

**MAIN OFFICE RENOVATIONS
BERKS COUNTY INTERMEDIATE UNIT**

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This Addendum forms a part of the Contract Documents for the above referenced project; and hereby modifies and takes precedence over the original bidding documents as though originally included therein at length. Bidding contractors shall acknowledge receipt of this Addendum in the space provided on the Bid Form. **This Addendum consists of 5 pages plus attachments.**

CHANGES TO BIDDING REQUIREMENTS

- 2.1 Minutes from the Pre-Bid Meeting held on October 29, 2025, are issued herewith and shall become part of this Addendum.

CHANGES TO SPECIFICATIONS

2.2 Section 01 10 00 – Summary

- A. On Page 01 10 00 – 9, the date for Item 1.6.A.18.b, shall be revised to December 31, 2026. All other information shall be unchanged.

2.3 Section 07 54 23 – Thermoplastic-Polyolefin (TPO) Roofing

- A. On page 07 54 23 – 2, delete Item 1.7.B.1 in its entirety. Only Carlisle and Johns Manville are approved manufacturers for this Project.
- B. On page 07 54 23 – 4, at Item 2.2.B.1, delete the listed manufacturer and replace with “Carlisle; “Sure-Weld” or “Sure-Weld SAT” (Contractor’s option).
- C. On page 07 54 23 – 4, at Item 2.2.C.1, delete lines “a.” and “b.”
- D. On page 07 54 23 – 5, at Item 2.4.B.1.a, delete the listed manufacturer and product and replace with “Carlisle; “SecurShield.”
- E. On page 07 54 23 – 5, at Item 2.4.B.2, delete lines “a.” and “b.”
- F. On page 07 54 23 – 6, at Item 2.5.C.1.a, delete the listed manufacturer and product and replace with “Carlisle; “SecurShield HD Cover Board.”
- G. On page 07 54 23 – 6, at Item 2.5.C.1.b, delete lines “a.” and “b.”
- H. On page 07 54 23 – 6, at Item 2.6.A.1.a, delete the listed manufacturer and product and replace with “Carlisle; “Sur-Weld TPO Crossgrip Walkway.”
- I. On page 07 54 23 – 6, at Item 2.6.A.2, delete the phrase “the listed roof manufacturers” and replace with “Johns Manville.”

2.4 Section 22 40 00 – Plumbing Fixtures

- A. On page 22 40 00 – 4, delete Item 2.2.F in its entirety, and replace it with:

F. F6 – Sink:

1. Elkay single bowl model DRKAD222055(L)(R) type 304#18 stainless steel. 22"x19.5"x5 1/2" deep. Three faucet holes and rear offset drain. Provide front bubbler hole punch right or left with bubbler location coordinated with Owner. The Plumbing contractor shall make final connections and provide all required valves, drain, fittings, traps etc.
2. Faucet; T&S Brass model B-1142-04; 8-inch gooseneck with wrist blade handles, 1.5 gpm.

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3. Bubbler: Elkay model LK1141A flexi-guard safety bubbler.
4. Supplies: Chrome 1/4 turn angle supplies – FIP x slip-joint with check stops and loose key handle.
5. Drain; LKAD35 offset tailpiece and strainer basket.

B. On page 22 40 00 – 4, after Item 2.2.H.4 add the following:

5. Water Dispenser Kit: Deck mounted Everpure EV982010-75 long reach, 0.5 GPM.

C. On page 22 40 00 – 5, Item 2.2.J.1, delete referenced Manufacturer “Elkay” and replace with “Halsey Taylor”. The Model number and description shall remain the same.

2.5 Section 26 43 13 – Transient Voltage Surge Suppression

A. This Section shall be deleted in its entirety.

2.6 Section 28 31 00 – Intrusion Detection System

A. On page 28 31 00 – 1, Item 1.1.B, shall be deleted in its entirety.

2.7 Section 28 46 21 – Fire Alarm and Detection System

A. On page 28 46 21 – 1, Item 1.1.B, shall be deleted in its entirety.

2.8 Section 32 31 13 – Galvanized Chain Link Fences and Gates

A. This Section is hereby deleted as it no longer applies since the Reading Crest work has been eliminated from the Project.

CHANGES TO DRAWINGS

2.9 The following attached Sketches and Drawings dated 10.30.25 are hereby issued with this Addendum:

<u>Sketch</u>	<u>Reference</u>	<u>Description</u>
SKC-2	C-3	Asphalt Diversion Berm
SKC-3	C-5	Revised Detail to Picket Guards
SKC-4	C-7	Paving Reconstruction
SKC-5	C-6	Stair Tower Exit Door
SKA-5	A-12	Added Lights to Corridor 100E, Room 100F High NRC Acoustical Ceiling Tile
SKA-6	A-17	Revised Room Finish Schedule
SKA-7	A-17	Revised Room Finish Schedule
SKA-8	A-A6 & A-A7	Revised Dimensions for Door Alcoves to Room 312 & 313 and Kitchen 320B Chase
SKA-9	A-11	Roof Warranty
SKA-10	A-A1 & A-C1	Building Expansion Joint Location
SKA-11	A-A2 & A-C2	Building Expansion Joint Location
DWGP-1	—	Building Phasing Plan
DWGA-2	—	Code Notes
DWGA-3	—	Code Plans

2.10 Drawing C-3 – Construction Details

A. Remove Detail 4/C-1 in its entirety.

2.11 Drawing C-4 – Site Details

A. At Detail 5/C-4, the top note shall be revised to read “Refer to C Series Drawings for sign locations.”

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2.12 Drawing C-7 – 1:40 Paving and Striping Plans

- A. General Clarification: Refer to Sketch SKC-1 for concrete classifications near the playground area.
- B. At the Legend near the top of the Drawing, the two different hatches for sealcoating are hereby clarified to be the same. There are not two different types of sealcoating.

2.13 Drawing A-11 – 1/16" Roof Plan

- A. The title for Detail 7/A-11 shall be deleted and replaced with the following:

ROOF/WALL DETAIL AT EIFS

- B. The title for Detail 8/A-11 shall be deleted and replaced with the following:

ROOF/WALL DETAIL

2.14 Drawing A-14 – 3/32" Exterior Elevations – Main Office

- A. On "Exterior Elevations 2," the reference to "New Railings" at the right end of the building shall be changed to "Railing – Refer to Detail 11/C-5."
- B. On "Partial Exterior Elevation 6," remove the reference to Note 13 in a diamond.
- C. On "Exterior Elevation 1," on the far-right side of the elevation on the rightmost first-floor window, remove the reference to Note 6 in a square.
- D. In the "Masonry Restoration Notes," Item K shall reference Drawing A-20A, not A-24.
- E. In the "Keyed Elevation Notes," Note 6 shall be modified to read as follows: "Replace Existing Spandrel Glass with Clear Insulated Glazing Unit."

2.15 Drawing A-14A – 3/32" Exterior Elevations – Main Office

- A. At Detail 4/A-14A, the title is cut off, it should read, "Typical Exterior Wall Infill Detail @ EIFS."
- B. On "Exterior Elevation 1," on the first floor, left side of the three-story wing, remove the reference to Note 6 in a square.
- C. In the "Key Plan," the reference for Elevation 2 shall be pointing north, not east.
- D. On "Exterior Elevation 1," the single door in the center of the first floor of the three-story wing shall be noted as, "Hollow Metal Door and Frame (Painted)."

2.16 Drawing A-16 – Door Schedule

- A. In the Door 100F A row, in the Door material column, the reference to HM shall be changed to WD. This is an existing wood door.
- B. Door 312A, under the Door glass column, should read CL.

2.17 Drawing A-17 & A-18 – Room Finish Schedule – Main Office and Reading Crest

- A. Add "Note 1" in the remarks column for the following spaces:

- Room 220B
- Room 231
- Room 232C
- Room 232E
- Room 234L
- Room 305

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- B. The column labeled "Sheet Vinyl" under "Floors/Materials" shall be changed to "Resinous Flooring."
- C. At both locations for the General Notes in the schedule, add the following Note:
 - For bidding purposes, all areas to receive new flooring shall be assumed to be provided cementitious underlayment at a thickness of 1/4-inch.

2.18 Drawing A-19 – Floor Finish Plan

- A. General Clarification: In all areas where new chases are being constructed and no new flooring is shown, the existing flooring shall be patched to match the adjacent existing flooring materials.

2.19 Drawing A-A1 – 1/8" First Floor Plan – Unit A

- A. In Classrooms 126 and 127, the "Refer to Drawing" note in each room shall be revised to read "Refer to Drawing A-21..." The rest of the note shall remain as indicated.

2.20 Drawing A-B1 – 1/8" First Floor Plan – Unit B

- A. Reference Detail 2/A-B1, the reference to "Clear Laminated Insulated Glazing" shall be changed to read "Existing Glazing."

2.21 Drawing A-C3 – 1/4" Enlarged Plans and Elevations – Unit C

- A. Reference Detail 14/A-C3, the note "3/4" Quartz Counter on 3/4" Plywood" shall have the leader pointing to the countertop shown at 3'-6" height.

2.22 Drawing A-C4 – 1/4" Enlarged Plans and Elevations – Unit C

- A. One the "Enlarged Floor Plan – Unit C," add a room tag reading "Meeting Room / 111" to the plan.
- B. General Clarification: In all areas where there is a column surround, the wainscoting shall wrap the surround on all three sides. Corner guards are not required at the column surrounds.

2.23 Drawing A-C5 – 1/4" Enlarged Plans and Elevations – Unit C

- A. In Elevation 8, the door shown on the left side of the elevation shall be shown as full glass.
- B. General Clarification: In all areas where there is a column surround, the wainscoting shall wrap the surround on all three sides. Corner guards are not required at the column surrounds.
- C. One the "Enlarged Floor Plan – Unit C," at the elevations tags near the room tag, the marks for Elevations 10 and 11 shall be switched.

2.24 Drawing A-C6 – 1/4" Enlarged Plans and Elevations – Unit C

- A. General Clarification: In all areas where there is a column surround, the wainscoting shall wrap the surround on all three sides. Corner guards are not required at the column surrounds.

2.25 Drawing A-C7 – 1/4" Enlarged Plans and Elevations – Unit C

- A. In Seminar Room 221, at the elevations tags near the room tag, the marks for Elevations 2 and 4 shall be switched.
- B. General Clarification: In all areas where there is a column surround, the wainscoting shall wrap the surround on all three sides. Corner guards are not required at the column surrounds.

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2.26 Drawing A-C8 – 3/4" Wall Sections – Unit C

- A. Reference Section CB/A-C8, the top note that reads "See Detail -/C—" shall be deleted and replaced with the following: "Replace Wall Flashing Per Detail 1/A-C8."

2.27 Drawing P-B1 – First Floor Plan – Unit B – Plumbing

- A. Refer to Printing and Duplicating 135; it shall be understood, some of the larger Owner equipment will be stored along the outside wall and NW corner of the room. All Contractors shall be sure to take care to prevent damage in working around this equipment and coordinate final cleanout location with the Owner to ensure access without moving equipment in their final locations.
- B. At Corridor 130; Revise EWC plumbing fixture "F9" notation to read "F11."

2.28 Drawing H-B1 – First Floor Plan – Unit B – HVAC Ductwork

- A. Refer to Printing and Duplicating 135; it shall be understood, some of the larger Owner equipment will be stored along the outside wall and NW corner of the room. All Contractors shall be sure to take care to prevent damage in working around this equipment.

2.29 Drawing E-B2 – First Floor Plan – Unit B – Power

- A. Refer to Printing and Duplicating 135; it shall be understood, some of the larger Owner equipment will be stored along the outside wall and NW corner of the room. All Contractors shall be sure to take care to prevent damage in working around this equipment.

2.30 Sketch SKA-3 – Exterior Sign Attachment Detail (issued in Addendum No. 1)

- A. In Partial Exterior Elevation 1, the note stating, "New sign by Owner" shall be deleted and replaced with "New sign by GC." The same shall apply to the similar Note in Enlarged Sign Elevation 2 on this Sketch.

2.31 Sketch SKA-2 - Alternate #130 (issued in Addendum No. 1)

- A. Clarification: As noted in the lower right-hand corner of the Sketch as applying to Drawings A-21A and A-21B, this information applies not only to Room 102, but also to Rooms 103, 202, and 203 for similar conditions in these spaces.

END OF EMAIL ADDENDUM NUMBER TWO



PRE-BID MEETING MINUTES

PROJECT: Main Office Renovations
Berks County Intermediate Unit (BCIU)

MEETING DATE: October 29, 2025 @ 3:30 P.M.

ATTENDANCE:

Dr. Jill Hackman – BCIU
Eric Clemmer – BCIU
Matt Comfort – BCIU
Rob Rosenberry* – Fidevia
Philip Leinbach – AEM
Steve Smith – AEM
Chris Celmer* – Fidevia
John Michel* – Fidevia
Mark Binkley* – Fidevia
Madeline Landis – Fidevia
Kenny Arentz – CE
Dave Sassaman – CE
Dan Mooney – Power Component Systems
Jim Orth Jr. – Hirneisen Electric
Jordan Jurkowski – Hirneisen Electric
Chris Roche – Berkshire Mechanical
Timothy Gibble – Berkshire Mechanical
Tom Reed – Berkshire Mechanical/Denny's Electric
Mark Burkholder – Berkshire Mech./Denny's Electric
Charlie Cugz – Retro Environmental
Bryan Eschleman – Warko
Steve Loch – SMW LU#19
Laura Carpenter – Fairfield

Kevin McDevitt – Spectra
Karl Myers – H.B. Frazer
Bryan Anderson – H.B. Frazer
Josh Lorah – North Bay
Tom Thompson – North Bay
Noah Smith – Worth & Company
Stephanie Hollenbach – Hollenbach
Brody Longstaff – Cedar Electric
Giavanna Hunt – Davis Construction
Curt Leibold – Leibold
Nate Sohn – Dungan Restoration
Dave O'Brien – Dinosaur Demolition
Abe Brown – Net-Lion Communications
Gavin O'Neill – Empire
Chuck Lightcap – Empire
John McGinley – Neuber Env.
Steve Warnek – Balton
Connor Uhrig – Uhrig
Jeff Garner – Dolan
Ben Dhawan – Dolan
Dustin Rudolphi – D&M Construction
Chris Robinson – RAM Siding

*Indicates remote video call

ITEMS DISCUSSED:

1. Mr. Leinbach introduced the Owner's representatives and various Consultant representatives for the Project.
2. Bids are due on November 6, 2025, at 11:00 A.M. Bids are to be delivered to the BCIU Reception Desk at the Main Entrance (1111 Commons Blvd, Reading, PA 19605). Prevailing time for delivery of bids will be gauged according to the clock at the Reception Desk. All bidders are advised to deliver their bids in a timely manner. Bids received after this time are late and will not be considered.
3. All information on the Bid Form must be completed otherwise the Bid may be rejected as non-conforming. These items include but are not limited to, Unit Prices, Alternate Bids, Labor and Material Allowance values, receipt of addenda, Base Bid amount, Contract for which the Bid is being provided, etc. Clearly label each Bid submitted to comply with the information provided in the Bidding Documents. **For Contractors submitting more than one bid for separate prime contracts, each bid must be in a separate sealed envelope and appropriately identified.**

4. A response shall be provided for each Alternate Bid listed. Alternate Bids are inclusive of all costs of coordination, modifications, and adjustments that are required to incorporate the work of the Alternate Bid into the Project. Mr. Leinbach reviewed the various Project Alternates. Mr. Leinbach asked if there were any specific questions on the Project Alternates. The following questions were asked and answered:

Q: Alternate H140 is covered by a note on the Drawings. What is the extent of this alternate work?

A: Any existing ductwork that remains and is not replaced by the Work of the Contract shall be cleaned in accordance with Contract requirements. Addendum No. 1 included a link to a scanned set of Documents from the last major renovation to the building circa 2010. Contractors shall ascertain the required scope of work from field review and the reference drawings provided from the previous project.

Q: Does Alternate E2710 mean that no communications cabling is in the Base Bid?

A: No. The Base Bid includes providing all required communications cabling by a subcontractor/installer that meets the requirements of the Contract. This Alternate simply permits the Owner the opportunity to select this Alternate to have this work provided by Berks Western Telecom versus another subcontractor/installer selected by the Contractor.

5. There are several Unit Prices related to various wainscot assemblies. These are shown on Drawings A-C4 through A-C7. The Base Bid is for abuse-resistant wall panels system, Option #1 is for a wood system, and Option #2 is for a combination of wood and plastic laminate panels. The Unit Prices will allow the Owner the flexibility to change any of the rooms with these wainscot assemblies for the unit cost indicated in the Documents. There is no Alternate included in the Project for any change, only the variance between the related Unit Prices (1-48, 1-49, and 1-50).
6. All Labor and Material Allowances on the Bid Form and indicated on Drawings and in Specifications are in addition to work indicated in the Construction Documents. **The value of the Allowances is to be included in the Base Bid and any unused allowance, or portion thereof, will be credited to the Owner at the close of the Project.**
7. The Bid Form shall be submitted in triplicate. An original Bid Form has been given to each Prime Bidder registered with AEM Architects. Copies may be made but all signatures, seals, etc. must be original on all three copies including any required supporting Documents. The only alteration to any Bid Form shall be those directed in Addenda issued for this Project. Should a revision necessitate reissuance of any Bid Form in part or whole, all affected Registered Bidders will receive the updated form or portion thereof.
8. It is required that all Bidders register their intent to bid with AEM Architects. All registered Bidders will receive an official Bid Form and will be on the addenda distribution list. When registering, it is the Bidder's responsibility to identify which Contract(s) they are registering to bid.
9. Bidders obtaining their documents from a source other than AEM Architects do so at their own risk. The Owner and AEM Architects will not be responsible for incomplete or inaccurate information which these Bidders may base their bids upon. Should a bid be submitted on forms other than those provided by AEM Architects as part of the Bidding Documents or if they are submitted on an altered Bid Form, the Bid will be rejected.

