

ADDENDUM #08

PROJECT: UPPER POTTSGROVE TOWNSHIP NEW MUNICIPAL COMPLEX

PROJECT #: 22-0058
ISSUE DATE: **May 16, 2024**

BIDS DUE TO: UPLOAD TO PENBID

BIDS DUE: Thursday, May 22, 2025

The following clarifications, amendments, additions, deletions, revisions and modifications in this Addendum forms a part of the Contract Documents and modifies the original Bidding Documents as noted below. This addendum must be acknowledged in the form of proposal in the space provided for this purpose. Failure to acknowledge this addendum may subject the Bidder to disgualifications.

GENERAL

1. NONE

ADDED SPECIFICATIONS

- 1. The following specifications issued with this addendum shall be added from the Contract Documents
 - a. NONE

REVISED SPECIFICATIONS

- 1. The following revised specifications issued with this addendum shall be made a part of the Contract Documents
 - a. **NONE**

REMOVED SPECIFICATIONS

- 1. The following removed specifications issued with this addendum shall be removed from the Contract Documents
 - a. NONE

ADDED DRAWINGS

1. The following added drawings issued with this addendum shall be made a part of the Contract Documents

ADMIN & POLICE BUILDING

a. NONE

PUBLIC WORKS

a. **NONE**

CIVIL

a. **NONE**

REVISED DRAWINGS

1. The following revised drawings issued with this addendum shall be made a part of the Contract Documents

ADMIN & POLICE BUILDING

a. **NONE**

PUBLIC WORKS

a. NONE

CIVIL DRAWINGS

a. 06.ES-1 'EROSION & SEDIMENT CONTROL PLAN'

Addendum No 8 Issued: May 16, 2025

Clarifications:

Tele/data

 Addendum 6 - question 87 states that we provide back boxes, conduits, and pull strings for communication. CORRECT

- Addendum 6 question 88 states that the owner's vendor will provide data racks and terminate at the head end and devices. CORRECT
- Addendum 6 question 89 states to include wall jack faceplates. But if you refer to question 87, we don't provide these. PROVIDE WALL JACK FACEPLATES AND COORDINATE WITH OWNER'S VENDOR
- Addendum 6 question 92 states the EC provides back boxes, conduits, and pull strings. CORRECT
- Addendum 7 question 155 speaks of providing network racks. Question 88 states the owner's vendor to provide. OWNER'S VENDOR TO PROVIDE

Security-camera-access

- Addendum 6 questions 98 & 99 states the EC is to provide back boxes, conduits, and pull strings.
 CORRECT
- Addendum 6 question 106 states the EC is to provide conduit, back boxes, and pull wire to head end equipment. PROVIDE CONDUIT, BACK BOXES, AND PULL STRINGS
- Addendum 7 question 164 states to follow notes 4, 5, & 6 on sheet E3.0. These notes state to provide pull string. CORRECT

Multiple Contract Summary

• Site Contractor is responsible for all flat work including sidewalks, patios and door pads if required. Coordinate with GC as necessary. GC is responsible for dumpster and generator enclosure in its entirety, including the flat work.

PennBid Questions and Answers:

Q174: On sheet A5.00PW it says lockers are in contract, and on page A1.0PW it states they are OFCI. Please clarify if we have to supply and install or install only.

A174: Lockers are Owner Furnished, Owner installed.

Q175: Can casework be built to AWI standards?

A175: YES

Q176: Questions 33 & 56 concerning Pella window with Bullet Proof Glazing were answered with refer to section 088000 Glazing. The problem is you cannot glaze Pella Frames with the Bullet Proof glazing as the frame cannot support the weight. Can we bid those window units as Security Aluminum Storefronts?

A176: All Pella windows are designated with "CIG" which is clear insulated glass. SF1 & SF2 are bullet resistant glass and security frames.

Q177: Can you clarify the washbay alternate? is it just the p52b walls, door 113b and the mezzanine for the gc?

