

**MAIN OFFICE RENOVATIONS
BERKS COUNTY INTERMEDIATE UNIT**

AEM ARCHITECTS
PHONE (610) 779-3220

CONSOLIDATED ENGINEERS
PHONE (610) 916-1600

WZG STRUCTURAL CONSULTING
PHONE (610) 831-0555

WILKINSON DESIGN
PHONE: (610) 323-3400

CORSI ASSOCIATES
PHONE: (866) 267-7447

This Addendum forms a part of the Contract Documents for the above referenced project; and hereby modifies and takes precedence over the original bidding documents as though originally included therein at length. Bidding contractors shall acknowledge receipt of this Addendum in the space provided on the Bid Form. **This Addendum consists of 3 pages plus attachments.**

CLARIFICATION

- 1.1 There has been some confusion regarding the Bid due date from conflicting information received by prospective bidders. All Bids are due on November 6, 2025, at 11:00 A.M. This is the date in the official advertisement, and it has not changed.

CHANGES TO BIDDING REQUIREMENTS

- 1.2 General Construction Bid Form
- A. On page 00 41 00 – 2 – GENERAL, under Alternates, delete Alternate No. A100 “Deduct Work at Reading Crest Ave Facility.”
- 1.3 Plumbing Construction Bid Form
- A. On page 00 41 00 – 2 – PLUMBING, under Alternates, delete Alternate No. P100 “Deduct Work at Reading Crest Ave Facility.”
- 1.4 HVAC Construction Bid Form
- A. On page 00 41 00 – 2 – HVAC, under Alternates, delete Alternate No. H100 “Deduct Work at Reading Crest Ave Facility.”
- 1.5 Electrical Construction Bid Form
- A. On page 00 41 00 – 2 – ELECTRICAL, under Alternates, delete Alternate No. E100 “Deduct Work at Reading Crest Ave Facility.”

CHANGES TO SPECIFICATIONS

- 1.6 Section 01 23 00 – “Alternates”
- A. On page 01 23 00 – 2, delete Item 3.2.A in its entirety.
- B. On page 01 23 00 – 3, delete Item 3.3.A in its entirety.
- C. On page 01 23 00 – 4, delete Item 3.4.A in its entirety.
- D. On page 01 23 00 – 4, delete Item 3.5.A in its entirety.
- 1.7 Section 10 51 13 – “Metal Lockers”
- A. On page 10 51 13 – 3, insert the following as Items 2.3.B.5:
5. Lockers Manufacturing, Batesville, MS

**MAIN OFFICE RENOVATIONS
BERKS COUNTY INTERMEDIATE UNIT****GENERAL CLARIFICATIONS**

1.8 General Clarification:

- A. All work indicated for the Reading Crest Building shall be removed from the Project scope. The following Drawings shall be deleted in their entirety:

<u>Drawing</u>	<u>Title</u>
C-8	1:20 Site Plan – Reading Crest
A-15	1/8" Exterior Elevations – Reading Crest
AD-1	1/8" First Floor Plan – Reading Crest
PD-D1	First Floor Plan – Reading Crest – Plumbing Demolition
H-D1	First Floor Plan – Reading Crest HVAC
E-6	Reading Crest Floor Plans – Systems
ED-D1	Reading Crest Floor Plans – Demolition
E-D1	Reading Crest Floor Plans – Lighting & Power

- B. On Drawing PH-1, in the Phasing Schedule, delete "Phase 11 – Reading Crest Facility."
C. On Drawing A-16, delete entire "Door Schedule – Reading Crest."
D. On Drawing A-18, delete entire "Room Finish Schedule – Reading Crest."

1.9 The following link is provided to all bidders for informational purposes only:

<https://spaces.hightail.com/receive/IL0imr8NNj>

This link is for scanned drawings from the last major renovation, circa 2010, for bidders use and information only. These PDF drawings are not part of the Bidding and Contract Documents.

