED IN NEW CEILING (BY GC). HC TO PROVIDE TEMPORARY SUPPORTS. EXTEND DUCTWORK AS REQUIRED TO ACCOMMODATE NEW LOCATION. THOROUGHLY CLEAN PRIOR TO REUSE.
- 8 (BASE BID ONLY. DEDUCT THIS WORK IF ALTERNATE IS CHOSEN.) EXISTING GRILLE, REGISTER, OR DIFFUSER TO BE REUSED IN NEW CEILING (BY GC). HC TO PROVIDE TEMPORARY SUPPORTS. EXTEND DUCTWORK ARE REQUIRED TO ACCOMMODATE NEW LOCATION. THOROUGHLY CLEAN PRIOR TO REUSE.
- 9 (BASE BID ONLY. DEDUCT THIS WORK IF ALTERNATE IS CHOSEN.) EXISTING CEILING EXHAUST FAN TO BE REUSED IN NEW CEILING (BY GC). HC TO PROVIDE TEMPORARY SUPPORTS. EXTEND DUCTWORK ARE REQUIRED TO ACCOMMODATE NEW LOCATION. THOROUGHLY CLEAN PRIOR TO REUSE.
- 10 EXISTING WALL HUNG A/C ON DEMOLISHED WALL TO BE RELOCATED. HC TO PROVIDE TEMPORARY SUPPORTS FOR UNIT AND PIPING.
- 11 REMOVE EXISTING KITCHEN VENTILATION UNIT, EXHAUST FAN, ROOF CURB AND ALL ASSOCIATED DUCTWORK, INSULATION, DAMPER, HANGERS, SUPPORTS, AND CONTROLS IN THEIR ENTIRETY. PATCH REMAINING ROOF OPENINGS USING MATERIALS THAT MATCH THE ORIGINAL CONSTRUCTION.
- 12 REMOVE EXISTING EXHAUST FAN, ROOF CURB, AND ALL ASSOCIATED CONTROLS AND DUCTWORK IN THEIR ENTIRETY. PATCH REMAINING ROOF OPENINGS USING MATERIALS THAT MATCH THE ORIGINAL CONSTRUCTION.
- 13 EXISTING INLINE EXHAUST FAN TO REMAIN.
- 14 EXISTING CABINET HEATER IN CEILING TO REMAIN. HC TO PROVIDE TEMPORARY SUPPORTS.
- 15 REMOVE EXISTING CONDENSING UNIT AND ASSOCIATED PIPING, VALVES, INSULATION, SUPPORTS AND CONTROLS IN THEIR ENTIRETY.
- 16 REMOVE EXISTING DUCTLESS SPLIT AIR CONDITIONING UNIT AND ALL ASSOCIATED PIPING, VALVES, INSULATION, CONTROLS, SUPPORTS, AND EXTERIOR CONDENSING UNIT IN THEIR ENTIRETY. EXISTING CONCRETE PAD TO REMAIN.



KEY PLAN  
SCALE: N.T.S.



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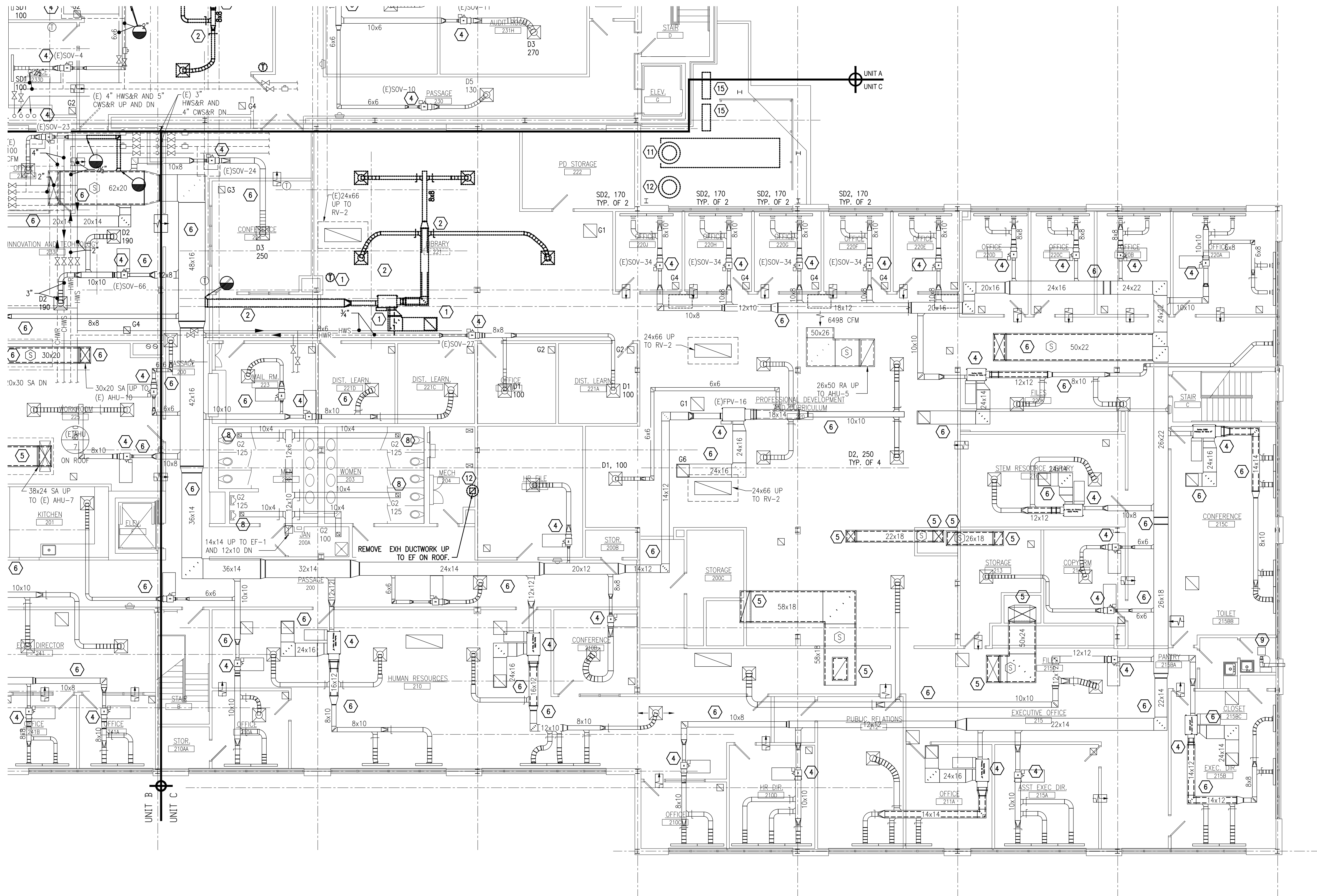
FIRST FLOOR PLAN - UNIT C - HVAC DEMOLITION  
RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14  
BCIU MAIN OFFICE  
1111 COMMONS BLVD, READING, PA 19605

ALL DIMENSIONS AND EXISTING CONDITIONS  
SHALL BE CHECKED AND VERIFIED  
BY THE CONTRACTOR AT THE SITE.

JOB NO.: 24015.00  
DRAWN BY: KA  
DATE: 10.15.25

HD-C1





1 SECOND FLOOR PLAN - UNIT C - HVAC DEMOLITION  
HD-C2 SCALE: 1/8" = 1'-0"

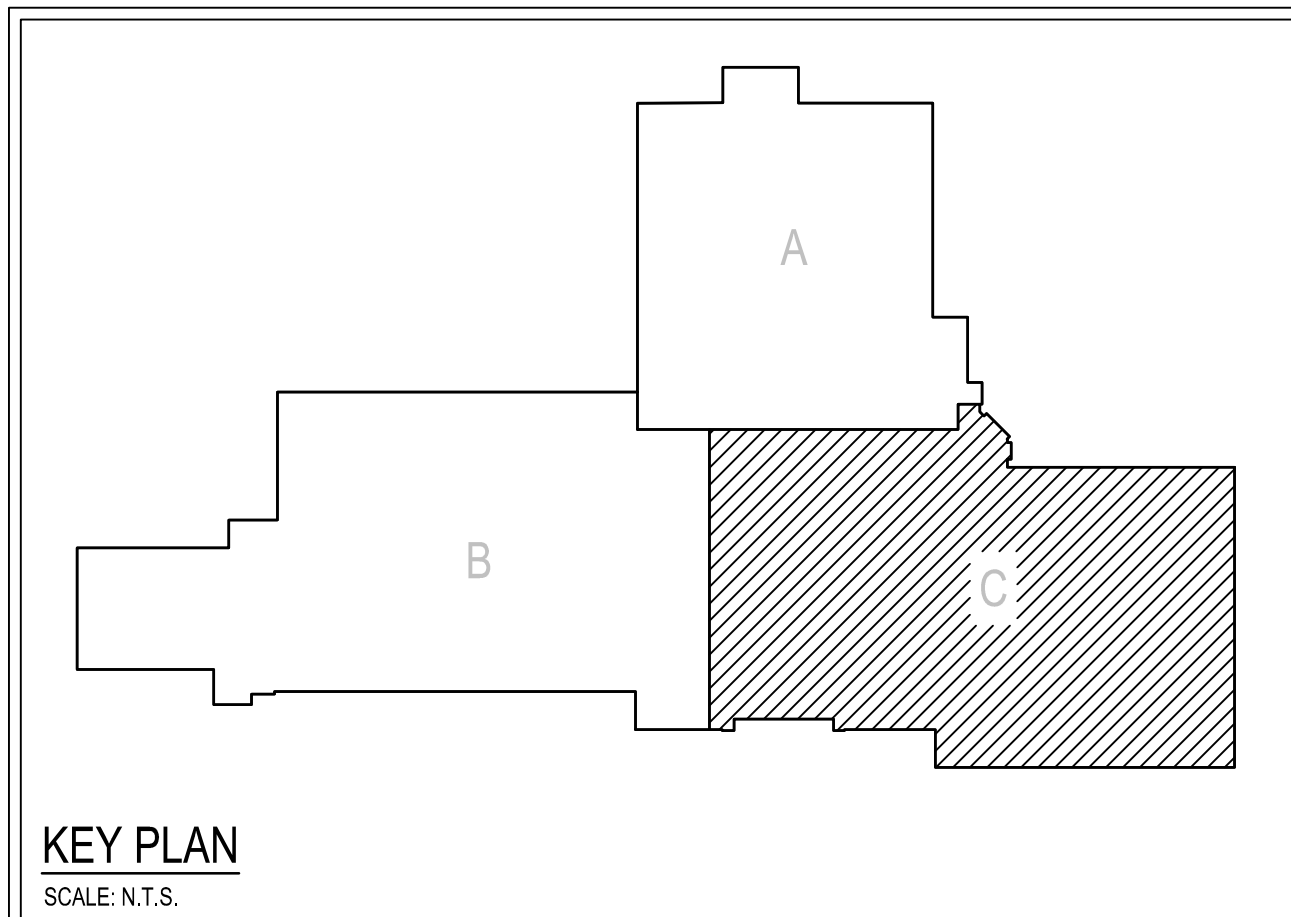
THE DEMOLITION WORK INDICATED IS INTENDED TO ASSIST THE CONTRACTOR AND GIVE GENERAL INFORMATION. THE CONTRACTOR SHALL BE REQUIRED TO VISIT THE PROJECT SITE PRIOR TO BIDDING TO FULLY ACQUAINT HIMSELF WITH THE EXTENT OF ALL DEMOLITION WORK WHICH IS NECESSARY TO COMPLETE THE ALTERATIONS AND NEW CONSTRUCTION AS DESCRIBED IN THE CONTRACT DOCUMENTS. ALL DEMOLITION WORK REQUIRED SHALL BE INCLUDED IN THE CONTRACT PRICE WHETHER INDICATED ON THE DRAWING OR NOT. THE CONTRACTOR WILL NOT BE ENTITLED TO ANY CLAIMS FOR ADDITIONAL COMPENSATION RELATED TO REQUIRED DEMOLITION.

### GENERAL DEMOLITION NOTES:

1. THE HVAC CONTRACTOR SHALL COORDINATE THE SALVAGE AND DISPOSAL OF ALL EQUIPMENT AND MATERIAL WITH THE OWNER. THE HVAC CONTRACTOR SHALL RETURN TO THE OWNER ANY ITEMS NOTED OR NOT NOTED, ON THE DRAWINGS, AT THE OWNERS REQUEST. ALL REMAINING EQUIPMENT AND MATERIAL SHALL BE DISPOSED OF BY THE HVAC CONTRACTOR.
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3. THE HVAC CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING, PATCHING, EXCAVATION AND BACKFILLING REQUIRED TO COMPLETE ALL INDICATED WORK.
4. ALL EXISTING PIPING AND EQUIPMENT SHOWN MUST BE VERIFIED IN THE FIELD. ANY HVAC EQUIPMENT NOT SHOWN SHALL BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO REMOVAL.
5. REMOVE ALL EXISTING CONCRETE EQUIPMENT PADS LOCATED BENEATH ALL DEMOLISHED EQUIPMENT, UNLESS OTHERWISE NOTED.
6. PRIOR TO REMOVAL OF ANY EXISTING HVAC EQUIPMENT THAT CONTAINS REFRIGERANT THE HVAC CONTRACTOR SHALL REMOVE AND RECOVER THE ENTIRE CONTENT OF THE REFRIGERANT AND ALL ASSOCIATED OIL IN THE EXISTING EQUIPMENT. ALL REFRIGERANT/OIL RECOVERY EQUIPMENT IS REQUIRED TO BE CERTIFIED BY AN EPA-APPROVED TESTING ORGANIZATION TO ASSURE THAT THE EQUIPMENT MEETS EPA STANDARDS BASED ON THE TESTING METHOD ESTABLISHED BY ARII STANDARD 740. REMOVAL OF ALL CFC AND HCFC REFRIGERANTS MUST CONFORM TO THE REQUIREMENTS OF THE ENVIRONMENTAL PROTECTION AGENCY. ALL WORK IS TO BE PERFORMED BY AN EPA CERTIFIED TECHNICIAN.
7. IN AREAS WHERE THE EXISTING HVAC SYSTEM WILL REMAIN AND THE SPACE IS SCHEDULED TO RECEIVE NEW ACoustICAL CEILINGS AS INDICATED ON THE ARCHITECTURAL DRAWINGS, THE HVAC CONTRACTOR WILL BE RESPONSIBLE TO TEMPORARILY REMOVE, THOROUGHLY CLEAN AND STORE ALL EXISTING CEILING MOUNTED GRILLES, REGISTERS AND DIFFUSERS. ONCE THE CEILING REPLACEMENT IS COMPLETE, THE HVAC CONTRACTOR SHALL REINSTALL AND RECONNECT ALL EXISTING TEMPORARILY REMOVED HVAC CEILING MOUNTED GRILLES, REGISTERS AND DIFFUSERS.
8. HVAC CONTRACTOR WILL BE RESPONSIBLE TO REMOVE AND REPLACE ALL EXISTING CEILING SYSTEMS THAT ARE NOT NOTED TO BE REMOVED BY THE G.C. ON THE ARCHITECTURAL DRAWINGS, IN ALL AREAS WHERE REQUIRED HVAC WORK IS INDICATED.

### KEYED DRAWING NOTES:

- 1 REMOVED EXISTING VAV UNIT AND ALL ASSOCIATED DUCTWORK, PIPING, INSULATION, GRILLES, DIFFUSERS, DAMPERS, HANGERS, SUPPORTS, AND CONTROLS IN THEIR ENTIRETY.
- 2 REMOVE EXISTING DUCTWORK AND ALL ASSOCIATED DIFFUSERS, GRILLES, DAMPERS, INSULATION, HANGERS, AND SUPPORTS IN THEIR ENTIRETY BACK TO POINT(S) INDICATED.
- 3 REMOVE EXISTING CEILING GRILLE, REGISTER, OR DIFFUSER, AND ALL ASSOCIATED TRANSFER DUCTWORK, DAMPERS, INSULATION, HANGERS, AND SUPPORTS IN THEIR ENTIRETY.
- 4 EXISTING VAV UNIT TO REMAIN.
- 5 EXISTING DUCTWORK SHALL REMAIN AND BE THOROUGHLY CLEANED, REFER TO SPECIFICATIONS FOR REQUIREMENTS.
- 6 (ALTERNATE BID ONLY) EXISTING DUCTWORK SHALL REMAIN AND BE THOROUGHLY CLEANED, REFER TO SPECIFICATIONS FOR REQUIREMENTS.
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- 10 EXISTING WALL HUNG A/C ON DEMOLISHED WALL TO BE RELOCATED. HC TO PROVIDE TEMPORARY SUPPORTS FOR UNIT AND PIPING.
- 11 REMOVE EXISTING KITCHEN VENTILATION UNIT, EXHAUST FAN, ROOF CURB AND ALL ASSOCIATED DUCTWORK, INSULATION, DAMPER, HANGERS, SUPPORTS, AND CONTROLS IN THEIR ENTIRETY. PATCH REMAINING ROOF OPENINGS USING MATERIALS THAT MATCH THE ORIGINAL CONSTRUCTION.
- 12 REMOVE EXISTING EXHAUST FAN, ROOF CURB, AND ALL ASSOCIATED CONTROLS AND DUCTWORK IN THEIR ENTIRETY. PATCH REMAINING ROOF OPENINGS USING MATERIALS THAT MATCH THE ORIGINAL CONSTRUCTION.
- 13 EXISTING INLINE EXHAUST FAN TO REMAIN.
- 14 EXISTING CABINET HEATER IN CEILING TO REMAIN. HC TO PROVIDE TEMPORARY SUPPORTS.
- 15 REMOVE EXISTING CONDENSING UNIT AND ASSOCIATED PIPING, VALVES, INSULATION, SUPPORTS AND CONTROLS IN THEIR ENTIRETY.
- 16 REMOVE EXISTING DUCTLESS SPLIT AIR CONDITIONING UNIT AND ALL ASSOCIATED PIPING, VALVES, INSULATION, CONTROLS, SUPPORTS, AND EXTERIOR CONDENSING UNIT IN THEIR ENTIRETY. EXISTING CONCRETE PAD TO REMAIN.



KEY PLAN  
SCALE: N.T.S.

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CIE

COMMONWEALTH OF PENNSYLVANIA  
REGISTERED PROFESSIONAL  
ENGINEER  
ADAM NICHOLAS MOSER  
No. 21588

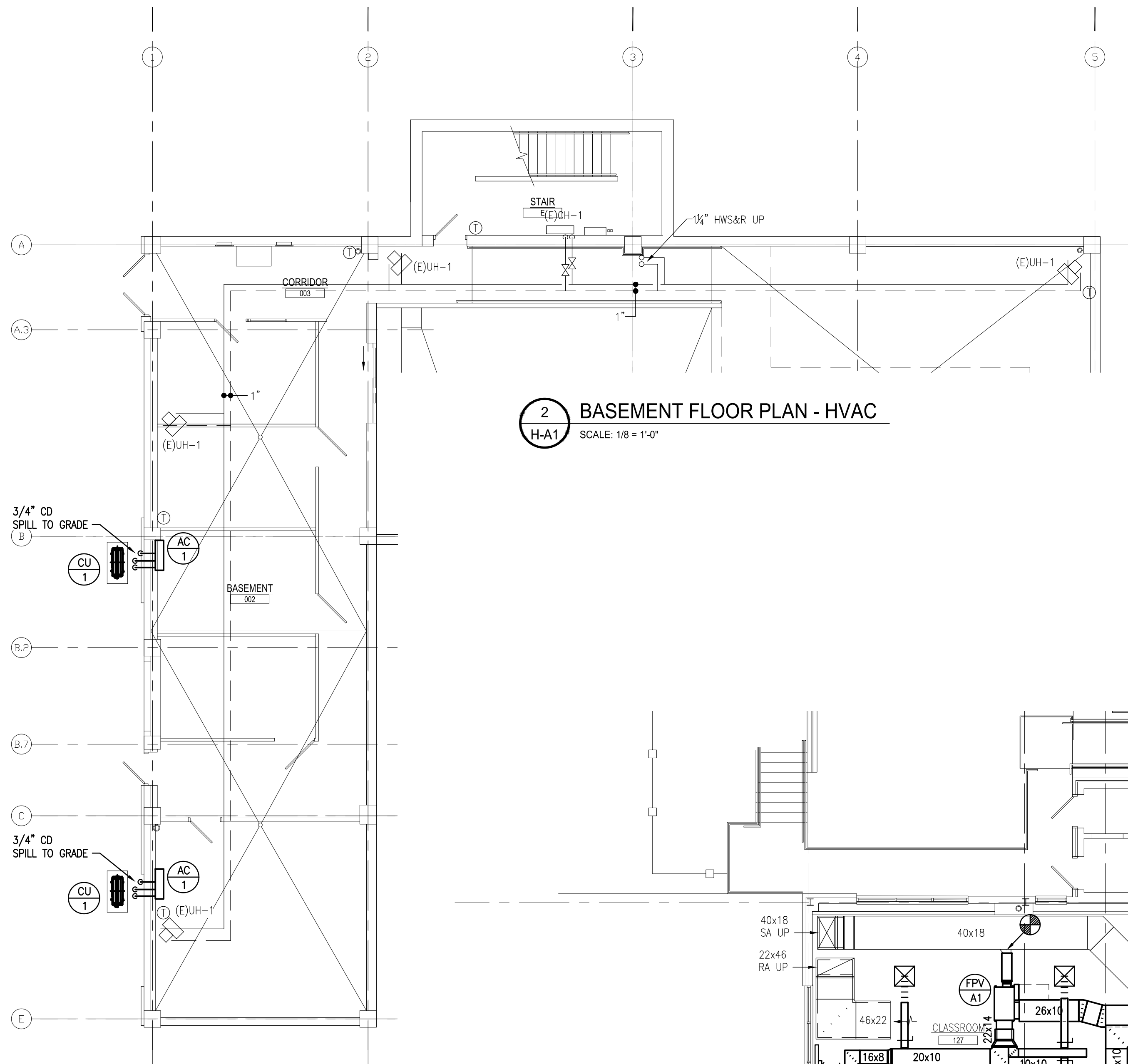
AEM ARCHITECTS INC.  
3700 PERKOWEN AVENUE, READING, PA 19606-2795  
Phone: 610.79.3220 Fax: 610.79.3222  
www.aem-arch.com

SECOND FLOOR PLAN - UNIT C - HVAC DEMOLITION  
RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14  
BCIU MAIN OFFICE  
1111 COMMONS BLVD, READING, PA 19605

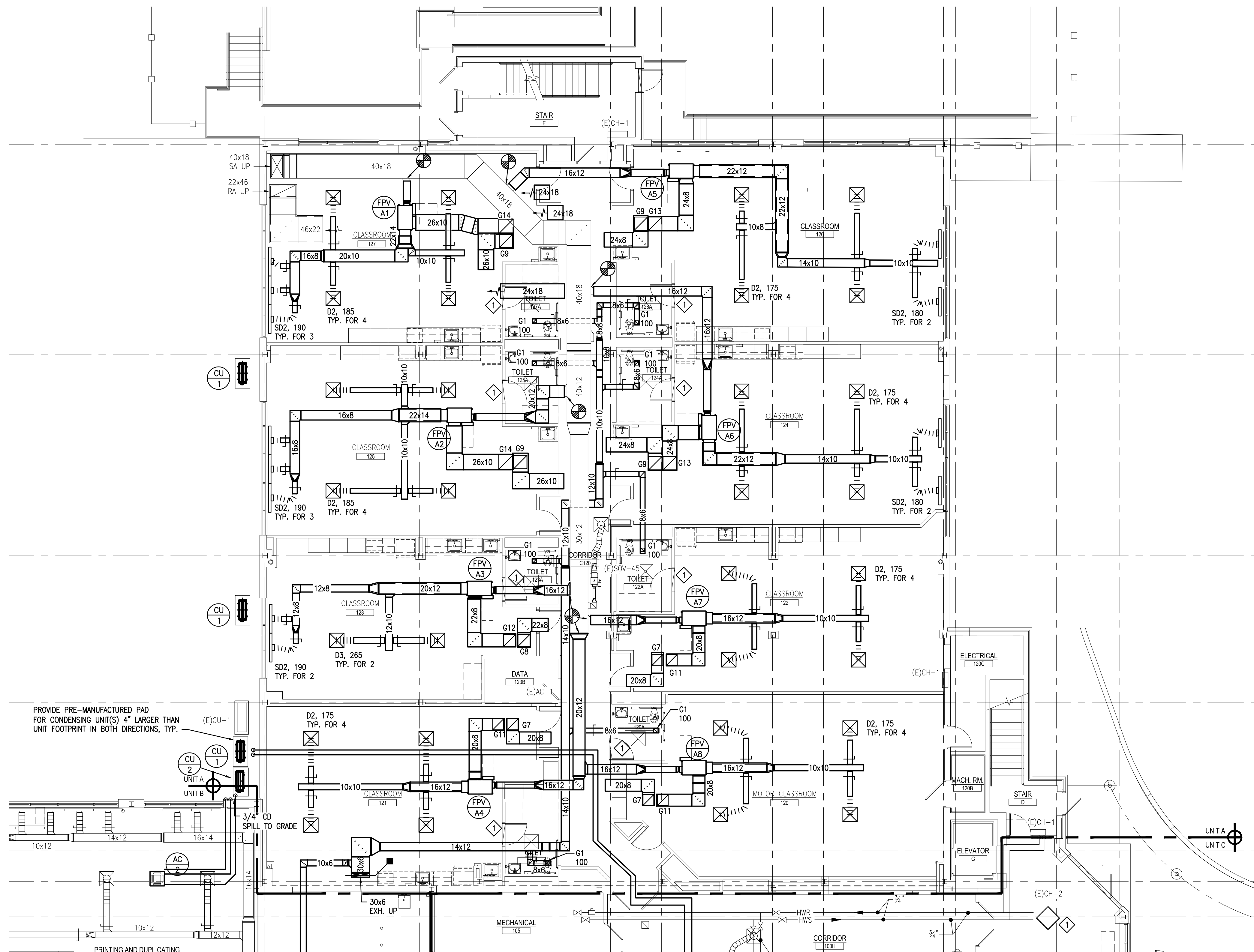
ALL DIMENSIONS AND EXISTING CONDITIONS  
WALLS AND CEILING ARE VERIFIED  
BY THE CONTRACTOR AT THE SITE.  
JOB NO.: 24015.00  
DRAWN BY: KA  
DATE: 10.15.25

HD-C2





2 BASEMENT FLOOR PLAN - HVAC  
SCALE: 1/8" = 1'-0"



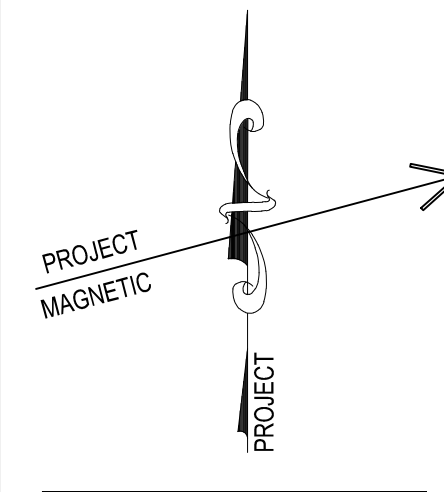
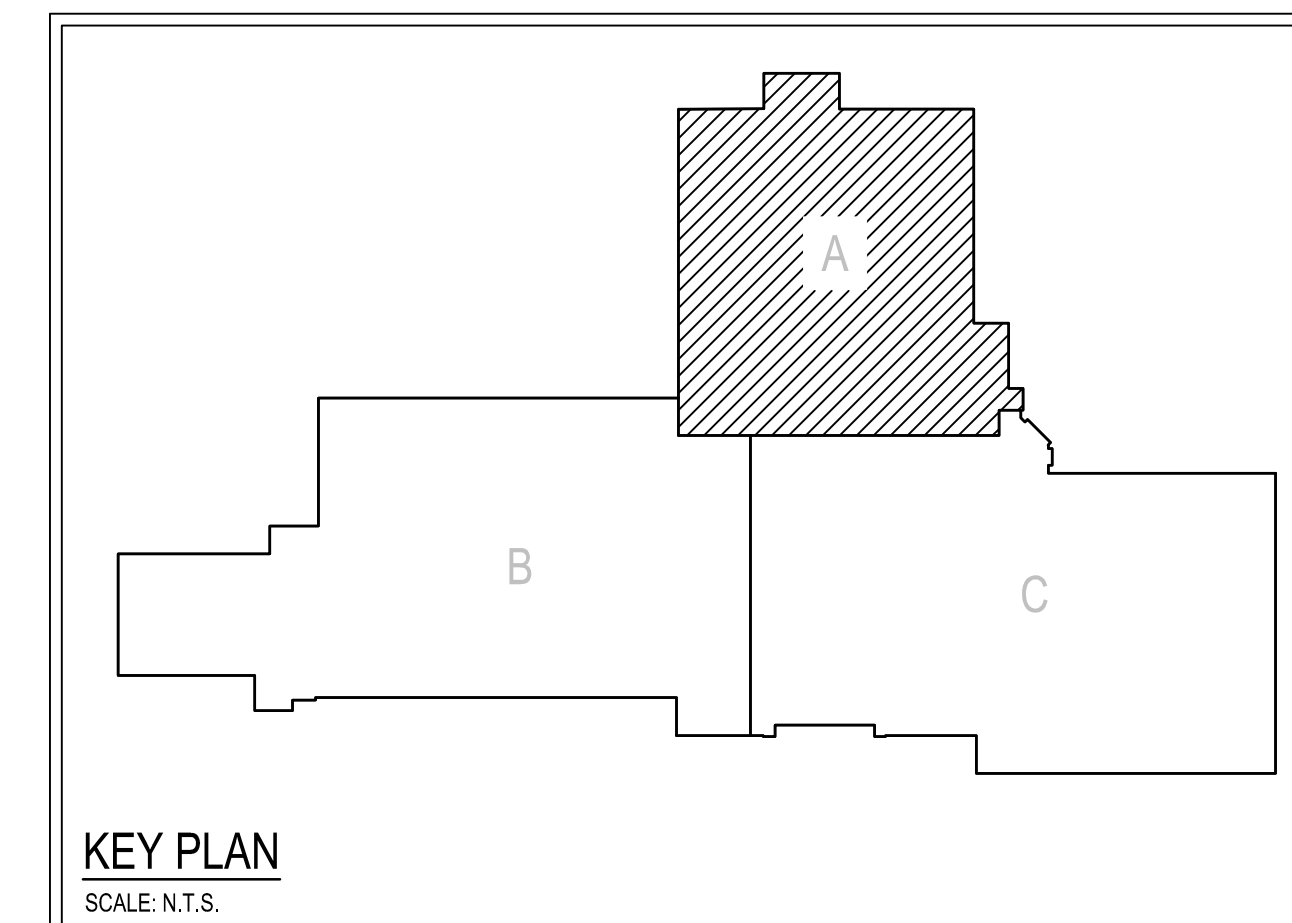
1 FIRST FLOOR PLAN - UNIT A - HVAC DUCTWORK  
SCALE: 1/8" = 1'-0"

### GENERAL DRAWING NOTES:

- REFER TO DRAWING H-1 FOR HVAC GENERAL PROJECT NOTES.
- PROVIDE REQUIRED SERVICE CLEARANCE FOR ALL HVAC UNITS AS RECOMMENDED BY THE EQUIPMENT MANUFACTURER.
- REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF HVAC CEILING OUTLETS AND OTHER CEILING MOUNTED DEVICES. ANY CEILING REMOVAL REQUIRED FOR WORK TO BE COMPLETED UNDER THIS CONTRACT, THAT IS NOT INDICATED ON THE ARCHITECTURAL PLANS, SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR. CEILINGS REMOVED BY THIS CONTRACTOR SHALL BE REPLACE AND/OR REPAIRED BY HIM, AS PER SPECIFICATIONS.