10. All addenda for the Project will be issued electronically via email. Bidders are required to provide AEM Architects with the appropriate email address to ensure receipt of addenda. Bidders shall confirm receipt of all addenda with AEM Architects.
11. The Project shall be bid as indicated in the Bidding Documents and subsequent addenda. Voluntary alternate bids will be ignored and will cause a bid to be rejected and deemed nonresponsive.
12. Per state law and in accordance with the policies of the BCIU, all Contractors are required to provide child abuse background checks (Act 151) and criminal history reports (Acts 34 and 114) for all personnel working on the construction site at any time. No Contractor, or any of its employees or subcontractors, will be permitted to work on site until clearances have been reviewed and accepted by the Owner. All policies and BCIU procedures shall be explicitly followed. A copy of the BCIU policy for clearances is provided with the Specifications.
13. All Contractors shall comply with the Pennsylvania Public Works Employment Verification Act. Contractors shall submit a "Public Works Employment Verification Form" to the Owner through the Architect at the same time when performance and payments bonds are submitted. Submission of this form is a precondition of the Contract being awarded and executed. These requirements apply to all employees hired by the Contractors and Subcontractors regardless of whether the employee will be working onsite or offsite. Subcontractors will not be granted access to the site until their "Public Works Employment Verification Form" is submitted.
14. This is a prevailing wage project, and the wage rates are included in the Specifications.
15. The Owner will be applying for and purchasing the building, plumbing, mechanical and electrical permits issued by Muhlenberg Township. Each Contractor is responsible to provide any additional information required by the municipality prior to or precedent to issuance of the permit(s). All contractors are responsible to purchase and obtain any other permits, contractor licenses, certifications, etc., required by Muhlenberg Township relating to their portion of the work.
16. A Contractor's Statement of Qualifications (AIA Document A305 2020, including Exhibits A through E) is required to be submitted (one copy) by the Bidder along with its Bid. The fully executed and notarized statement shall be provided with Project-specific information. A generic statement is not acceptable.
17. All questions regarding the Project shall be submitted in writing via email (copied to Fedevia) and a written response will be provided in a timely manner. Questions pertaining to the work of one of AEM's Consultants should be directed to the appropriate Consultant in writing with a copy to AEM and Fedevia:

AEM Architects:

Philip Leinbach (pmleinbach@aem-arch.com)
Steve Smith (slsmith@aem-arch.com)

Consolidated Engineers:

Chris VanCampen (ChrisV@cemec.com)
Adam Moser (adamm@cemec.com)
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WZG Structural Consulting:

Natalie Bird (nwilliams@wzgstructural.com)
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Pre-Bid Meeting Minutes
Main Office Renovations
Berks County Intermediate Unit
October 29, 2025

Wilkinson Design Group:	Mike Sodl (msodl@wilkdesgrp.com)
Corsi Associates:	Kevin Corsi (kevin.corsi@corsiassociates.com)
	Jeff Grimes (jeff.grimes@corsiassociates.com)
Owner's Representative:	Chris Celmer (ccelmer@fidevia.com)
	John Michel (jmichel@fidevia.com)
	Madeline Landis (mlandis@fidevia.com)

The deadline for RFI is the close of business on November 3, 2025.

18. The site and building will be open to bidders immediately following the Pre-Bid Meeting.
19. Access to the building and grounds shall be coordinated through Mr. Eric Clemmer. Access will be available from 7:00 A.M. to 3:00 P.M. (access outside these hours is also possible when it can be accommodated by the Owner). Mr. Clemmer shall be given adequate notice (minimum 48 hours) to provide accommodations for contractor access to the building or site. Contractors seeking access to the building/site without prior approval will be denied access. Mr. Clemmer may be reached at (610) 587-2433. All Bidders are required to visit the Project Site during the Bid review. Contractors not listed as attending the Pre-Bid Meeting shall ensure this mandatory visit is recorded with the Owner.
20. Contractors are required to review all Bidding Documents to determine their complete scope of Work. Any issues requiring clarification shall be brought to the attention of the Architect immediately.
21. CAD files are available only from AEM Architects to the successful low Bidders. Fees and terms of use are outlined in the General Conditions of the Contract. No CAD files will be made available during bidding.
22. The schedule and phasing plan narrative for the Project is included in Section 01 10 00 "Summary". Every Bidder, by submitting a Bid, indicates that they understand and commit to these schedule requirements and that their Bid includes all costs necessary, including premium time, to meet this schedule. Drawing PH-1 will be reissued on Addendum No. 2 as it was discovered some layers had inadvertently been turned off.
23. The anticipated timeline for the Project to commence is as follows:

Receive Bids: November 6, 2025
Owner reviews Bids and authorizes issuance of the Letters of Intent: November 21, 2025
Issuance of the Notice to Proceed: Early December
Work commences on Project Site: January 5, 2026
Substantial Completion Date: March 19, 2027, or December 31, 2026 depending on Alternate selections.
24. Liquidated damages are as listed in Division 01 Section "Summary".
25. Requests for substitutions shall be made in writing and submitted to the Architect through a Prime Bidder no later than 10 days prior to receipt of bids. The last day for receipt of substitution requests was the close of business on October 27, 2025. Bids shall be based solely upon those items that have been reviewed and subsequently approved as an equal substitution by the Architect. A Bid based on a substitution that has not been approved and noted in an Addendum does not meet the requirements of the Contract Documents and will be declared non-responsive.

26. Upon receipt of Notice to Proceed, Contractors shall review their procurement schedule with all subcontractors and shall advise the Architect within 30 days of any delivery issues that may be realized during the Project based upon the Project Schedule.
27. Where deemed reasonable by the Architect and Owner, Contractors may be granted permission to purchase the materials and equipment in bulk shipments and store them off site until the Work requires them to be delivered to the Project. To be paid for stored materials, the procedures in the "Payment Procedures" Section of the Specifications and the Contract requirements must be followed explicitly, or payment will not be authorized. The Owner and/or its Representative must be given access to view the quantity and type of materials or equipment that are being stored and for which payment is being sought at any time with no advance notice.
28. Policies concerning the collation and submission of Product Data, Shop Drawings, Payment Applications, inspections, etc., are outlined in the Specifications. A Submittal Schedule and Testing Schedule shall be developed by each Contractor immediately after Notice to Proceed. Submittals must be carefully reviewed prior to being submitted to the Architect. Contractors shall use the Submittal Cover Sheet included in the Specifications for all submittals and shall certify the submittal does not deviate from the Project requirements as indicated in the "Submittal Procedures" Specification Section. Submittals not having been reviewed thoroughly in the opinion of the Architect will be returned without review. All costs and delays associated with these submittals will be the responsibility of the offending Contractor.
29. Where a Basis of Design product is listed in a Specification, a product from a listed acceptable manufacturer may be submitted as long as the product meets or exceeds the published design and performance data of the Basis of Design product. The Contractor is responsible to confirm compliance prior to making the submittal for the product.
30. Mockups shall be provided as indicated in the individual Specification Sections. Contractors shall plan the installation of mockups in accordance with the Project Schedule and shall allow enough time for the mockup installation to be reviewed by the Architect and Owner's Representative prior to the work being scheduled to start. It shall be assumed that mockups will be reviewed on a scheduled job conference day.
31. Pre-installation meetings required by the individual Specification Sections shall be held on site with the Owner's Representative present in advance of the specific work starting. Where the Architect is noted to be in attendance, the pre-installation meeting shall be held on a scheduled job conference day. The Prime Contractor responsible for the pre-installation meeting shall create minutes of the meeting and provide copies to the Architect and Owner's Representative.
32. Testing for all quality control and code compliance shall be the responsibility of the trade requiring the same.
33. Dust curtains and temporary partitions shall be installed where work areas meet occupied areas. If Contractor fails to maintain temporary facilities and controls, the Owner reserves the right to immediately augment the provided temporary facilities and back charge the offending Contractor for all costs including cleanup costs.
34. Use of the elevators is permitted only when necessary and in accordance with requirements noted for protection in Division 01 Section - Temporary Facilities and Controls. The General Contractor shall include in its Bid all costs to remove and reinstall (in a like-new condition) a complete window assembly

on the west side of the third floor to be used for removal of demolished material, equipment, debris, etc., and for bringing in new materials, equipment, etc., until the time the space must be permanently conditioned for the completion and protection of finishes. The elevator is only permitted for use once the window is reinstalled and only when approved in advance by the Owner.

35. Selective demolition relative to the building and site elements is the responsibility of the Contractor indicated to perform the same. The disconnection of electrical, plumbing, HVAC components shall be by that specific trade as required to accommodate the work of any other Contractors involved with demolition affecting plumbing, HVAC or electrical components. All Contractors shall review the entire set of Bidding Documents to determine the scope of their responsibility with respect to demolition.
36. Any work involving lifting material over the existing building shall be performed during second shift hours. Work involving excessive noise and systems shutdowns shall be scheduled with the Owner's Representative and shall be performed during second shift hours. All work indicated on the plans as being second shift hours shall be performed between 4:00 P.M. and 12:00 A.M.
37. Contractor's supervision and coordination shall include advance review of existing conditions at least five days prior to the work of any phase commencing during normal or second shift hours. Failure to review existing conditions thoroughly prior to starting any work will not be a cause for an extension of time request.
38. TPO roofing subcontractor must certify in writing that they are a "Contractor in good standing" from the following roofing manufacturers and they shall provide documentation identifying the rating from the manufacturer they intend to supply the roof system material. Ratings are as follows:

Carlisle: Carlisle Inspection rating of 9.5 or better.
Johns Manville: Peak Advantage Contractor with a Quality Multiplier rating greater than 1.

The existing roofs are Carlisle and Johns Manville warranted systems and work provided shall be by one roofing subcontractor that meets the above certification requirements for both manufacturers. No other manufacturers will be considered. A keyplan will be issued in Addendum No. 2 showing areas of warranted roofing systems.
39. The roof replacement at the existing canopy is to be a total tear-off and replacement in conjunction with the added area of new roof. The new roofing at this location shall be provided by either Carlisle or Johns Manville in accordance with the Specifications. No other manufacturers will be permitted.
40. A total system warranty is required with a 72-mph wind speed rating.
41. The Construction Documents indicate a tapered insulation layout. The tapered insulation layout proposed by the Contractor shall not compromise existing flashings and curb heights.
42. The door hardware supplier shall confirm that all hardware that connects to the access control system shall be compatible with the Owner's existing access control devices and the Electrical Contractor's access control work.
43. The GC is responsible for hiring an Independent Architectural Hardware Consultant to inspect the door hardware installations for the Project. The Independent Architectural Hardware Consultant shall provide a deficiency report for the corrective work that is required. The Independent Architectural Hardware Consultant shall not be the door hardware supplier.

44. All site work and storm water work shall be the responsibility of the General Contractor unless noted otherwise.
45. The Subcontractor responsible for the grass installation shall also provide the maintenance of the grass from the time of planting through the maintenance period indicated in the Specifications. The installing subcontractor shall solely be responsible for the success of the grass and is expected to provide water, fertilizer, weed control, nutrients and reseed the grass as required during the maintenance period. If at the expiration of the maintenance period the quality of the grass does not meet the definition of satisfactory turf in the Specifications, the Subcontractor shall continue to maintain the grass until it is deemed to be satisfactory at no cost to the Owner. The General Contractor shall be responsible for the Architects costs to review the grass beyond the end of the maintenance period.
46. Printing and Duplicating Room 135 requires work to replace a portion of underground sanitary piping. The Contractors shall plan their respective work to accommodate large pieces of printing equipment that will remain in this space located along the outside wall. The Owner will place and cover this equipment until the space is completed. All Contractors will need to take care to protect this equipment as they work. The respective trade(s) responsible for temporary heat, cooling, ventilation, and humidity control shall consider this responsibility and include all related costs as required by Division 01 Section Temporary Facilities and Controls.
47. Eastern Air Balance Corporation is the Commissioning Consultant for the Project. They will be providing testing, adjusting, and balancing services for the Plumbing and HVAC air and hydronic systems, and will perform Plumbing, HVAC, and Electrical Systems Commissioning. The Plumbing and HVAC Contractors do not need to carry the cost of air and hydronic balancing in their Bids for this Project.
48. All Bidding Plumbing, HVAC and Electrical Prime Contractors as well the ATC Subcontractor shall understand the Commissioning Consultants responsibilities for this Project and shall execute their work in a manner that allows the Commissioning Consultant time to complete their work by the scheduled date of Substantial Completion.
49. All cutting and patching work on the interior of the building is by the Contractor requiring the same unless noted otherwise.
50. Post Meeting Clarification: The Owner will purchase Property Insurance as indicated in the A101 Exhibit A, Section A.2.3.1. Contractors are responsible for providing coverages as indicated in Section A.3.
51. Dr. Hackman thanked the Bidders for a great turnout and explained the need for the Project and the importance of it for the students and schools of Berks County.
52. Mr. Clemmer also commented on the great turnout and emphasized the importance of meeting the milestone dates in the Phasing provided in the Documents. It is critical that Contractors include all costs and work to maintain and meet these dates as classroom space must be open usable for the next school year that starts at the beginning of August. The phasing flow is set to ensure this can be achieved.
53. Mr. Celmer (via Zoom) echoed Dr. Hackman's and Mr. Clemmer's comments and noted Fidevia's appreciation to be a part of the Owner's team.

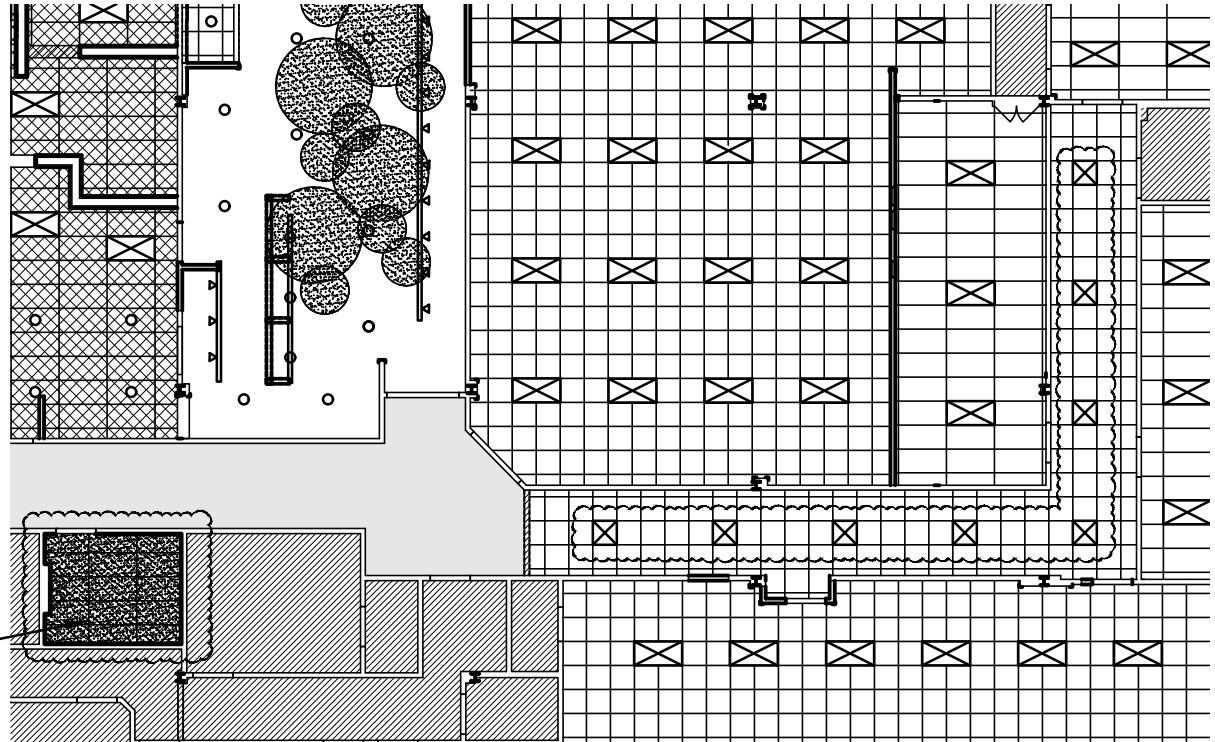


Pre-Bid Meeting Minutes
Main Office Renovations
Berks County Intermediate Unit
October 29, 2025

54. Mr. Leinbach opened the meeting for questions:
55. Q: The deadline for RFI was noted as being 11/3/25. Will this provide adequate time for a response if bids are due on 11/6/25?
- A: AEM has planned to issue a clarifying Addendum on 11/4/25 in addition to Addendum No. 2 scheduled to be issued on 10/30/25. There are no plans to move the current due date for Bids. If an issue arises that necessitates this, all Bidders will be advised accordingly.
56. Q: Regarding the earlier question about Alternate E2710, what differentiates between the Owner and Contractor work if the Alternate is/is not taken.
- A: The communications cabling work in the Contract does not change whether the Alternate is or is not accepted. Only the installer would change to Berks Western Telecom if the Alternate is selected. The scope of work is still under the Electrical Contract in either scenario.
57. Q: Some underslab piping replacement was noted. How are bidders to know the extent and need of this Work?
- A: The Owner had all sanitary piping video-inspected during design, and the Owner, along with the design team, are confident that the extent is accurately shown on the plumbing documents.
58. Q: Who does the BCIU currently use for its card access vendor?
- A: Berkshire Systems Group is the current vendor and the system provided is "Open Options – DNA Fusion."

END OF PRE-BID MEETING MINUTES

2 x 4 HIGH NRC ACOUSTICAL CEILING TILE



ADDED LIGHTS TO CORRIDOR 100E. ROOM 100F HIGH NRC ACOUSTICAL CEILING TILE.