CHANGES TO DRAWINGS

1.10 The following attached Sketches and Drawings dated 10.27.25 are hereby issued with this Addendum:

<u>Sketch</u>	<u>Reference</u>	<u>Description</u>
SKC-1	C-0	Playground Area New Concrete Sidewalks
SKA-3	A-14	Exterior Sign Attachment Detail
SKA-2	A-21A – A-21B	Alternate #130
SKA-4	A-C1	Revised Wall Types
SKA-1	A-C3	Furniture Schedule

1.11 Drawing A-0 – Cover Sheet

- A. The name for Drawing PH-1 shall be revised to "Building Phasing Plan".

1.12 Drawing C-0 – 1:40 Site Plan

- A. The Note 9 in a hexagon, in the Northwest Parking Lot, shall be deleted.
B. The Note 1 in a hexagon, in the Southwest Parking Lot near the Heather Knoll Pump Station, shall be revised to Note 5. The concrete washout shall be located in the adjacent lawn area to the south.
C. In the Northwest Parking Lot, salvage the parking bumpers on the Southeast run of parking spaces and reinstall. For bidding purposes, assume providing four (4) new parking bumpers.
D. In the North Parking Lot, at the full depth reconstruction, replace the existing HCP parking signs (total of four (4) to be provided).

**MAIN OFFICE RENOVATIONS
BERKS COUNTY INTERMEDIATE UNIT**

1.13 Drawing C-6 – Playground Site Plan

- A. Below the Playground Plan, insert the following Drawing title:

"Enlarged Playground Plan"
Scale: 1/8" = 1'-0"

1.14 Drawing A-1 – Typical Legends

- A. In the Window Treatment Legend, delete the symbols "ERS" and "ERSD" and their descriptions.

1.15 Drawing A-4 – Demolition Plan First Floor – Unit A

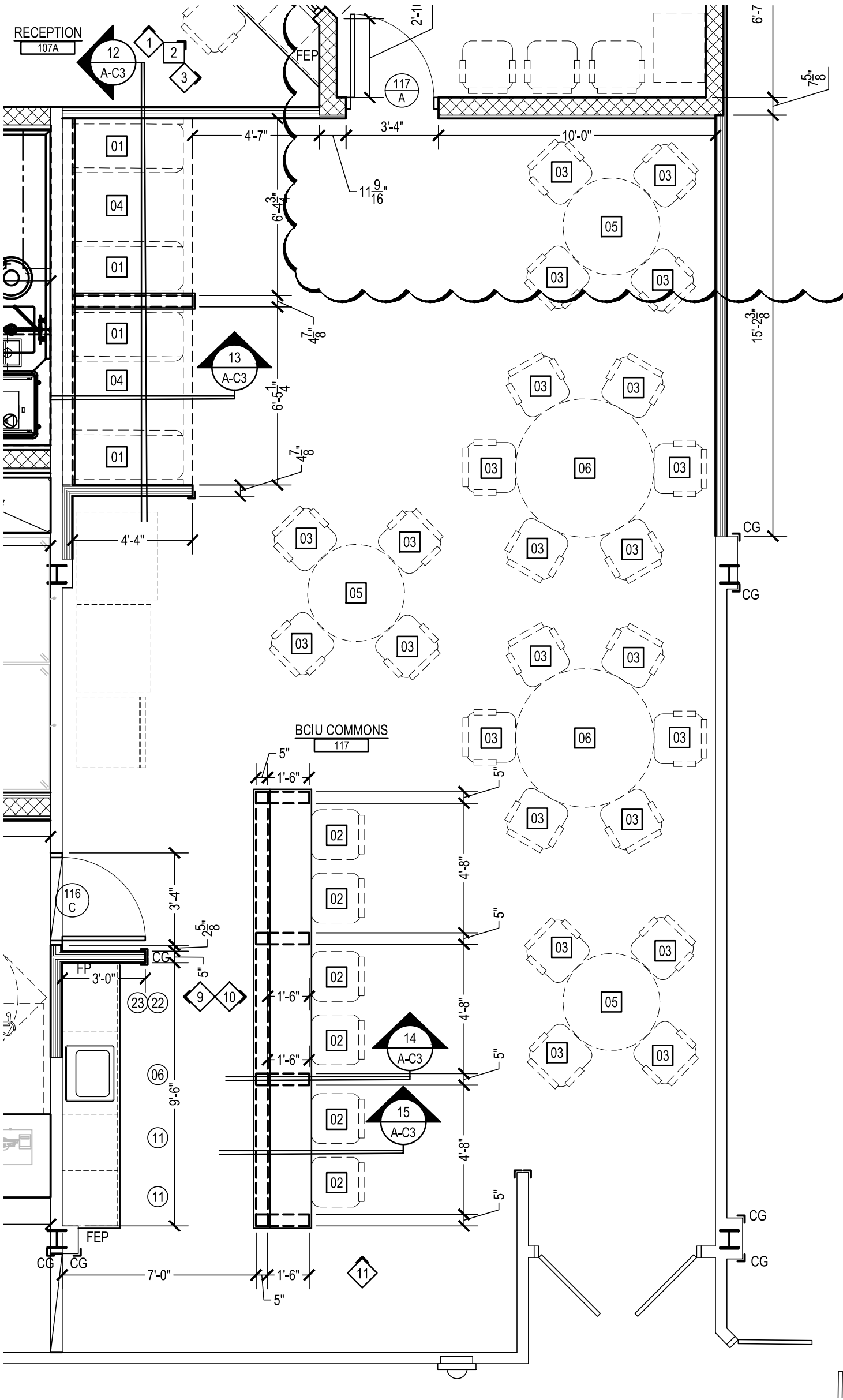
- A. In Board Room 127, remove Note 10G from the left side of the space.

