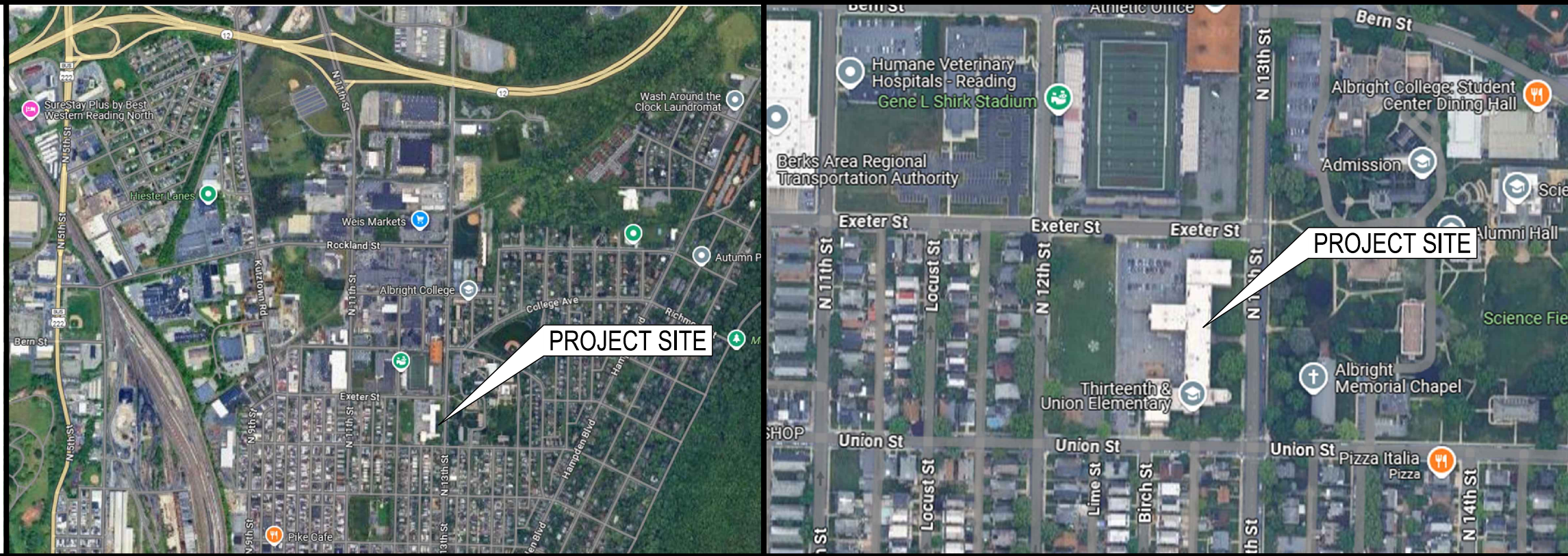


WINDOW AND DOOR REPLACEMENT FOR
13TH AND UNION ELEMENTARY SCHOOL
READING SCHOOL DISTRICT
1600 NORTH 13TH STREET, READING, BERKS COUNTY, PA



LOCATION MAP

SITE MAP

DRAWING INDEX

ARCHITECTURAL

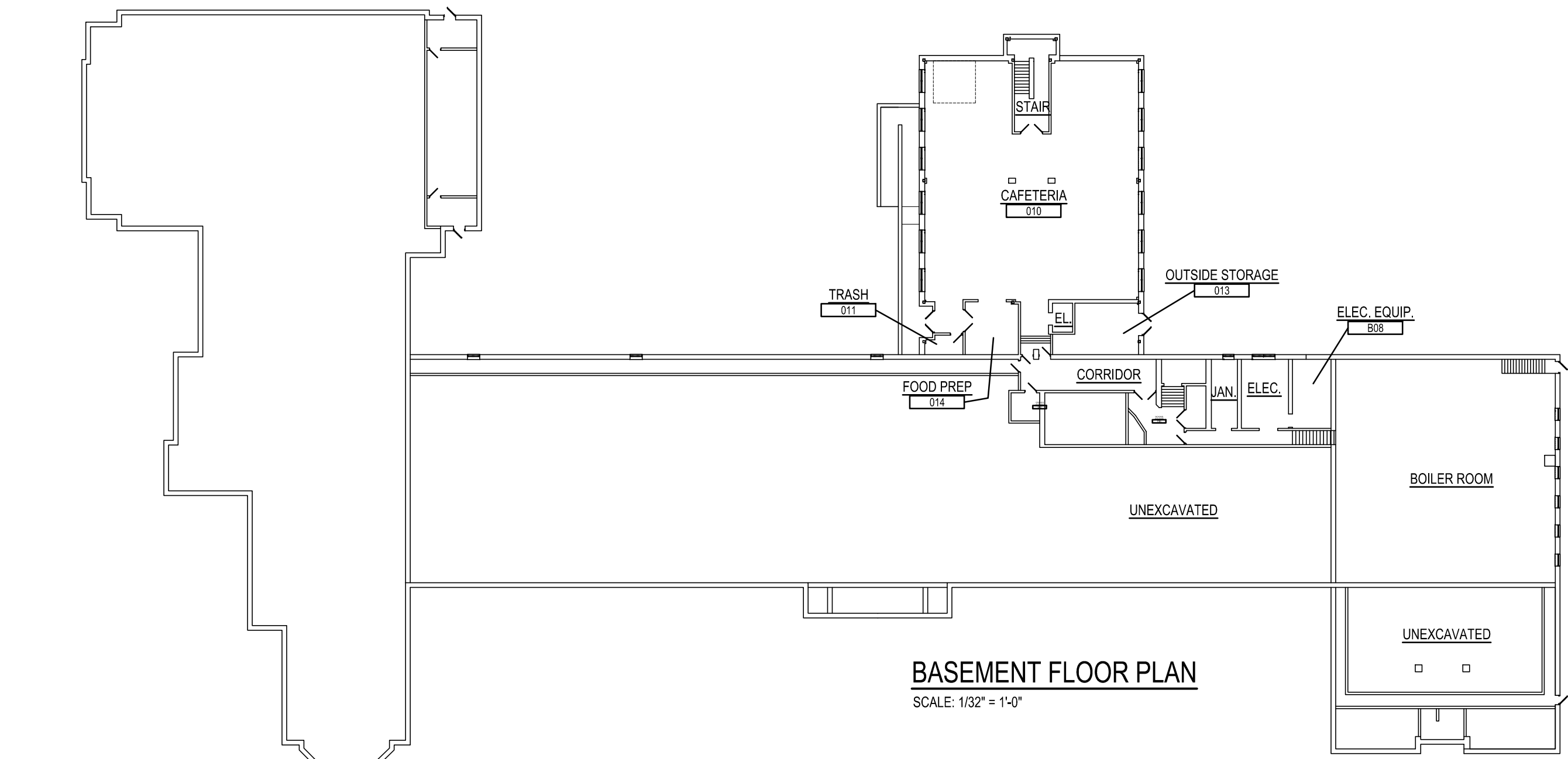
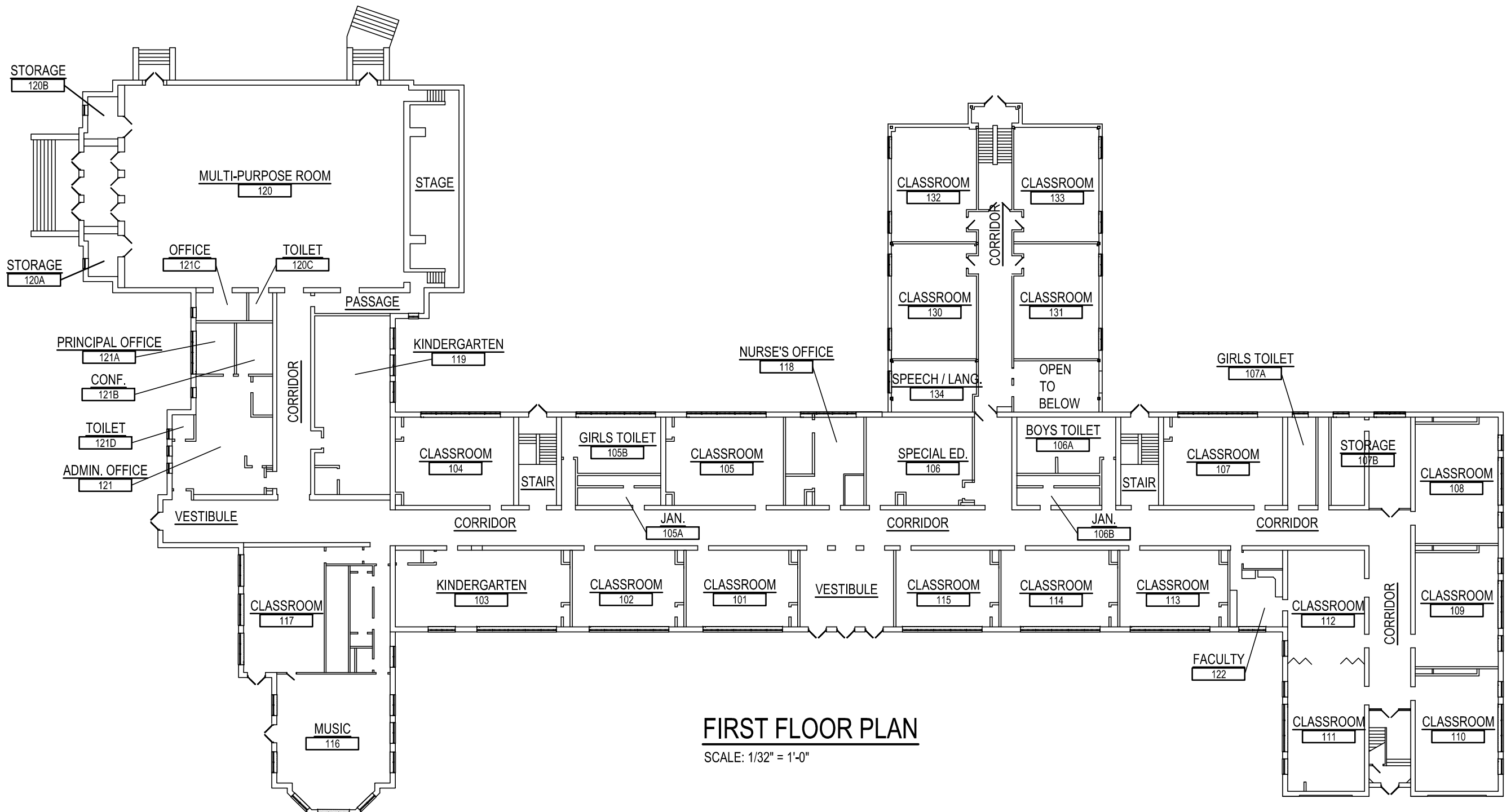
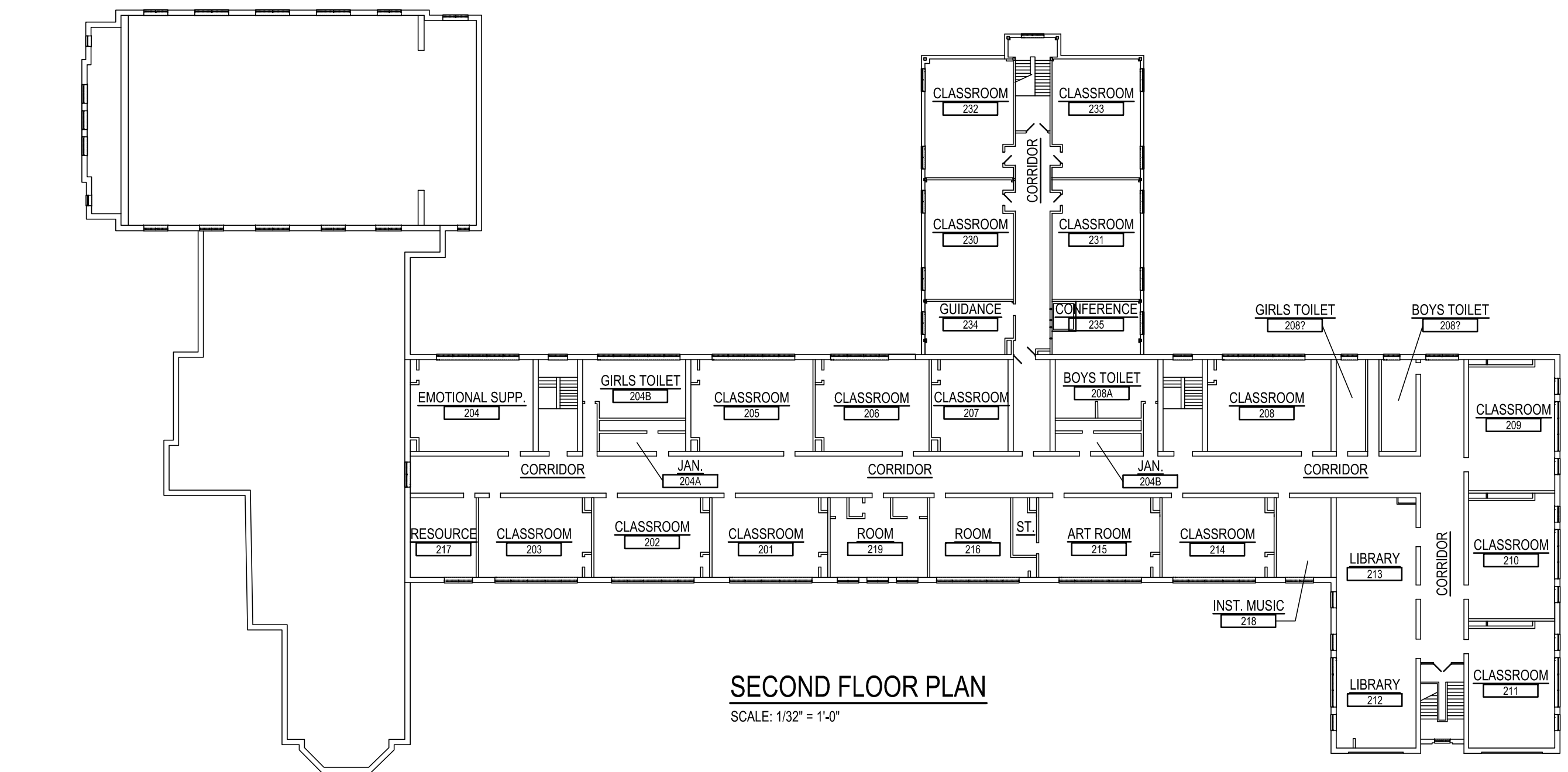
- A-0 COVER SHEET / CODE PLANS
- SP-1 SITE PLAN
- PH-1 PHASING PLAN
- A-1 1/16" BASEMENT AND FIRST FLOOR PLANS
- A-2 1/16" SECOND FLOOR PLAN
- A-3 1/8" EXTERIOR ELEVATIONS
- A-4 1/8" EXTERIOR ELEVATIONS
- A-5 DOOR SCHEDULE, TYPES, AND DETAILS
- A-6 WINDOW TYPES AND DETAILS
- A-7 WINDOW DETAILS
- A-8 BASEMENT AND FIRST FLOOR REFLECTED CEILING PLANS
- A-9 SECOND FLOOR REFLECTED CEILING PLANS

APPLICABLE CODES AS OF DATE OF DESIGN CONTRACT	
CODE	DATE
INTERNATIONAL BUILDING CODE (EXCEPT CHAPTER 1 & 11)	2018
INTERNATIONAL BUILDING CODE - CHAPTER 11	2021
INTERNATIONAL FIRE CODE	2018
INTERNATIONAL MECHANICAL CODE	2018
INTERNATIONAL PLUMBING CODE	2018
INTERNATIONAL ENERGY CONSERVATION CODE	2018
ICC ELECTRICAL CODE	2018
ICC ANSI A117.1	2017
LOCAL CODE AMENDMENTS	NONE

READING SCHOOL DISTRICT - 13TH AND UNION ELEMENTARY	
INTERNATIONAL BUILDING CODE (2018)	
(SECTION 305) USE GROUP CLASSIFICATION	E
(SECTION 602) TYPE OF CONSTRUCTION	II
SPRINKLERED	YES
TOTAL BUILDING AREA	82,176 SF

TOTAL BUILDING AREA CALCULATION	
BASEMENT	10,871 SF
FIRST FLOOR	42,754 SF
SECOND FLOOR	28,551 SF
TOTAL	82,176 SF

CODE COMPLIANCE INFORMATION	
INTERNATIONAL EXISTING BUILDING CODE (2018)	
COMPLIANCE METHOD - CHAPTER 3 (SECTION 301.3.2)	WORK AREA COMPLIANCE
CLASSIFICATION OF WORK- CHAPTER 6 (SECTION 603)	ALTERATION - LEVEL 1
NO ADDITIONS TO THE EXISTING BUILDING AREA ARE PROPOSED.	
REPLACEMENT OF EXISTING DOORS AND WINDOWS AND MINOR REPAIRS	



WINDOW TREATMENT LEGEND	
	DENOTES ROLLER SHADES
	- GANGED FOR EACH SET OF WINDOWS

VISUAL DISPLAY BOARD LEGEND	
TACKBOARD SYMBOL:	
	4'-0\"/>
	DENOTES EXISTING TACKBOARD TO REMAIN

- TYPICAL VISUAL DISPLAY BOARD NOTES:
1. ALL TACKBOARDS SHALL BE 4'-0" HIGH UNLESS OTHERWISE NOTED.
 2. THE NUMBER IN THE SYMBOL DENOTES THE WIDTH OF THE UNIT.
 3. ALL TACKBOARD JOINTS TO BE WRAPPED & BUTT JOINTED
 4. VERIFY ALL MOUNTING HEIGHTS WITH OWNER PRIOR TO INSTALLATION

TYPICAL ELEVATION	
	CONTINUOUS ALUMINUM TRIM

SYMBOL LEGEND	
	WINDOW TREATMENT
	DEMOLITION NOTE
	RENOVATION NOTE
	TACKBOARD
	WINDOW TAG
	DOOR TAG

ABBREVIATIONS	
A - AIR	
AC - ACOUSTICAL	
ALUM - ALUMINUM	
APT - ALUMINUM PLATE THRESHOLD	
AT - ALUMINUM THRESHOLD	
CER - CERAMIC	
CJ - CONTROL JOINT	
CMU - CONCRETE MASONRY UNIT	
CONC - CONCRETE	
COORD - COORDINATE	
D - DEPTH	
DEMO - DEMOLITION	
DIA - DIAMETER	
DN - DOWN	
ECJ - EXISTING CONTROL JOINT	
ELEV - ELEVATION	
EP - END PANEL	
EQ - EQUAL	
EW - EACHWAY	
EXIST - EXISTING	
EXP JT - EXPANSION JOINT	
FEP - FINISHED END PANEL	
FTP - FINISHED TOP PANEL	
FP - FILLER PANEL	
FS - FACTORY STAINED	
GALV - GALVANIZED	
GYP BD - GYPSUM BOARD	
H - HIGH	
HC - HVAC CONTRACTOR	
HORIZ - HORIZONTAL	
HLB - HORIZONTAL LOUVER BLINDS	
HM - HOLLOW METAL	
L - LONG	
M - MODIFIED	
MAX - MAXIMUM	
MFR - MANUFACTURER	
MIN - MINIMUM	
MO - MASONRY OPENING	
NIC - NOT IN CONTRACT	
OC - ON CENTER	
OH - OVERHEAD	
PTD - PAINTED	
R - RADIUS	
REINF - REINFORCED	
RO - ROUGH OPENING	
RS - ROLLER SHADE	
SF - SQUARE FEET	
SS - STAINLESS STEEL	
TYP - TYPICAL	
UNO - UNLESS NOTED OTHERWISE	
V - VERTICAL	
VIF - VERIFY IN FIELD	
W - WIDE	
WD - WOOD	

GENERAL SITE NOTES:

THE FOLLOWING NOTES ARE GENERAL IN NATURE AND MAY NOT FULLY INDICATE THE EXTENT OF THE WORK REQUIRED. COORDINATION WITH ALL DOCUMENTS IS REQUIRED TO DETERMINE THE WORK SCOPE. WORK NOT SPECIFICALLY INDICATED BUT REQUIRED FOR A COMPLETE INSTALLATION SHALL BE INCLUDED BY CONTRACTOR IN THEIR BID. REFER TO DETAILS FOR ADDITIONAL INFORMATION.

A) THE CONTRACTOR SHALL REVIEW ALL DRAWINGS PRIOR TO THE START OF ANY WORK IN ANY AREA ON THE SITE. CONTRACTOR SHALL REVIEW EXISTING CONDITIONS IN THEIR ENTIRETY PRIOR TO PERFORMING ANY WORK ON ANY PART OF THE SITE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO WORK COMMENCING.

B) EXISTING SITE CONSTRUCTION SHALL REMAIN UNLESS NOTED OTHERWISE.

C) ALL CONTRACTOR PARKING AND LAY DOWN / STAGING AREAS SHALL BE WITHIN THE LIMITS OF CONSTRUCTION UNLESS APPROVED AND COORDINATED IN ADVANCE WITH THE OWNER.

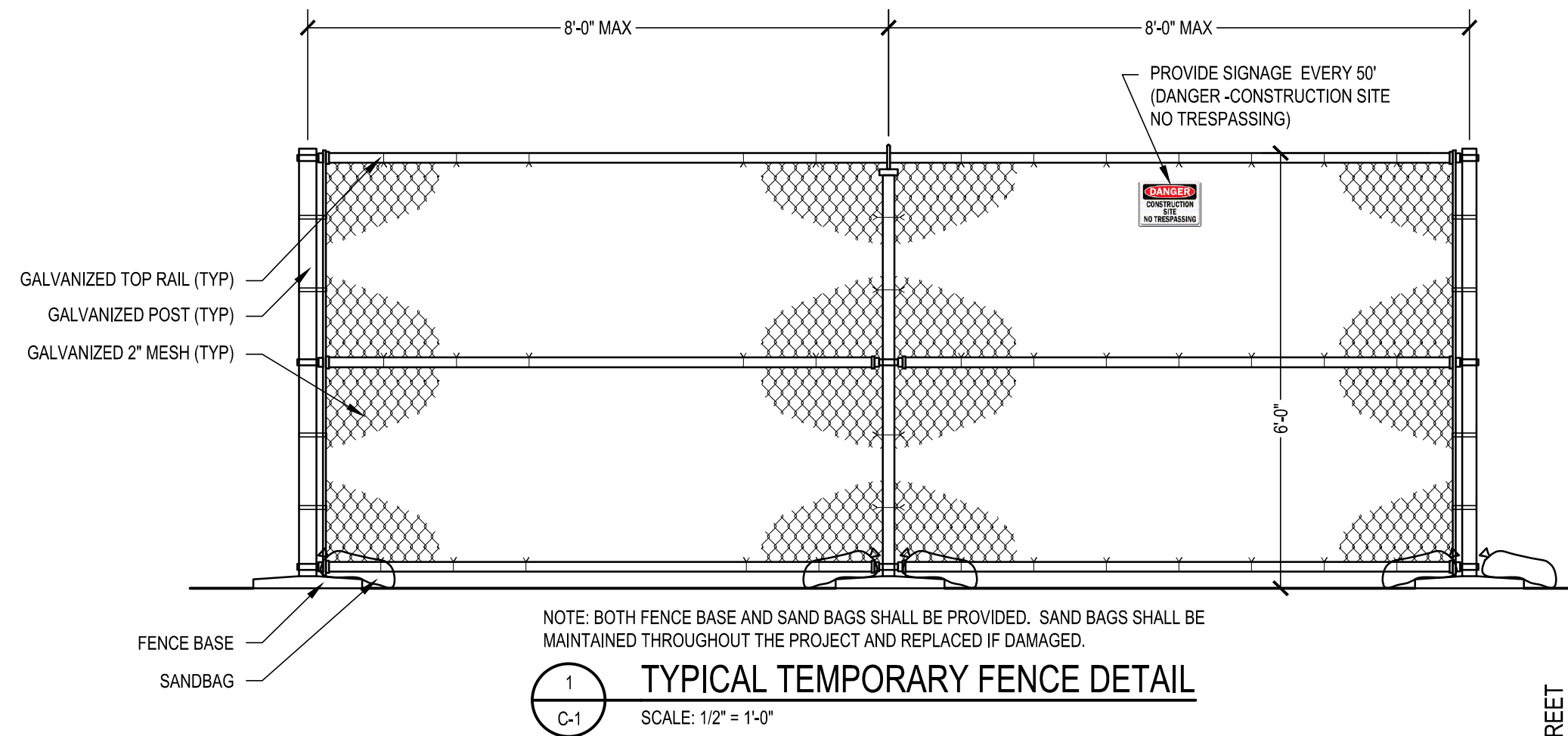
D) ALL LAWN, SIDEWALK, DRIVE OR PARKING SURFACE DISTURBED OR DAMAGED BY THE WORK SHALL BE RESTORED TO A CONDITION SATISFACTORY TO THE OWNER AND ARCHITECT. DISTURBED LAWN AREAS SHALL BE GRADED WITH NEW TOPSOIL, SEEDED AND STABILIZED FOR NEW GROWTH TO BE ESTABLISHED.

KEYED SITE NOTES:

- 1 CONTRACTOR PARKING AREA
- 2 TEMPORARY FENCING
- 3 8'-0" TEMPORARY GATE
- 4 CONTRACTOR LAYDOWN AREA
- 5 LAWN RESTORATION - REFER TO NOTE 'D' UNDER GENERAL SITE NOTES
- 6 DURING THE SCHOOL YEAR, AREAS MUST REMAIN CLEAR FOR STUDENT ARRIVAL AND DEPARTURE.

KEYED SITE DEMOLITION NOTES:

- A BENCH TO BE REMOVED IN ITS ENTIRETY
- B PLAYGROUND EQUIPMENT TO BE REMOVED IN ITS ENTIRETY
- C BASKETBALL GOAL, BACKBOARD, POLE, ETC. TO BE REMOVED IN THEIR ENTIRETY.



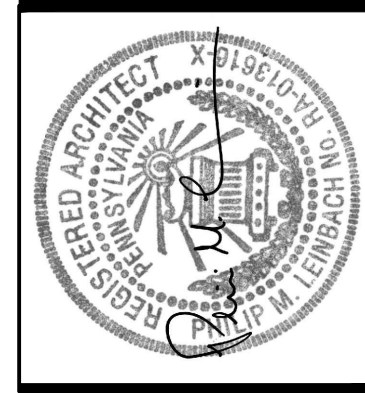
NORTH 12TH STREET



SITE PLAN

SCALE: 1" = 20'-0"

MAGNETIC



AEM ARCHITECTS, INC.

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1:20 SITE PLAN

WINDOW AND DOOR REPLACEMENT FOR
13TH AND UNION ELEMENTARY SCHOOL
READING SCHOOL DISTRICT
1800 NORTH 13TH STREET, READING, BERKS COUNTY, PA

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BY THE CONTRACTOR AT THE SITE.


