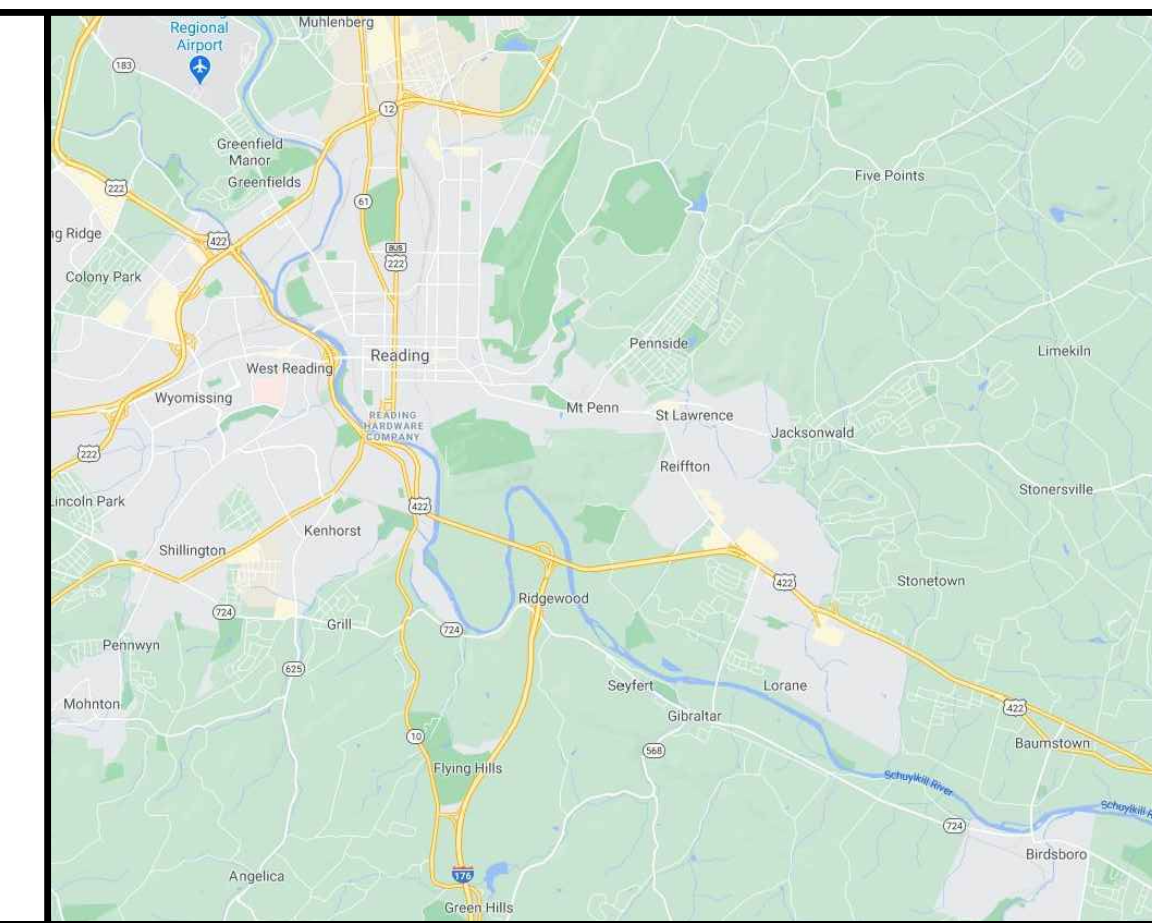
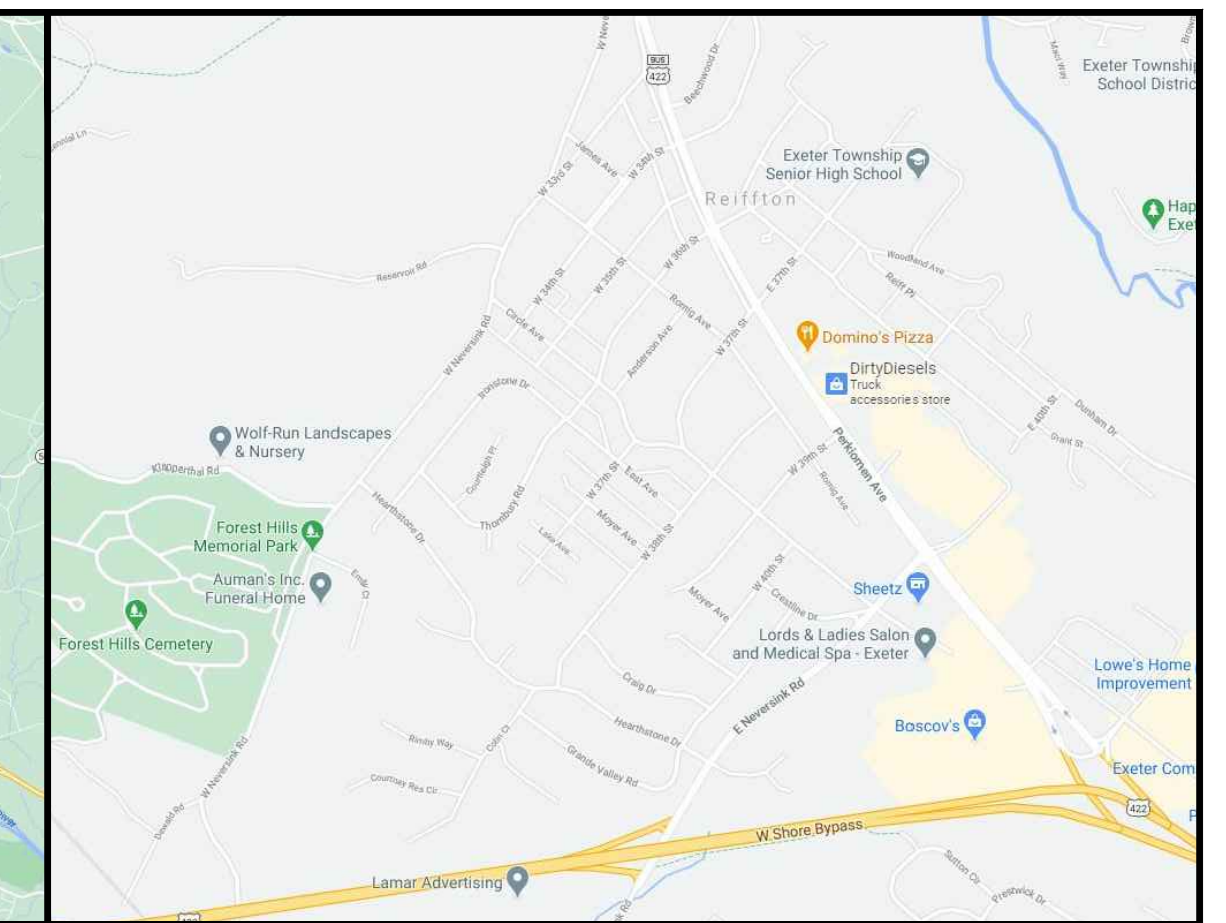


PROPOSED BUILDING RENOVATIONS FOR AEM Architects, Inc.

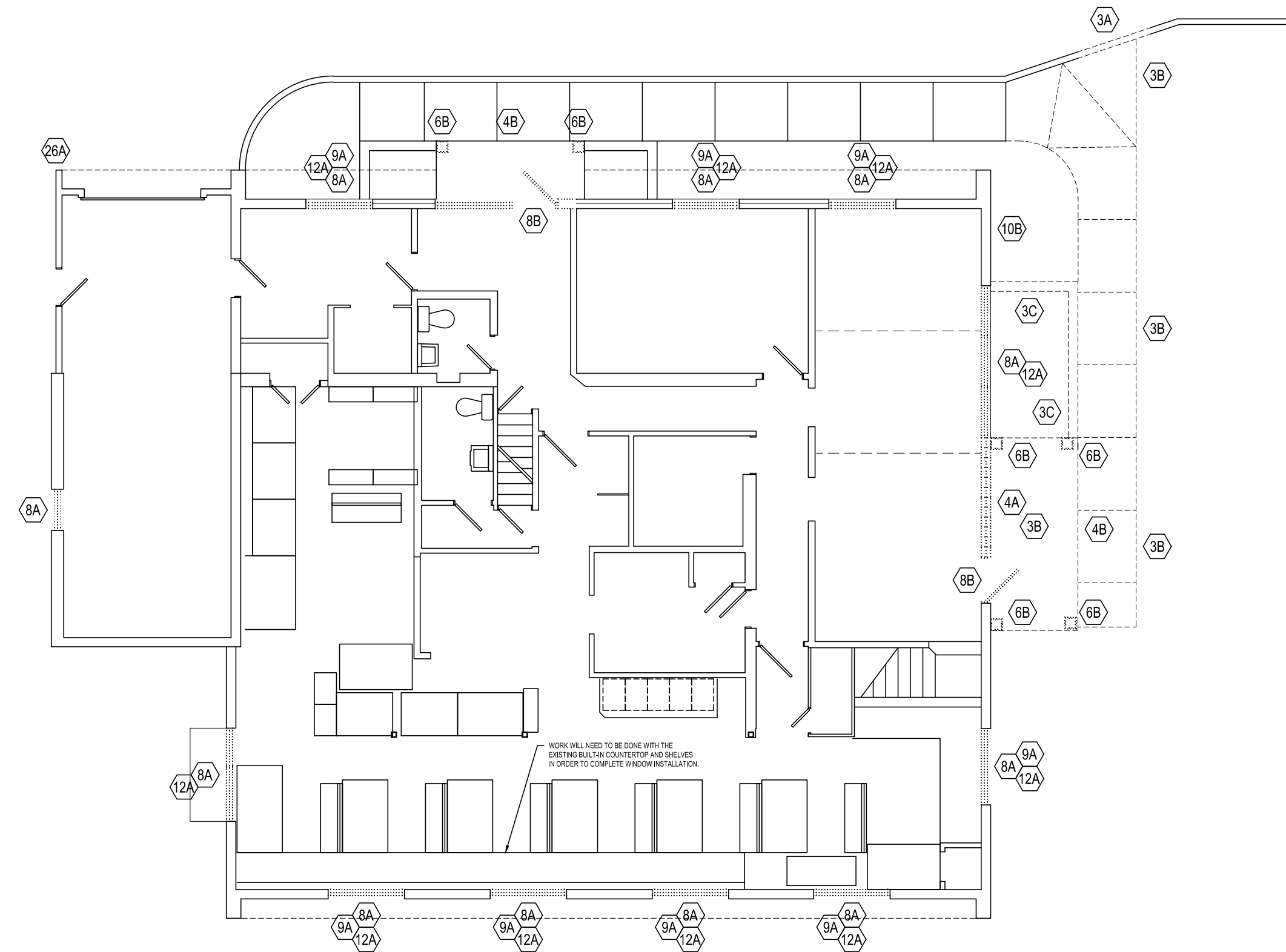
3700 PERKIOMEN AVENUE, EXETER TOWNSHIP, BERKS COUNTY



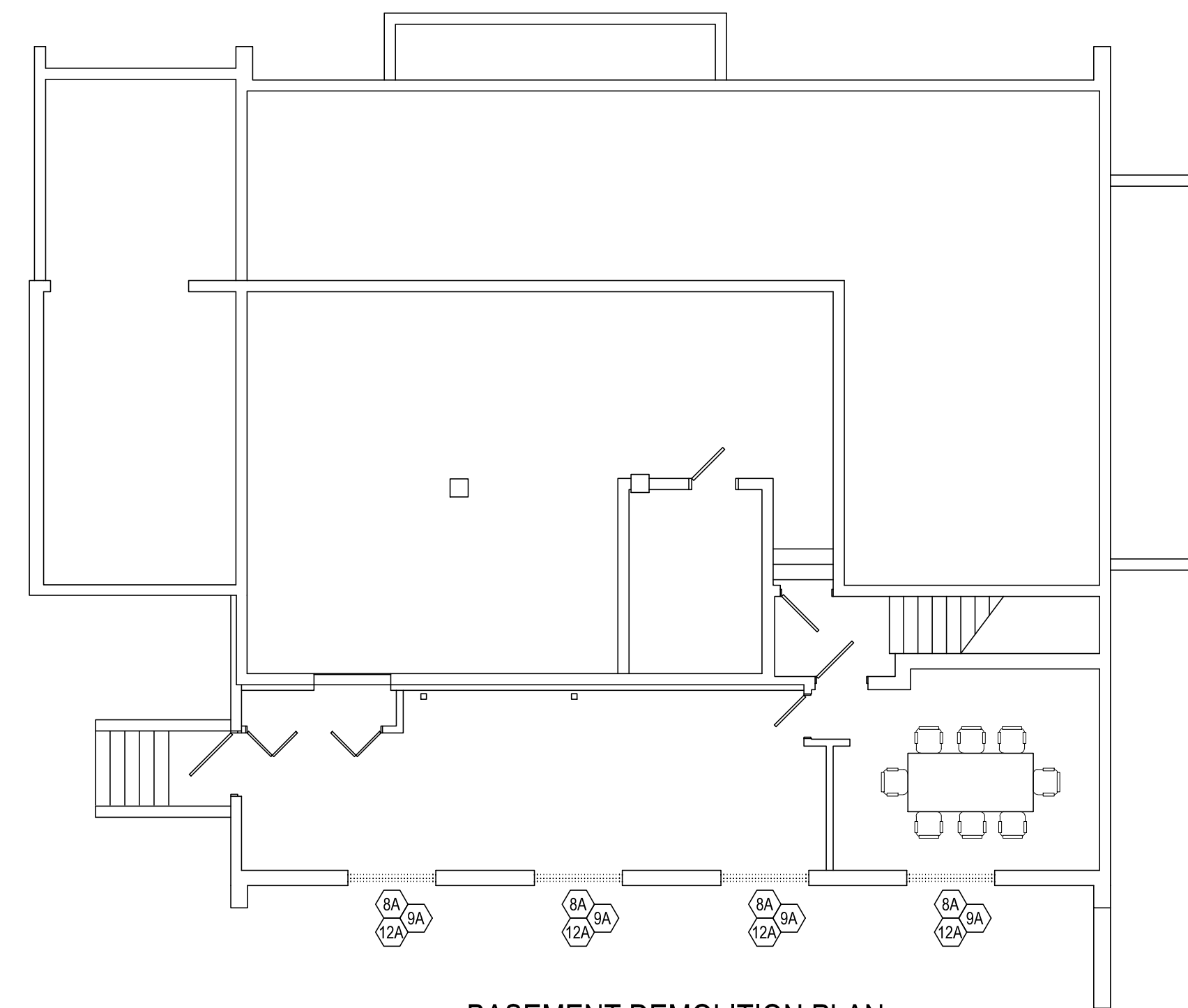
LOCATION MAP
SCALE: N.T.S.