### KEYED DRAWING NOTES:

- ◇ PROVIDE UNDERCUT DOOR.



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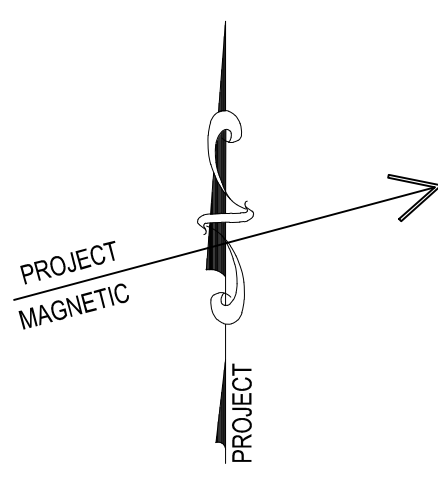


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FIRST FLOOR PLAN - UNIT A - HVAC DUCTWORK  
RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14  
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1111 COMMONS BLVD, READING, PA 19605

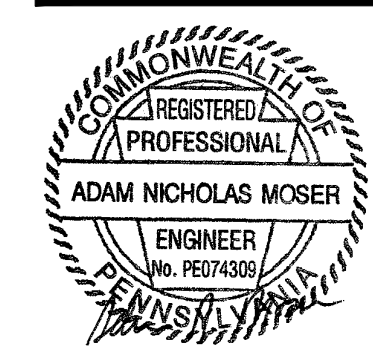
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JOB NO.: 24015.00  
DRAWN BY: KA  
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H-A1





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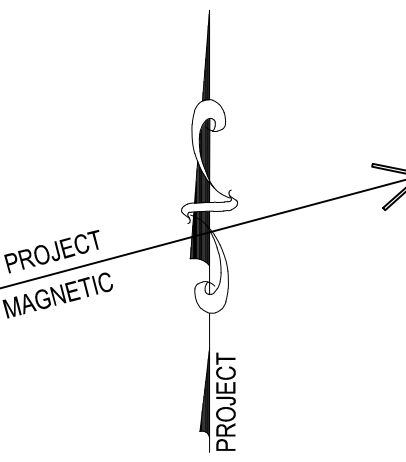
SECOND FLOOR PLAN - UNIT A - HVAC  
RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14  
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ALL DIMENSIONS AND EXISTING CONDITIONS  
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H-A2





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THIRD FLOOR PLAN - UNIT A - HVAC DUCTWORK

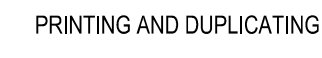
RENOVATIONS TO BERKS COUNTY INTERMEDIATE  
BCIU MAIN OFFICE  
1111 COMMONS BLVD. READING, PA 19605

ALL DIMENSIONS and EXISTING CONDITIONS  
shall be CHECKED and VERIFIED  
by the CONTRACTOR at the SITE.

JOB NO.: 24015.00  
DRAWN BY: KA  
DATE: 10.15.25

H-A3



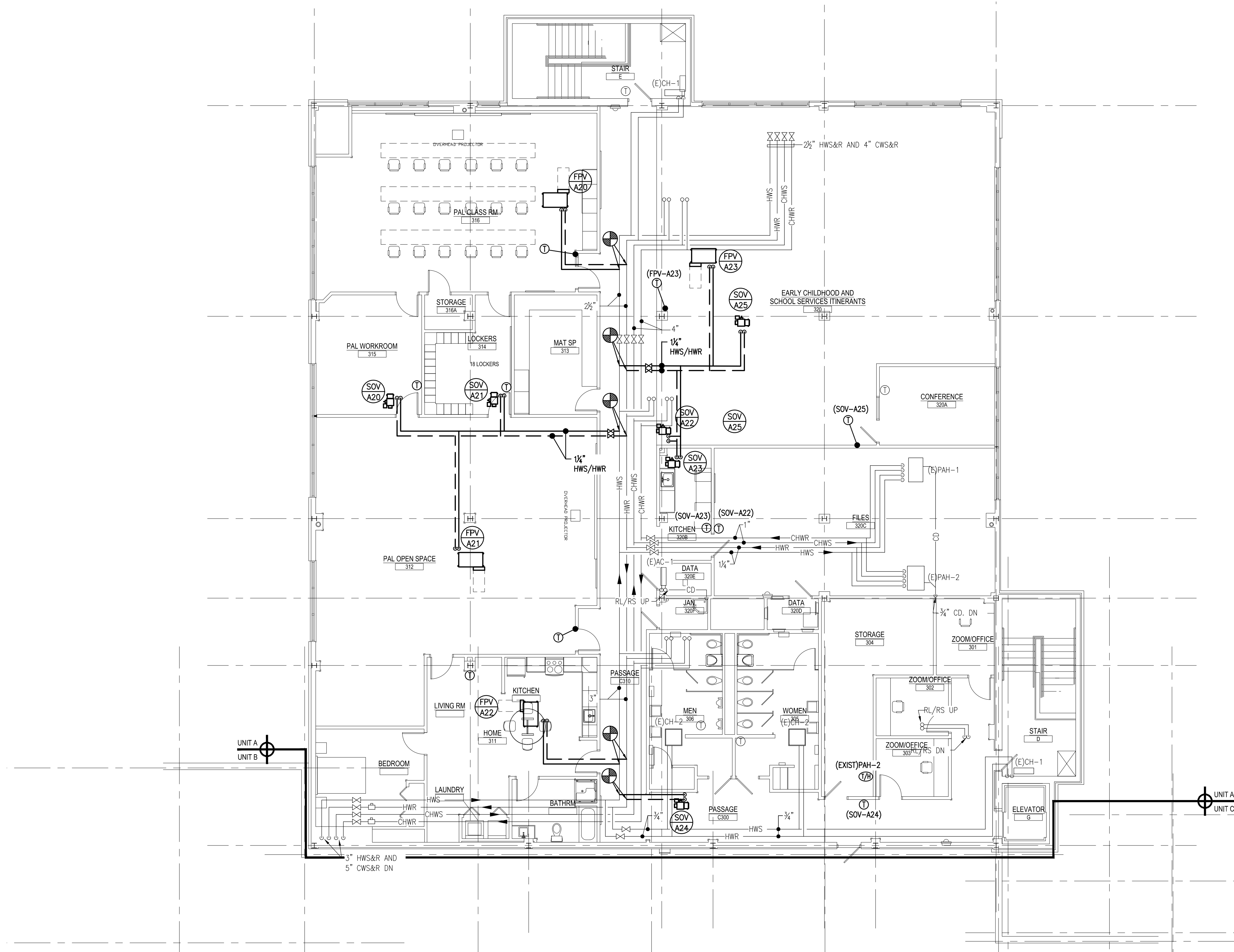


1  
H-A4

**KEY PLAN**  
SCALE: N.T.S.







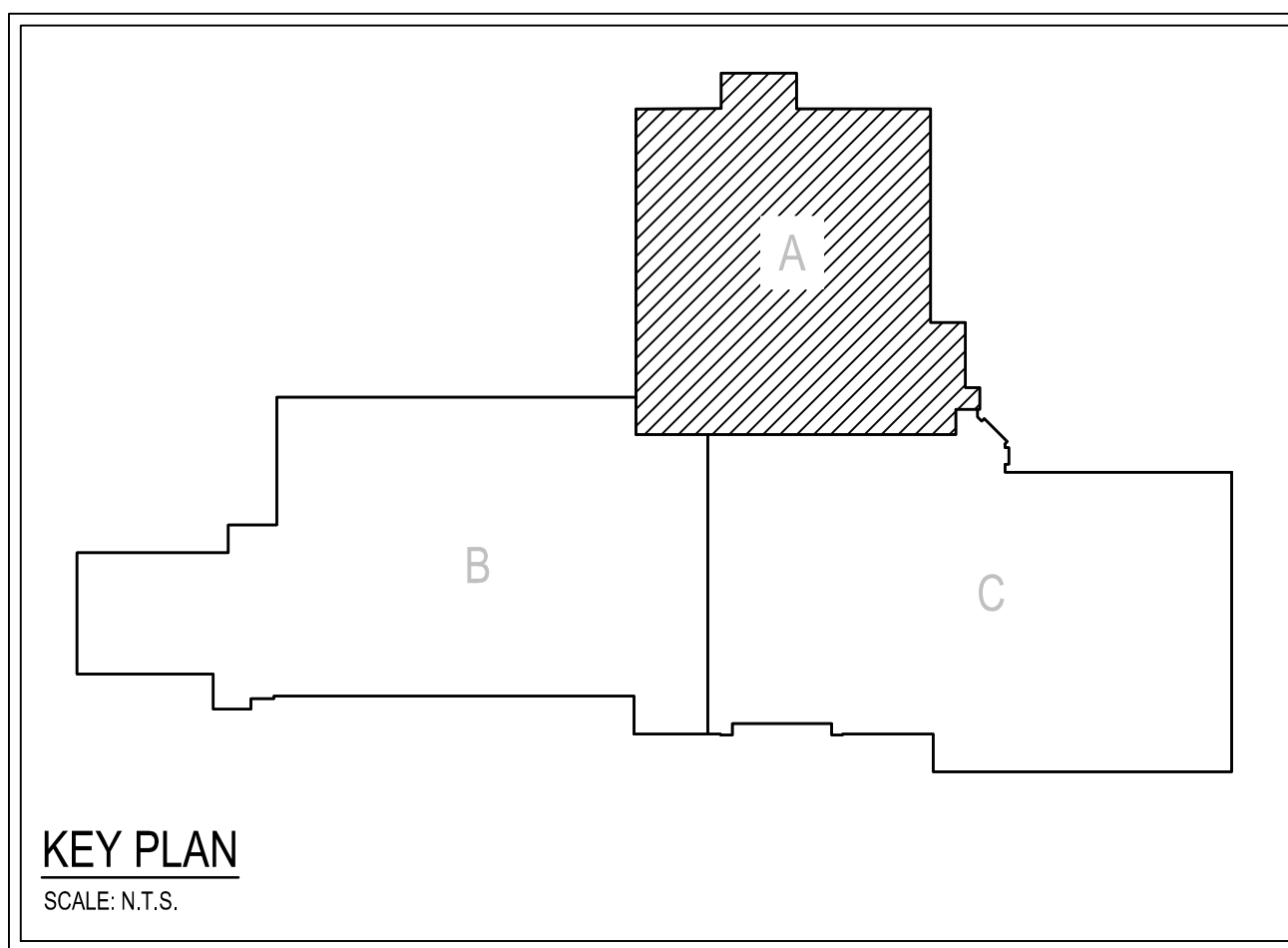
1 THIRD FLOOR PLAN - UNIT A - HVAC PIPING  
H-A5 SCALE: 1/8" = 1'-0"

### GENERAL DRAWING NOTES:

1. REFER TO DRAWING H-1 FOR HVAC GENERAL PROJECT NOTES.
2. PROVIDE REQUIRED SERVICE CLEARANCE FOR ALL HVAC UNITS AS RECOMMENDED BY THE EQUIPMENT MANUFACTURER.
3. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF HVAC CEILING OUTLETS AND OTHER CEILING MOUNTED DEVICES. ANY CEILING REMOVAL REQUIRED FOR WORK TO BE COMPLETED UNDER THIS CONTRACT, THAT IS NOT INDICATED ON THE ARCHITECTURAL PLANS, SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR. CEILINGS REMOVED BY THIS CONTRACTOR SHALL BE REPLACE AND/OR REPAIRED BY HIM, AS PER SPECIFICATIONS.

### KEYED DRAWING NOTES:

◇ -



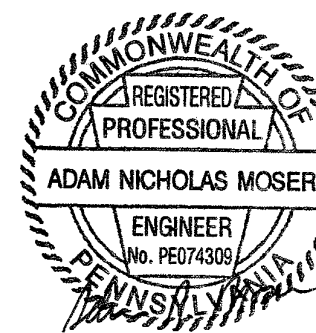
THIRD FLOOR PLAN - UNIT A - HVAC PIPING

RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14  
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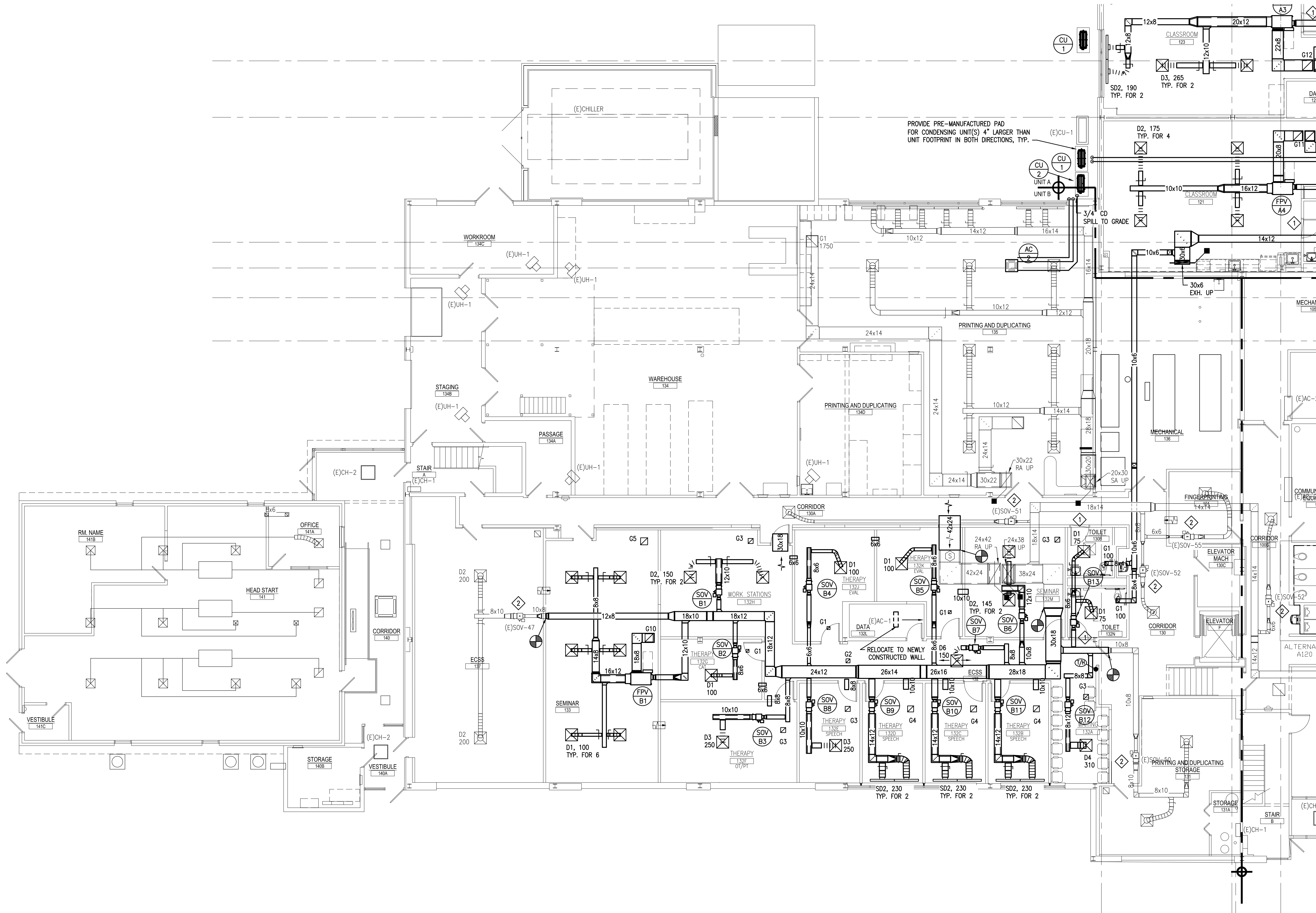


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H-A5





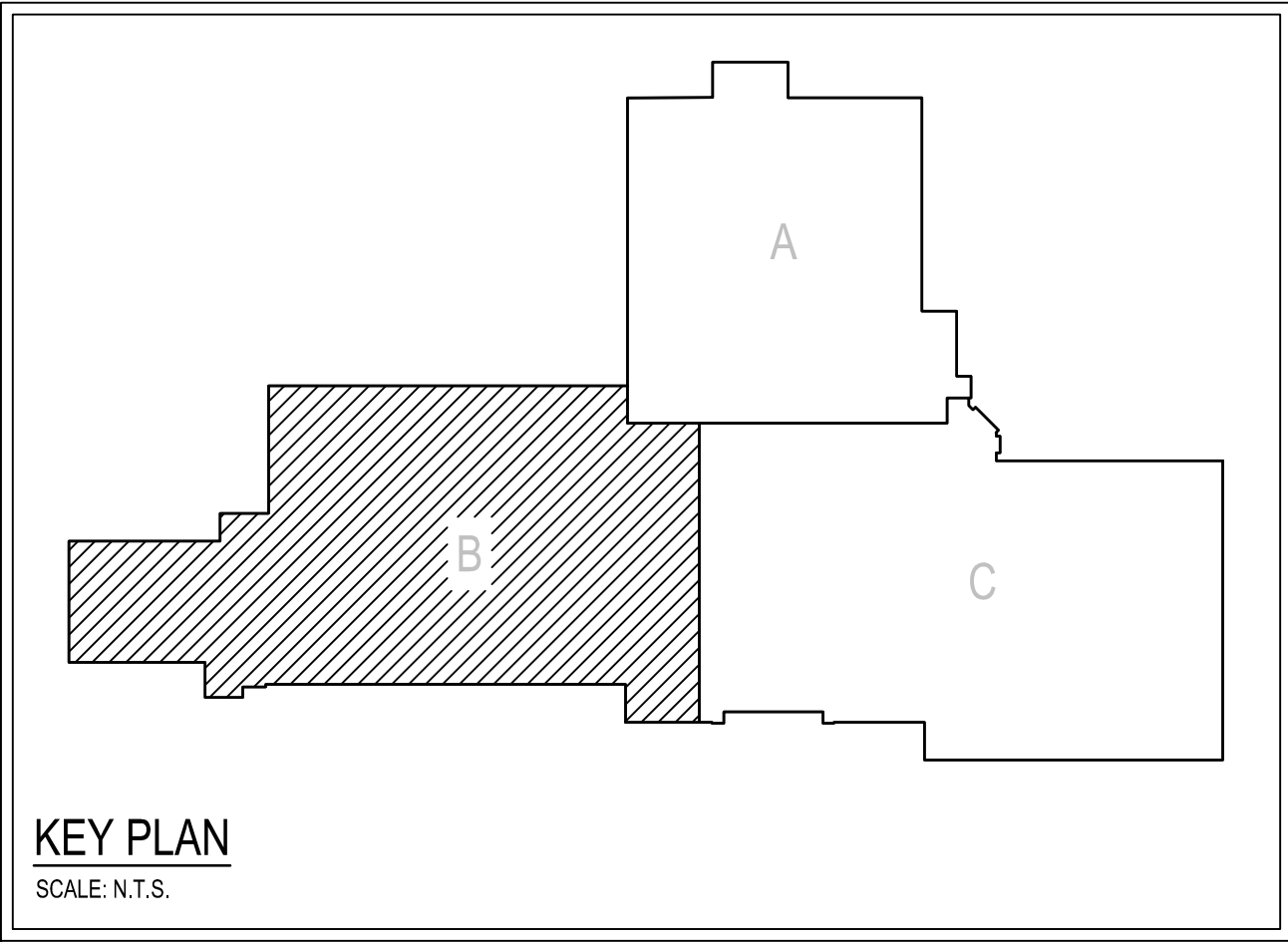
1 FIRST FLOOR PLAN - UNIT B - HVAC DUCTWORK  
H-B1 SCALE: 1/8" = 1'-0"

GENERAL DRAWING NOTES:

- REFER TO DRAWING H-1 FOR HVAC GENERAL PROJECT NOTES.
- PROVIDE REQUIRED SERVICE CLEARANCE FOR ALL HVAC UNITS AS RECOMMENDED BY THE EQUIPMENT MANUFACTURER.
- REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF HVAC CEILING OUTLETS AND OTHER CEILING MOUNTED DEVICES. ANY CEILING REMOVAL REQUIRED FOR WORK TO BE COMPLETED UNDER THIS CONTRACT, THAT IS NOT INDICATED ON THE ARCHITECTURAL PLANS, SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR. CEILINGS REMOVED BY THIS CONTRACTOR SHALL BE REPLACE AND/OR REPAIRED BY HIM, AS PER SPECIFICATIONS.

KEYED DRAWING NOTES:

- ◇ PROVIDE UNDERCUT DOOR.
- ◇ EXISTING VAV BOX TO REMAIN. MODIFY EXISTING CONTROLS TO PROVIDE DEHUMIDIFICATION SEQUENCE PER SPEC. SECTION 230905



FIRST FLOOR PLAN - UNIT B - HVAC DUCTWORK

RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14  
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REGISTERED  
PROFESSIONAL  
ENGINEER  
ADAM NICHOLAS MOSER  
No. 007848  
Exp. 12/31/2025

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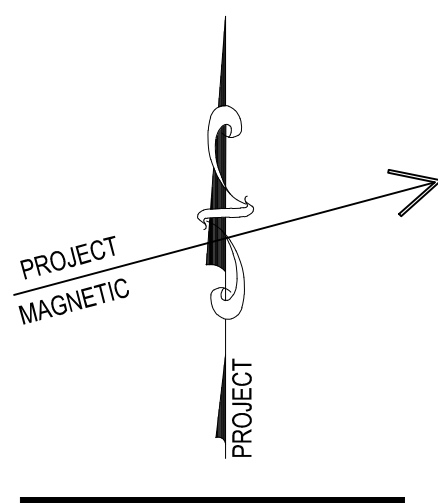
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H-B1





1 EXISTING VAV BOX TO REMAIN. MODIFY EXISTING CONTROLS TO PROVIDE DEHUMIDIFICATION SEQUENCE PER SPEC. SECTION 230905



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SECOND FLOOR PLAN - UNIT B - HVAC

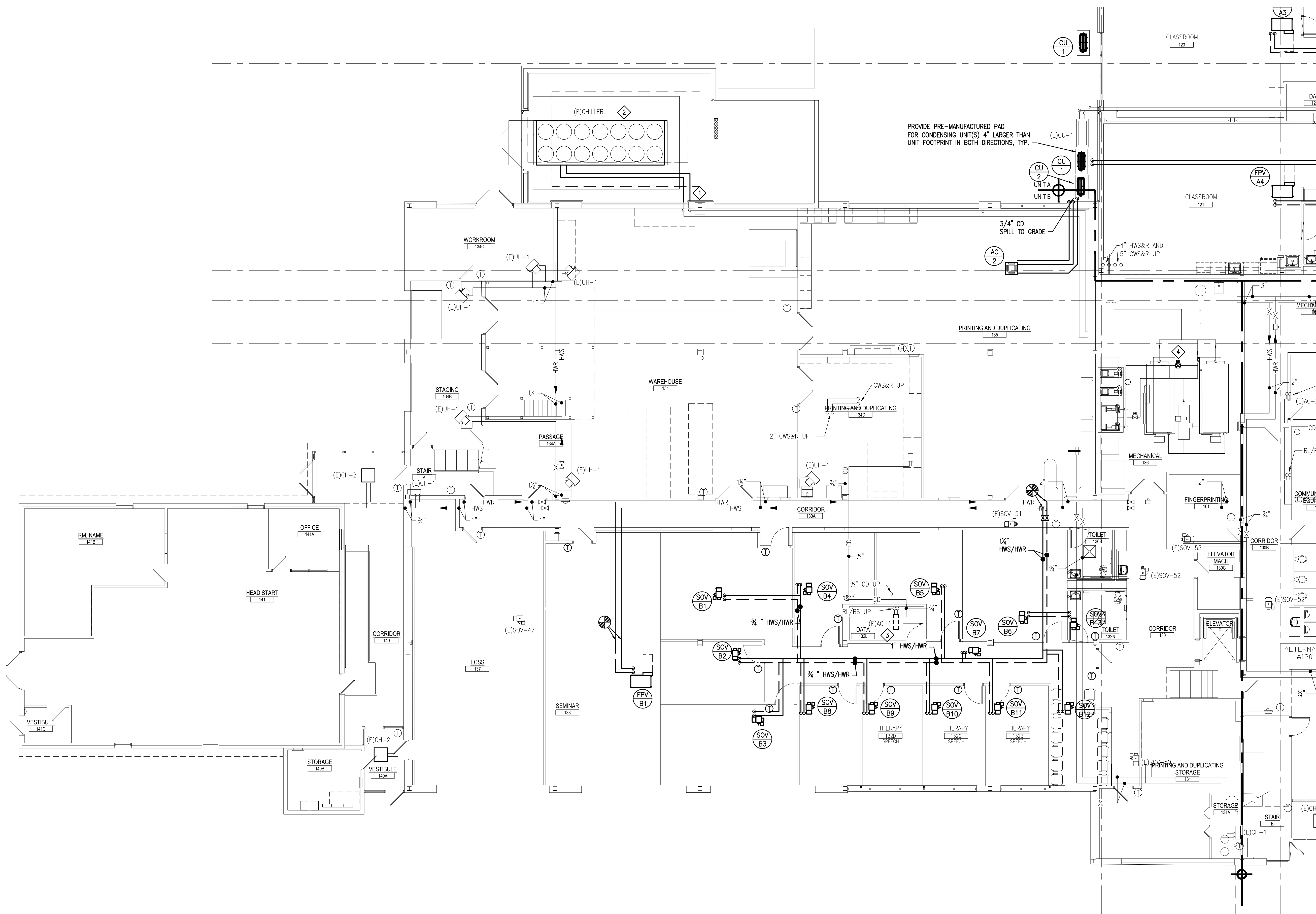
RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14  
BCIU MAIN OFFICE

1111 COMMONS BLVD, READING, PA 19605

JOB NO.: 24015.00  
DRAWN BY: KA  
DATE: 10.15.25

H-B2





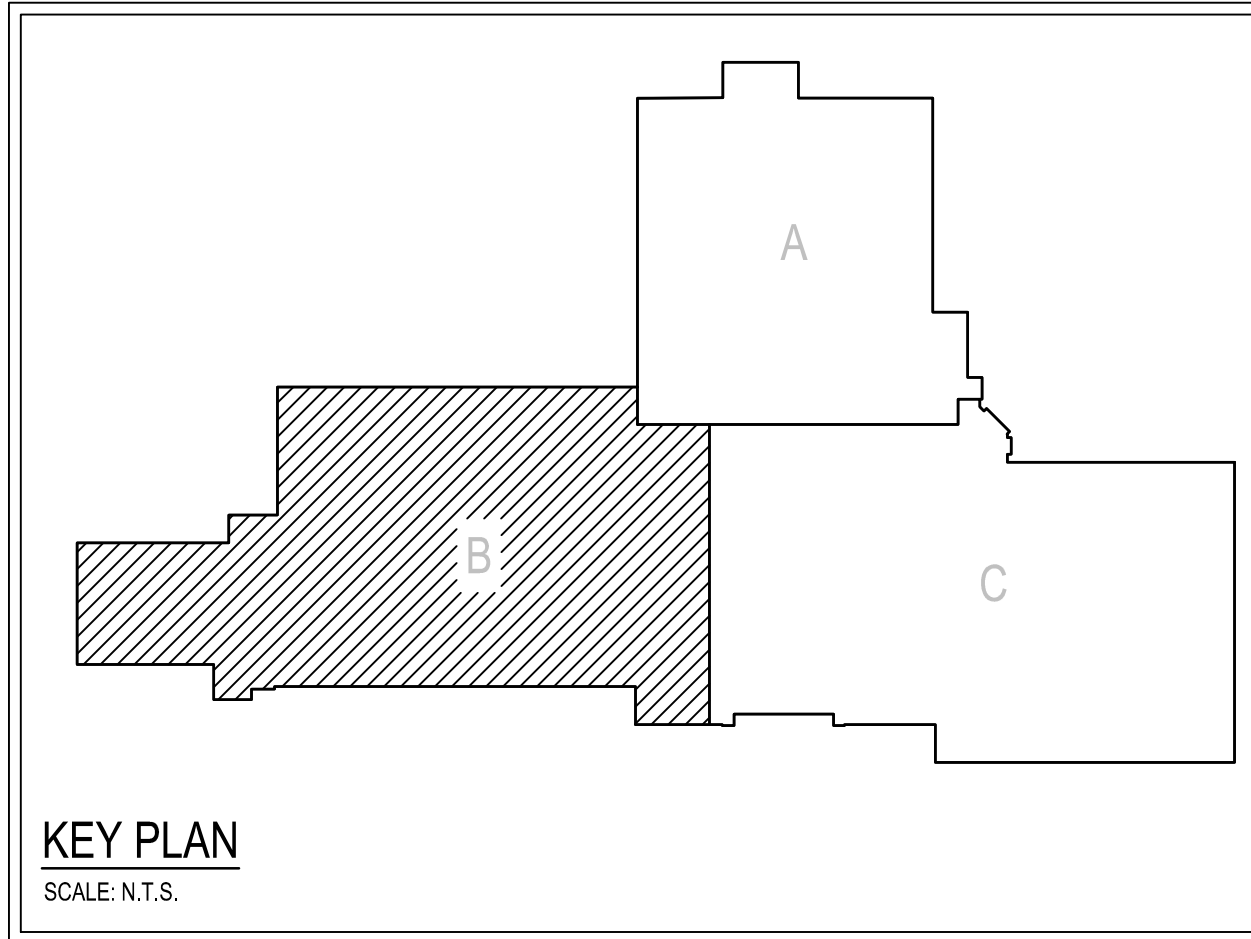
1 FIRST FLOOR PLAN - UNIT B - HVAC PIPING  
H-B3 SCALE: 1/8" = 1'-0"

GENERAL DRAWING NOTES:

- 1. REFER TO DRAWING H-1 FOR HVAC GENERAL PROJECT NOTES.
- 2. PROVIDE REQUIRED SERVICE CLEARANCE FOR ALL HVAC UNITS AS RECOMMENDED BY THE EQUIPMENT MANUFACTURER.
- 3. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF HVAC CEILING OUTLETS AND OTHER CEILING MOUNTED DEVICES. ANY CEILING REMOVAL REQUIRED FOR WORK TO BE COMPLETED UNDER THIS CONTRACT, THAT IS NOT INDICATED ON THE ARCHITECTURAL PLANS, SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR. CEILINGS REMOVED BY THIS CONTRACTOR SHALL BE REPLACE AND/OR REPAIRED BY HIM, AS PER SPECIFICATIONS.

KEYED DRAWING NOTES:

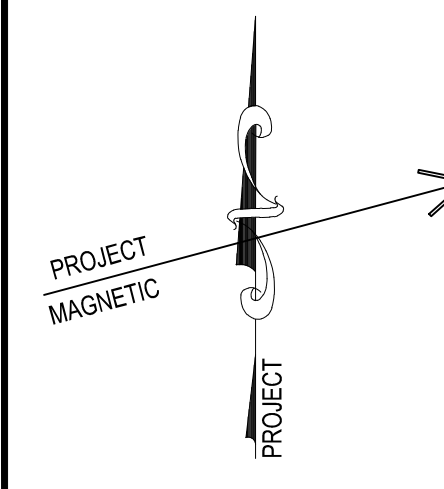
- 1. REMOVE AND REPLACE PIPING INSULATION AND ALUMINUM JACKETING ON EXISTING EXTERIOR CHILLED WATER PIPING.
- 2. PROVIDE CHILLER CONDENSER COIL CLEANING AND REPAIR BENT FINS WITH A STRAIGHTENING COMB.
- 3. RELOCATE EXISTING WALL MOUNTED EVAPORATOR TO NEWLY CONSTRUCTED WALL. EXTEND ASSOCIATED REFRIGERANT PIPING, CONDENSATE, CONTROLS, AND POWER WIRING AS REQ'D.
- 4. HOT WATER 3-WAY VALVE TO BE REMOVED.