1.16 Drawing A-14A – 3/32" Exterior Elevations – Main Office

- A. Reference Exterior Elevation 1, on the upper left corner of the elevation, at the two cross-hatched areas, add Note 1 in a square to denote Masonry Restoration in these locations.

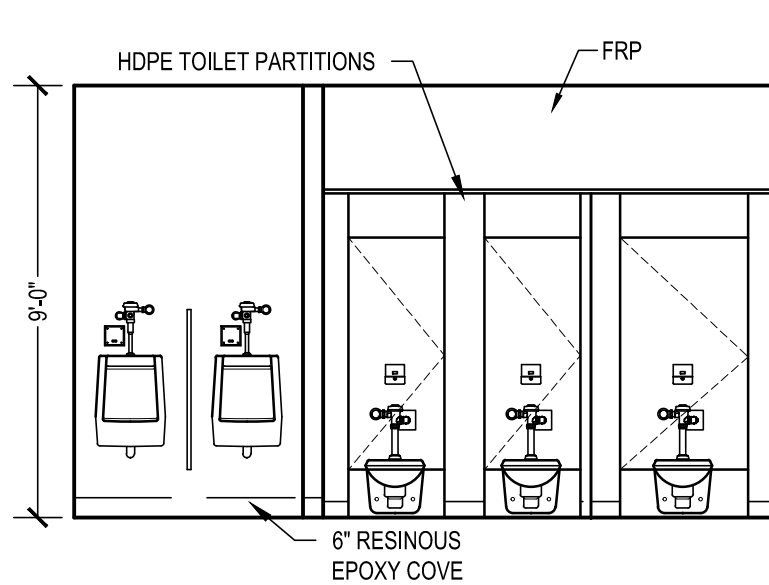
END OF EMAIL ADDENDUM NUMBER ONE

FURNITURE SCHEDULE



FURNITURE SCHEDULE				
TAG	DESCRIPTION	SIZE		
		W	D	H
01	RESTAURANT BENCH	48	-	42
02	HIGH TOP CHAIR	20	18	46
03	DINING CHAIR	21	20	33
04	RESTAURANT BOOTH TABLE	48	30	30
05	DINING TABLE	42" DIA		30
06	DINING TABLE	60" DIA		30