JOB NO.: 25002.00
DRAWN BY: TCW
DATE: 03.07.25

SP-1

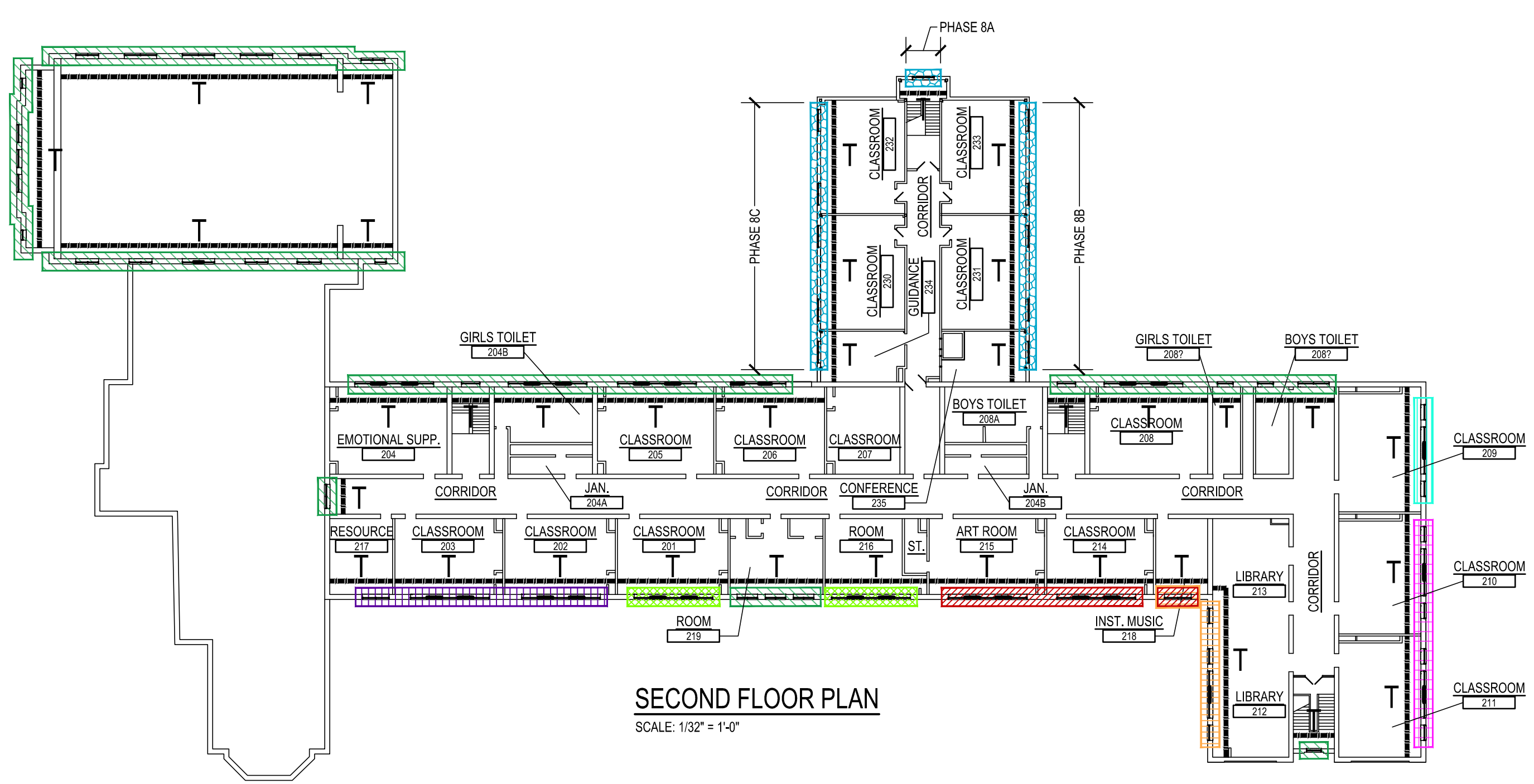
PHASING LEGEND				
PHASE	DESCRIPTION	TIMELINE	REMARKS	DRAWING
PHASE 1	ALL EXTERIOR DOORS, PARTIAL WINDOW REPLACEMENT ON UNION, 13TH, AND 13TH STREETS, AND MASONRY REPAIRS	JUNE 10 TO AUGUST 15, 2025	--	PH-1
PHASE 2	13TH STREET ELEVATION PARTIAL WINDOW REPLACEMENT	AUGUST 18 TO SEPT 5, 2025	--	PH-1
PHASE 3	13TH STREET ELEVATION PARTIAL WINDOW REPLACEMENT	SEPT 8 TO SEPT 26, 2025	--	PH-1
PHASE 4	13TH STREET ELEVATION PARTIAL WINDOW REPLACEMENT	SEPT 29 TO OCT 17, 2025	INSTRUMENTAL MUSIC 218 AND FACULTY 122 COMPLETE PHASE 4 OR PHASE 5	PH-1
PHASE 5	13TH STREET ELEVATION PARTIAL WINDOW REPLACEMENT	OCT 20 TO NOV 7, 2025	INSTRUMENTAL MUSIC 218 AND FACULTY 122 COMPLETE PHASE 4 OR PHASE 5	PH-1
PHASE 6	EXETER STREET ELEVATION PARTIAL WINDOW REPLACEMENT	NOV 10 TO NOV 28, 2025	--	PH-1
PHASE 7	EXETER STREET ELEVATION PARTIAL WINDOW REPLACEMENT	DEC 1 TO DEC 19, 2025	--	PH-1
PHASE 8	2000 ADDITION DOOR AND WINDOW REPLACEMENT	DEC 22 TO JAN 30, 2026	--	PH-1
PHASE 8A	CAFETERIA AND EXTERIOR DOORS	DEC 22 TO JAN 2, 2026	WORK MUST BE COMPLETED OVER WINTER BREAK	PH-1
PHASE 8B	EXETER STREET ELEVATION WINDOW REPLACEMENT	JAN 5 TO JAN 16, 2026	1ST AND 2ND STORY WINDOWS	PH-1
PHASE 8C	UNION STREET ELEVATION WINDOW REPLACEMENT	JAN 19 TO JAN 30, 2026	1ST AND 2ND STORY WINDOWS	PH-1
NOTES: 1. REFER TO PLANS FOR SPECIFIC PHASING LOCATIONS				

GENERAL PHASING NOTES:

A) EGRESS PATHS SHALL BE MAINTAINED THROUGHOUT THE PROJECT. TEMPORARY WALKWAYS SHALL BE INSTALLED AS REQUIRED. MAINTAIN CLEAR EGRESS FOR EACH EGRESS PATH.

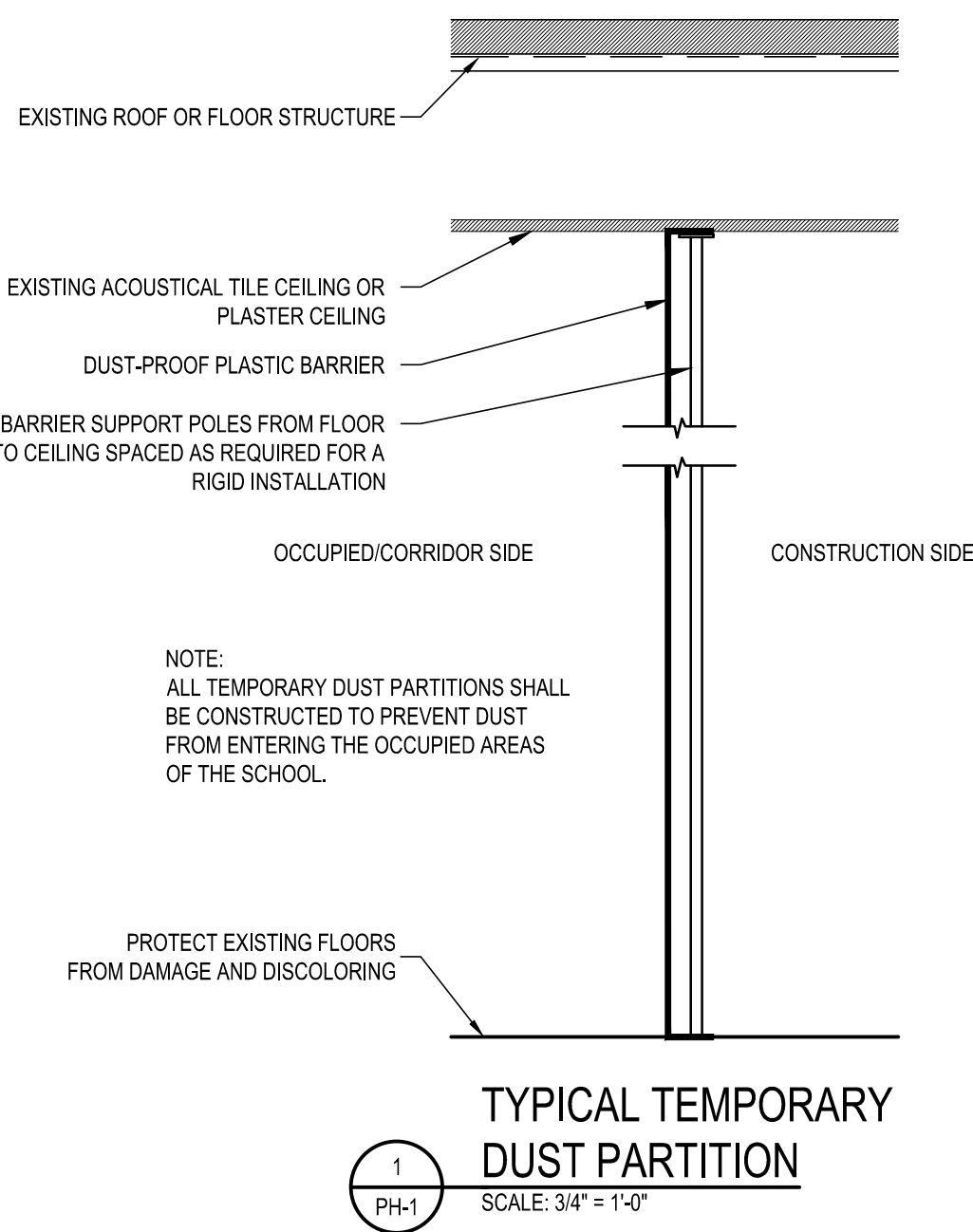
B) CONSTRUCT TEMPORARY PARTITIONS TO ISOLATE WORK AREAS FROM OCCUPIED PORTIONS OF THE SCHOOL AS REQUIRED FOR EACH PHASE OF CONSTRUCTION. APPROXIMATE LOCATIONS FOR TEMPORARY DUST PARTITIONS ARE DENOTED BY . REFER TO DETAIL 1 PH-1.

C) PHASING AREAS ARE APPROXIMATE AND DO NOT NECESSARILY INDICATE THE SPECIFIC LIMIT(S) OF CONSTRUCTION AREA(S). REFER TO ALL DOCUMENTS TO DETERMINE THE EXACT EXTENT OF THESE AREAS.



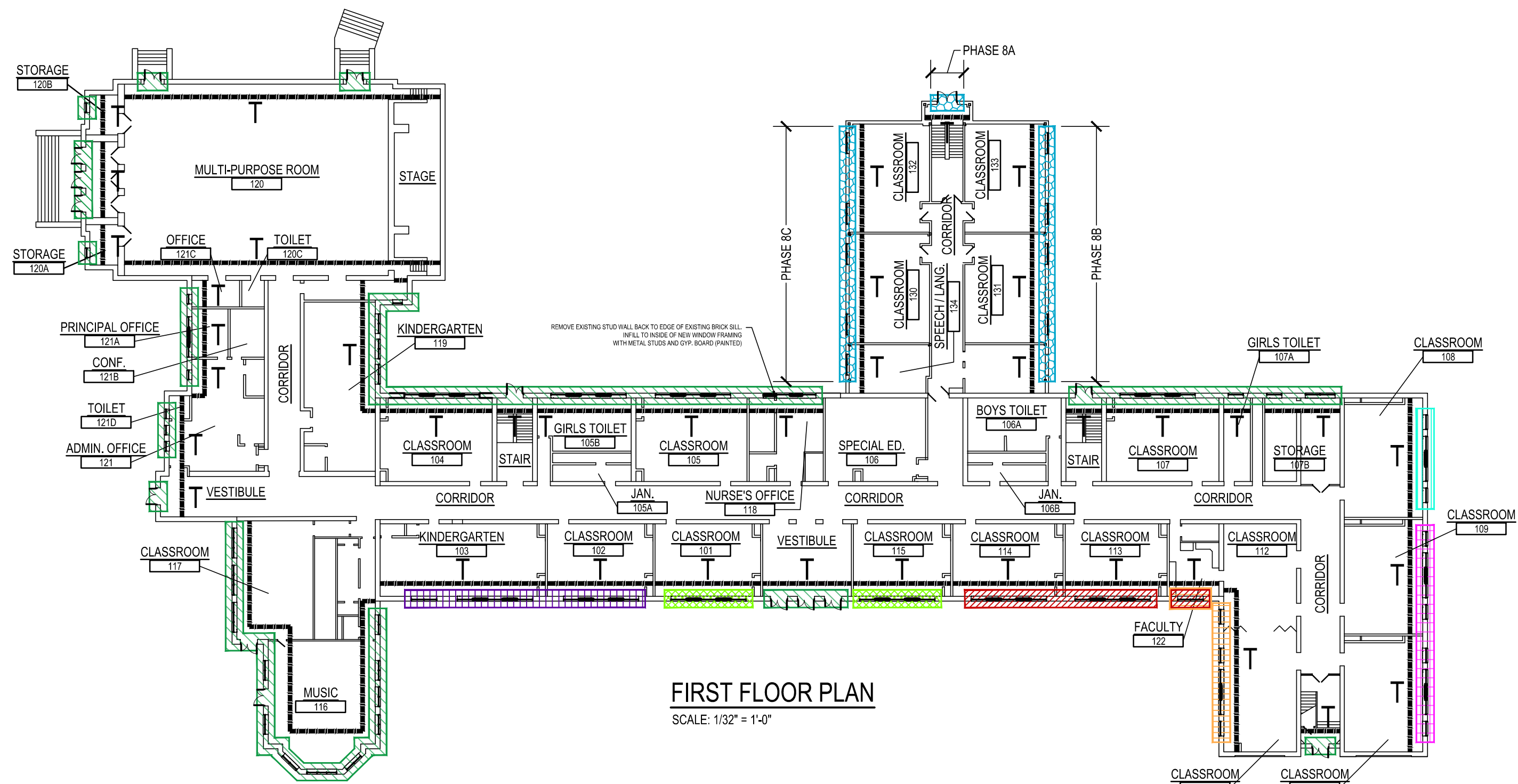
SECOND FLOOR PLAN

SCALE: 1/32" = 1'-0"



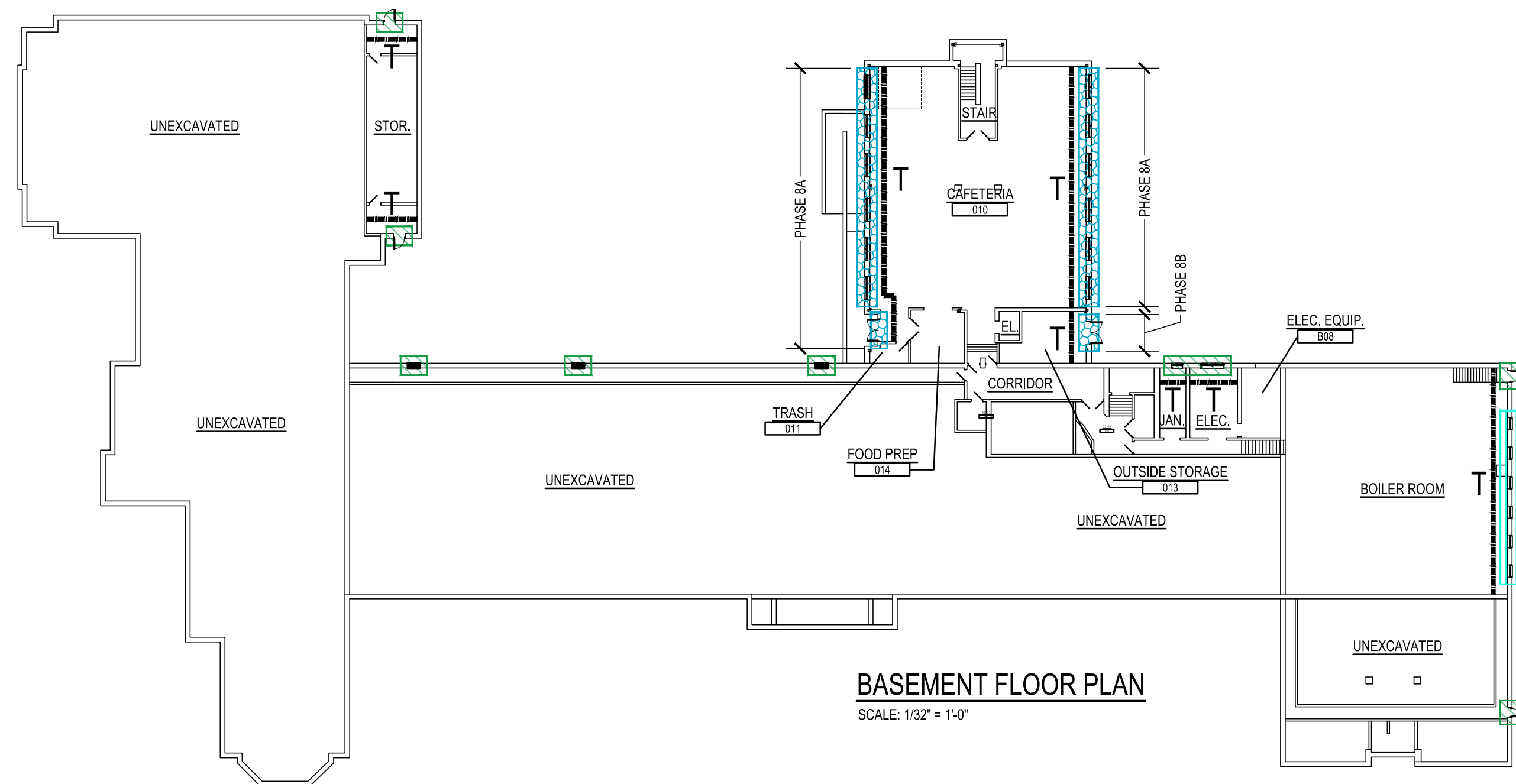
TYPICAL TEMPORARY DUST PARTITION

SCALE: 3/4" = 1'-0"



FIRST FLOOR PLAN

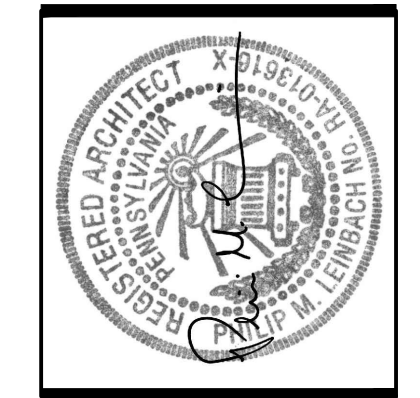
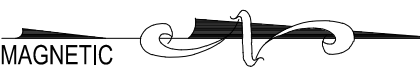
SCALE: 1/32" = 1'-0"



BASEMENT FLOOR PLAN

SCALE: 1/32" = 1'-0"

NOTE: THIS DRAWING IS INTENDED TO BE PRINTED AND VIEWED IN COLOR

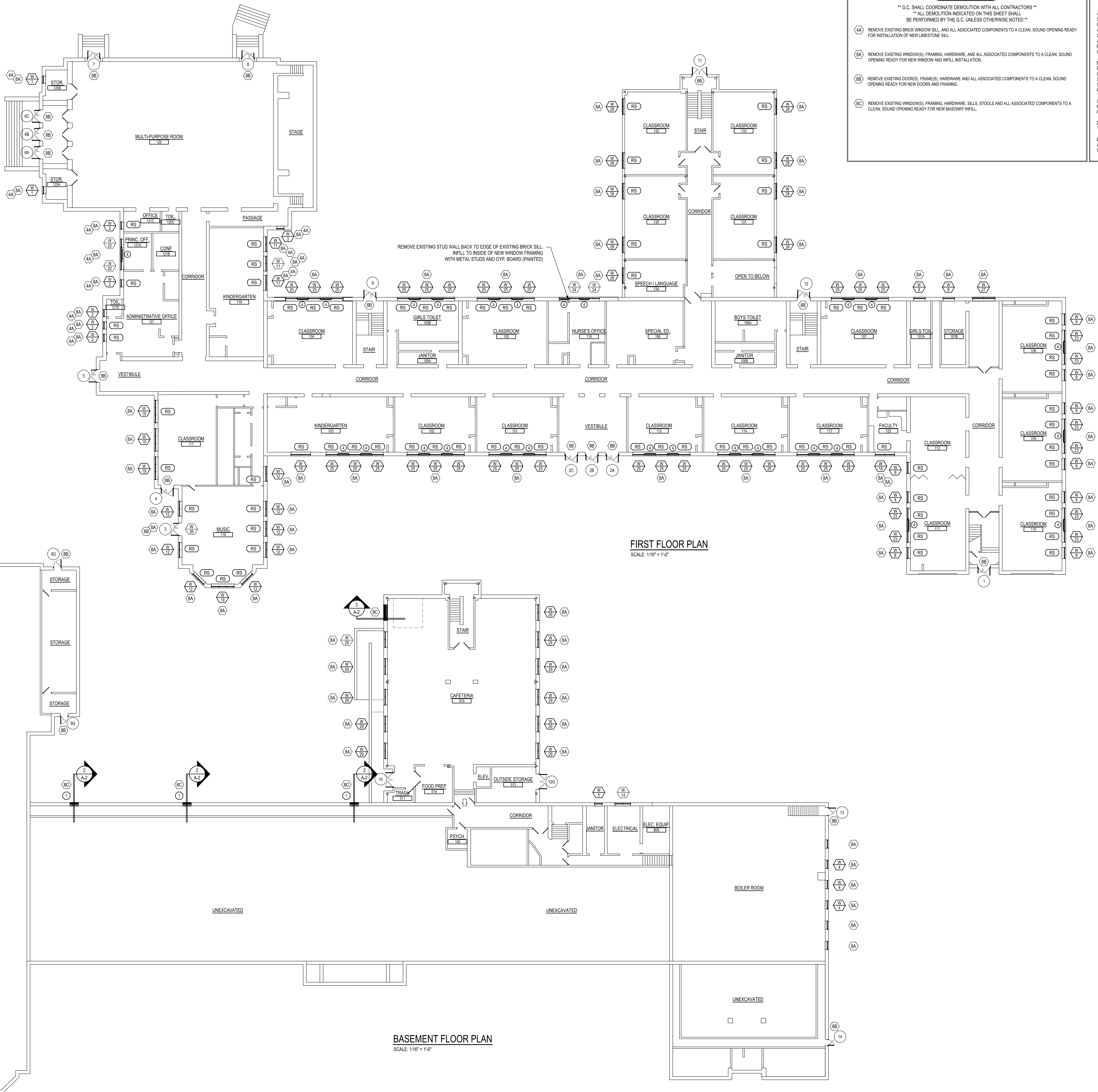


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PHASING PLANS
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1800 NORTH 13TH STREET, READING, BERKS COUNTY, PA

ALL DIMENSIONS AND EXISTING CONDITIONS
SHALL BE CHECKED AND VERIFIED
BY THE CONTRACTOR AT THE SITE.

JOB NO.: 25002.00
DRAWN BY: SRH
DATE: 03.07.25



- DEMOLITION NOTES:**

** G.C. SHALL COORDINATE DEMOLITION WITH ALL CONTRACTORS **

** ALL DEMOLITION INDICATED ON THIS SHEET SHALL BE PERFORMED BY THE G.C. UNLESS OTHERWISE NOTED **

4A REMOVE EXISTING BRICK WINDOW SILL, AND ALL ASSOCIATED COMPONENTS TO A CLEAN, SOUND OPENING READY FOR INSTALLATION OF NEW Limestone SILL.

6A REMOVE EXISTING WINDOW(S), FRAMING, HARDWARE, AND ALL ASSOCIATED COMPONENTS TO A CLEAN, SOUND OPENING READY FOR NEW WINDOW AND INFILL INSTALLATION.

6B REMOVE EXISTING DOOR(S), FRAME(S), HARDWARE AND ALL ASSOCIATED COMPONENTS TO A CLEAN, SOUND OPENING READY FOR NEW DOORS AND FRAMING.

6C REMOVE EXISTING WINDOW(S), FRAMING, HARDWARE, SILLS, STOOLS AND ALL ASSOCIATED COMPONENTS TO A CLEAN, SOUND OPENING READY FOR NEW MASONRY INFILL.
- GENERAL DEMOLITION NOTES:**

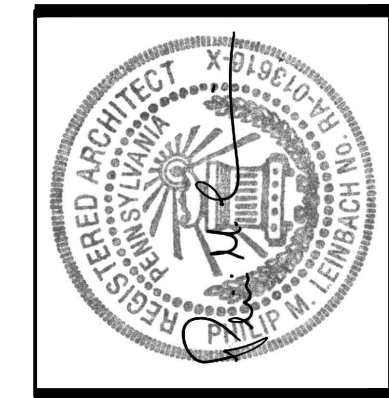
A) DEMOLITION NOTED IS PROVIDED TO FURNISH AN UNDERSTANDING OF THE SCOPE OF DEMOLITION REQUIRED AND MAY NOT NECESSARILY BE ALL INCLUSIVE OF ALL WORK REQUIRED FOR THE INCORPORATION OF NEW WORK. ALL DEMOLITION WORK REQUIRED TO ACCOMMODATE NEW CONSTRUCTION SHALL BE INCLUDED AS PART OF THE CONTRACT. CONTRACTOR SHALL REVIEW ALL CONSTRUCTION DOCUMENTS TO UNDERSTAND THE SCOPE OF DEMOLITION REQUIRED FOR NEW WORK. ALL DEMOLITION SHALL BE COORDINATED WITH THE OTHER CONSTRUCTION DOCUMENTS.

B) ALL REMAINING SURFACES TO BE EXPOSED AFTER DEMOLITION SHALL BE PATCHED, REPAIRED AND REFINISHED TO MATCH EXISTING ADJACENT FINISH CONDITIONS. ALL REMAINING SURFACES TO BE CONCEALED BY NEW WORK SHALL BE PREPARED AS REQUIRED FOR THE NEW WORK. REFER TO SPECIFICATIONS AND PRODUCT REQUIREMENTS FOR SPECIFIC CUTTING AND PATCHING METHODS REQUIRED FOR DEMOLITION WORK.

C) WHERE EQUIPMENT OR SYSTEMS ARE INDICATED FOR DEMOLITION, ALL PARTS AND ASSEMBLIES OF THE EQUIPMENT OR SYSTEMS SHALL BE REMOVED INCLUDING BLOCKING, SUPPORTS, HANGERS, ETC.

D) CONTRACTORS SHALL REVIEW ALL EXISTING CONDITIONS TO UNDERSTAND THE SCOPE OF THE WORK PRIOR TO SUBMITTING BIDS.

E) ALL DEMOLITION SHALL BE COORDINATED WITH PROJECT PHASING SCHEDULE AND THE PROGRESS OF THE WORK TO ENSURE ALL EXISTING SYSTEMS REMAIN OPERABLE DURING WORK.