REFERENCE DRAWING: A-12

ROOM FINISH SCHEDULE - MAIN OFFICE BUILDING																																						
ROOM NUMBER	ROOM DESCRIPTION	FLOORS								BASES		WALLS							CEILINGS										REMARKS	ROOM NUMBER								
		MATERIALS								MATERIALS		MATERIALS						FINISH		MATERIALS					FINISH						HEIGHT							
		LVT	HVT	WALK-OFF CARPET	CARPET	SEALED CONCRETE	RESINOUS FLOORING	EXISTING CONCRETE	RESINOUS EPOXY	VCT	RUBBER BASE 4"	HVT COVE BASE	6" RESINOUS EPOXY COVE		GYP SUM BOARD	CONCRETE BLOCK	FRP	EXISTING CONC. BLOCK	EXISTING GYP SUM BOARD	EXISTING CERAMIC TILE	SOUND PANELS	PAIN T					ACOUSTICAL CEILING TILE	EXPOSED STRUCTURE	GYP SUM BOARD					PAIN T				
		1	2	3	4	5	6	7	8	9	1	2	3	-	1	2	3	4	5	6	7	P	-	-			1	2	3			-	-	P	-	-	-	-
100F	APPLICATION ROOM	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	7	-	-	-	-	-	-	1	-	-	-	-	-	-	-	-	EXISTING	NO WORK	100F	
100D	CORRIDOR	-	2	-	-	-	-	-	-	1	-	-	-	-	-	-	-	5	-	-	P	-	-	-	1	-	3	-	-	P	-	-	-	-	EXISTING	NOTE 1	100D	
100E	CORRIDOR	-	2	-	-	-	-	-	-	1	-	-	-	-	-	-	-	5	-	-	P	-	-	-	1	-	3	-	-	P	-	-	-	-	EXISTING	NOTE 1	100E	
102	MEN	-	-	-	-	6	-	-	-	-	3	-	-	-	3	-	-	-	-	-	-	-	-	1	-	-	-	-	-	-	-	-	-	EXISTING	ALTERNATE 130	102		
103	WOMEN	-	-	-	-	6	-	-	-	-	3	-	-	-	3	-	-	-	-	-	-	-	-	1	-	-	-	-	-	-	-	-	-	EXISTING	ALTERNATE 130	103		
103A	TOILET	-	-	-	-	6	-	-	-	-	3	-	-	-	3	-	-	-	-	-	-	-	-	1	-	-	-	-	-	-	-	-	-	EXISTING	ALTERNATE 130	103A		
107	VESTIBULE	-	-	3	-	-	-	-	-	1	-	-	-	-	-	-	-	5	-	-	P	-	-	-	1	-	-	-	-	-	-	-	-	-	9'-0"	-	107	
202	MEN	-	-	-	-	6	-	-	-	-	3	-	-	-	3	-	-	-	-	-	-	-	-	1	-	-	-	-	-	-	-	-	-	EXISTING	ALTERNATE 130	202		
203	WOMEN	-	-	-	-	6	-	-	-	-	3	-	-	-	3	-	-	-	-	-	-	-	-	1	-	-	-	-	-	-	-	-	-	EXISTING	ALTERNATE 130	203		
215BA	PANTRY	-	-	-	-	6	-	-	-	-	3	-	-	1	-	-	-	-	-	-	-	-	-	1	-	-	-	-	-	-	-	-	-	EXISTING	ALTERNATE 130	215BA		
215BB	TOILET	-	-	-	-	6	-	-	-	-	3	-	-	-	-	-	-	-	-	-	-	-	-	1	-	-	-	-	-	-	-	-	-	EXISTING	ALTERNATE 130. NOTE 2	215BB		
233	OFFICE	-	-	-	4	-	-	-	-	1	-	-	-	1	-	-	-	5	-	-	P	-	-	-	1	-	-	-	-	-	-	-	-	8'-6"	NOTE 1	233		
GENERAL NOTES:																	KEYED ROOM FINISH SCHEDULE NOTES:																					
- THE ROOM FINISH SCHEDULE INDICATES PRIMARY FINISHES, MATERIALS, SUBSTRATES, ETC. IN A SPECIFIC ROOM OR AREA. ALL DRAWINGS (DETAILS, ELEVATIONS, PLANS, ETC.) AND SPECIFICATIONS SHALL BE REVIEWED TO CORRELATE THE COMPLETE EXTENT OF WORK REQUIRED FOR EACH AREA OR ROOM.																	NOTE 1: PATCH TO MATCH EXISTING FINISHES AS NEEDED.																					
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- ALL WALL AND CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED RATING OF 450 OR LESS AND A FLAME SPREAD OF 25 OR LESS IN ACCORDANCE WITH ASTM E84.																																						

ROOM FINISH SCHEDULE - MAIN OFFICE BUILDING																																							
ROOM NUMBER	ROOM DESCRIPTION	FLOORS			BASES		WALLS					CEILINGS					REMARKS					ROOM NUMBER																	
		MATERIALS			MATERIALS		MATERIALS			FINISH		MATERIALS		FINISH									HEIGHT																
		LVT	HVT	WALK-OFF CARPET	CARPET	SEALED CONCRETE	RESINOUS FLOORING	EXISTING CONCRETE	RESINOUS EPOXY	VCT	RUBBER BASE 4"	HVT COVE BASE	6" RESINOUS EPOXY COVE		GYP SUM BOARD	CONCRETE BLOCK	FRP	EXISTING CONC. BLOCK	EXISTING GYP SUM BOARD	EXISTING CERAMIC TILE	SOUND PANELS			P					ACOUSTICAL CEILING TILE	EXPOSED STRUCTURE	GYP SUM BOARD				P				
		1	2	3	4	5	6		8	9	1	2	3	-	1	2	3	4	5	6	7			P	-	-													

234L	IT STORAGE	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	EXISTING	NOTE 1	234L
240	EARLY CHILDHOOD AND SCHOOL SERVICES	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	EXISTING	NO WORK	240
240A	OFFICE	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	EXISTING	NO WORK	240A
240B	OFFICE	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	EXISTING	NO WORK	240B
240C	OFFICE	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	EXISTING	NO WORK	240C
240D	OFFICE	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	EXISTING	NO WORK	240D
240E	OFFICE	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	EXISTING	NO WORK	240E
240F	OFFICE	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	EXISTING	NO WORK	240F
240G	OFFICE	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	EXISTING	NO WORK	240G
240H	OFFICE	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	EXISTING	NO WORK	240H
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240M	OFFICE	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	EXISTING	NO WORK	240M
241	ECSS DIRECTOR	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	EXISTING	NO WORK	241
241A	OFFICE	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	EXISTING	NO WORK	241A
241B	OFFICE	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	EXISTING	NO WORK	241B
241C	OFFICE	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	EXISTING	NO WORK	241C
242	CONFERENCE	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	EXISTING	NO WORK	242
243	MECHANICAL	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	EXISTING	NO WORK	243
244	STORAGE	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	EXISTING	NO WORK	244
245	WORKROOM	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	EXISTING	NO WORK	245

GENERAL NOTES:

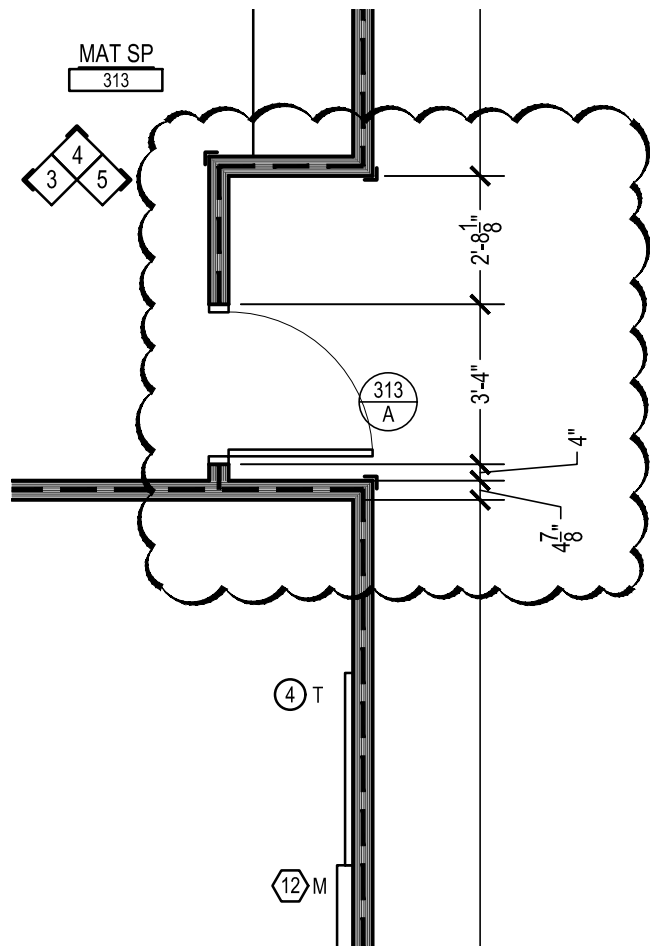
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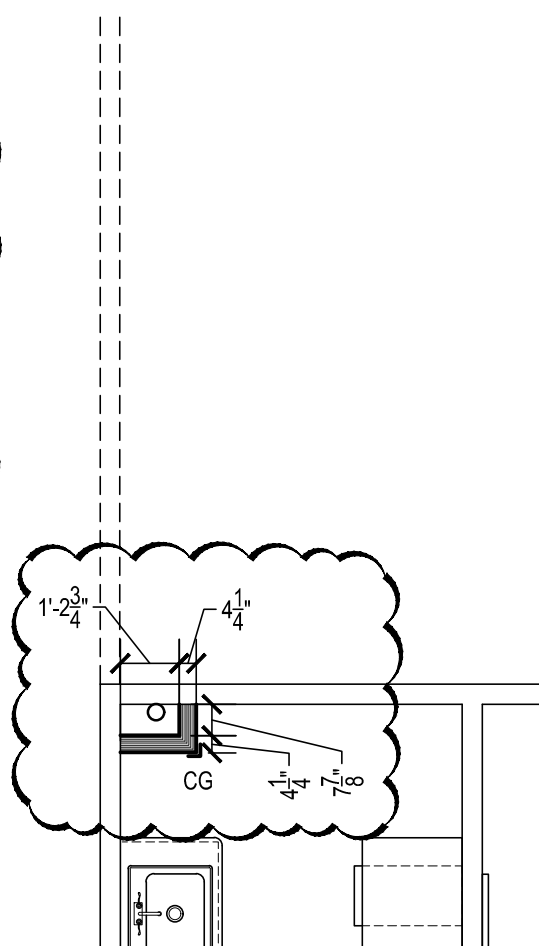
KEYED ROOM FINISH SCHEDULE NOTES:

NOTE 1: PATCH TO MATCH EXISTING FINISHES AS NEEDED.
NOTE 2: THIS ROOM SHALL INCLUDE CERAMIC WALL TILE IN LIEU OF FRP.



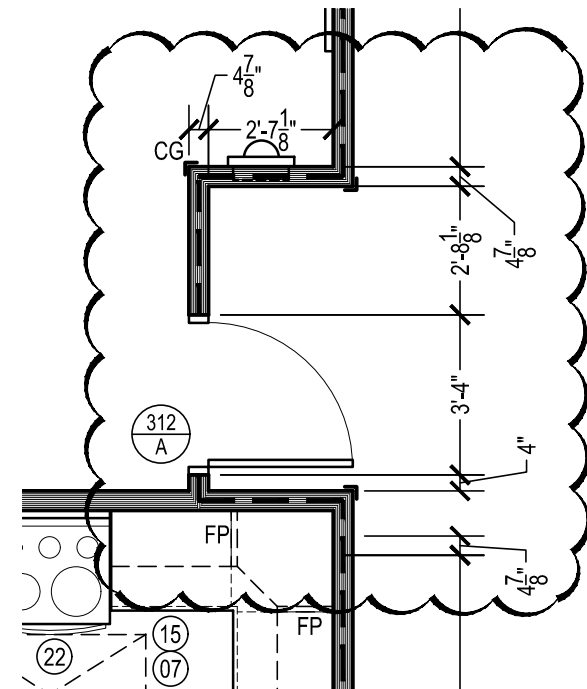
MAT SP 313 FLOOR PLAN

SCALE: 1/4" = 1'-0"



KITCHEN 320B FLOOR PLAN

SCALE: 1/4" = 1'-0"

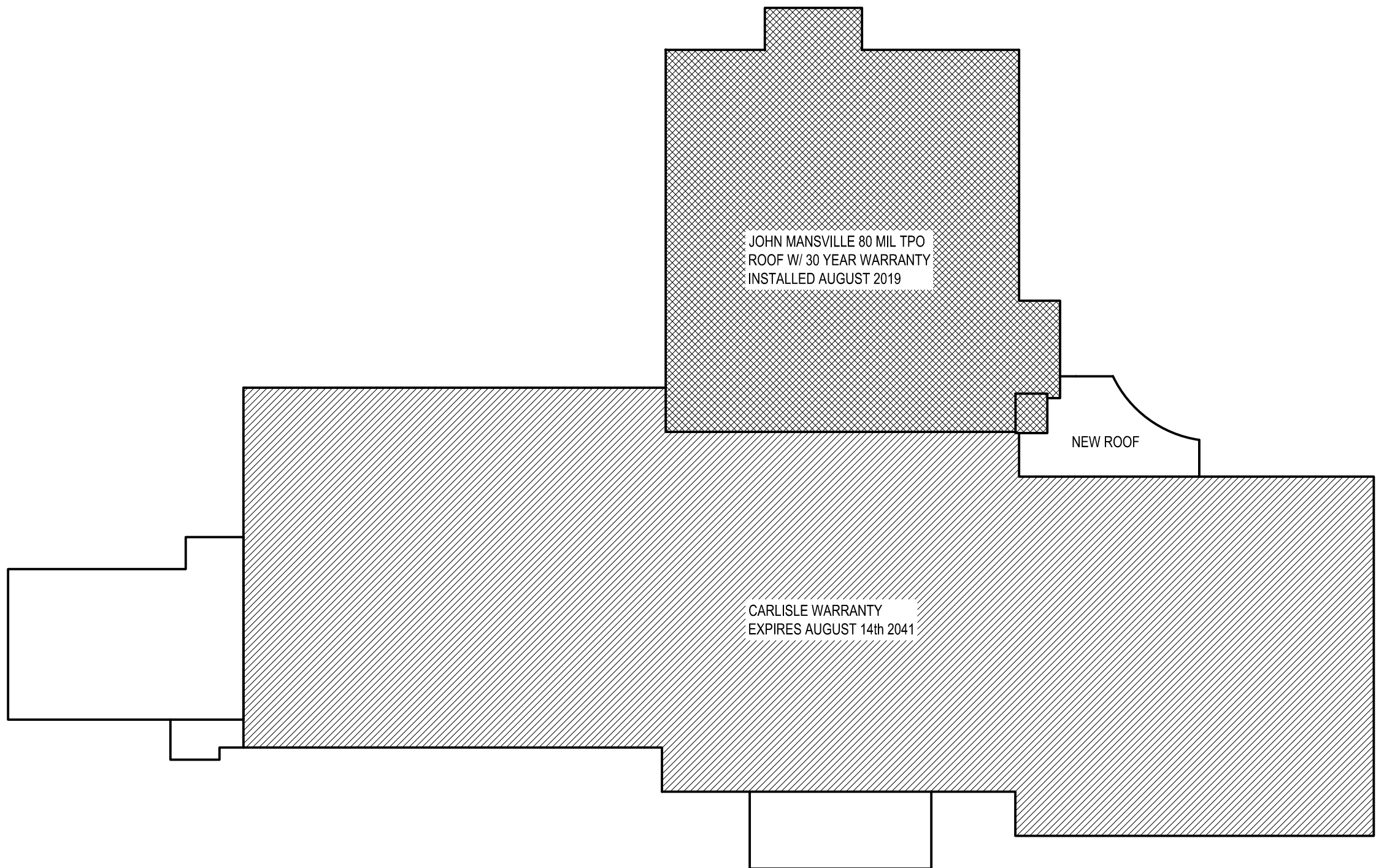


PAL 312 FLOOR PLAN

SCALE: 1/4" = 1'-0"