A key plan diagram showing three areas labeled A, B, and C. Area A is a rectangular area at the top. Area B is a larger rectangular area to the left of Area A. Area C is a rectangular area to the right of Area B, filled with diagonal hatching. The areas are connected by a narrow strip of land.







1. REFER TO DRAWING H-1 FOR HVAC GENERAL PROJECT NOTES.
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- 1 EXISTING VAV BOX TO REMAIN. MODIFY EXISTING CONTROLS TO PROVIDE DEHUMIDIFICATION SEQUENCE PER SPEC. SECTION 230905
- 2 (BASE BID ONLY) REMOVE, CLEAN, AND STORE ALL EXISTING GRILLES. RE-INSTALL IN NEW CEILING.
- 3 (BASE BID ONLY) REMOVE, CLEAN, AND STORE EXISTING CEILING MOUNTED EXHAUST FAN. RE-INSTALL IN NEW CEILING.

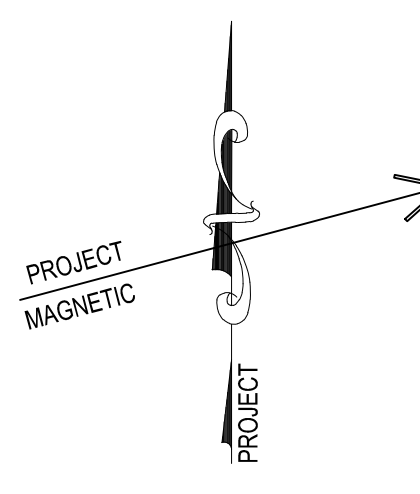


RENOVATIONS TO BERKS  
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ALL DIMENSIONS and EXISTING CONDITIONS shall be CHECKED and VERIFIED.


JOB NO.: 24015.00  
DRAWN BY: AV  
DATE: 10.15.25

H-C2



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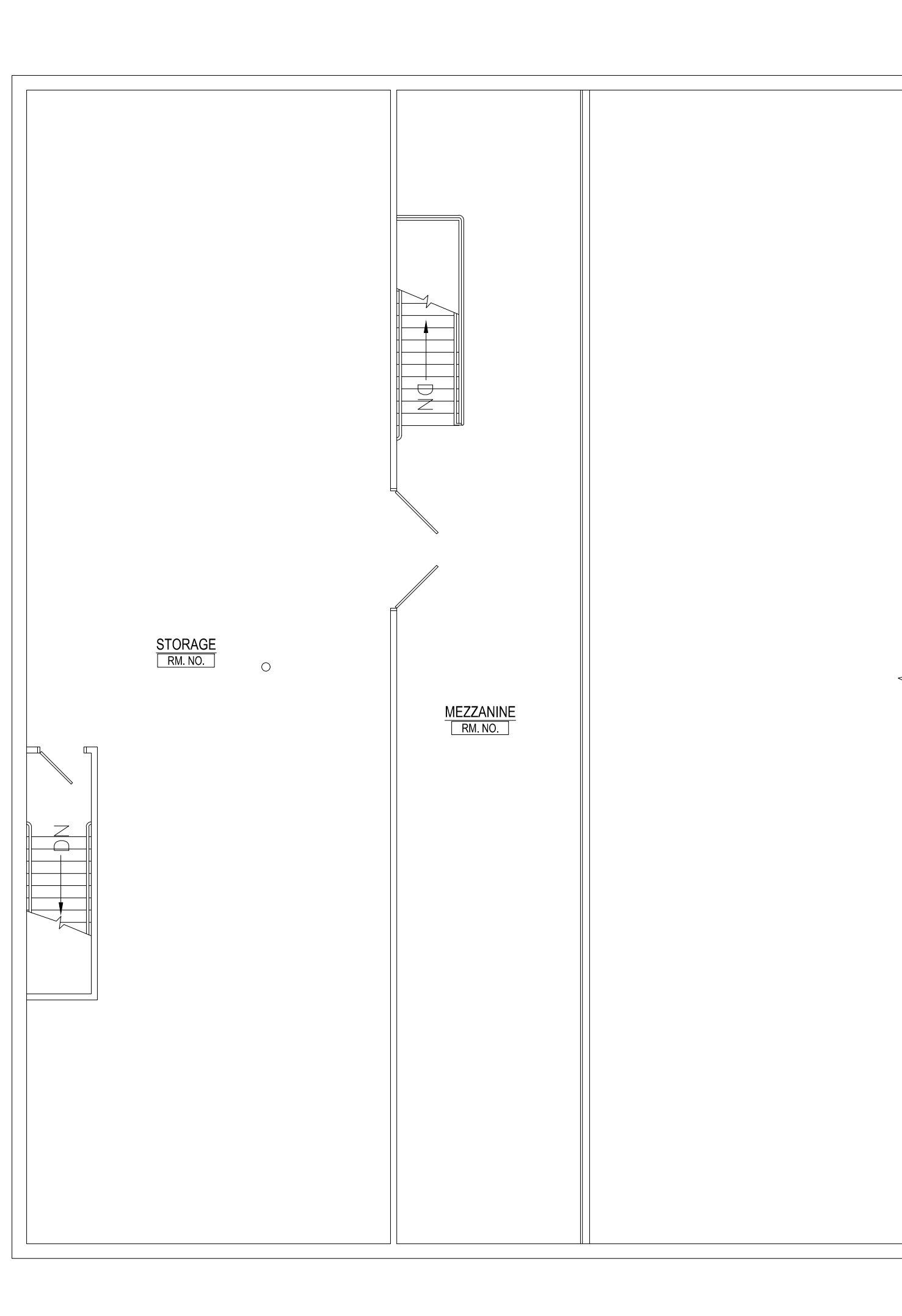
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Internet [www.consolidatedengineers.com](http://www.consolidatedengineers.com)



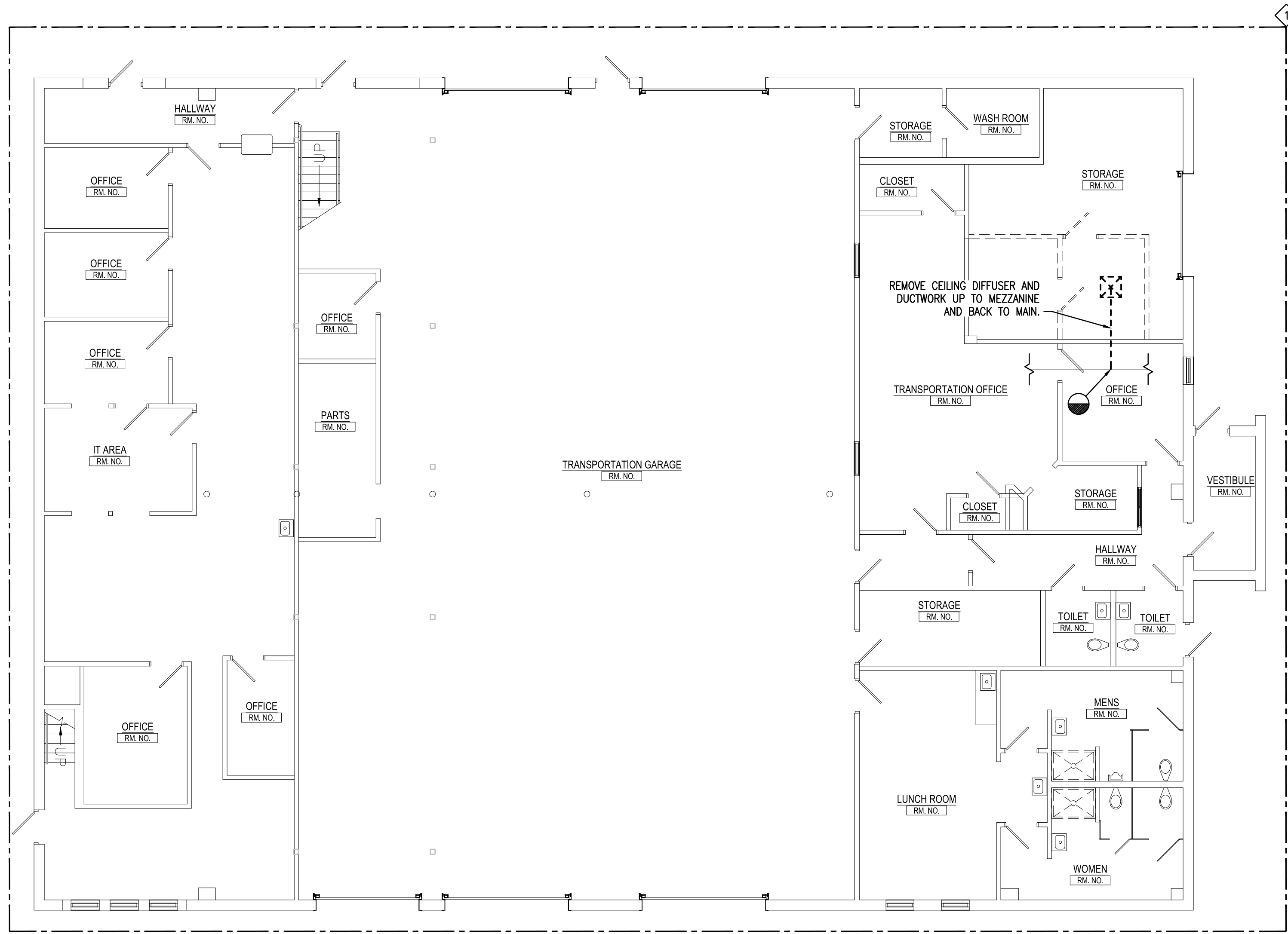
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1 MEZZANINE PLAN - READING CREST - HVAC  
HD-D1 SCALE: 1/8" = 1'-0"



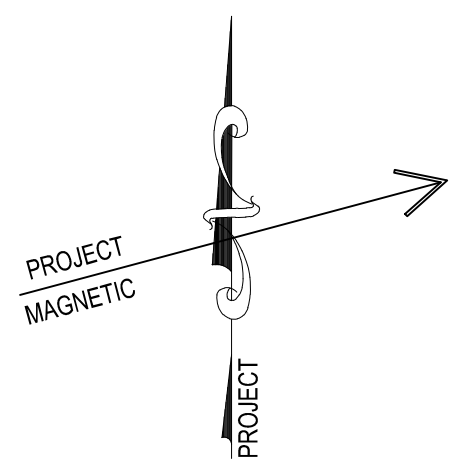
2 FIRST FLOOR PLAN - READING CREST - HVAC  
HD-D1 SCALE: 1/8" = 1'-0"

### GENERAL DRAWING NOTES:

1. REFER TO DRAWING H-1 FOR HVAC GENERAL PROJECT NOTES.
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### KEYED DRAWING NOTES:

- ◇ ALL WORK ASSOCIATED WITH THIS DRAWING TO BE COMPLETED UNDER THE BASE BID ONLY. DEDUCT THIS WORK IF ALTERNATE IS CHOSEN.



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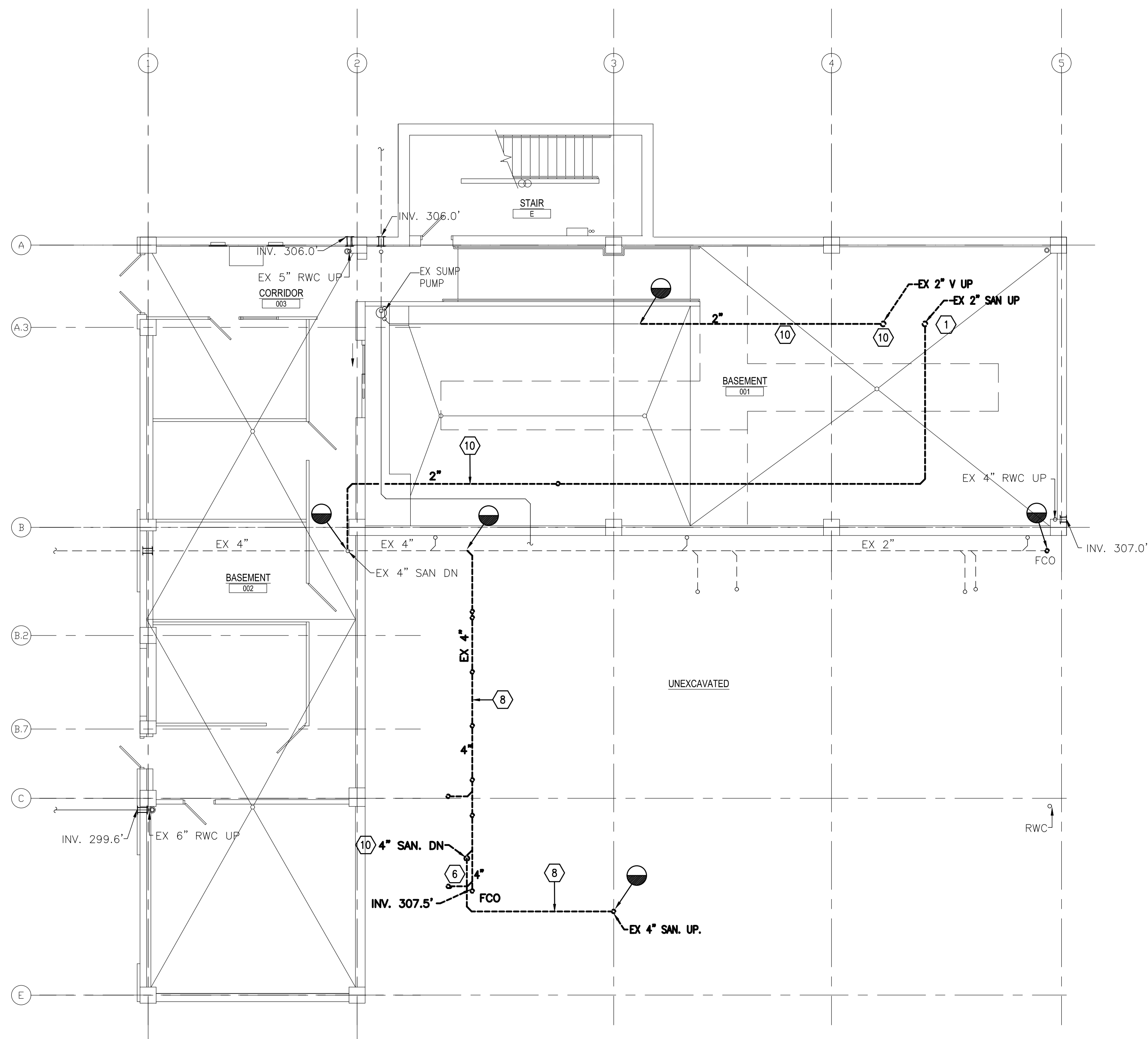
FIRST FLOOR PLAN - READING CREST - HVAC  
RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14  
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JOB NO.: 24015.00  
DRAWN BY: KA  
DATE: 10.15.25

H-D1





**1 BASEMENT FLOOR PLAN - UNIT A - PLUMBING DEMOLITION**  
SCALE: 1/8" = 1'-0"

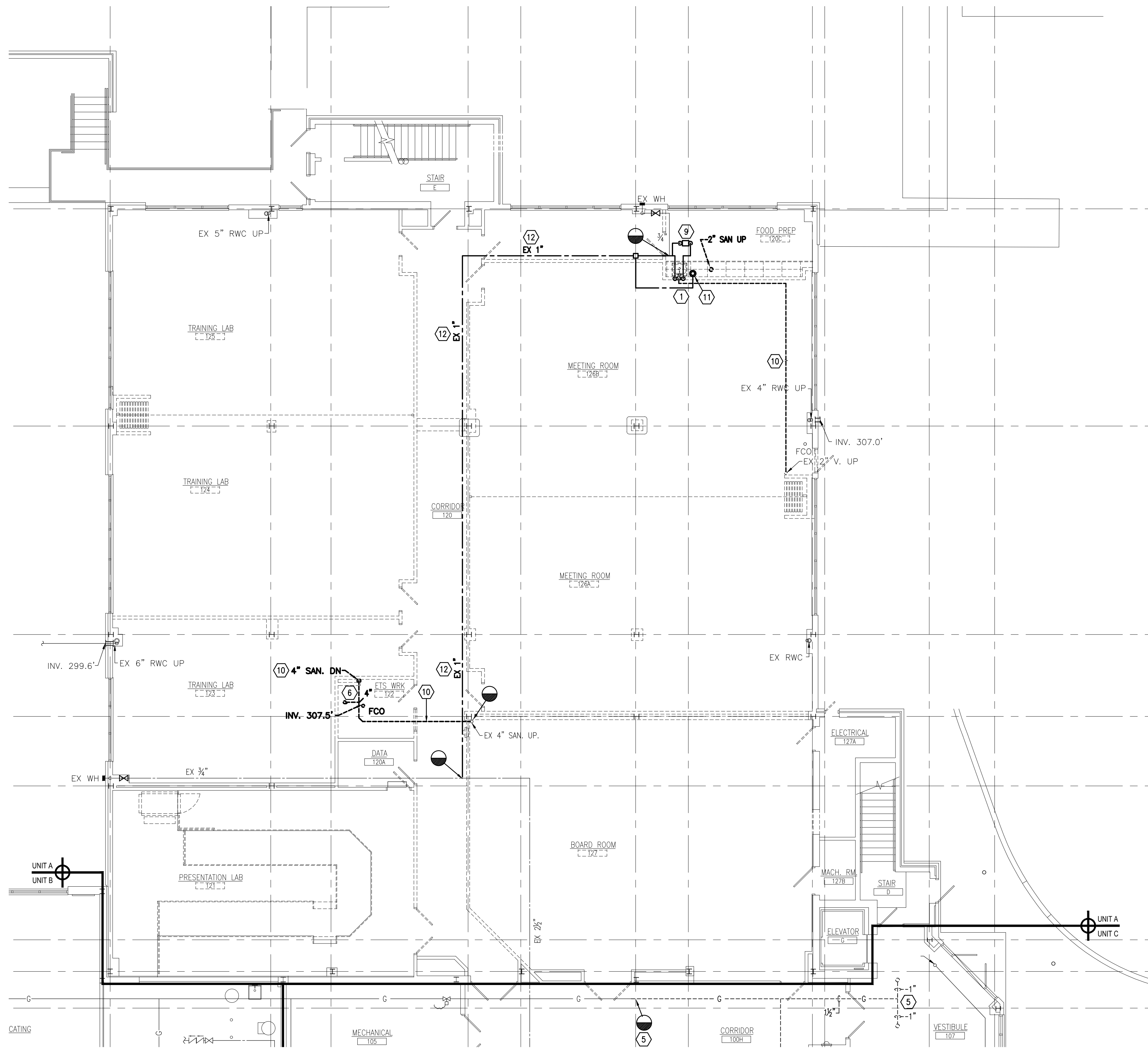
### GENERAL DEMOLITION NOTES:

1. THE CONTRACTOR SHALL COORDINATE THE SALVAGE AND DISPOSAL OF ALL EQUIPMENT AND MATERIAL WITH THE OWNER. THE PLUMBING CONTRACTOR SHALL RETURN TO THE OWNER ANY ITEMS NOTED OR NOT NOTED, ON THE DRAWINGS, AT THE OWNERS REQUEST. ALL REMAINING EQUIPMENT AND MATERIAL SHALL BE DISPOSED OF BY THE PLUMBING CONTRACTOR.
2. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS AS REQUIRED TO ACCOMMODATE PROJECT PHASING. REFER TO PROJECT PHASING DRAWING AND SCHEDULE. PROVIDE ALL LABOR AND MATERIAL NECESSARY TO ACCOMMODATE PROJECT PHASING.
3. ALL PATCHING & REPAIRING OF SURFACES AND HOLES LEFT OPEN DUE TO DEMOLITION OR REMOVAL OF EXISTING PIPING & EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR. PATCH EXISTING CONSTRUCTION AS REQUIRED TO MATCH ADJACENT SURFACES OR TO RECEIVE NEW FINISHES AS SCHEDULED.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING, PATCHING AND EXCAVATION AND BACKFILLING WITHIN THE BUILDING REQUIRED TO COMPLETE ALL INDICATED WORK. PC SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING MATERIAL AND EQUIPMENT TO REMAIN.
5. ALL EXISTING PIPING AND EQUIPMENT SHOWN MUST BE VERIFIED IN THE FIELD. ANY PLUMBING EQUIPMENT NOT SHOWN SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION PRIOR TO REMOVAL.
6. WHERE BELOW SLAB SANITARY LATERALS ARE EITHER CALLED FOR TO BE CAPPED OR ABANDONED, ALLOW FOR AMPLE SPACE TO PROPERLY CAP ENDS OF PIPING APPROVED CAPS TO ALLOW FOR FLOOR RESTORATION.
7. PC SHALL USE GROUND PENETRATING RADAR TO LOCATE EXISTING UNDER-SLAB UTILITIES PRIOR TO SAW CUTTING AND EXCAVATION FOR NEW UNDER FLOOR UTILITIES. P.C. SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGED UTILITIES THAT ARE SEVERED DUE TO MISIDENTIFICATION.

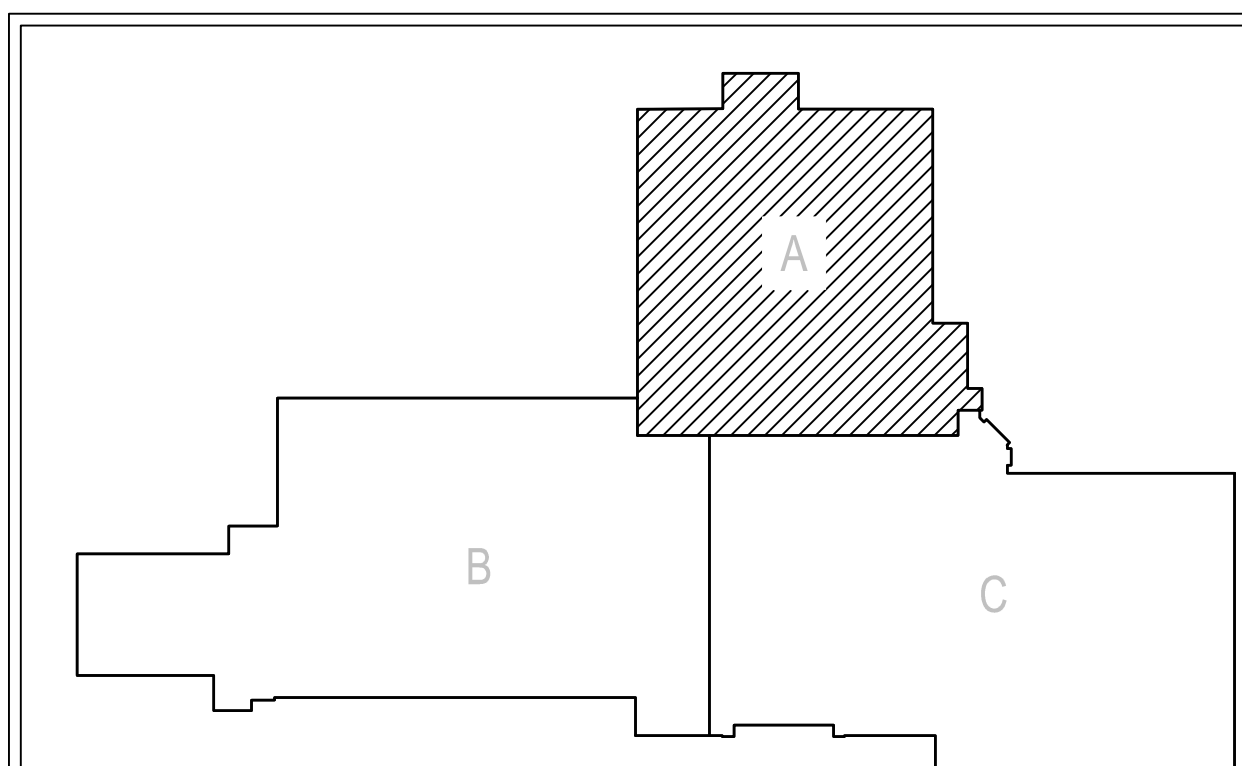
### KEYED DEMOLITION NOTES:

- 1 REMOVE EXISTING PLUMBING FIXTURE, SUPPORTS AND ALL ASSOCIATED EXPOSED AND CONCEALED SUPPLY / DWV PIPING IN ITS ENTIRETY BACK TO MAIN, CAP SANITARY LINE CONCEALED AND REMOVE VENT STACK UNLESS NOTED TO BE RE-UTILIZED.
- 2 EXISTING PLUMBING FIXTURE, SUPPORTS AND ALL ASSOCIATED EXPOSED AND CONCEALED SUPPLY / DWV SHALL REMAIN.
- 3 REMOVE EXISTING IN-FLOOR MOUNTED GREASE INTERCEPTOR, AND ALL ASSOCIATED EXPOSED AND CONCEALED SUPPLY / DWV PIPING IN ITS ENTIRETY BACK TO MAIN, CAP SANITARY LINE CONCEALED AND REMOVE VENT STACK.
- 4 REMOVE EXISTING KITCHEN EQUIPMENT PLUMBING FIXTURE AND ALL ASSOCIATED EXPOSED AND CONCEALED SUPPLY / DWV PIPING IN ITS ENTIRETY BACK TO MAIN, CAP SANITARY LINE CONCEALED AND REMOVE VENT STACK.
- 5 REMOVE EXISTING KITCHEN EQUIPMENT NATURAL GAS PIPING IN ITS ENTIRETY BACK TO MAIN, CAP AT MAIN.
- 6 REMOVE EXISTING FLOOR DRAIN AND PIPING IN ITS ENTIRETY BACK TO MAIN, CAP AT MAIN.
- 7 EXISTING ELECTRIC WATER HEATER SHALL REMAIN IN ITS ENTIRETY.
- 8 EXCAVATE AND REMOVE EXISTING SANITARY PIPE SECTION BELOW FLOOR AND REPLACE. BACKFILL AND COMPACT TO CORRECT IMPROPERLY INSTALLED PORTION OF PIPE.
- 9 REMOVE EXISTING ELECTRIC ELECTRIC WATER HEATER IN ITS ENTIRETY.
- 10 REMOVE EXISTING SANITARY DWV PIPING.
- 11 REMOVE EXISTING INDIRECT WASTE RECEPTOR IN ITS ENTIRETY.
- 12 REMOVE EXISTING DOMESTIC WATER PIPING IN ITS ENTIRETY TO POINTS INDICATED.

THE DEMOLITION WORK INDICATED IS INTENDED TO ASSIST THE CONTRACTOR AND GIVE GENERAL INFORMATION. THE CONTRACTOR SHALL BE REQUIRED TO VISIT THE PROJECT SITE PRIOR TO BIDDING TO FULLY ACQUAINT HIMSELF WITH THE EXTENT OF ALL DEMOLITION WORK WHICH IS NECESSARY TO COMPLETE THE ALTERATIONS AND NEW CONSTRUCTION AS DESCRIBED IN THE CONTRACT DOCUMENTS. ALL DEMOLITION WORK REQUIRED SHALL BE INCLUDED IN THE CONTRACT PRICE WHETHER INDICATED ON THE DRAWING OR NOT. THE CONTRACTOR WILL NOT BE ENTITLED TO ANY CLAIMS FOR ADDITIONAL COMPENSATION RELATED TO REQUIRED DEMOLITION.