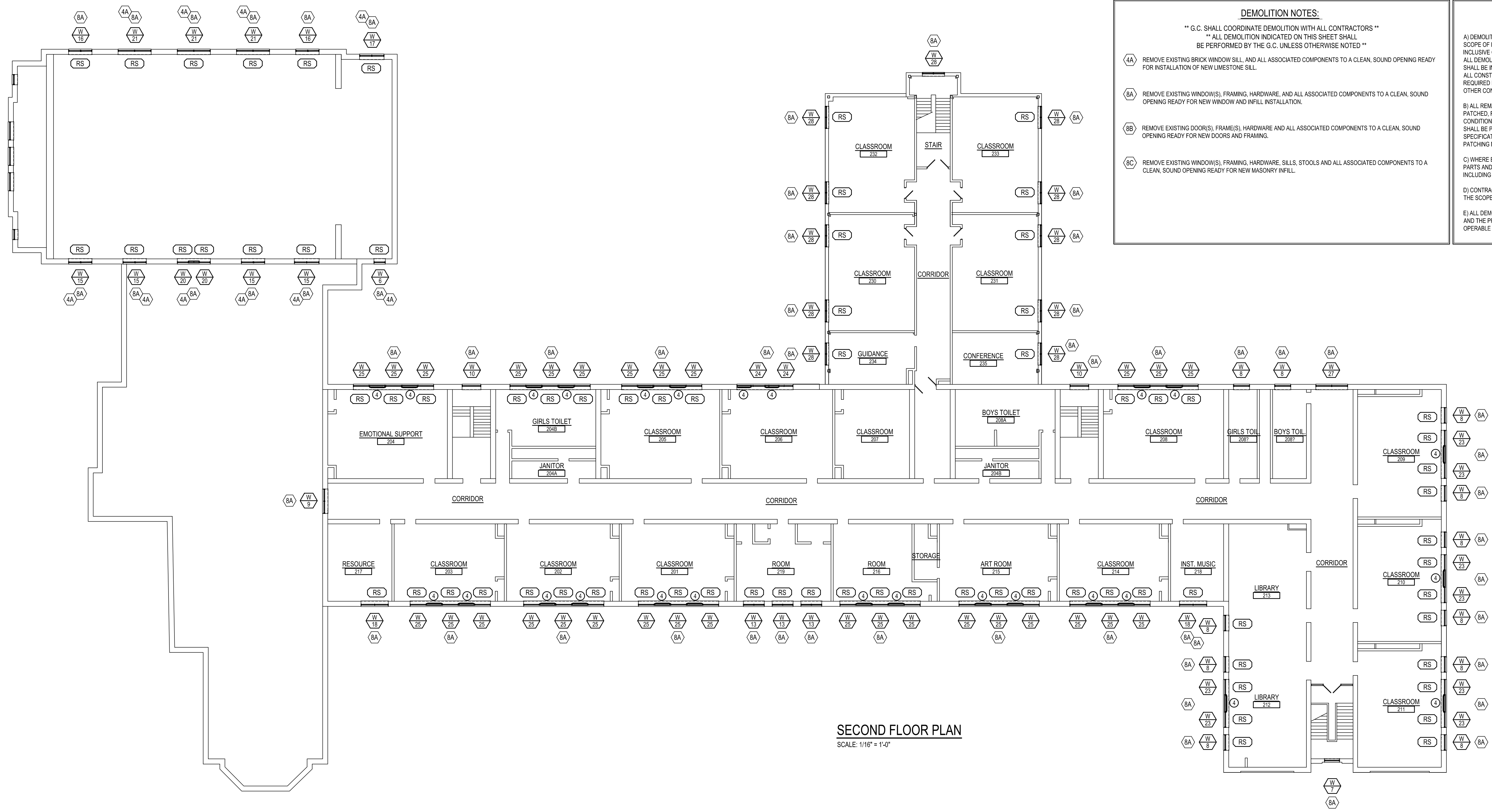


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1/16" BASEMENT AND FIRST FLOOR PLANS
WINDOW AND DOOR REPLACEMENT FOR
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READING SCHOOL DISTRICT
1800 NORTH 13TH STREET, READING, BERKS COUNTY, PA

ALL DIMENSIONS AND EXISTING CONDITIONS
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BY THE CONTRACTOR AT THE SITE.

JOB NO.: 25002.00
DRAWN BY: TCW
DATE: 03.07.25



- DEMOLITION NOTES:**

** G.C. SHALL COORDINATE DEMOLITION WITH ALL CONTRACTORS **

** ALL DEMOLITION INDICATED ON THIS SHEET SHALL BE PERFORMED BY THE G.C. UNLESS OTHERWISE NOTED **

 - 4A REMOVE EXISTING BRICK WINDOW SILL, AND ALL ASSOCIATED COMPONENTS TO A CLEAN, SOUND OPENING READY FOR INSTALLATION OF NEW Limestone SILL.
 - 6A REMOVE EXISTING WINDOW(S), FRAMING, HARDWARE, AND ALL ASSOCIATED COMPONENTS TO A CLEAN, SOUND OPENING READY FOR NEW WINDOW AND INFILL INSTALLATION.
 - 6B REMOVE EXISTING DOOR(S), FRAME(S), HARDWARE AND ALL ASSOCIATED COMPONENTS TO A CLEAN, SOUND OPENING READY FOR NEW DOORS AND FRAMING.
 - 6C REMOVE EXISTING WINDOW(S), FRAMING, HARDWARE, SILLS, STOOLS AND ALL ASSOCIATED COMPONENTS TO A CLEAN, SOUND OPENING READY FOR NEW MASONRY INFILL.
- GENERAL DEMOLITION NOTES:**

A) DEMOLITION NOTED IS PROVIDED TO FURNISH AN UNDERSTANDING OF THE SCOPE OF DEMOLITION REQUIRED AND MAY NOT NECESSARILY BE ALL INCLUSIVE OF ALL WORK REQUIRED FOR THE INCORPORATION OF NEW WORK. ALL DEMOLITION WORK REQUIRED TO ACCOMMODATE NEW CONSTRUCTION SHALL BE INCLUDED AS PART OF THE CONTRACT. CONTRACTOR SHALL REVIEW ALL CONSTRUCTION DOCUMENTS TO UNDERSTAND THE SCOPE OF DEMOLITION REQUIRED FOR NEW WORK. ALL DEMOLITION SHALL BE COORDINATED WITH THE OTHER CONSTRUCTION DOCUMENTS.

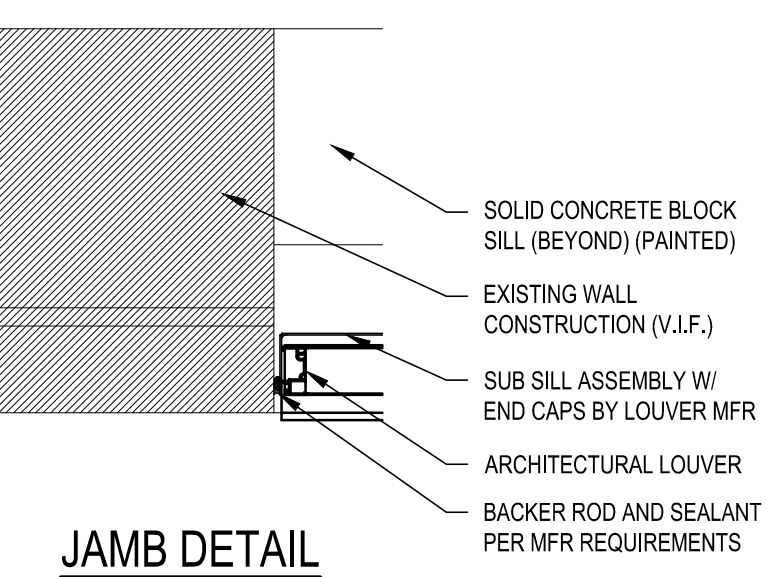
B) ALL REMAINING SURFACES TO BE EXPOSED AFTER DEMOLITION SHALL BE PATCHED, REPAIRED AND REFINISHED TO MATCH EXISTING ADJACENT FINISH CONDITIONS. ALL REMAINING SURFACES TO BE CONCEALED BY NEW WORK SHALL BE PREPARED AS REQUIRED FOR THE NEW WORK. REFER TO SPECIFICATIONS AND PRODUCT REQUIREMENTS FOR SPECIFIC CUTTING AND PATCHING METHODS REQUIRED FOR DEMOLITION WORK.

C) WHERE EQUIPMENT OR SYSTEMS ARE INDICATED FOR DEMOLITION, ALL PARTS AND ASSEMBLIES OF THE EQUIPMENT OR SYSTEMS SHALL BE REMOVED INCLUDING BLOCKING, SUPPORTS, HANGERS, ETC.

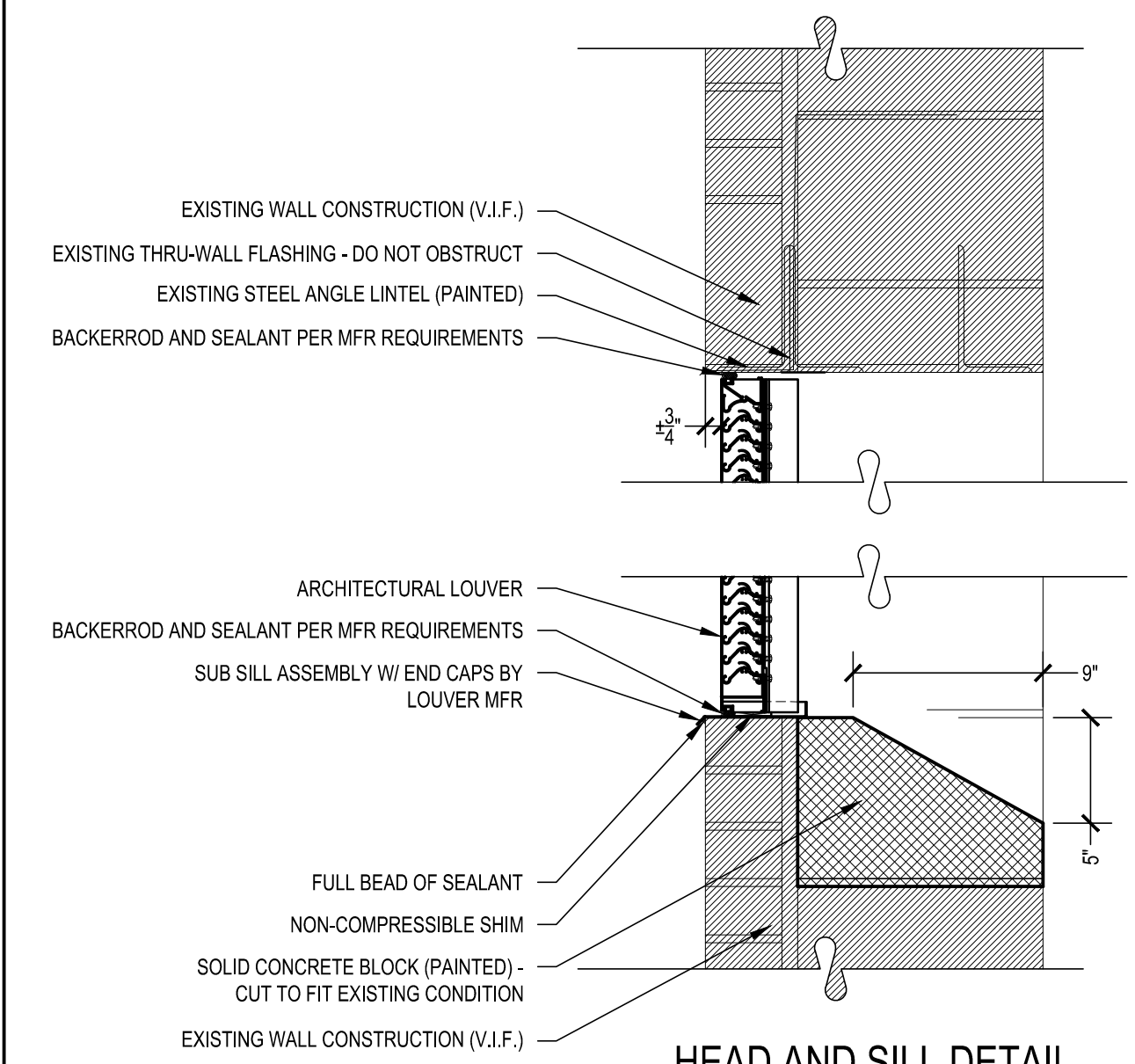
D) CONTRACTORS SHALL REVIEW ALL EXISTING CONDITIONS TO UNDERSTAND THE SCOPE OF THE WORK PRIOR TO SUBMITTING BIDS.

E) ALL DEMOLITION SHALL BE COORDINATED WITH PROJECT PHASING SCHEDULE AND THE PROGRESS OF THE WORK TO ENSURE ALL EXISTING SYSTEMS REMAIN OPERABLE DURING WORK.

SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"

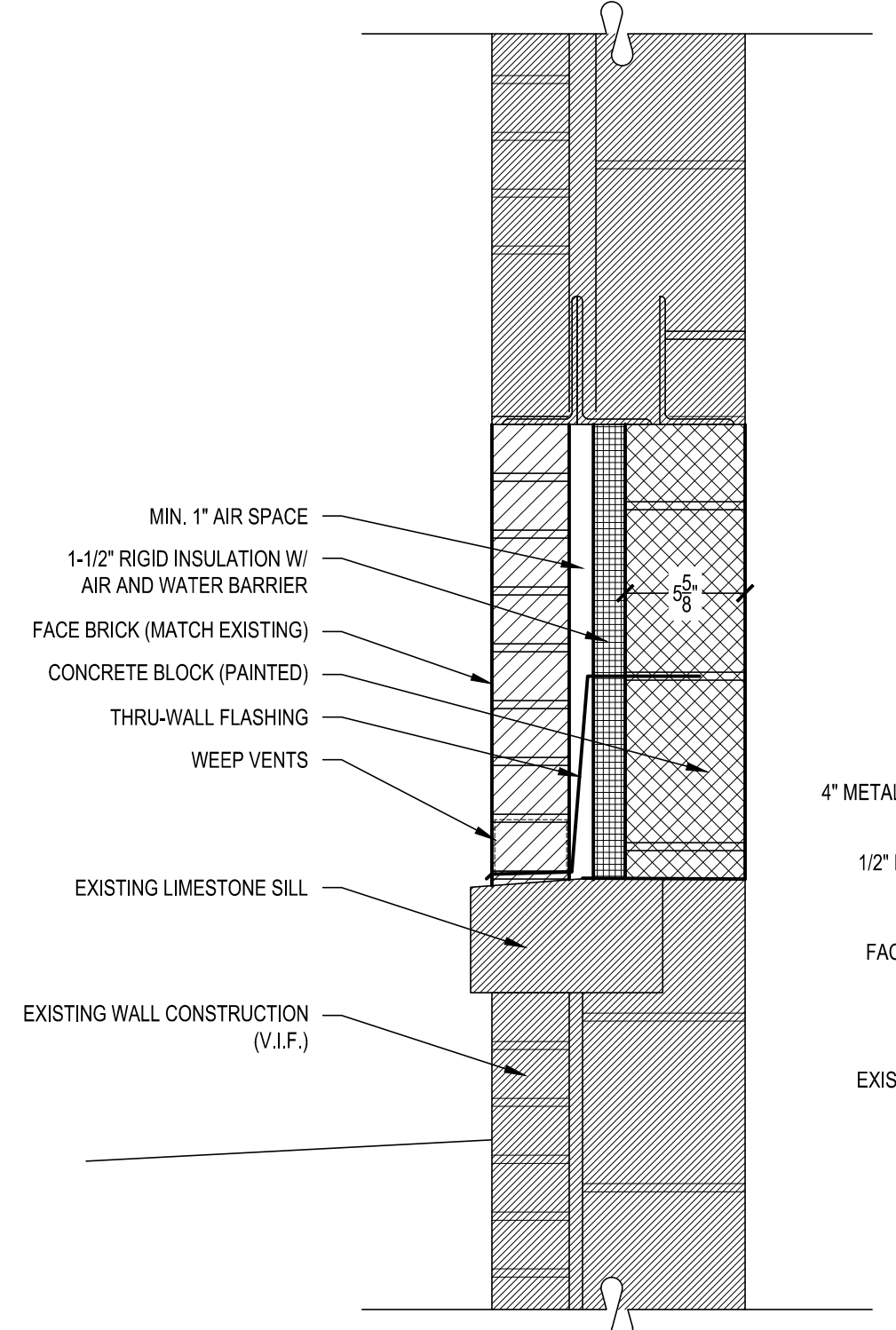


JAMB DETAIL

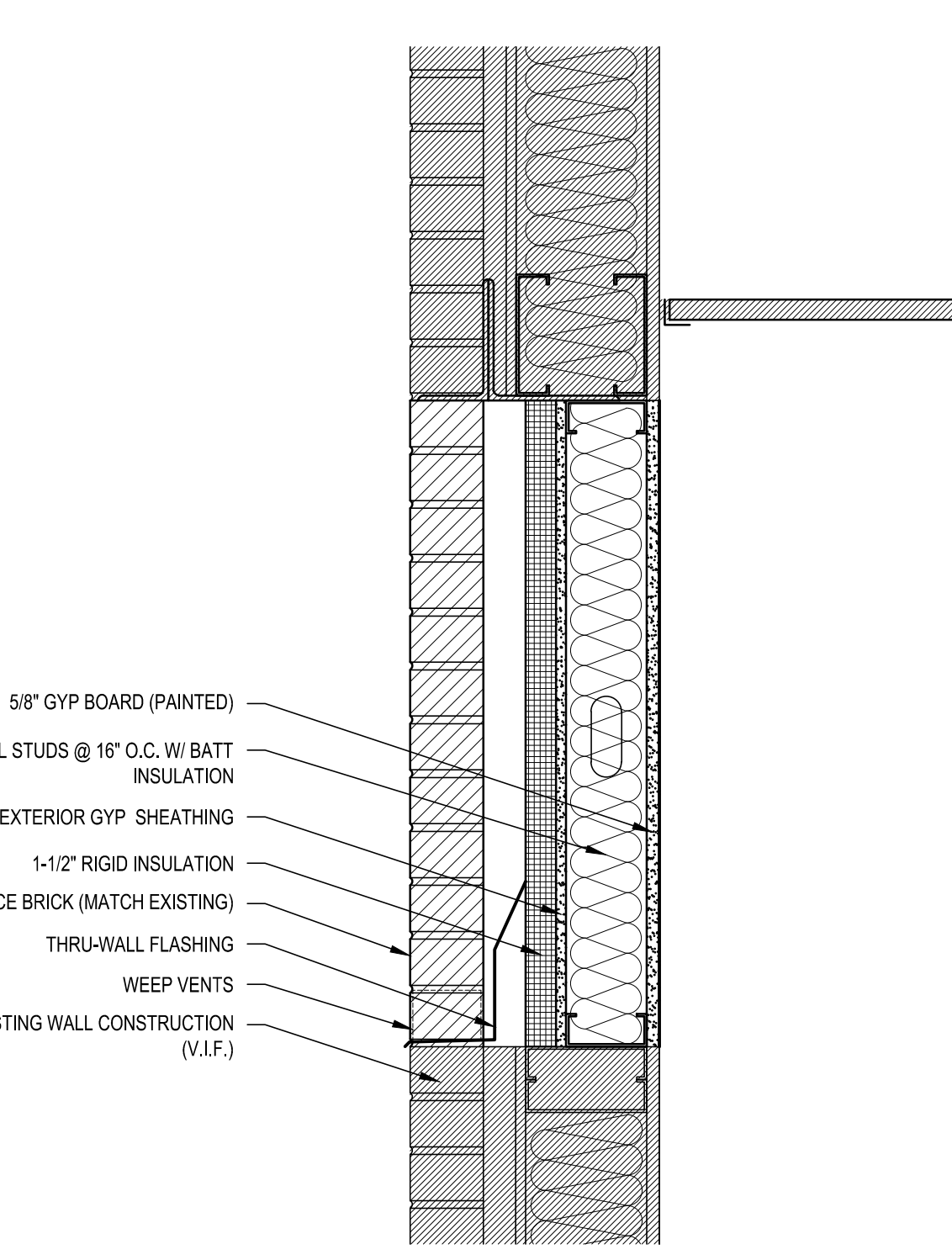


HEAD AND SILL DETAIL

1
A-2
TYPICAL ARCHITECTURAL LOUVER DETAIL
SCALE: 1-1/2" = 1'-0"

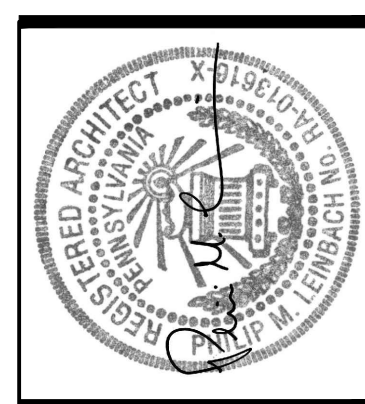
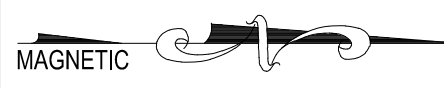


2
A-2
MASONRY INFILL DETAIL
SCALE: 1-1/2" = 1'-0"



3
A-2
MASONRY INFILL DETAIL
SCALE: 1-1/2" = 1'-0"

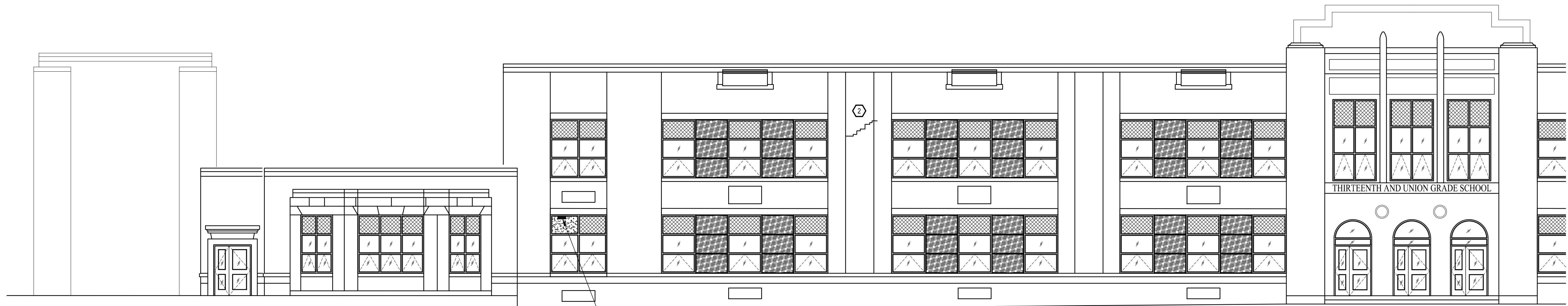
ALT. A400 - SOUTHERN MIDDLE SCHOOL - T.B.D.
SCALE: -" = 1'-0"



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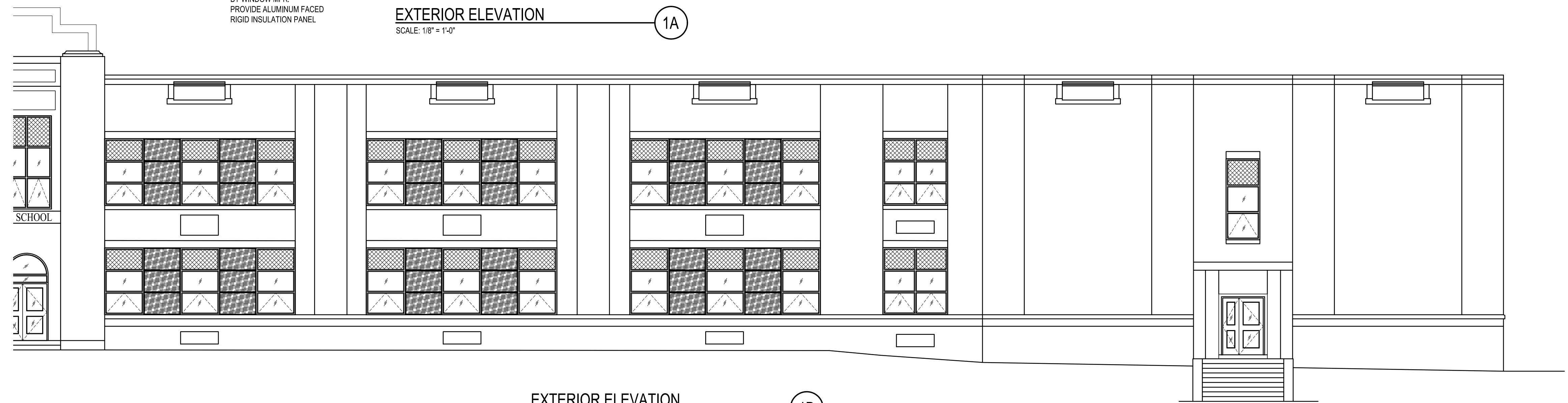
1/16" SECOND FLOOR PLAN
WINDOW AND DOOR REPLACEMENT FOR
13TH AND UNION ELEMENTARY SCHOOL
READING SCHOOL DISTRICT
1800 NORTH 13TH STREET, READING, BERKS COUNTY, PA

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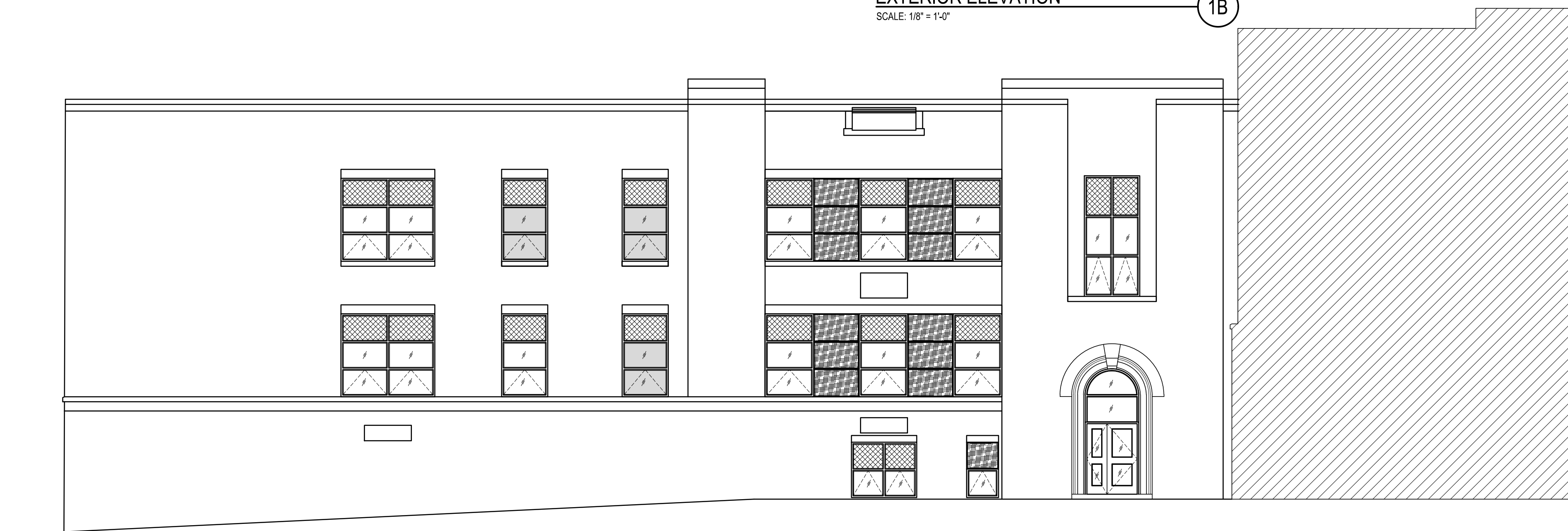
EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

