

Addendum No. 2**Issued: March 24, 2025**

Project Name: Reading School District
13th & Union Elementary Renovations
CHA Project No. 093251

Project Owner: Reading School District
800 Washington Street
Reading, PA 19601

Architect: AEM Architects, Inc.
3700 Perkiomen Ave.
Reading, PA 19606

Owner's Representative: CHA Consulting
One East Broad Street, Suite 310
Bethlehem, PA 18018

BID DUE DATE: TUESDAY, APRIL 1, 2025 @ 1:30 PM

*This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated **March 2025** as noted below. This Addendum must be acknowledged on the Bid Form in the space provided for this purpose. Failure to so acknowledge this addendum may subject the Bidder to disqualification.*

1.0 GENERAL INFORMATION:

1.1 This addendum consists of 5 pages including the following attachments:

- 1 Page of newly issued Sketch SKA-1.
- 1 Page of newly issued Sketch SKA-2.
- 1 Page of newly issued Sketch SKA-3.

2.0 CHANGES TO PREVIOUS ADDENDA:

2.1 None.

3.0 CHANGES TO THE BIDDING REQUIREMENTS, CONTRACT FORMS, & CONDITIONS OF THE CONTRACT:

3.1 None.

4.0 CHANGES TO THE SPECIFICATIONS:

4.1 Specification Section 04 01 20, "Masonry Repair," **REVISE** Article 3.5, Paragraph A as follows.
Revise the horizontal spacing of anchors to "24 inches o.c.".

5.0 CHANGES TO THE DRAWINGS:

- 5.1 Reference to Alternates on Drawings and correlation to the Bid Form are hereby clarified such that the following shall apply:

Alternate A100 corresponds to Bid Form Alternate No. 1

Alternate A200 corresponds to Bid Form Alternate No. 2

Alternate A300 corresponds to Bid Form Alternate No. 3

Alternate A400 corresponds to Bid Form Alternate No. 4

- 5.2 Drawing A-1, "1-16" Basement and First Floor Plans," please see the following clarification:

Further clarification is provided regarding Demolition Notes to emphasize that removal of existing doors and windows is complete to the entire rough opening. This includes removal of all blocking, trims, sealants, clips, hardware, etc. Preparation of these openings to receive new work requires patching/repairing of the substrates of the rough openings including but not limited to masonry, plaster, lintels, etc. to prepare these openings as required to receive new work (systems for windows, doors, CFMF, etc.)

- 5.3 SKA-1, **ADD** the newly issued Sketch included as an attachment to this Addendum to address the Work at Southern Middle School.

- 5.4 Drawing A-1, **ADD** the newly issued Sketch, SKA-2 included as an attachment to this Addendum to clarify the Renovation Notes.

- 5.5 Drawing A-3, **ADD** the newly issued Sketch, SKA-3 included as an attachment to this Addendum to clarify the Work description for Alternate No. 3.

6.0 BIDDERS QUESTIONS:

Below are the questions received during bidding as of March 24, 2025.

- 6.1 **Question:** *Where are the renovation notes listed?*

Answer: We do not have "Renovation Notes" per se. We have Keyed Notes listed on Drawings SP-1 and A-3 (also relate to A-4), Phasing Notes on PH-1, and Demolition Notes on A-1 and A-2. Other "tags" on A Drawings are provided on the cover sheet (A-0) legends. A Sketch will be issued in Addendum No. 2 to address this.