**2 FIRST FLOOR PLAN - UNIT A - PLUMBING DEMOLITION**  
SCALE: 1/8" = 1'-0"



**KEY PLAN**  
SCALE: N.T.S.

FLOOR PLANS- UNIT A - PLUMBING DEMOLITION

RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14  
BCIU MAIN OFFICE  
1111 COMMONS BLVD, READING, PA 19605

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JOB NO.: 24015.00  
DRAWN BY: SA  
DATE: 10.15.25

PD-A1

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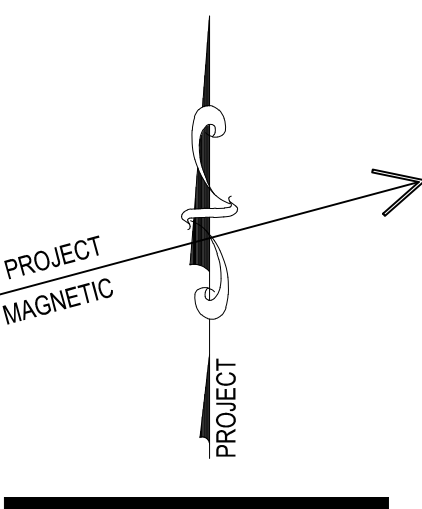



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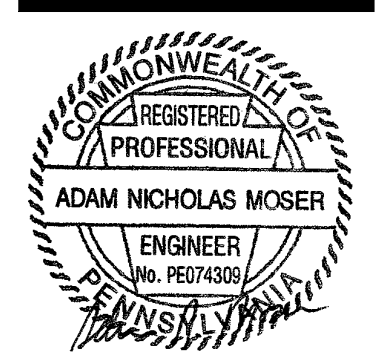


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## SECOND FLOOR PLAN - UNIT A - PLUMBING DEMOLITION

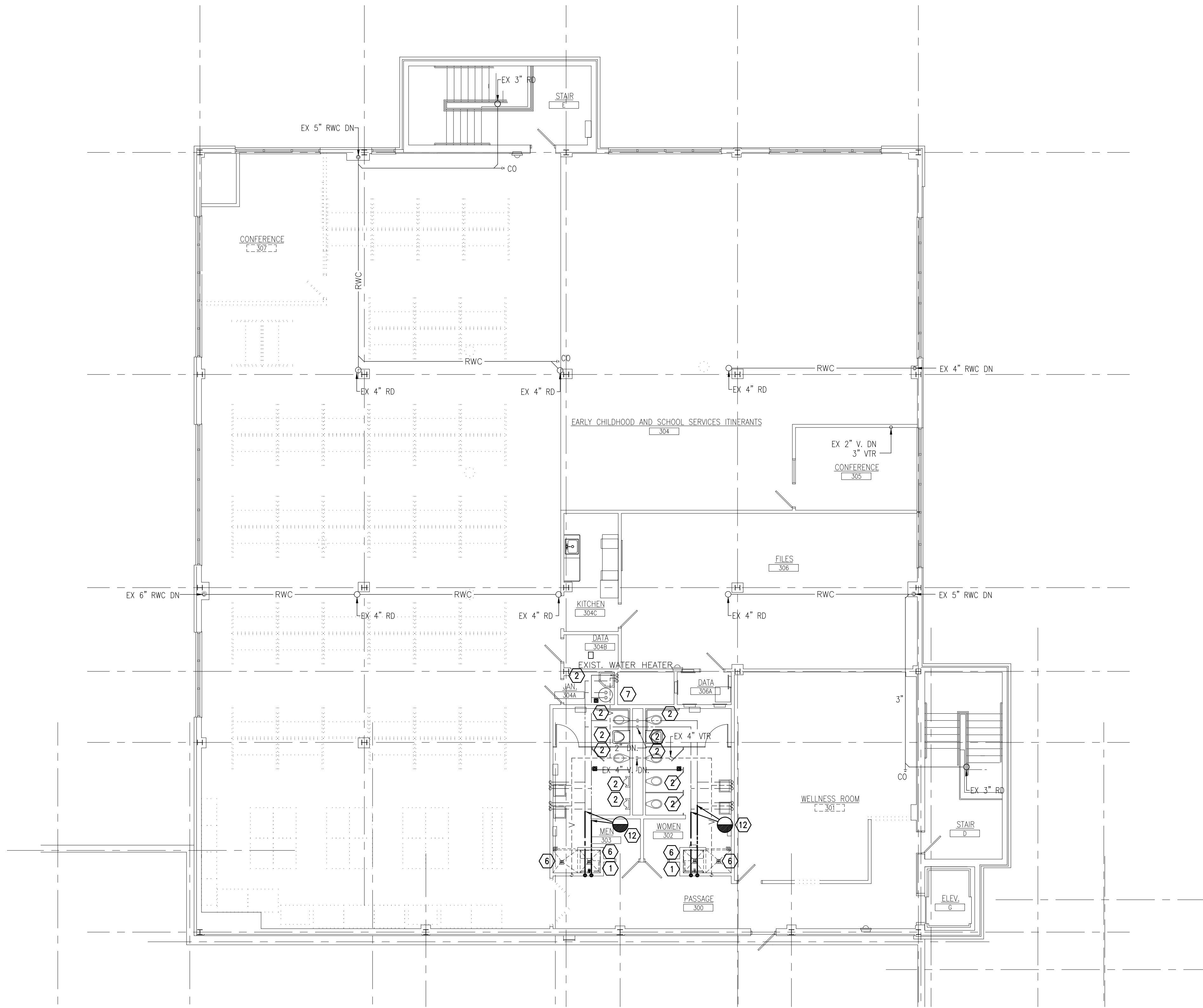
RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14  
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DRAWN BY: SA  
DATE: 10.15.25

PD-A2





1 THIRD FLOOR PLAN - UNIT A - PLUMBING DEMOLITION  
PD-A3 SCALE: 1/8" = 1'-0"

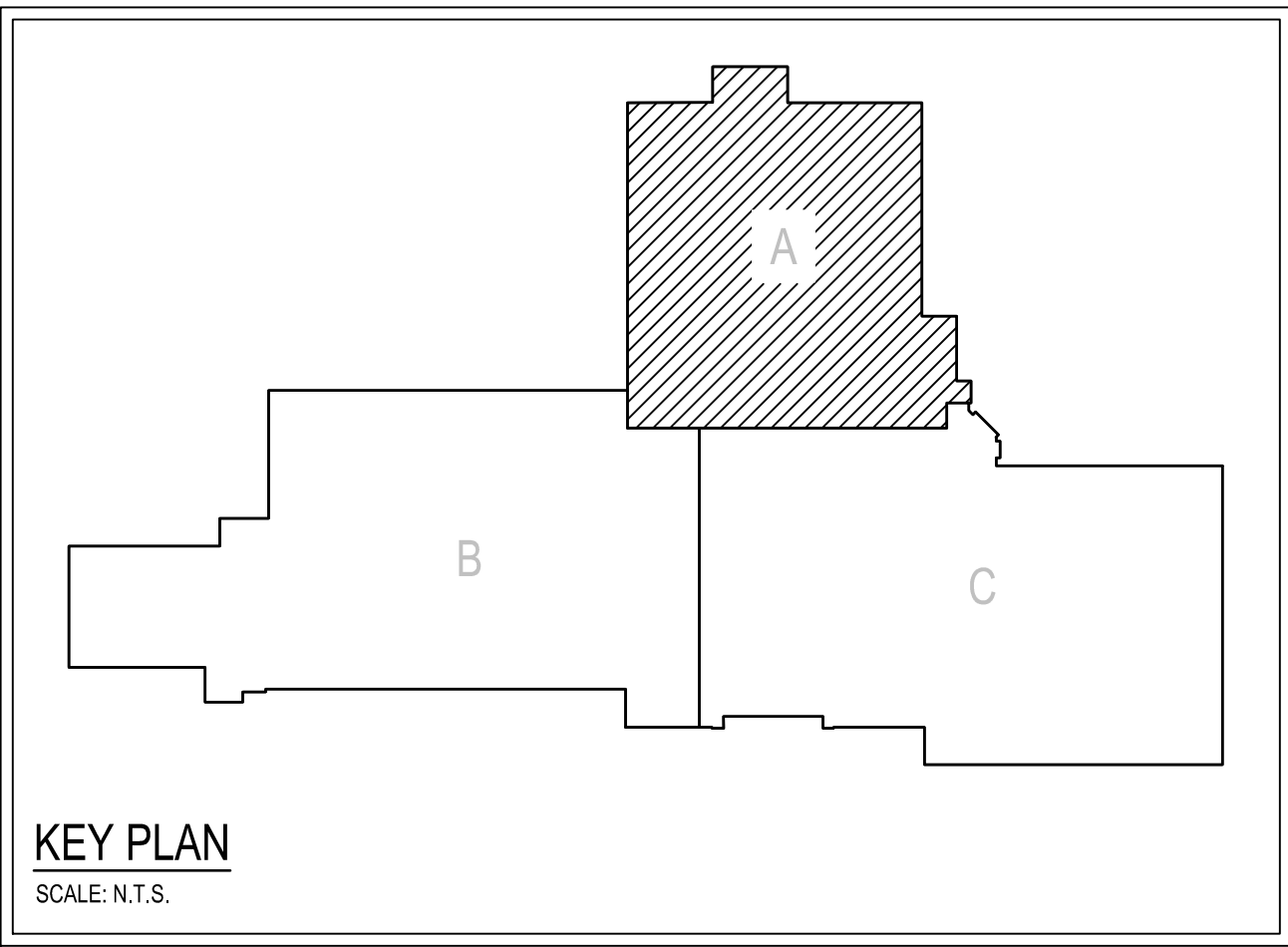
GENERAL DEMOLITION NOTES:

1. THE CONTRACTOR SHALL COORDINATE THE SALVAGE AND DISPOSAL OF ALL EQUIPMENT AND MATERIAL WITH THE OWNER. THE PLUMBING CONTRACTOR SHALL RETURN TO THE OWNER ANY ITEMS NOTED OR NOT NOTED, ON THE DRAWINGS, AT THE OWNERS REQUEST. ALL REMAINING EQUIPMENT AND MATERIAL SHALL BE DISPOSED OF BY THE PLUMBING CONTRACTOR.
2. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS AS REQUIRED TO ACCOMMODATE PROJECT PHASING. REFER TO PROJECT PHASING DRAWING AND SCHEDULE. PROVIDE ALL LABOR AND MATERIAL NECESSARY TO ACCOMMODATE PROJECT PHASING.
3. ALL PATCHING & REPAIRING OF SURFACES AND HOLES LEFT OPEN DUE TO DEMOLITION OR REMOVAL OF EXISTING PIPING & EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR. PATCH EXISTING CONSTRUCTION AS REQUIRED TO MATCH ADJACENT SURFACES OR TO RECEIVE NEW FINISHES AS SCHEDULED.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING, PATCHING AND EXCAVATION AND BACKFILLING WITHIN THE BUILDING REQUIRED TO COMPLETE ALL INDICATED WORK. P.C. SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING MATERIAL AND EQUIPMENT TO REMAIN.
5. ALL EXISTING PIPING AND EQUIPMENT SHOWN MUST BE VERIFIED IN THE FIELD. ANY PLUMBING EQUIPMENT NOT SHOWN SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION PRIOR TO REMOVAL.
6. WHERE BELOW SLAB SANITARY LATERALS ARE EITHER CALLED FOR TO BE CAPPED OR ABANDONED, ALLOW FOR AMPLE SPACE TO PROPERLY CAP ENDS OF PIPING APPROVED CAPS TO ALLOW FOR FLOOR RESTORATION.
7. P.C. SHALL USE GROUND PENETRATING RADAR TO LOCATE EXISTING UNDER-SLAB UTILITIES PRIOR TO SAW CUTTING AND EXCAVATION FOR NEW UNDER FLOOR UTILITIES. P.C. SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGED UTILITIES THAT ARE SEVERED DUE TO MISIDENTIFICATION.

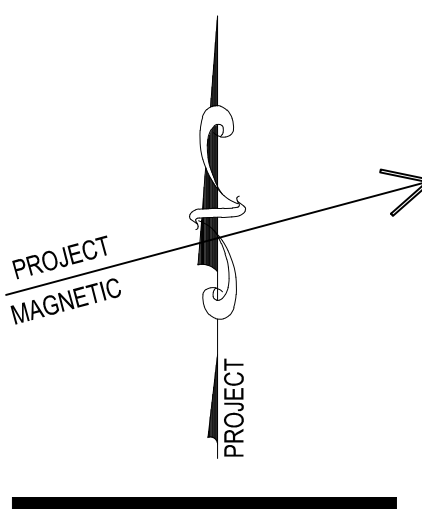
KEYED DEMOLITION NOTES:

- 1 REMOVE EXISTING PLUMBING FIXTURE, SUPPORTS AND ALL ASSOCIATED EXPOSED AND CONCEALED SUPPLY / DWV PIPING IN ITS ENTIRETY BACK TO MAIN, CAP SANITARY LINE CONCEALED AND REMOVE VENT STACK UNLESS NOTED TO BE RE-UTILIZED.
- 2 EXISTING PLUMBING FIXTURE, SUPPORTS AND ALL ASSOCIATED EXPOSED AND CONCEALED SUPPLY / DWV SHALL REMAIN.
- 3 REMOVE EXISTING IN-FLOOR MOUNTED GREASE INTERCEPTOR, AND ALL ASSOCIATED EXPOSED AND CONCEALED SUPPLY / DWV PIPING IN ITS ENTIRETY BACK TO MAIN, CAP SANITARY LINE CONCEALED AND REMOVE VENT STACK.
- 4 REMOVE EXISTING KITCHEN EQUIPMENT PLUMBING FIXTURE AND ALL ASSOCIATED EXPOSED AND CONCEALED SUPPLY / DWV PIPING IN ITS ENTIRETY BACK TO MAIN, CAP SANITARY LINE CONCEALED AND REMOVE VENT STACK.
- 5 REMOVE EXISTING KITCHEN EQUIPMENT NATURAL GAS PIPING IN ITS ENTIRETY BACK TO MAIN, CAP AT MAIN.
- 6 REMOVE EXISTING FLOOR DRAIN AND PIPING IN ITS ENTIRETY BACK TO MAIN, CAP AT MAIN.
- 7 EXISTING ELECTRIC WATER HEATER SHALL REMAIN IN ITS ENTIRETY.
- 8 EXCAVATE AND REMOVE EXISTING SANITARY PIPE SECTION BELOW FLOOR AND REPLACE. BACKFILL AND COMPACT TO CORRECT IMPROPERLY INSTALLED PORTION OF PIPE.
- 9 REMOVE EXISTING ELECTRIC WATER HEATER IN ITS ENTIRETY.
- 10 REMOVE EXISTING SANITARY DRAIN PIPING.
- 11 REMOVE EXISTING INDIRECT WASTE RECEPTOR IN ITS ENTIRETY.
- 12 REMOVE EXISTING DOMESTIC WATER PIPING IN ITS ENTIRETY TO POINTS INDICATED.

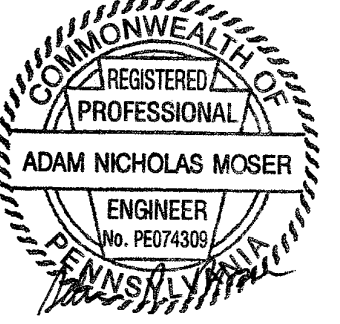
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KEY PLAN  
SCALE: N.T.S.



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1022 James Drive  
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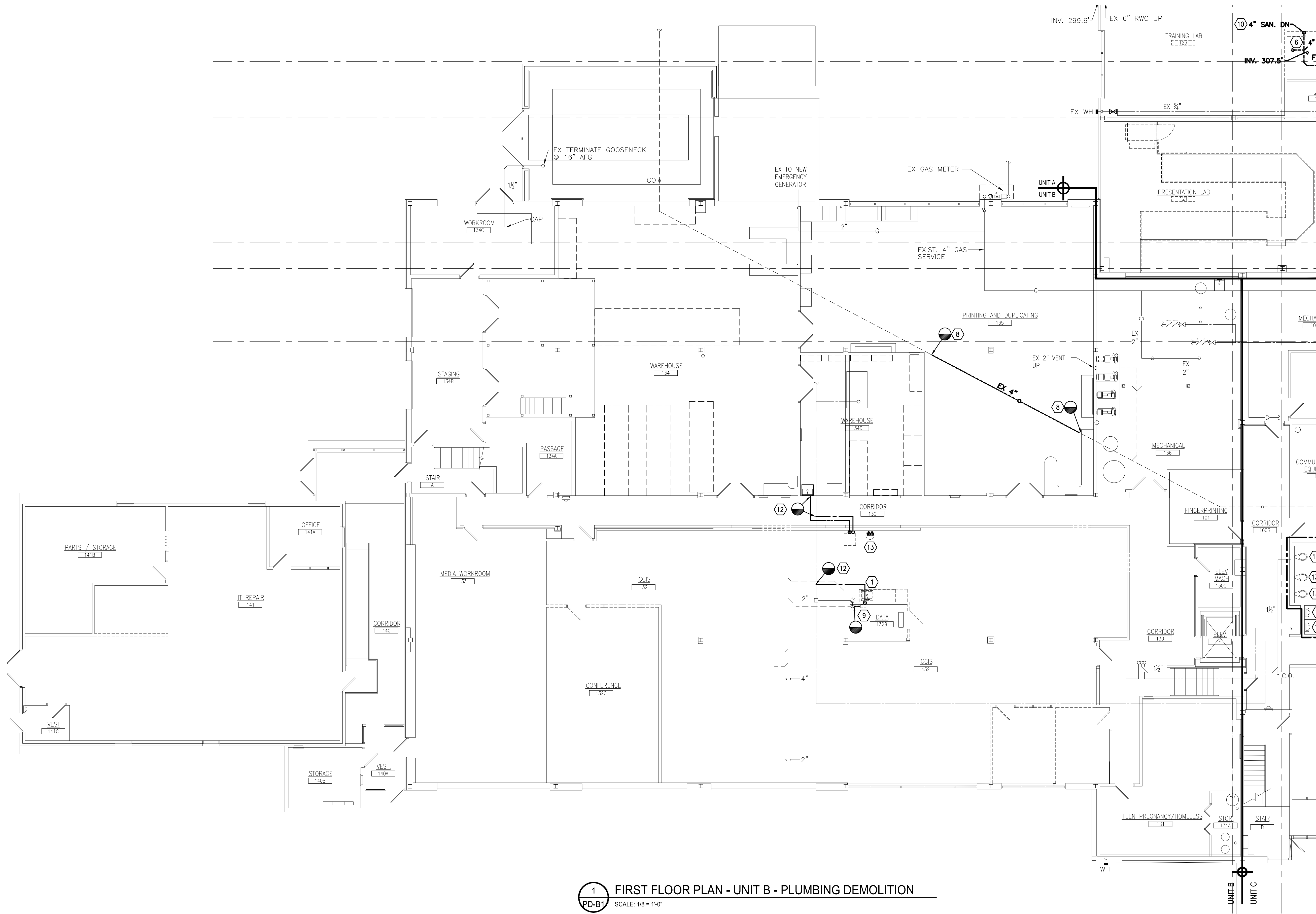
AEM ARCHITECTS INC.  
3700 PERKIDOMEN AVENUE, READING, PA 19606-2785  
Phone: 610-779-3220 Fax: 610-779-3222  
www.aem-arch.com

THIRD FLOOR PLAN - UNIT A - PLUMBING DEMOLITION  
RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14  
BCIU MAIN OFFICE  
1111 COMMONS BLVD, READING, PA 19605

ALL DIMENSIONS AND EXISTING CONDITIONS  
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JOB NO: 24015.00  
DRAWN BY: SA  
DATE: 10.15.25

PD-A3





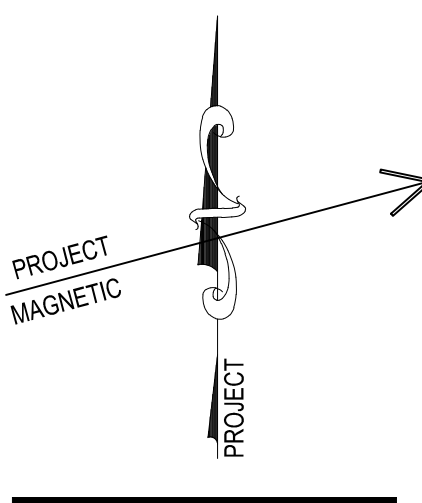
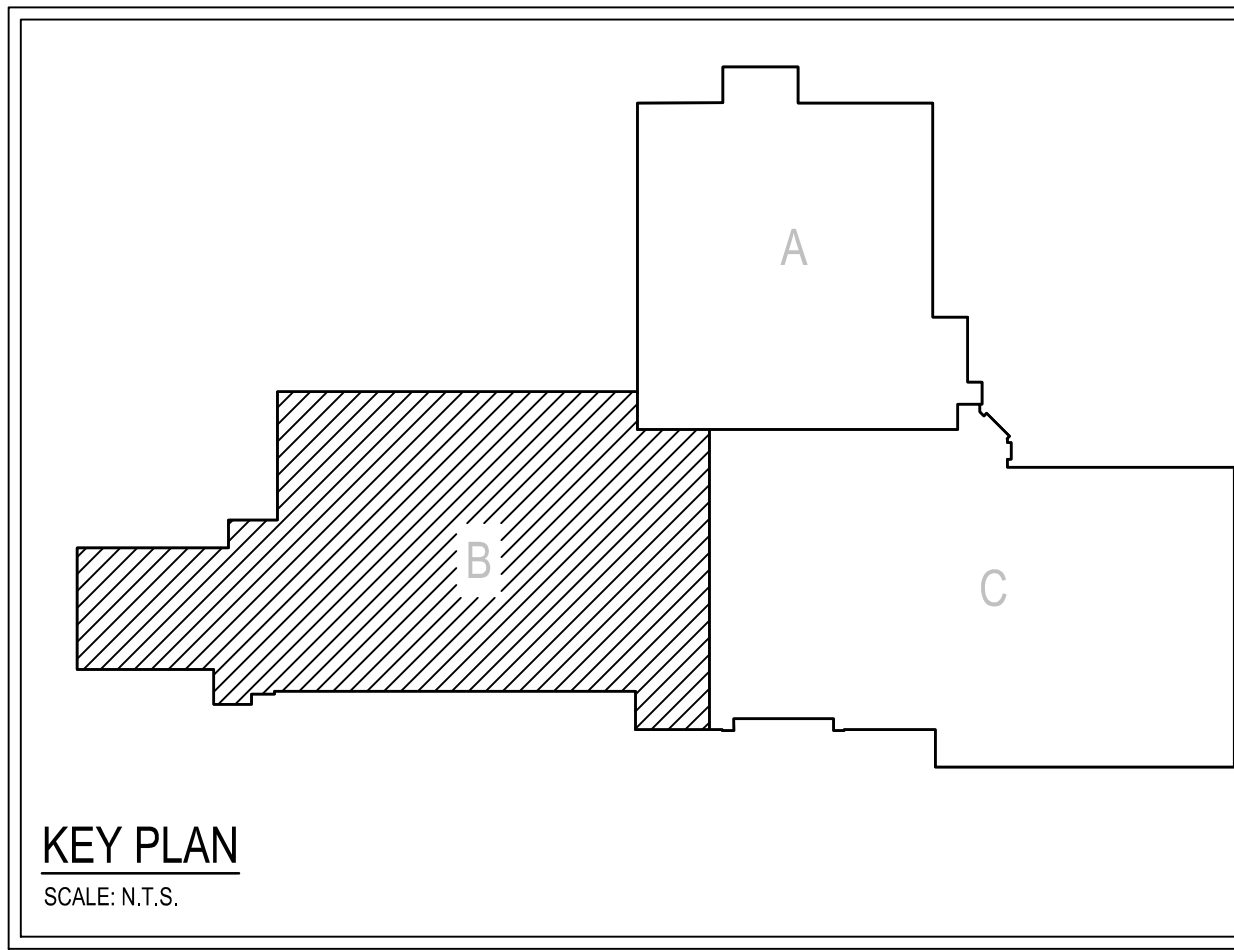
GENERAL DEMOLITION NOTES:

1. THE CONTRACTOR SHALL COORDINATE THE SALVAGE AND DISPOSAL OF ALL EQUIPMENT AND MATERIAL WITH THE OWNER. THE PLUMBING CONTRACTOR SHALL RETURN TO THE OWNER ANY ITEMS NOTED OR NOT NOTED, ON THE DRAWINGS, AT THE OWNERS REQUEST. ALL REMAINING EQUIPMENT AND MATERIAL SHALL BE DISPOSED OF BY THE PLUMBING CONTRACTOR.
2. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS AS REQUIRED TO ACCOMMODATE PROJECT PHASING. REFER TO PROJECT PHASING DRAWING AND SCHEDULE. PROVIDE ALL LABOR AND MATERIAL NECESSARY TO ACCOMMODATE PROJECT PHASING.
3. ALL PATCHING & REPAIRING OF SURFACES AND HOLES LEFT OPEN DUE TO DEMOLITION OR REMOVAL OF EXISTING PIPING & EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR. PATCH EXISTING CONSTRUCTION AS REQUIRED TO MATCH ADJACENT SURFACES OR TO RECEIVE NEW FINISHES AS SCHEDULED.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING, PATCHING AND EXCAVATION AND BACKFILLING WITHIN THE BUILDING REQUIRED TO COMPLETE ALL INDICATED WORK. PC SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING MATERIAL AND EQUIPMENT TO REMAIN.
5. ALL EXISTING PIPING AND EQUIPMENT SHOWN MUST BE VERIFIED IN THE FIELD. ANY PLUMBING EQUIPMENT NOT SHOWN SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION PRIOR TO REMOVAL.
6. WHERE BELOW SLAB SANITARY LATERALS ARE EITHER CALLED FOR TO BE CAPPED OR ABANDONED, ALLOW FOR AMPLE SPACE TO PROPERLY CAP ENDS OF PIPING APPROVED CAPS TO ALLOW FOR FLOOR RESTORATION.
7. PC SHALL USE GROUND PENETRATING RADAR TO LOCATE EXISTING UNDER-SLAB UTILITIES PRIOR TO SAW CUTTING AND EXCAVATION FOR NEW UNDER FLOOR UTILITIES. P.C. SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGED UTILITIES THAT ARE SEVERED DUE TO MISIDENTIFICATION.

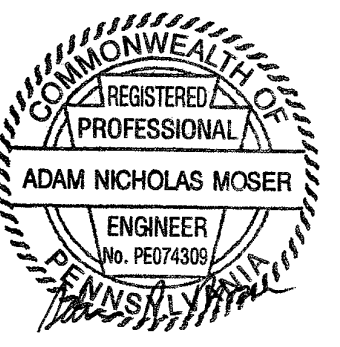
KEYED DEMOLITION NOTES:

- 1 REMOVE EXISTING PLUMBING FIXTURE, SUPPORTS AND ALL ASSOCIATED EXPOSED AND CONCEALED SUPPLY / DWV PIPING IN ITS ENTIRETY BACK TO MAIN, CAP SANITARY LINE CONCEALED AND REMOVE VENT STACK UNLESS NOTED TO BE RE-UTILIZED.
- 2 EXISTING PLUMBING FIXTURE, SUPPORTS AND ALL ASSOCIATED EXPOSED AND CONCEALED SUPPLY / DWV SHALL REMAIN.
- 3 REMOVE EXISTING IN-FLOOR MOUNTED GREASE INTERCEPTOR, AND ALL ASSOCIATED EXPOSED AND CONCEALED SUPPLY / DWV PIPING IN ITS ENTIRETY BACK TO MAIN, CAP SANITARY LINE CONCEALED AND REMOVE VENT STACK.
- 4 REMOVE EXISTING KITCHEN EQUIPMENT PLUMBING FIXTURE AND ALL ASSOCIATED EXPOSED AND CONCEALED SUPPLY / DWV PIPING IN ITS ENTIRETY BACK TO MAIN, CAP SANITARY LINE CONCEALED AND REMOVE VENT STACK.
- 5 REMOVE EXISTING KITCHEN EQUIPMENT NATURAL GAS PIPING IN ITS ENTIRETY BACK TO MAIN, CAP AT MAIN.
- 6 REMOVE EXISTING FLOOR DRAIN AND PIPING IN ITS ENTIRETY BACK TO MAIN, CAP AT MAIN.
- 7 EXISTING ELECTRIC WATER HEATER SHALL REMAIN IN ITS ENTIRETY.
- 8 EXCAVATE AND REMOVE EXISTING SANITARY PIPE SECTION BELOW FLOOR AND REPLACE. BACKFILL AND COMPACT TO CORRECT IMPROPERLY INSTALLED PORTION OF PIPE.
- 9 REMOVE EXISTING ELECTRIC WATER HEATER IN ITS ENTIRETY.
- 10 REMOVE EXISTING SANITARY DRAIN PIPING.
- 11 REMOVE EXISTING INDIRECT WASTE RECEPTOR IN ITS ENTIRETY.
- 12 REMOVE EXISTING DOMESTIC WATER PIPING IN ITS ENTIRETY TO POINTS INDICATED.
- 13 REMOVE EXISTING WASHER CONNECTION, PIPING AND SUMP PUMP IN ITS ENTIRETY.

THE DEMOLITION WORK INDICATED IS INTENDED TO ASSIST THE CONTRACTOR AND GIVE GENERAL INFORMATION. THE CONTRACTOR SHALL BE REQUIRED TO VISIT THE PROJECT SITE PRIOR TO BIDDING TO FULLY ACQUAINT HIMSELF WITH THE EXTENT OF ALL DEMOLITION WORK WHICH IS NECESSARY TO COMPLETE THE ALTERATIONS AND NEW CONSTRUCTION AS DESCRIBED IN THE CONTRACT DOCUMENTS. ALL DEMOLITION WORK REQUIRED SHALL BE INCLUDED IN THE CONTRACT PRICE WHETHER INDICATED ON THE DRAWING OR NOT. THE CONTRACTOR WILL NOT BE ENTITLED TO ANY CLAIMS FOR ADDITIONAL COMPENSATION RELATED TO REQUIRED DEMOLITION.



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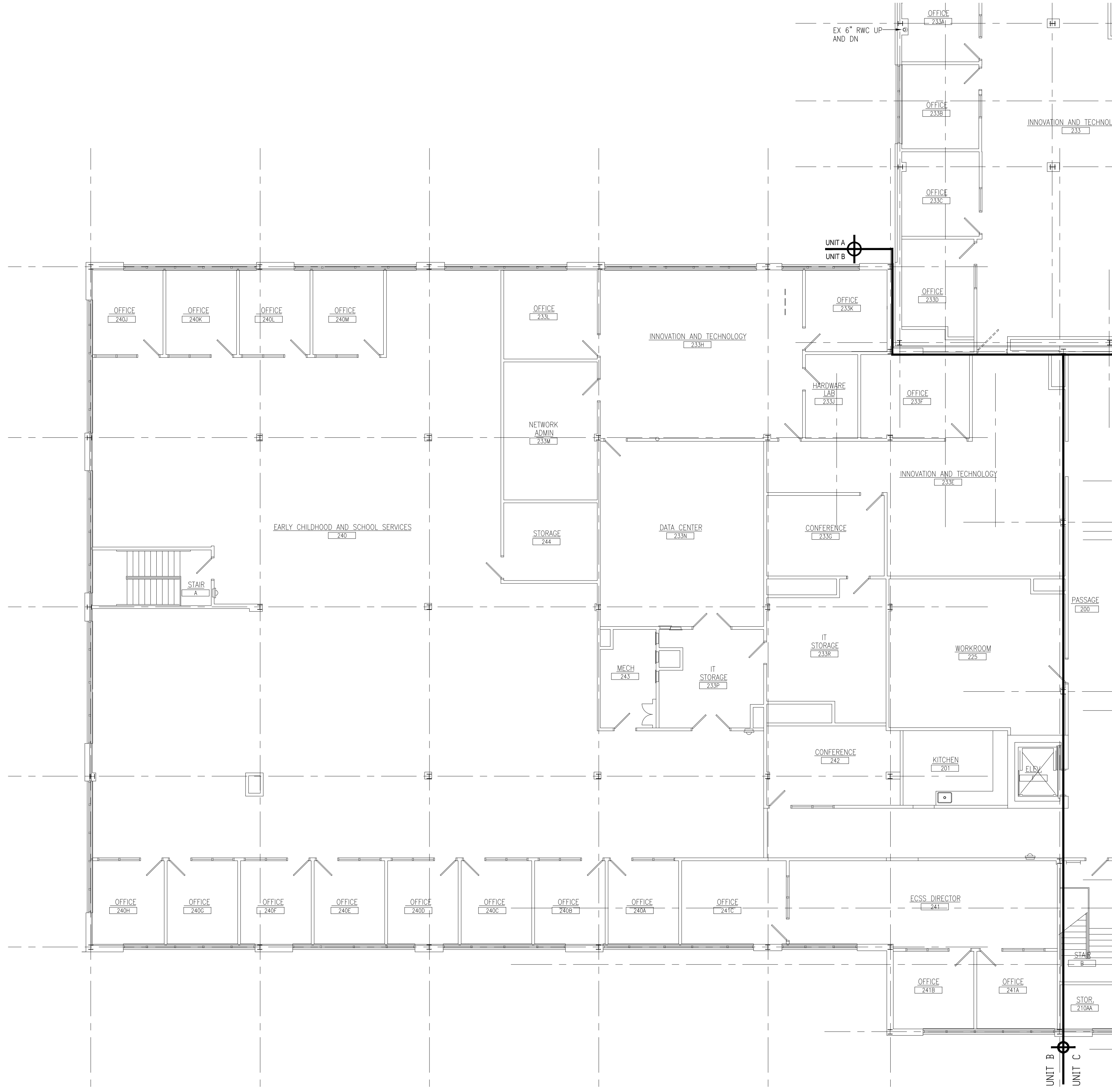


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FIRST FLOOR PLAN - UNIT B - PLUMBING DEMOLITION  
RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14  
BCIU MAIN OFFICE  
1111 COMMONS BLVD, READING, PA 19605

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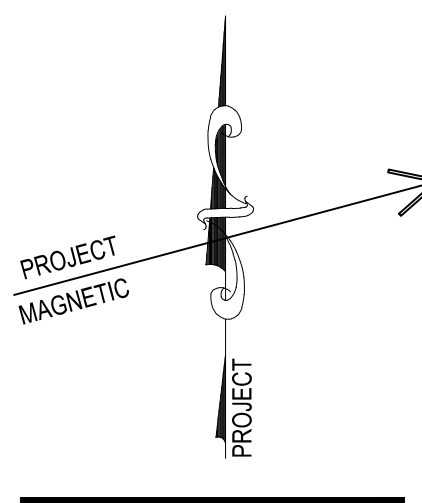
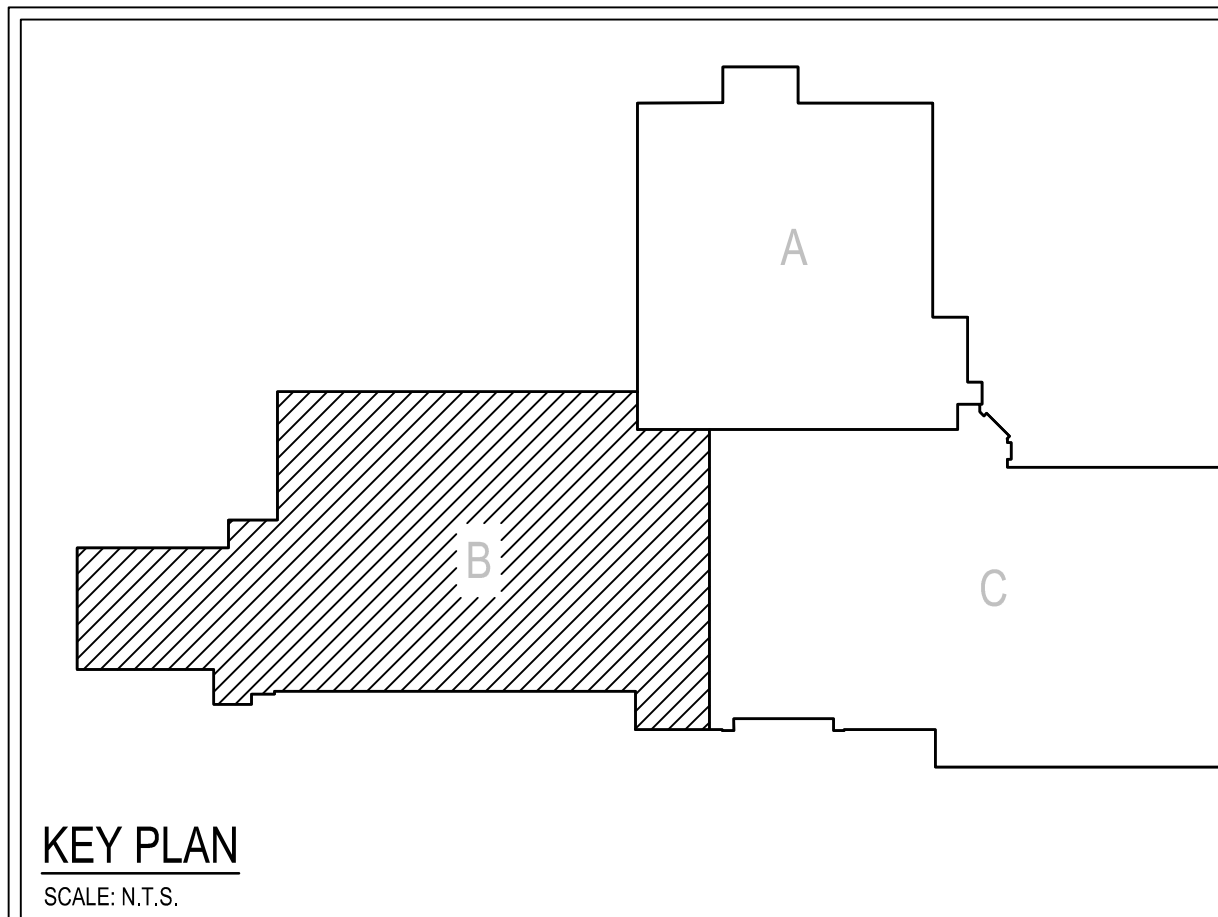


1 SECOND FLOOR PLAN - UNIT B - PLUMBING DEMOLITION  
PD-B2 SCALE: 1/8" = 1'-0"

### GENERAL DEMOLITION NOTES:

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6. WHERE BELOW SLAB SANITARY LATERALS ARE EITHER CALLED FOR TO BE CAPPED OR ABANDONED, ALLOW FOR AMPLE SPACE TO PROPERLY CAP ENDS OF PIPING APPROVED CAPS TO ALLOW FOR FLOOR RESTORATION.
7. PC SHALL USE GROUND PENETRATING RADAR TO LOCATE EXISTING UNDER-SLAB UTILITIES PRIOR TO SAW CUTTING AND EXCAVATION FOR NEW UNDER FLOOR UTILITIES. P.C. SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGED UTILITIES THAT ARE SEVERED DUE TO MISIDENTIFICATION.