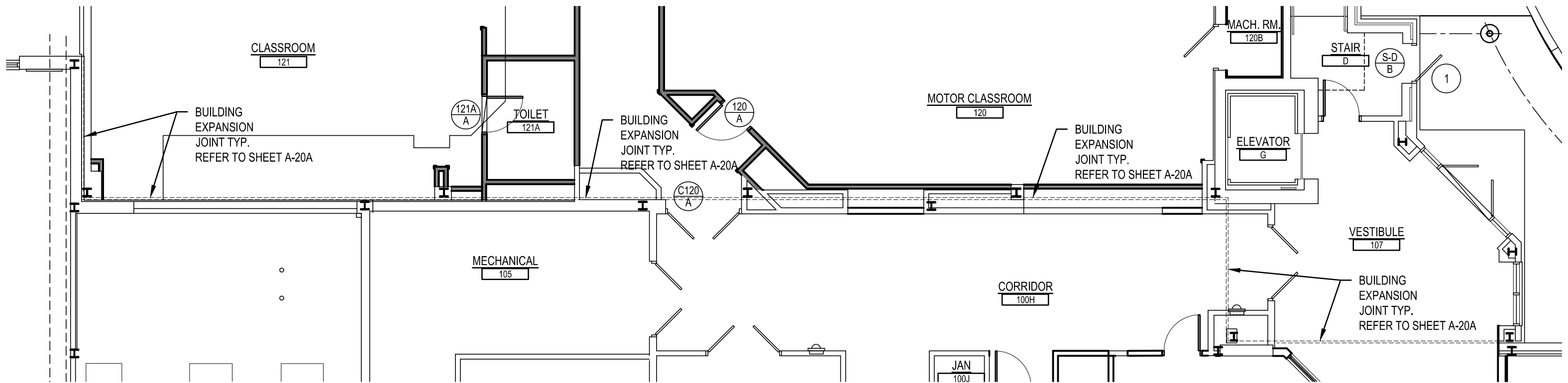
REVISED DIMENSIONS FOR DOOR ALCOVES TO ROOM 312 & 313 AND KITCHEN 320B CHASE

REFERENCE DRAWING: A-A6 & A-A7



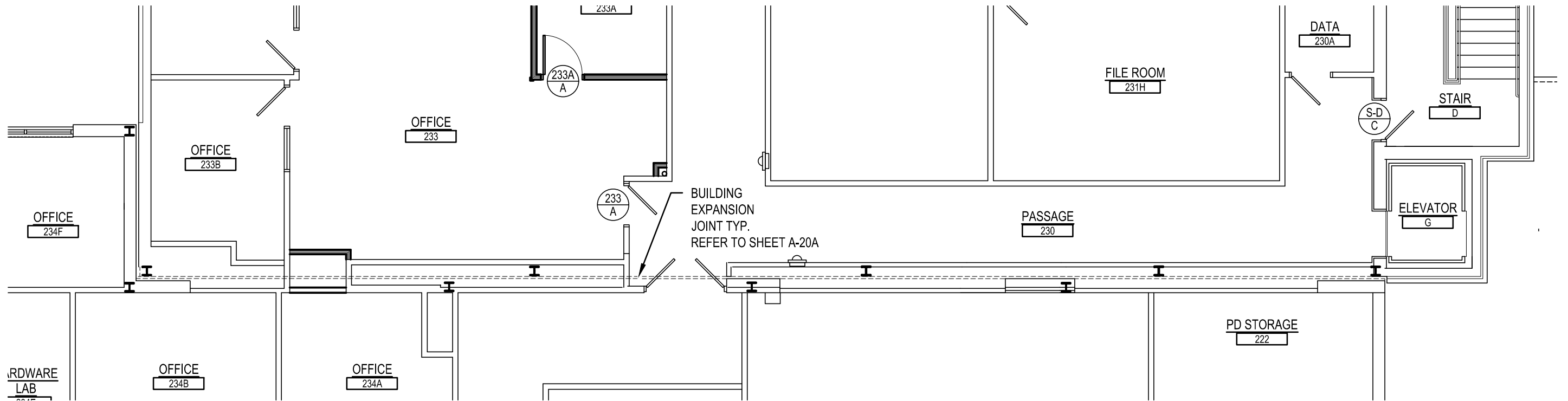
ROOF WARRANTY

REFERENCE DRAWING: A-11



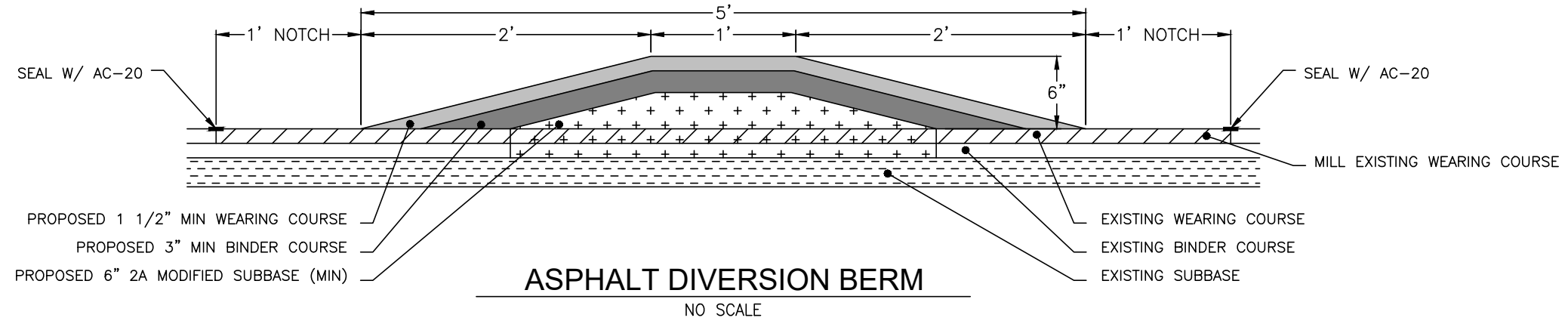
BUILDING EXPANSION JOINT LOCATION

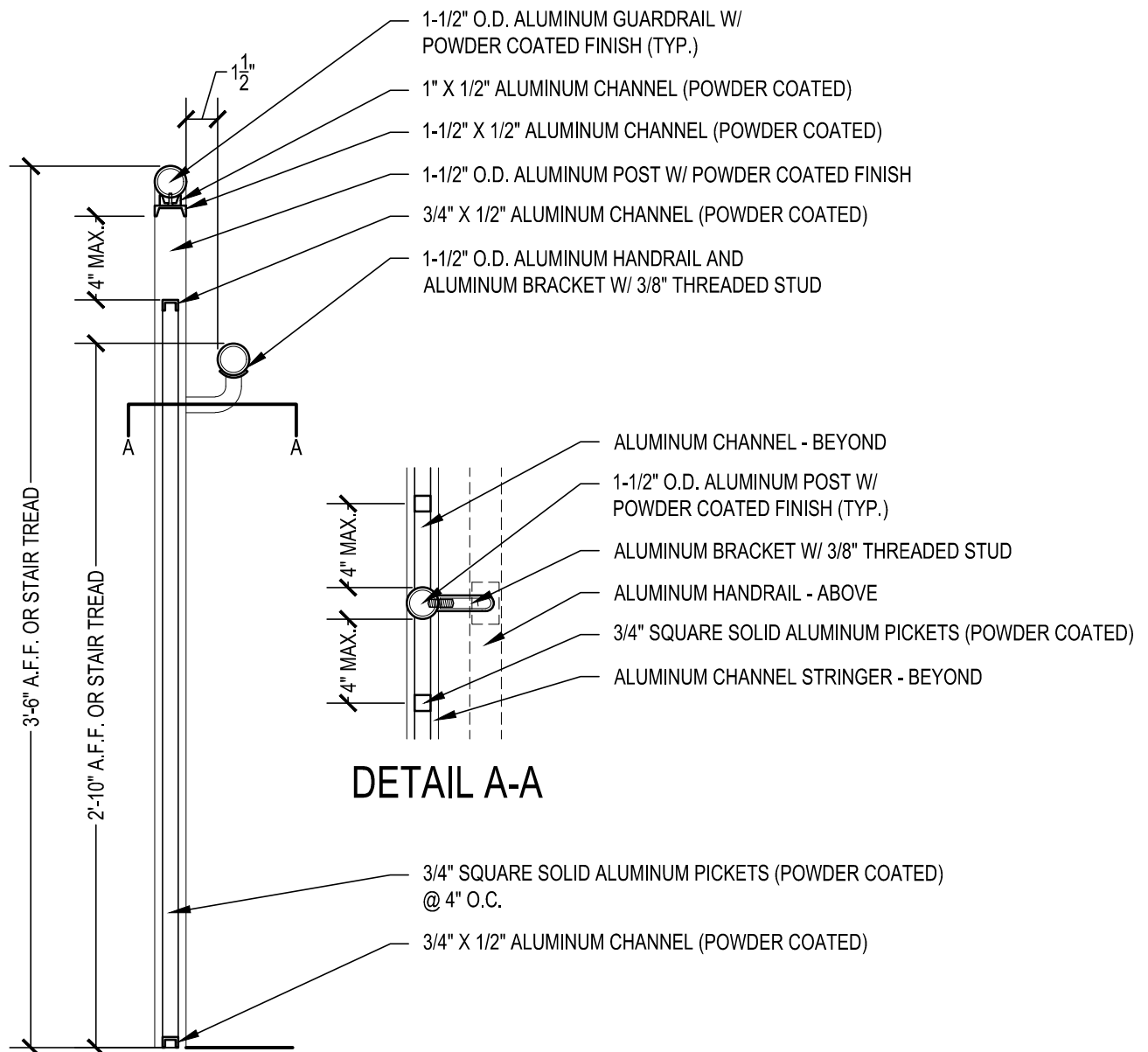
REFERENCE DRAWING: A-A1 & A-C1



BUILDING EXPANSION JOINT LOCATION

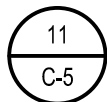
REFERENCE DRAWING: A-A2 & A-C2





NOTE:

ALL ALUMINUM RAILINGS, GUARDRAILS, POSTS, ETC. SHALL HAVE
A POWDER COATED FINISH.



TYPICAL DETAIL AT PICKET GUARD / HANDRAIL

SCALE: 1-1/2" = 1'-0"

REVISED DETAIL TO PICKET GUARDS

REFERENCE DRAWING: C-5

AEM ARCHITECTS INC.

3700 PERKIOMEN AVENUE, READING, PA 19606-2795
Phone: 610.779.3220 Fax: 610.779.9022 www.aem-arch.com

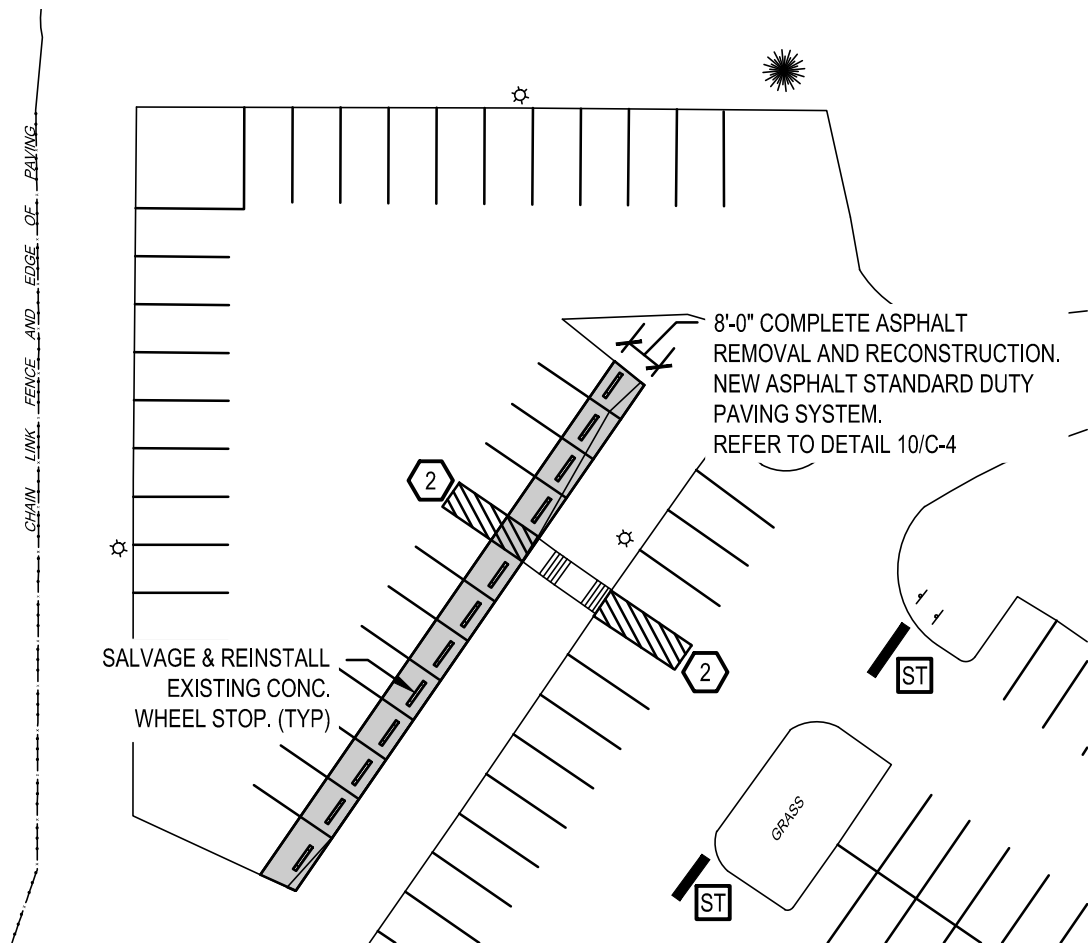
RENOVATIONS TO BCIU MAIN OFFICE
BERKS COUNTY INTERMEDIATE UNIT 14
1111 COMMONS BLVD, READING, PA 19605

JOB NO.: 24015.00

DATE: 10.30.25

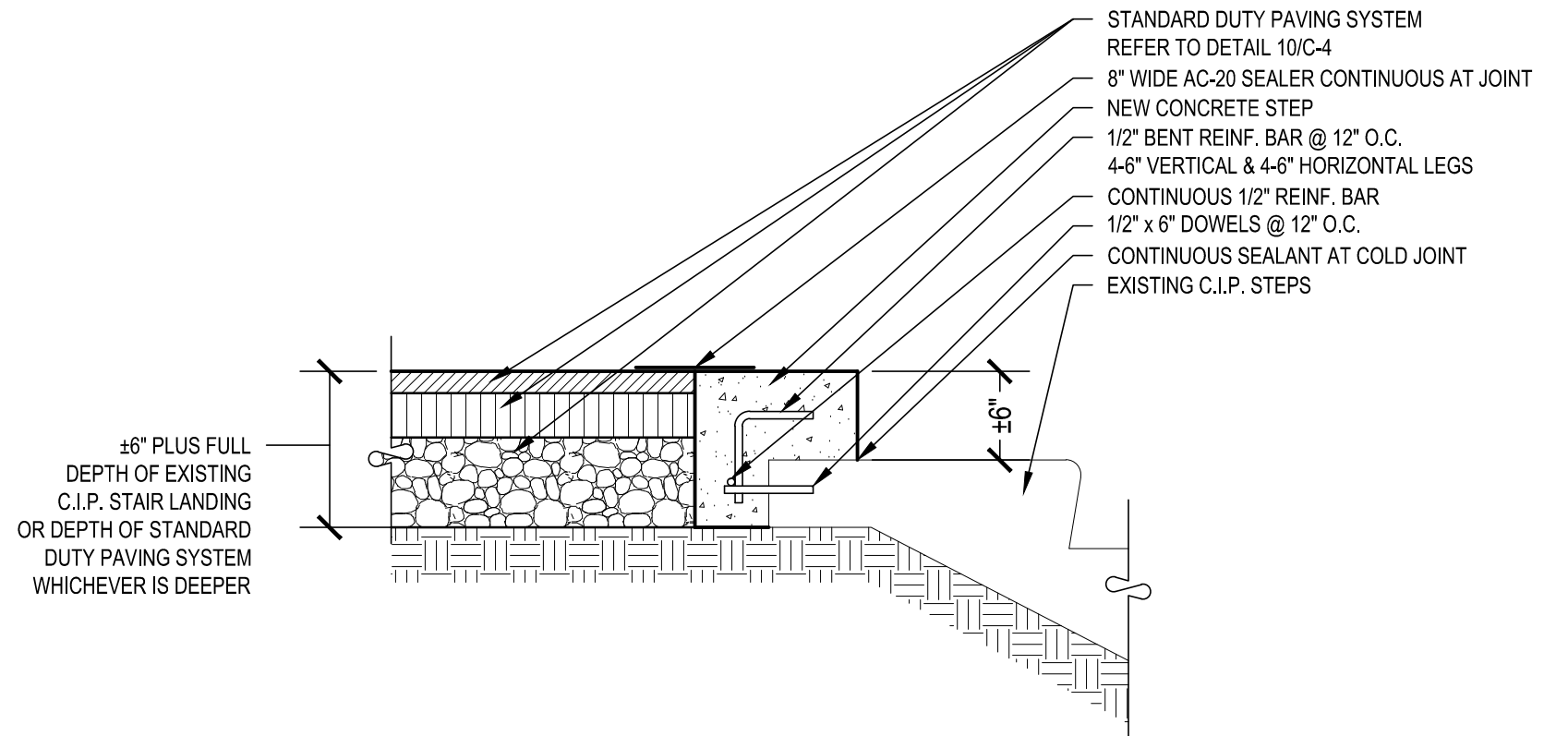
DRAWN BY: SLS

SKC-3



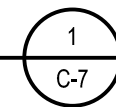
PAVING PLAN

SCALE: 1:40



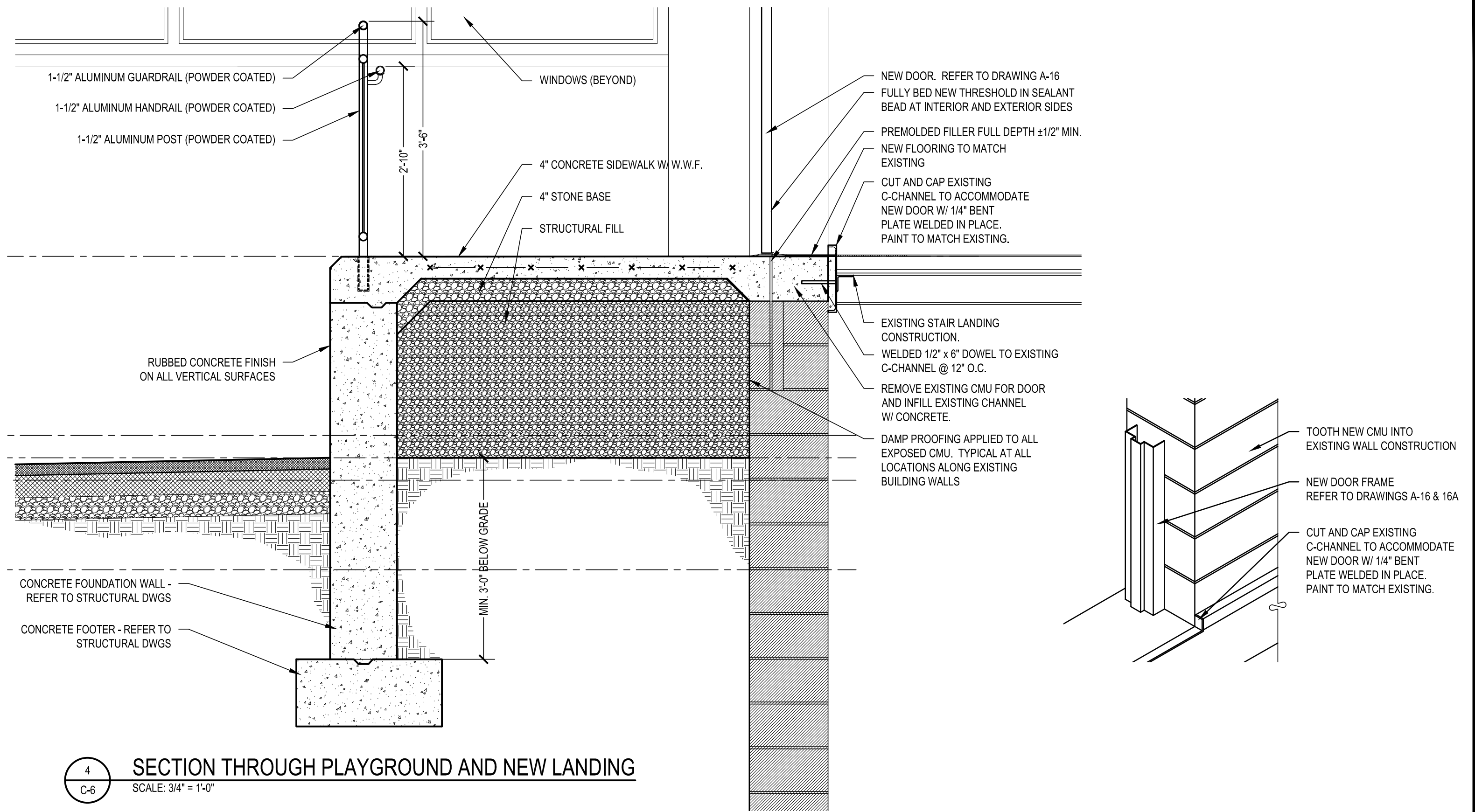
EXISTING STAIR DETAIL @ NEW PAVING

SCALE: 1" = 1'-0"



PAVING RECONSTRUCTION

REFERENCE DRAWING: C-7



STAIR TOWER E EXIT DOOR

REFERENCE DRAWING: C-6

PHASING LEGEND				
PHASE	DESCRIPTION	TIMELINE	REMARKS	DRAWING
PHASE 1	CLASSROOM AREA	JAN. 5, 2026 - JUNE 5, 2026		PHASE 1
PHASE 2	ECSS AND THERAPY AREA	JAN. 14, 2026 - JUNE 12, 2026		PHASE 2
PHASE 3	THIRD FLOOR AREA	FEB. 4, 2026 - JUNE 26, 2026	BATHROOMS INACCESSIBLE FOR FIRST PART OF MAIN PHASE	PHASE 3
PHASE 4	SECOND FLOOR MEETING ROOM	MARCH 9, 2026 - APRIL 19, 2026		PHASE 4
PHASE 5	SECOND FLOOR OFFICE AREA	APRIL 20, 2026 - JUNE 12, 2026		PHASE 5
PHASE 6	CAFE / COMMONS AREA AND MEETING ROOM	JUNE 22, 2026 - OCT. 2, 2026	PHASES 6A, 6B & 6C COMPLETED WITHIN THIS PHASE	PHASE 6
PHASE 7	MEETING ROOMS CORRIDORS	OCT. 12, 2026 - DEC. 24, 2026		PHASE 7
PHASE 8	ELEVATOR WORK	JUNE 8, 2026 - JULY 31, 2026		PHASE 8
PHASE 9	LOBBY FINISHES	JUNE 8, 2026 - JULY 31, 2026	ALL WORK ON 2ND AND / OR 3RD SHIFT OUTSIDE HOURS OF BCUI OPERATION	PHASE 9
PHASE 10	SITE AND EXTERIOR WORK	MARCH 23, 2026 - JULY 31, 2026	ACCESS TO AND FROM BUILDING SHALL BE MAINTAINED AT ALL TIMES	PHASE 10
PHASE 11	PHASE NOT USED			
PHASE 12	SECOND FLOOR ROOMS 202, 203, 215BA, AND 215BB	NOV. 23, 2026 - JAN. 15, 2027	GC SHALL PROTECT FLOOR AND WALL FINISHES IN HALLWAY	PHASE 12
PHASE 13	FIRST FLOOR ROOMS 102, 103, 103A, AND MAIN LOBBY	JAN. 18, 2027 - MARCH 19, 2027		PHASE 13

GENERAL PHASING NOTES:

A) EGRESS PATHS SHALL BE MAINTAINED THROUGHOUT THE PROJECT. TEMPORARY PARTITIONS AND WALKWAYS SHALL BE INSTALLED AS REQUIRED. MAINTAIN MINIMUM CLEAR WIDTH OF 6'-8" FOR EGRESS (BASED ON ASSUMED OCCUPANT LOAD OF 350). REFER TO DETAIL 1/PH-2 FOR TYPICAL TEMPORARY PARTITION CONSTRUCTION. EGRESS PATHS SHALL BE SEPARATED FROM CONSTRUCTION AREAS.