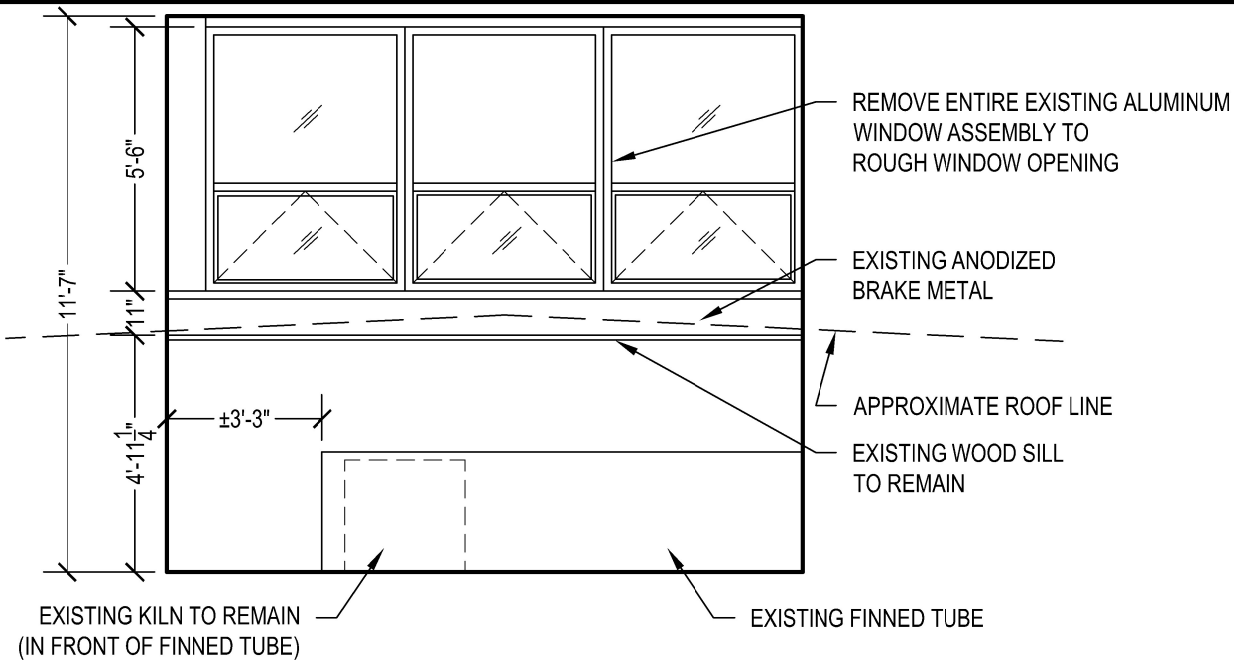
- 6.2 **Question:** *Sheet A-1, basement floor plan, the windows that get infilled have an octagonal 1. The legend says that is a renovation note. Does it mean something else?*

Answer: We are clarifying this information in Addendum No. 2 with a sketch to provide information that was accidentally omitted from the drawings.

NOTE:

- ALL BIDDERS MUST indicate receipt of this Addendum on Page 1 of the Bid Form.
- **No other acknowledgment** is needed or requested to be returned as receipt of Addenda is tracked though the ShareFile service Addenda are issued through.

END OF ADDENDUM NO. 2 – 093251



EXISTING INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

ROOM NO: 316A
SOUTHERN MIDDLE SCHOOL

1

EXISTING DUCTWORK TO REMAIN

GYP. BOARD (PAINTED) ON COLD FORMED METAL FRAMING @ 16" O.C.

EQUAL TO KAWNEER 451T GLASSVENT, OUTSWING CASEMENT. PROVIDE WITH MFR. STANDARD CAM LOCK WITH REMOVABLE CYLINDER AND SARGENT SIGNATURE 10-6300 CYLINDER IN ADDITION TO THOSE INDICATED IN HARDWARE SPECS.

METAL PANEL INFILL ON COLD FORMED METAL FRAMING @ 16" O.C. REFER TO DETAILS ON A-7

NEW LOUVER TO MATCH EXISTING SIZE, FUNCTION AND FREE AREA

EXISTING ANODIZED BRAKE METAL TO BE REPLACED TO MATCH NEW WINDOW (SEE PHOTO ABOVE)

APPROXIMATE ROOF LINE

EXISTING WOOD SILL TO REMAIN

EXISTING FINNED TUBE

EXISTING KILN TO REMAIN (IN FRONT OF FINNED TUBE)