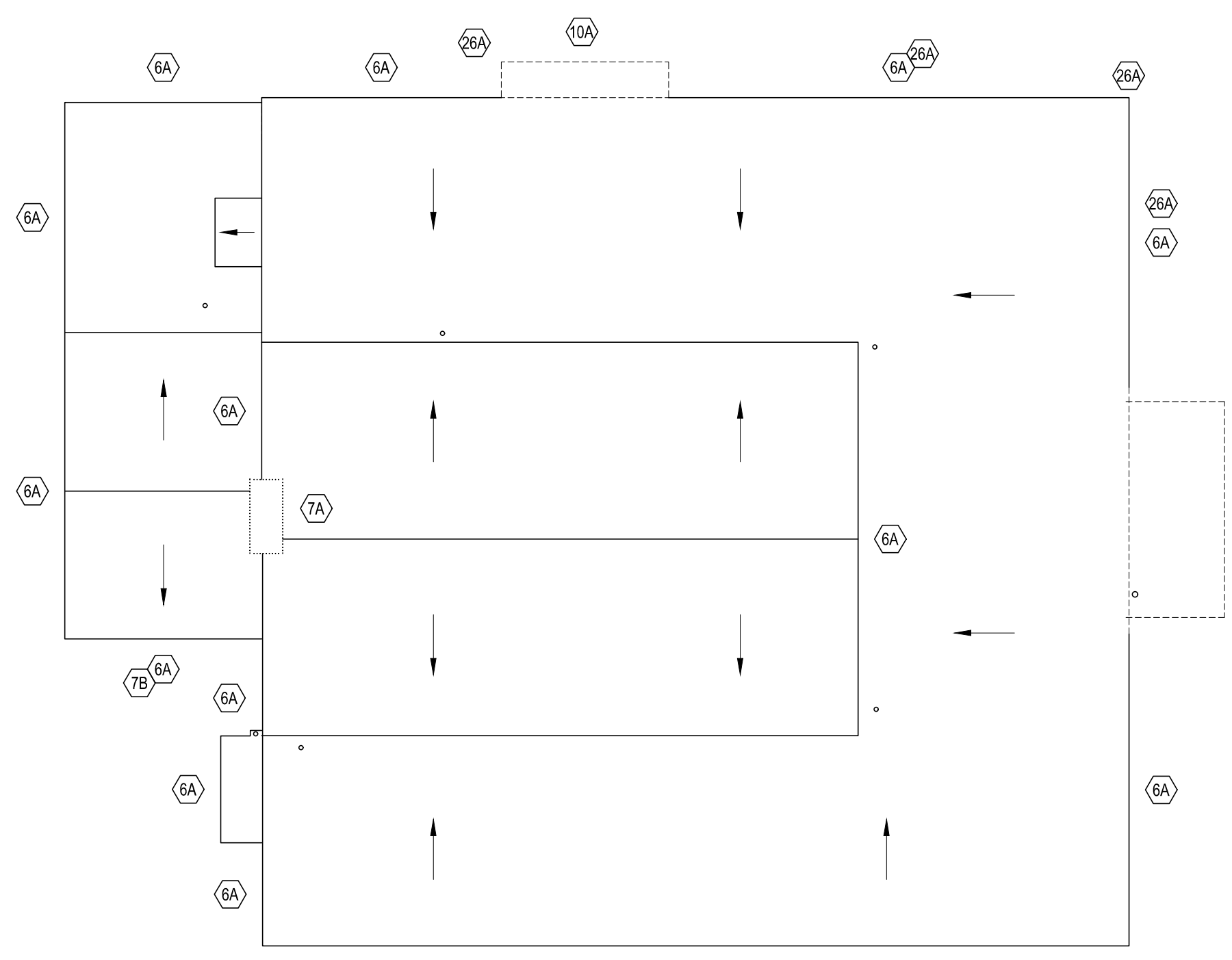
SITE MAP
SCALE: N.T.S.



FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



BASEMENT DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



ROOF DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION NOTES:
 ** G.C. SHALL COORDINATE DEMOLITION WITH ALL CONTRACTORS **
 ** ALL DEMOLITION INDICATED ON THIS SHEET SHALL BE PERFORMED BY THE G.C. UNLESS OTHERWISE NOTED **

A) DEMOLITION NOTED IS PROVIDED TO FURNISH AN UNDERSTANDING OF THE SCOPE OF DEMOLITION REQUIRED AND MAY NOT NECESSARILY BE ALL INCLUSIVE OF ALL DEMOLITION REQUIRED FOR THE INCORPORATION OF NEW WORK. ALL DEMOLITION WORK REQUIRED TO ACCOMMODATE NEW CONSTRUCTION SHALL BE INCLUDED AS PART OF THE CONTRACT. CONTRACTOR SHALL REVIEW ALL CONSTRUCTION DOCUMENTS TO UNDERSTAND THE SCOPE OF DEMOLITION REQUIRED FOR NEW WORK. ALL DEMOLITION SHALL BE COORDINATED WITH THE OTHER CONSTRUCTION DOCUMENTS.

B) ALL SURFACES REMAINING TO BE EXPOSED AFTER DEMOLITION SHALL BE PATCHED, REPAIRED AND REFINISHED TO MATCH EXISTING ADJACENT FINISH CONDITIONS. ALL REMAINING SURFACES SHALL BE PREPARED AS REQUIRED FOR NEW WORK IN ALL LOCATIONS WHERE DEMOLITION OCCURS. REFER TO SPECIFICATIONS FOR SPECIFIC CUTTING AND PATCHING REQUIREMENTS FOR DEMOLITION WORK.

C) WHERE EQUIPMENT OR SYSTEMS ARE INDICATED FOR DEMOLITION, ALL PARTS AND ASSEMBLIES OF THE EQUIPMENT AND SYSTEMS SHALL BE REMOVED INCLUDING BLOCKING, SUPPORTS, HANGERS, ETC.

D) CONTRACTORS SHALL REVIEW ALL EXISTING CONDITIONS TO UNDERSTAND THE SCOPE OF THE WORK PRIOR TO SUBMITTING BIDS.

E) ALL DEMOLITION SHALL BE COORDINATED WITH PROJECT PHASING SCHEDULE AND THE PROGRESS OF THE WORK TO ENSURE ALL EXISTING SYSTEMS REMAIN OPERABLE DURING WORK.

F) SALVAGE ALL BRICK FROM EXTERIOR WALL DEMO TO BE USED IN INFILLING LOUVERS. REFER TO ALTERNATIVE.

G) OWNER TO REMOVE ALL EXISTING FREE-STANDING SHELVING, EQUIPMENT, OFFICE FURNITURE, ETC. PRIOR TO COMMENCING CONSTRUCTION.

H) EXISTING HORIZONTAL LOUVER BLINDS TO REMAIN AND ARE TO BE PROTECTED IN PLACE DURING CONSTRUCTION.

J) M.E.P. TRADES IN OFFICE AREAS RESPONSIBLE FOR DEMO. (COORDINATE WITH G.C.)

DEMOLITION NOTES:
 ** G.C. SHALL COORDINATE DEMOLITION WITH ALL CONTRACTORS **
 ** ALL DEMOLITION INDICATED ON THIS SHEET SHALL BE PERFORMED BY THE G.C. UNLESS OTHERWISE NOTED **

3A) REMOVE EXISTING CONCRETE CURBS AS INDICATED AND AS REQUIRED FOR NEW CONSTRUCTION.

3B) REMOVE EXISTING CONCRETE SIDEWALK AS INDICATED AND AS REQUIRED FOR NEW CONSTRUCTION.

3C) REMOVE EXISTING CONCRETE LANDSCAPING WALL AS INDICATED AND AS REQUIRED FOR NEW CONSTRUCTION.

4A) REMOVE EXISTING GLASS BLOCK AND ALL ASSOCIATED COMPONENTS.

4B) REMOVE EXISTING SLATE PAVERS AND MUD BED.

6A) REMOVE EXISTING METALCLAD WOOD FASCIA AND ALL ASSOCIATED COMPONENTS.

6B) REMOVE EXISTING WOOD POSTS.

7A) REMOVE EXISTING CHIMNEY AND ALL ASSOCIATED COMPONENTS.

7B) REMOVE EXISTING COPPER GUTTERS AND DOWNSPOUT. TURNOVER TO JOHN KOWALSKI OR SETH HENRY.

8A) REMOVE EXISTING WINDOWS, SILL AND STOOL TO ROUGH OPENING AND LOUVERED INFILLS.

8B) REMOVE EXISTING DOORS, FRAME(S) AND HARDWARE.

8A) REMOVE EXISTING WALL CONSTRUCTION AS INDICATED AND AS REQUIRED FOR NEW CONSTRUCTION.

10A) REMOVE CANOPY AND ALL ASSOCIATED COMPONENTS.

10B) REMOVE AND SALVAGE EXISTING SIGN FOR REINSTALLATION.

12A) REMOVE EXISTING WINDOW SHADES, CURTAINS, SUPPORTS AND ACCESSORIES.

26A) REMOVE AND SALVAGE EXISTING EXTERIOR FLOODLIGHTS AND CONDUIT ATTACHED TO FASCIA BOARD.

26B) COORDINATE WITH TELECOM UTILITY COMPANY FOR REMOVE AND REINSTALLATION OF CABLES.

ARCHITECTURAL

- A-0 COVER SHEET AND 1/8" DEMOLITION PLANS
- A-1 1/4" BASEMENT AND FIRST FLOOR PLANS
- A-2 1/4" ROOF PLAN AND DETAILS
- A-3 1/4" EXTERIOR ELEVATIONS
- A-4 3/4" WALL SECTIONS
- A-4A DETAILS
- A-5 DOOR, FRAME AND WINDOW TYPES

WINDOW TREATMENT LEGEND

RS	DENOTES ROLLER SHADES - GANGED FOR EACH SET OF WINDOWS
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ABBREVIATIONS

A - AIR	EXIST - EXISTING	MFR - MANUFACTURER	STD - STANDARD
AC - ACOUSTICAL	EXP JT - EXPANSION JOINT	MIN - MINIMUM	STRUCT - STRUCTURAL
ALUM - ALUMINUM	FD - FLOOR DRAIN	MO - MASONRY OPENING	STL - STEEL
AT - ALUMINUM THRESHOLD	FND - FOUNDATION	MTD - MOUNTED	TYP - TYPICAL
CG - CORNER GUARD	G - GAS	MTL - METAL	UNO - UNLESS NOTED OTHERWISE
CJ - CONTROL JOINT	GALV - GALVANIZED	NIC - NOT IN CONTRACT	V - VERTICAL
CMU - CONCRETE MASONRY UNIT	GWB - GYPSUM BOARD	OC - ON CENTER	TRHD - THREADED
CONC - CONCRETE	GC - GENERAL CONTRACTOR	OH - OVERHEAD	VER - VERIFY IN FIELD
COORD - COORDINATION	H - HIGH	PC - PLUMBING CONTRACTOR	W - WIDE
CTR - CENTER	HC - HVAC CONTRACTOR	PT - PRESSURE TREATED	WD - WOOD
CW - COLD WATER	HCP - HANDICAP ACCESSIBLE	PTD - PAINTED	
D - DEEP	HORZ - HORIZONTAL	R - RADIUS	
DEMO - DEMOLITION	HLB - HORIZONTAL LOUVER BLINDS	RC - ROOFING CONTRACTOR	
DN - DIAMETER	HM - HOLLOW METAL	REINF - REINFORCING	
DN - DOWN	HW - HOT WATER	RO - ROUGH OPENING	
EC - ELECTRICAL CONTRACTOR	INSUL - INSULATION	RS - ROLLER SHADE	
EPS - EXTERIOR INSULATION AND FINISH SYSTEM	JT - JOINT	RWC - RAIN WATER CONDUCTOR	
ELEV - ELEVATION	L - LONG	SF - SQUARE FEET	
ERS - ELECTRICALLY OPERATED RS	M - MODIFIED	SO - SQUARE	
EW - EACHWAY	MAX - MAXIMUM	SS - STAINLESS STEEL	