1A



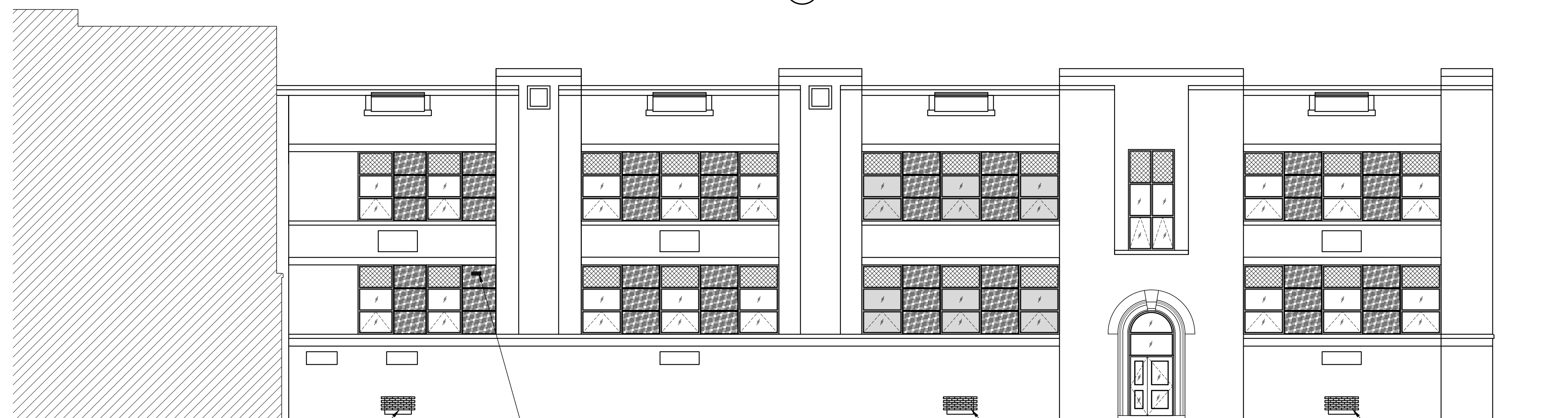
EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

1B



EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

2A



EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

2B

WINDOW TYPE LEGEND	
SYMBOL	DESCRIPTION
[Pattern]	FIXED SPANDREL GLASS
[Pattern]	OPAQUE PRIVACY GLASS
[Pattern]	METAL PANEL INFILL
[Pattern]	OPERABLE CLEAR GLASS
[Pattern]	FIXED CLEAR GLASS
[Pattern]	FIXED CLEAR GLASS

KEYED NOTES

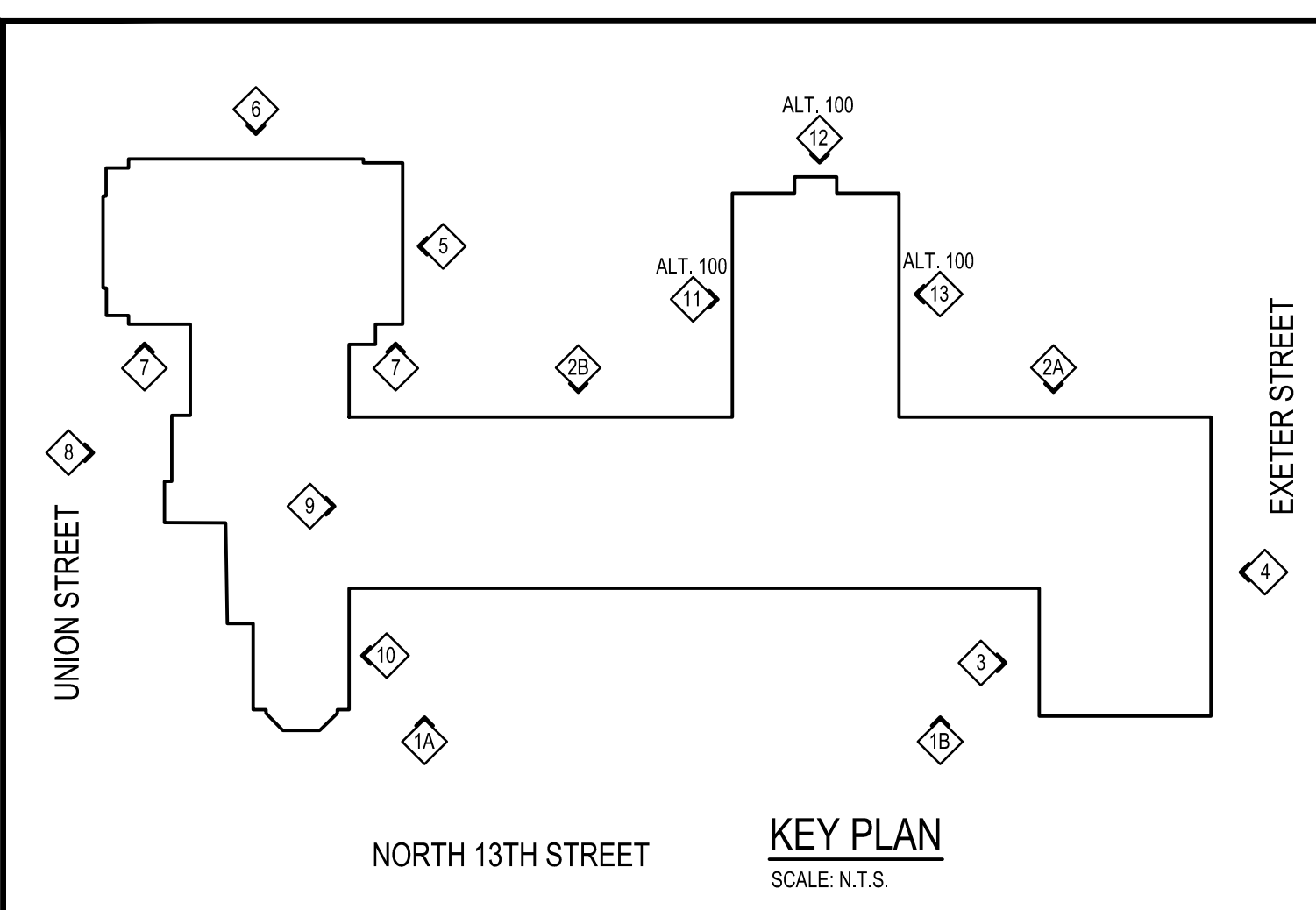
1 NEW LIMESTONE SILL. REFER TO DETAILS 6.7/A-5

2 AREA OF MASONRY REPAIR - APPROXIMATELY 100SF. REFER TO ALTERNATE A300 IN THE SPECIFICATIONS.

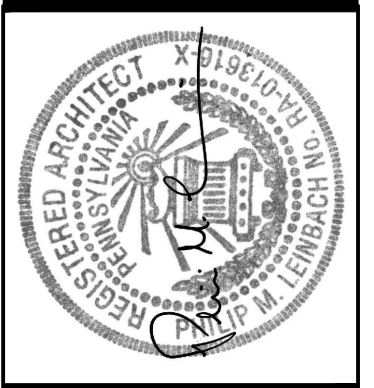
3 LOUVER NOTES:

DEMOLITION: CONTRACTOR SHALL VERIFY AND ENSURE OPERATION OF MOTOR OPERATED DAMPER AND INTERCONNECTION WITH BAS PRIOR TO COMMENCING ANY WORK ON THESE LOUVERS. SHOULD THE EQUIPMENT NOT BE OPERATIONAL, IMMEDIATELY NOTIFY THE OWNER, OWNER'S REPRESENTATIVE, AND ARCHITECT IN WRITING TO DETERMINE CORRECTIVE ACTION. ONCE OPERATION IS CONFIRMED WITH THE OWNER, CONTRACTOR SHALL DISCONNECT AND REMOVE EXISTING MOTOR OPERATED DAMPER AND DUCT COLLAR TO ALLOW ACCESS TO THE EXTERIOR LOUVERS. STORE AND PROTECT EQUIPMENT FOR REUSE AND REINSTALLATION.

NEW WORK: CONTRACTOR SHALL THOROUGHLY CLEAN MOTOR OPERATED DAMPER AND DUCT COLLAR. ONCE EXISTING LOUVERS HAVE BEEN REPAINTED CONTRACTOR SHALL INSTALL DUCT COLLAR AND MOTOR OPERATED DAMPER ONCE REFURBISHED EXTERIOR LOUVERS ARE INSTALLED. THEY SHALL BE RECONNECTED TO THE BAS. CONTRACTOR SHALL VERIFY OPERATION OF THE DAMPERS WITH THE OWNER WITNESSING AND CONFIRMING THE SAME. SHOULD OPERATION FAIL AT THE TIME OF REINSTALLATION, THE CONTRACTOR SHALL REPAIR/REPLACE FAILED EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER.



KEY PLAN
SCALE: N.T.S.

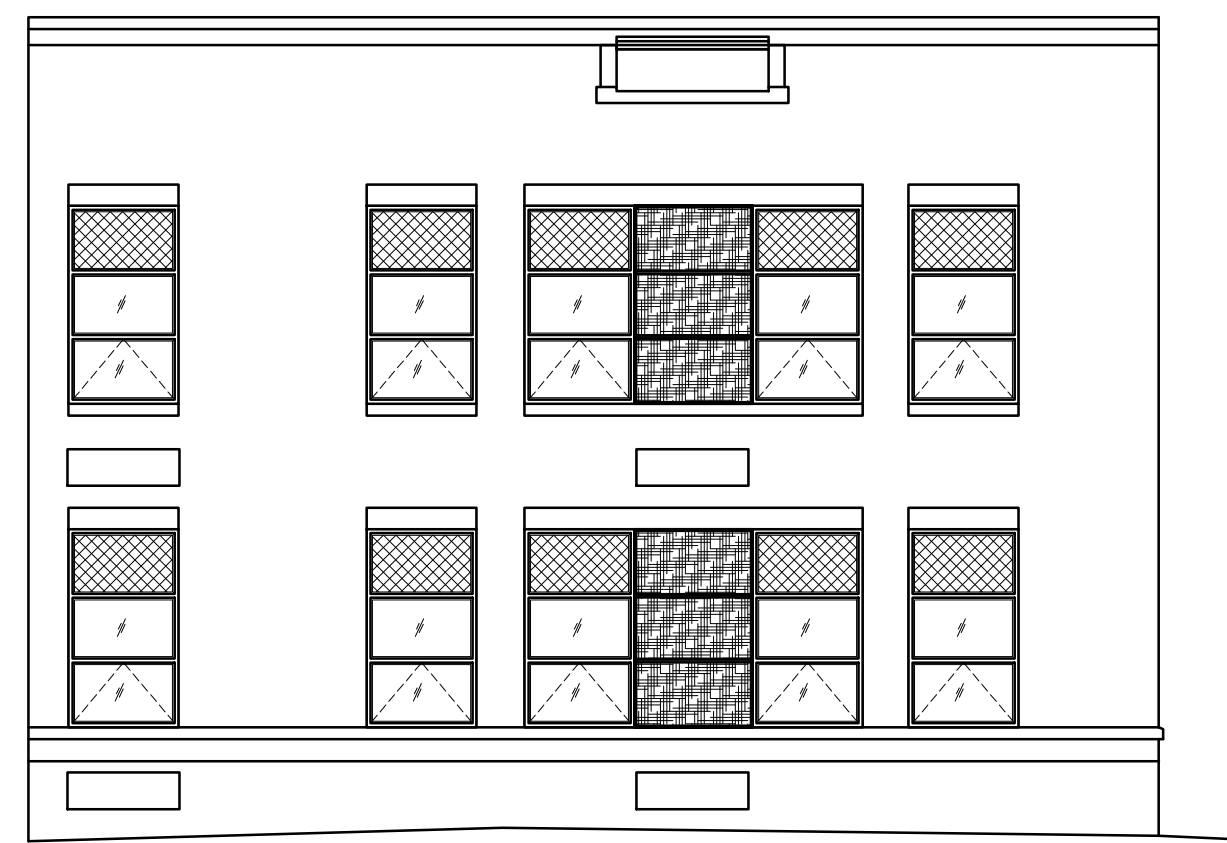


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1/8" EXTERIOR ELEVATIONS
WINDOW AND DOOR REPLACEMENT FOR
13TH AND UNION ELEMENTARY SCHOOL
READING SCHOOL DISTRICT
1800 NORTH 13TH STREET, READING, BERKS COUNTY, PA

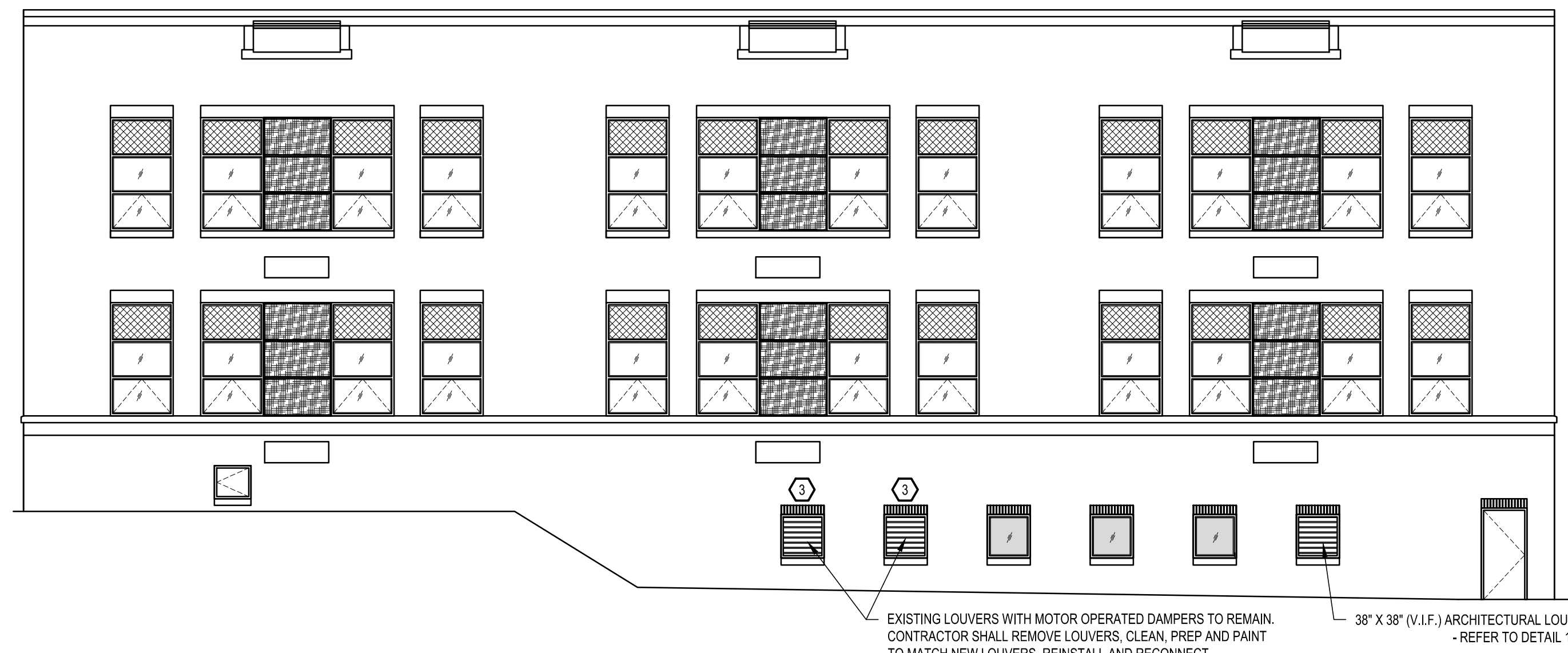
ALL DIMENSIONS AND EXISTING CONDITIONS
SHALL BE CHECKED AND VERIFIED
BY THE CONTRACTOR AT THE SITE.

JOB NO.: 25002.00
DRAWN BY: TCW
DATE: 03.07.25



EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

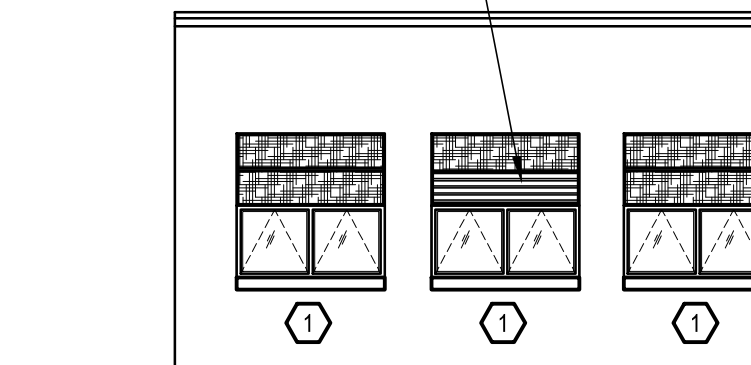
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EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

4

NEW ARCHITECTURAL LOUVER - REFER TO DETAIL 1.4.6/A-6



1

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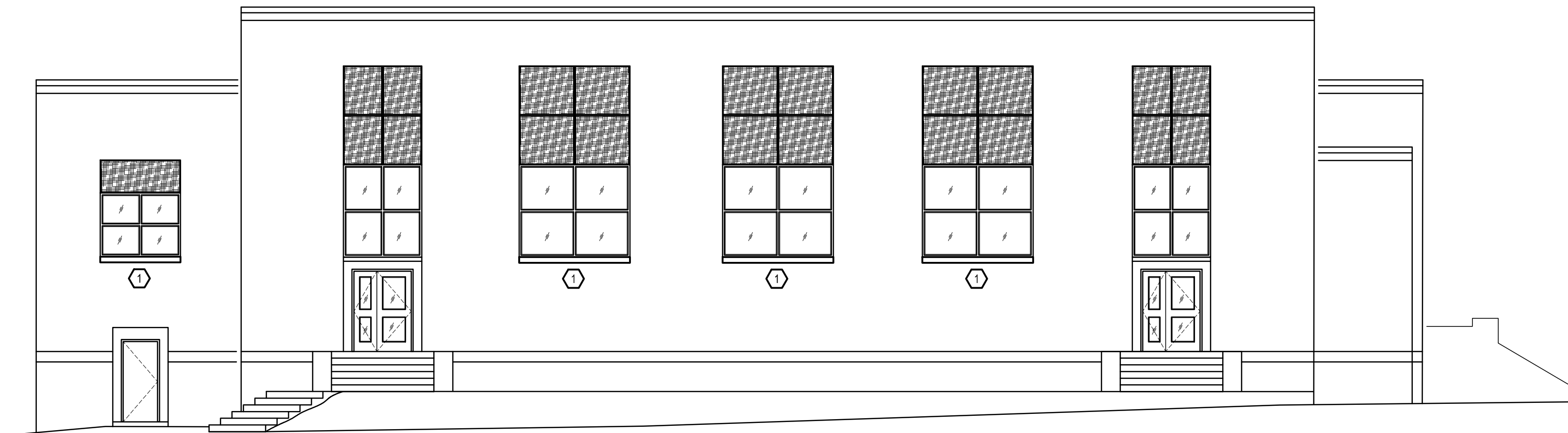
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EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

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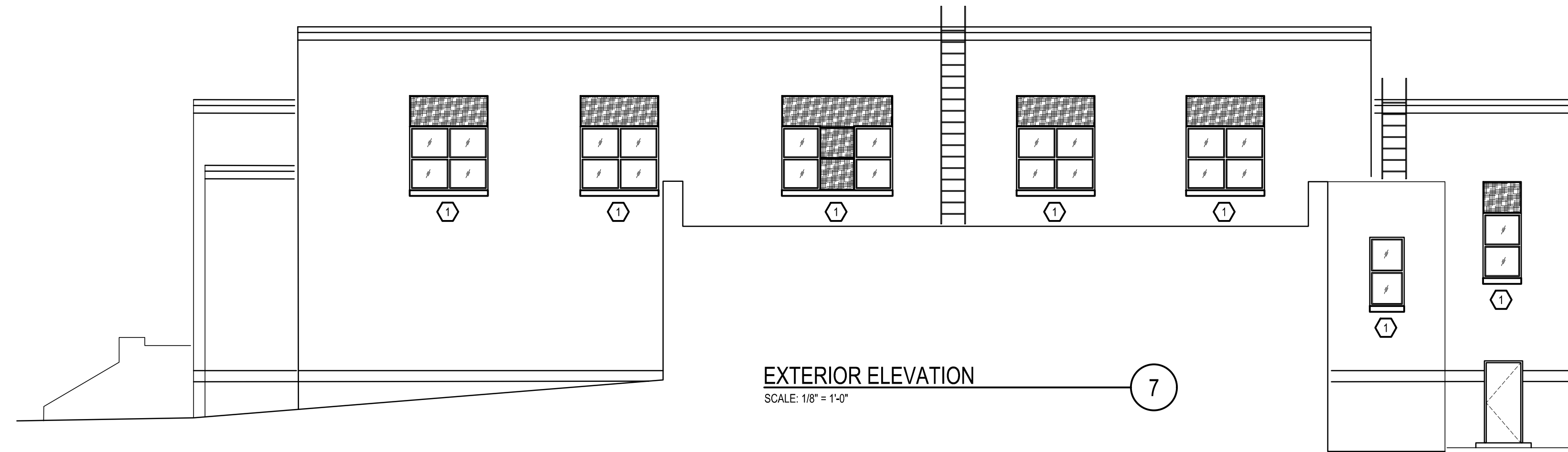
MASONRY INFILL OF EXISTING WINDOW
OPENING - REFER TO DETAIL 2/A-2

MASONRY INFILL OF EXISTING WINDOW
OPENING - REFER TO DETAIL 2/A-2



EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

6



EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

7



EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

8

NEW ARCHITECTURAL LOUVER - REFER TO DETAIL 2.3.5/A-6

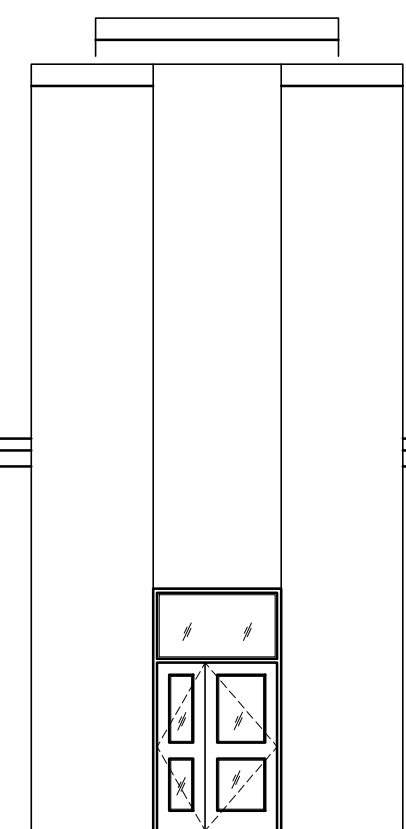
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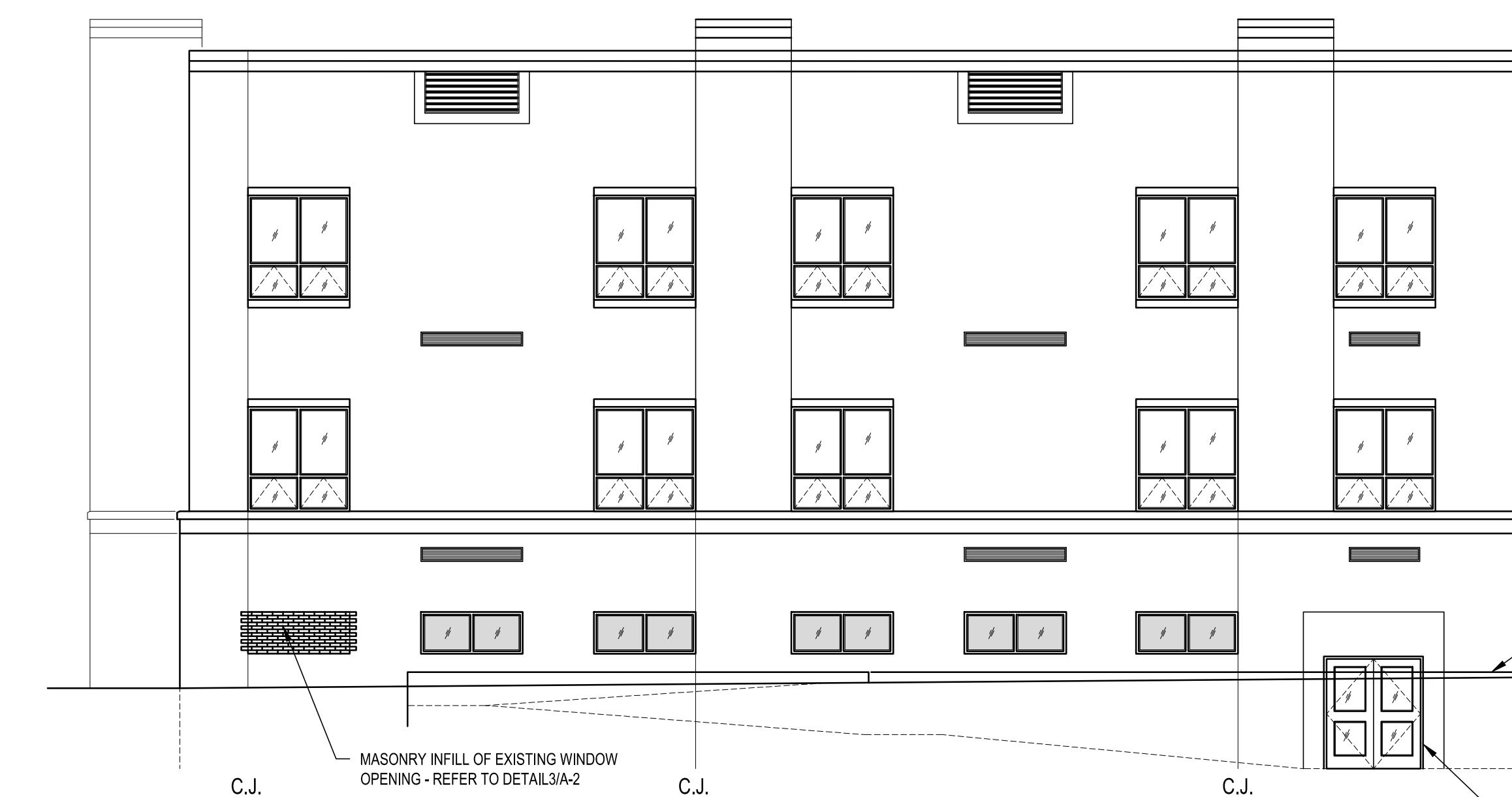
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EXTERIOR ELEVATION - ALT. A100
SCALE: 1/8" = 1'-0"

11

C.J.