PROPOSED INTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

ROOM NO: 316A
SOUTHERN MIDDLE SCHOOL

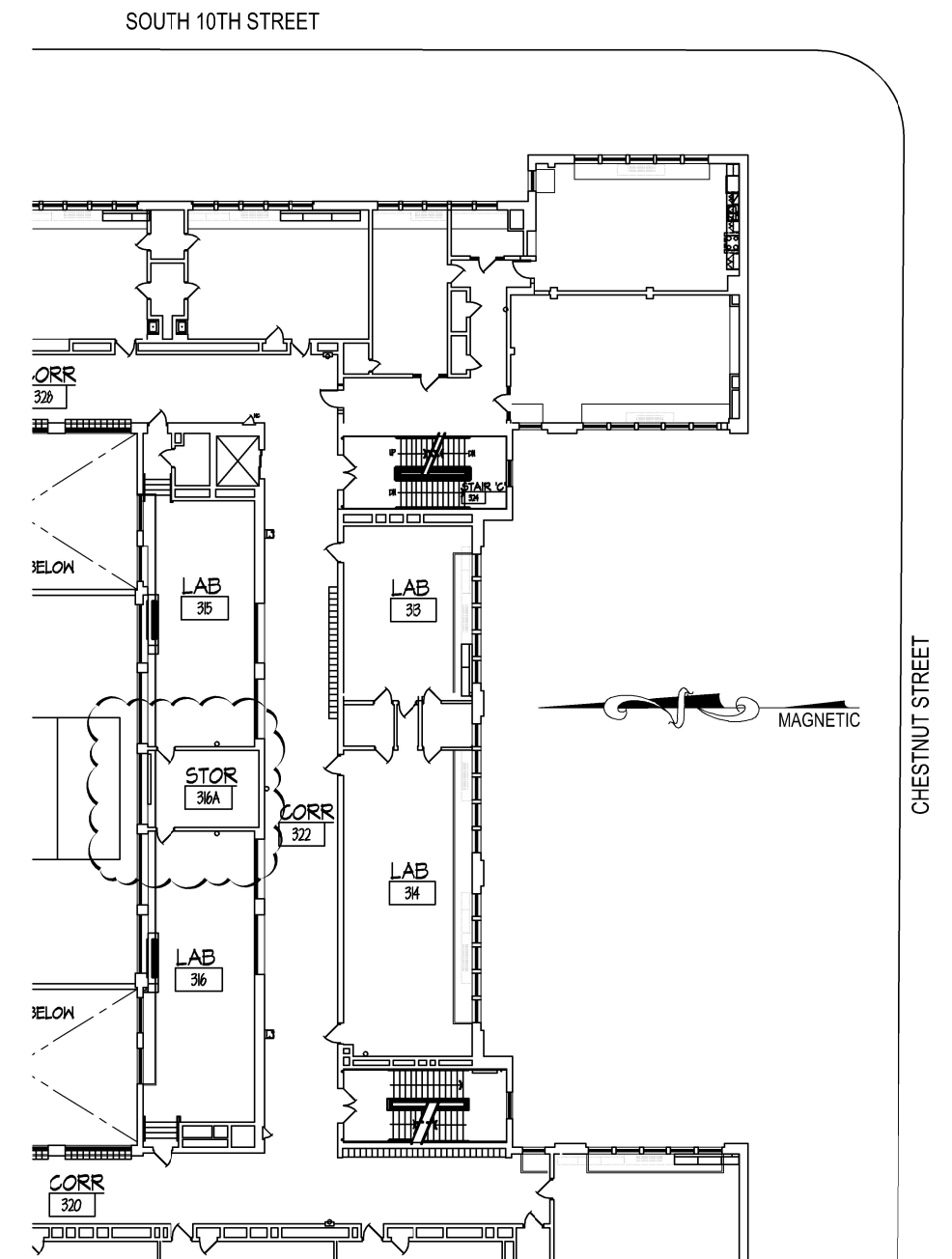
2

PROPOSED EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

ROOM NO: 316A
SOUTHERN MIDDLE SCHOOL

3



PARTIAL THIRD FLOOR PLAN SOUTHERN MIDDLE SCHOOL - ALT. NO. 4

SCALE: 1/32" = 1'-0"

MODIFICATION TO EXISTING WINDOW OPENING @ SOUTHERN MIDDLE SCHOOL - ALT. No. 4

WINDOW AND DOOR REPLACEMENT FOR
13TH AND UNION ELEMENTARY SCHOOL
READING SCHOOL DISTRICT
1600 NORTH 13TH STREET, READING, BERKS COUNTY, PA