B) ALL MEP SYSTEMS (NEW AND EXISTING) SHALL BE MAINTAINED IN AN OPERABLE CONDITION IN OCCUPIED BUILDING AREAS.

C) CONSTRUCT DUST CURTAINS TO ISOLATE WORK AREAS FROM OCCUPIED PORTIONS OF THE BIDDING AS REQUIRED FOR EACH PHASE OF CONSTRUCTION. APPROXIMATE LOCATIONS FOR TEMPORARY PARTITIONS ARE DENOTED BY **T**. REFER TO DETAIL 1/PH-2.

D) CONSTRUCT TEMPORARY PARTITIONS TO ISOLATE WORK AREAS FROM OCCUPIED PORTIONS OF THE BIDDING AS REQUIRED FOR EACH PHASE OF CONSTRUCTION. APPROXIMATE LOCATIONS FOR TEMPORARY PARTITIONS ARE DENOTED BY **D**. REFER TO DETAIL 2/PH-2.

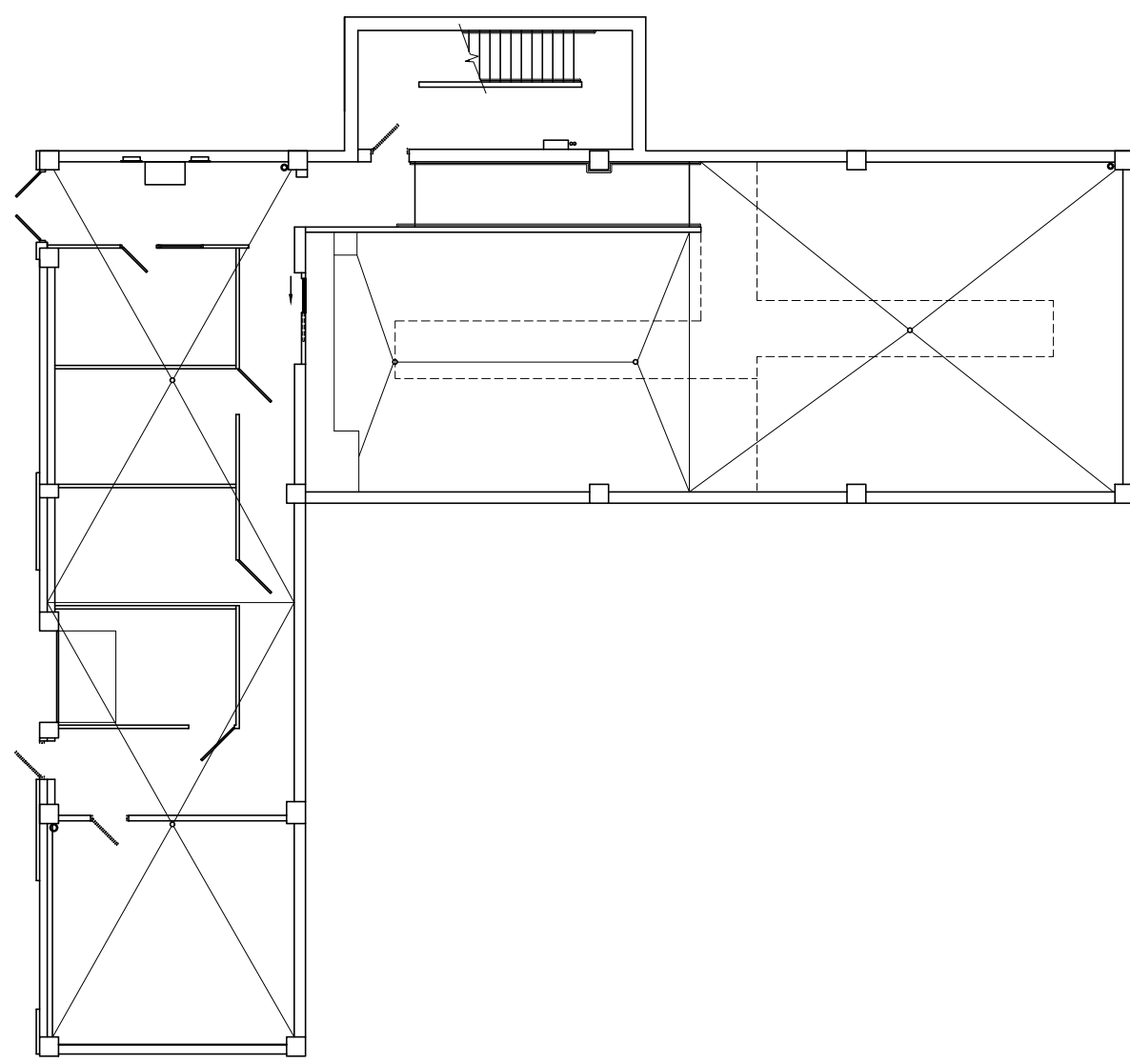
E) EXTENT OF NEEDED FOR TEMPORARY PARTITIONS AND DUST CONTROL SHOWN IS THE MINIMUM. ADDITIONAL CONTROLS LIKELY ARE NEEDED AS PHASING PROGRESSES. ALL COSTS SHALL BE INCLUDED IN BID.

F) IN EVERY PHASE ALL ADJACENT SPACES NOT PART OF THAT PHASE SHALL BE PROTECTED AGAINST MIGRATION OF DUST, DIRT, DEBRIS, ODORS, NOISE, WHETHER OR NOT PARTITION IS INDICATED. ALL COSTS SHALL BE INCLUDED IN THE BID.

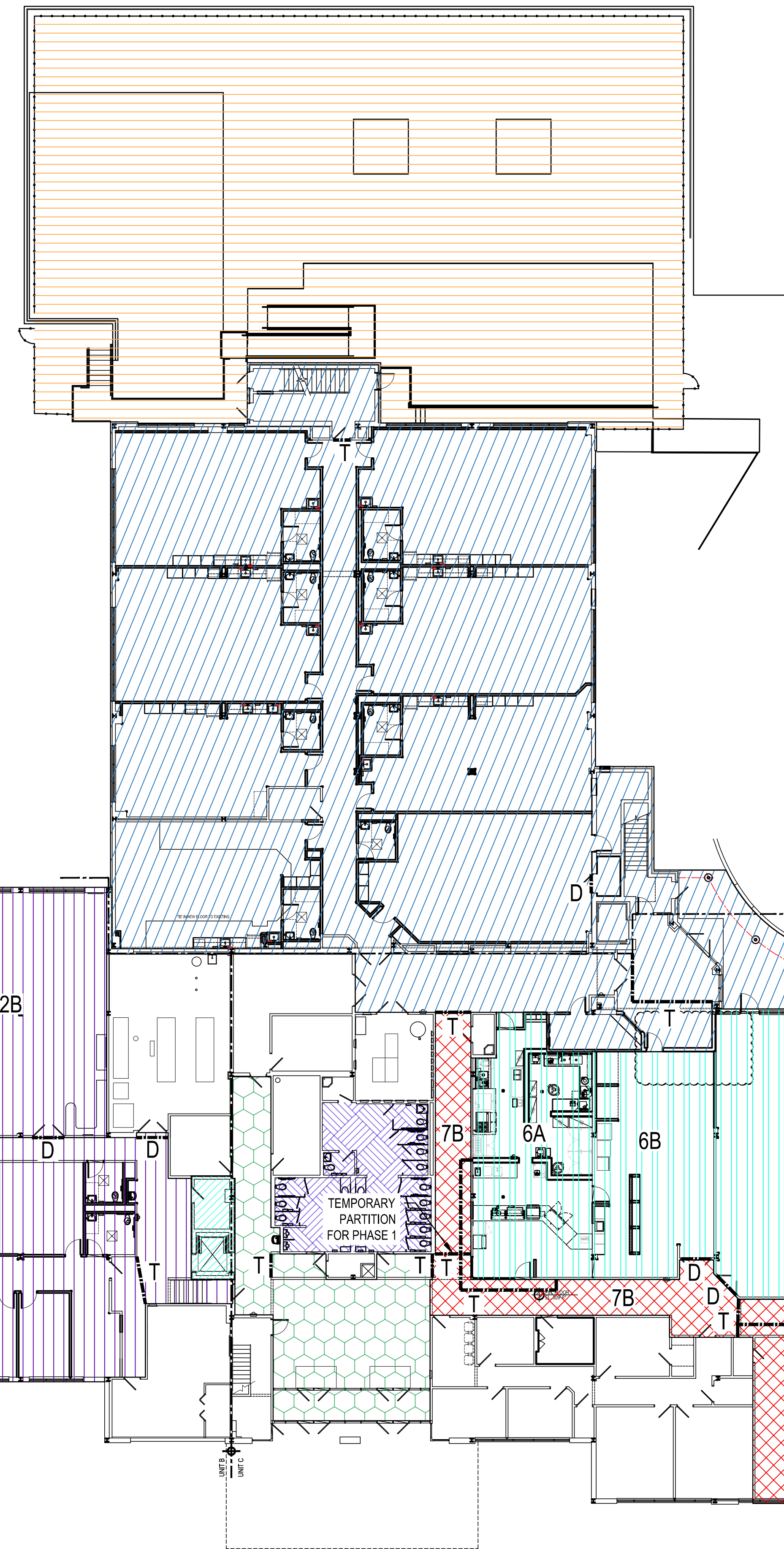
G) PHASING BORDERS ARE APPROXIMATE AND DO NOT NECESSARILY INDICATE THE SPECIFIC LIMIT(S) OF CONSTRUCTION AREA(S). REFER TO ALL DOCUMENTS TO DETERMINE THE EXACT EXTENT OF THESE AREAS.

H) LIGHTING CONTROL SYSTEMS SHALL BE OPERATIONAL AND PROGRAMMING COMPLETE PRIOR TO THE COMPLETION OF EACH PHASE AND AS NOTED IN THE SPECIFICATIONS. THIS DOES NOT APPLY TO SUBPHASES.

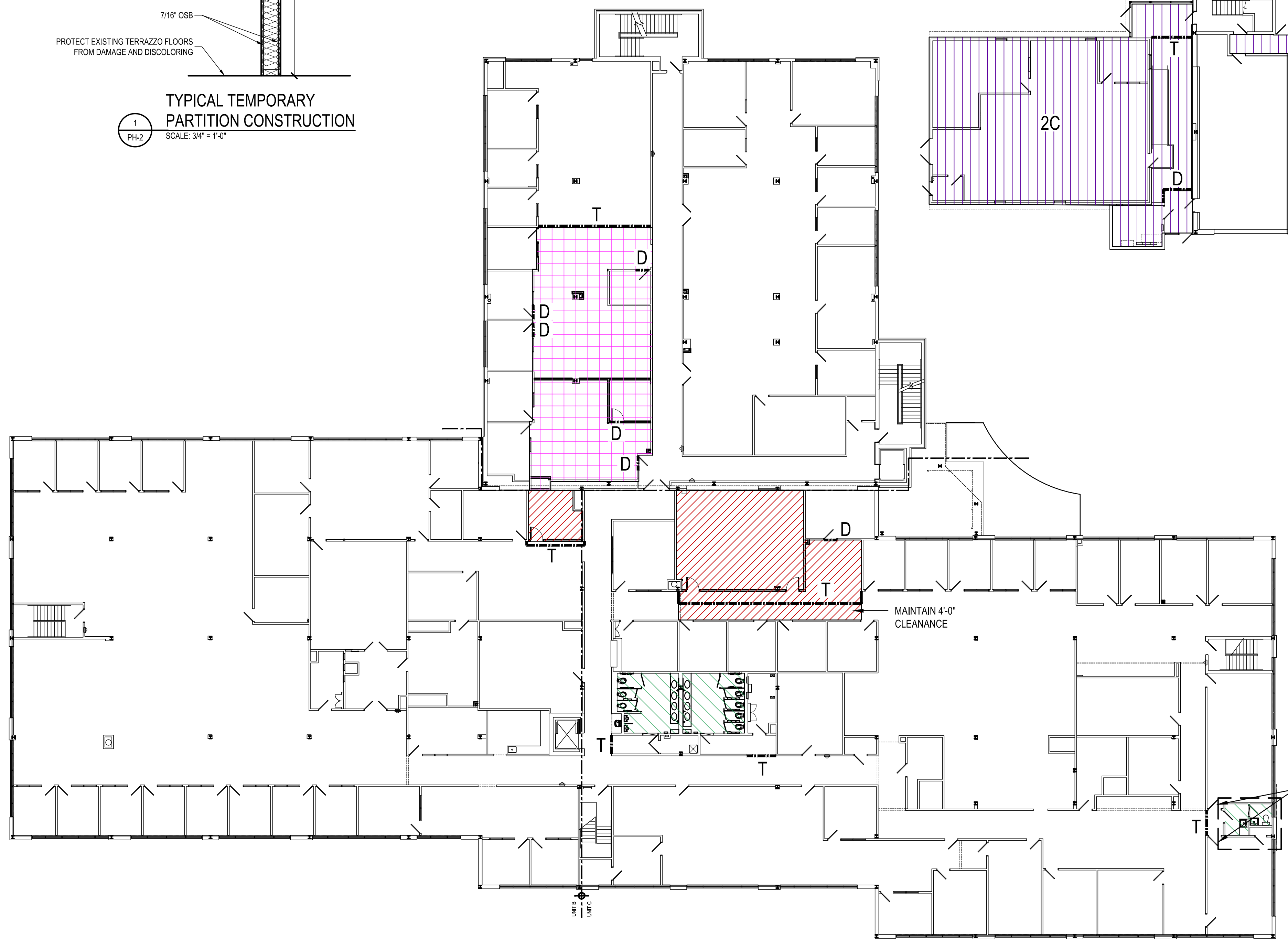
I) LIQUIDATED DAMAGES LISTED IN DIVISION 01 SECTION "SUMMARY" APPLY TO EACH PHASE LISTED ABOVE. HOWEVER, LIQUIDATED DAMAGES FOR PHASES 1 THROUGH 5 ARE ONLY LISTED UNDER PHASE 5 AND ARE INCLUSIVE FOR ALL FIVE (5) OF THESE PHASES. LIQUIDATED DAMAGES DO NOT APPLY TO INDIVIDUAL MILESTONES LISTED IN EACH PHASE. LIQUIDATED DAMAGES ARE CUMULATIVE AND RUN CONCURRENTLY.



BASEMENT PHASING PLAN
SCALE: 1/16" = 1'-0"



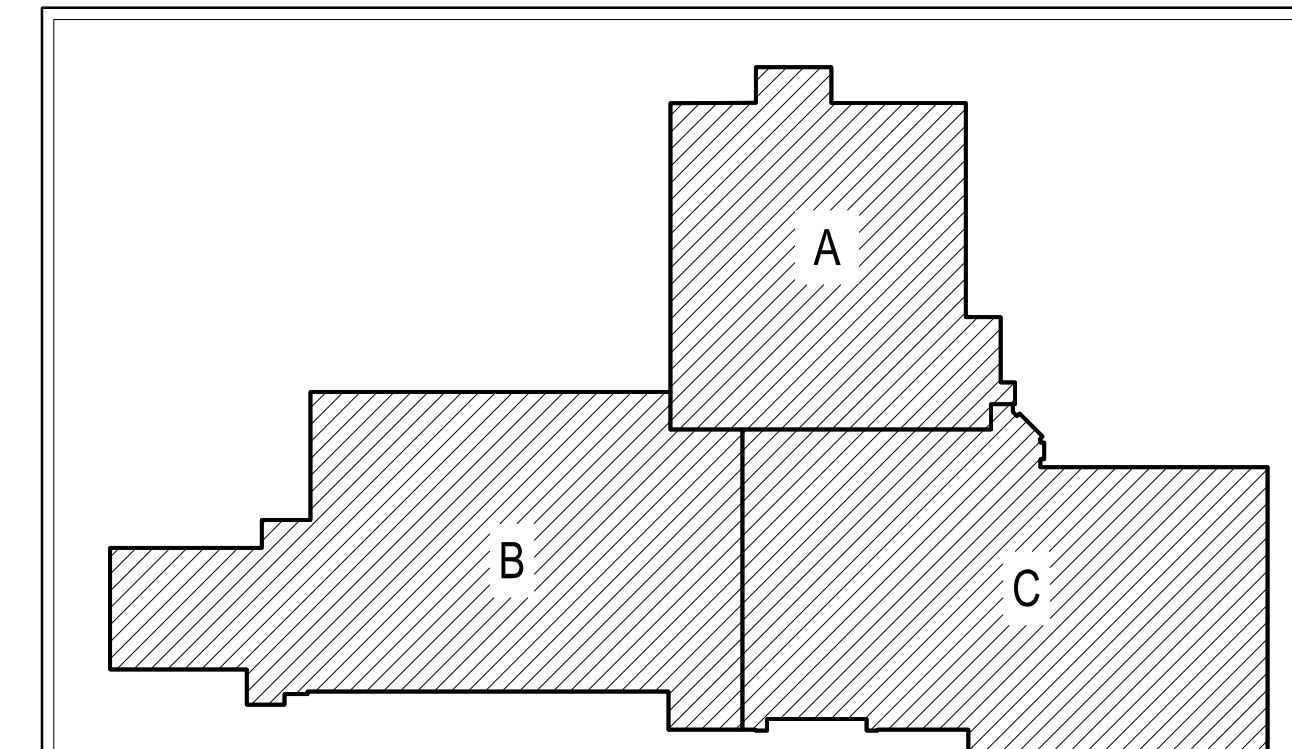
FIRST FLOOR PHASING PLAN
SCALE: 1/16" = 1'-0"