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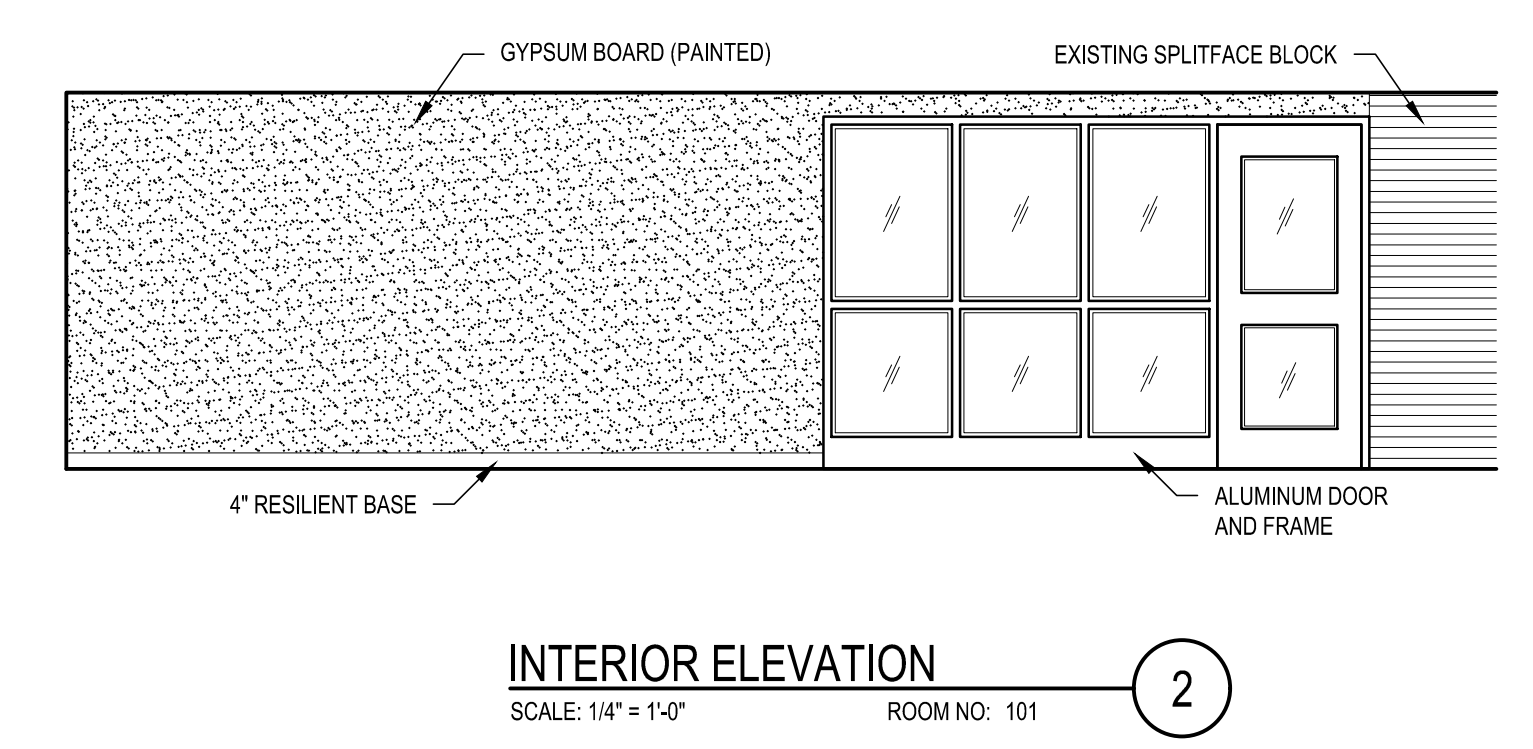
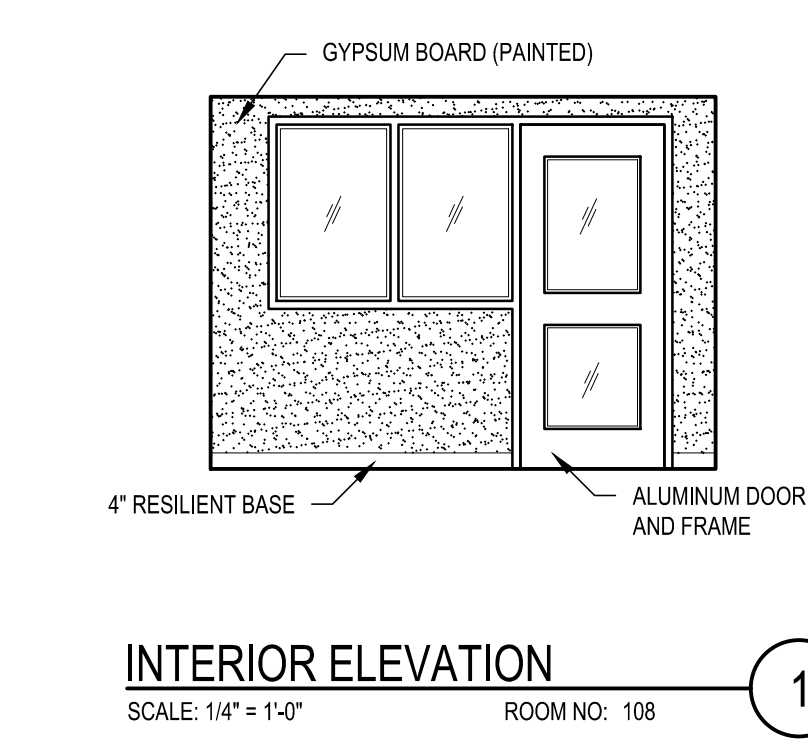
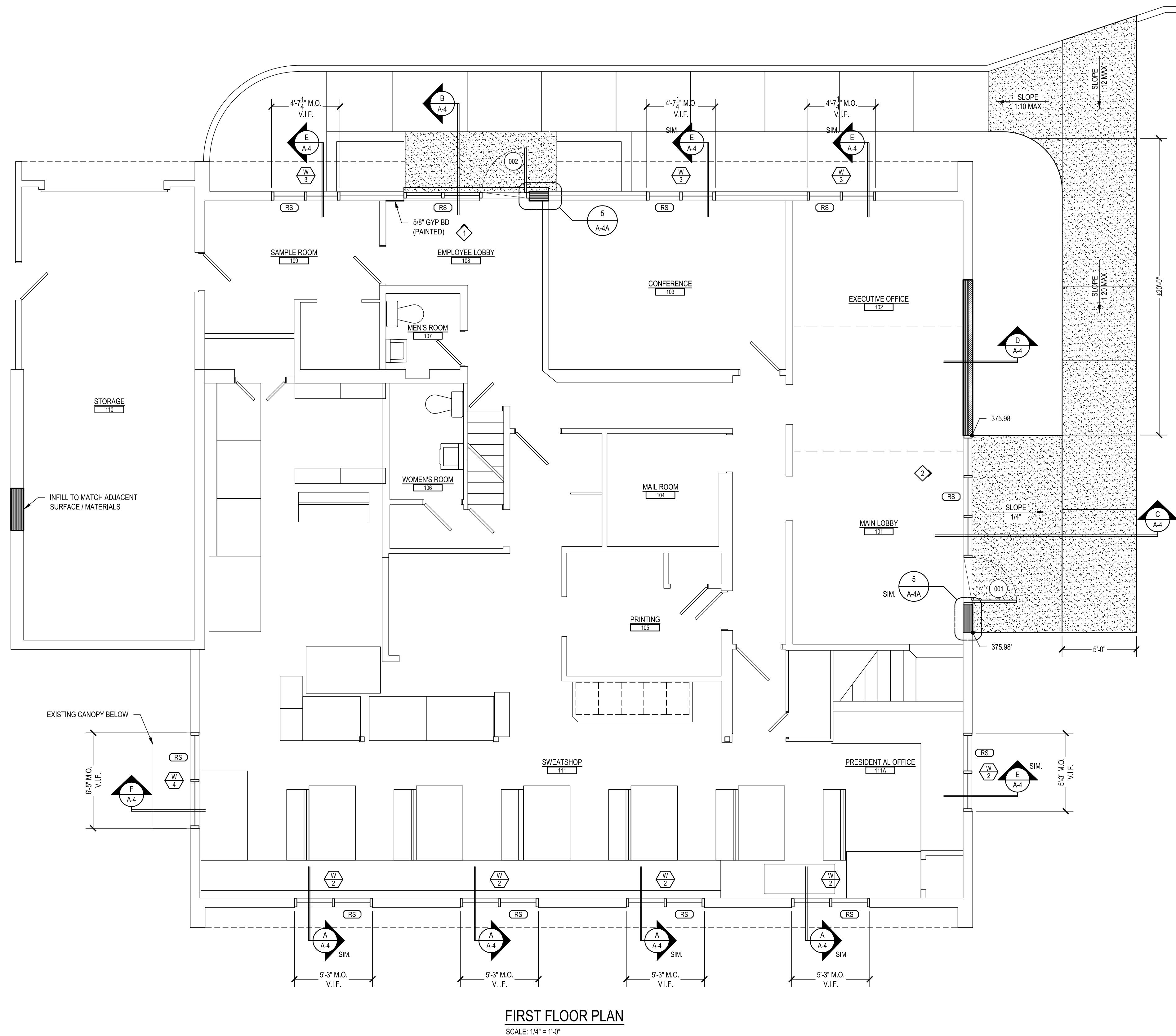
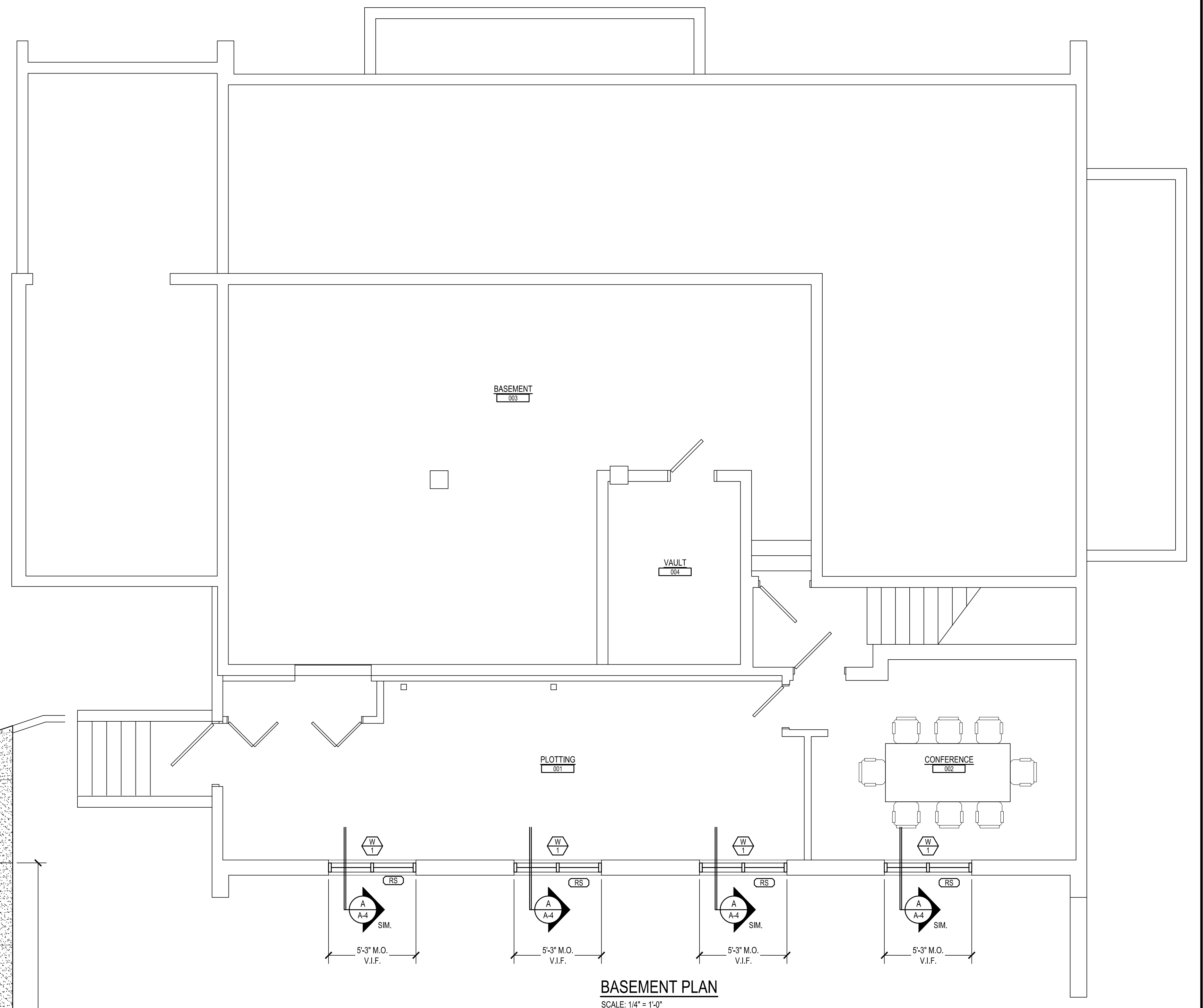
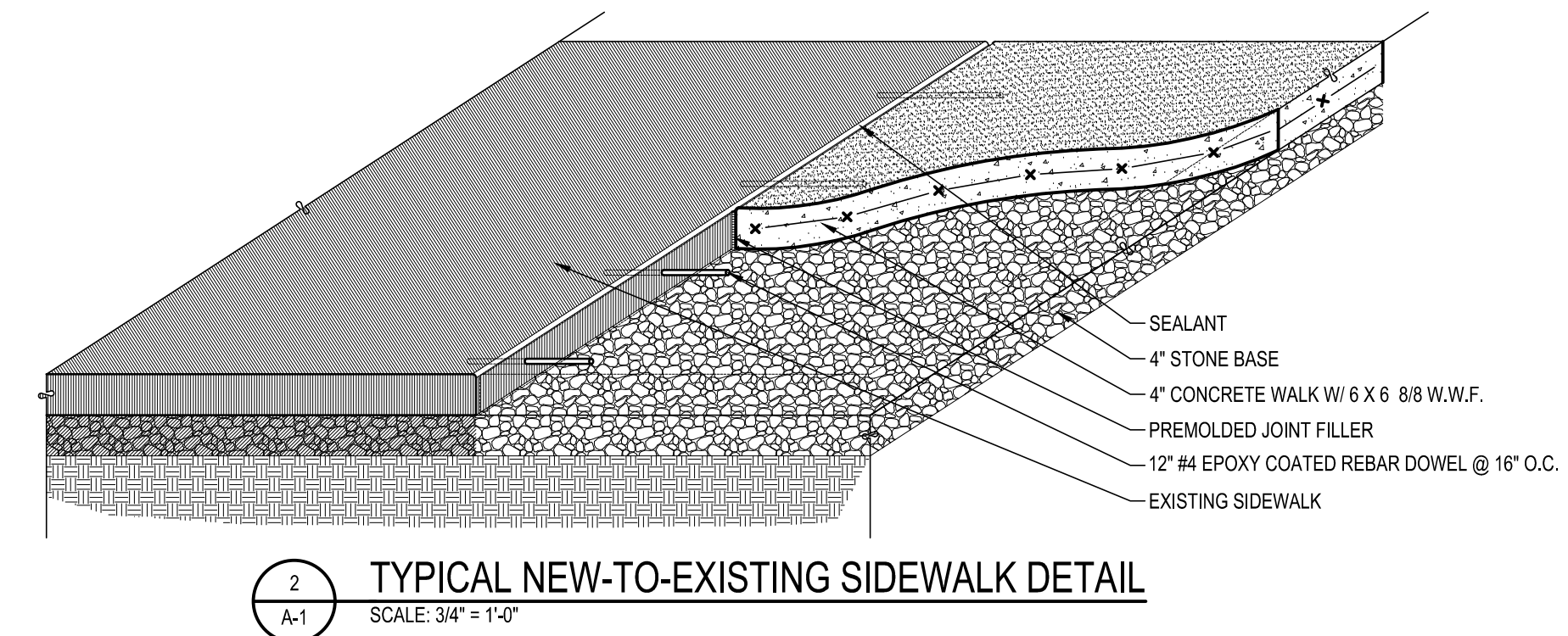
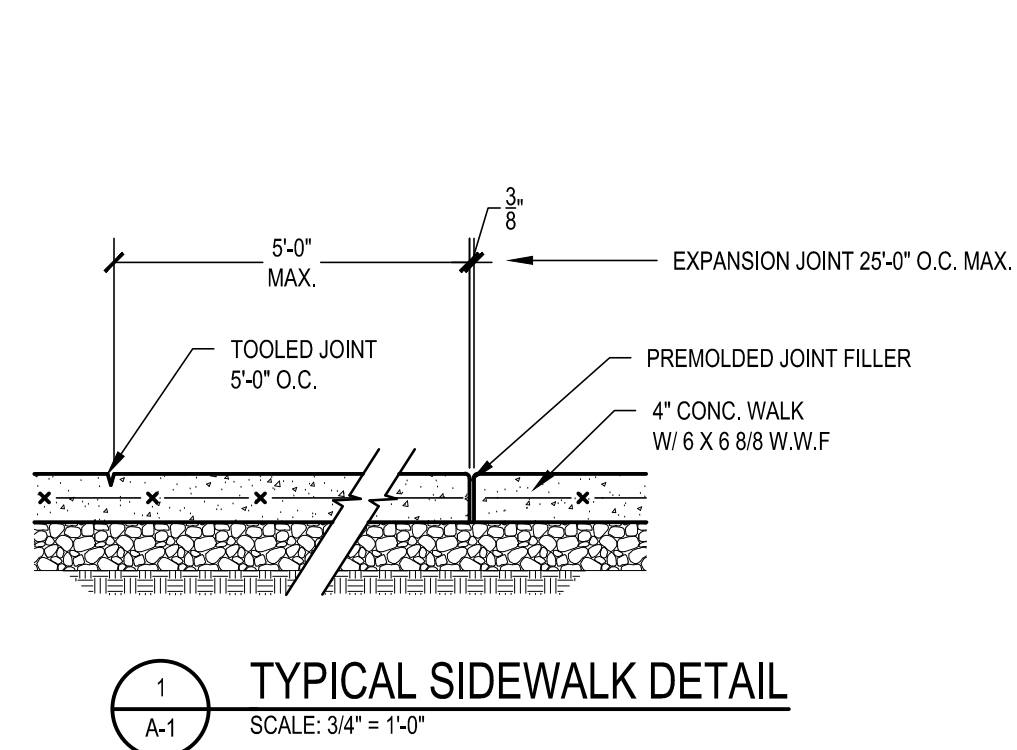
COVER SHEET AND 1/8" DEMOLITION PLANS