REFERENCE DRAWING: A-C3

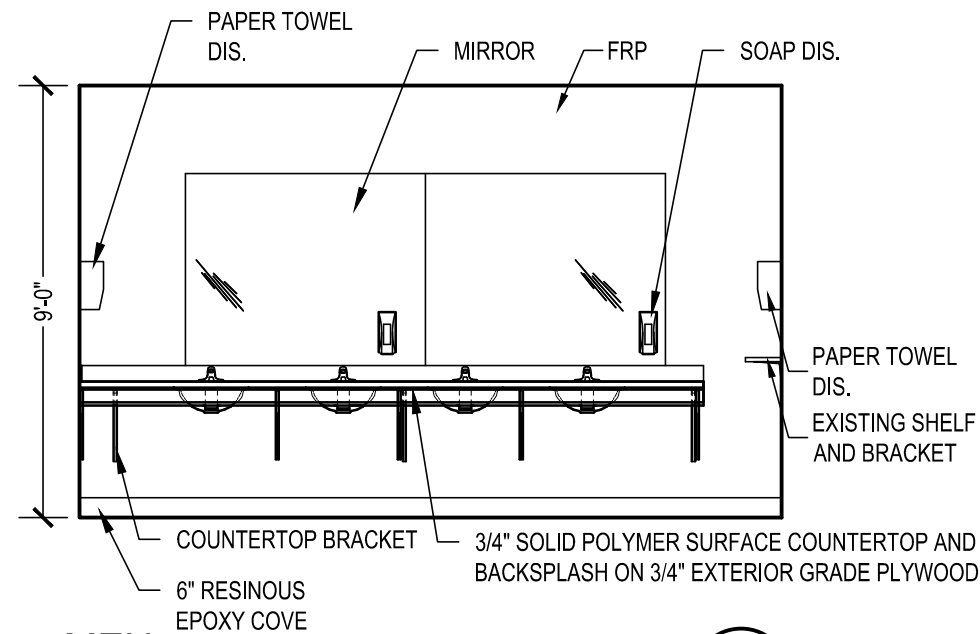


MEN

SCALE: 1/4" = 1'-0"

ROOM NO: 102

5



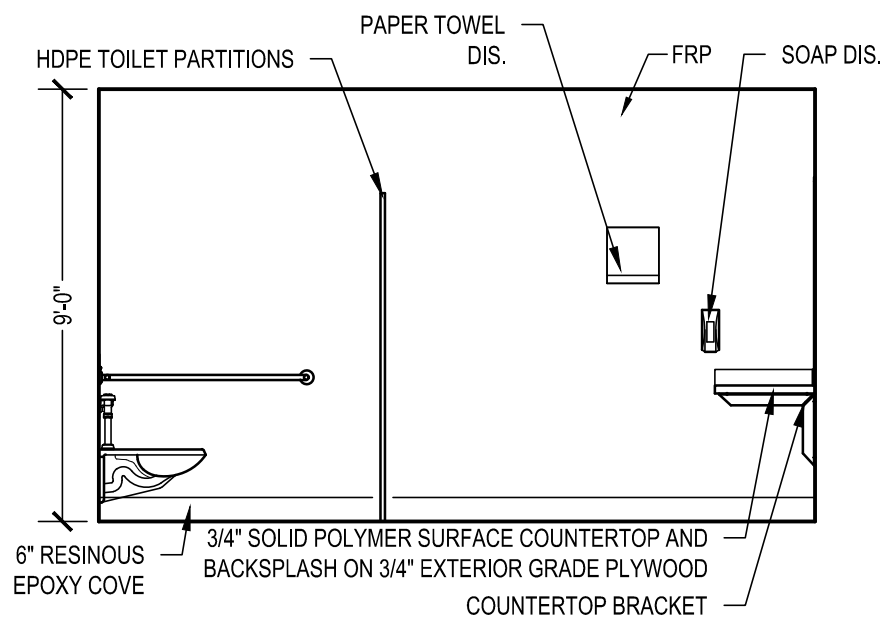
MEN

SCALE: 1/4" = 1'-0"

ROOM NO: 102

6

- NOTE:
1. REMOVE AND PROTECT ALL TOILET ACCESSORIES FOR REINSTALLATION.
 2. PROVIDE NEW 48 x 60 MIRRORS TO MATCH EXISTING.