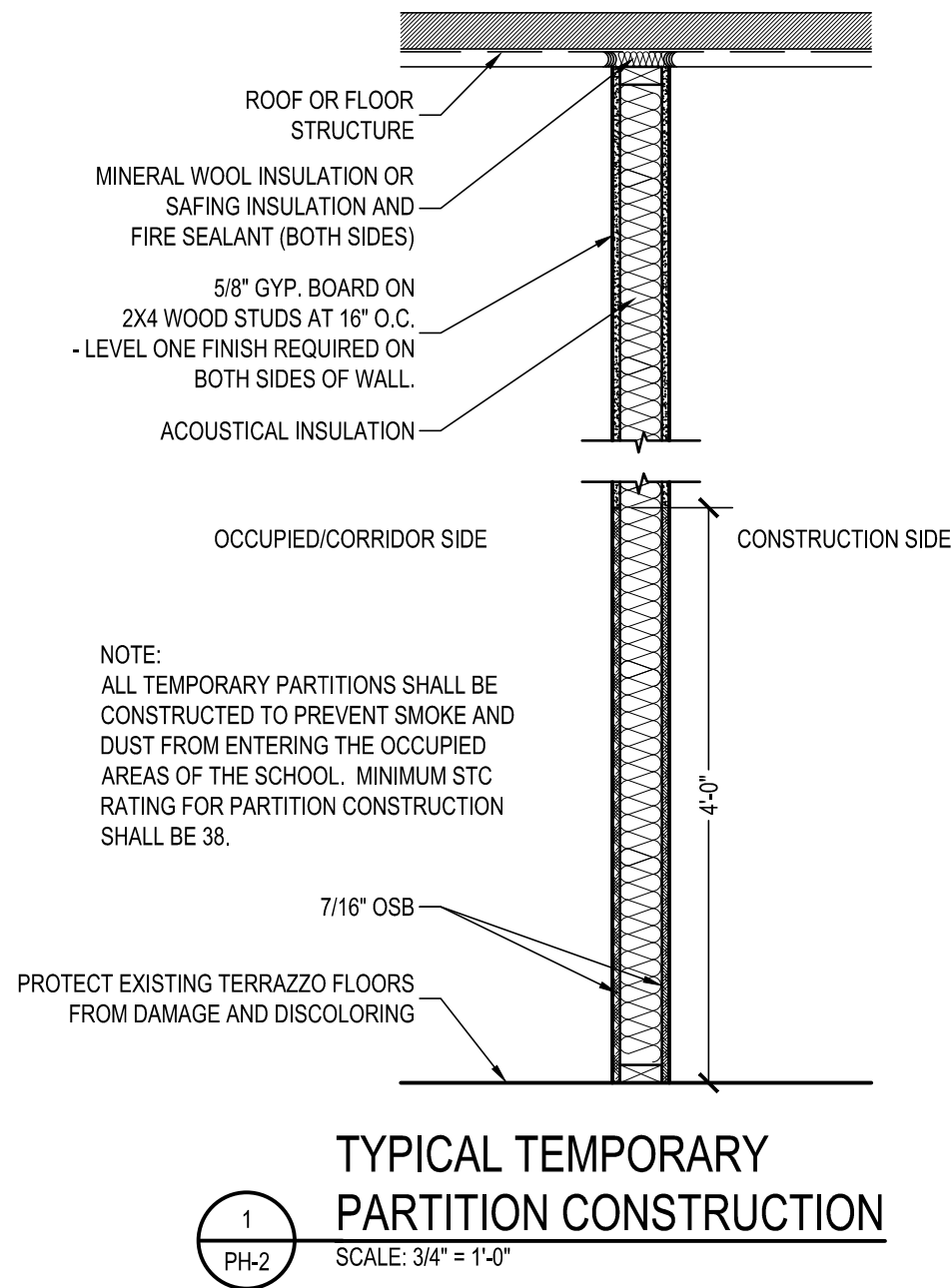
SECOND FLOOR PHASING PLAN
SCALE: 1/16" = 1'-0"



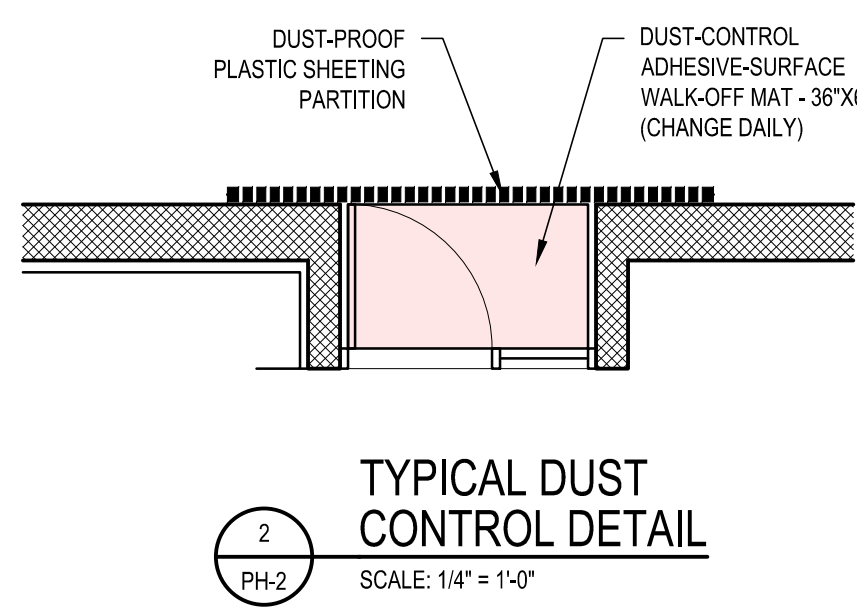
THIRD FLOOR PHASING PLAN
SCALE: 1/16" = 1'-0"



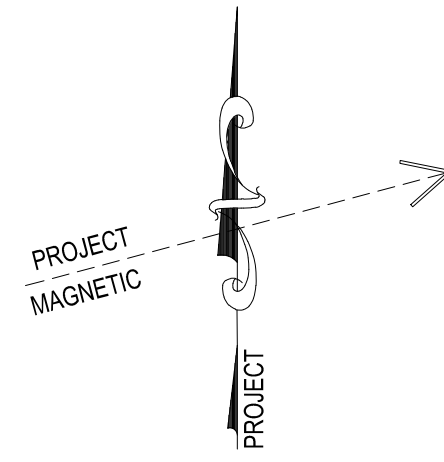
KEY PLAN
SCALE: N.T.S.



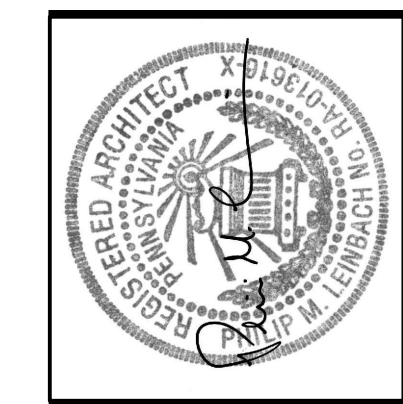
TYPICAL TEMPORARY PARTITION CONSTRUCTION
SCALE: 3/4" = 1'-0"



TYPICAL DUST CONTROL DETAIL
SCALE: 1/4" = 1'-0"



REVISIONS		DESCRIPTION
DATE	10/30/25	DRAWING PH-1 REISSUED IN ADDENDUM #2



AEM ARCHITECTS, INC.
3700 PERKIDOMEN AVENUE, READING, PA 19606-2785
Phone: 610/795-3320 Fax: 610/795-8022 www.aem-arch.com

BUILDING PHASING PLAN
RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14
BCUI MAIN OFFICE
1111 COMMONS BLVD, READING, PA 19605

ALL DIMENSIONS AND EXISTING CONDITIONS
SHALL BE CHECKED AND VERIFIED
BY THE CONTRACTOR AT THE SITE.

JOB NO.: 24015.00
DRAWN BY: SLS/JNS
DATE: 10.15.25

FIRE AREA #1		FIRE AREA #2		FIRE AREA #3	
BERKS COUNTY INTERMEDIATE UNIT - (BCIU MAIN OFFICE)		BERKS COUNTY INTERMEDIATE UNIT - (BCIU MAIN OFFICE)		BERKS COUNTY INTERMEDIATE UNIT - (BCIU MAIN OFFICE)	
INTERNATIONAL BUILDING CODE (2018)		INTERNATIONAL BUILDING CODE (2018)		INTERNATIONAL BUILDING CODE (2018)	
(SECTION 305) USE GROUP CLASSIFICATION (SECTION 602) TYPE OF CONSTRUCTION SPRINKLERED TOTAL BUILDING AREA 36,508 SF		(SECTION 305) USE GROUP CLASSIFICATION (SECTION 602) TYPE OF CONSTRUCTION SPRINKLERED TOTAL BUILDING AREA 59,745 SF		(SECTION 305) USE GROUP CLASSIFICATION (SECTION 602) TYPE OF CONSTRUCTION SPRINKLERED TOTAL BUILDING AREA 62,653 SF	
TOTAL BUILDING AREA CALCULATION		TOTAL BUILDING AREA CALCULATION		TOTAL BUILDING AREA CALCULATION	
BASEMENT FIRST FLOOR SECOND FLOOR THIRD FLOOR TOTAL 36,508 SF		FIRST FLOOR SECOND FLOOR TOTAL 59,745 SF		FIRST FLOOR TOTAL 62,653 SF	
ALLOWABLE BUILDING HEIGHT AND AREA CALCULATIONS		ALLOWABLE BUILDING HEIGHT AND AREA CALCULATIONS		ALLOWABLE BUILDING HEIGHT AND AREA CALCULATIONS	
BUILDING HEIGHT - REFERENCE CHAPTER 5 - SECTION 504		BUILDING HEIGHT - REFERENCE CHAPTER 5 - SECTION 504		BUILDING HEIGHT - REFERENCE CHAPTER 5 - SECTION 504	
ALLOWABLE HEIGHT (STORIES ABOVE GRADE PLANE): 3 STORIES (TABLE 504.4)		ALLOWABLE HEIGHT (STORIES ABOVE GRADE PLANE): 3 STORIES (TABLE 504.4)		ALLOWABLE HEIGHT (STORIES ABOVE GRADE PLANE): 3 STORIES (TABLE 504.4)	
ALLOWABLE HEIGHT (FEET ABOVE GRADE PLANE): 65'-0" HIGH (TABLE 504.3)		ALLOWABLE HEIGHT (FEET ABOVE GRADE PLANE): 65'-0" HIGH (TABLE 504.3)		ALLOWABLE HEIGHT (FEET ABOVE GRADE PLANE): 65'-0" HIGH (TABLE 504.3)	
BUILDING AREA - REFERENCE CHAPTER 5 - SECTION 506		BUILDING AREA - REFERENCE CHAPTER 5 - SECTION 506		BUILDING AREA - REFERENCE CHAPTER 5 - SECTION 506	
ALLOWABLE AREA FACTOR BASED ON OCCUPANCY AND CONSTRUCTION (TABLE 506.2)		ALLOWABLE AREA FACTOR BASED ON OCCUPANCY AND CONSTRUCTION (TABLE 506.2)		ALLOWABLE AREA FACTOR BASED ON OCCUPANCY AND CONSTRUCTION (TABLE 506.2)	
ALLOWABLE AREA FACTOR - (NS - S1 - SM) - PER TABLE		ALLOWABLE AREA FACTOR - (NS - S1 - SM) - PER TABLE		ALLOWABLE AREA FACTOR - (NS - S1 - SM) - PER TABLE	
FRONTAGE INCREASE: (SECTION 506.3.3) $I_f = (F/P - 0.25) W/30$ (EQUATION 5-5) $I_f = (338.25 / 148.67 - 0.25) 30 / 30$ $I_f = (0.75 - 0.25) 1.0$ $I_f = 0.5$		FRONTAGE INCREASE: (SECTION 506.3.3) $I_f = (F/P - 0.25) W/30$ (EQUATION 5-5) $I_f = (684.85 / 1067.58 - 0.25) 30 / 30$ $I_f = (0.64 - 0.25) 1.00$ $I_f = 0.39$		FRONTAGE INCREASE: (SECTION 506.3.3) $I_f = (F/P - 0.25) W/30$ (EQUATION 5-5) $I_f = (191.17 / 247.67 - 0.25) 30 / 30$ $I_f = (0.77 - 0.25) 1.00$ $I_f = 0.52$	
ALLOWABLE AREA INCREASE FOR FRONTAGE: $A_f = A_s \times (NS \times I_f)$ (EQUATION 5-1) (PER FLOOR) NS = TABULAR ALLOWABLE AREA FACTOR IN ACCORDANCE WITH TABLE 506.2 FOR NONSPRINKLERED BUILDING (REGARDLESS OF WHETHER THE BUILDING IS SPRINKLERED) $A_f = 26500 \times (26500 \times 0.5)$ $A_f = 26500 \times 13250$ $A_f = 39,750$		ALLOWABLE AREA INCREASE FOR FRONTAGE: $A_f = A_s \times (NS \times I_f) \times S_u$ (EQUATION 5-2) (PER FLOOR) NS = TABULAR ALLOWABLE AREA FACTOR IN ACCORDANCE WITH TABLE 506.2 FOR NONSPRINKLERED BUILDING (REGARDLESS OF WHETHER THE BUILDING IS SPRINKLERED) $A_f = [23000 + (23000 \times 0.39)] \times 2$ $A_f = [23000 + 8970] \times 2$ $A_f = 63,940$		ALLOWABLE AREA INCREASE FOR FRONTAGE: $A_f = A_s \times (NS \times I_f) \times S_u$ (EQUATION 5-2) (PER FLOOR) NS = TABULAR ALLOWABLE AREA FACTOR IN ACCORDANCE WITH TABLE 506.2 FOR NONSPRINKLERED BUILDING (REGARDLESS OF WHETHER THE BUILDING IS SPRINKLERED) $A_f = [18000 + (18000 \times 0.52)] \times 2$ $A_f = (18000 + 9360) \times 2$ $A_f = 54,720$	
TOTAL ALLOWABLE AREA 39,750 SF		TOTAL ALLOWABLE AREA 63,940 SF		TOTAL ALLOWABLE AREA 54,720 SF	
FOR MEZZANINE S AND EQUIPMENT PLATFORM REQUIREMENTS SEE SECTION 505		FOR MEZZANINE S AND EQUIPMENT PLATFORM REQUIREMENTS SEE SECTION 505		FOR MEZZANINE S AND EQUIPMENT PLATFORM REQUIREMENTS SEE SECTION 505	
GRAND TOTAL ALLOWABLE BUILDING AREA & HEIGHT 3 STORIES 65'-0" ABOVE FINISHED GRADE 39,750 SF PER FLOOR		GRAND TOTAL ALLOWABLE BUILDING AREA & HEIGHT 3 STORIES 65'-0" ABOVE FINISHED GRADE 63,940 SF PER FLOOR		GRAND TOTAL ALLOWABLE BUILDING AREA & HEIGHT 3 STORIES 65'-0" ABOVE FINISHED GRADE 54,720 SF PER FLOOR	
TOTAL WORK AREA CALCULATION		TOTAL WORK AREA CALCULATION		TOTAL WORK AREA CALCULATION	
BASEMENT FIRST FLOOR SECOND FLOOR THIRD FLOOR TOTAL WORK AREA PERCENTAGE OF BUILDING 15,021 SF 41.14% ALTERATION - LEVEL 2		FIRST FLOOR SECOND FLOOR TOTAL WORK AREA PERCENTAGE OF BUILDING 11,976 SF 1,071 SF 13,047 SF 20.82% ALTERATION - LEVEL 2		FIRST FLOOR TOTAL WORK AREA PERCENTAGE OF BUILDING 0 SF 0% 0 SF 0%	

APPLICABLE CODES AS OF DATE OF DESIGN CONTRACT		
CODE	DATE	
INTERNATIONAL BUILDING CODE (EXCEPT CHAPTER 1 & 11)	2018	
INTERNATIONAL BUILDING CODE - CHAPTER 11	2021	
INTERNATIONAL FIRE CODE	2018	
INTERNATIONAL MECHANICAL CODE	2018	
INTERNATIONAL PLUMBING CODE	2018	
INTERNATIONAL ENERGY CONSERVATION CODE	2018	
ICC ELECTRICAL CODE	2017	
ICC ANSI A117.1		
LOCAL CODE AMENDMENTS	NONE	

GENERAL NOTES - CHAPTER 7

SECTION 703.7 - MARKING AND IDENTIFICATION
FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANOTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING, SUCH IDENTIFICATION SHALL:
1. BE LOCATED IN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR AT/TC SPACES;
2. BE REPEATED AT INTERVALS NOT EXCEEDING 30 FEET (914 MM) MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION; AND
3. INCLUDE LETTERING NOT LESS THAN 0.5 INCH (12.7 MM) IN HEIGHT, INCORPORATING THE SUGGESTED WORDING: "FIRE AND/OR SMOKE BARRIER-PROTECT ALL OPENINGS;" OR OTHER WORDING.

REFER TO SPECIFICATION SECTION 07 48 40.3.4 IDENTIFICATION

SECTION 707.3.10 - FIRE AREAS
THE FIRE BARRIERS AND/OR HORIZONTAL ASSEMBLY SEPARATING A SINGLE OCCUPANCY INTO DIFFERENT FIRE AREAS SHALL RATING AS INDICATED IN TABLE 707.3.9 (OCCUPANCY "E" = 2-HOUR FIRE RESISTANCE RATING).

SECTION 707.5 - CONTINUITY
FIRE BARRIERS SHALL EXTEND FROM TOP OF FLOOR / CEILING ASSEMBLY BELOW TO THE UNDERSIDE OF FLOOR OR ROOF SHEATHING, SLAB OR DECK ABOVE, AND SECURELY ATTACHED THERETO.

SECTION 713 - SHAFT ENCLOSURES
SHAFT ENCLOSURES SHALL BE CONSTRUCTED AS FIRE BARRIERS AND / OR HORIZONTAL ASSEMBLIES. OPENINGS THROUGH A FLOOR / CEILING ASSEMBLY SHALL BE PROTECTED BY A SHAFT ENCLOSURE. FIRE RESISTANCE RATING OF SHAFT ENCLOSURES SHALL BE NOT LESS THAN 1 HOUR WHERE CONNECTED LESS THAN FOUR STORIES.

SECTION 708 - FIRE PARTITIONS
CORRIDORS SHALL BE FIRE PARTITIONS AS REQUIRED BY TABLE 1018.1 (TABLE 1018.1 STATES THAT "E" OCCUPANCY FULLY SPRINKLERED BUILDING REQUIRES NO FIRE RATING OF CORRIDORS).

SECTION 714 - PENETRATIONS
PENETRATIONS OF ALL FIRE BARRIERS, FIRE PARTITIONS & HORIZONTAL ASSEMBLIES SHALL MAINTAIN THE INTEGRITY OF THE SEPARATION. REFER TO SPECIFICATIONS.

GENERAL NOTES - CHAPTER 9

SECTION 901.6.2 - FIRE ALARM SYSTEMS
SHALL BE MONITORED BY AND APPROVED SUPERVISING STATION.

SECTION 903.2.11.5 - COMMERCIAL COOKING OPERATIONS
AN AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED IN COMMERCIAL KITCHEN EXHAUST HOOD AND DUCT SYSTEM.

SECTION 903.4.1 - MONITORING
ALARM, SUPERVISORY AND TROUBLE SIGNALS SHALL BE DISTINCTLY DIFFERENT AND SHALL BE AUTOMATICALLY TRANSMITTED TO AN APPROVED SUPERVISING STATION.