C.J.

C.J.

TOP OF CONCRETE
AREAWAY WALL

C.J.

C.J.

C.J.

C.J.

C.J.

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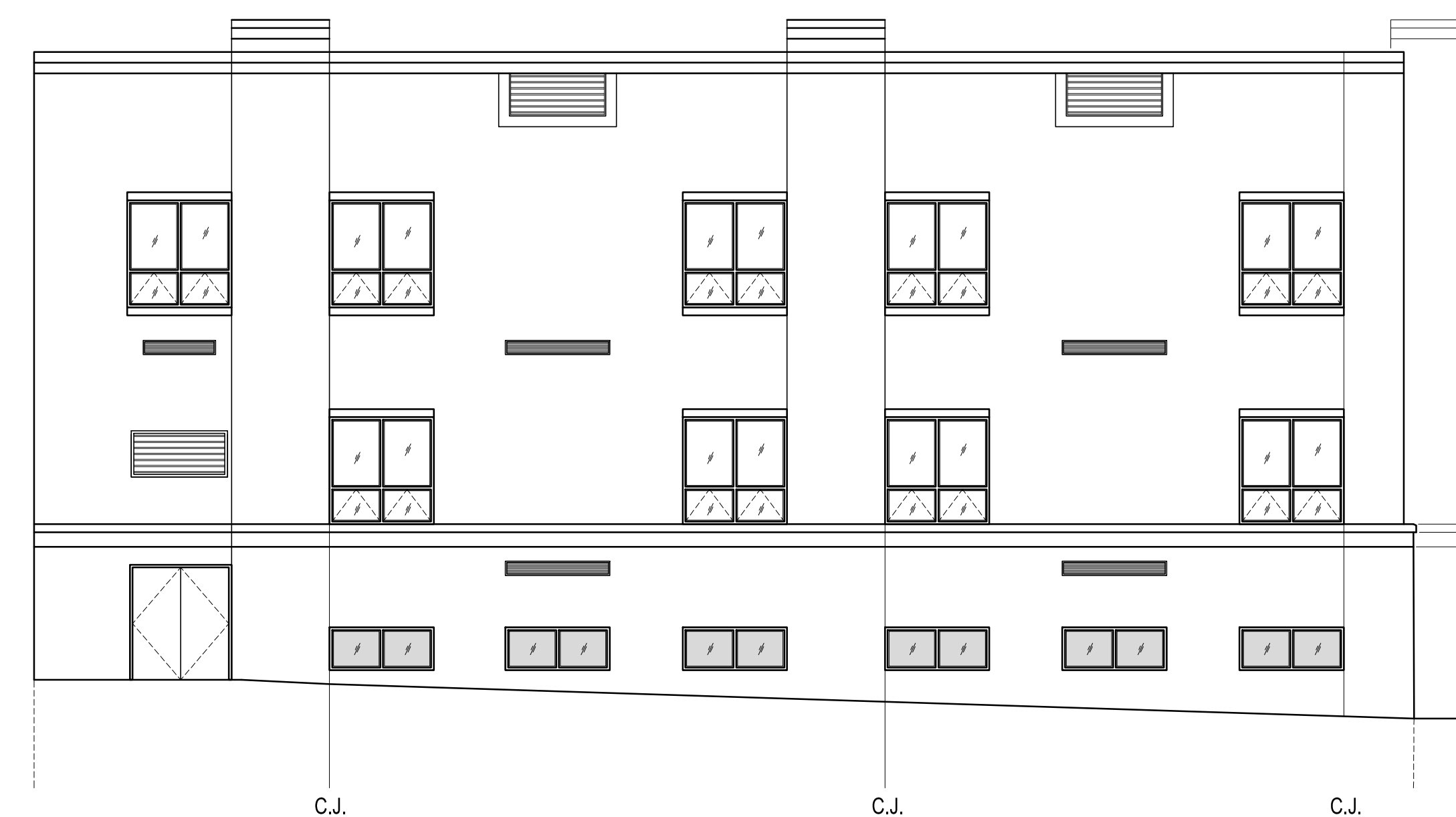
C.J.

C.J.



EXTERIOR ELEVATION - ALT. A100
SCALE: 1/8" = 1'-0"

12



EXTERIOR ELEVATION - ALT. A100
SCALE: 1/8" = 1'-0"

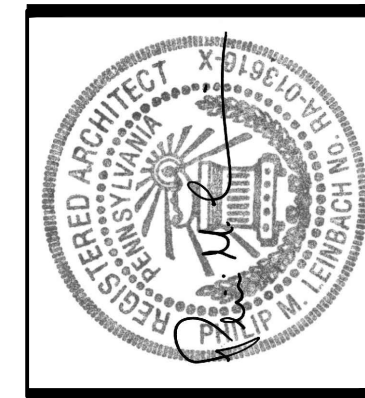
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C.J.

C.J.

C.J.

MAGNETIC

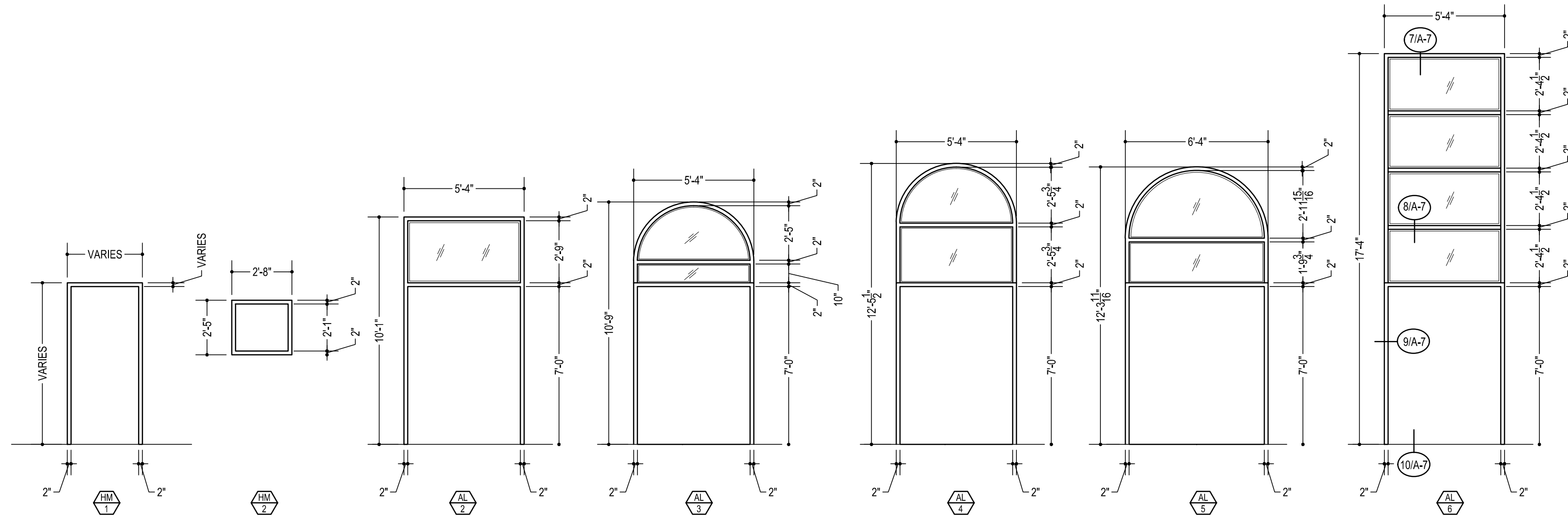


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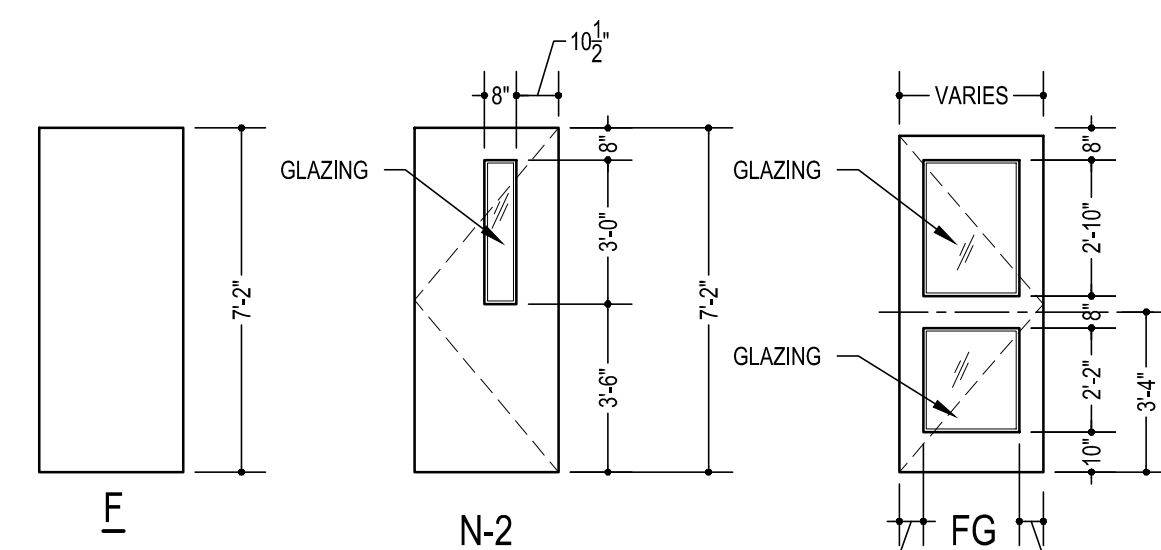
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A-4

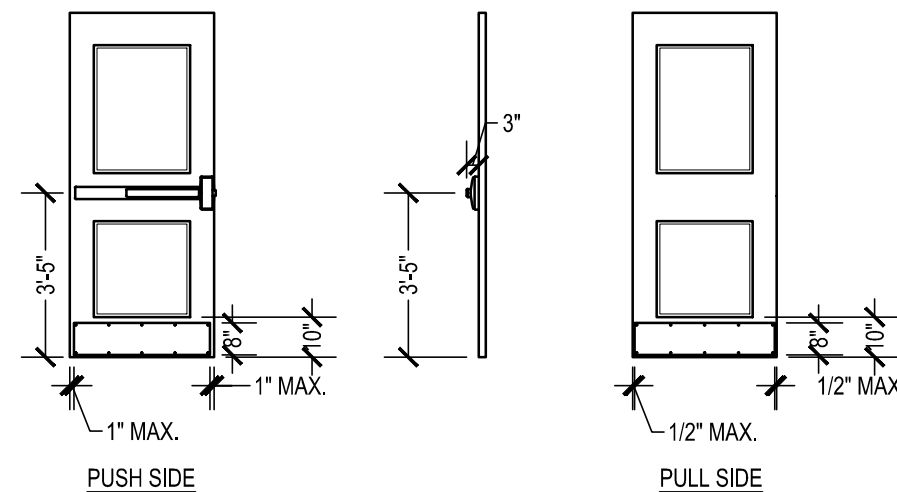


FRAME TYPES
SCALE: 1/4" = 1'-0"

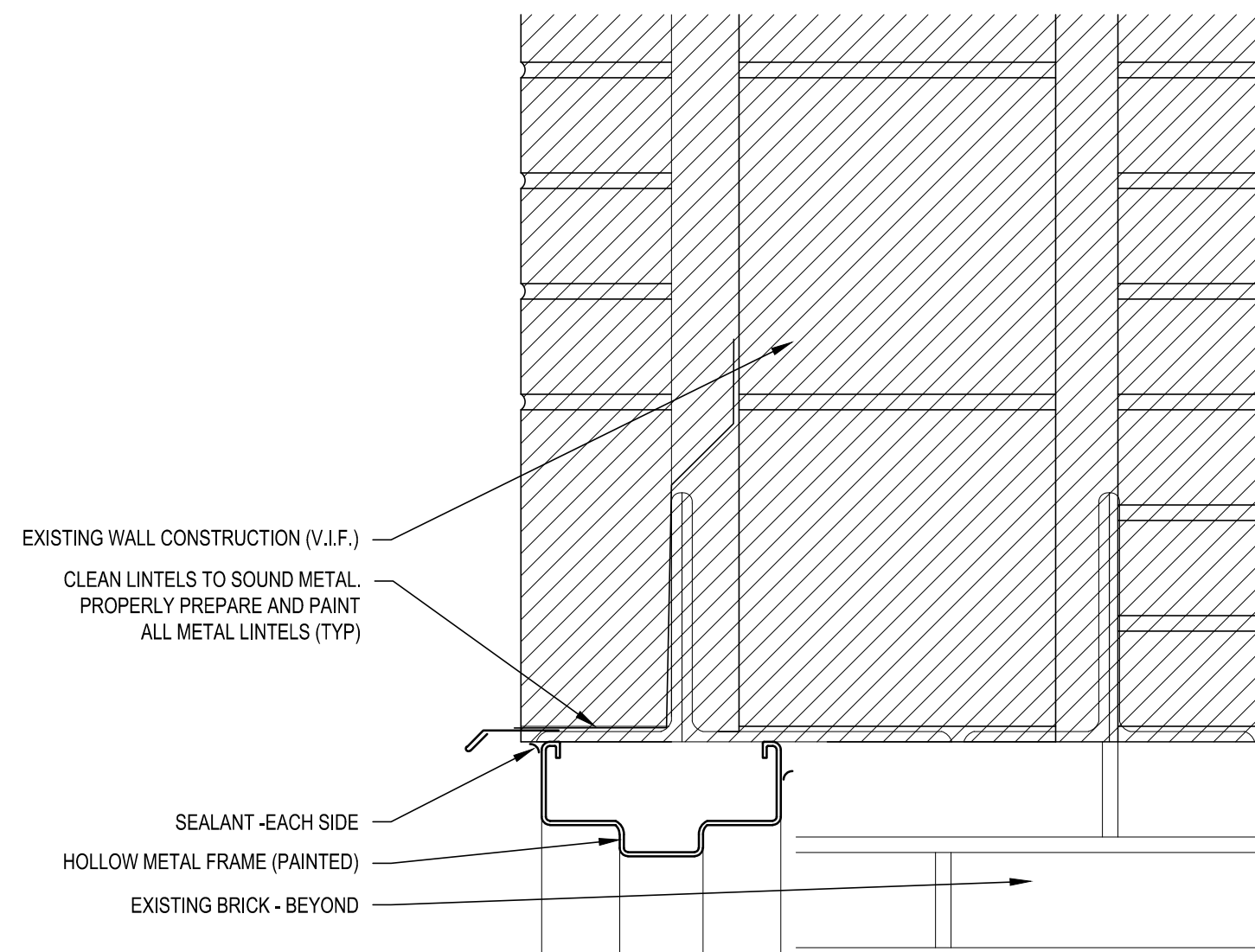


DOOR TYPES
SCALE: 1/4" = 1'-0"

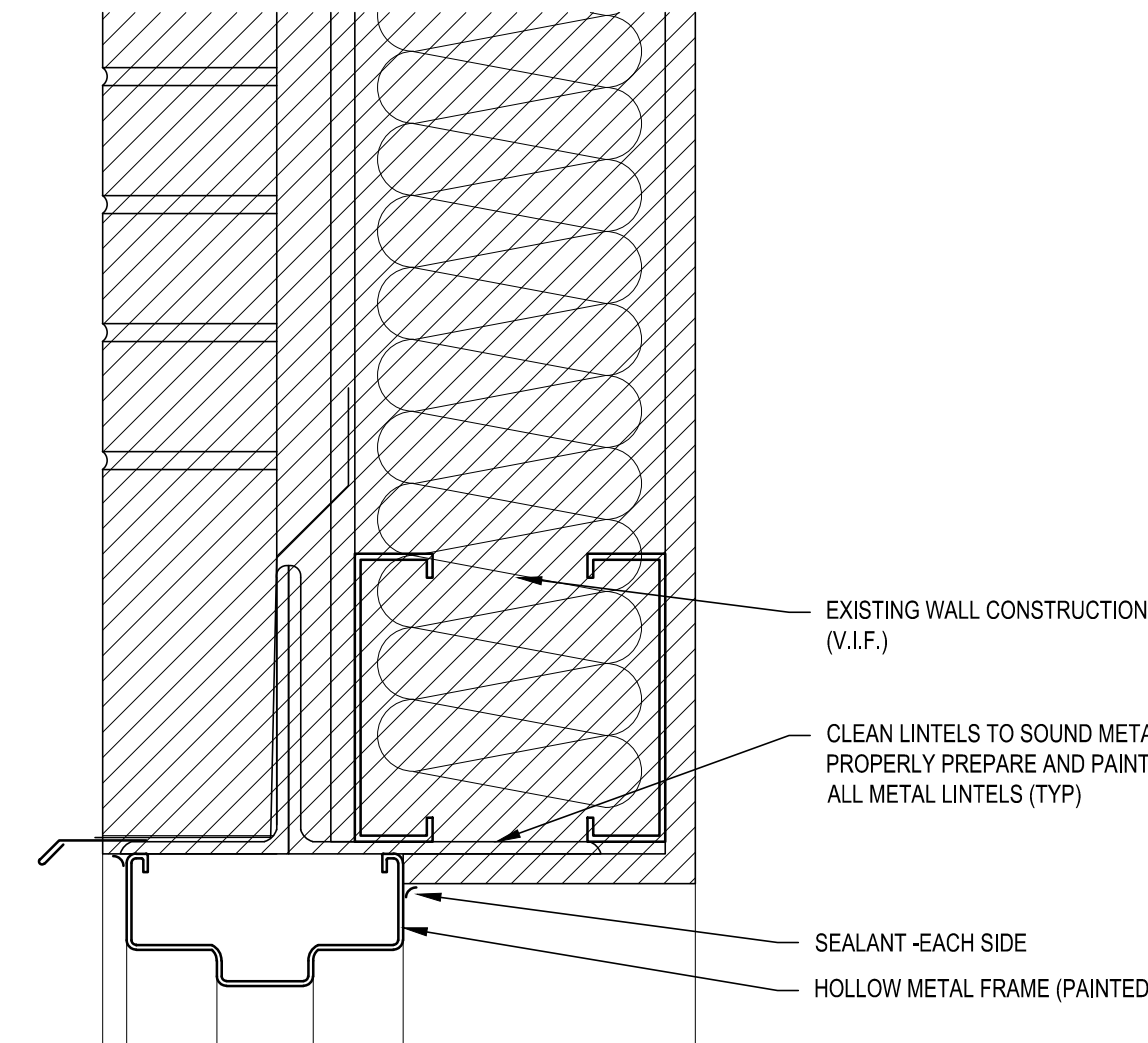
DETAIL TAGS SHOWN SHALL APPLY TO FRAME TYPES AL-2, AL-3, AL-4, AL-5, AL-6 UNLESS NOTED OTHERWISE



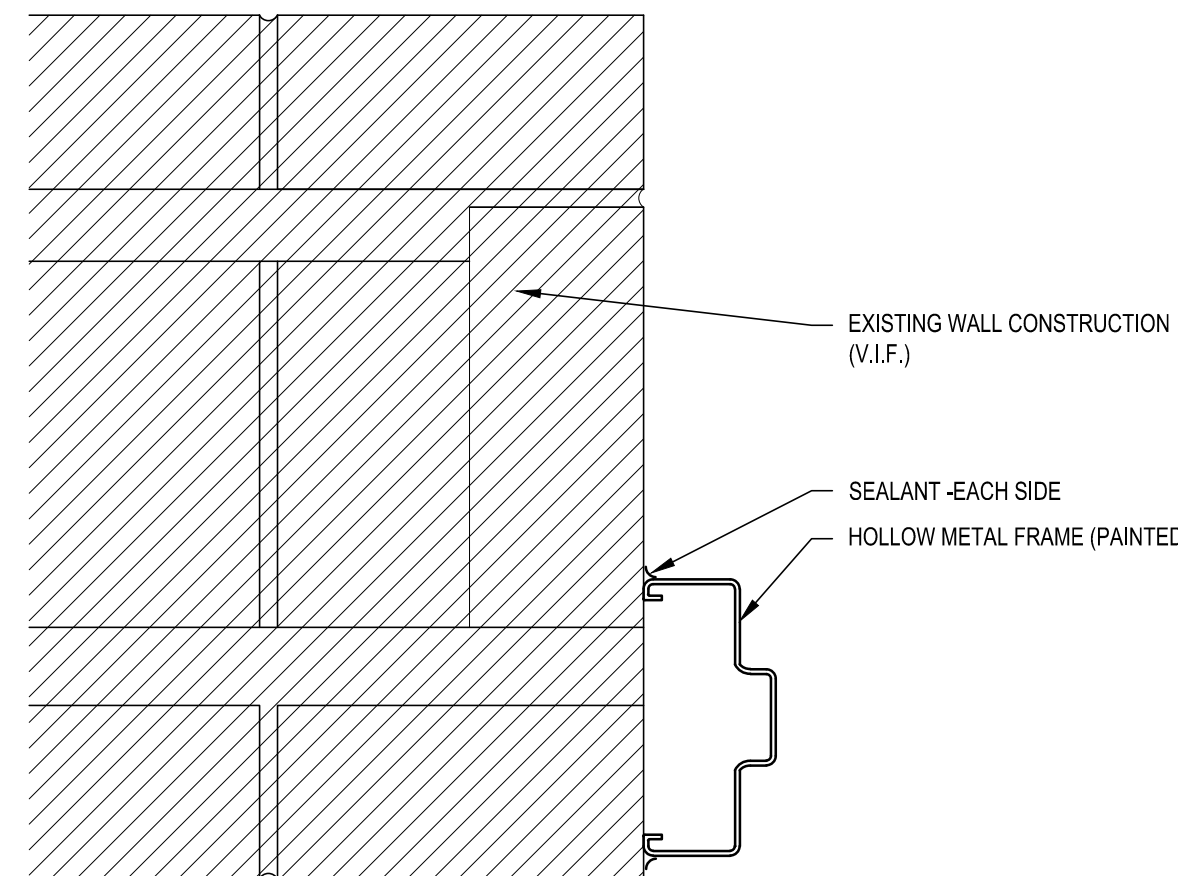
DOOR HARDWARE MOUNTING HEIGHTS
SCALE: 1/4" = 1'-0"



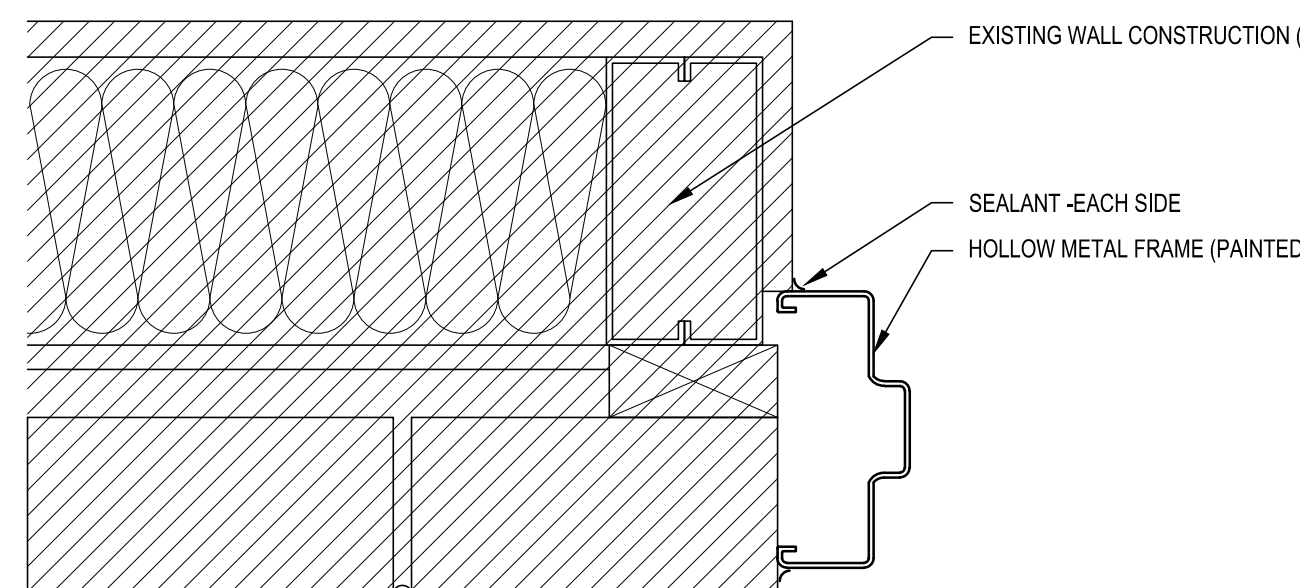
HEAD DETAIL
SCALE: 3" = 1'-0"



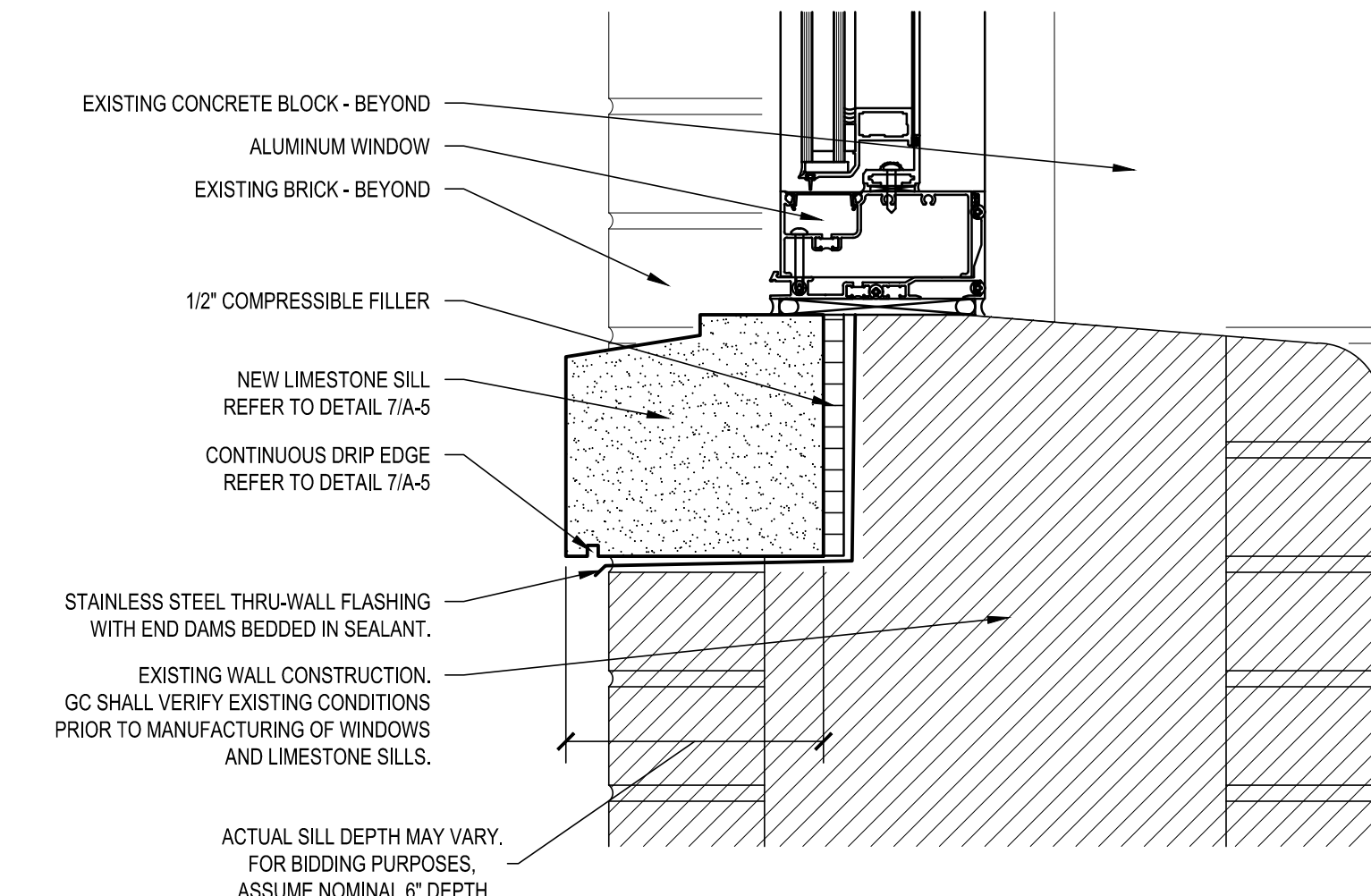
HEAD DETAIL
SCALE: 3" = 1'-0"