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SECOND FLOOR PLAN - UNIT B - PLUMBING  
DEMOLITION  
RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14  
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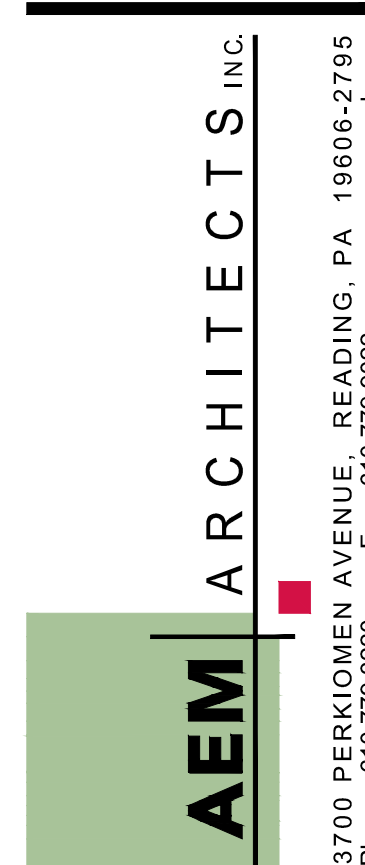
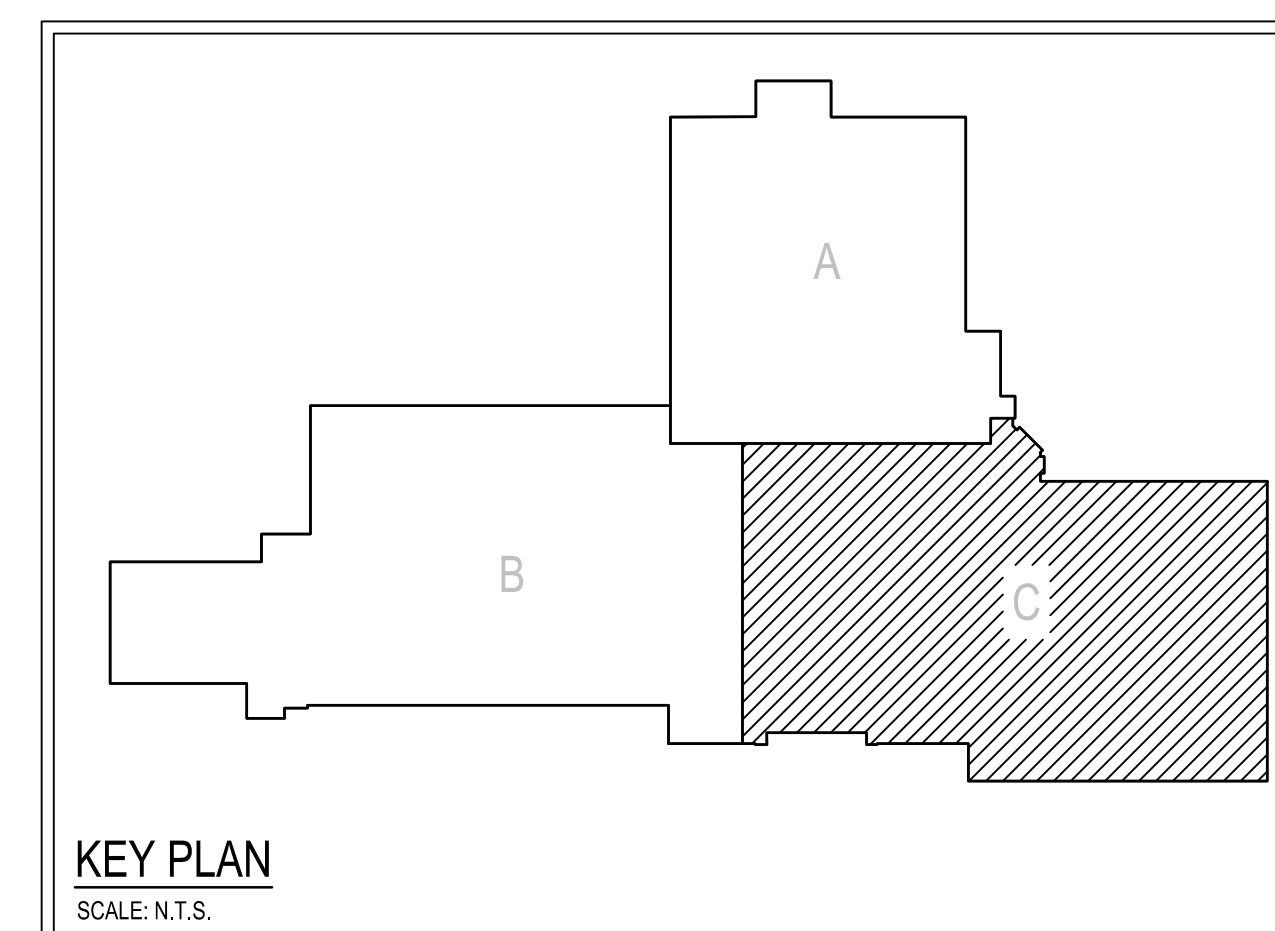
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PD-B2



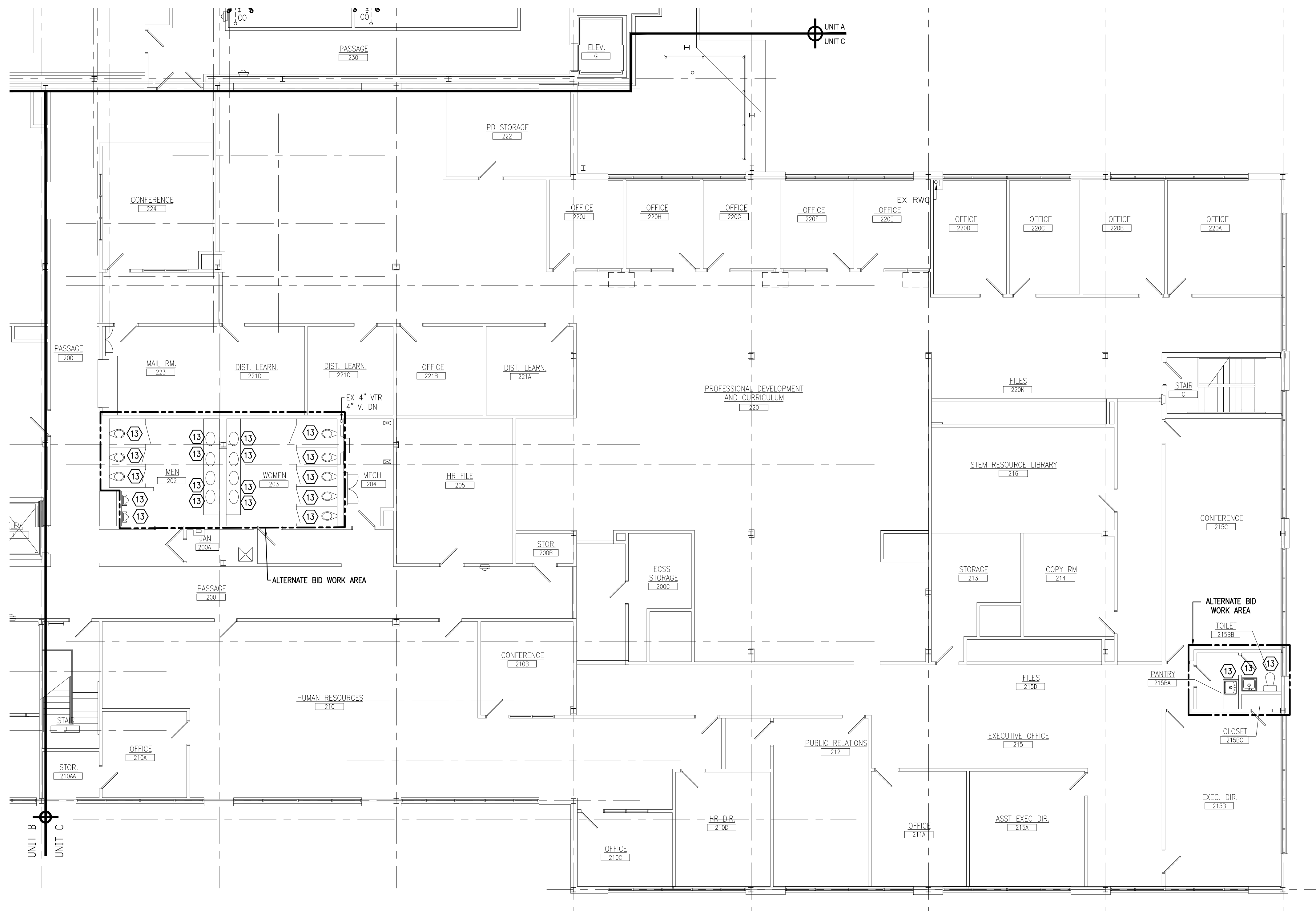


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PD-C1





1 SECOND FLOOR PLAN - UNIT C - PLUMBING DEMOLITION  
PD-C2 SCALE: 1/8" = 1'-0"

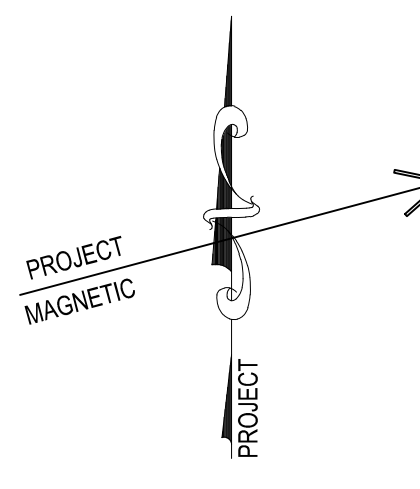
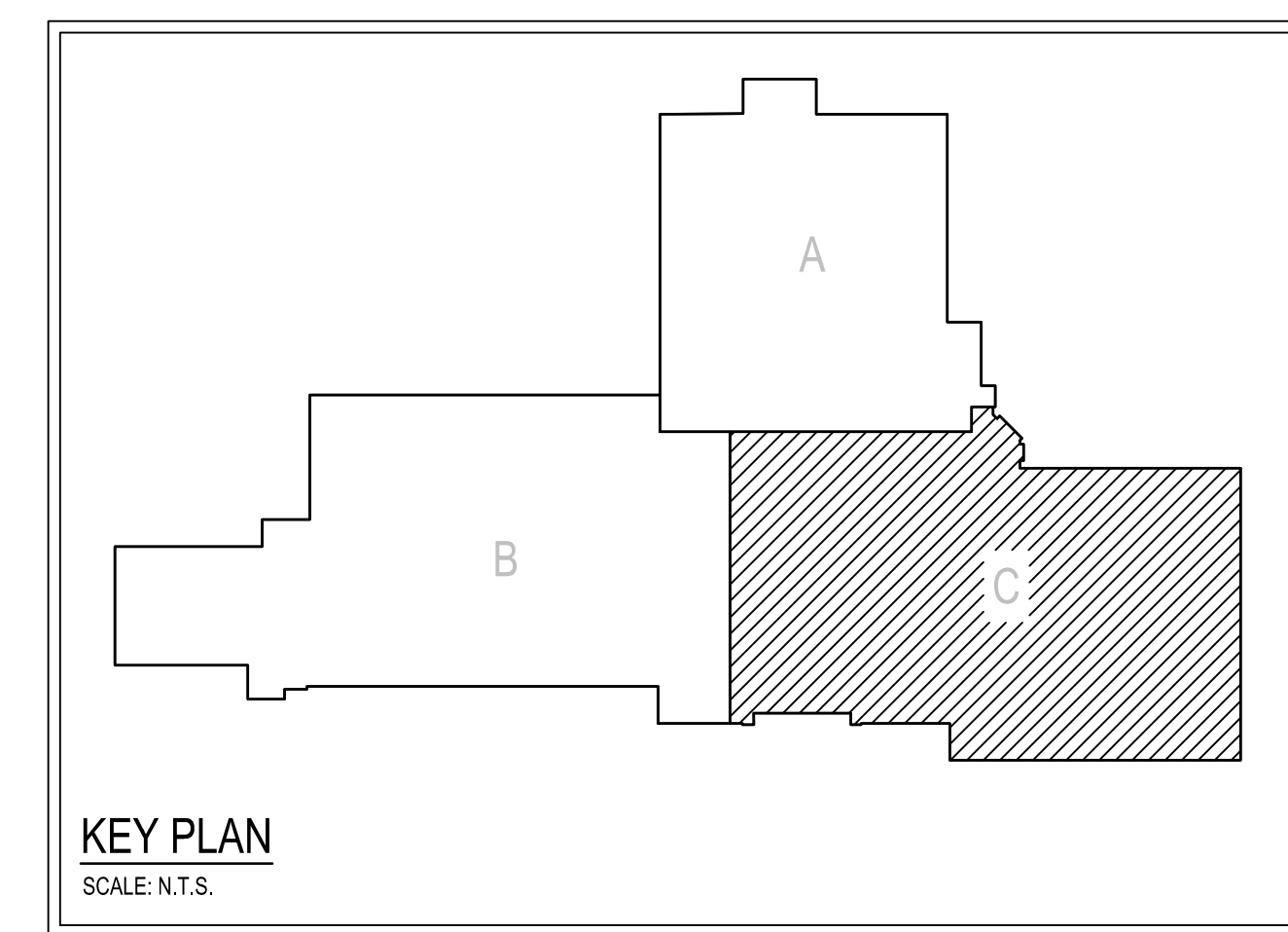
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6. WHERE BELOW SLAB SANITARY LATERALS ARE EITHER CALLED FOR TO BE CAPPED OR ABANDONED, ALLOW FOR AMPLE SPACE TO PROPERLY CAP ENDS OF PIPING APPROVED CAPS TO ALLOW FOR FLOOR RESTORATION.
7. PC SHALL USE GROUND PENETRATING RADAR TO LOCATE EXISTING UNDER-SLAB UTILITIES PRIOR TO SAW CUTTING AND EXCAVATION FOR NEW UNDER FLOOR UTILITIES. P.C. SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGED UTILITIES THAT ARE SEVERED DUE TO MISIDENTIFICATION.

## KEYED DEMOLITION NOTES:

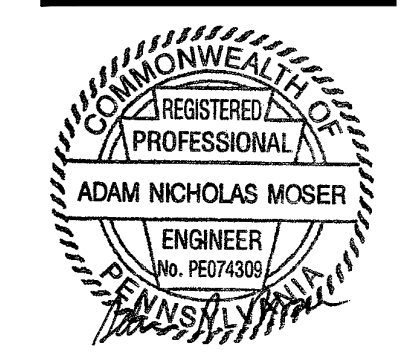
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2. EXISTING PLUMBING FIXTURE, SUPPORTS AND ALL ASSOCIATED EXPOSED AND CONCEALED SUPPLY / DWV SHALL REMAIN.
3. REMOVE EXISTING IN-FLOOR MOUNTED GREASE INTERCEPTOR, AND ALL ASSOCIATED EXPOSED AND CONCEALED SUPPLY / DWV PIPING IN ITS ENTIRETY BACK TO MAIN, CAP SANITARY LINE CONCEALED AND REMOVE VENT STACK.
4. REMOVE EXISTING KITCHEN EQUIPMENT PLUMBING FIXTURE AND ALL ASSOCIATED EXPOSED AND CONCEALED SUPPLY / DWV PIPING IN ITS ENTIRETY BACK TO MAIN, CAP SANITARY LINE CONCEALED AND REMOVE VENT STACK.
5. REMOVE EXISTING KITCHEN EQUIPMENT NATURAL GAS PIPING IN ITS ENTIRETY BACK TO MAIN, CAP AT MAIN.
6. REMOVE EXISTING FLOOR DRAIN AND PIPING IN ITS ENTIRETY BACK TO MAIN, CAP AT MAIN.
7. EXISTING ELECTRIC WATER HEATER SHALL REMAIN IN ITS ENTIRETY.
8. EXCAVATE AND REMOVE EXISTING SANITARY PIPE SECTION BELOW FLOOR AND REPLACE. BACKFILL AND COMPACT TO CORRECT IMPROPERLY INSTALLED PORTION OF PIPE.
9. REMOVE EXISTING ELECTRIC WATER HEATER IN ITS ENTIRETY.
10. REMOVE EXISTING SANITARY DRAIN PIPING.
11. REMOVE EXISTING INDIRECT WASTE RECEPTOR IN ITS ENTIRETY.
12. REMOVE EXISTING DOMESTIC WATER PIPING IN ITS ENTIRETY TO POINTS INDICATED.
13. EXISTING PLUMBING FIXTURE AND TRIM SHALL BE REMOVED AND REPLACED WITH A NEW PLUMBING FIXTURE AND TRIM AS AN ALTERNATE BID. SEE SPECIFICATIONS.

THE DEMOLITION WORK INDICATED IS INTENDED TO ASSIST THE CONTRACTOR AND GIVE GENERAL INFORMATION. THE CONTRACTOR SHALL BE REQUIRED TO VISIT THE PROJECT SITE PRIOR TO BIDDING TO FULLY ACQUAINT HIMSELF WITH THE EXTENT OF ALL DEMOLITION WORK WHICH IS NECESSARY TO COMPLETE THE ALTERATIONS AND NEW CONSTRUCTION AS DESCRIBED IN THE CONTRACT DOCUMENTS. ALL DEMOLITION WORK REQUIRED SHALL BE INCLUDED IN THE CONTRACT PRICE WHETHER INDICATED ON THE DRAWING OR NOT. THE CONTRACTOR WILL NOT BE ENTITLED TO ANY CLAIMS FOR ADDITIONAL COMPENSATION RELATED TO REQUIRED DEMOLITION.



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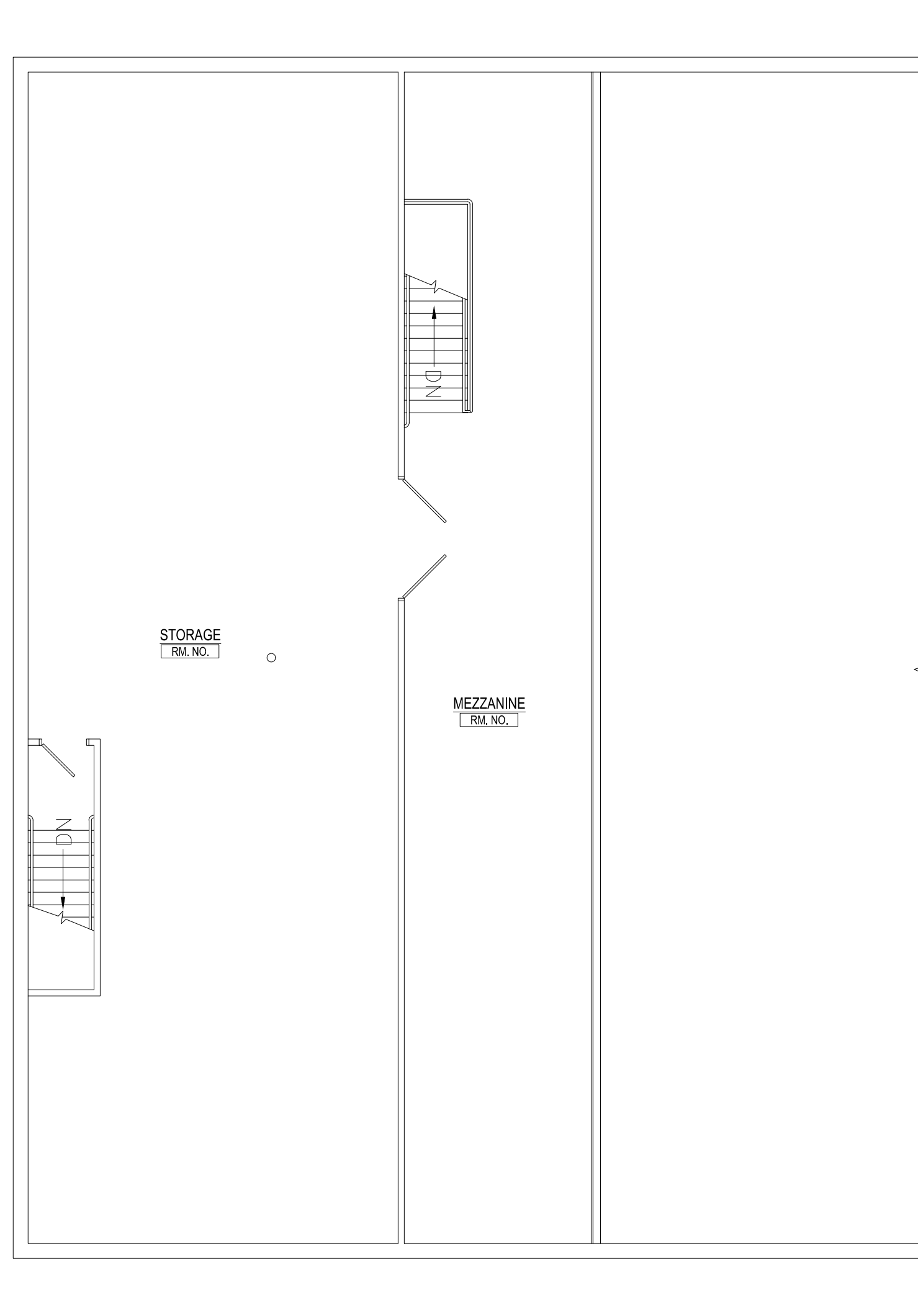
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SECOND FLOOR PLAN - UNIT C - PLUMBING  
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RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14  
BCIU MAIN OFFICE  
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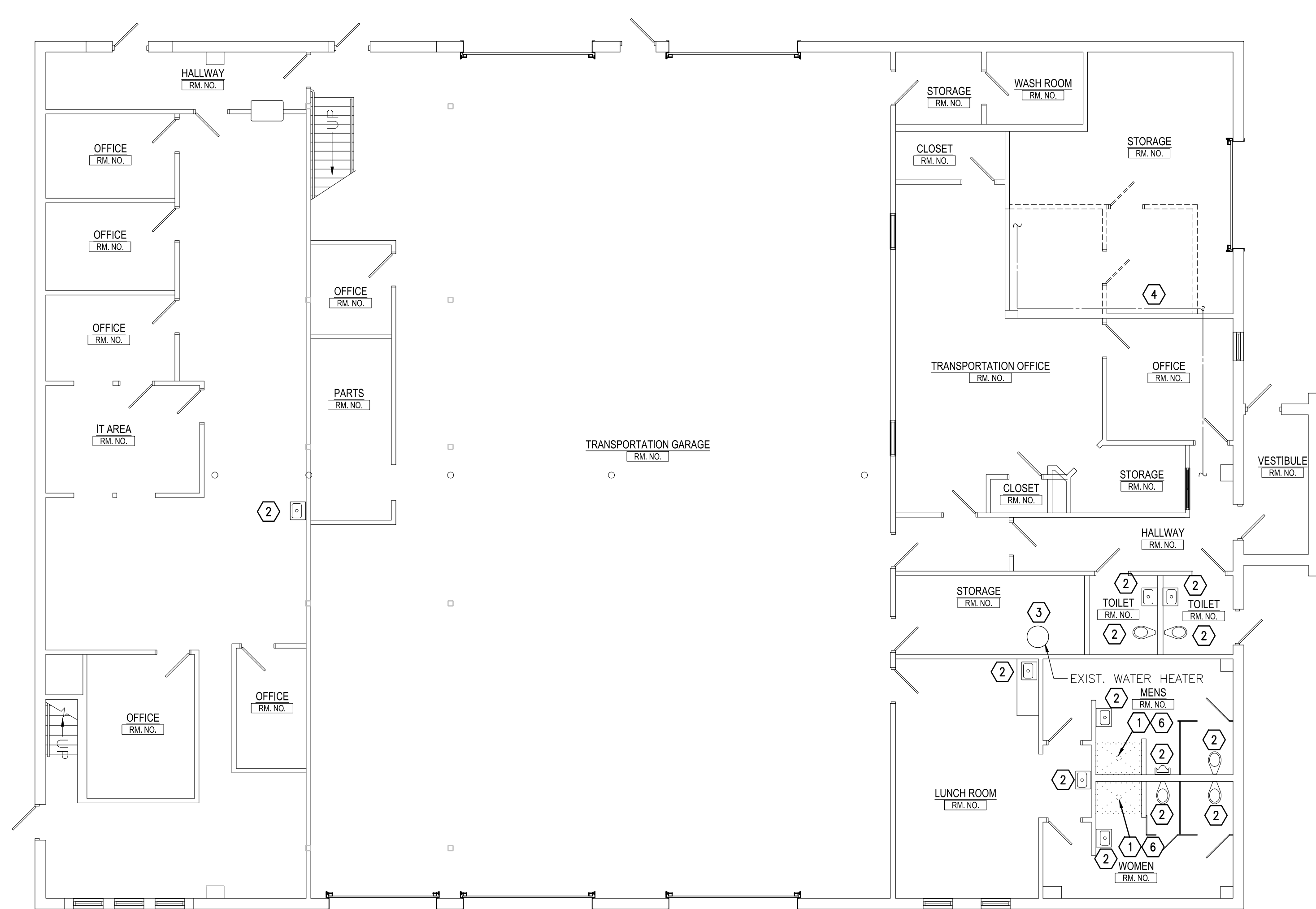
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PD-C2





1 MEZZANINE PLAN - READING CREST - PLUMBING DEMOLITION  
PD-D2 SCALE: 1/8" = 1'-0"



2 FIRST FLOOR PLAN - READING CREST - PLUMBING DEMOLITION  
PD-D2 SCALE: 1/8" = 1'-0"

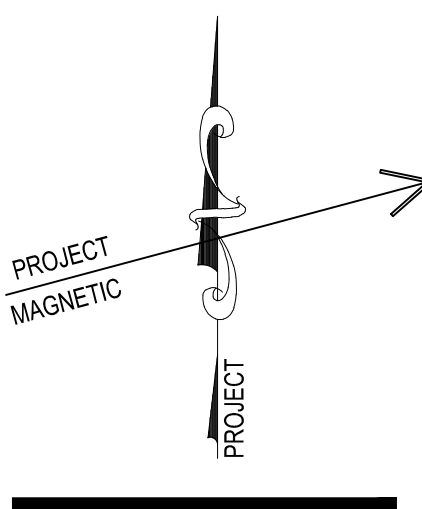
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KEYED DEMOLITION NOTES:

- 1 REMOVE EXISTING PREFAB SHOWER PLUMBING FIXTURE, SUPPORTS AND ALL ASSOCIATED EXPOSED AND CONCEALED SUPPLY / DWV PIPING IN ITS ENTIRETY BACK TO MAIN, CAP SANITARY LINE, CONCEALED BELOW FLOOR, CAP DOMESTIC PIPE SUPPLIES ABOVE CEILING.
- 2 EXISTING PLUMBING FIXTURE, SUPPORTS AND ALL ASSOCIATED EXPOSED AND CONCEALED SUPPLY / DWV SHALL REMAIN.
- 3 EXISTING ELECTRIC WATER HEATER SHALL REMAIN IN ITS ENTIRETY.
- 4 EXISTING DOMESTIC WATER SERVICE AND METER SHALL REMAIN.