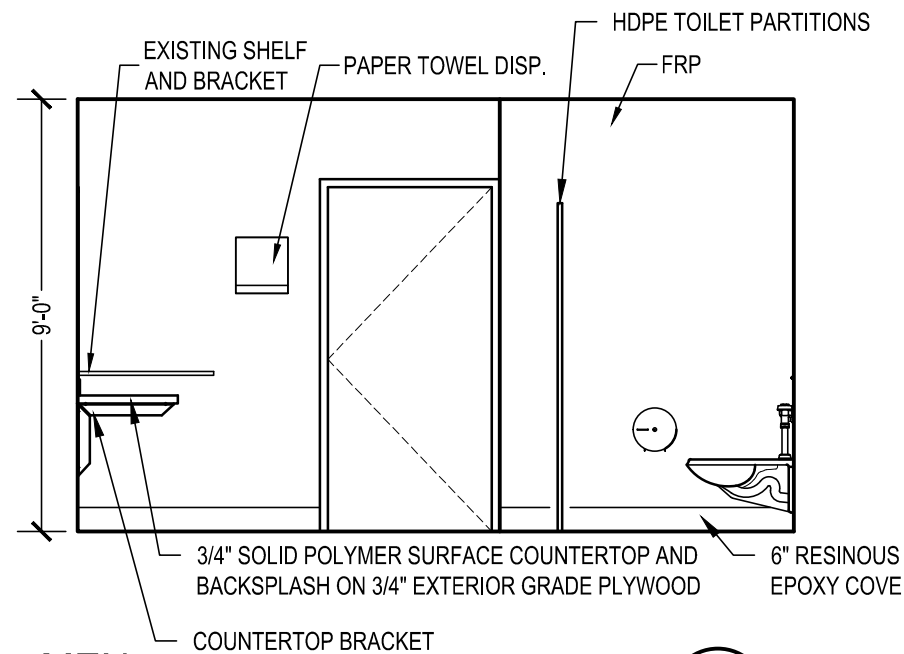


MEN

SCALE: 1/4" = 1'-0"

ROOM NO: 102

7

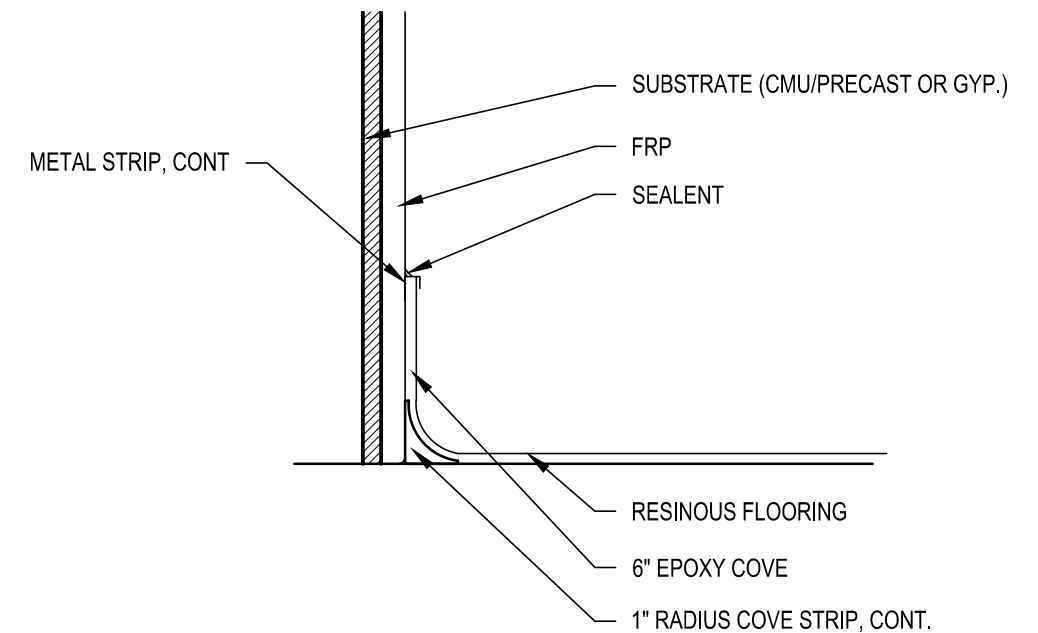


MEN

SCALE: 1/4" = 1'-0"