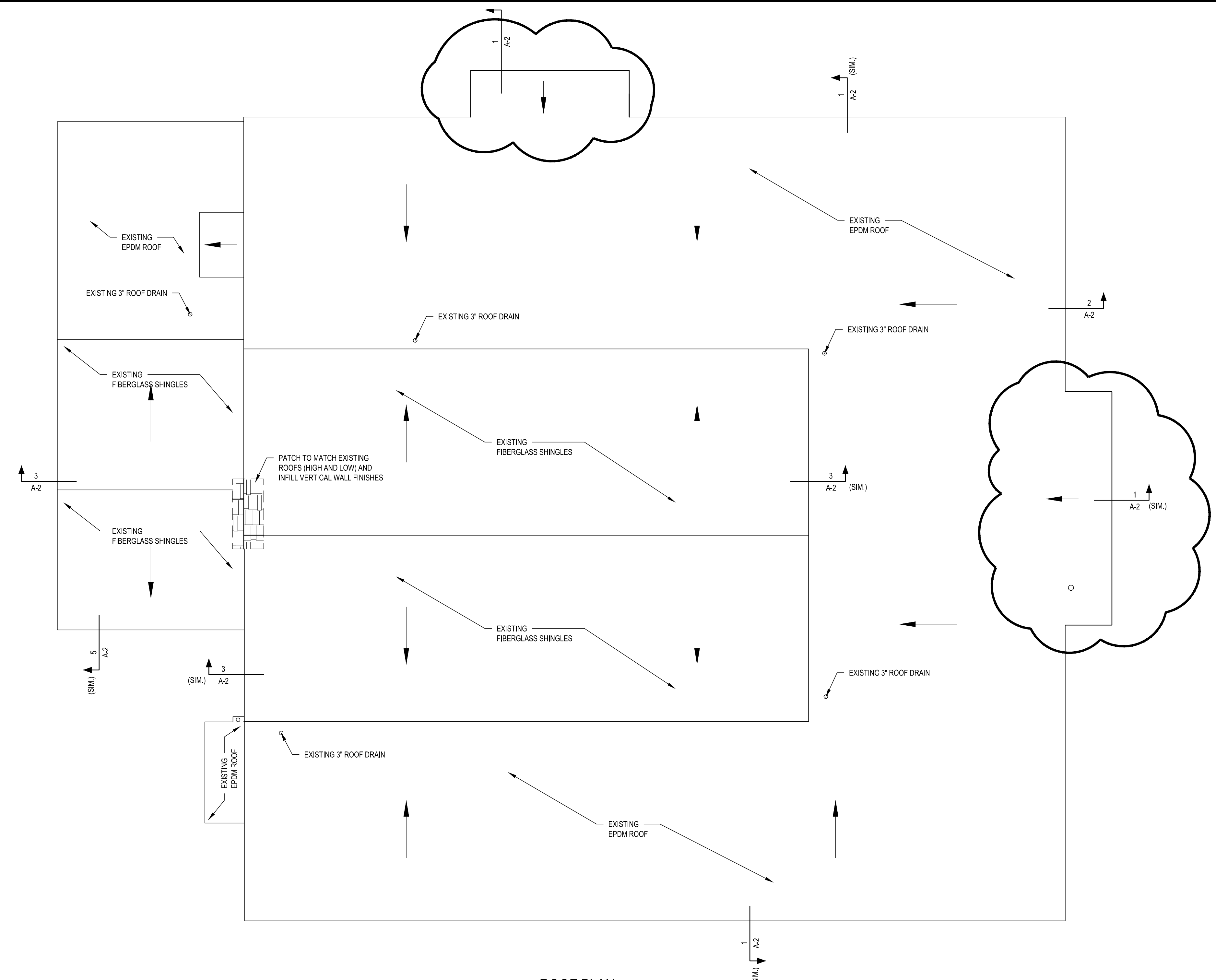
RENOVATIONS TO
 AEM ARCHITECTS OFFICE
AEM ARCHITECTS, INC.
 3700 PERKIOMEN AVENUE, READING, PA 19607

ALL DIMENSIONS AND EXISTING CONDITIONS
 SHALL BE CHECKED AND VERIFIED
 BY THE CONTRACTOR AT THE SITE.

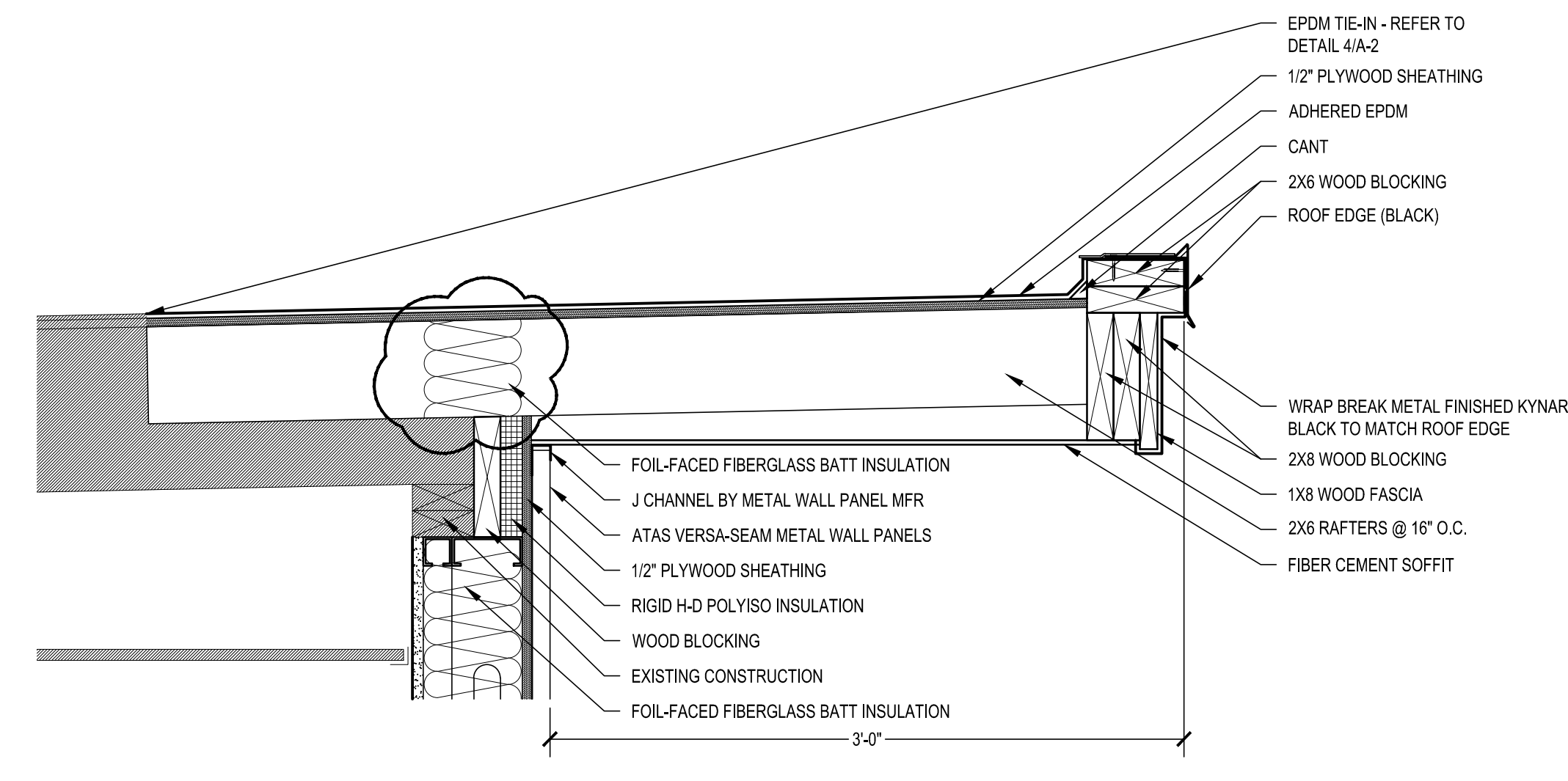
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 DRAWN BY: SRH
 DATE: 10.02.23

A-0

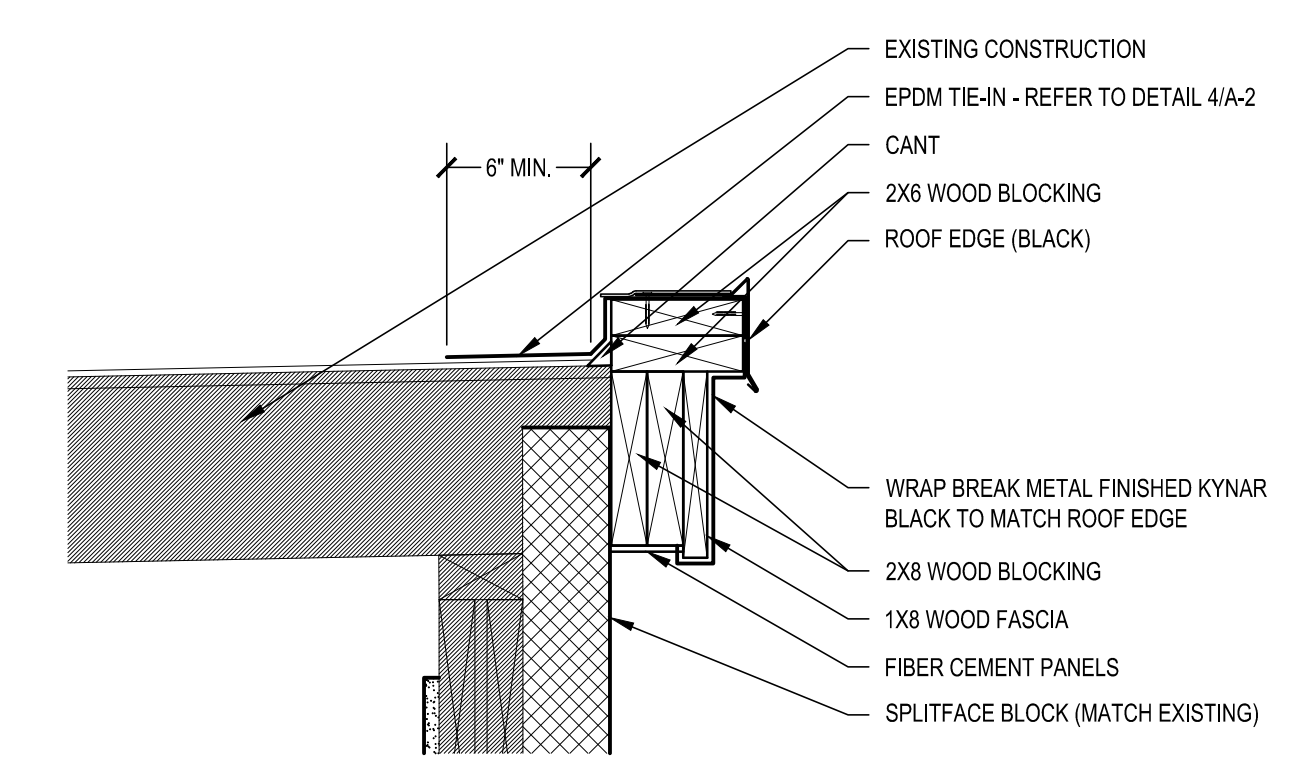




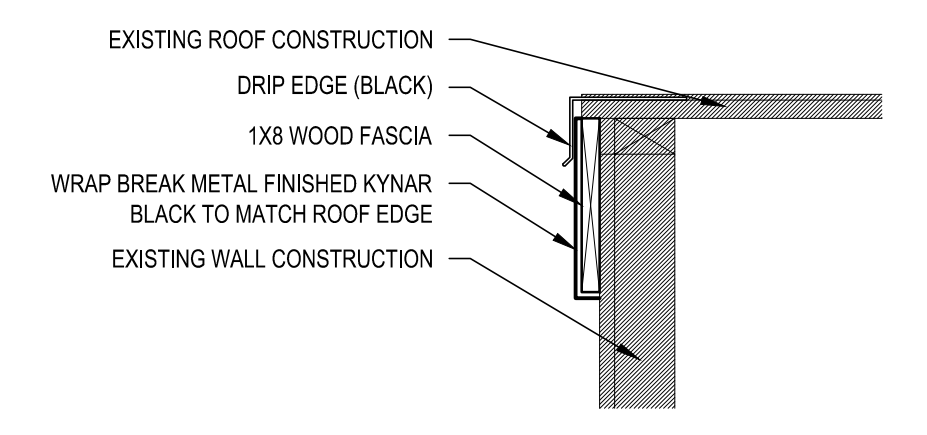
ROOF PLAN
SCALE: 1/4" = 1'-0"



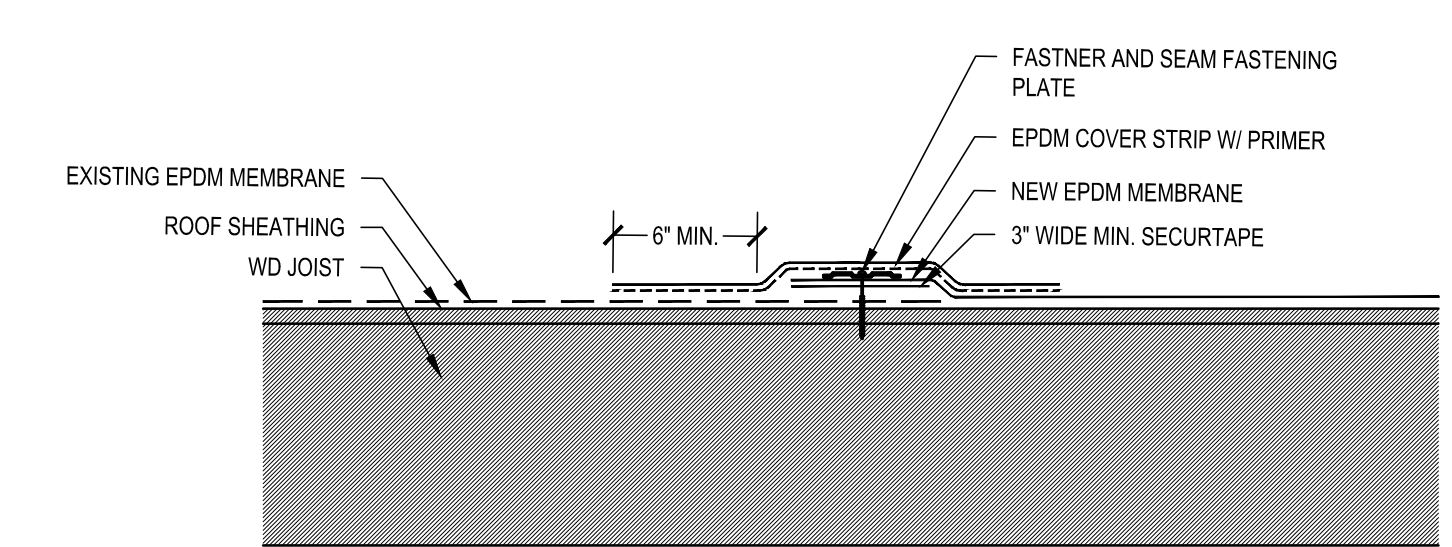
1 ROOF EDGE DETAIL
SCALE: 1-1/2" = 1'-0"