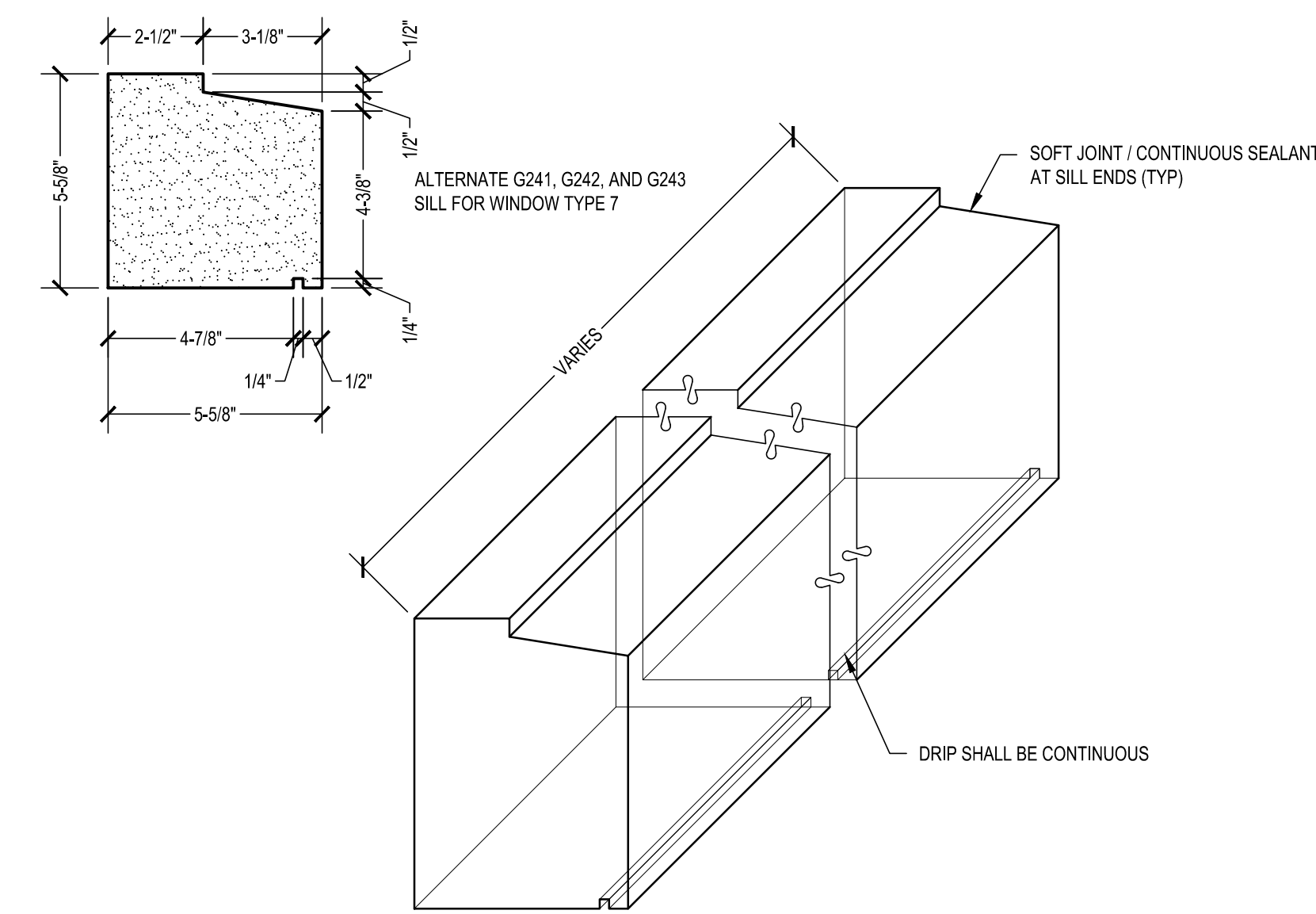
JAMB DETAIL
SCALE: 3" = 1'-0"



JAMB DETAIL
SCALE: 3" = 1'-0"



LIMESTONE SILL DETAIL
SCALE: 3" = 1'-0"



LIMESTONE SILL DETAILS
SCALE: 3" = 1'-0"

NEW LIMESTONE SILLS FOR WINDOW TYPES W-1, W-2, W-3, W-4, W-11, W-15, W-17, W-20, W-21, W-22

DOOR SCHEDULE																			
DOOR NUMBER	DOOR			SIZE			FRAME			THRESHOLD (AT SP. INT.)	VAL. LANE (NUMBER OF MINUTES LISTED)	DOOR UNDERCUT	HARDWARE SET	NMS NUMBERING (EXISTING / NEW)	ELECTRON DEVICES		REMARKS		DOOR NUMBER
	TYPE	MATERIAL	GLASS	WIDTH	HEIGHT	THICKNESS	TYPE	MATERIAL	GLASS						SECURITY CONNECTION	CARD READER			
8G	F	HM	-	FP	3'-0"	7'-0"	1-3/4"	HM-1	HM	-	P	2.3/A-5	AT	-	38"	1	8G / -	SEC	8G
9G	F	HM	-	FP	3'-0"	7'-0"	1-3/4"	HM-1	HM	-	P	2.3/A-5	AT	-	38"	1	9G / -	SEC	9G
10	FG	AL	CL	FP	(2) 3'-0"	7'-0"	1-3/4"	AL-1	AL	-	AN	7.8.10/A-7	AT	-	38"	2	10 / -	SEC	10
12G	F	HM	-	FP	(2) 3'-0"	7'-0"	1-3/4"	HM-1	HM	-	P	2.3/A-5	AT	-	38"	3	12G / -	SEC	12G
13	F	HM	-	FP	3'-0"	7'-0"	1-3/4"	HM-1	HM	-	P	2.3/A-5	AT	-	38"	4	13 / -	SEC	13
14	F	HM	-	FP	2'-4"	2'-1"	1-3/4"	HM-2	HM	-	P	2.3/A-5	AT	-	38"	5	- / -	-	14
1	FG	AL	CL	FP	(1) 3'-0" - (1) 2'-0"	7'-0"	1-3/4"	AL-1	AL	-	AN	7.8.10/A-7	AT	-	38"	6	1 / -	SEC	1
2A	FG	AL	CL	FP	(1) 3'-0" - (1) 2'-0"	7'-0"	1-3/4"	AL-3	AL	-	AN	7.8.10/A-7	AT	-	38"	7	2 / -	SEC	2A
2B	FG	AL	CL	FP	(1) 3'-0" - (1) 2'-0"	7'-0"	1-3/4"	AL-3	AL	-	AN	7.8.10/A-7	AT	-	38"	6	2 / -	SEC	2B
2C	FG	AL	CL	FP	(1) 3'-0" - (1) 2'-0"	7'-0"	1-3/4"	AL-3	AL	-	AN	7.8.10/A-7	AT	-	38"	7	2 / -	SEC	2C
3	FG	AL	CL	FP	(1) 3'-0" - (1) 2'-0"	7'-0"	1-3/4"	AL-1	AL	-	AN	7.8.10/A-7	AT	-	38"	6	3 / -	SEC	3
4	FG	AL	CL	FP	(1) 3'-0" - (1) 2'-0"	7'-0"	1-3/4"	AL-1	AL	-	AN	7.8.10/A-7	AT	-	38"	8	4 / -	SEC	4
5	FG	AL	CL	FP	(1) 3'-0" - (1) 2'-0"	7'-0"	1-3/4"	AL-2	AL	-	AN	7.8.10/A-7	AT	-	38"	2	5 / -	SEC	5
6A	FG	AL	CL	FP	(1) 3'-0" - (1) 2'-0"	7'-0"	1-3/4"	AL-6	AL	-	AN	7.8.10/A-7	AT	-	38"	7	6 / -	SEC	6A
6B	FG	AL	CL	FP	(1) 3'-0" - (1) 2'-0"	7'-0"	1-3/4"	AL-6	AL	-	AN	7.8.10/A-7	AT	-	38"	6	6 / -	SEC	6B
6C	FG	AL	CL	FP	(1) 3'-0" - (1) 2'-0"	7'-0"	1-3/4"	AL-6	AL	-	AN	7.8.10/A-7	AT	-	38"	7	6 / -	SEC	6C
7	FG	AL	CL	FP	(1) 3'-0" - (1) 2'-0"	7'-0"	1-3/4"	AL-1	AL	-	AN	7.8.10/A-7	AT	-	38"	8	7 / -	SEC	7
8	FG	AL	CL	FP	(1) 3'-0" - (1) 2'-0"	7'-0"	1-3/4"	AL-1	AL	-	AN	7.8.10/A-7	AT	-	38"	6	8 / -	SEC	8
9	FG	AL	CL	FP	(1) 3'-0" - (1) 2'-0"	7'-0"	1-3/4"	AL-4	AL	-	AN	7.8.10/A-7	AT	-	38"	2	9 / -	SEC	9
11	FG	AL	CL	FP	(2) 3'-0"	7'-0"	1-3/4"	AL-5	AL	-	AN	7.8.10/A-7	AT	-	38"	2	11 / -	SEC	11
12	FG	AL	CL	FP	(1) 3'-0" - (1) 2'-0"	7'-0"	1-3/4"	AL-4	AL	-	AN	7.8.10/A-7	AT	-	38"	2	12 / -	SEC	12

DOOR SCHEDULE ABBREVIATIONS:

AL ALUMINUM
AN ANODIZED
CL CLEAR LAMINATED
CL I CLEAR LAMINATED INSULATED
CL CL CLEAR CERAMIC LAMINATED
CT CLEAR TEMPERED
CT I CLEAR TEMPERED INSULATED
EX EXISTING
FP FACTORY PAINT
FS FACTORY STAINED
HM HOLLOW METAL
M MARBLE
P PAINT
SP SOLID POLYMER
TL TINTED LAMINATED INSULATED
WD WOOD

GENERAL NOTES:

FIELD VERIFY DIMENSIONS OF ALL EXISTING OPENINGS PRIOR TO SUBMITTING SHOP DRAWINGS. INDICATE DEVIATIONS IN OPENING SIZE ON SHOP DRAWINGS.

WHERE EXPANSION ANCHORS ARE USED, ANCHORS AND FRAMES SHALL BE GROUND SMOOTH, FILLED, PRIMED, AND PAINTED.

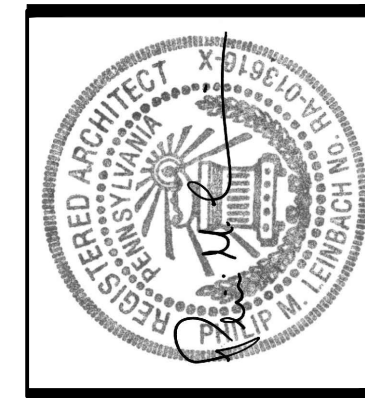
DEMOLITION: BEFORE DISCONNECTING ANY ACCESS CONTROL OR SECURITY COMPONENTS, CONTRACTOR SHALL COORDINATE AND VERIFY WITH THE OWNER THAT ALL COMPONENTS ARE OPERATIONAL AND ARE FUNCTIONING PROPERLY. CONTRACTOR SHALL THEN DISCONNECT AND REMOVE DOOR POSITION SWITCHES, ELECTRIFIED HARDWARE, AND DOOR POWER SUPPLY, INCLUDING THE LOW VOLTAGE WIRING BETWEEN POWER SUPPLY AND ELECTRIFIED DOOR HARDWARE. CONTRACTOR SHALL ALSO DISCONNECT POWER WIRE TO POWER SUPPLY AND LOW VOLTAGE WIRING TO THE POWER SUPPLY AND DOOR POSITION SWITCHES FROM THE ACCESS CONTROL SYSTEM AND MAINTAIN FOR RECONNECTION. CONTRACTOR SHALL COORDINATE ALL LOW VOLTAGE CABLING WITH THE OWNER PRIOR TO PERFORMING THE WORK. ALL WIRING THAT IS DISCONNECTED SHALL BE COILED ABOVE THE CEILING, PROTECTED, AND CLEARLY LABELED FOR RECONNECTION AND REUSE.

NEW WORK: CONTRACTOR SHALL FURNISH AND INSTALL NEW DOOR POWER SUPPLY ABOVE THE CEILING (OR IN A LOCATION ACCEPTABLE TO THE OWNER) AND CONNECT TO EXISTING POWER CIRCUIT CONFIRMED PRIOR TO DEMOLITION WORK TO REMOVE EXISTING ELECTRIFIED HARDWARE AND ASSOCIATED COMPONENTS. PROVIDE SPECIFIED WIRING HARNESS FROM THE DOOR POWER SUPPLY TO ELECTRIFIED HARDWARE AND CONNECT. PROVIDE RACEWAY AND EXTEND WHIP FROM THE DOOR POSITION SWITCHES IN THE DOOR HEADER TO EXISTING WIRING CONNECTIONS. THE OWNER WILL EXTEND AND CONNECT LOW VOLTAGE WIRING FROM ACCESS CONTROL SYSTEM TO THE DOOR POSITION SWITCHES AND DOOR POWER SUPPLY AS REQUIRED. PROVIDE COMPLETE SUPPORT TO THE OWNER WHILE PROGRAMMING OF THE EQUIPMENT INTO THE ACCESS CONTROL SYSTEM TAKES PLACE TO ENSURE FULL FUNCTIONALITY.

NOTE 1: CARD READER SHALL BE REMOVED AND REINSTALLED BY OWNER

NOTE 2: NEW CARD READER SHALL BE FURNISHED AND INSTALLED BY OWNER AT THIS LOCATION. COORDINATE HARDWARE INSTALLATION WITH OWNER.

MAGNETIC

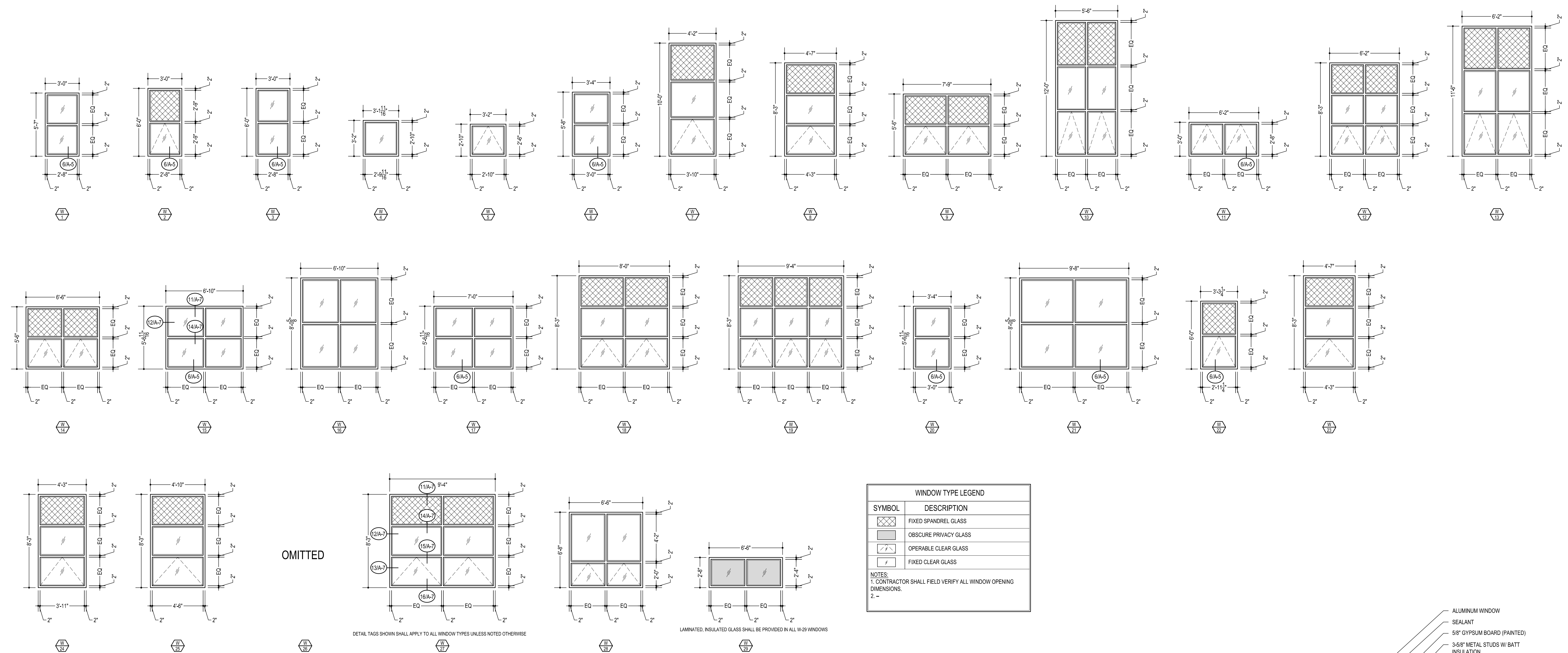


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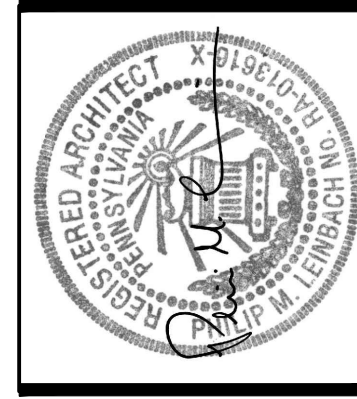
DOOR SCHEDULE, TYPES, AND DETAILS
WINDOW AND DOOR REPLACEMENT FOR
13TH AND UNION ELEMENTARY SCHOOL
READING SCHOOL DISTRICT
1800 NORTH 13TH STREET, READING, BERKS COUNTY, PA

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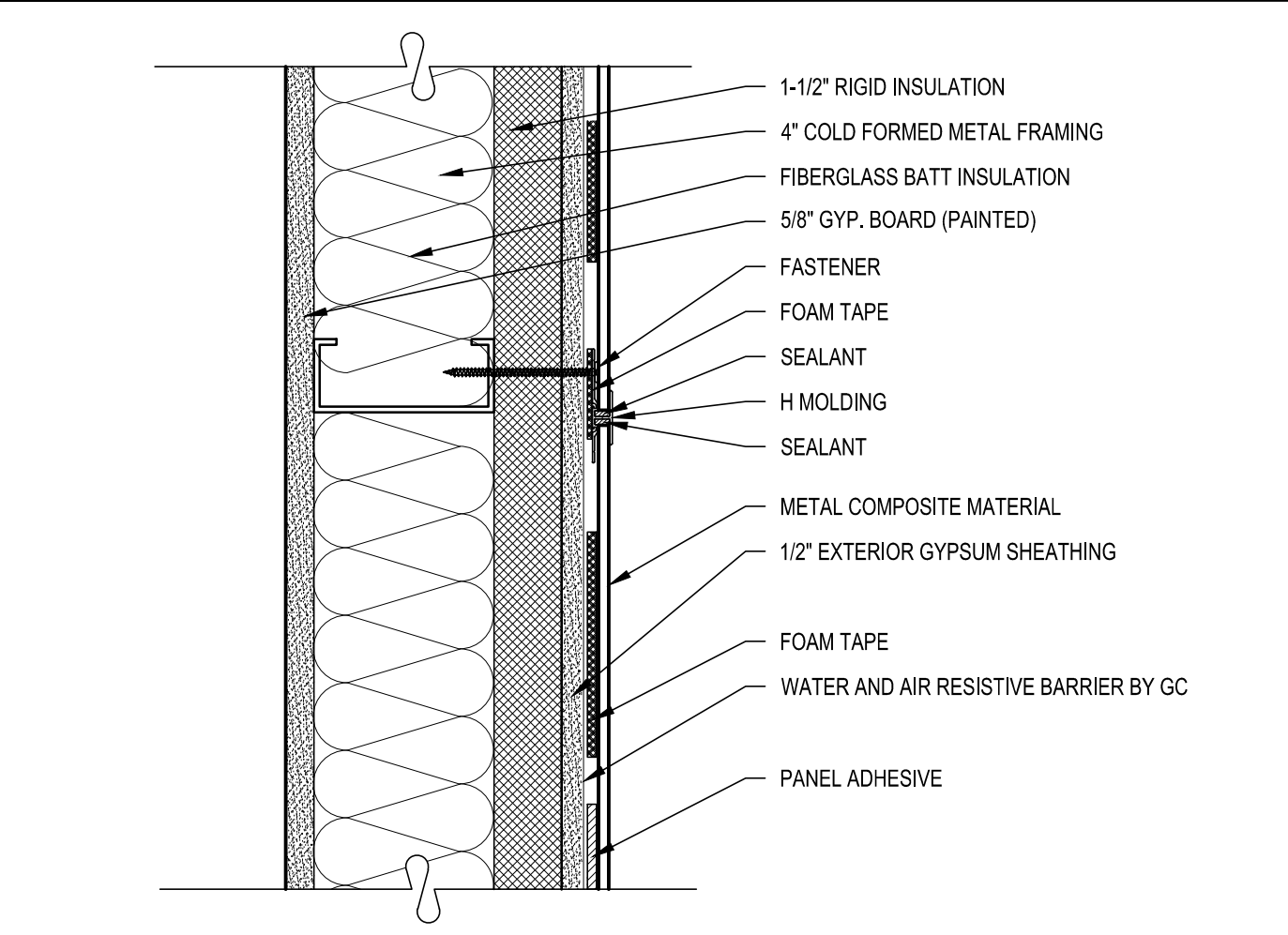


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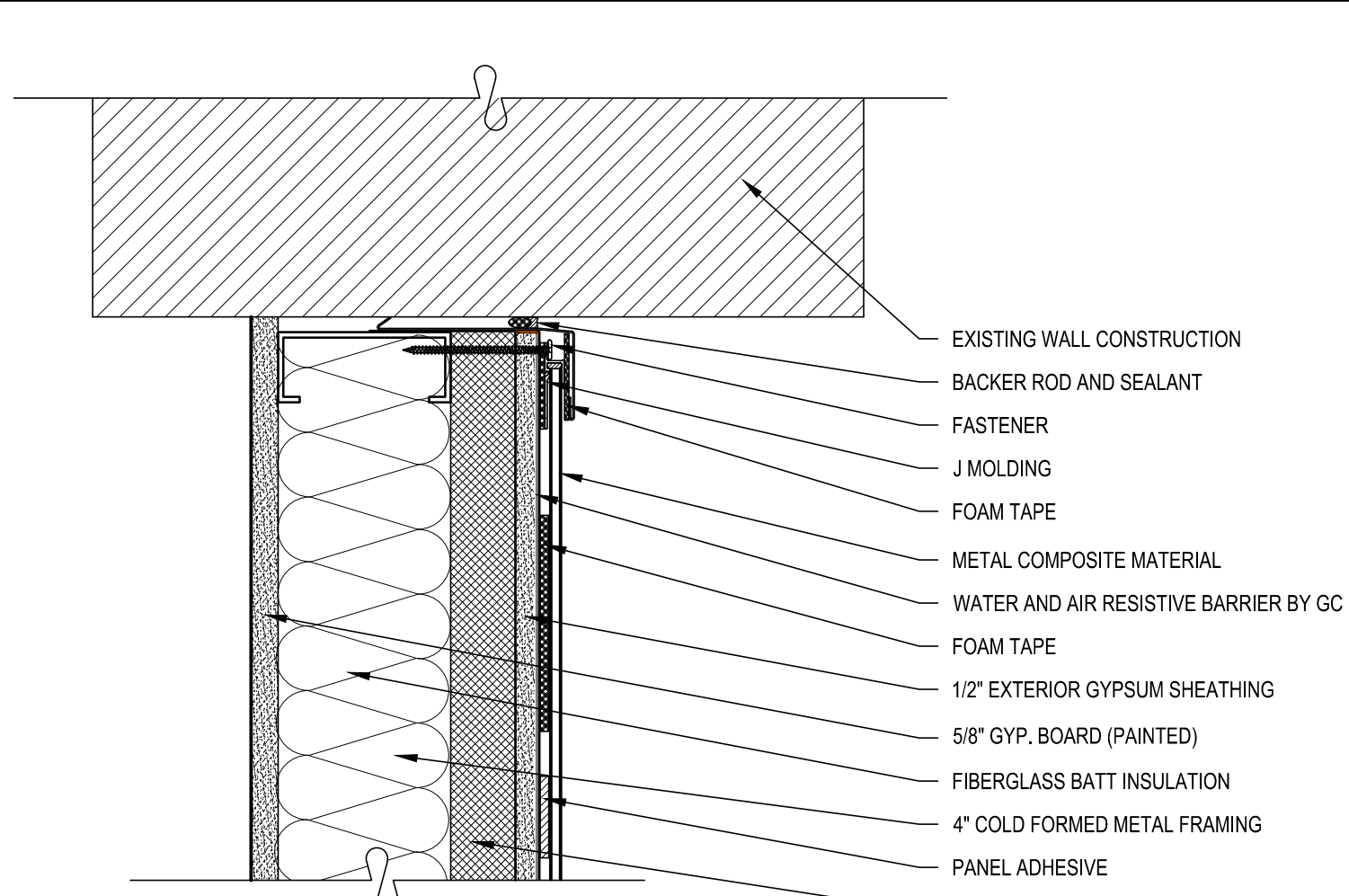
WINDOW TYPES AND DETAILS
 WINDOW AND DOOR REPLACEMENT FOR
 13TH AND UNION ELEMENTARY SCHOOL
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 1800 NORTH 13TH STREET, READING, BERKS COUNTY, PA