ROOM NO: 102

8



A
SKA-2

TYP. RESINOUS COVE DETAIL

SCALE: 3" = 1'-0"

ALTERNATE #130

REFERENCE DRAWING: A-21A - A-21B

- EXISTING WALL CONSTRUCTION
- NEW EXTERIOR GRADE GYP. BD. SHEATHING TO MATCH EXISTING (EQUAL TO USG SECURROCK)
- NEW EIFS TO MATCH EXISTING
- MANUFACTURES STANDARD FLASHING
- CONTINUOUS 1/8" ALUMINUM STIFFENER PLATE. WELDED TO FACE FOR FASTENING THROUGH HOUSING
- 1/8" ALUMINUM SIGN HOUSING. FULLY WELDED WITH POLYURETHANE PAINT FINISH ON ALL SURFACES (WHITE INTERIOR)
- 12V / .9W LED LIGHT MODULES WITH 5" MAX. COVERAGE SPREAD
- 3/4" CLEAR PLEXIGLASS SHEET ROUTED TO CREATE 1/2" PROJECTION FROM FACE OF SIGN
- "3M" TRANSLUCENT VINYL APPLIED TO FIRST SURFACE OF PLEXIGLASS
- 1/8" ALUMINUM SIGN HOUSING. FULLY WELDED WITH POLYURETHANE PAINT FINISH ON ALL SURFACES (WHITE INTERIOR)
- 1/8" ALUMINUM REMOVABLE SIGN FACE WITH POLYURETHANE PAINT FINISH

5'-0"

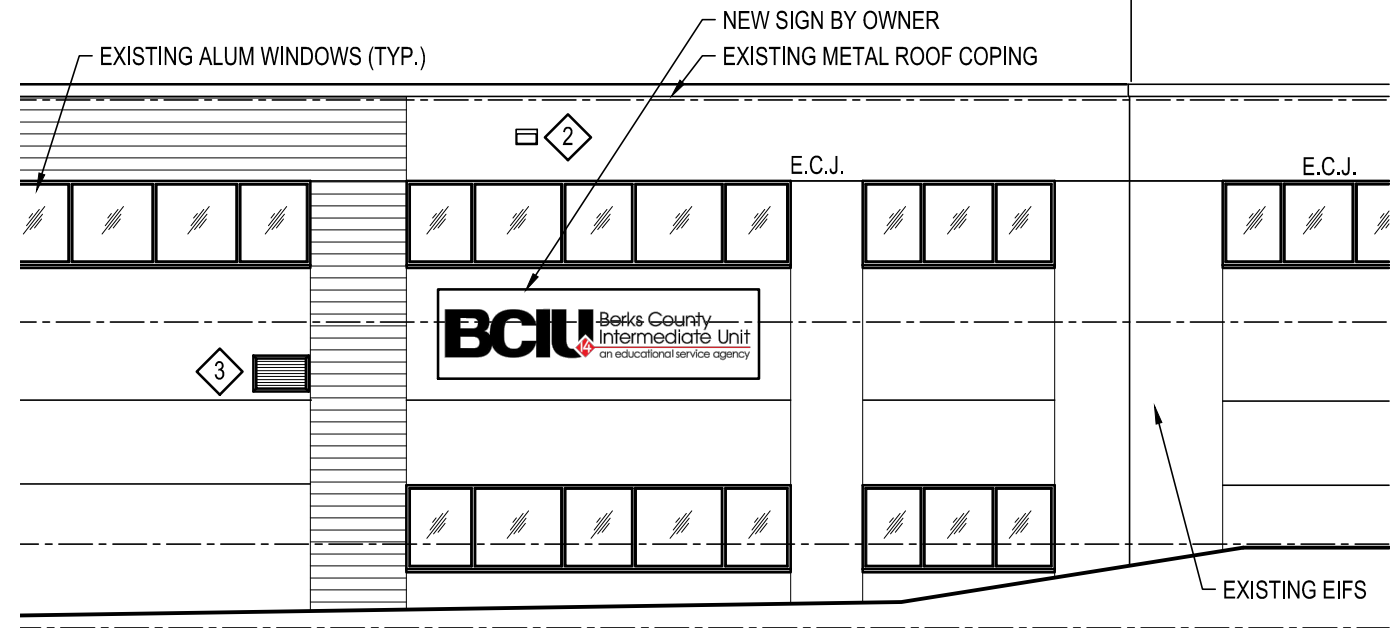
- 2x BLOCKING PER SIGN MANUFACTURE REQUIREMENT
- THREADED STUDS WELDED TO BACK OF SIGN FACE FOR FASTENING PLEXIGLASS
- MANUFACTURES STANDARD FLASHING