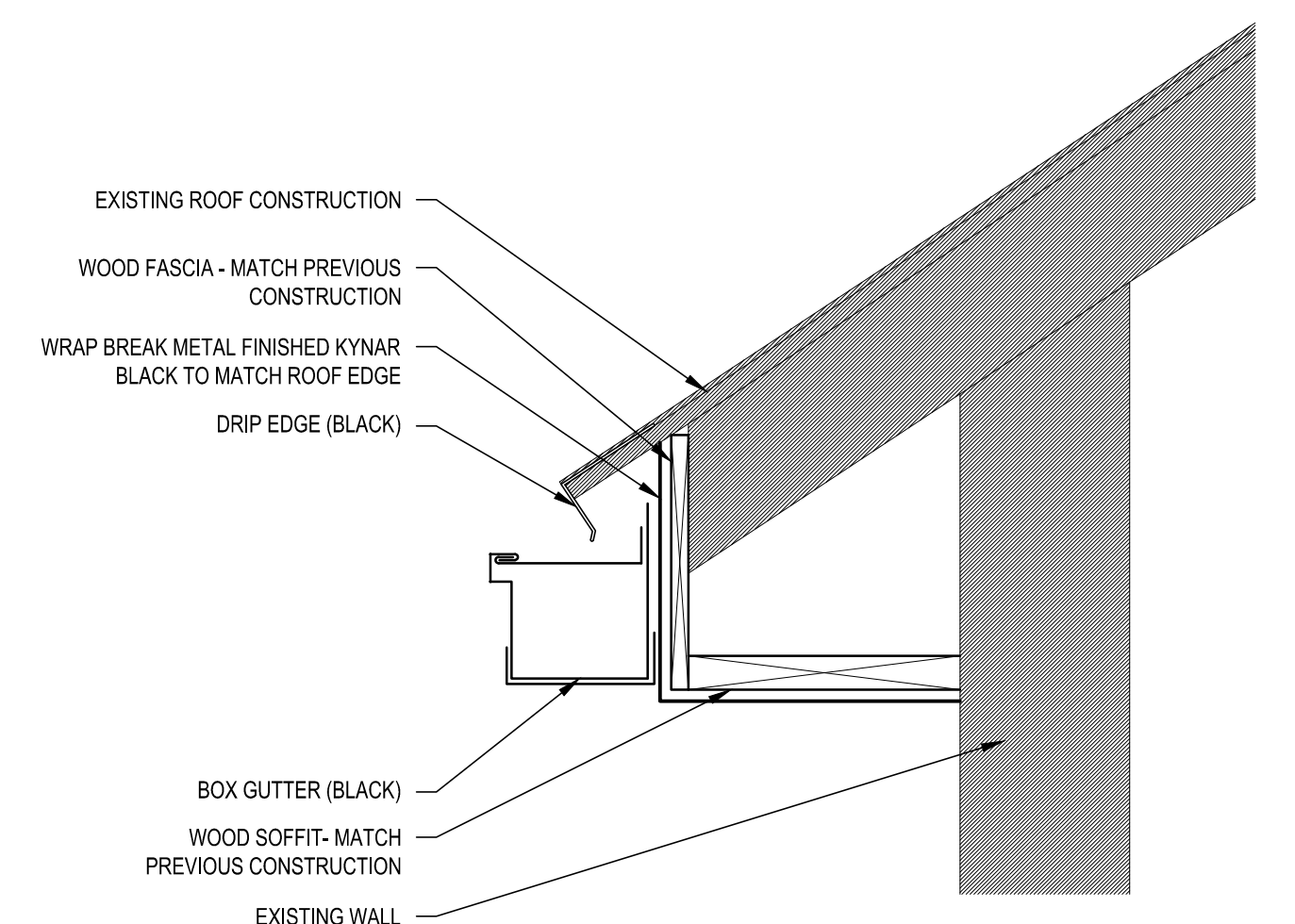
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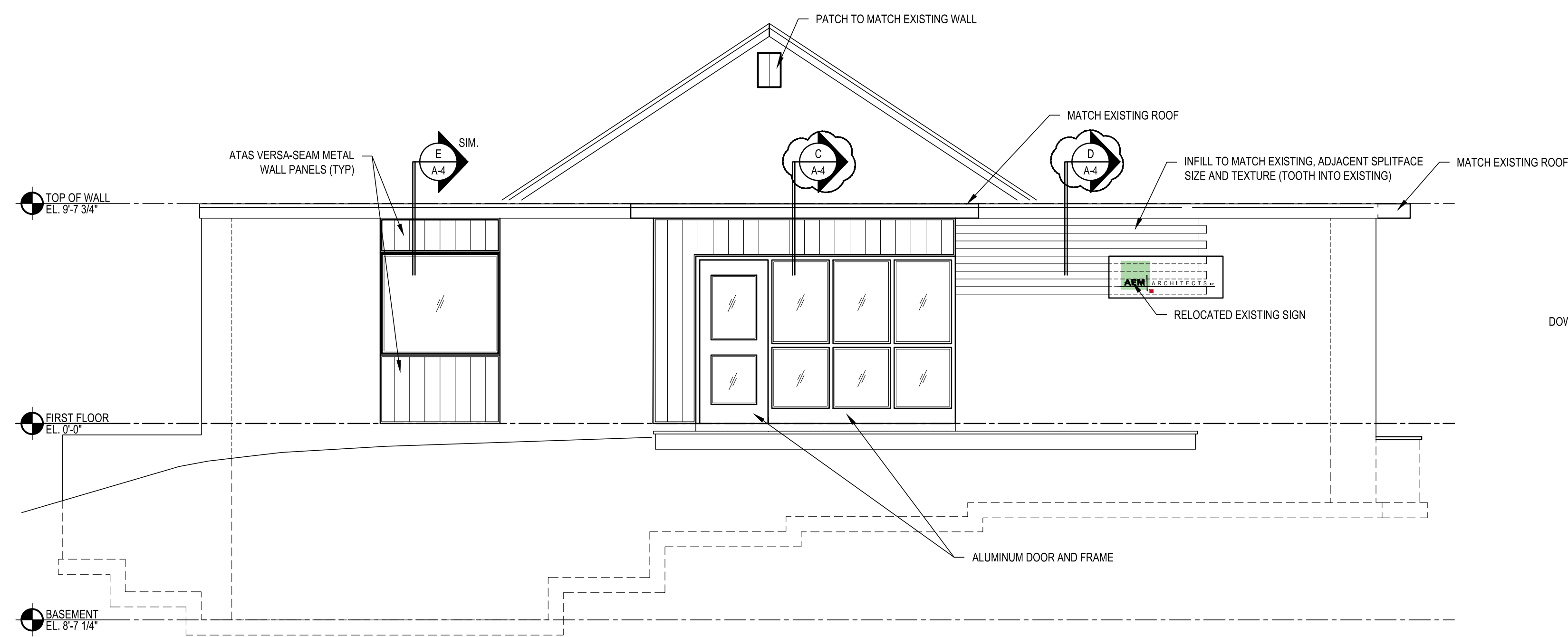
3 ROOF EDGE DETAIL
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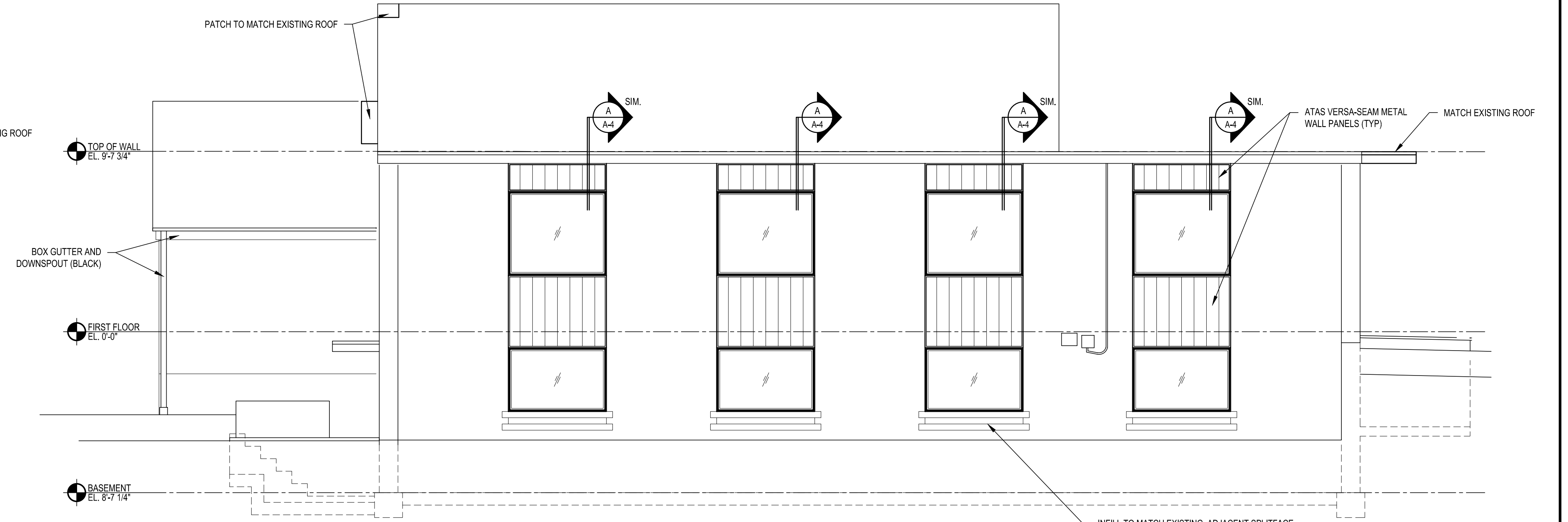
4 TYPICAL TIE-IN TO EXISTING EPDM MEMBRANE
SCALE: 1-1/2" = 1'-0"



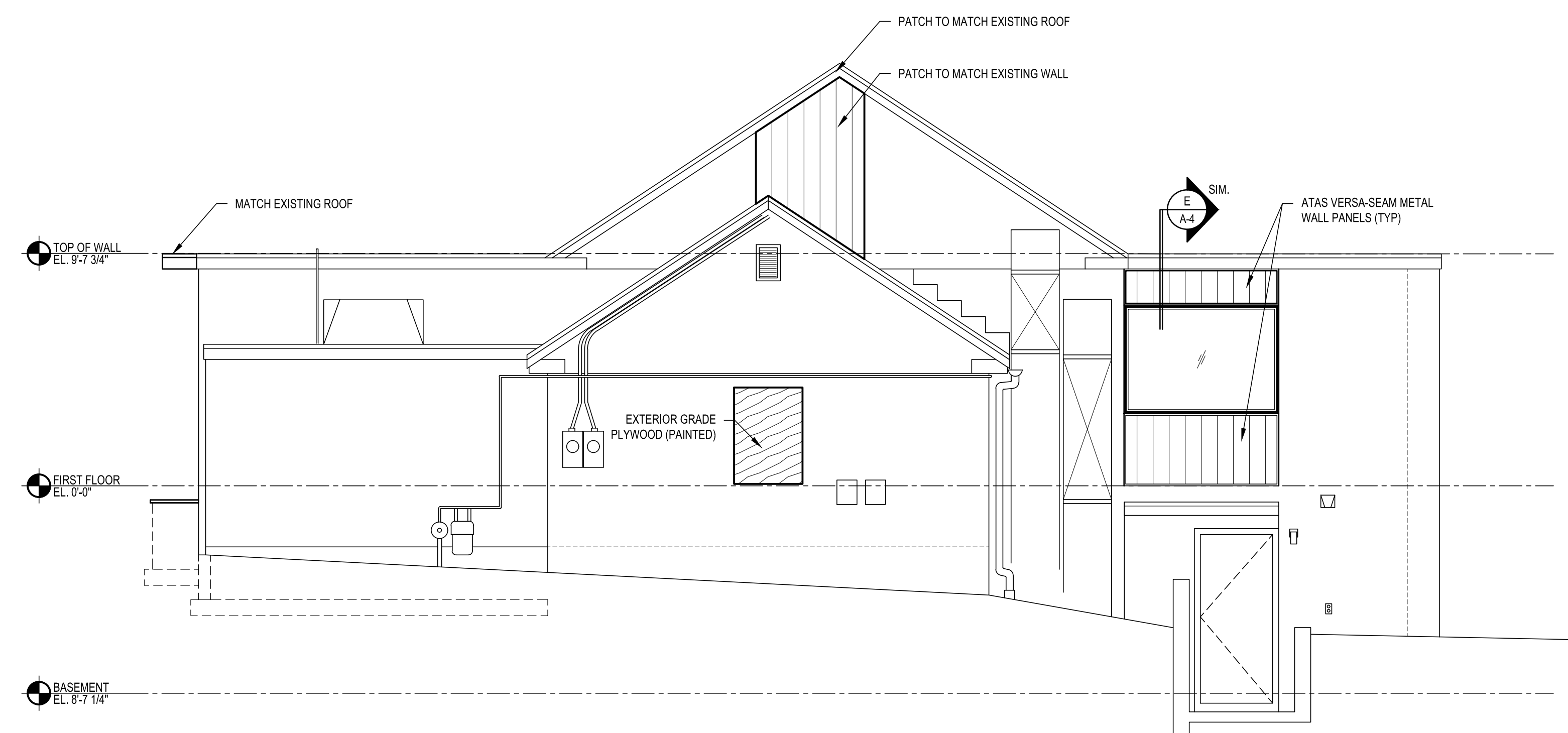
5 ROOF EDGE DETAIL
SCALE: 1-1/2" = 1'-0"