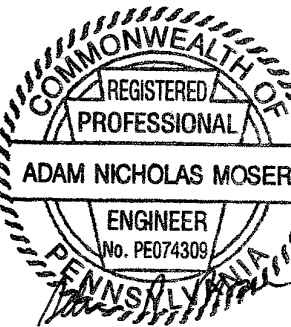
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FIRST FLOOR PLAN - READING CREST - PLUMBING  
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PD-D1



PLUMBING LEGEND

	2-WAY CONTROL VALVE		(DCW) DOMESTIC COLD WATER
	MIXING VALVE		(DHW) DOMESTIC HOT WATER
	BACKFLOW PREVENTER		(DHWRC) DOMESTIC HOT WATER RECIRC.
	SAFETY RELIEF VALVE		140°F DOMESTIC HOT WATER
	WATER PRESSURE REDUCING VALVE		140°F DOMESTIC HOT WATER RECIRC.
	BALL OR BUTTERFLY VALVE		(SAN) SANITARY WASTE
	CALIBRATED BALANCING VALVE		(SAN) SANITARY WASTE --CIP-- SANITARY WASTE - UNDERGROUND - CAST IRON
	CHECK VALVE		--V-- SANITARY VENT
	STRAINER		--AW-- ACID WASTE
	GAS COCK		--AV-- ACID WASTE VENT
	GAS REGULATOR - NGR		--G-- NATURAL GAS PIPING
	WATER HAMMER ARRESTOR - SIZE PER PDI STANDARD		=== G === DOUBLE WALL CONTAINMENT GAS PIPING
	UNION OR FLANGED CONNECTION		--GV-- GAS VENT PIPING === G === GAS VENT PIPING - UNDERGROUND
	FLEXIBLE PIPE CONNECTION		--LP-- LIQUIFIED PETROLEUM GAS PIPING
	FLOW METER		--RWC-- RAINWATER CONDUCTOR
	SOLENOID VALVE		--RWC-- RAINWATER CONDUCTOR - BELOW
	PRESSURE GAUGE		--CD-- CONDENSATE DRAIN PIPING
	THERMOMETER		--PC-- PUMPED CONDENSATE PIPING
	WATER METER		--T-- TEMPERED WATER
	AQUASTAT		--S-- SOFTENED WATER
	NEEDLE VALVE		--RV-- RADON VENT
	TRAP PRIMER		--CA-- COMPRESSED AIR
	WATER HEATER - EMERGENCY SHUT DOWN SWITCH		--RADON-- RADON MITIGATION PIPING
			KEYED DRAWING NOTE
			KEYED DEMOLITION NOTE
			CONNECT TO EXISTING
			EXTENT OF DEMOLITION

ABBREVIATIONS

ABV	ABOVE	FCO	FLOOR CLEAN OUT
APPROX	APPROXIMATELY	FD	FLOOR DRAIN
ARCH	ARCHITECTURAL	FLR	FLOOR
AVTR	ACID VENT THRU ROOF	GC	GENERAL CONTRACTOR
BUM	BELOW	HW	HOT WATER
BLDG	BUILDING	HC	HEATING CONTRACTOR
CD	CONDENSATE DRAIN	INV	INVERT
CLG	CEILING	LAV	LAVATORY
CIP	CAST IRON PIPE	MAN	MAN HOLE
CO	CLEAN OUT	OVERFLOW	OVERFLOW ROOF DRAIN
COND	CONDENSATE	PLUMBING	PLUMBING CONTRACTOR
CONN	CONNECT	REQ'D	REQUIRED
CW	COLD WATER	RD	ROOF DRAIN
DN	DOWN	RWC	RAIN WATER CONDUCTOR
DWG	DRAWING	SAN	SANITARY
EC	ELECTRICAL CONTRACTOR	SIM.	SIMILAR
EL	ELEVATION	SH	SHOWER
EQUIP	EQUIPMENT	TYP	TYPICAL
EXIST	EXISTING	UR	URINAL
EXP	EXPANSION	V	VENT
		VIF	VERIFY IN FIELD
		VTR	VENT THRU ROOF
		WC	WATER CLOSET
		WCO	WALL CLEAN OUT
		WH	WALL HYDRANT

FLOOR DRAINS

FLOOR DRAIN TYPE DESIGNATIONS AND SIZES ARE INDICATED ON DRAWINGS.

FD1: CAST-IRON BODY, FLASHING COLLAR, NICKEL BRONZE ADJUSTABLE STRAINER WITH SECURED GRATE AND BOTTOM OUTLET. J.R. SMITH MODEL 2005-A OR 2005-B. VERIFY GRATE TYPE WITH FLOOR TYPES FOR EACH LOCATION. USE TYPE A FOR SEAMLESS AREAS AND TYPE B FOR TILED AREAS. PROVIDE TRAP PRIMER FITTING. PC SHALL ROUTE 1/2" CW FROM PPP. PR-500 TRAP PRIMER VALVE FROM NEAREST CW SUPPLY TO EACH FLOOR DRAIN OR PROVIDE HDPE / SILICONE DIAPHRAGM EPDM RUBBER SEALING TRAP INSERT GASKET.

FD2: CAST-IRON BODY AND FLASHING COLLAR WITH ADJUSTABLE TOP AND TRACTOR GRATE, SEDIMENT BUCKET AND BOTTOM OUTLET. J.R. SMITH MODEL 2230. PROVIDE TRAP PRIMER FITTING. UNLESS NOTED OTHERWISE, PC SHALL ROUTE 1/2" CW PPP, PR-500 TRAP PRIMER FROM NEAREST CW SUPPLY TO EACH FLOOR DRAIN OR PROVIDE HDPE / SILICONE DIAPHRAGM EPDM RUBBER SEALING TRAP INSERT GASKET.

FD3: TYPE 304 STAINLESS STEEL FLANGED RECEPTOR WITH ACID-RESISTANT INTERIOR, FLASHING CLAMP, STAINLESS STEEL GRATE, SS DOME BOTTOM STRAINER AND BOTTOM OUTLET. J.R. SMITH MODEL 3001. PROVIDE TRAP PRIMER CONNECTION FITTING. UNLESS NOTED OTHERWISE, PC SHALL ROUTE 1/2" CW PPP, PR-500 TRAP PRIMER FROM NEAREST CW SUPPLY TO EACH FLOOR DRAIN. OR PROVIDE HDPE / SILICONE DIAPHRAGM EPDM RUBBER SEALING TRAP INSERT GASKET.

FD4: TYPE 304 STAINLESS STEEL FLANGED BODY AND SS SEDIMENT BUCKET, BOTTOM OUTLET, PROVIDE FLASHING CLAMP, 1/2" STAINLESS STEEL GRATE. J.R. SMITH MODEL 3009. PROVIDE TRAP PRIMER CONNECTION FITTING. UNLESS NOTED OTHERWISE, PC SHALL ROUTE 1/2" CW PPP, PR-500 TRAP PRIMER FROM NEAREST CW SUPPLY TO EACH FLOOR DRAIN. OR PROVIDE HDPE / SILICONE DIAPHRAGM EPDM RUBBER SEALING TRAP INSERT GASKET.

ROOF DRAINS

ROOF DRAIN TYPE DESIGNATIONS AND SIZES ARE INDICATED ON DRAWINGS.

RD: LOW PROFILE DOME, ABS BODY WITH SUMP RECEIVER, FLASHING CLAMP AND UNDERDECK CLAMP, CAST IRON VANDAL PROOF DOME AND BOTTOM OUTLET. ZURN MODEL RD2120-PV2.

ELECTRIC DOMESTIC WATER HEATER SCHEDULE

SYMBOL	TANK VOLUME GALLONS	RECOVERY CAPACITY					MODEL NO.	DIMENSIONS			CONN.	REMARKS
		REC(GPH)	TEMP. RISE	KW	AMPS	ELEC.		HGT (IN)	L (IN)	W (IN)		
DWH-1	-	0.5	68	3.6	17	208-1-60	AM005240T	13.77	5.2	3.9	1/2"	EEMAX. MOUNT UNDER LAVATORY WITH EX68031-15 DISCONNECT SWITCH

KITCHEN EQUIPMENT PLUMBING SCHEDULE

ITEM NO.	DESCRIPTION	COLD WATER SIZE (IN.)	HOT WATER SIZE (IN.)	WATER CONN. HT. AFT. (IN.)	INDIR. DRAIN SIZE (IN.) [B]	DIRECT DRAIN SIZE (IN.) [B]	DRAIN CONN. HT. AFT. (IN.)	GAS SIZE (IN.)	METH. (IN.)	GAS AFT. (IN.)	PLUMBING REMARKS
01	SINK, HAND, WALL MOUNT	1/2	1/2	18		1 1/2	24				PROVIDE ASSE 1070 MIXING VALVE
03	DISPOSER, GARBAGE	1/2		18		2	16				
05	DISHTABLE, L-SHAPED, SOILED	1/2	1/2	18	1 1/2						
07	WAREWASHER, DOOR TYPE, HIGH TEMP		1/2	24	1 1/2						140 MINIMUM HOT WATER TEMP REQUIRED
07.1	CONDENSATE HOOD				3/4						
12	TABLE, WORK W/ DBL PREP SINK	1/2	1/2	18	1 1/2						
13	RANGE, RESTAURANT, GAS							3/4	232	30	PROVIDE ASSE 1070 MIXING VALVE
16	HAND SINK, DROP-IN	1/2	1/2	18		1 1/2	24				
23	DROP-IN, HOT WELLS				1/2						
X-09	EXISTING HAND SINK	1/2	1/2	18		1 1/2	24				PROVIDE ASSE 1070 MIXING VALVE
X-18	EXISTING ICE MAKER W/ BIN	3/8		18	3/4						KEC TO VERIFY UTILITIES INFORMATION
AD	AREA DRAIN - FD3					3					*DRAIN TO FLOOR
FS	FLOOR SINK - FD4					4					*DRAIN TO FLOOR

NOTES:

- ONLY EQUIPMENT REQUIRING PLUMBING CONNECTIONS IS SHOWN ON SCHEDULE. REFER TO KITCHEN EQUIPMENT DRAWINGS FOR COMPLETE LIST OF EQUIPMENT AND NOTES.
- PC SHALL SUPPLY ALL NECESSARY VALVES, PRESSURE REGULATING VALVES, STOPS, TRAPS, TAILPIECES, CHROME WASTE ARMS, SUPPLIES AND ALL OTHER FITTINGS REQUIRED TO MAKE FINAL CONNECTIONS TO THE LISTED EQUIPMENT. PC SHALL EXTEND BRANCH DWV AND SUPPLY PIPING FROM MANIFOLDS OR TO FLOOR DRAINS AS REQUIRED. SEE SPECIFICATION SECTION 114000 FOR ADDITIONAL INFORMATION.
- ALL PIPING AND FITTINGS LOCATED IN THE KITCHEN SHALL BE CHROME PLATED BRASS OR STAINLESS STEEL.

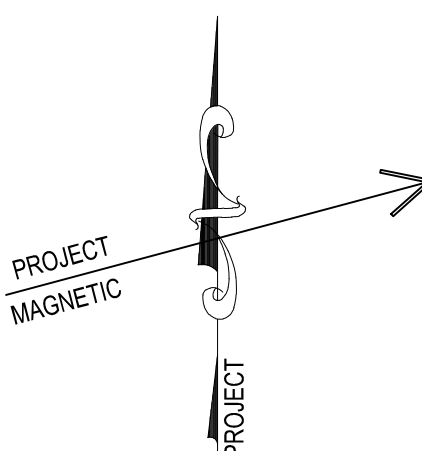
PLUMBING FIXTURE SCHEDULE

SYMBOL	FIXTURE	C.W.	H.W.	SAN.	VENT	TRAP	MOUNTING	RIM HEIGHT	REMARKS
F1	WATER CLOSET - TANK TYPE	1/2"	-	4"	2"	-	FLOOR	REFER TO ARCH. DWGS.	MANUAL
F2	WATER CLOSET - (ADA)	1"	-	4"	2"	-	WALL	REFER TO ARCH. DWGS.	MANUAL 1.6 FLUSH VALVE
F3	LAVATORY - (ADA)	1/2"	1/2"	1-1/2"	1-1/4"	1-1/4" X 1-1/2"	WALL	REFER TO ARCH. DWGS.	MANUAL METERING FAUCET
F4	LAVATORY - (ADA)	1/2"	1/2"	1-1/2"	1-1/4"	1-1/4" X 1-1/2"	COUNTER	REFER TO ARCH. DWGS.	MANUAL MIXING FAUCET
F5	TUB / SHOWER	1/2"	1/2"	2"	1-1/2"	2"	FLOOR	REFER TO ARCH. DWGS.	-
F6	SINK	1/2"	1/2"	1-1/2"	1-1/4"	1-1/2" X 1-1/2"	COUNTER	REFER TO ARCH. DWGS.	MANUAL FAUCET
F7	SINK	1/2"	1/2"	1-1/2"	1-1/4"	1-1/2" X 1-1/2"	COUNTER	REFER TO ARCH. DWGS.	MANUAL FAUCET
F8	SINK	1/2"	1/2"	1-1/2"	1-1/4"	1-1/2" X 1-1/2"	COUNTER	REFER TO ARCH. DWGS.	MANUAL FAUCET
F10	ADA SHOWER	1/2"	1/2"	2"	1-1/2"	2"	FLOOR	37" TO CONTROL	-
F11	EWV W/ BOTTLE FILLER	1/2"	-	2"	1-1/2"	1-1/2" X 1-1/2"	WALL	34"	-
F12	ALT BID WATER CLOSET - (ADA)	1"	-	4"	2"	-	FLOOR	REFER TO ARCH. DWGS.	MANUAL 1.6 FLUSH VALVE
F13	ALT BID WATER CLOSET	1"	-	4"	2"	-	FLOOR	REFER TO ARCH. DWGS.	MANUAL 1.6 FLUSH VALVE
F14	ALT BID WATER CLOSET - (ADA)	1"	-	4"	2"	-	WALL	REFER TO ARCH. DWGS.	MANUAL 1.6 FLUSH VALVE
F15	ALT BID WATER CLOSET	1"	-	4"	2"	-	WALL	REFER TO ARCH. DWGS.	MANUAL 1.6 FLUSH VALVE
F16	ALT BID LAVATORY - (ADA)	1/2"	1/2"	1-1/2"	1-1/4"	1-1/4" X 1-1/2"	WALL	REFER TO ARCH. DWGS.	MANUAL MIXING FAUCET
F17	ALT BID WHEEL CHAIR LAVATORY - (ADA)	1/2"	1/2"	1-1/2"	1-1/4"	1-1/4" X 1-1/2"	WALL	REFER TO ARCH. DWGS.	MANUAL MIXING FAUCET
F18	ALT BID LAVATORY - (ADA)	1/2"	1/2"	1-1/2"	1-1/4"	1-1/4" X 1-1/2"	COUNTER	REFER TO ARCH. DWGS.	MANUAL MIXING FAUCET
F19	ALT BID URINAL	3/4"	-	2"	1 1/2"	-	WALL	REFER TO ARCH. DWGS.	BATTERY SENSOR 0.125 FLUSH VALVE
F20	ALT BID WATER CLOSET - TANK TYPE	1/2"	-	4"	2"	-	FLOOR	REFER TO ARCH. DWGS.	MANUAL
F21	ALT BID SINK	1/2"	1/2"	1-1/2"	1-1/4"	1-1/2" X 1-1/2"	COUNTER	REFER TO ARCH. DWGS.	MANUAL FAUCET

NOTE: ALL SANITARY PIPING LOCATED BELOW GRADE SHALL BE MINIMUM 2" DIAMETER

PUMP SCHEDULE

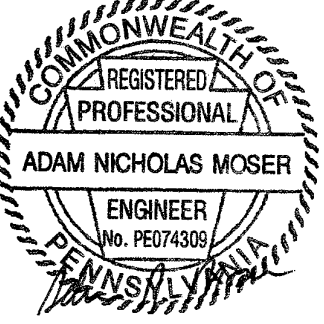
SYMBOL	G.P.M.	HEAD	PUMP MOTOR			EFFICIENCY	MODEL	MANUF	REMARKS
			H.P.	R.P.M.	ELECTRIC				
CP-1	3.0	22'	1/6	3300	120-1-60	-	PL-38B	BELL & GOSSETT	BRONZE BODY - BUILDING DOMESTIC RECIRCULATION - AREA A 120 RECIRCULATION
CP-2	3.0	15'	1/12	2650	120-1-60	-	PL-30B	BELL & GOSSETT	BRONZE BODY - KITCHEN 140 DEG RECIRCULATION



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PLUMBING SCHEDULES

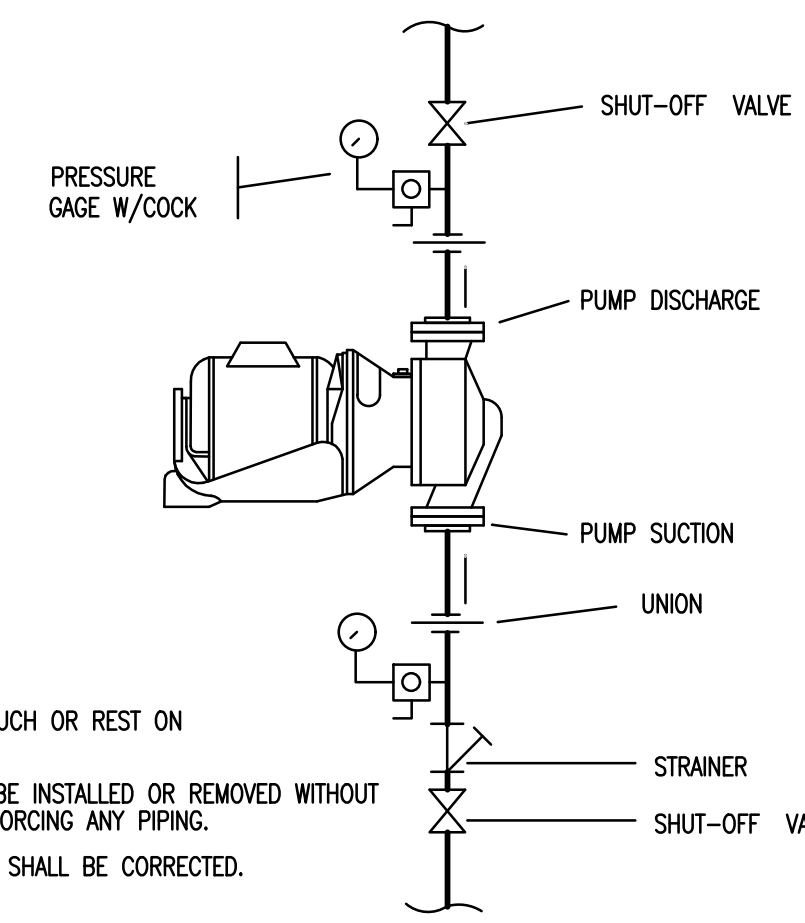
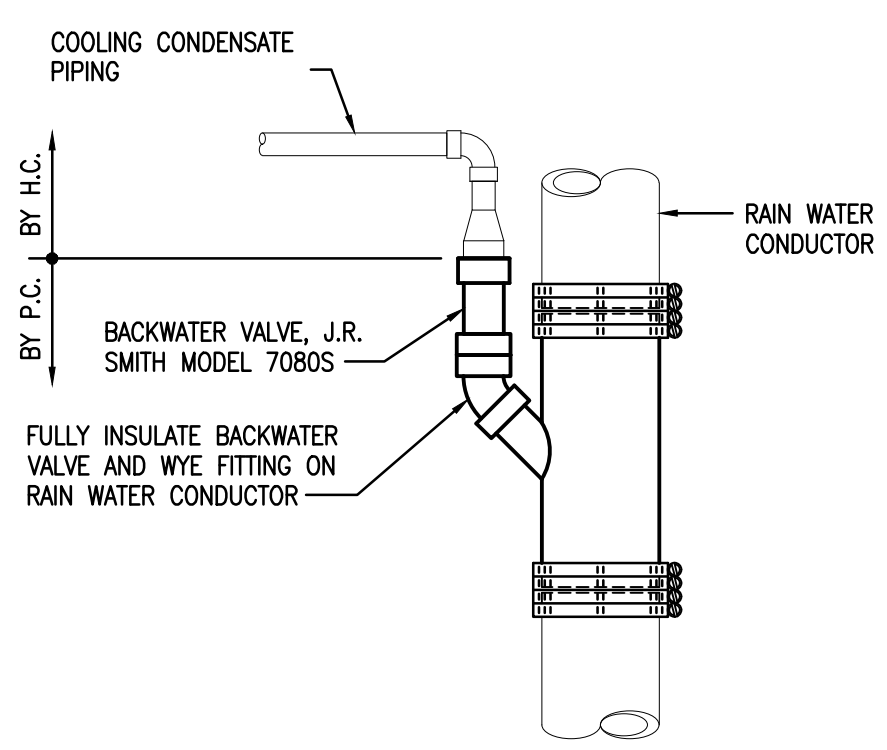
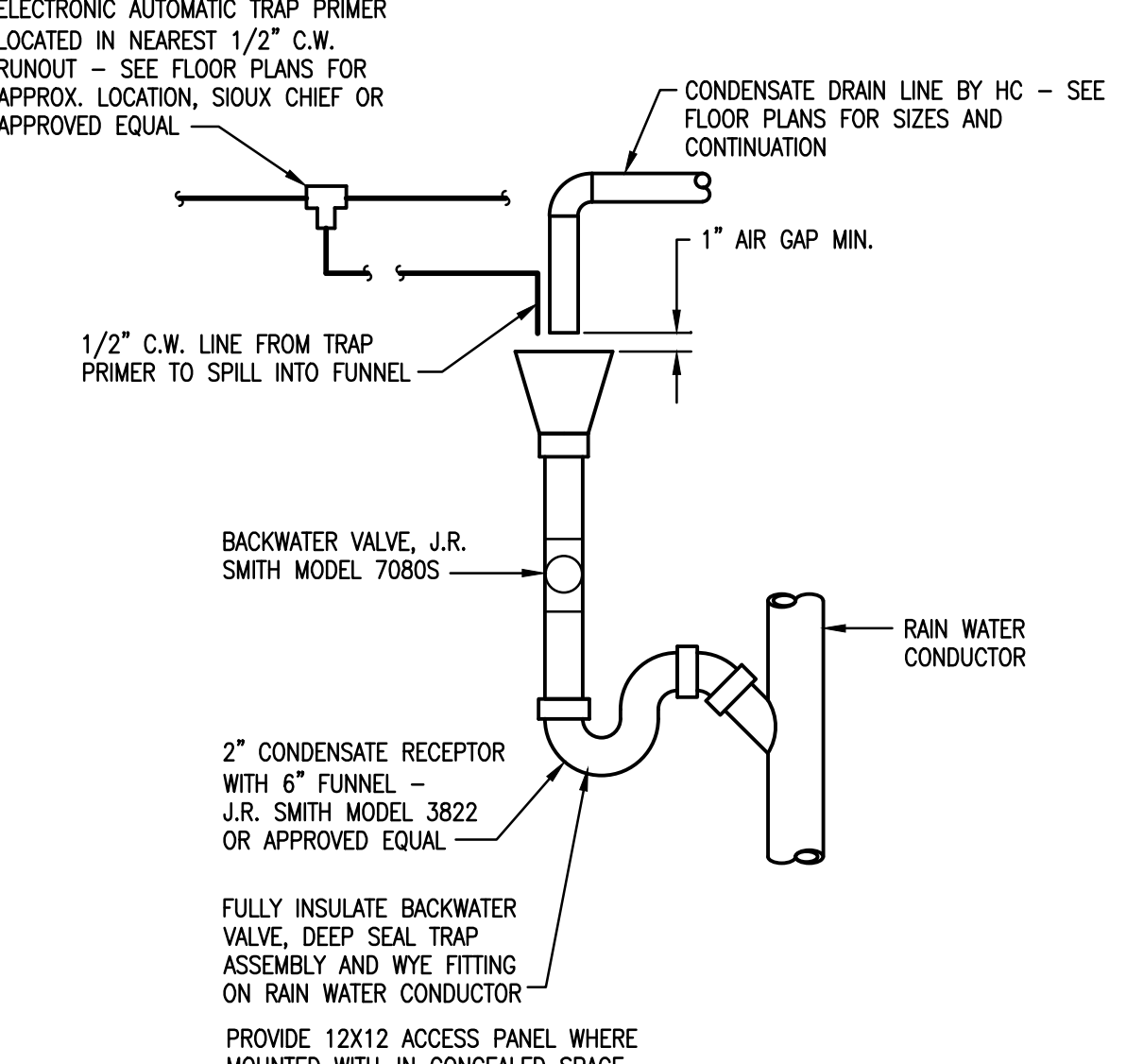
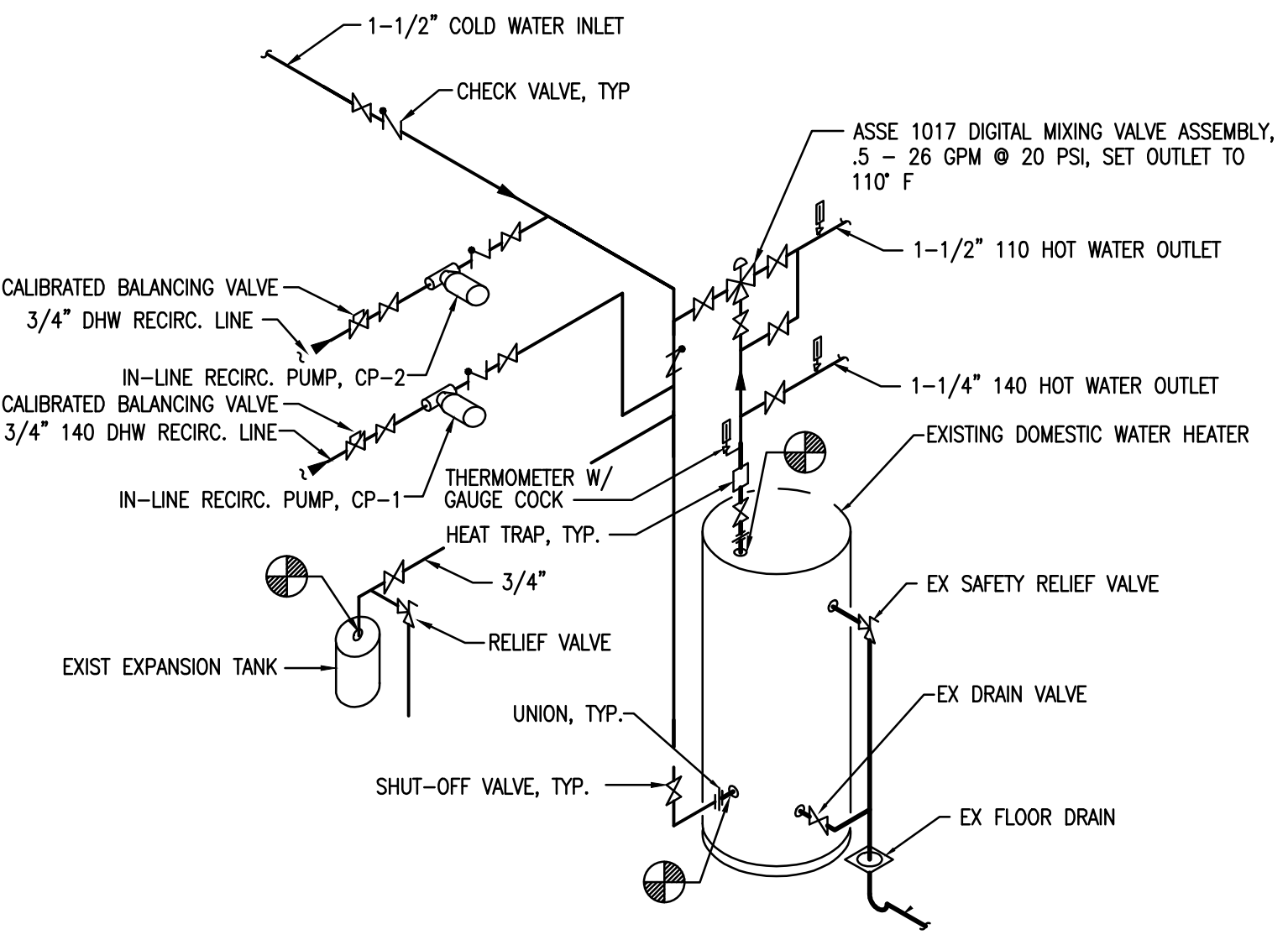
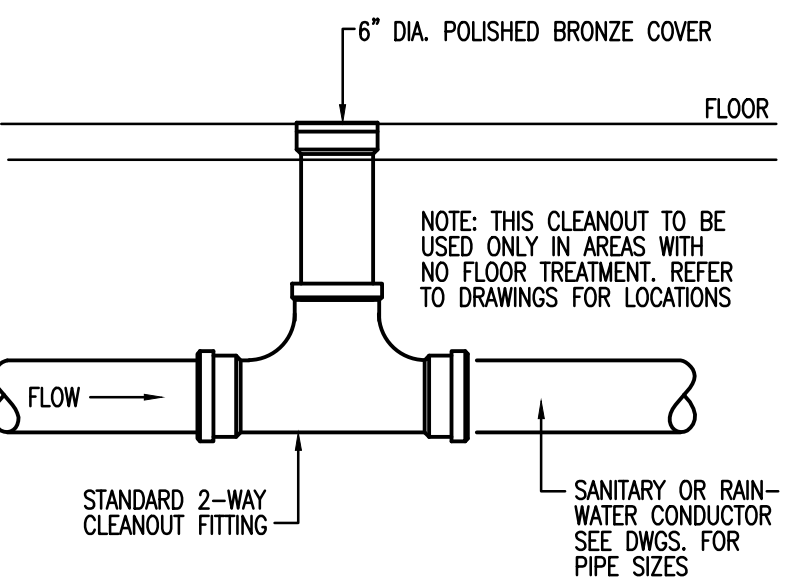
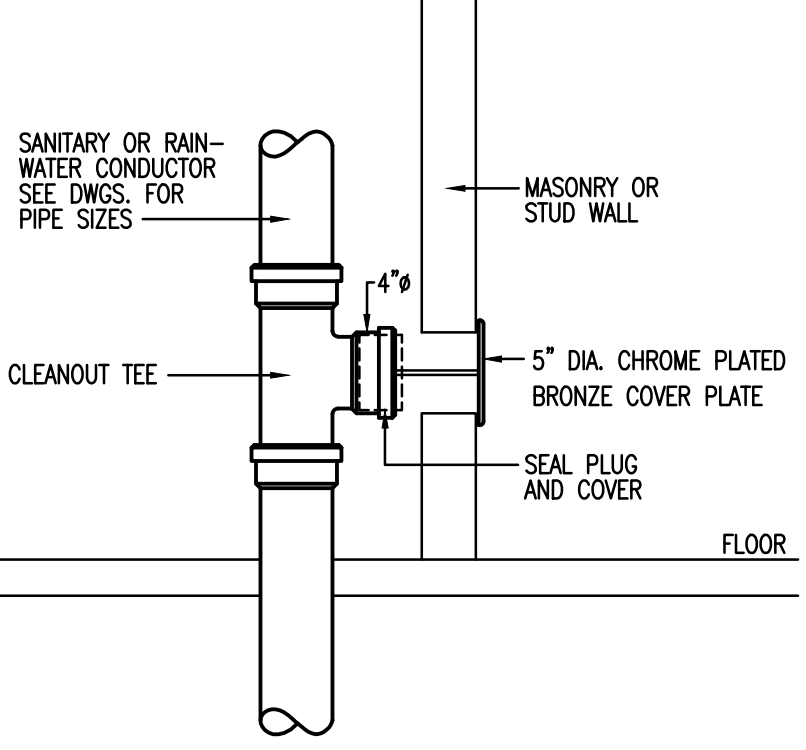
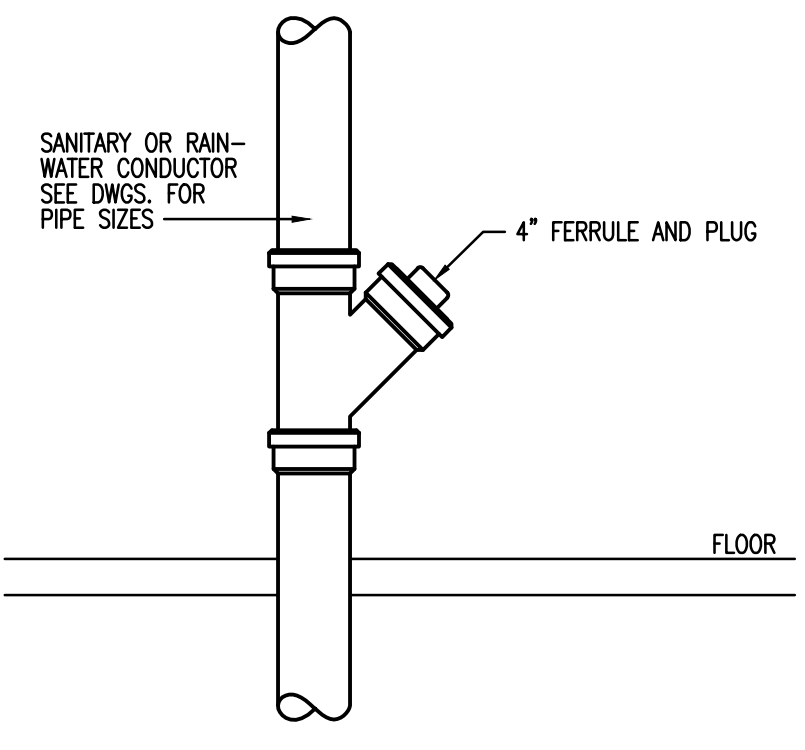
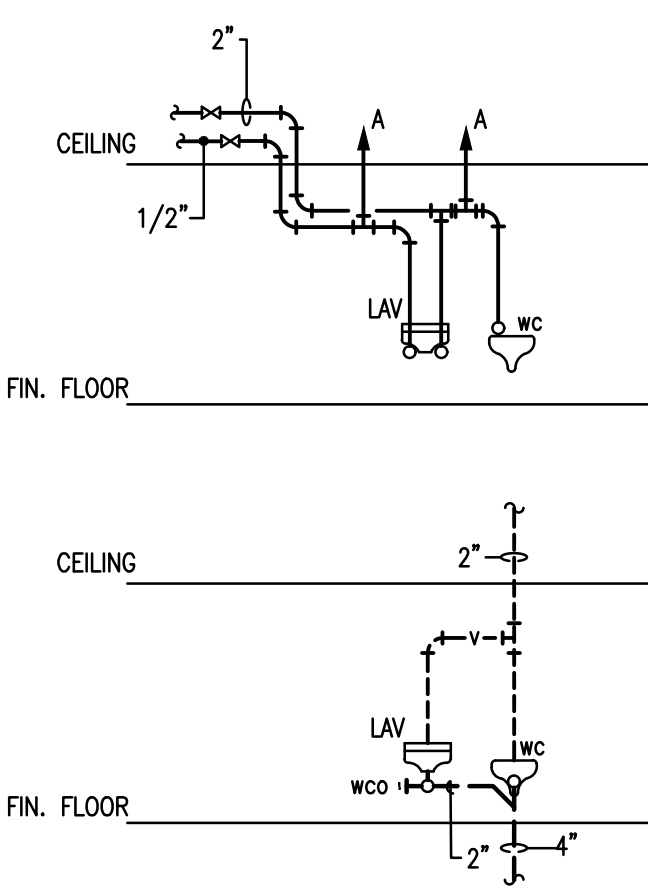
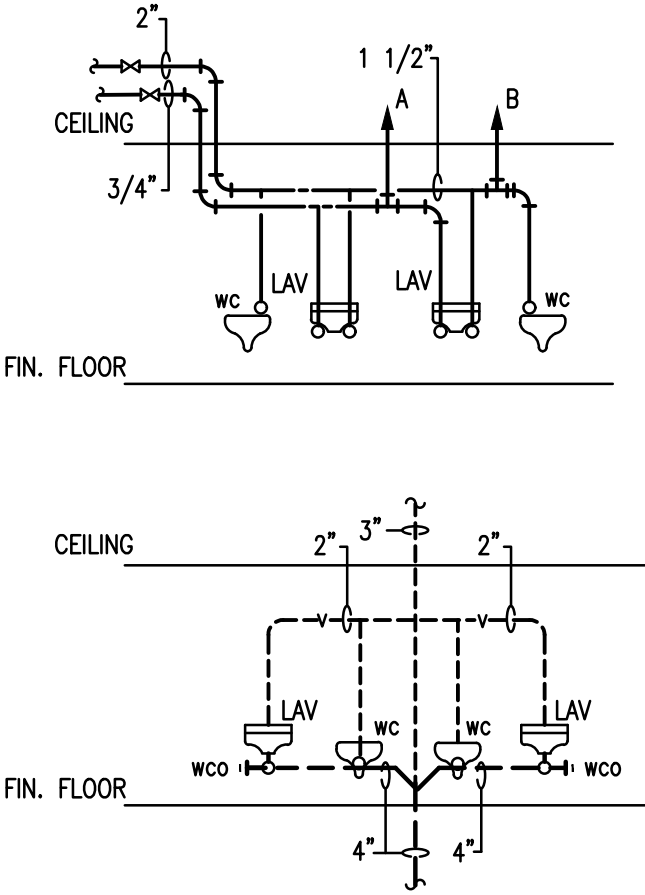
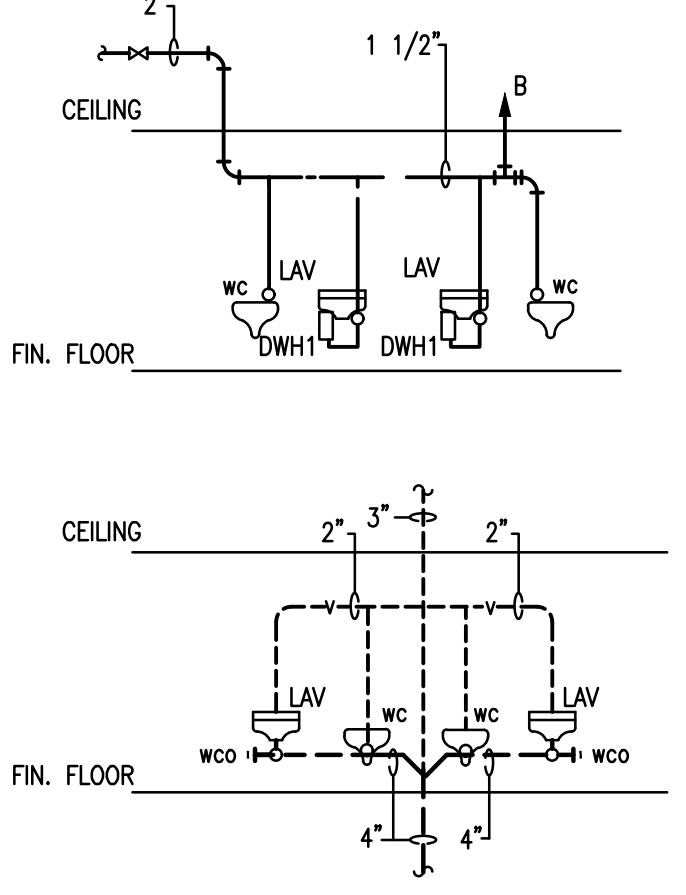
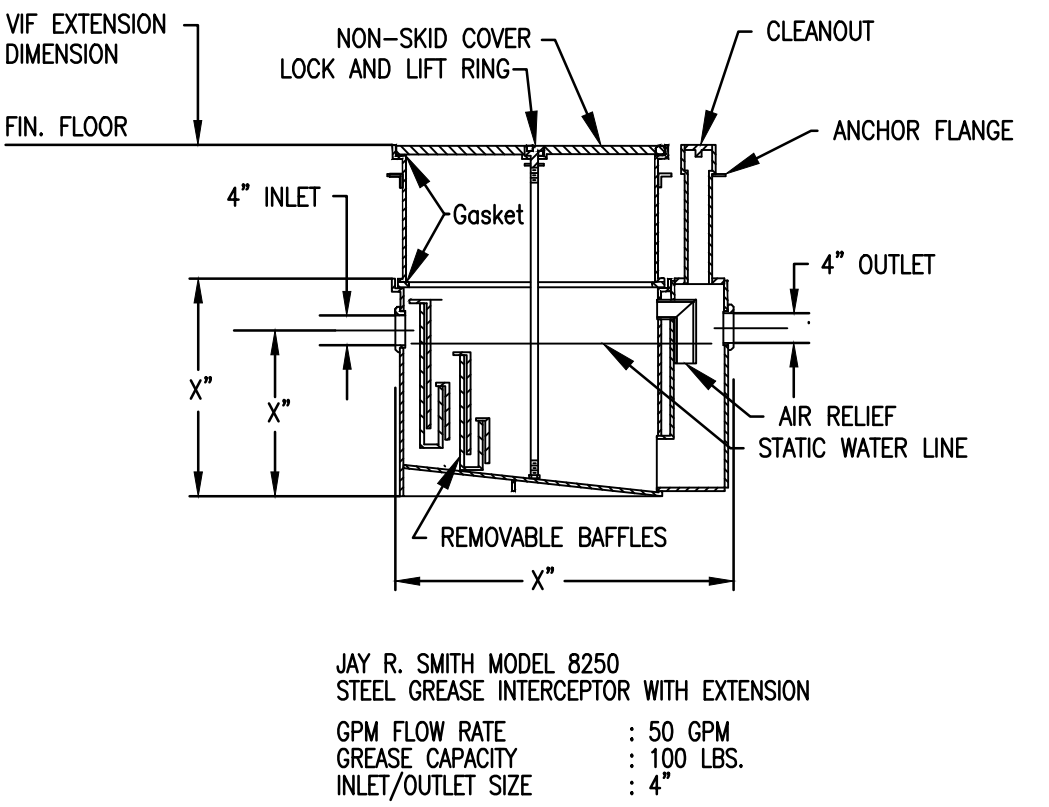
RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14  
BCIU MAIN OFFICE  
1111 COMMONS BLVD, READING, PA 19605