EXTERIOR SIGN ATTACHMENT DETAIL



TYPICAL SIGN SECTION

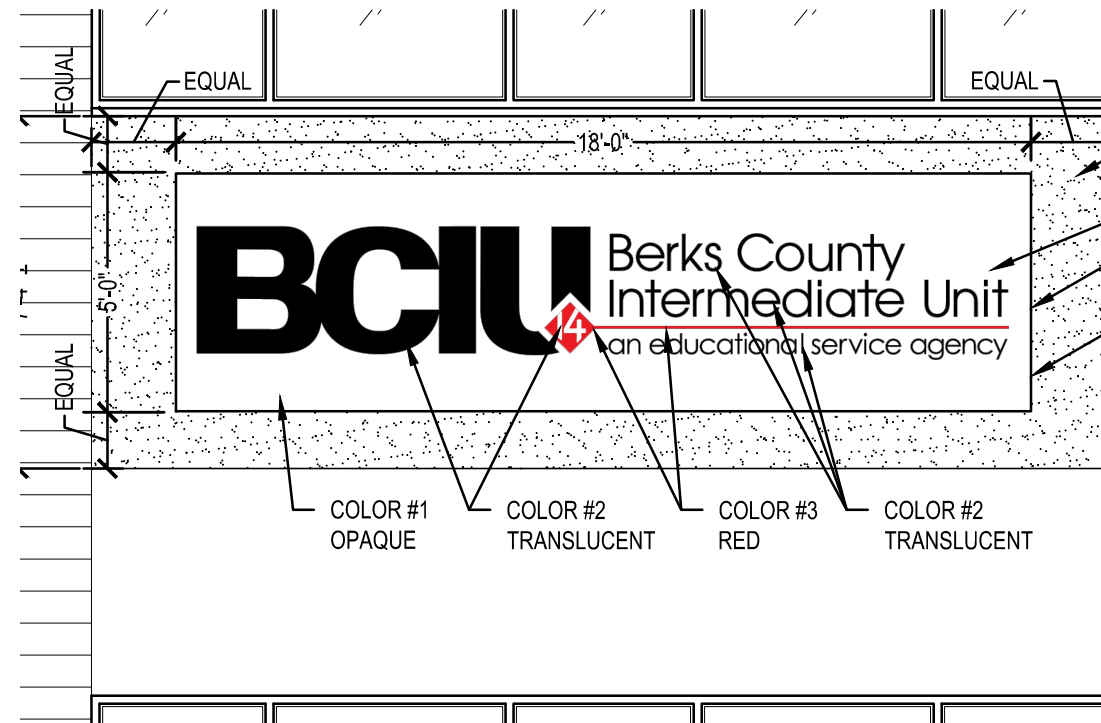
SCALE: 1-1/2" = 1'-0"