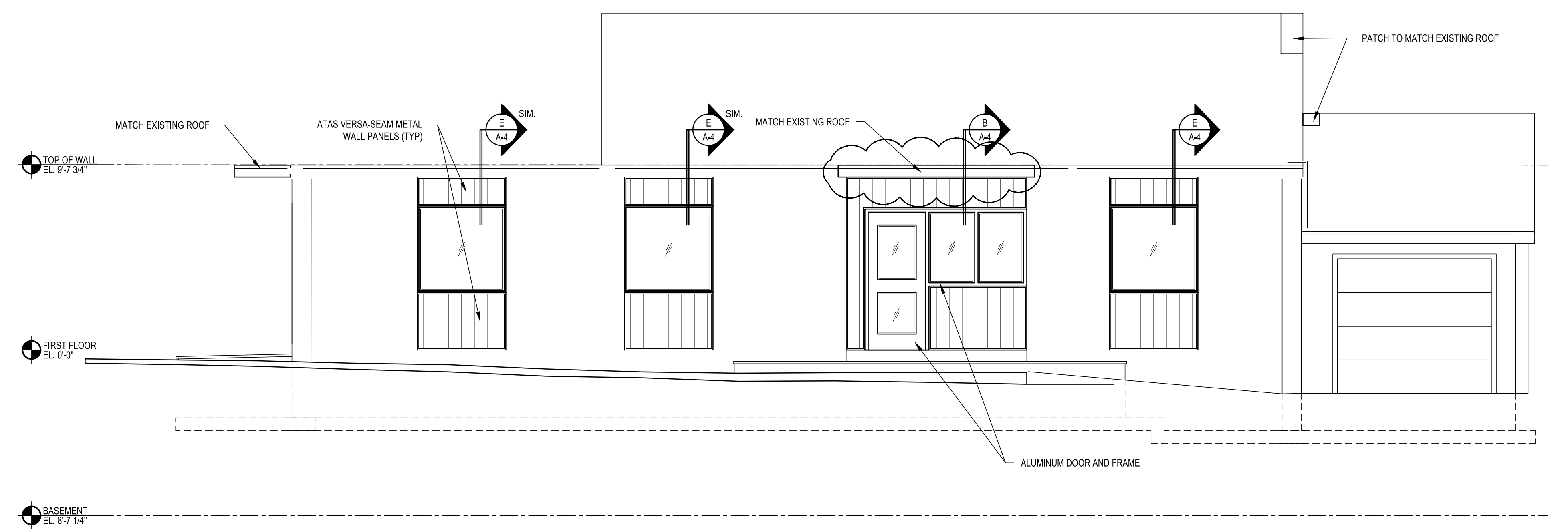
NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



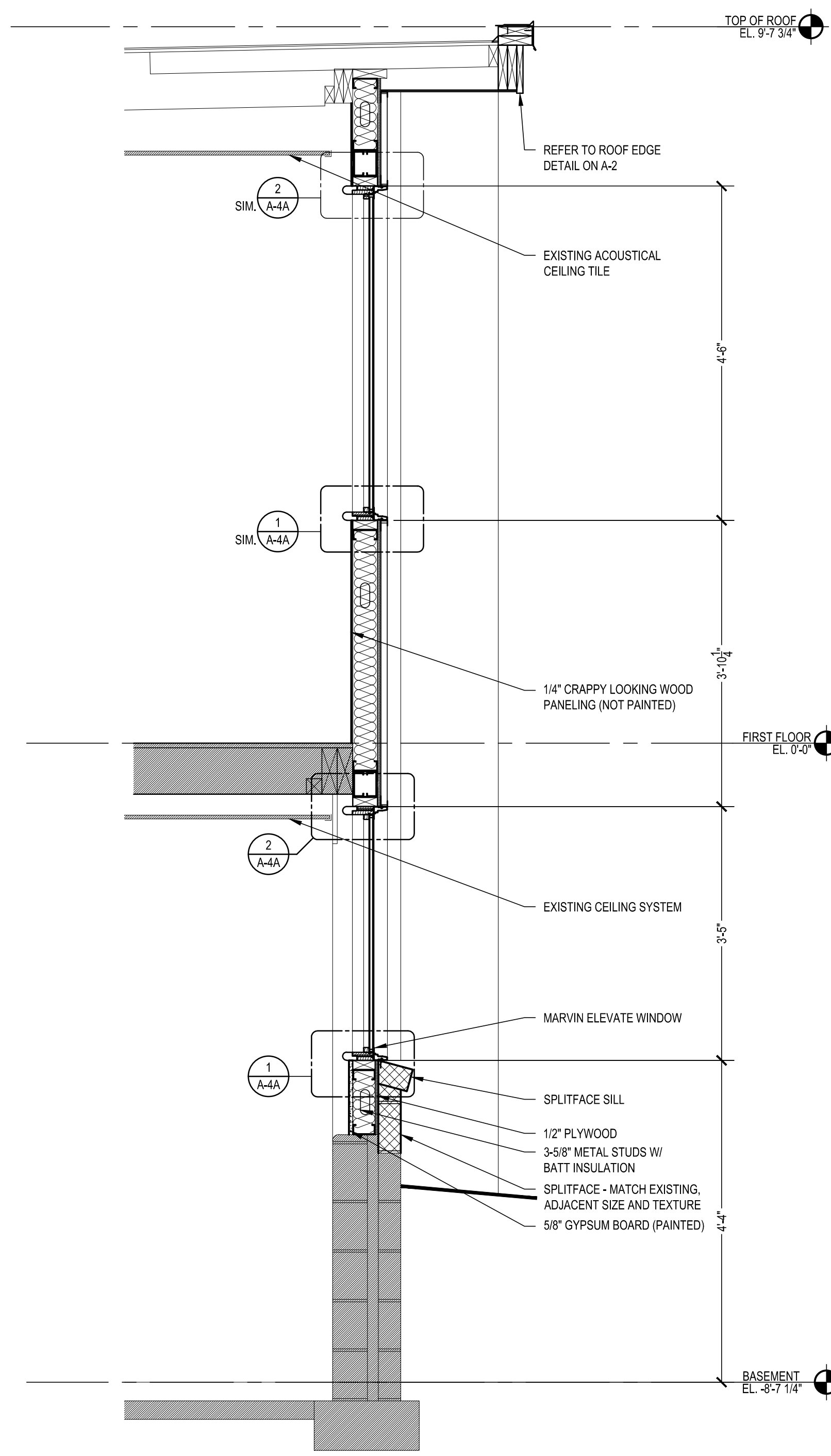
EAST EXTERIOR ELEVATION
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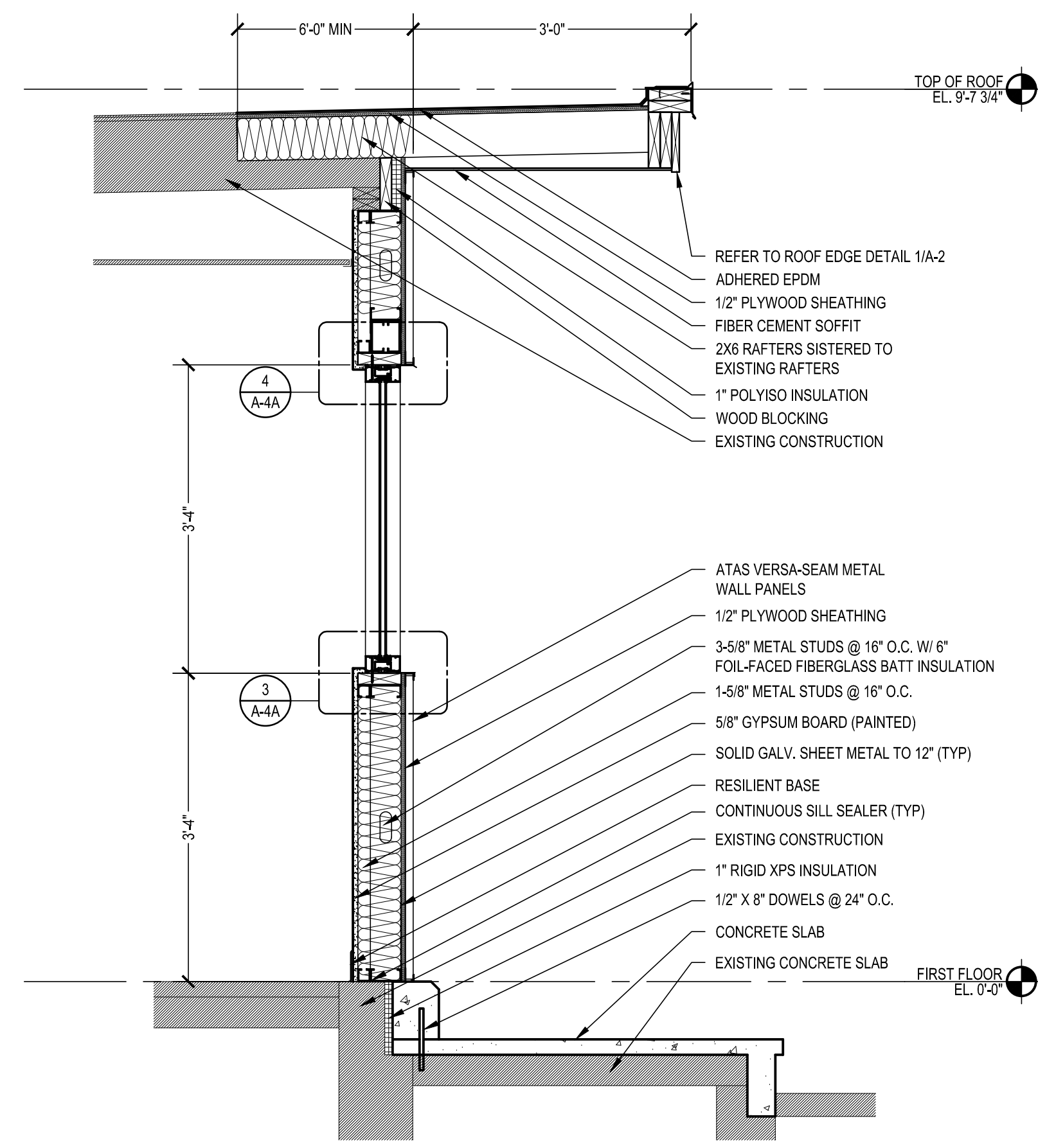
SOUTH EXTERIOR ELEVATION
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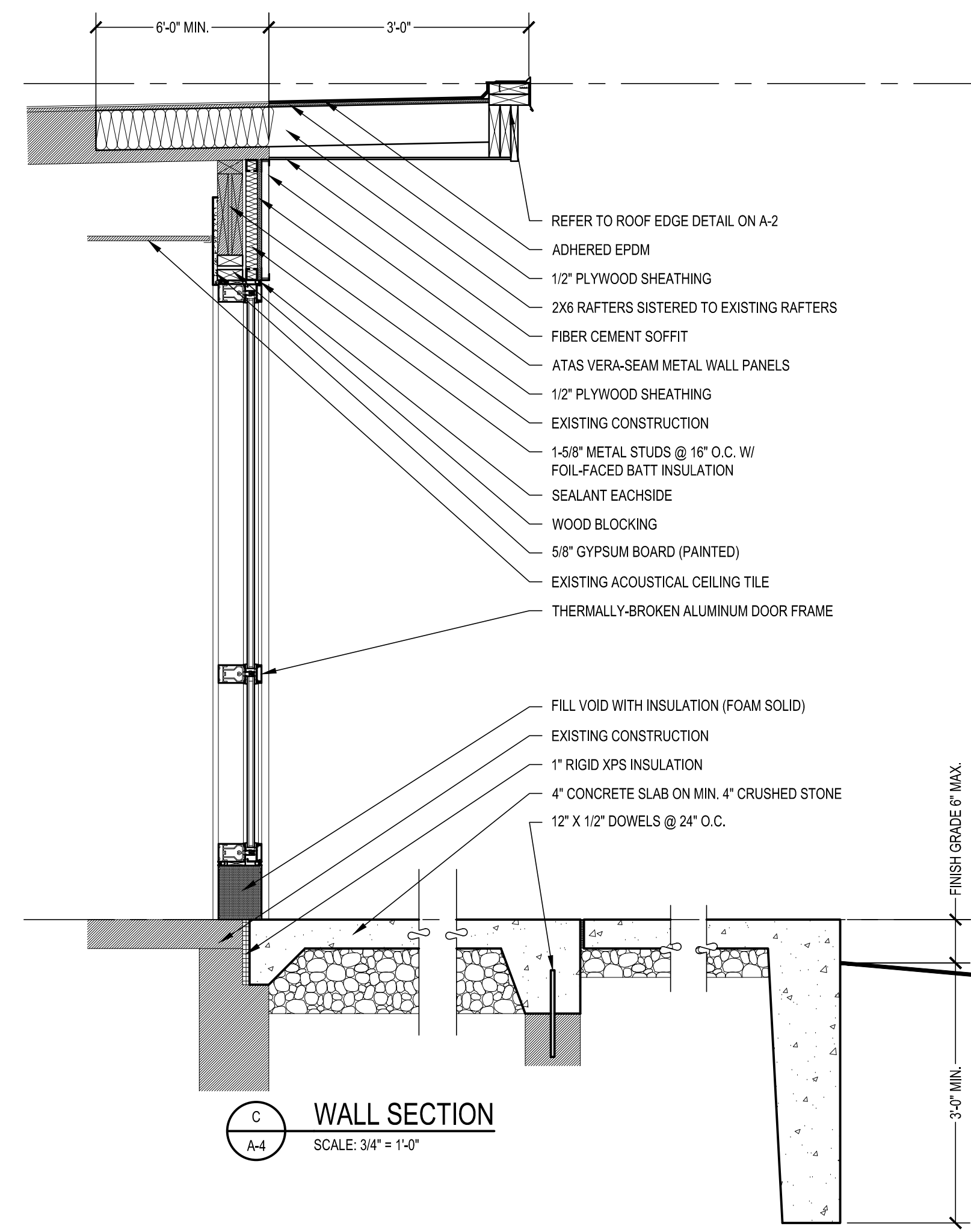
WEST EXTERIOR ELEVATION
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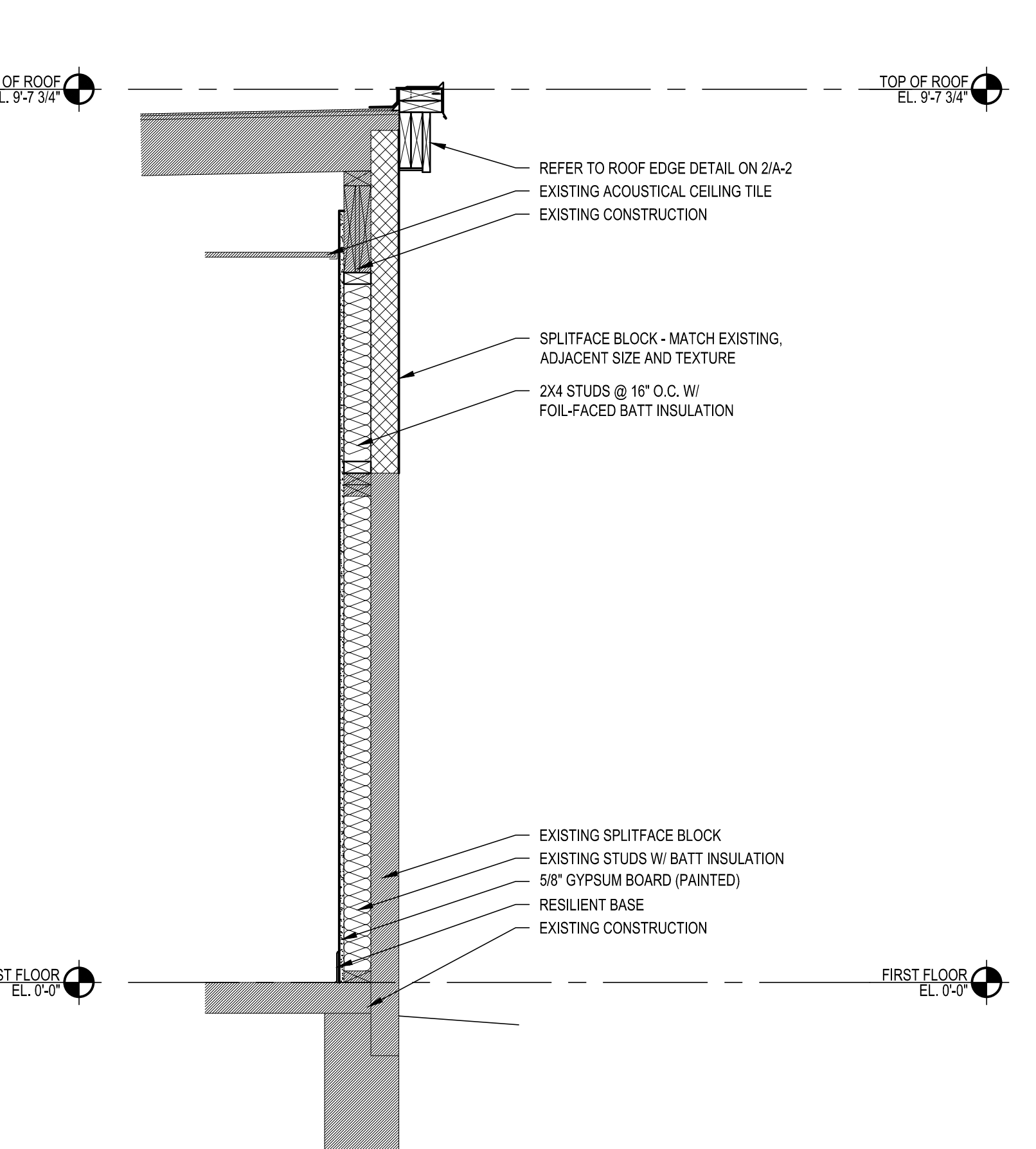
A WALL SECTION
SCALE: 3/4" = 1'-0"