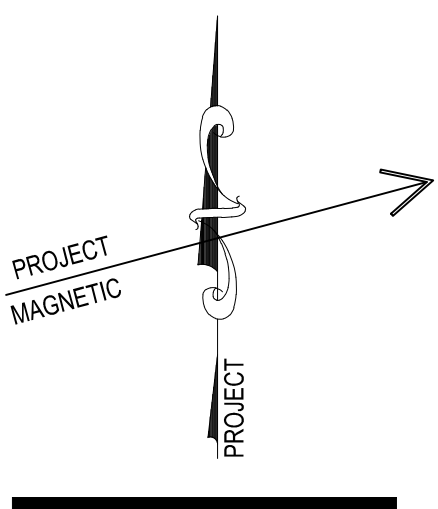
ALL DIMENSIONS AND EXISTING CONDITIONS  
SHALL BE CHECKED AND VERIFIED  
BY THE CONTRACTOR AT THE SITE.

JOB NO.: 24015.00  
DRAWN BY: SA  
DATE: 10.15.25

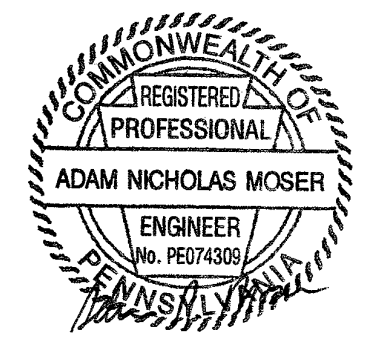
P-1



 <p>NOTES: 1. PUMP SHALL BE INSTALLED LEVEL AND SHALL NOT TOUCH OR REST ON ANY PART OF THE BUILDING STRUCTURE. 2. PUMP SHALL BE INSTALLED SO THAT THE PUMP CAN BE INSTALLED OR REMOVED WITHOUT REMOVING ANY PIPING OR VALVES OR SPRINGING OR FORCING ANY PIPING. 3. ANY VIBRATION OR EXCESSIVE NOISE FROM THE PUMP SHALL BE CORRECTED.</p>			
<b>1</b> IN-LINE PUMP DETAIL NO SCALE	<b>2</b> CONDENSATE CONNECTION AT RWC NO SCALE	<b>3</b> INDIRECT WASTE RECEPTOR (IDW) NO SCALE	<b>4</b> DWH - DOMESTIC WATER HEATER DETAIL SCALE: NONE
 <p>FLOOR CLEAN OUT DRAWING DESIGNATION F.C.O.</p>  <p>WALL CLEAN OUT DRAWING DESIGNATION W.C.O.</p>  <p>EXPOSED CLEAN OUT DRAWING DESIGNATION E.C.O.</p>			
<b>5</b> CLEAN OUT DETAILS NO SCALE		<b>6</b> SCHEMATIC DIAGRAMS SCALE:NONE	<b>7</b> SCHEMATIC DIAGRAMS SCALE: NONE
	 <p>JAY R. SMITH MODEL 8050 STEEL GREASE INTERCEPTOR WITH EXTENSION GPM FLOW RATE : 50 GPM GREASE CAPACITY : 100 LBS. INLET/OUTLET SIZE : 4"</p>		
<b>8</b> SCHEMATIC DIAGRAMS NO SCALE	<b>9</b> INDOOR RECESSED GREASE INTERCEPTOR DETAIL NOT TO SCALE	<b>10</b> - NOT TO SCALE	<b>11</b> - NO SCALE
<b>12</b> - NO SCALE	<b>13</b> - NO SCALE	<b>14</b> - NO SCALE	<b>15</b> - NO SCALE



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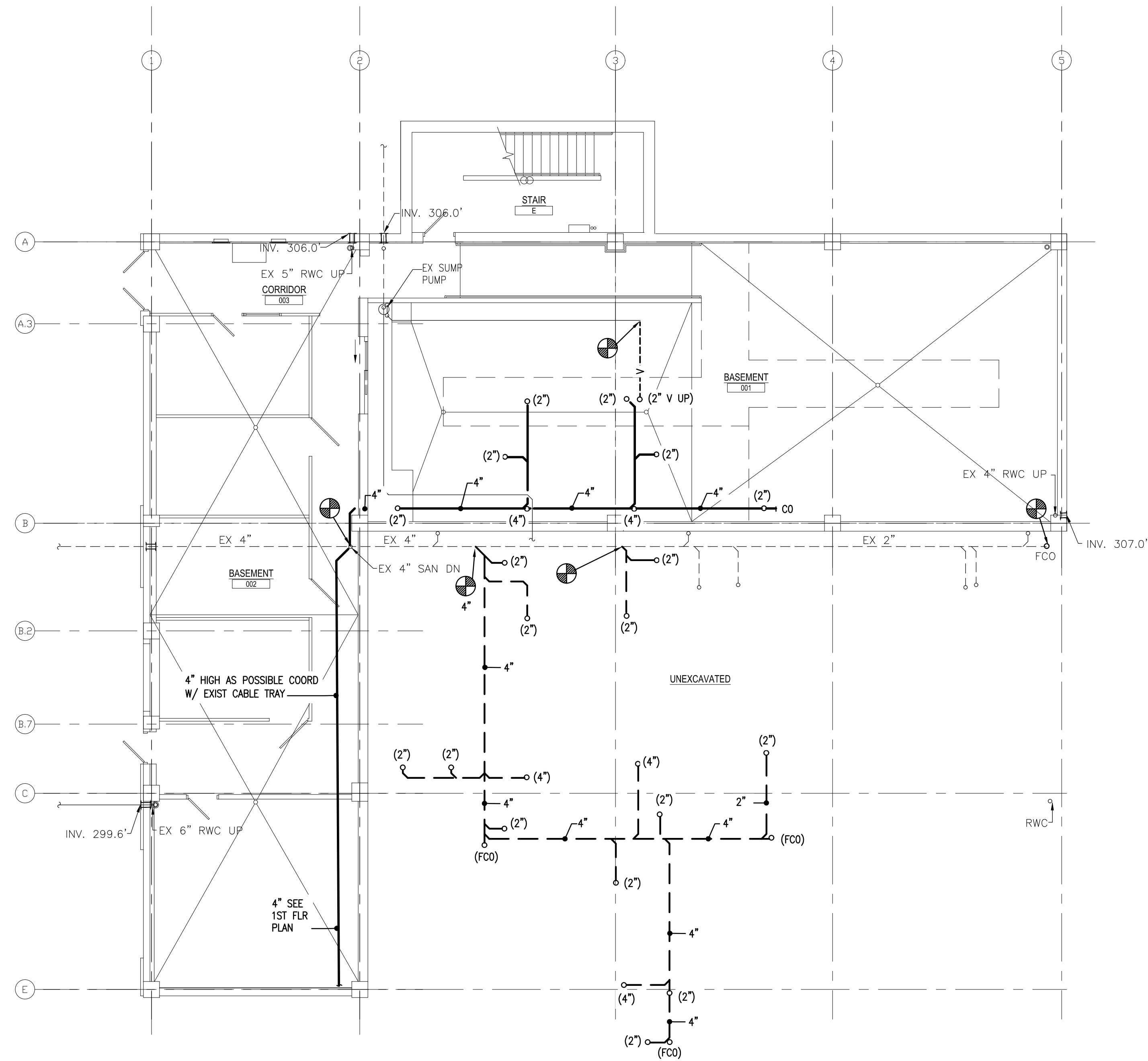


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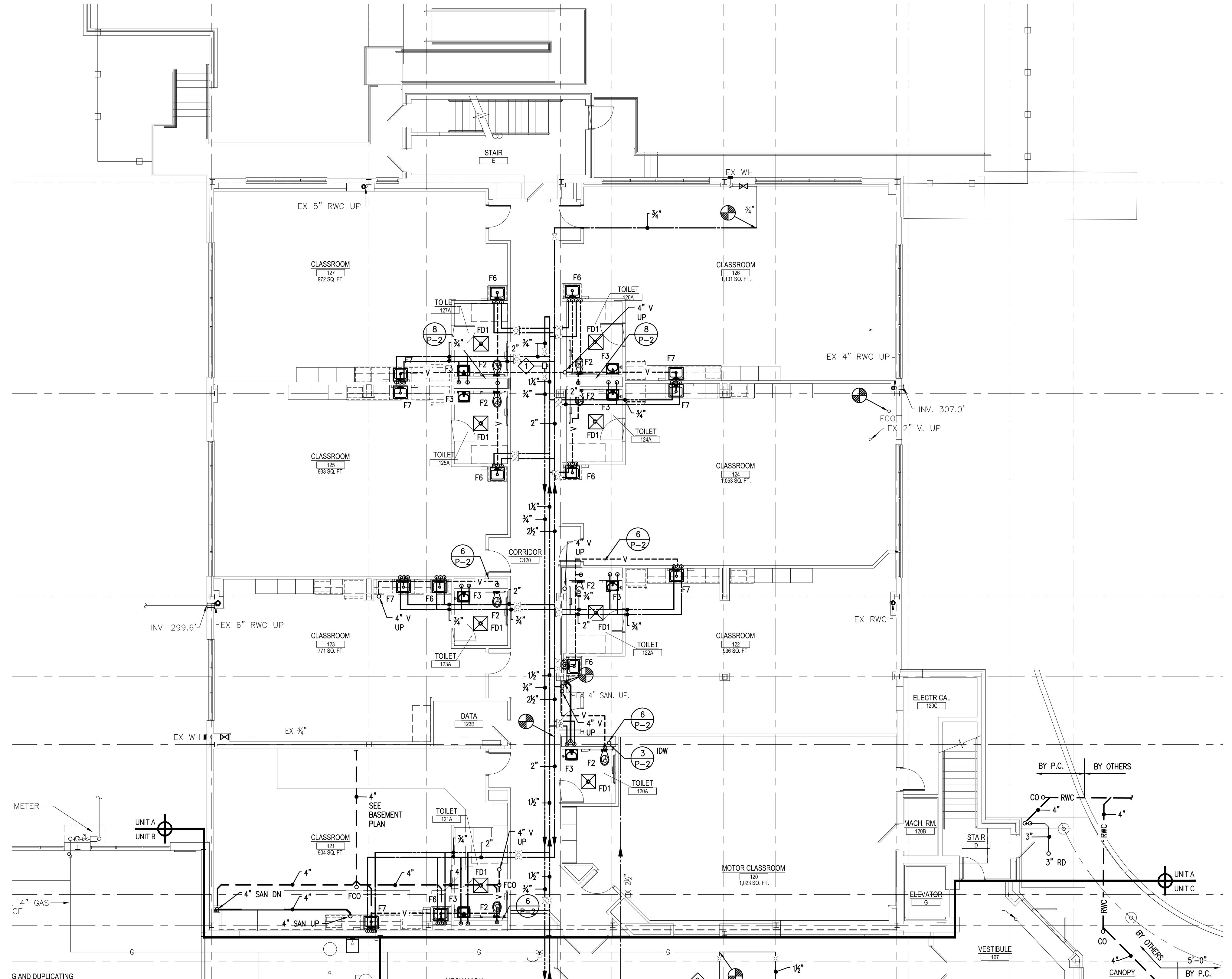
PLUMBING DETAILS  
RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14  
BCIU MAIN OFFICE  
1111 COMMONS BLVD, READING, PA 19605

ALL DIMENSIONS AND EXISTING CONDITIONS  
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JOB NO.: 24015.00  
DRAWN BY: SA  
DATE: 10.15.25





1 BASEMENT FLOOR PLAN - UNIT A - PLUMBING  
P-A1 SCALE: 1/8" = 1'-0"



2 FIRST FLOOR PLAN - UNIT A - PLUMBING  
P-A1 SCALE: 1/8" = 1'-0"

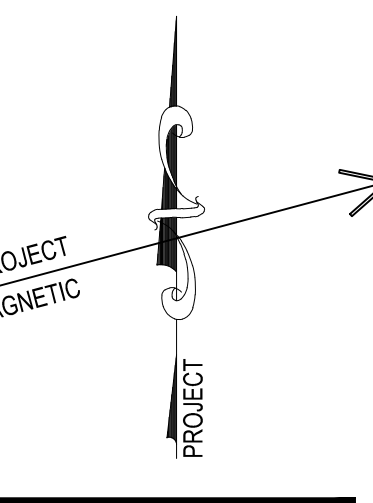
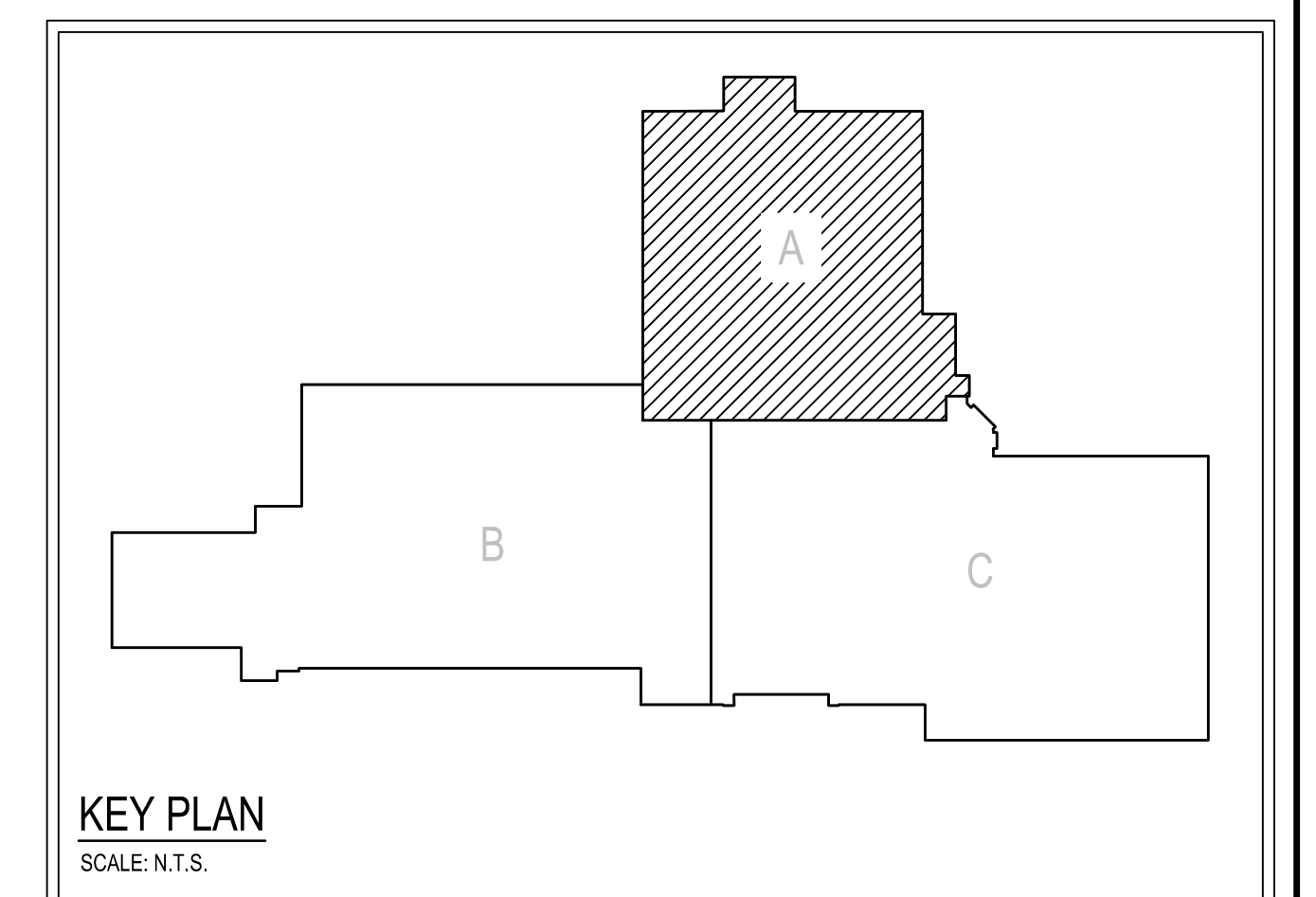
THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL ELECTRICAL PANEL LOCATIONS (INSIDE ELECTRICAL AND OUTSIDE ELECTRICAL ROOMS) WITH PIPING LAYOUTS PRIOR TO PIPING INSTALLATION. THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL N.E.C. (NATIONAL ELECTRIC CODE) CLEARANCES BEFORE INSTALLING ANY PIPING. THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL COSTS RESULTING TO REWORKING (REMOVING AND REINSTALLING) PIPING INSTALLED IN CONFLICT WITH ELECTRICAL PANELS/EQUIPMENT CLEARANCES.

#### DRAWING NOTES:

1. PROVIDE THE MINIMUM REQUIRED SERVICE CLEARANCES FOR ALL EQUIPMENT AS RECOMMENDED BY THE EQUIPMENT MANUFACTURER.

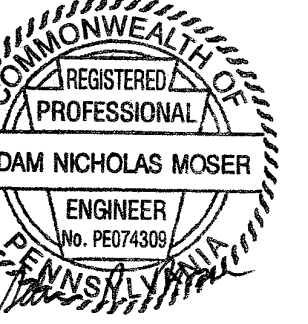
#### KEYED DRAWING NOTES:

- 1 PROVIDE NEW CALIBRATED BALANCING VALVE, SET AT 3.0 GPM.
- 2 ROUTE DRAIN PIPING ALONG WALL WITHIN CABINERY TO DROP TO AVOID ELECTRIC ROOM BELOW.
- 3 PROVIDE A SAFE WASTE RECEPTOR FOR HVAC EQUIPMENT IN SPACE ABOVE CEILING.