PARTIAL EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

1



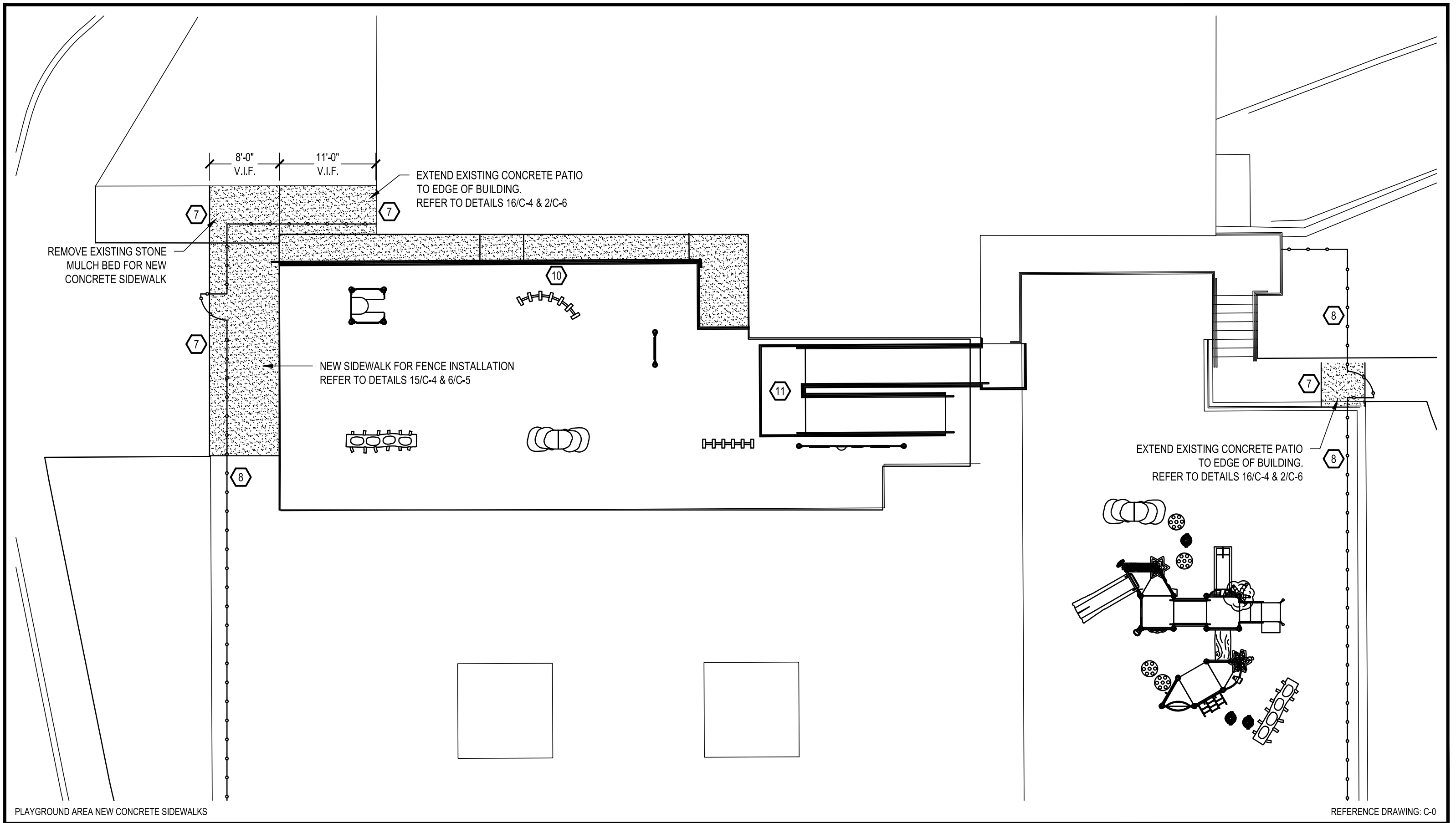
- PROVIDE NEW EIFS IN THIS ENTIRE AREA TO MATCH EXISTING
- NEW SIGN DESIGN BY OWNER
- CONTINUOUS SEALANT ALONG ALL VERTICAL SURFACES
- DEMO EXISTING BUILDING LETTERS AND EFIS TO SUBSTRAIGHT

ENLARGED SIGN ELEVATION

SCALE: 1/4" = 1'-0"

A

REFERENCE DRAWING: A-14



PLAYGROUND AREA NEW CONCRETE SIDEWALKS

REFERENCE DRAWING: C-0