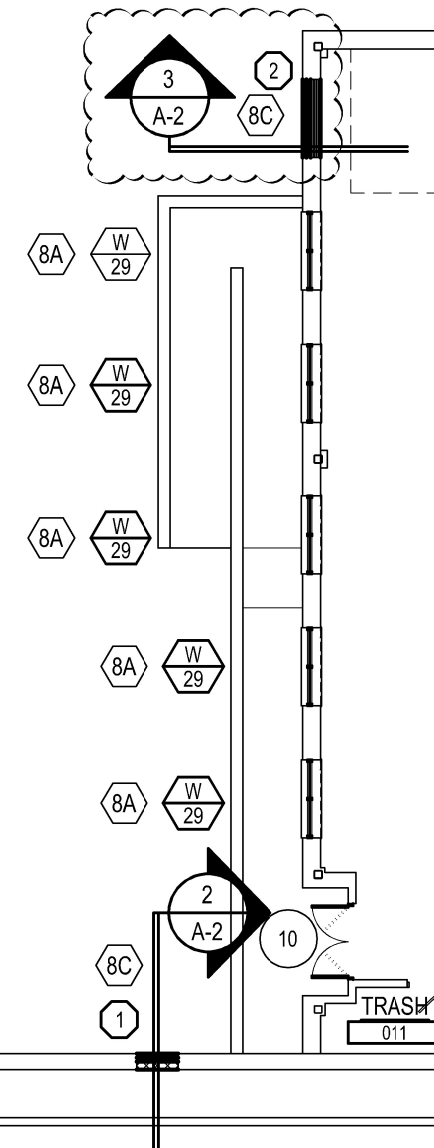
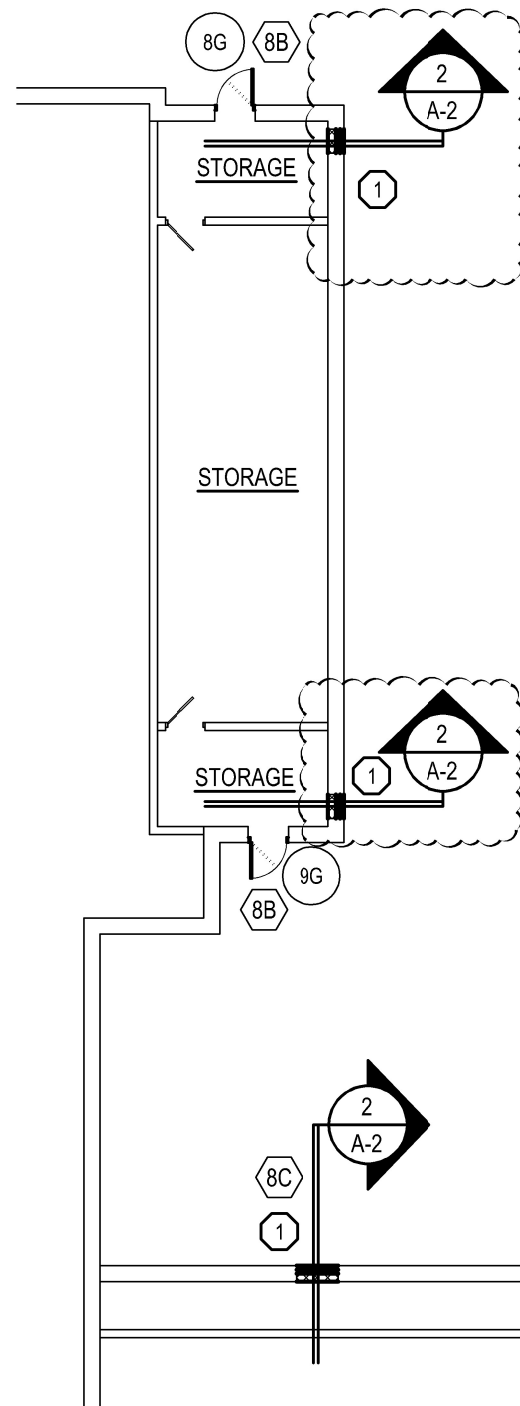
AND THE PROGRESS OF THE WORK TO ENSURE ALL EXISTING SYSTEMS REMAIN OPERABLE DURING WORK.

RENOVATION NOTES

- ① INFILL WALL OPENING - REFER TO DETAIL 2/A-2
- ② INFILL WALL OPENING - REFER TO DETAIL 3/A-2

GENERAL RENOVATION NOTES:

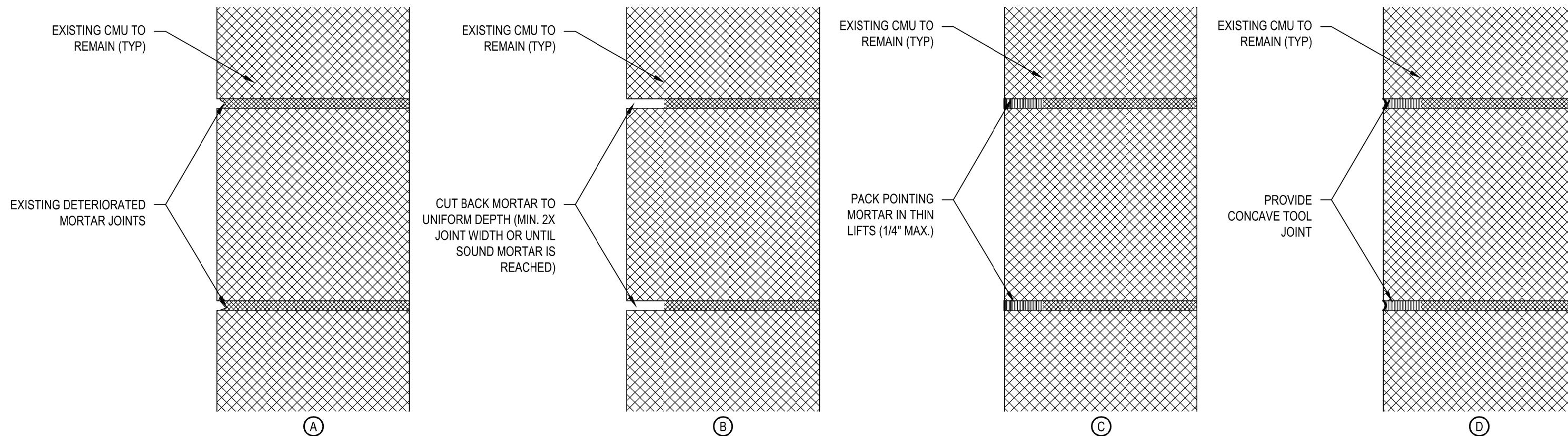
1. PRIOR TO APPLYING PAINT ALL EXISTING WALLS SHALL BE SPACKLED AND REPAIRED AS REQUIRED IN ACCORDANCE WITH MPI - MAINTENANCE AND REPAINTING MANUAL.
2. ANY OPENINGS IN CMU WALLS INDICATED TO BE INFILLED SHALL BE PATCHED BY G.C., TOOTHING NEW CMU/BRICK INTO EXISTING CMU/BRICK. MATCH EXISTING CMU/BRICK SIZE, COURSING, ETC.



CLARIFICATION OF RENOVATION NOTES

REFERENCE DRAWING: A-1

WINDOW AND DOOR REPLACEMENT FOR
13TH AND UNION ELEMENTARY SCHOOL
READING SCHOOL DISTRICT
1600 NORTH 13TH STREET, READING, BERKS COUNTY, PA



TYPICAL MORTAR JOINT REPOINTING PROCESS DETAILS

SCALE: 3" = 1'-0"

KEYED NOTES

- 1 NEW LIMESTONE SILL. REFER TO DETAILS 6,7/A-5
- 2 AREA OF MASONRY REPAIR -REFER TO ALTERNATE NO. 3 IN THE SPECIFICATIONS.
SCOPE OF WORK TO INCLUDE COMPLETE REMOVAL OF 100 SF OF BRICK VENEER TO EXPOSE BACKUP WYTHE. CONTRACTOR SHALL FULLY SUPPORT ADJACENT VENEER THAT IS NOT DISTURBED BY THIS PROCESS UNTIL NEW VENEER IS IN PLACE. WORK SHALL INCLUDE REMOVING ALL VENEER IN THIS AREA ALONG WITH AFFECTED CAVITY WALL INSULATION, FLASHING, VENTS/WEEPS, ETC. BACK TO THE BACKUP WYTHE. ALL VENEER TIES SHALL BE REMOVED IN THEIR ENTIRETY AND NEW VENEER TIES AND ANCHORS PROVIDED. (ASSUME SPIRAL OR HELICAL TYPE FOR BIDDING PURPOSES - MIN. SPACING PER SPECS.) ALONG WITH NEW SUPPORT OF REPLACED BRICK VENEER, CONTRACTOR SHALL FURNISH AND INSTALL ALL NEW FLASHING, WEEPS/VENTS, ETC. REQUIRED FOR A COMPLETE INSTALLATION. ALL EXPOSED STEEL SHELF ANGLES, LINTELS AND THE LIKE SHALL BE CLEANED TO SOUND METAL SURFACE, PRIMED (2 COATS WHERE NOT EXPOSED TO VIEW) AND FINISH PAINTED (2-COATS), AND ALL NEW SEALANTS INSTALLED WHERE SOFT JOINTS ARE REQUIRED FOR MOVEMENT AND CRACKING CONTROL.
- 3 LOUVER NOTES:
DEMOLITION: CONTRACTOR SHALL VERIFY AND ENSURE OPERATION OF MOTOR OPERATED DAMPER AND INTERCONNECTION WITH BAC

CLARIFICATION OF RENOVATION NOTES AND DETAILS

REFERENCE DRAWING: A-3