ALL DIMENSIONS AND EXISTING CONDITIONS
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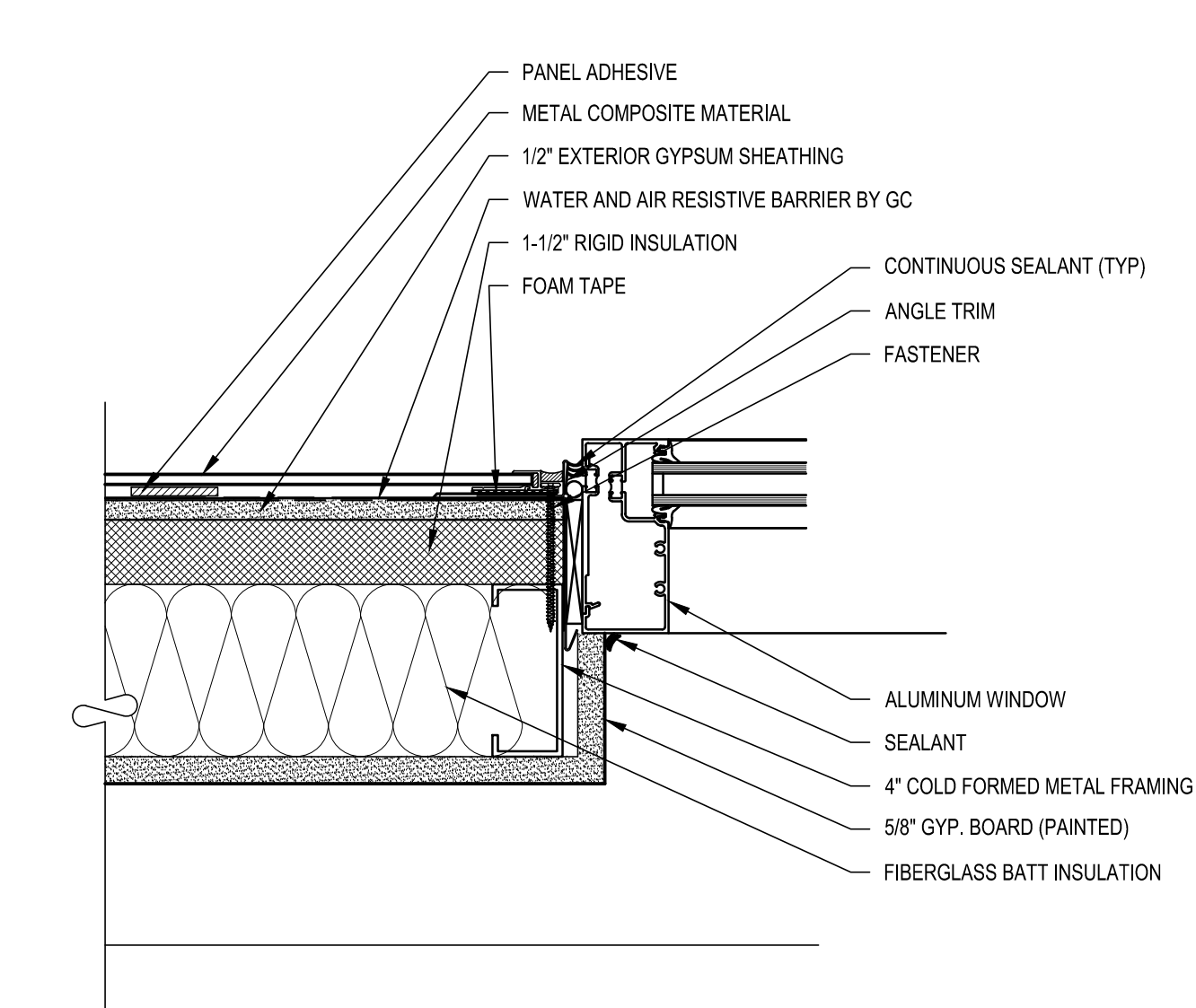
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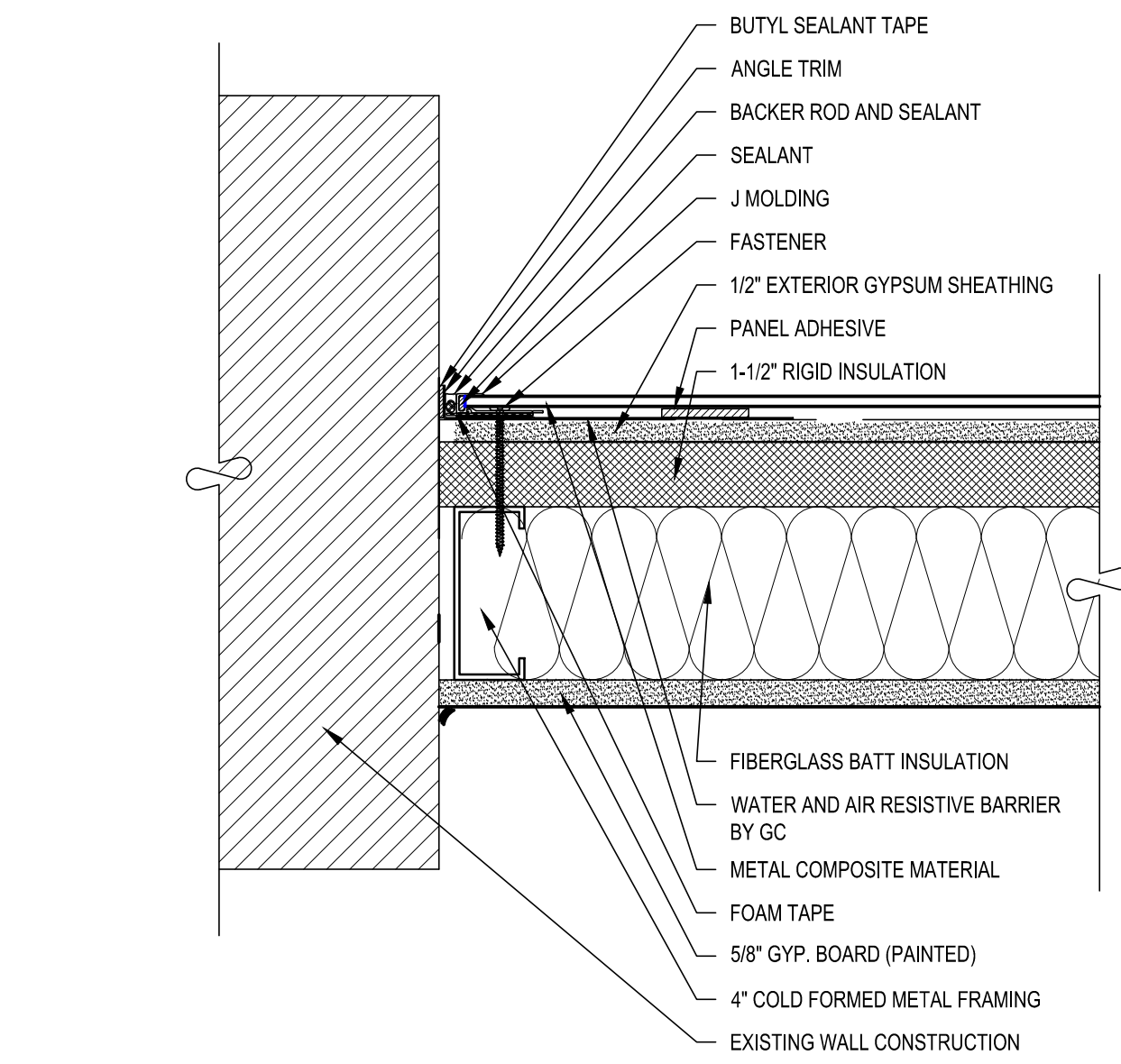
1 METAL PANEL INFILL - HORIZONTAL / VERTICAL JOINT DETAIL
SCALE: 3" = 1'-0"



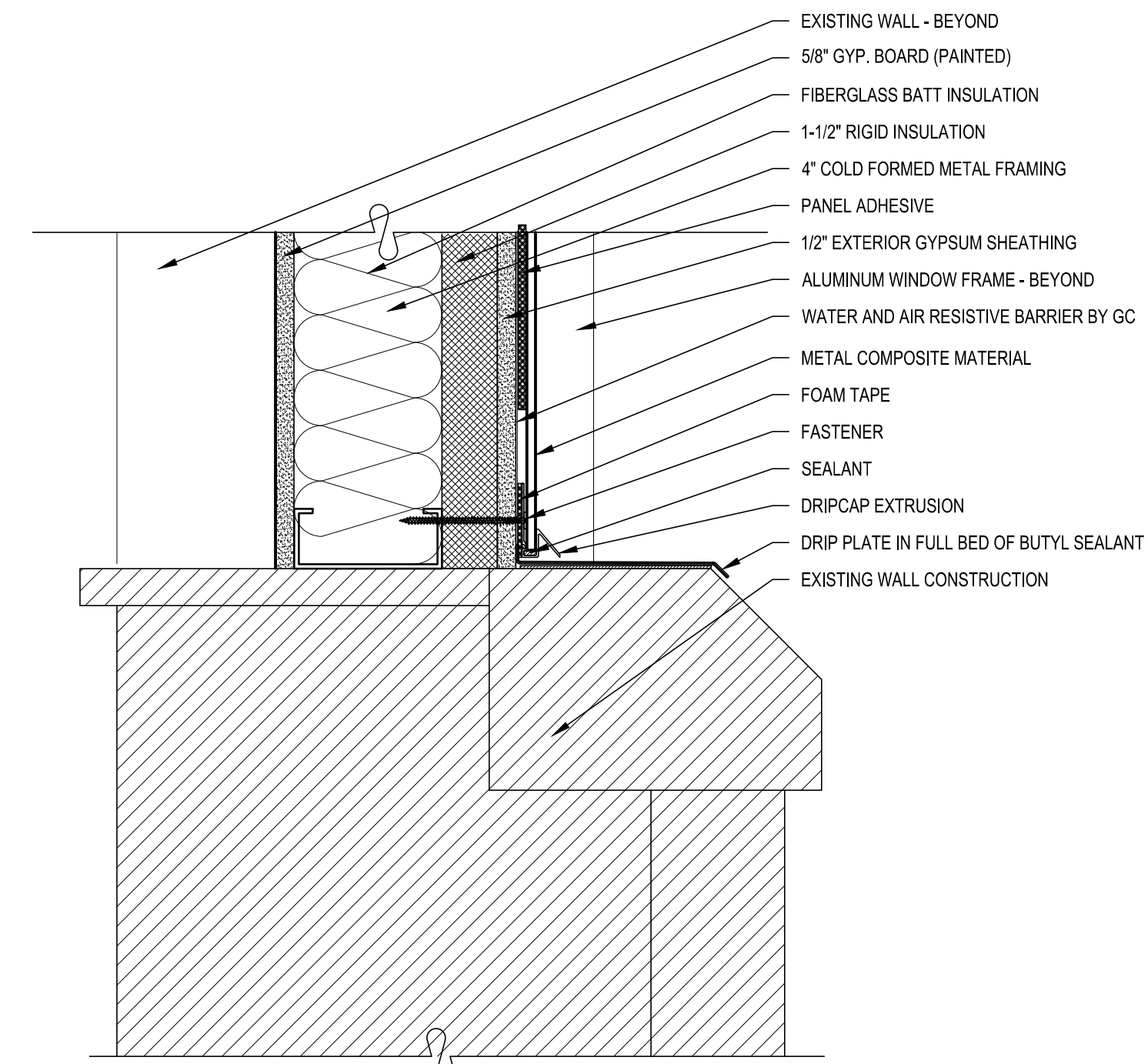
2 METAL PANEL INFILL - HEAD DETAIL
SCALE: 3" = 1'-0"



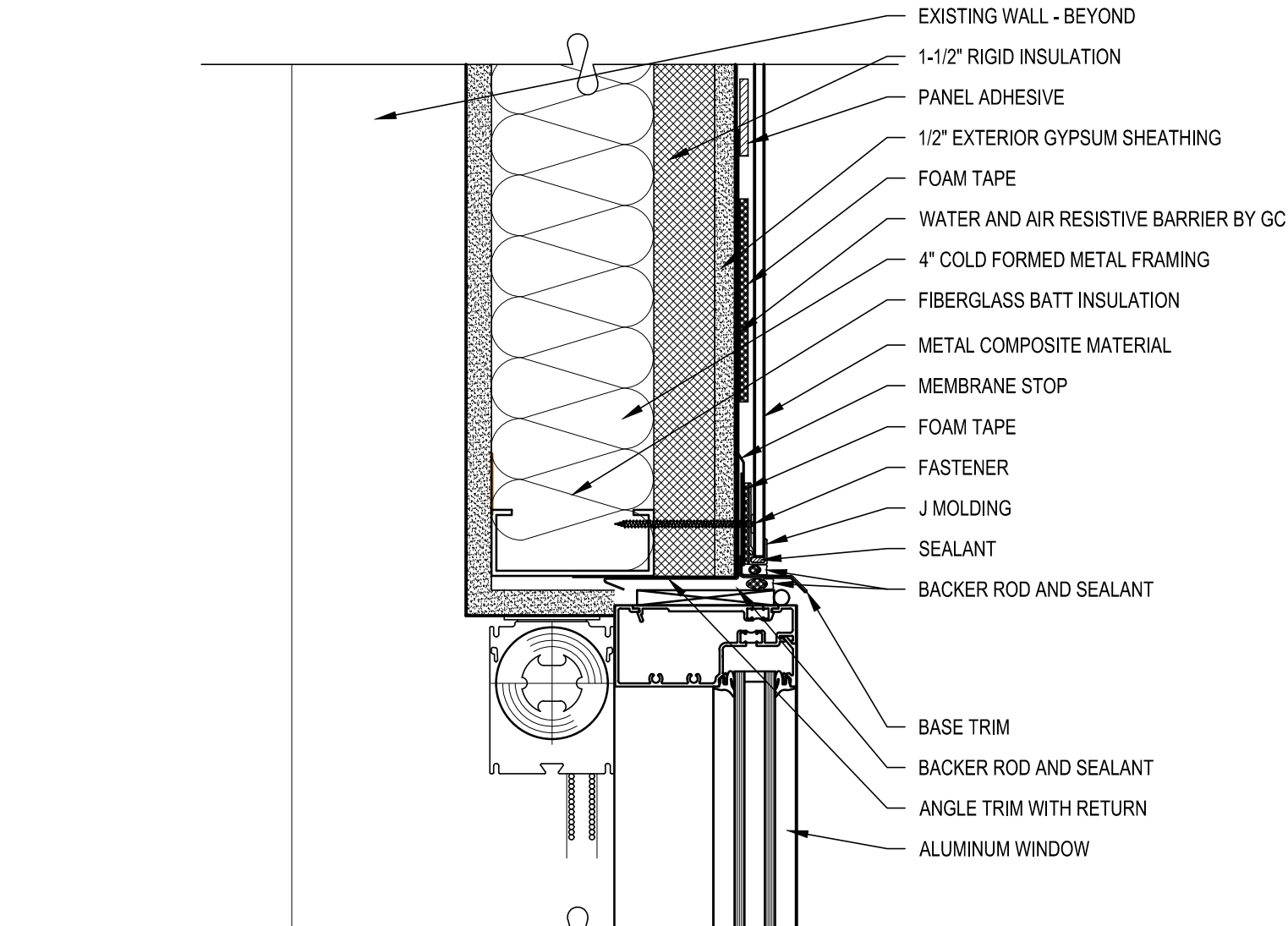
3 METAL PANEL INFILL - JAMB DETAIL AT WINDOW
SCALE: 3" = 1'-0"



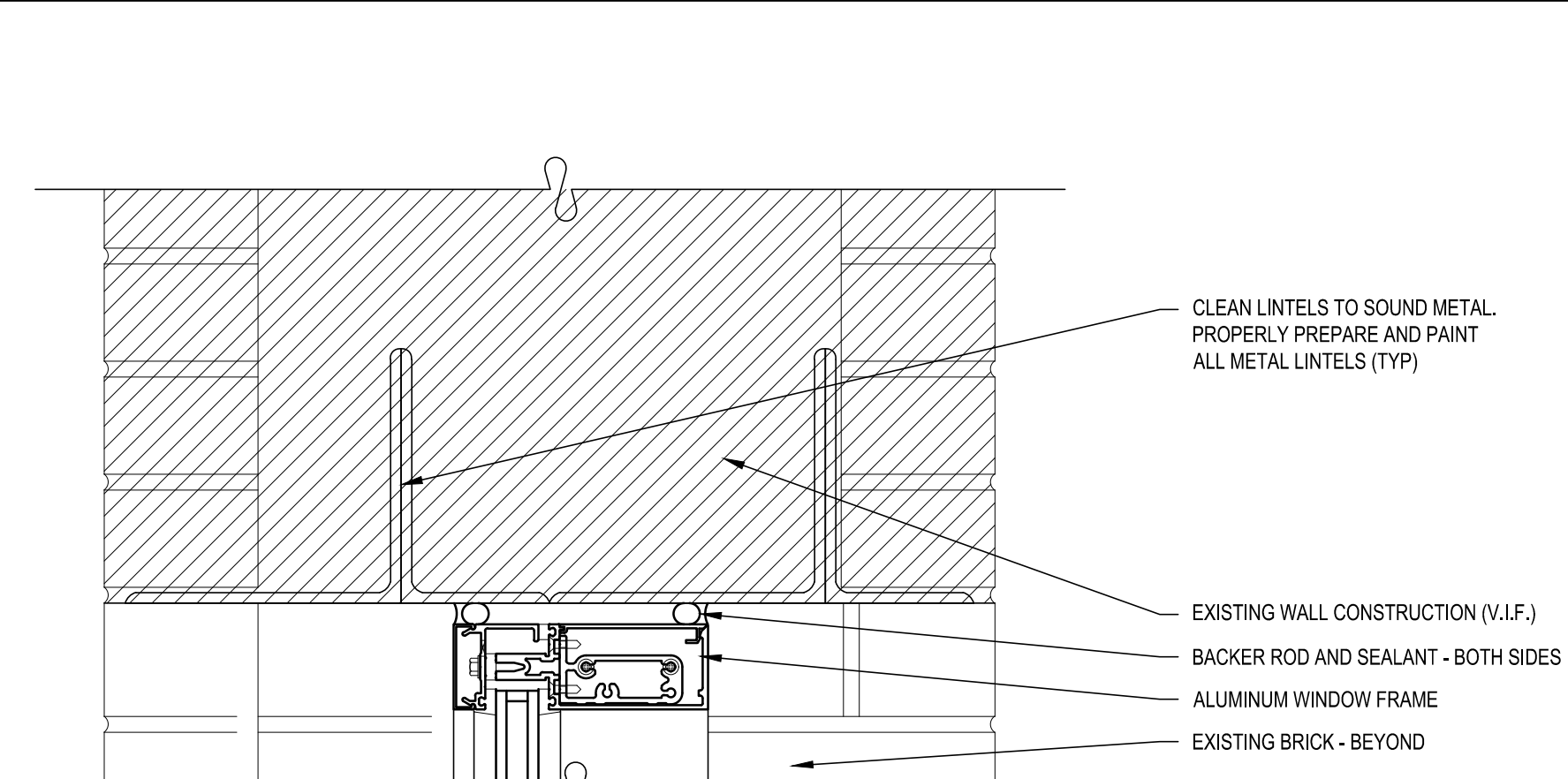
4 METAL PANEL INFILL - JAMB DETAIL AT WALL
SCALE: 3" = 1'-0"



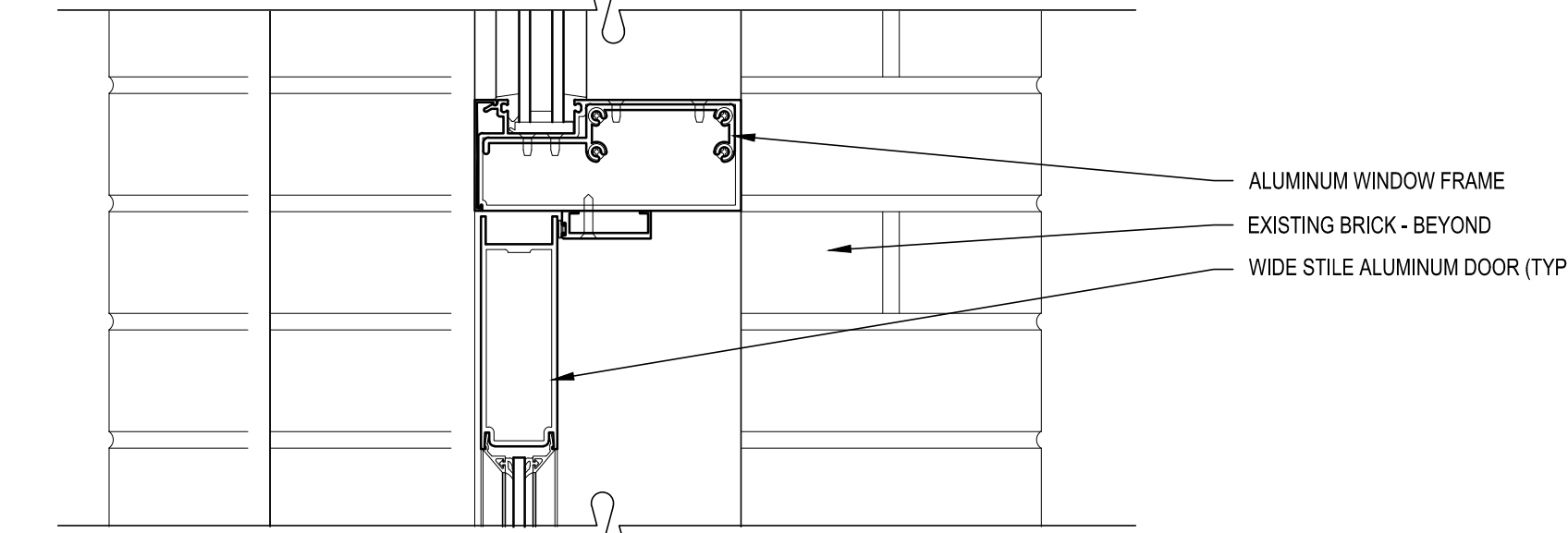
5 METAL PANEL INFILL SILL DETAIL
SCALE: 3" = 1'-0"



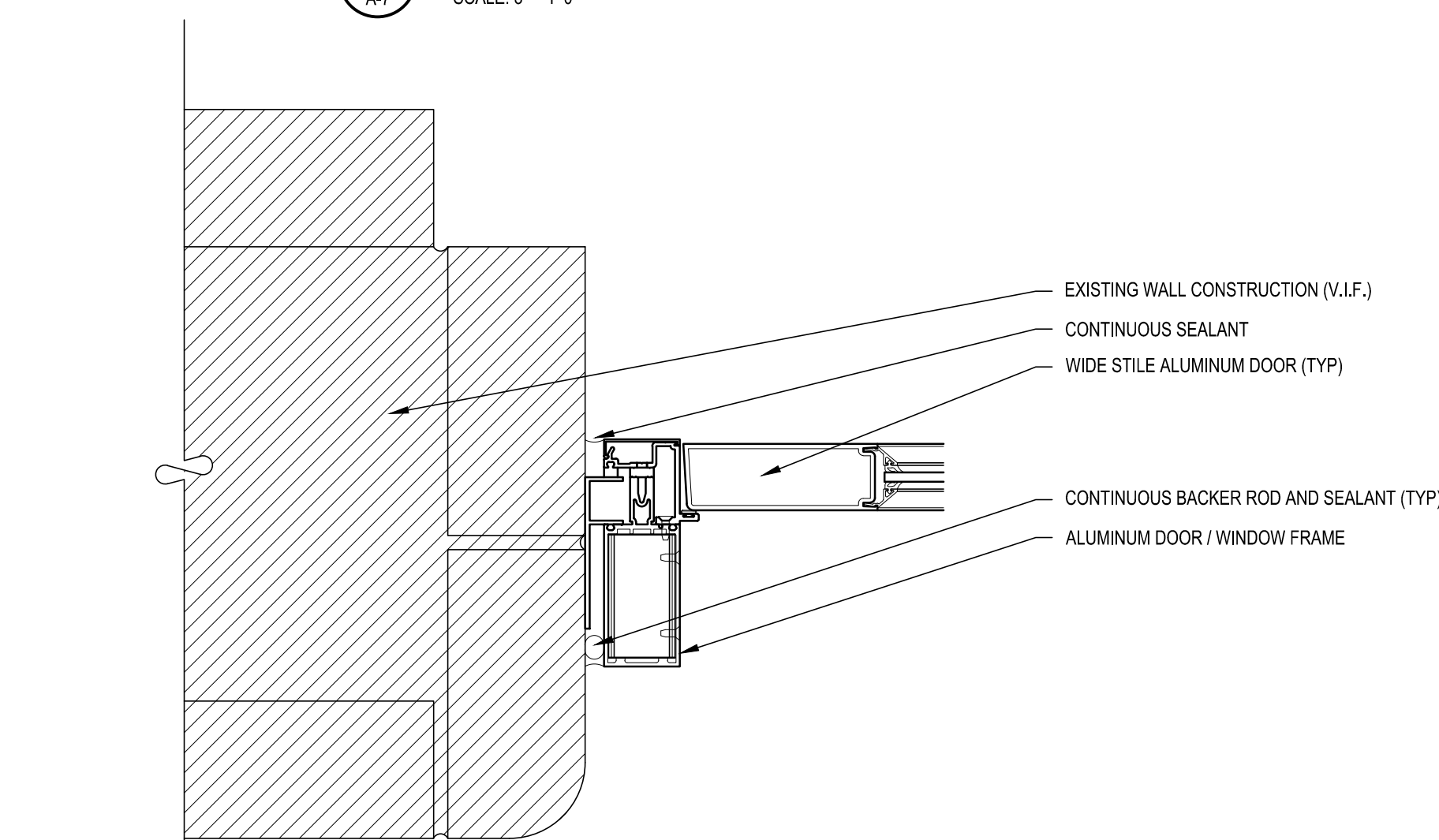
6 METAL PANEL INFILL - BASE ABOVE WINDOW DETAIL
SCALE: 3" = 1'-0"



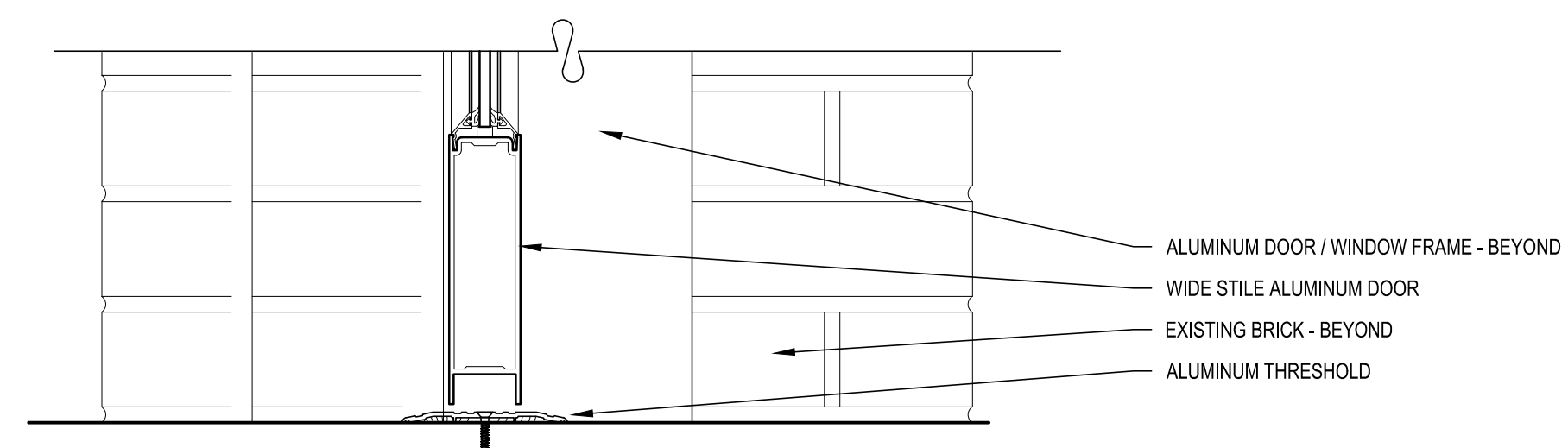
7 HEAD DETAIL
SCALE: 3" = 1'-0"