A177: Walls/doors in wash bay location will be a part of Alt#01; finishes for wash bay walls, floor, clg will be as noted on A1.61PW. To clarify, if Wash bay alt is not taken these finishes will 'match' the adjacent 'Garage Rm 112' as noted on A1.61PW. All MEP appears to remain as shown on dwgs.

Q178: Drawing G3.00PW says GC to provide 6" concrete mechanical pad. Please provide size required.

A178: Note refers to Emergency Generator Pad Dtl on E2.0PW; contractor to coord with owner/vendor on size requirements for proper installation.

Q179: There is conflicting information on which Primes are responsible for site concrete pads, referencing SUMMARY OF MULTIPLE CONTRACTS - 9 (GC responsible for exterior pads, EC responsible for generator pads), SUMMARY OF MULTIPLE CONTRACTS - 13 (SC responsible for Concrete pads for sitework, Trash enclosure), RFI Q58, Q59 (EC responsible for generator pads), Q82 (SC responsible for generator par). Please provide who is responsible for each of the following: Police Gen. Pad Concrete - Police Gen. Pad/Trash Enclosure CMU Walls - Police Gen. Pad/Trash Enclosure Footers - Police Trash Enclosure Pad Concrete - Public Works Trash Enclosure Pad Concrete -

A179: GC is responsible for entire Generator and Dumpster pad enclosure

Q180: Is there a proposed well as part of this project? If so, which scope is responsible for the well construction?

A180: There is an existing well on the property that will serve the PW building for exterior non potable use only.

Q181: Floor Waterproofing - On the spec sheet it lists Noble Company (The); Nobleseal "Chloraloy 240", as the waterproofing membrane, where is that to be installed?

A181: Install tile per the TCA's " Handbook for ceramic Tile Installation" as noted in specs.

Q182: Landscape planting quantities - The quantities are off for the landscaping: Schedule has 6 River Birch (BN) and there are only 4 on the plan, schedule has 13 Red Chokeberry (AA) and there are 8 on the plan, schedule has 8 Bottlebush Buckeye (AP) and there are 7 on the plan, schedule has 21 Sweet Pepperbush (CA) and 15 on the plan and schedule has 51 Gro-Low Sumac (RA) and 46 on the plan. Please advise.

A182: The quantities shown on the plan are correct.

Q183: Painting - 1) In reference to Alternate #9, please confirm that Wash Bay 113 requires no painting. 2) In reference to the canopy on A501, please confirm if any painting is required.

A183: See response to Q177

Q184: Alternate #11 Ramp to House - Please confirm if there is a drawing with a detail showing the ramp that leads to the house.

A184: No detail is provided other than the asphalt paving and handrail detail. Elevations are labeled on Sheet 13 of the civil set identifying ramps and landing areas

Q185: I am looking to clarify extent of ceramic tile in restrooms. The restrooms and showers call for wall tile on the finish schedule. The elevations do not show wall tile on all walls just sink wall. The locker rooms do not call for ceramic wall tile on the finish schedule but elevation 8 on A5.00 shows tile. The plans call for ADA Transfer Type Shower unit .Is there no tile in showers? Again Elevation 8 On A5.00 Shows Shower Bench with ceramic wall Tile. Can you please clarify locations and Heights?

A185: See dwg A1.80 'Room Finish Schedule'; rooms with 'wall' tile will be full height. Shower rooms 018A & 014A correspond to dtl 8. Refer to dwg P1.0 for ada shower details

Q186: Any way you could post a final manual and final plan sets after all these addenda as there is a lot of back and forth between files to keep up with all of these revisions, on top of this not being the only bid we are working on. Just don't want to get confused.

A186: Final construction sets will be issued following bidding awards.