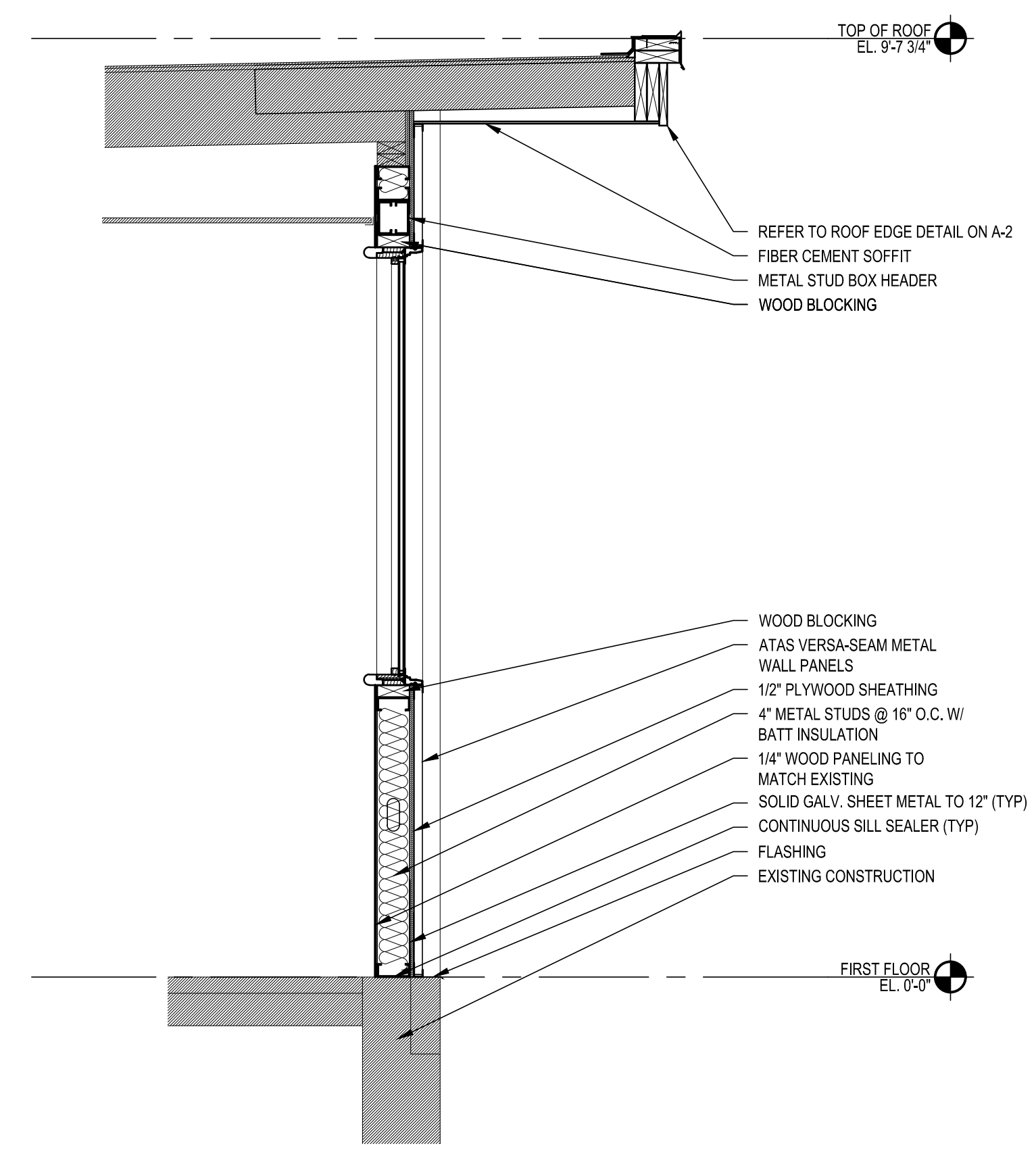
B WALL SECTION
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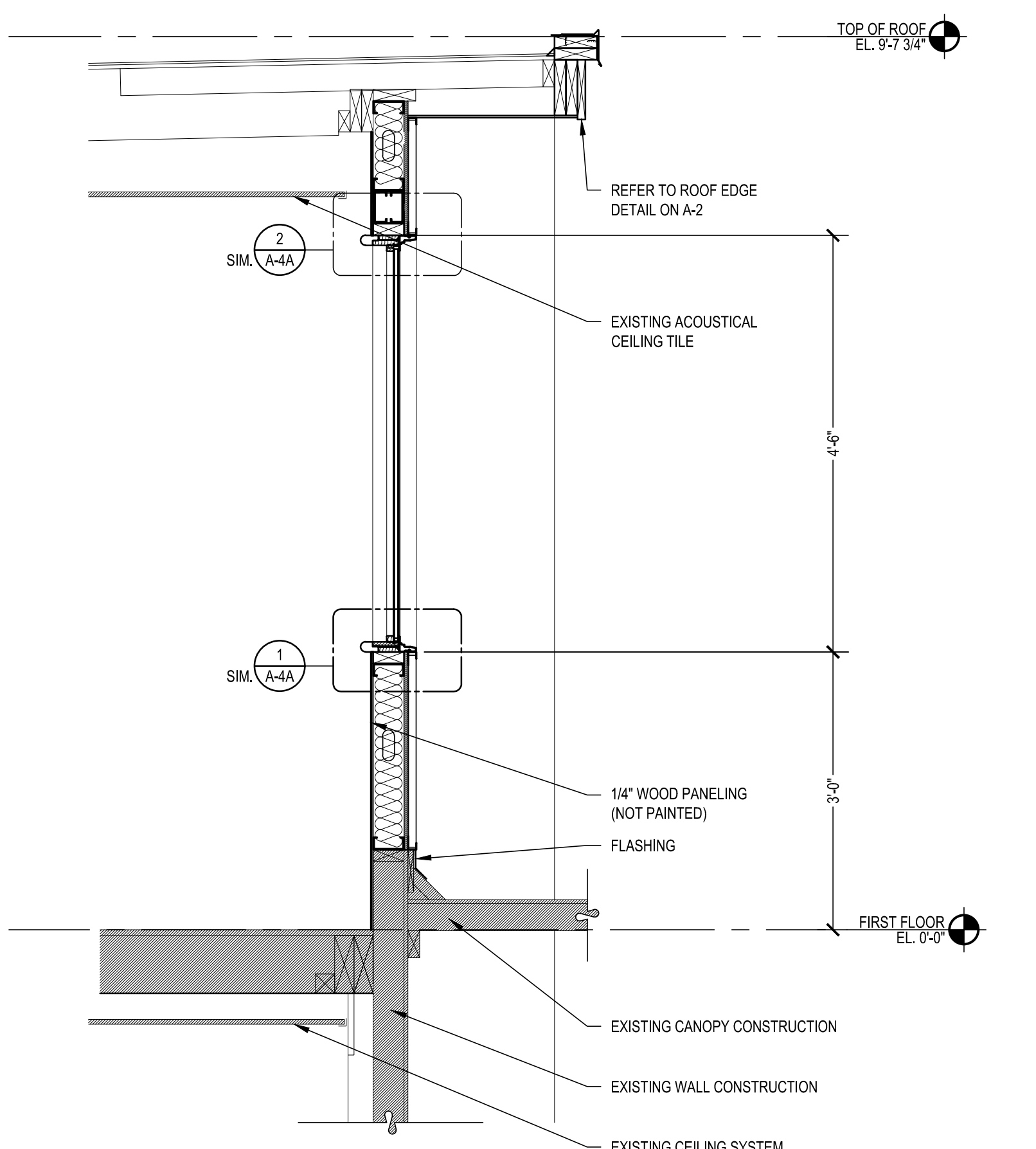
C WALL SECTION
SCALE: 3/4" = 1'-0"



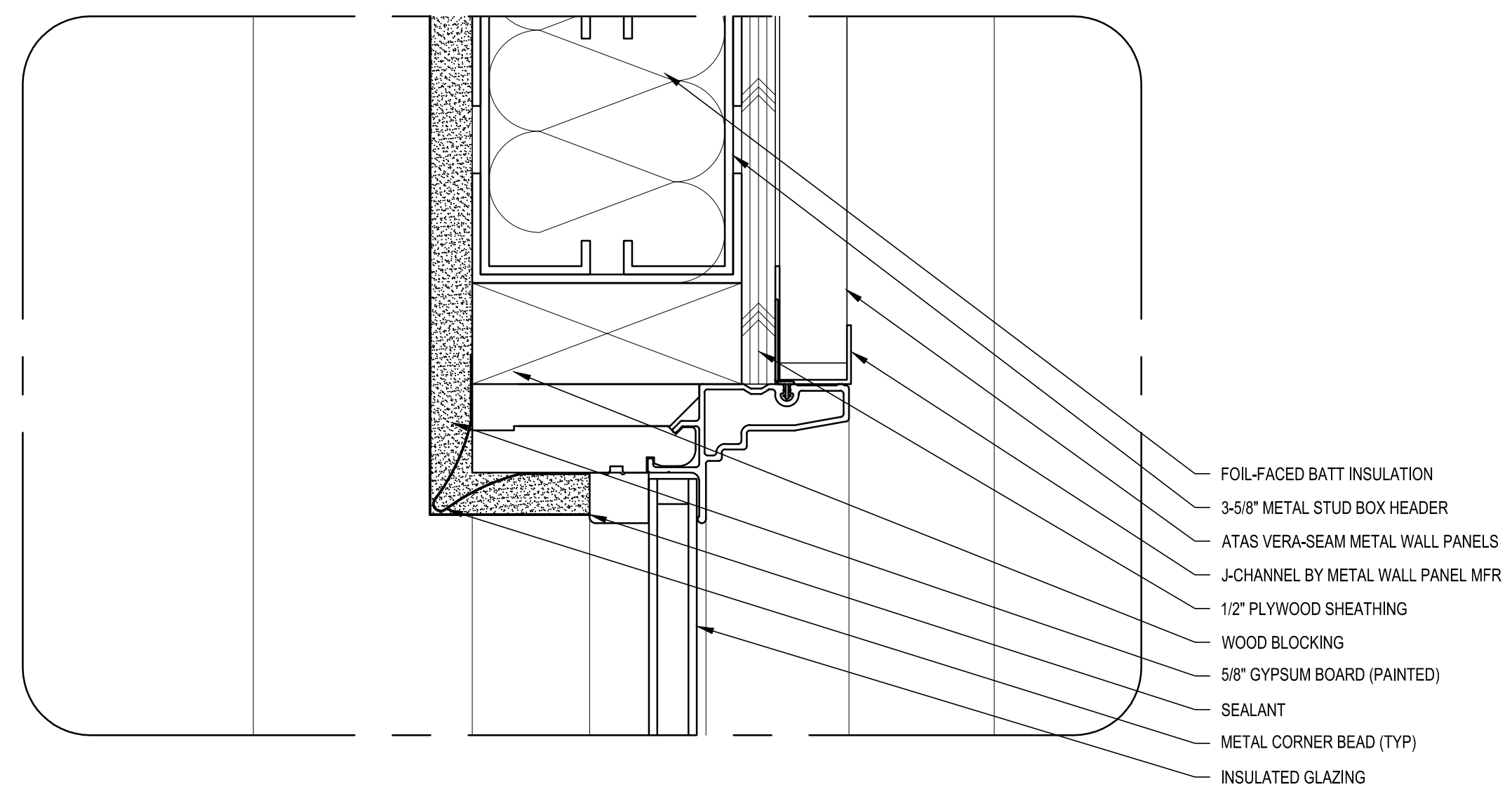
D WALL SECTION
SCALE: 3/4" = 1'-0"