8 MULLION DETAIL
SCALE: 3" = 1'-0"

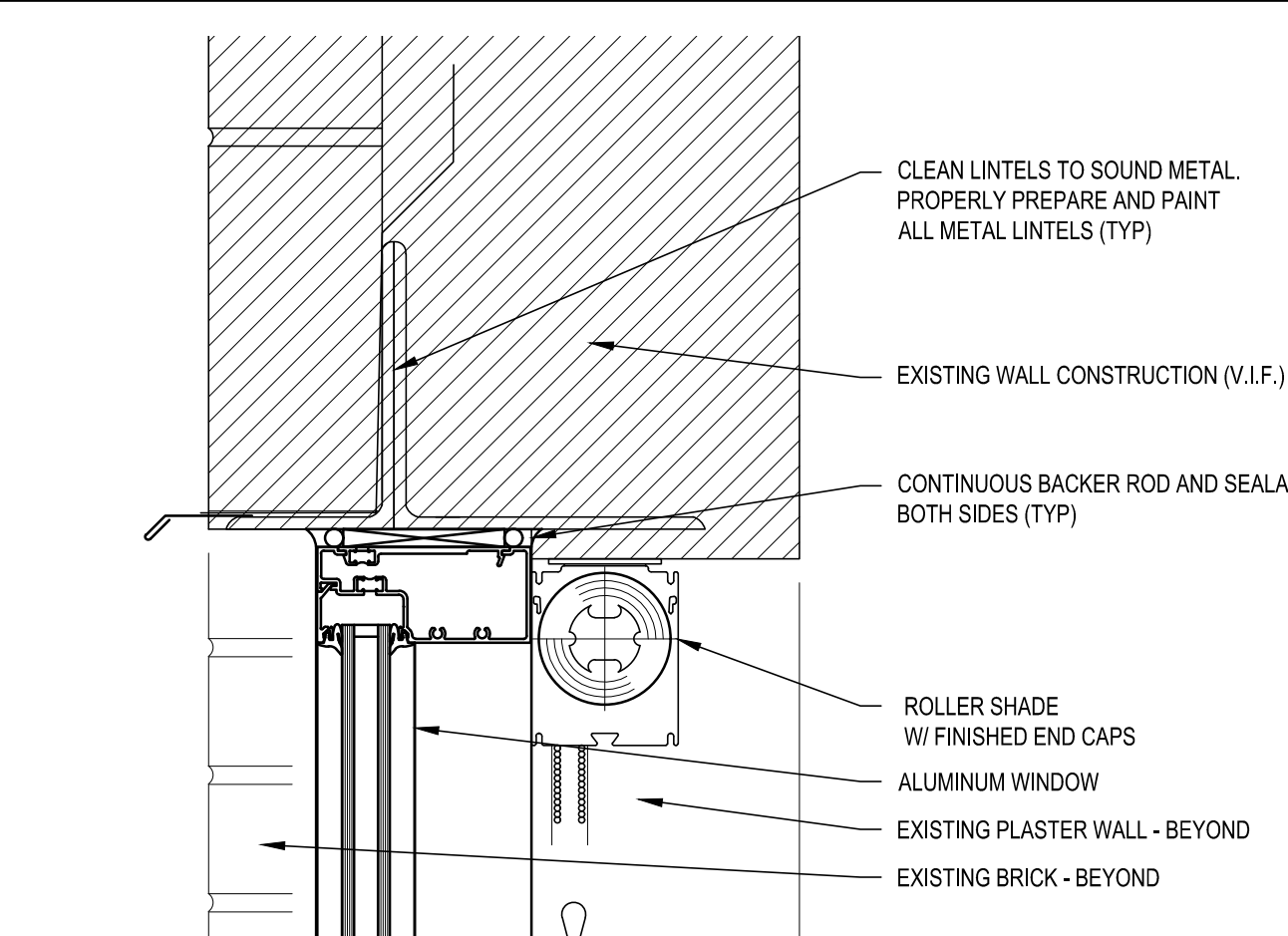


9 JAMB DETAIL
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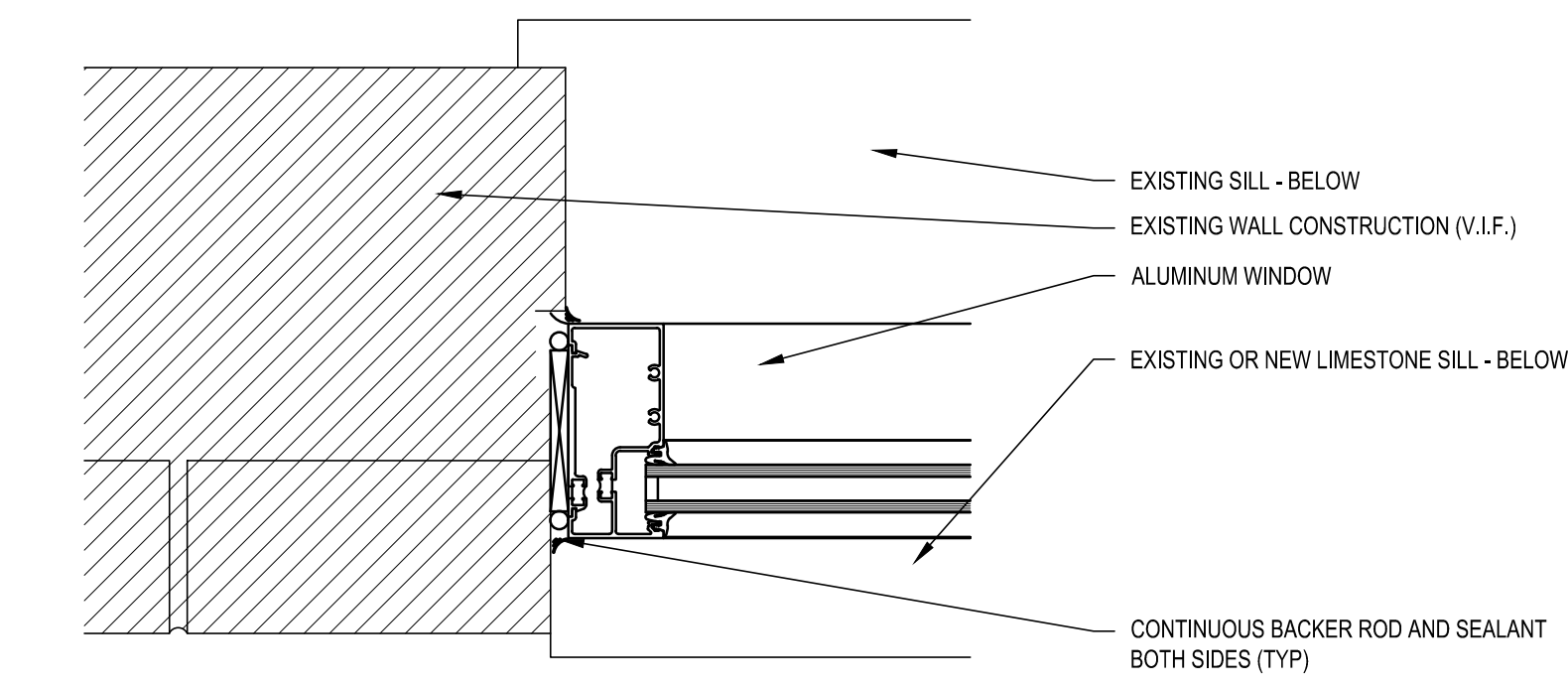


10 BOTTOM RAIL DETAIL
SCALE: 3" = 1'-0"

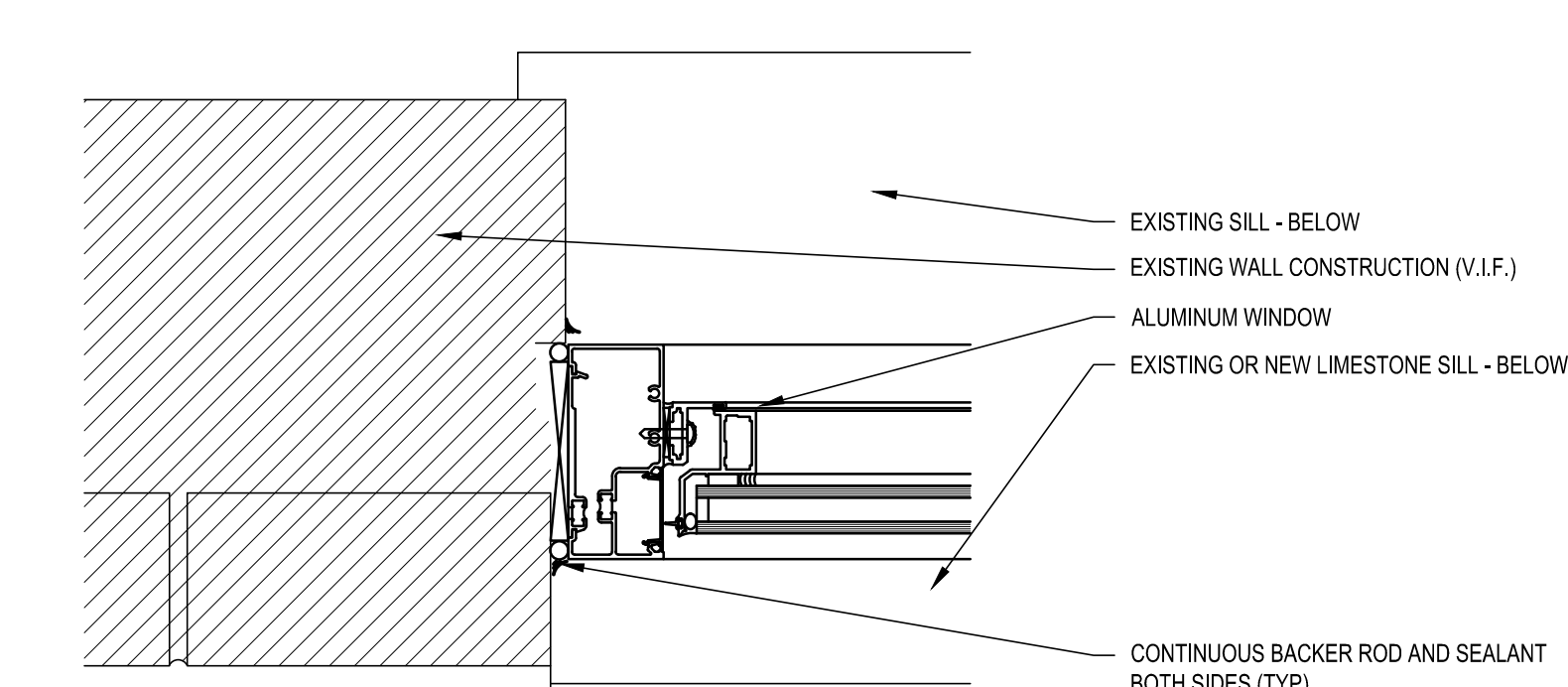
6" THERMALLY BROKEN CURTAIN WALL FRAMING



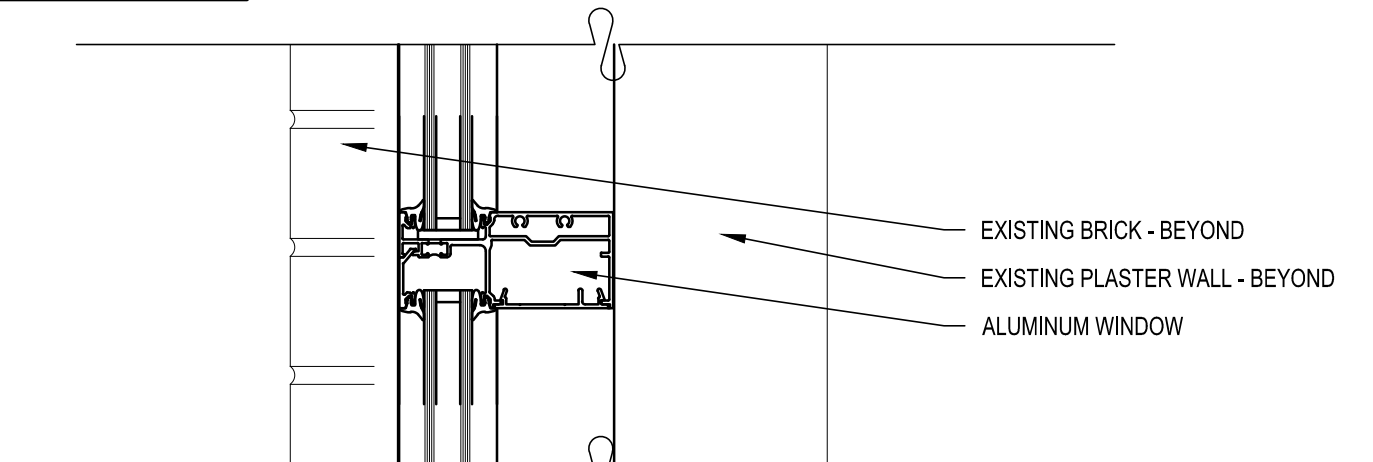
11 FIXED HEAD DETAIL
SCALE: 3" = 1'-0"



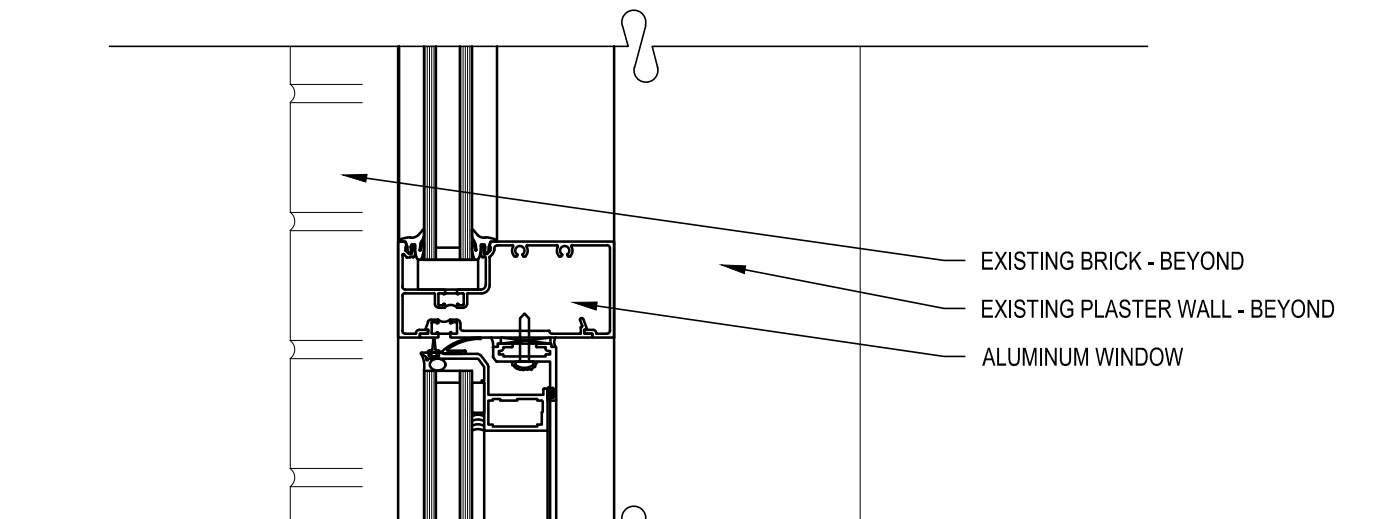
12 FIXED JAMB DETAIL
SCALE: 3" = 1'-0"



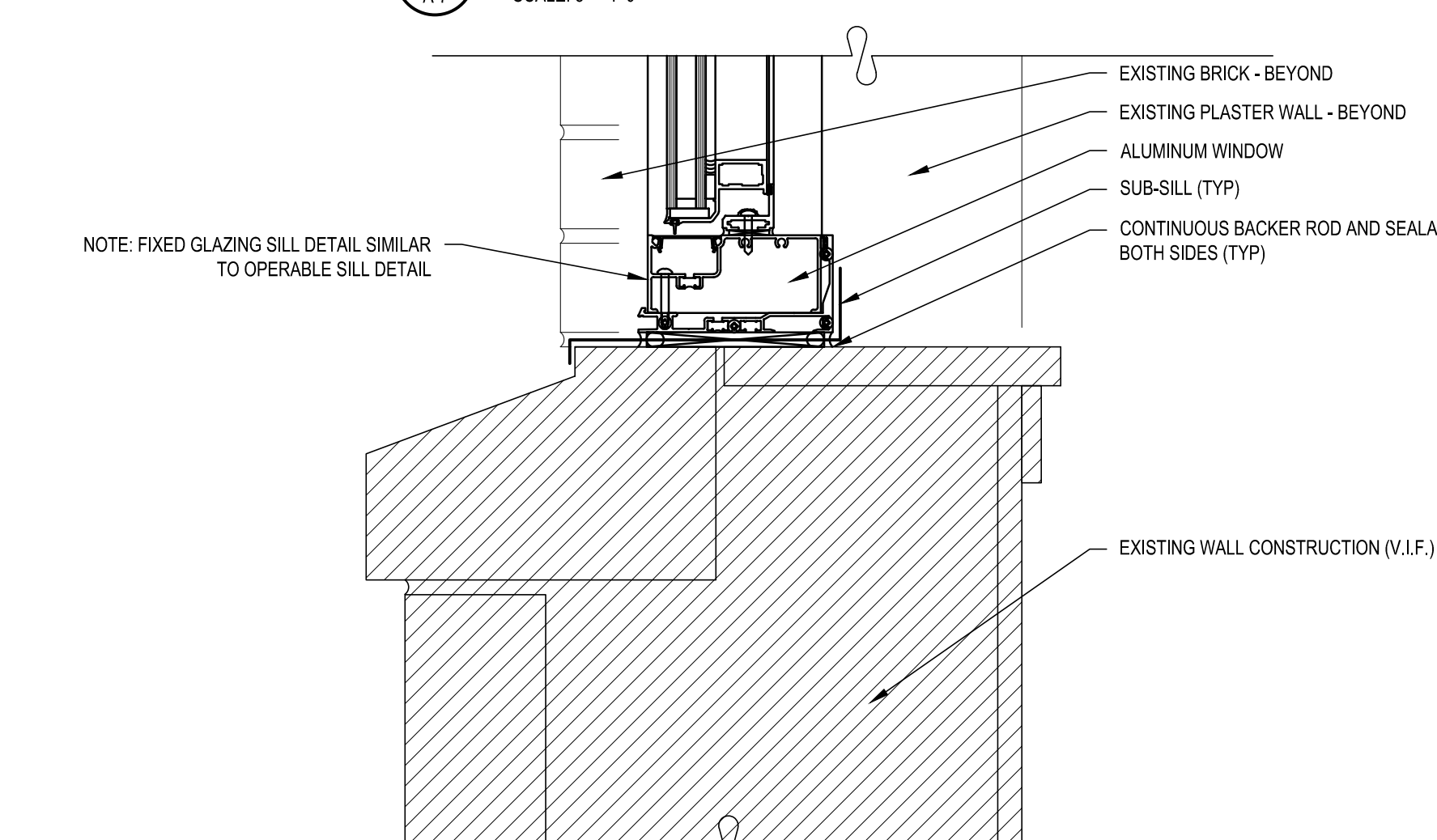
13 OPERABLE JAMB DETAIL
SCALE: 3" = 1'-0"



14 FIXED HORIZONTAL DETAIL
SCALE: 3" = 1'-0"

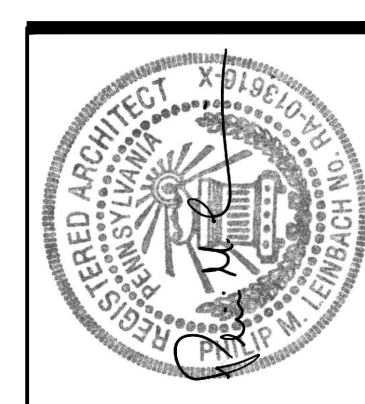


15 OPERABLE / FIXED HORIZONTAL DETAIL
SCALE: 3" = 1'-0"



16 OPERABLE SILL DETAIL
SCALE: 3" = 1'-0"

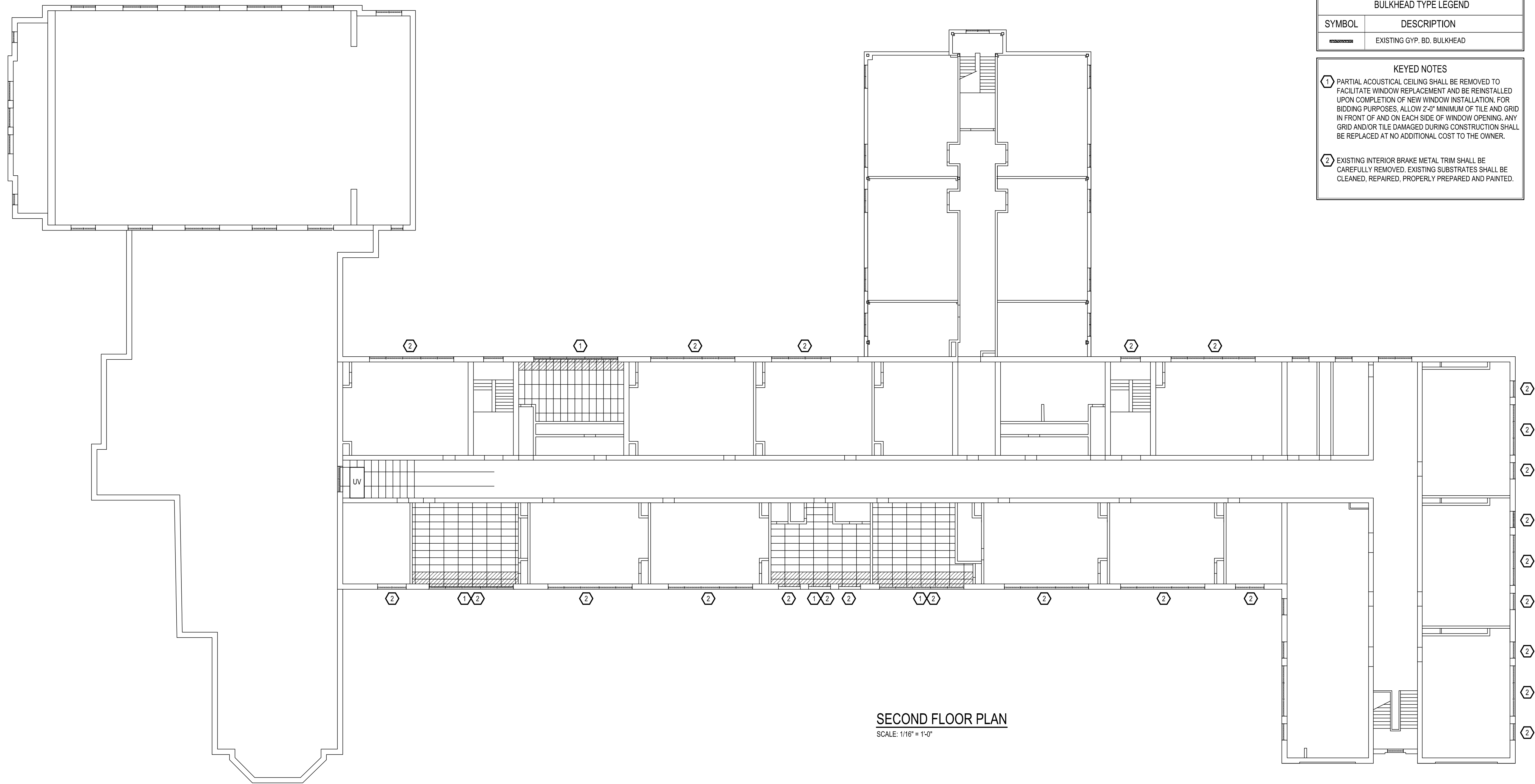
THERMALLY BROKEN ALUMINUM WINDOW FRAMING SYSTEM



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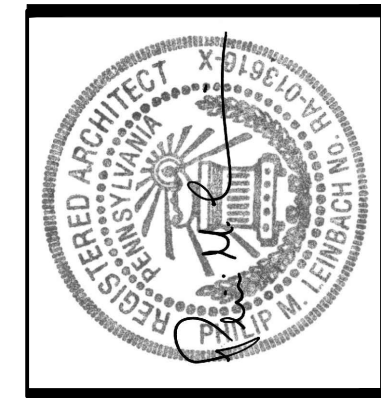
WINDOW DETAILS
WINDOW AND DOOR REPLACEMENT FOR
13TH AND UNION ELEMENTARY SCHOOL
READING SCHOOL DISTRICT
1800 NORTH 13TH STREET, READING, BERKS COUNTY, PA

ALL DIMENSIONS AND EXISTING CONDITIONS
SHALL BE CHECKED AND VERIFIED
BY THE CONTRACTOR AT THE SITE.
JOB NO.: 25002.00
DRAWN BY: TCW
DATE: 03.07.25



SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"

CEILING TYPE LEGEND	
SYMBOL	DESCRIPTION
	EXISTING 2' X 4' ACOUSTICAL TILE CEILING
	EXISTING PLASTER CEILING TO REMAIN
	AREA OF ACOUSTICAL TILE AND GRID R&R
BULKHEAD TYPE LEGEND	
SYMBOL	DESCRIPTION
	EXISTING GYP. BD. BULKHEAD
KEYED NOTES	
1 PARTIAL ACOUSTICAL CEILING SHALL BE REMOVED TO FACILITATE WINDOW REPLACEMENT AND BE REINSTALLED UPON COMPLETION OF NEW WINDOW INSTALLATION. FOR BIDDING PURPOSES, ALLOW 2'-0" MINIMUM OF TILE AND GRID IN FRONT OF AND ON EACH SIDE OF WINDOW OPENING. ANY GRID AND/OR TILE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.	
2 EXISTING INTERIOR BRAKE METAL TRIM SHALL BE CAREFULLY REMOVED. EXISTING SUBSTRATES SHALL BE CLEANED, REPAIRED, PROPERLY PREPARED AND PAINTED.	



AEM ARCHITECTS, INC.
3700 PERKIDOMEN AVENUE, READING, PA 19606-2795
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SECOND FLOOR REFLECTED CEILING PLAN
WINDOW AND DOOR REPLACEMENT FOR
13TH AND UNION ELEMENTARY SCHOOL
READING SCHOOL DISTRICT
1600 NORTH 13TH STREET, READING, BERKS COUNTY, PA

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