Q187:

- 1) In reference to Drawing 5/A4.01, the concrete footings are surrounded by stone and a foundation drain. Please confirm how much stone is required. We cannot locate a detail that calls out the amount of stone surrounding the footings in terms of depth and width. Refer to structural dwgs; coord w/ Geotech report
- 2) We tried to get a quote for the 4x4 10-gauge WWM shown on the concrete slab detail on sheet 21 of 23, but they don't seem to make a 10-gauge mesh in 4"x4". Would a 6" x 6" 8-gauge mesh be acceptable? It's the same steel area as a 4x4 10 would be. Similar to the Trash Enclosure detail on Sheet 22 of 23. The 6x6 8-gauge WWM substitution is acceptable
- 3) In reference to S1.00, the 4" slab on grade reinforcing is called out as 6x6 W1.6xW1.6 wire mesh. We are not familiar with 1.6 standard would be W1.4, W2.1, or W2.9. Should this be 1.4? W1.4 is structurally acceptable for the 4" slab on grade.

A187: See responses above

Q188: Section 33 30 00 -1.7 E. Valmatric or equal air valve Section 33 30 00 -1.7 F. 1500 Gallon Wastewater Storage Tank are called out in the specifications to be provided. Where are these items being installed. They are not shown in the construction details, shown on the utility plan, or shown on the HOP plans. Could you please advise where these items are being installed?

A188: The Valmatic air release valve is to be fitted at the highest point in the pressurized san. service pipeline to continually release unwanted air during system operation to protect against unwanted surges

Q189: The GC is not doing Sitework, therefore, why goes the GC need to complete the "Unit Prices" form? Please advise.

A189: A complete bid submission requires unit prices to be submitted

Q190: Sally Port Door - Is it coiling or Sectional? Drawings shows coiling, addendum 6 refers to it as sectional.

A190: Sally port is a coiling door. Refer to drawing A9.0 and coiling door specifications. Addendum #6 remote operators noted for Sally Port location still applies.

Q191: Utility Poles -The Site Construction Contract scope calls out, in line item 8, for the site contractor to relocate/install all utility poles. There are no relocations or installs shown on the plans. Please confirm there are no utility poles to be relocated or installed as part of this project.

A191: There are no utility poles to be replaced by the site contractor. The site contractor shall coordinate the replacement of the service pole with the Elec. Utility Company. The service pole shall be replaced by the electric utility company (Met-Ed)

Q192: Insulation - R-38 is not available in PSK material. Also PSK material only comes in 4' wide pieces. This would mean there would need to be additional labor to cut it down and do 2 layers of R19 which will get very costly. Would you consider R-38 FSK material which is readily available in 2' wide sections?

A192: Question is unclear; contractor to provide/install per contract documents.

Q193: Roof Drains - Q/A 111 on Addendum 06 states SC is responsible for all utilities within 5' of the building and the GC installs all fittings to connect at 5'. Some of the roof drain runs are within 5' of the building. Will this be the responsibility of the GC or will the SC have stub ups for the GC to tie in to?

A193: SC to provide all underground piping to 5' within building and GC is responsible for tying into stub ups.

Q194: Holding Tank - To confirm, the holding tank is only installed if alternate 1 is accepted and only collects from public works building trench drains and then is pumped out when its full?

A194: Confirmed

Q195: Haul spoils to Evans Site - You stated that prime contractors are to dump there spoils on the site contractors spoils to haul to the evans site. Can you provide us with a quantity of other prime contractors spoils to price? I'm assuming this quantity is not included in the roughly 3,600cy of spoils that the site contractor has to load and haul to the evans site.

A195: The 3,600 cubic yards of "spoils" is all excess excavated material generated from site excavation and grading. No other material is to be hauled and dumped at the Evan's Site.

Q196: Septic System Allowance - Is the site contractor responsible to price removing the existing septic system in the base bid? If so what is the point of the \$75,000 existing septic tank allowance?

A196: Yes include in base bid. The allowance is for additional unforeseen conditions for removal of the existing septic tank and will be used at the discretion of the Construction Manager.

Q197: I'm not seeing any specs for the Public Works Building trench drains, TD-1 & TD-2. Can you please advise?

A197: See response to Q161

Q198: Is there any more information on the water meter assemblies for both Admin building and PW building? The details aren't listing any model information.

A198: The water meter shall be supplied and installed by the water authority (AQUA)