SECTION 903.4.2 - ALARMS
APPROVED AUDIBLE DEVICES SHALL BE CONNECTED TO THE SPRINKLER SYSTEM. SUCH SPRINKLER WATER FLOW ALARM DEVICES SHALL BE ACTIVATED BY WATER FLOW EQUIVALENT TO THE FLOW OF A SINGLE SPRINKLER OF THE SMALLEST ORIFICE SIZE INSTALLED IN THE SYSTEM. ALARM DEVICES SHALL BE PROVIDED ON THE EXTERIOR OF THE BUILDING IN AN APPROVED LOCATION. ACTUATION OF THE SPRINKLER SYSTEM SHALL ACTUATE THE BUILDING FIRE ALARM SYSTEM.

SECTION 904 - ALTERNATIVE AUTOMATIC FIRE-EXTINGUISHING SYSTEMS
REFER TO SPECIFICATION AND PLANS FOR LOCATIONS AND REQUIREMENTS FOR ALTERNATE EXTINGUISHING SYSTEMS UTILIZED.

SECTION 904.12 - COMMERCIAL COOKING SYSTEMS
AUTOMATIC FIRE-EXTINGUISHING SYSTEM FOR COMMERCIAL COOKING SYSTEMS SHALL BE OF A TYPE RECOGNIZED FOR PROTECTION OF COMMERCIAL COOKING EQUIPMENT AND EXHAUST SYSTEMS OF THE TYPE AND ARRANGEMENT PROTECTED AND SHALL BE LISTED AND LABELED. REFER TO FOOD SERVICE DRAWINGS AND SPECIFICATIONS.

SECTION 906.1 - PORTABLE FIRE EXTINGUISHERS
PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS.
1. IN ALL GROUP A, B, E, F, H, I, M, R-1, R-2, R-4, AND S OCCUPANCIES.
2. WITHIN 30 FEET OF COMMERCIAL COOKING EQUIPMENT
3. IN AREAS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED, USED OR DISPENSED.
4. ON EACH FLOOR OF STRUCTURES UNDER CONSTRUCTION, EXCEPT GROUP R-3 OCCUPANCIES, IN ACCORDANCE WITH SECTION 1415.1.
5. WHERE REQUIRED BY TABLE 906.1.
SPECIAL HAZARD AREAS, INCLUDING BUT NOT LIMITED TO LABORATORIES, COMPUTER ROOMS AND GENERATOR ROOMS, WHERE REQUIRED BY THE FIRE CODE OFFICIAL.

SECTION 907 - FIRE ALARM AND DETECTION SYSTEMS
SECTION 907.1.2 - FIRE ALARM SHOP DRAWINGS
SHOP DRAWINGS FOR FIRE ALARM SYSTEMS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO SYSTEM INSTALLATION. REFER TO DRAWINGS AND SPECIFICATION.

SECTION 912 - FIRE DEPARTMENT CONNECTIONS
FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED SO THAT FIRE APPARATUS AND HOSE HOSES CONNECTED TO SUPPLY THE SYSTEM WILL NOT OBSTRUCT ACCESS TO THE BUILDING AND BE APPROVED BY THE FIRE CHIEF.

SECTION 912.5 - SIGNS
A METAL SIGN WITH RAISED LETTERS AT LEAST ONE INCH HIGH SHALL BE MOUNTED TO ALL FIRE DEPARTMENT CONNECTIONS SERVING AUTOMATIC SPRINKLERS OR FIRE PUMP CONNECTIONS. SUCH SIGNS SHALL READ: AUTOMATIC SPRINKLERS, TEST CONNECTION, OR SOME COMBINATION THEREOF.

SECTION 913.2.1 - PROTECTION OF FIRE PUMP ROOMS
FIRE PUMPS SHALL BE LOCATED IN ROOMS THAT ARE SEPARATED FROM THE REST OF THE BUILDING BY 2 HOUR FIRE BARRIERS OR 2-HOUR HORIZONTAL ASSEMBLY, OR BOTH.

GENERAL NOTES - CHAPTER 10

SECTION 1004.1 - DESIGN OCCUPANT LOAD
REFER TO FIRST, SECOND AND THIRD FLOOR OCCUPANCY AND EGRESS PLANS.

SECTION 1004.3 - POSTING OF OCCUPANT LOAD
ROOMS OR SPACES WITH AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE NEAR THE MAIN EXIT FROM THE SPACE. REFER TO A-22 FOR SIGN TYPES.

TABLE 1004.1.2 - MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT UTILIZED FOR CALCULATING OCCUPANT LOAD THROUGHOUT BUILDINGS
ACCESSORY STORAGE, MECHANICAL, EQUIPMENT ROOM - 300 SF / OCCUPANT
ASSEMBLY, STANDING - 5 SF NET
ASSEMBLY, CHAIRS ONLY - 7 SF NET
ASSEMBLY, TABLES & CHAIRS - 15 SF NET
BUSINESS AREAS - 150 SF GROSS
EDUCATIONAL, CLASSROOM - 20 SF NET
SHOPS & OTHER VOCATIONAL AREAS - 60 SF NET
KITCHENS, COMMERCIAL - 200 SF GROSS
LOCKER ROOMS - 50 SF GROSS

SECTION 1005.1 - MINIMUM REQUIRED EGRESS WIDTH
TOTAL MEANS OF EGRESS SHALL NOT BE LESS THAN THE TOTAL OCCUPANT LOAD SERVED BY THE MEANS OF EGRESS MULTIPLIED BY:
0.3 PER OCCUPANT FOR STAIRWAYS
0.2 PER OCCUPANT FOR OTHER EGRESS COMPONENTS

SECTION 1005.2 - ILLUMINATION REQUIRED
THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED, AND SUPPLIED WITH EMERGENCY POWER.

SECTION 1009.1 - ACCESSIBLE MEANS OF EGRESS REQUIRED
ACCESSIBLE MEANS OF EGRESS ARE INDICATED ON THE OCCUPANCY AND EGRESS PLANS TO MEET THE INTENT OF THE CODE.

SECTION 1009.3 - STAIRWAYS
EXIT ACCESS STAIRWAYS SHALL HAVE MIN. 48" CLEAR BETWEEN THE HANDRAILS, HAVE A TRAVEL DISTANCE LESS THAN 250'-0" AND INCLUDE AN AREA OF REFUGE. REFER TO PLANS. CLEAR HEADROOM SHALL BE NO LESS THAN 8'-0".
EXCEPTION NO. 1: AREAS OF REFUGE ARE NOT REQUIRED IN EXIT STAIRWAYS IN BUILDINGS EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEMS.

SECTION 1010.1.2.1 - DIRECTION OF SWING
DOORS SHALL SWING IN THE DIRECTION OF TRAVEL WHERE SERVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS.

SECTION 1011.5 - STAIR TREADS AND RISERS
MAXIMUM RISER HEIGHT SHALL BE 7". MINIMUM TREAD DEPTH SHALL BE 11" (THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 0.375"); EXCEPT ALTERNATING TREAD STAIRWAYS.

SECTION 1011.6 - STAIRWAY LANDINGS
COMPLY WITH THE INTENT OF THE CODE.

SECTION 1012 - RAMPS
RAMPS SHALL BE LESS THAN 1:12. SHALL HAVE A RISE LESS THAN 30". SHALL HAVE MIN. 36" CLEAR BETWEEN THE RAILS. SHALL HAVE MIN. 80" LONG LANDINGS AND HANDRAILS SHALL EXTEND ABOVE AND BELOW SLOPED SURFACE 12".

SECTION 1015 - EXIT SIGNS
APPROVED EXIT SIGNS SHALL BE VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL, INDICATE THE DIRECTION OF EGRESS TRAVEL, AND NO POINT IN AN EXIT ACCESS CORRIDOR OR PASSAGEWAY IS MORE THAN 100'-0" FROM THE NEAREST VISIBLE SIGN. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED FOR MINIMUM OF 90 MIN.

SECTION 1015.4 - TACTILE EXIT SIGNS
TACTILE EXIT SIGNS ARE PROVIDED. REFER TO SHEET A-22 FOR SIGN TYPES.

SECTION 1014 - HANDRAILS
TOP OF HANDRAILS SHALL BE AT 34" A.F.F., 1-1/2" Ø AND 1-1/2" FROM THE WALL. THEY SHALL BE CONTINUOUS, EXTEND MIN. 12" BEYOND THE TOP AND BOTTOM RISERS AND RETURN TO THE WALL. REFER TO DETAILS IN CONSTRUCTION DOCUMENTS.

SECTION 1015 - GUARDS
SHALL BE PROVIDED WHERE FLOOR OR GRADE IS MORE THAN 30" BELOW WITHIN 36" OF THE WALKING SURFACE, EXCEPT AT LOADING DOCKS & PLATFORMS, AS PERMITTED BY THE CODE. GUARDRAILS SHALL BE MIN. 42" A.F.F.

SECTION 1008.1 - EXITS AND EXIT ACCESS DOORWAYS
TWO EXITS SHALL BE PROVIDED WHEN THE OCCUPANT LOAD OF A SPACE EXCEEDS 49 PEOPLE, THE COMMON PATH OF EGRESS TRAVEL EXCEEDS 75'-0", AND IN BOILER ROOMS.

TABLE 1021.1 - MINIMUM NUMBER OF EXITS FOR OCCUPANT LOAD
1 - 500 = 2 PER STORY
501 - 1000 = 3 PER STORY

SECTION 1028 - EXIT DISCHARGE
EXIT DISCHARGE SHALL BE DIRECTLY TO THE EXTERIOR OF THE BUILDING AND DIRECTLY TO GRADE.

GENERAL NOTES - CHAPTER 11- IBC 2021

SECTION 1101 - GENERAL
BUILDING IS DESIGNED TO MEET ACCESSIBILITY REQUIREMENTS FOR ACCESS TO ALL WORK AREAS AND COMMON USE AREAS, PER CHAPTER 11 (IBC 2021) & ANSI A117.1-2017.

SECTION 1104.1 - SITE ARRIVAL POINTS
ACCESSIBLE ROUTES WITHIN THE SITE SHALL BE PROVIDED FROM ACCESSIBLE PARKING, AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED CONNECTING EACH ACCESSIBLE LEVEL IN THE BUILDING.

SECTION 1104.4 - MULTILEVEL BUILDINGS AND FACILITIES
AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED CONNECTING EACH ACCESSIBLE LEVEL IN THE BUILDING.

SECTION 1105 - ACCESSIBLE ENTRANCES
AT LEAST 50% OF ALL PUBLIC ENTRANCES SHALL BE ACCESSIBLE.

SECTION 1106 - PARKING AND PASSENGER LOADING FACILITIES
WHERE PARKING IS PROVIDED, ACCESSIBLE PARKING SHALL BE PER TABLE 1106.1. 51%-5% PARKING SPACES PROVIDED REQUIRE MIN. 3 ACCESSIBLE SPACES. FOR EVERY 6, OR FRACTION OF 6, ACCESSIBLE PARKING SPACES, AT LEAST ONE SHALL BE A VAN-ACCESSIBLE SPACE. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE OF TRAVEL TO AN ACCESSIBLE BUILDING ENTRANCE.

SECTION 1110 - SIGNAGE
REQUIRED ACCESSIBLE ELEMENTS SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY; REFER TO SIGN TYPES ON DRAWING A-22.

GENERAL NOTES - CHAPTER 16

SECTION 1600 - STRUCTURAL DESIGN
REFER TO SHEET S-1 FOR STRUCTURAL DESIGN CRITERIA.

GENERAL NOTES - CHAPTER 17

AS PART OF THE PROJECT, THE CONTRACTOR SHALL INCLUDE A THIRD PARTY INSPECTION AGENCY TO WORK WITH THE CONTRACTORS IN PROVIDING THE FOLLOWING INFORMATION AS REQUIRED BY THE CODE AND THE PROJECT DOCUMENTS, AS FOLLOWS:

SECTION 1704.2.3 - STATEMENT OF SPECIAL INSPECTION
A STATEMENT OF SPECIAL INSPECTIONS SHALL BE PREPARED AND SUBMITTED TO THE BUILDING CODE OFFICIAL BY A THIRD PARTY AGENCY HIRED BY THE OWNER.

SECTION 1704.2.4 - REPORT REQUIREMENT
THE FOLLOWING COMPONENTS OF THE PROPOSED WORK SCOPE SHALL BE PERIODICALLY INSPECTED BY THE DESIGN PROFESSIONAL, CONTRACTOR OR A THIRD PARTY INSPECTION AGENCY, AS THE PROGRESS OF THE WORK DICTATES. INSPECTION REPORTS SHALL BE FURNISHED TO THE BUILDING CODE OFFICIAL AS THEY ARE PERFORMED AND INDICATE COMPLIANCE OR DISCREPANCIES WITH THE CONSTRUCTION DOCUMENTS, PER SECTION 1704.1.2.

SECTION 1704.2.5.1 - FABRICATOR APPROVAL
THIS SECTION STATES THAT SPECIAL INSPECTIONS ARE NOT REQUIRED UPON REVIEW OF THE FABRICATOR'S WRITTEN PROCEDURAL AND QUALITY CONTROL MANUALS AND PERIODIC AUDITING OF FABRICATION PRACTICES BY AN APPROVED SPECIAL INSPECTION AGENCY. AT COMPLETION OF FABRICATION, THE FABRICATOR SHALL SUBMIT CERTIFICATE TO THE B.C.O. STATING THAT THE WORK WAS PERFORMED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS.

SECTION 1705.2 - STEEL CONSTRUCTION
SPECIAL INSPECTIONS FOR STEEL ELEMENTS OF THE BUILDING SHALL BE AS REQUIRED BY SECTION 1704.3 & TABLE 1704.3 AS APPLICABLE TO THE PROJECT, INCLUDING WELDING, STRUCTURAL STEEL, COLD FORMED STEEL, REINFORCING STEEL AND HIGH-STRENGTH BOLTS THROUGH PERIODIC OR CONTINUOUS MONITORING, AS REQUIRED. SPECIAL INSPECTOR SHALL PERFORM INSPECTION OF THE STEEL FRAME TO VERIFY COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS.

SECTION 1705.3 - CONCRETE CONSTRUCTION
SPECIAL INSPECTIONS FOR CONCRETE CONSTRUCTION OF THE BUILDING SHALL BE AS REQUIRED BY SECTION 1705.3 & TABLE 1705.3 AS APPLICABLE TO THE PROJECT.

SECTION 1705.4 - MASONRY CONSTRUCTION
SPECIAL INSPECTIONS FOR CONCRETE CONSTRUCTION OF THE BUILDING SHALL BE AS REQUIRED BY SECTION 1704.5 & TABLE 1704.5.1 AS APPLICABLE TO THE PROJECT.

SECTION 1704.3 - STATEMENT OF SPECIAL INSPECTIONS
THE THIRD PARTY INSPECTION AGENCY SHALL PREPARE A STATEMENT OF SPECIAL INSPECTION PER 1704.3.1, 1704.2.3 AS APPLICABLE TO THE PROJECT.

SECTION 1704.4 - CONTRACTOR RESPONSIBILITY
EACH CONTRACTOR RESPONSIBLE FOR THE CONSTRUCTION OF A MAIN WIND- OR SEISMIC-FORCE RESISTING SYSTEM, DESIGNATED WIND- OR SEISMIC-FORCE RESISTING COMPONENT LISTED IN THE STATEMENT OF SPECIAL INSPECTIONS SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE BUILDING CODE OFFICIAL. THE OWNER PRIOR TO COMMENCEMENT OF WORK ON THE SYSTEM OR COMPONENT. THE CONTRACTOR'S STATEMENT SHALL CONTAIN ACKNOWLEDGMENT OF THE AWARENESS OF THE SPECIAL REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTION.

SECTION 1706 - DESIGN STRENGTHS OF MATERIALS
THE DESIGN STRENGTHS AND PERMISSIBLE STRESSES OF ANY STRUCTURAL MATERIAL IDENTIFIED BY A MANUFACTURER'S DESIGNATION IS OTHERWISE CONFIRMED TO THE SATISFACTION OF THE B.C.O., SHALL CONFORM TO THE SPECIFICATION AND METHODS OF ACCEPTED ENGINEERING PRACTICE.

GENERAL NOTES

1. WORST CASE CODE OCCUPANCY CALCULATIONS ARE USED TO DETERMINE ALL EGRESS AND EXITING CAPACITIES.
2. DESIGN OCCUPANCY CALCULATIONS ARE BASED ON SEATING CAPACITIES USING FURNITURE COUNTS WHEN APPLICABLE. CLASSROOM OCCUPANCIES ARE BASED ON CLASSROOM SEATING CAPACITIES AND HAVE THREE ADDITIONAL OCCUPANTS ADDED FOR A TEACHER AND TWO TEACHING ASSISTANTS.

LEGEND		
DESCRIPTION	SYMBOL	
DOOR EGRESS TAG		
EGRESS CAPACITY ALLOWED BY CODE		
OCCUPANCY ROOM TAG (PER IBC 2015 TABLE 1004.1.2)		
FIRE RATING LINE TYPES		
ONE HOUR RATING		
TWO HOUR RATING		
NOTE: ALL FIRE RATED BARRIERS, PARTITIONS, AND HORIZONTAL ASSEMBLIES SHALL BE IDENTIFIED PER SPECIFICATION SECTION 707.3.4 IDENTIFICATION AND IBC 2015 SECTION 703.7 MARKING AND IDENTIFICATION		
EGRESS LINE TYPES		
PATH OF EGRESS		
TEMPORARY EGRESS PATH		
MAXIMUM TRAVEL DISTANCE		
NOTE 1: DEPICTS DIRECTION OF TRAVEL		
NOTE 2: MAXIMUM TRAVEL DISTANCE IN FEET		
AREAS OF REFUGE		
EXIT SEPARATION DISTANCE (REFER TO NOTE 2 BELOW)		
(DDES) DIAGONAL DISTANCE OVERALL SEPARATION - (ESD) EXIT SEPARATION DISTANCE		
ACCESSIBLE ENTRY & EXIT TO PUBLIC WAY		
EXTERIOR AREA STATION WITH SIGNAGE & TWO-WAY COMMUNICATION DEVICE		
AREA STATION - UNDER A.T. SERIES 130		
DELETE AREA STATION IN THE STAIR TOWER AND DELETE AREA STATIONS AT 2ND & 3RD FLOOR ELEVATOR LOBBY		
REFER TO ALTERNATE SERIES 130 - DELETE AREA SYSTEM		

NOTES:
1. EGRESS PATHS SHOWN ARE THE LONGEST FROM EACH SPACE.
2. IBC 2015 1007.1.1, EXCEPTION #2 - WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM (THE SEPARATION DISTANCE OF AT LEAST TWO OF THE EXIT DOORS) SHALL NOT BE LESS THAN ONE-THIRD OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE AREA SERVED.
3. ALL MEANS OF EGRESS, PER FLOOR, ARE TO BE ACCESSIBLE.