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FLOOR PLANS - UNIT A - PLUMBING  
RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14  
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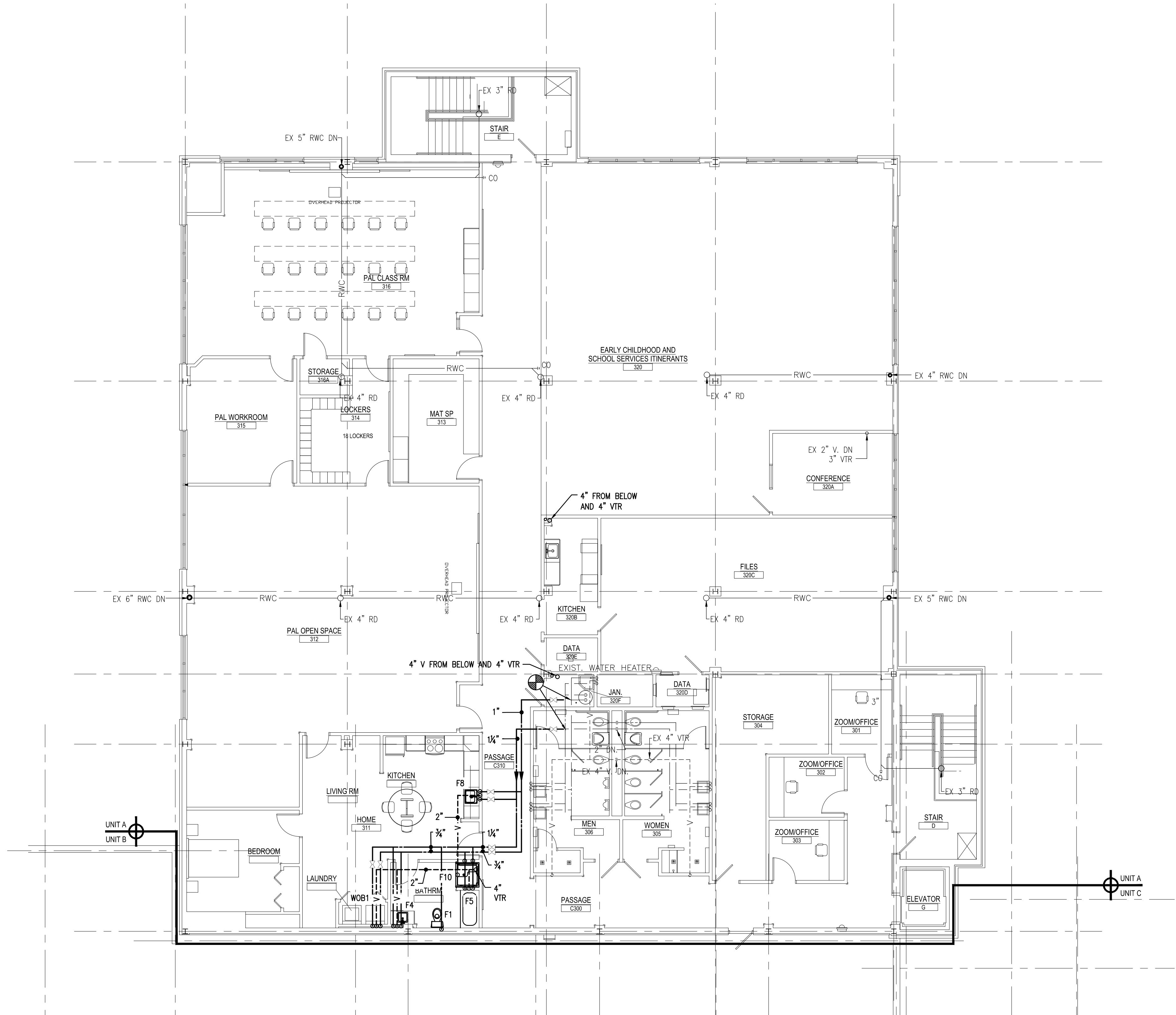
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JOB NO: 24015.00  
DRAWN BY: SA  
DATE: 10.15.25

P-A1







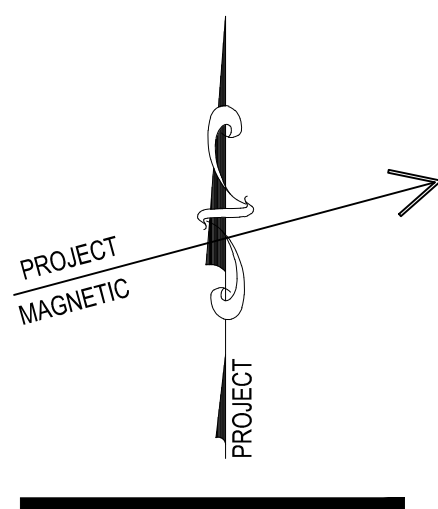
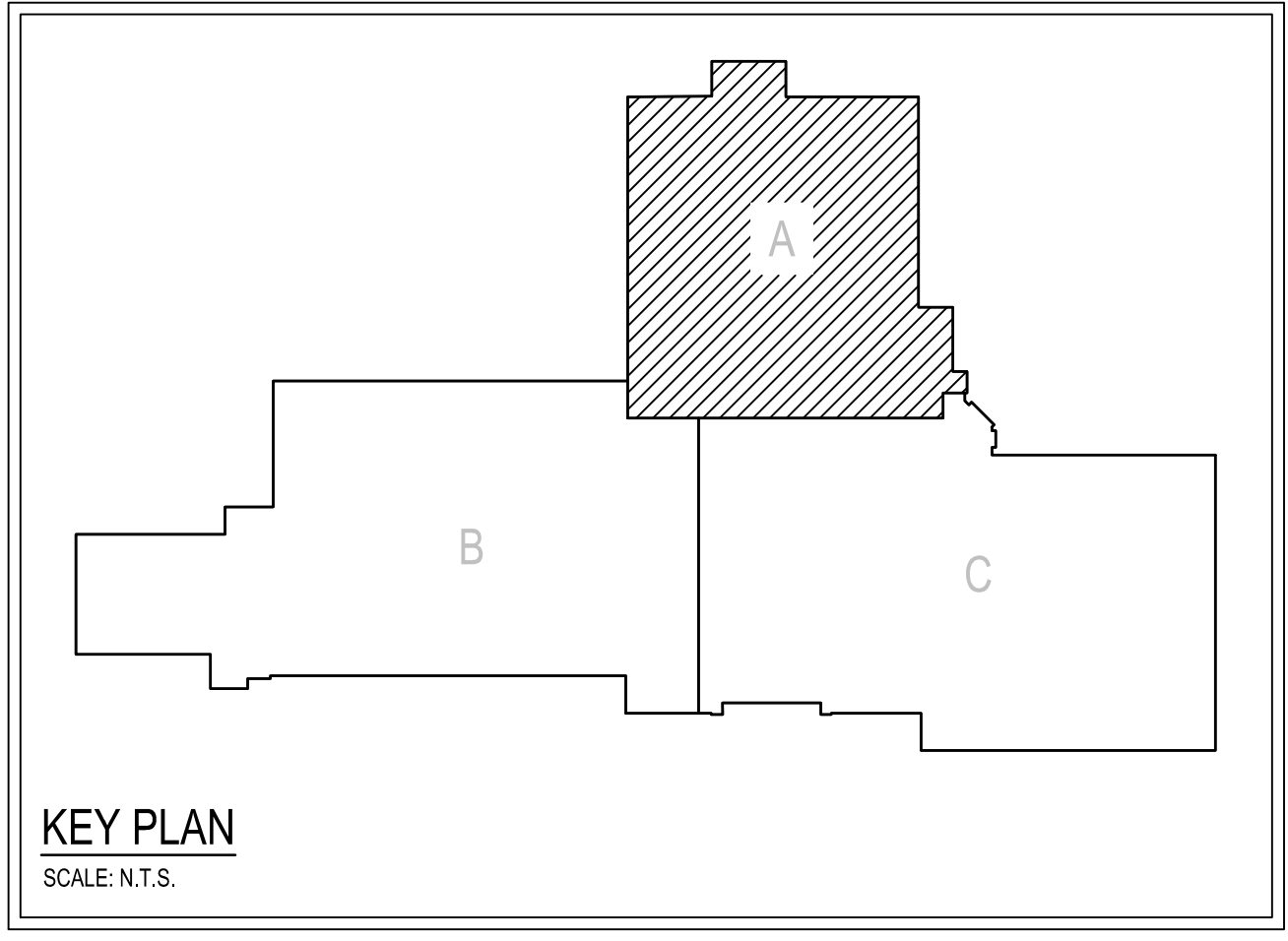


1 THIRD FLOOR PLAN - UNIT A - PLUMBING  
SCALE: 1/8" = 1'-0"

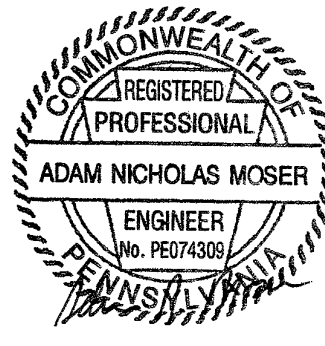
THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL ELECTRICAL PANEL LOCATIONS (INSIDE ELECTRICAL AND OUTSIDE ELECTRICAL ROOMS) WITH PIPING LAYOUTS PRIOR TO PIPING INSTALLATION. THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL N.E.C. (NATIONAL ELECTRIC CODE) CLEARANCES BEFORE INSTALLING ANY PIPING. THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL COSTS RESULTING TO REWORKING (REMOVING AND REINSTALLING) PIPING INSTALLED IN CONFLICT WITH ELECTRICAL PANELS/EQUIPMENT CLEARANCES.

DRAWING NOTES:

1. PROVIDE THE MINIMUM REQUIRED SERVICE CLEARANCES FOR ALL EQUIPMENT AS RECOMMENDED BY THE EQUIPMENT MANUFACTURER.



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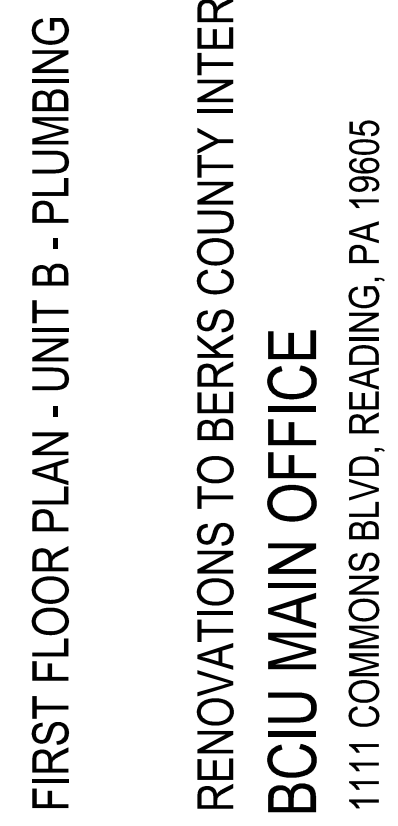
THIRD FLOOR PLAN - UNIT A - PLUMBING  
RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14  
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ALL DIMENSIONS AND EXISTING CONDITIONS  
WILL BE CHECKED AND VERIFIED  
BY THE CONTRACTOR AT THE SITE.  
JOB NO.: 24015.00  
DRAWN BY: SA  
DATE: 10.15.25





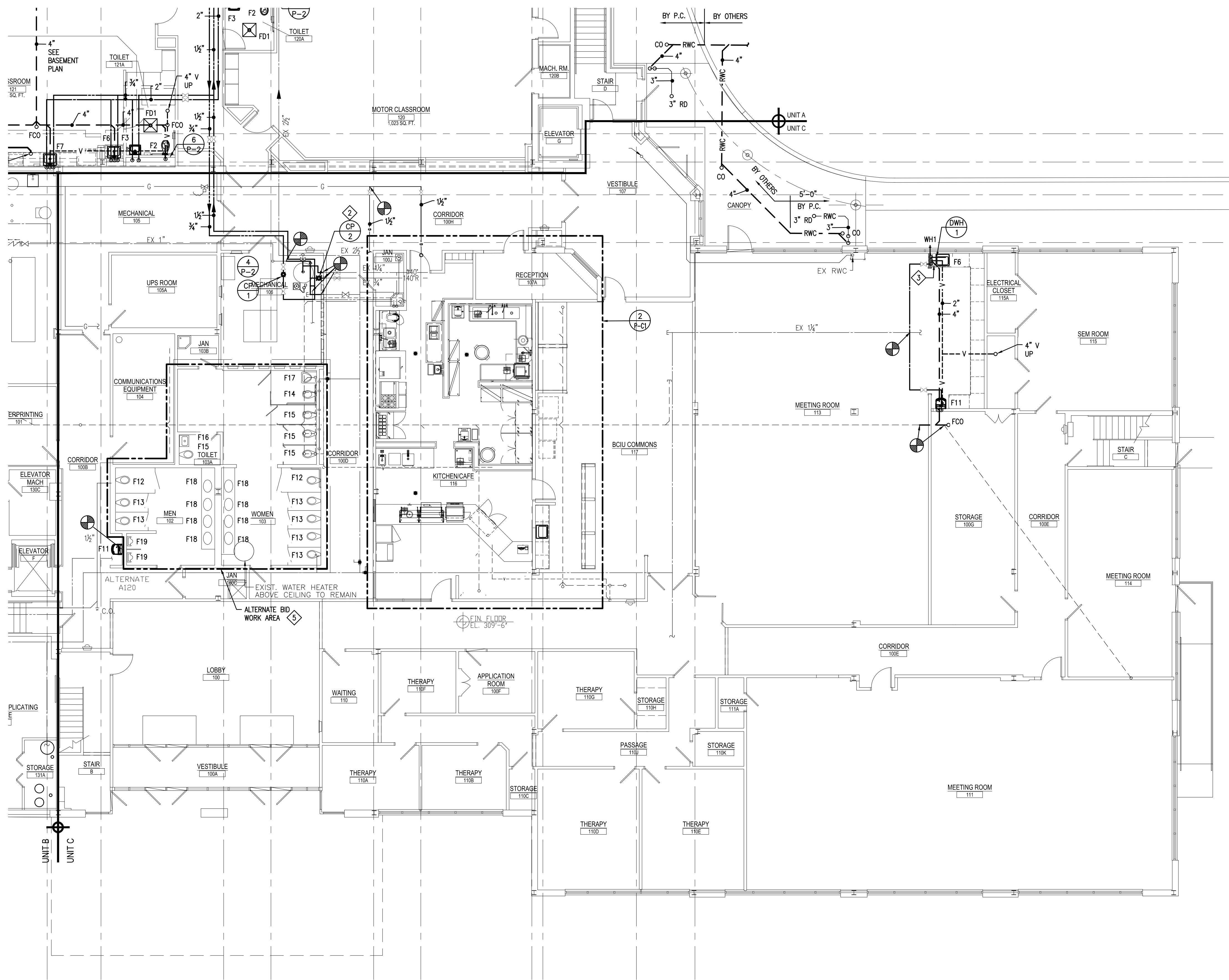
1. PROVIDE THE MINIMUM REQUIRED SERVICE CLEARANCES FOR ALL EQUIPMENT AS RECOMMENDED BY THE EQUIPMENT MANUFACTURER.



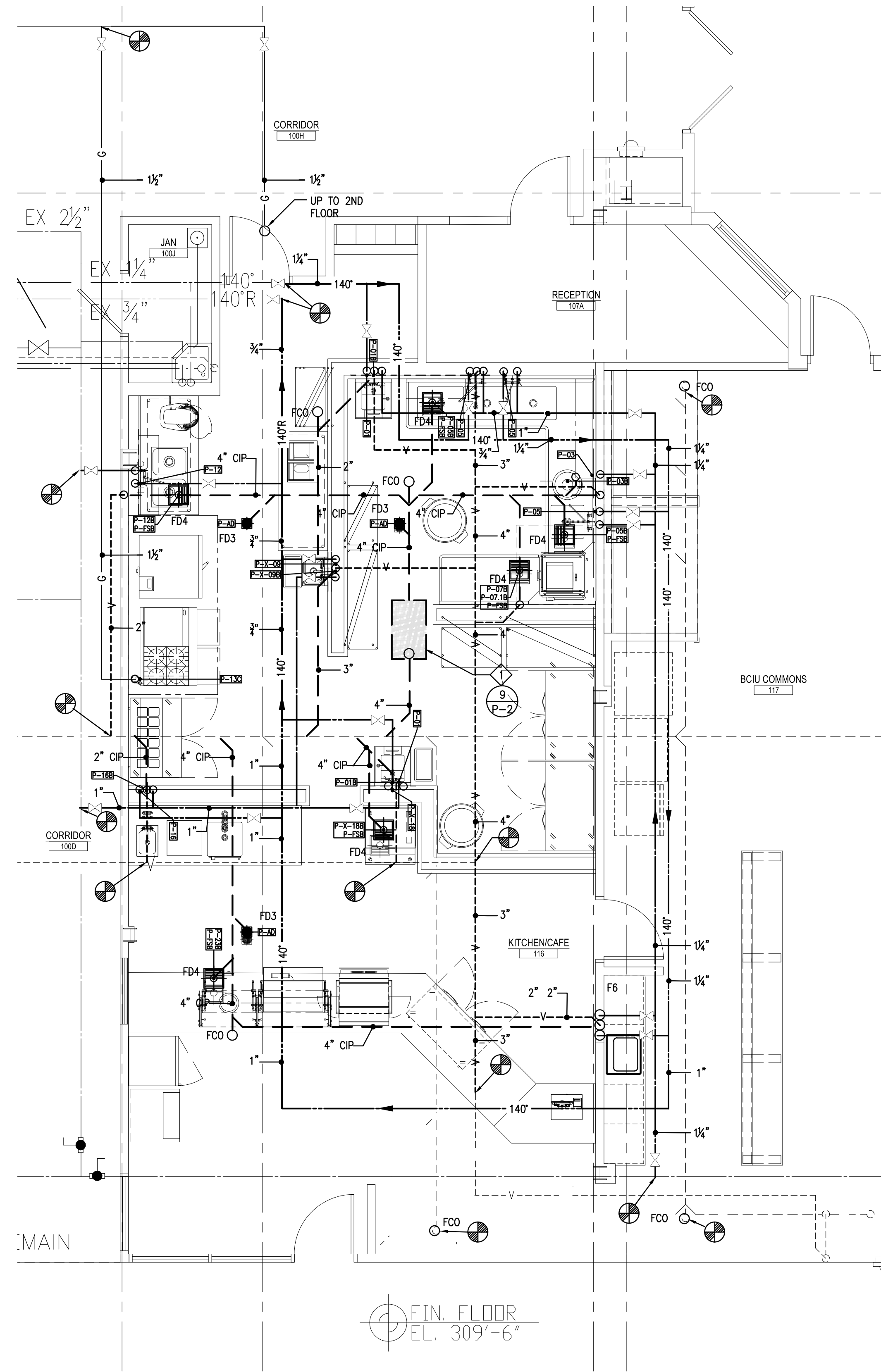








1 FIRST FLOOR PLAN - UNIT C - PLUMBING  
P-C1 SCALE: 1/8" = 1'-0"



2 KITCHEN PLAN - UNIT C - PLUMBING  
P-C1 SCALE: 1/4" = 1'-0"

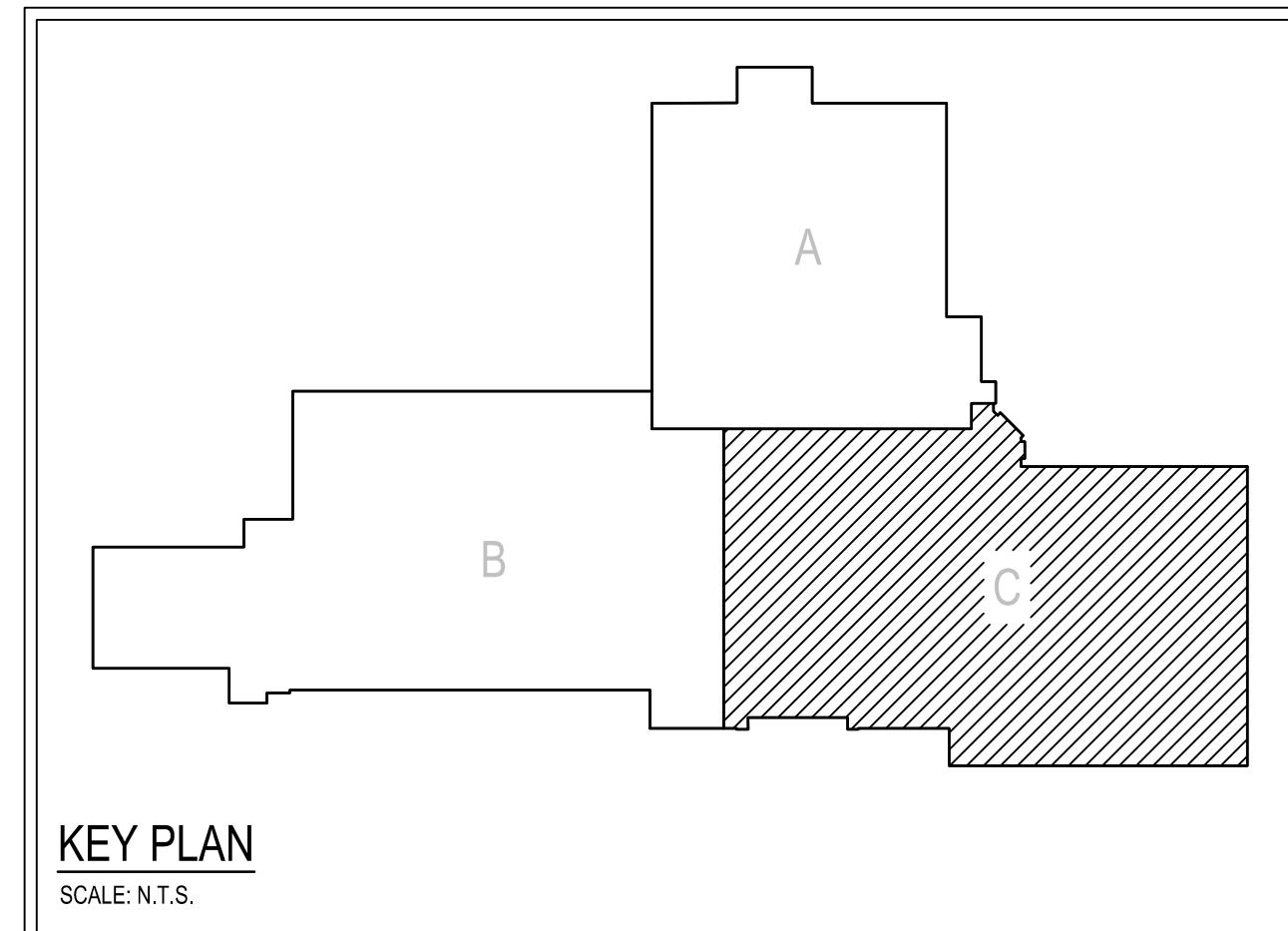
THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL ELECTRICAL PANEL LOCATIONS (INSIDE ELECTRICAL AND OUTSIDE ELECTRICAL ROOMS) WITH PIPING LAYOUTS PRIOR TO PIPING INSTALLATION. THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL N.E.C. (NATIONAL ELECTRIC CODE) CLEARANCES BEFORE INSTALLING ANY PIPING. THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL COSTS RESULTING TO REMOVING (REMOVING AND REINSTALLING) PIPING INSTALLED IN CONFLICT WITH ELECTRICAL PANELS/EQUIPMENT CLEARANCES.

#### DRAWING NOTES:

1. PROVIDE THE MINIMUM REQUIRED SERVICE CLEARANCES FOR ALL EQUIPMENT AS RECOMMENDED BY THE EQUIPMENT MANUFACTURER.

#### KEYED DRAWING NOTES:

1. JAY R. SMITH MFG CO. STEEL GREASE INTERCEPTOR, MODEL B250. GREASE INTERCEPTOR SHALL BE INSTALLED IN SLAB WITH FLOOR MOUNTED, NON-SKID COVER.
2. PROVIDE NEW CALIBRATED BALANCING VALVE, SET AT 3.0 GPM.
3. ROUTE ALL PIPING WITHIN CABINETRY CONCEALED TO FIXTURE FROM WING WALL.
4. PROVIDE A SAFE WASTE RECEPTOR FOR HVAC EQUIPMENT IN SPACE ABOVE CEILING.
5. EXISTING PLUMBING FIXTURE AND TRIM SHALL BE REMOVED AND REPLACED WITH NEW PLUMBING AS PART OF AN ALTERNATE BID. SEE SPECIFICATIONS.



FIRST FLOOR PLAN - UNIT C - PLUMBING

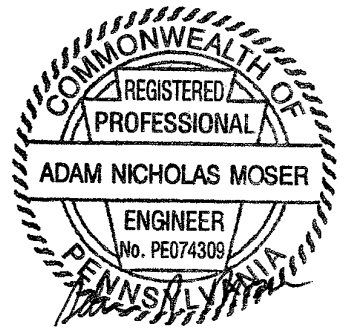
RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14  
BCIU MAIN OFFICE  
1111 COMMONS BLVD, READING, PA 19605

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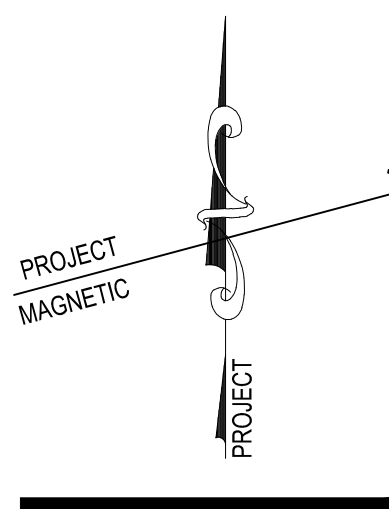
P-C1

CONSOLIDATED  
ENGINEERS

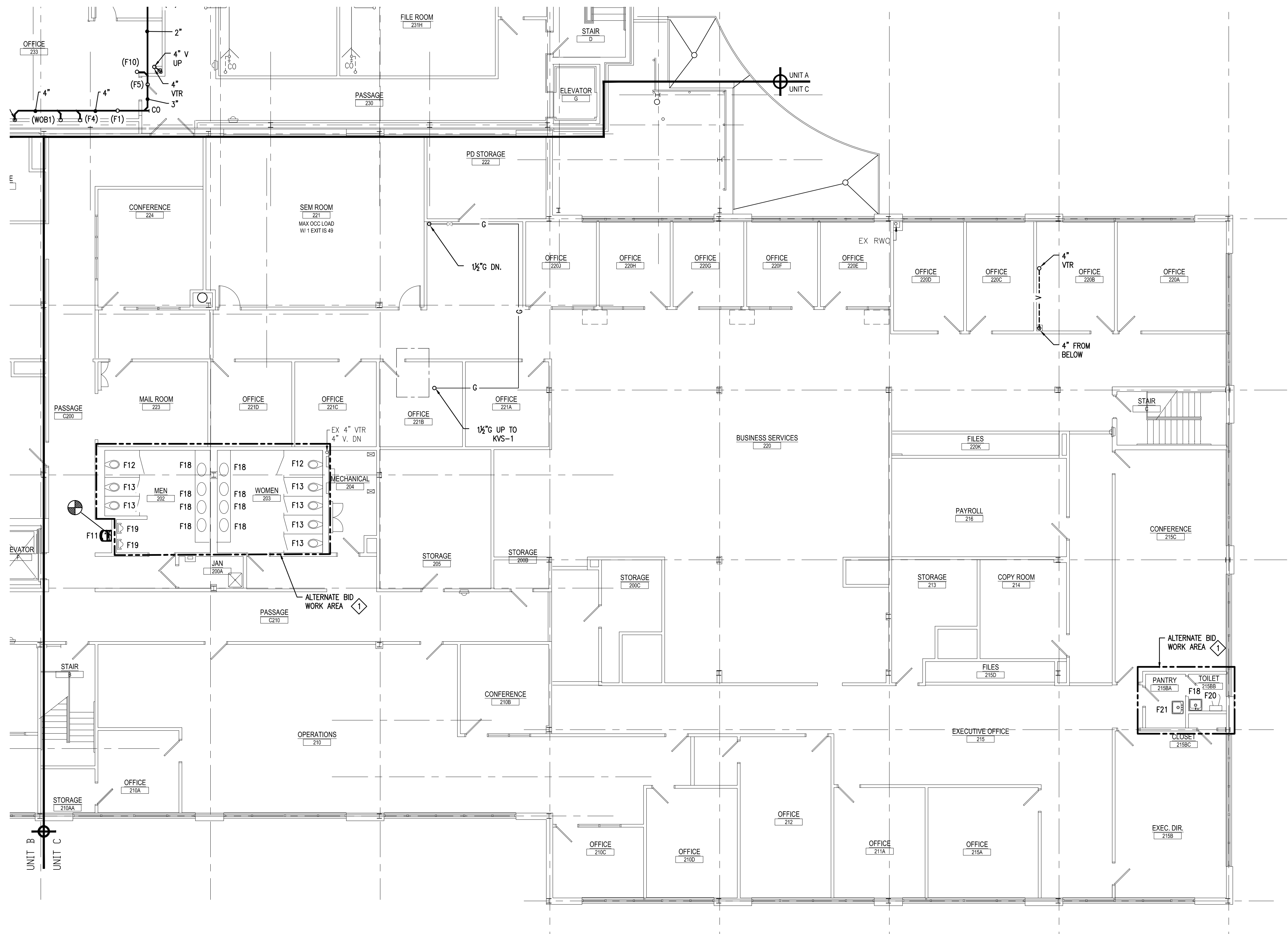
1022 James Drive  
Leesport, PA 19333  
Tel: 610-916-1600 Fax: 610-916-1610  
Internet: www.consolidatedengineers.com



AEM ARCHITECTS INC.  
3700 PERKIDOMEN AVENUE, READING, PA 19606-2785  
Phone: 610-779-3220 Fax: 610-779-3222 www.aem-arch.com







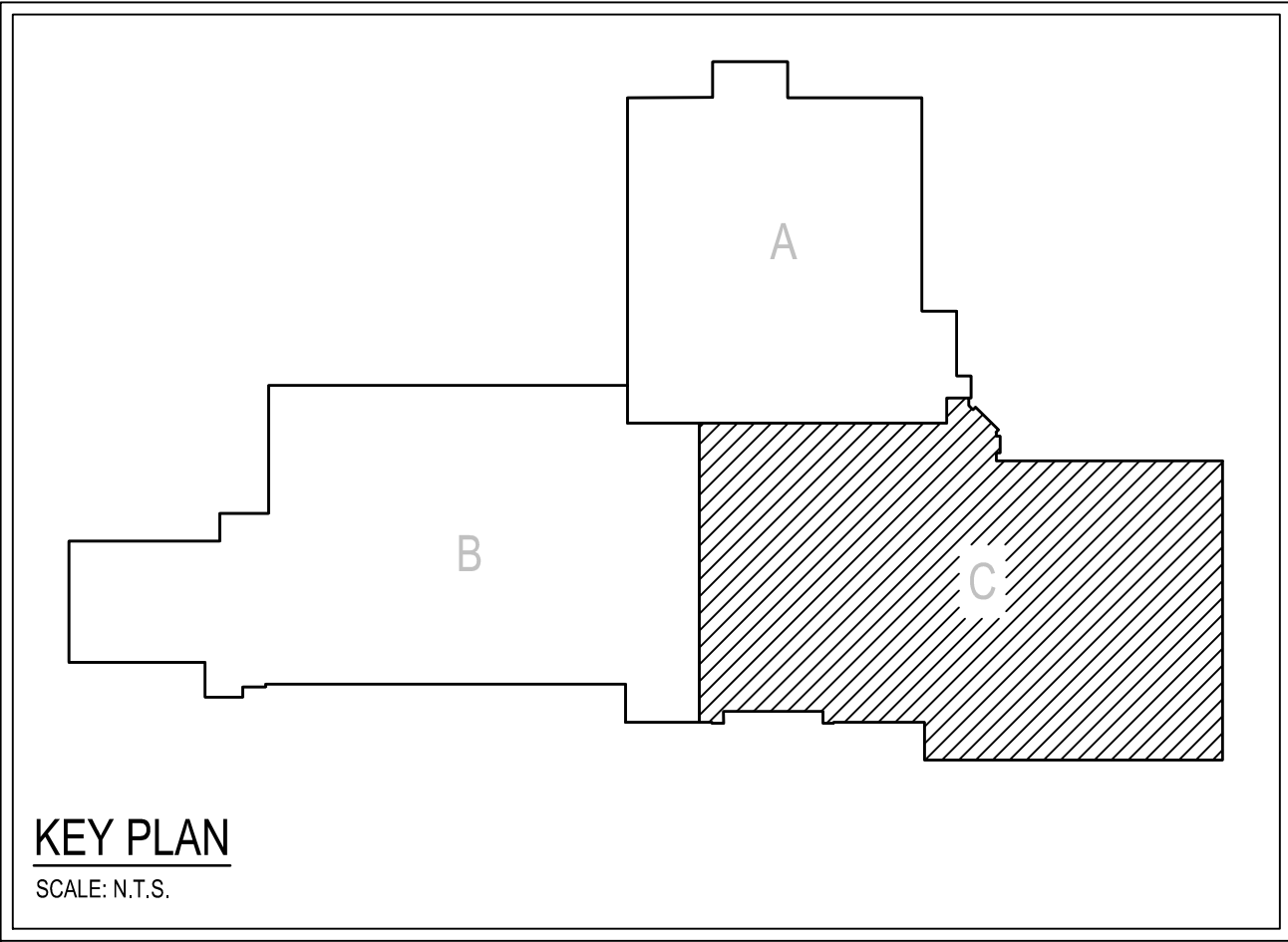
THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL ELECTRICAL PANEL LOCATIONS (INSIDE ELECTRICAL AND OUTSIDE ELECTRICAL ROOMS) WITH PIPING LAYOUTS PRIOR TO PIPING INSTALLATION. THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL N.E.C. (NATIONAL ELECTRIC CODE) CLEARANCES BEFORE INSTALLING ANY PIPING. THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL COSTS RESULTING TO REMOVING (REMOVING AND REINSTALLING) PIPING INSTALLED IN CONFLICT WITH ELECTRICAL PANELS/EQUIPMENT CLEARANCES.

**DRAWING NOTES:**

1. PROVIDE THE MINIMUM REQUIRED SERVICE CLEARANCES FOR ALL EQUIPMENT AS RECOMMENDED BY THE EQUIPMENT MANUFACTURER.

**KEYED DRAWING NOTES:**

- ◇ EXISTING PLUMBING FIXTURE AND TRIM SHALL BE REMOVED AND REPLACED WITH NEW PLUMBING AS PART OF AN ALTERNATE BID. SEE SPECIFICATIONS.



SECOND FLOOR PLAN - UNIT C - PLUMBING

RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14  
BCIU MAIN OFFICE  
1111 COMMONS BLVD, READING, PA 19605

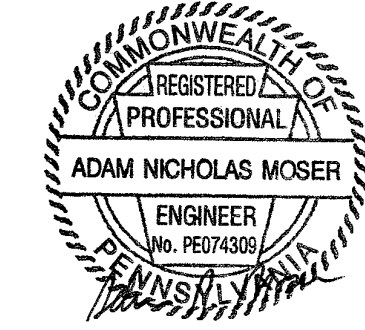
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P-C2

CONSOLIDATED  
ENGINEERS

1022 James Drive  
Leopold, PA 19533  
Tel: 610-916-1600 Fax: 610-916-1610  
Internet: www.consolidatedengineers.com

CIE



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