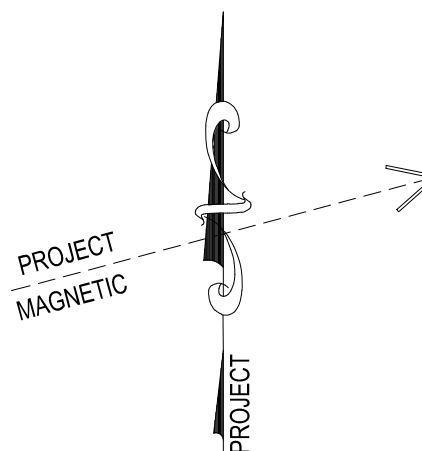
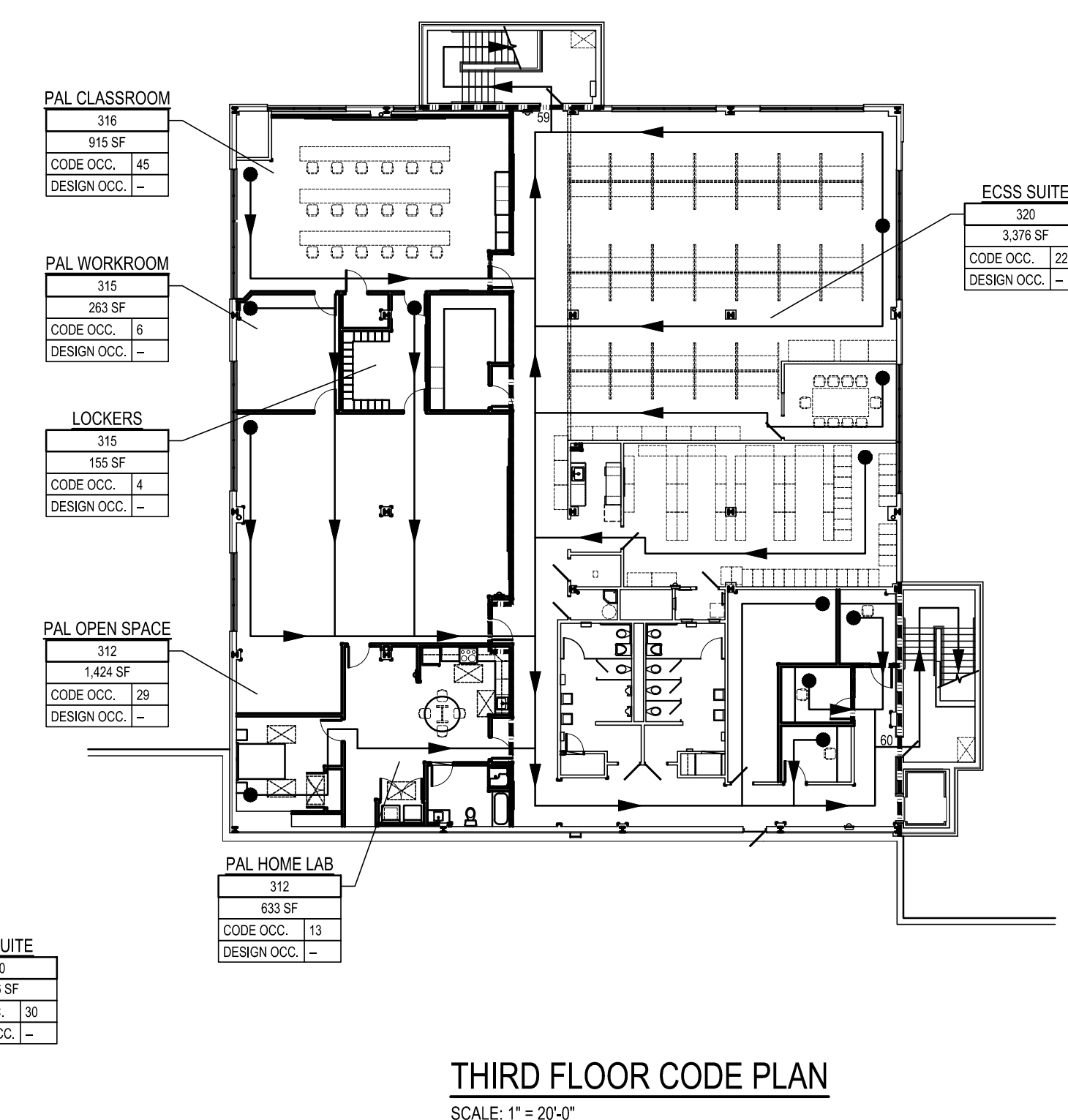
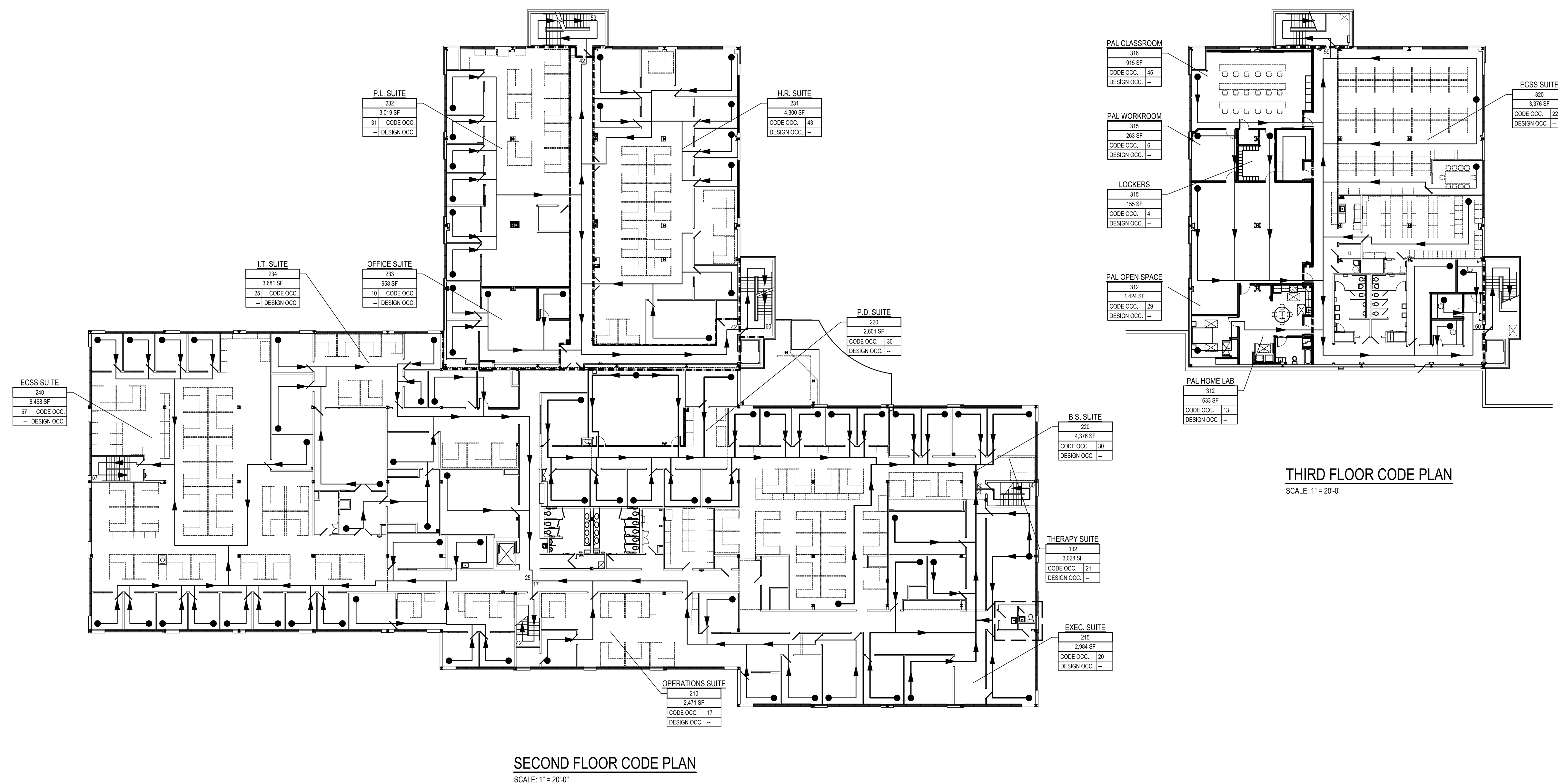
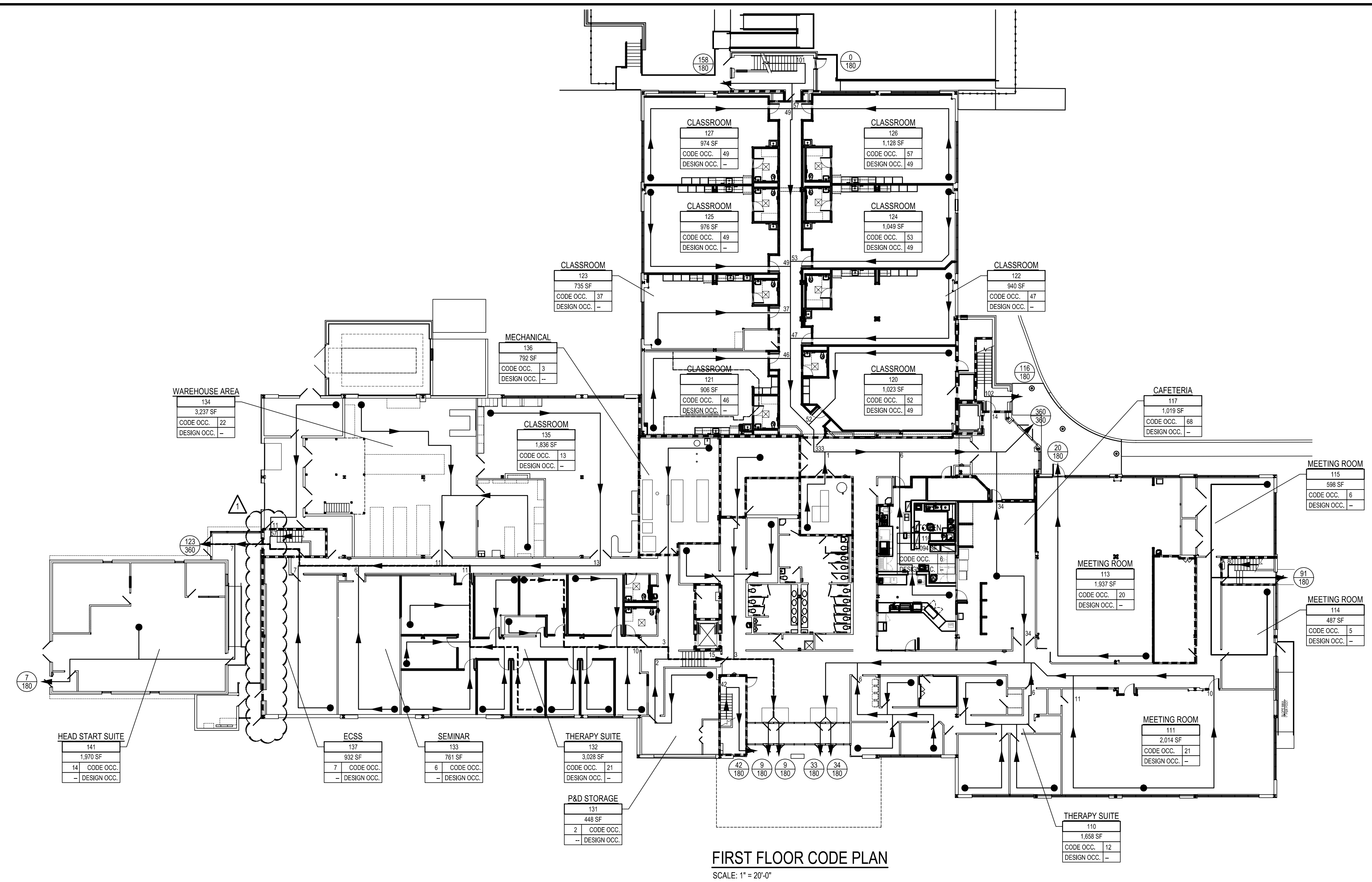
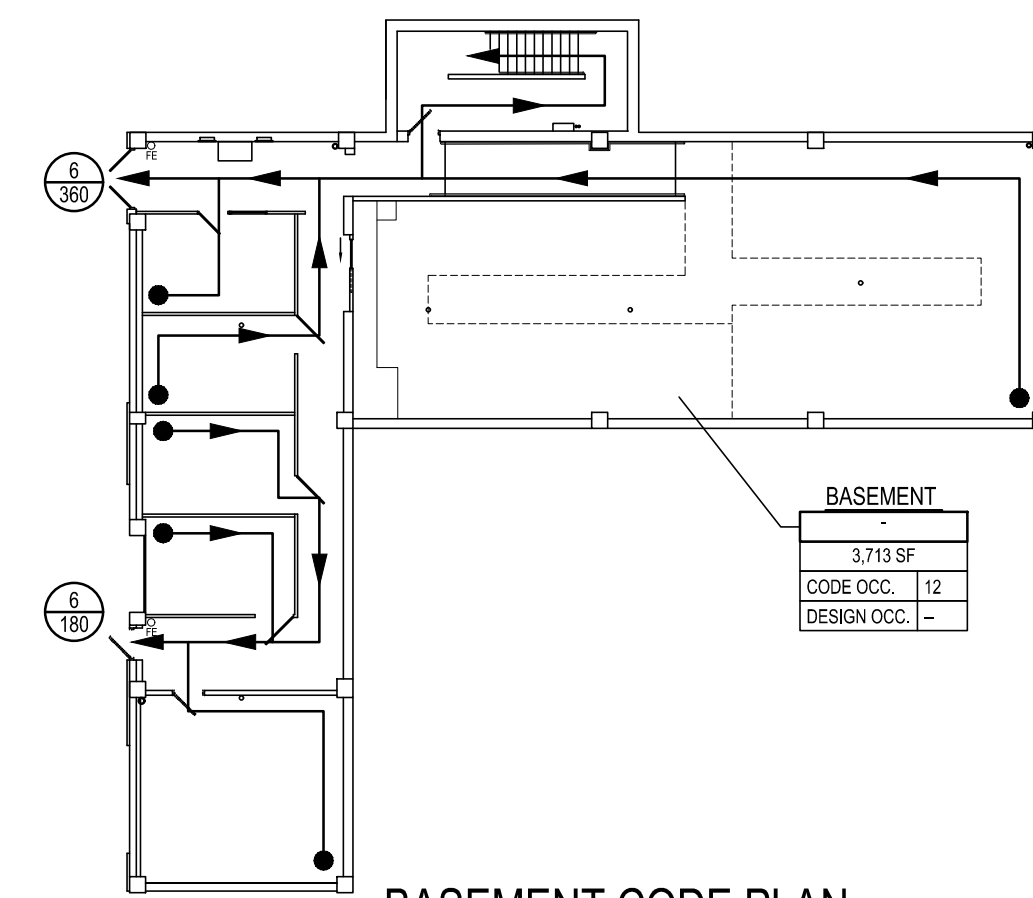
BUSINESS PLUMBING FIXTURE COUNT				
PLUMBING FIXTURE COUNT - CHAPTER 29				
REFERENCE TABLE 2902.1 - MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES				
THEORETICAL MAXIMUM PEAK CAPACITY =	535 OCCUPANTS			
REQUIRED FIXTURES PER GENDER	WOMEN	MEN	UNSEX	TOTAL
WATER CLOSETS	7	7	-	14
LAVATORIES	5	5	-	10
DRINKING FOUNTAINS	-	-	-	6
SERVICE SINK	-	-	-	1
NOTES: 1) NO MORE THAN 50% OF PROVIDED OR REQUIRED NUMBER OF WATER CLOSETS FOR MEN ARE URINALS 2) DESIGN OCCUPANCY WAS USED TO DETERMINE REQUIRED FIXTURE COUNT. CODE OCCUPANCY WAS USED TO DETERMINE EXITING CAPACITY.				

EDUCATIONAL PLUMBING FIXTURE COUNT				
PLUMBING FIXTURE COUNT - CHAPTER 29				
REFERENCE TABLE 2902.1 - MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES				
THEORETICAL MAXIMUM PEAK CAPACITY =	472 OCCUPANTS			
REQUIRED FIXTURES PER GENDER	WOMEN	MEN	UNSEX	TOTAL
WATER CLOSETS	19	14	-	47
LAVATORIES	13	10	-	37
DRINKING FOUNTAINS + BUBBLERS	-	-	-	4 + 9
SHOWERS	-	-	-	1
SERVICE SINKS	-	-	-	3
NOTES: 1) NO MORE THAN 50% OF PROVIDED OR REQUIRED NUMBER OF WATER CLOSETS FOR MEN ARE URINALS 2) DESIGN OCCUPANCY WAS USED TO DETERMINE REQUIRED FIXTURE COUNT. CODE OCCUPANCY WAS USED TO DETERMINE EXITING CAPACITY.				

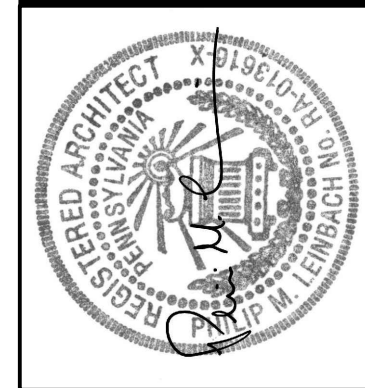
PLUMBING FIXTURE PROVIDED				
PLUMBING FIXTURE COUNT - CHAPTER 29				
FIXTURES PROVIDED	WOMEN	MEN	UNSEX	TOTAL
WATER CLOSETS	19	14	-	47
LAVATORIES	13	10	-	37
DRINKING FOUNTAINS + BUBBLERS	-	-	-	4 + 9
SHOWERS	-	-	-	1
SERVICE SINKS	-	-	-	3
NOTES: 1) NO MORE THAN 50% OF PROVIDED OR REQUIRED NUMBER OF WATER CLOSETS FOR MEN ARE URINALS 2) DESIGN OCCUPANCY WAS USED TO DETERMINE REQUIRED FIXTURE COUNT. CODE OCCUPANCY WAS USED TO DETERMINE EXITING CAPACITY.				

DRINKING FOUNTAIN / BUBBLER NOTE

BUBBLERS SHALL BE PROVIDED IN ALL NEW CLASSROOMS TO COMPLY WITH THE DRINKING FOUNTAIN REQUIRE



REVISIONS	
DATE	DESCRIPTION
10.30.23	DRAWING PH-1 REISSUED IN ADDENDUM #2



AEM ARCHITECTS INC.

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CODE PLANS
RENOVATIONS TO BERKS COUNTY INTERMEDIATE UNIT 14
BCIU MAIN OFFICE
1111 COMMONS BLVD. READING, PA 19605

ALL DIMENSIONS and EXISTING CONDITIONS
shall be CHECKED and VERIFIED
by the CONTRACTOR at the SITE.

JOB NO.: 24015.00
DRAWN BY: SRH
DATE: 10.15.25