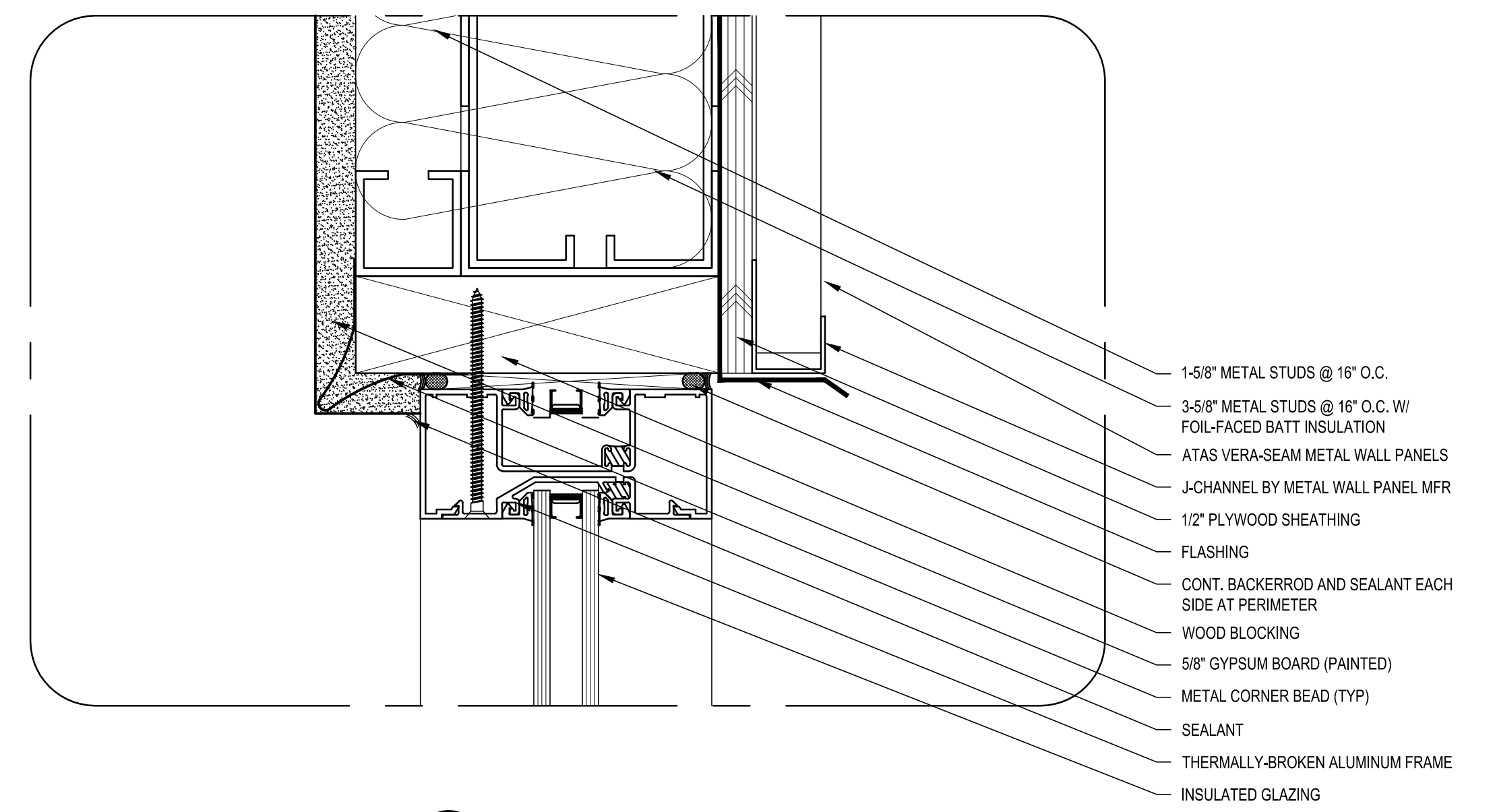
E WALL SECTION
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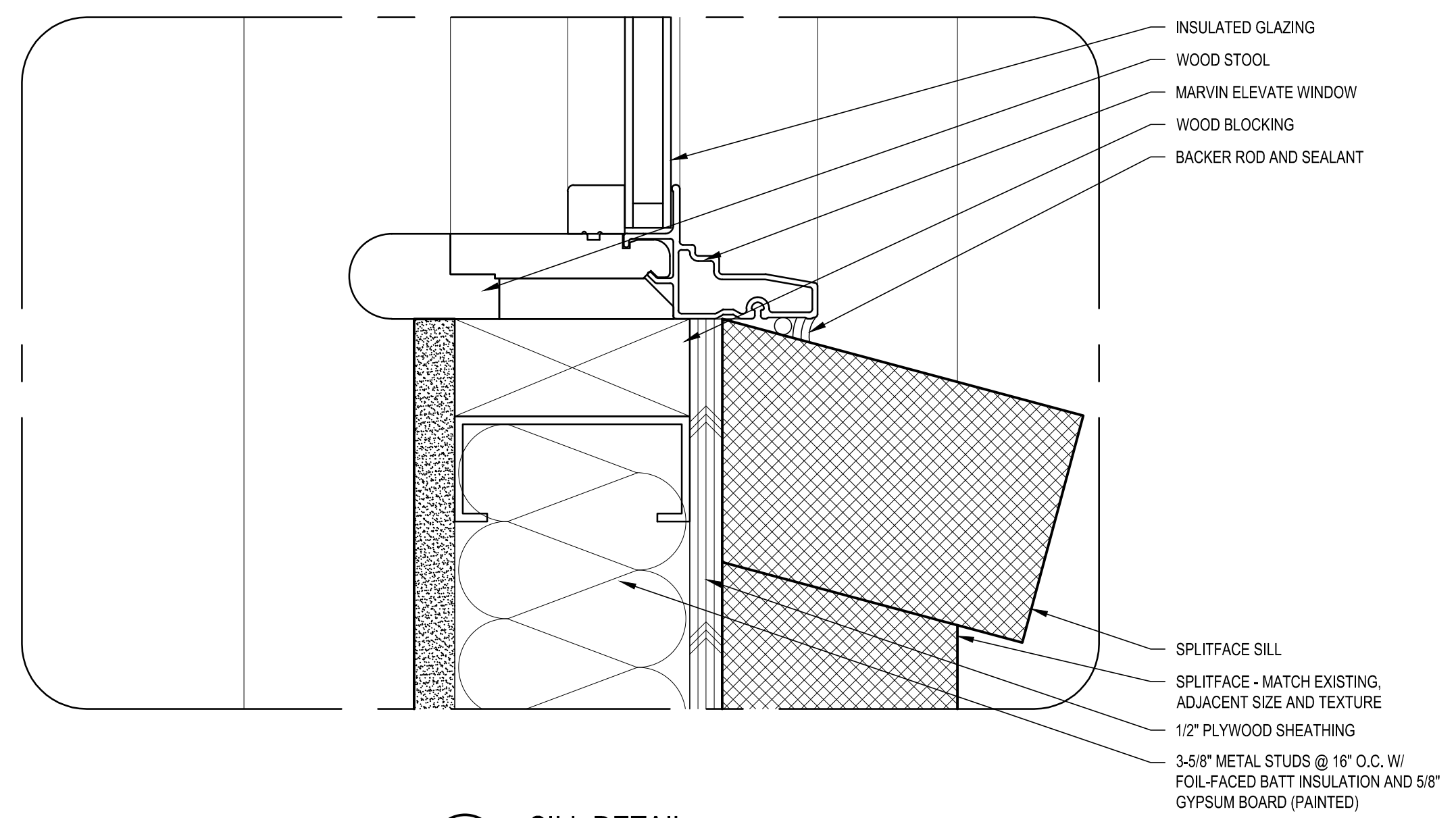
F WALL SECTION
SCALE: 3/4" = 1'-0"



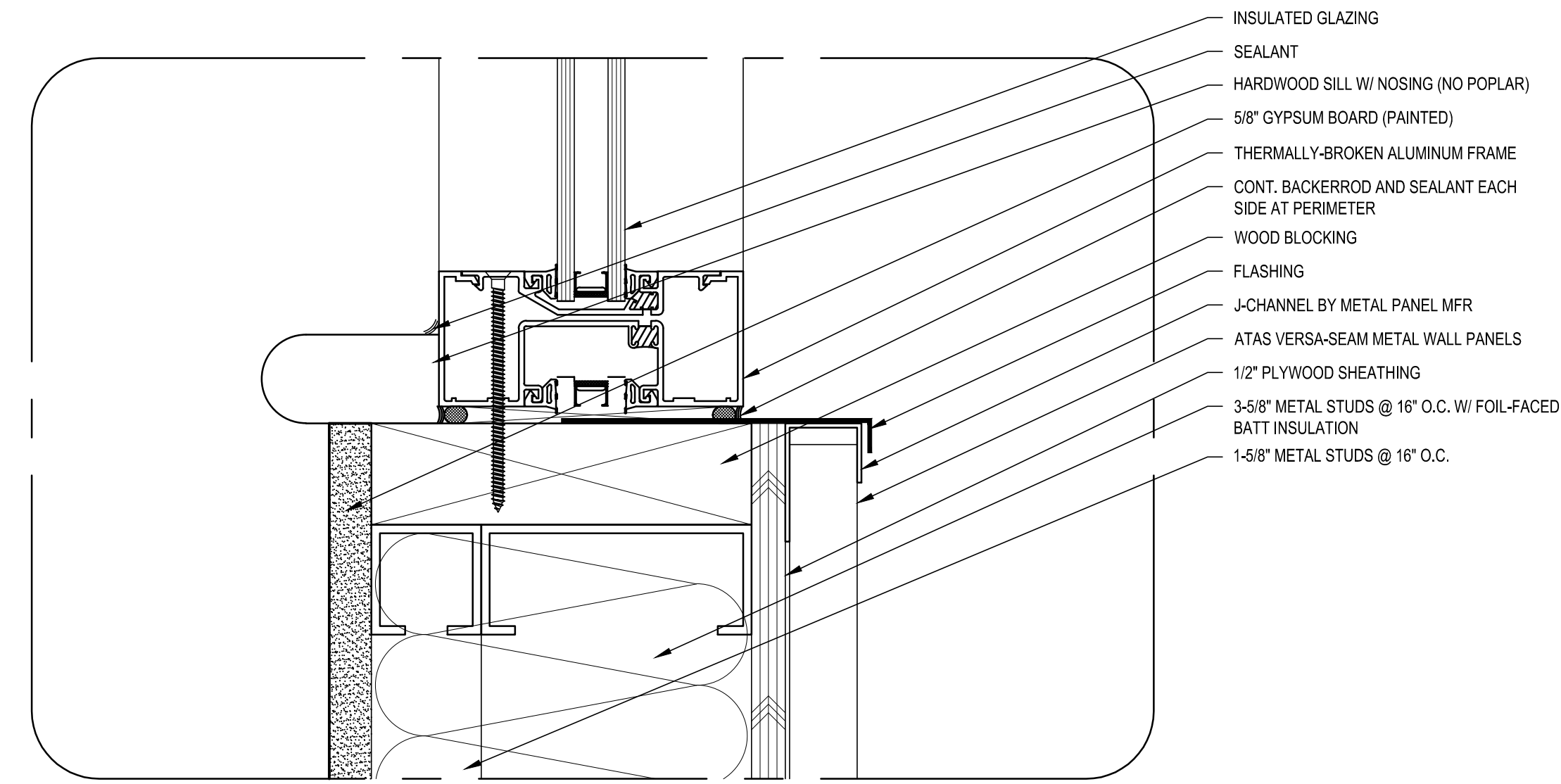
2 HEAD DETAIL
SCALE: 6\"/>



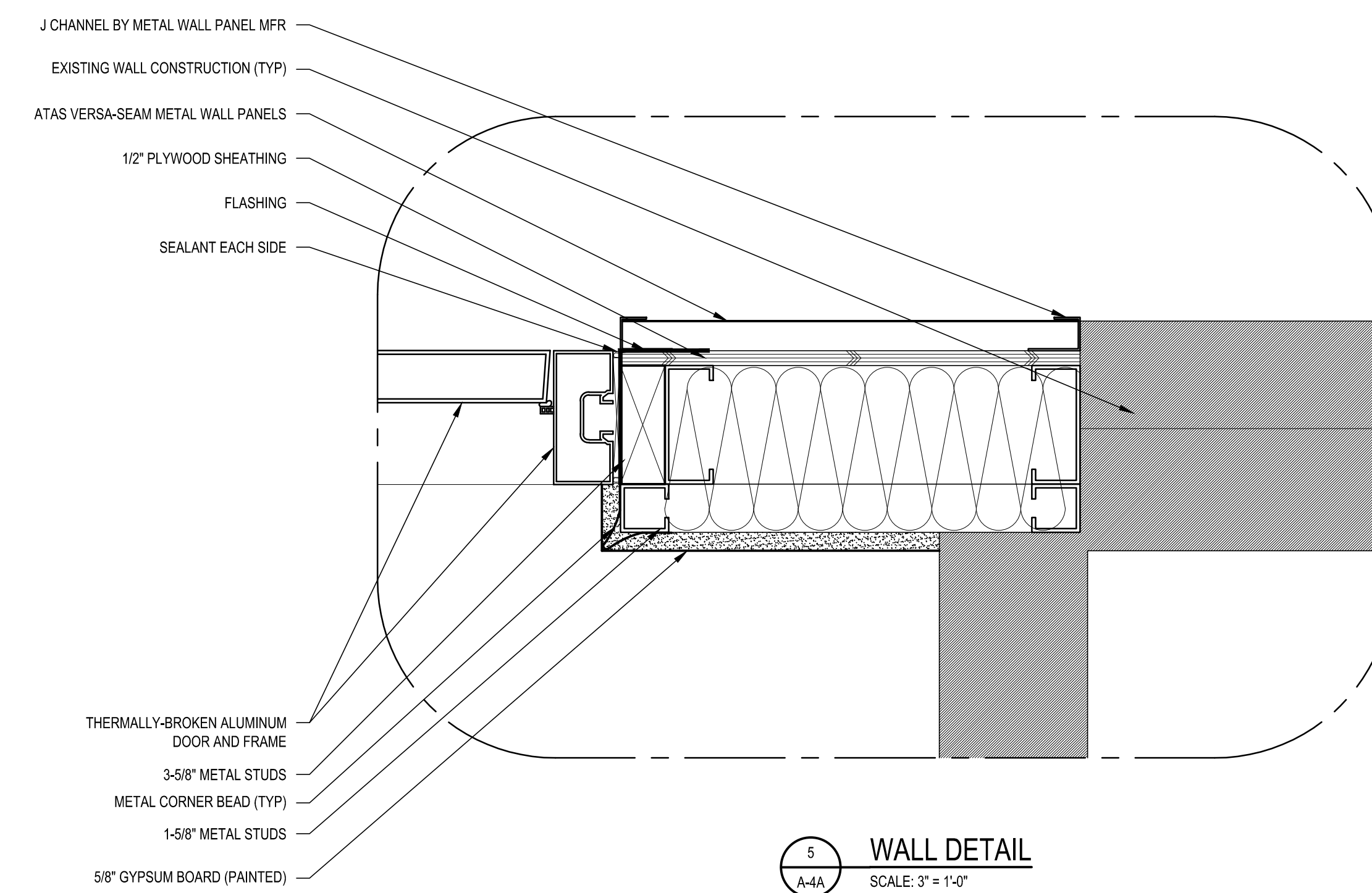
4 HEAD DETAIL
SCALE: 6\"/>



1 SILL DETAIL
SCALE: 6\"/>



3 SILL DETAIL
SCALE: 6\"/>



5 WALL DETAIL
SCALE: 3\"/>

DOOR HARDWARE SCHEDULE					
	QTY	MFR	CAT NO.	FINISH	REMARKS
MARK 1 - DOOR 001					
HINGES	3	MCKINNEY	T443386 X NRP	US32D	AL DR X AL FR
DEADBOLT	1	SARGENT	821	US32D	
PUSH / PULL	1	ROCKWOOD	110-RKW X 70C-RKW X CFTT	US32D	
OH CLOSER	1	SARGENT	351-CPSH	EN	
THRESHOLD	1	PEMCO	2005AT	AL	
MARK 2 - DOOR 002					
HINGES	3	MCKINNEY	T443386 X NRP	US32D	AL DR X AL FR
LOCKSET	-	-	-	-	SALVAGE & REUSE EXISTING
OH CLOSER	1	SARGENT	351-CPSH	EN	
THRESHOLD	1	PEMCO	2005AT	AL	

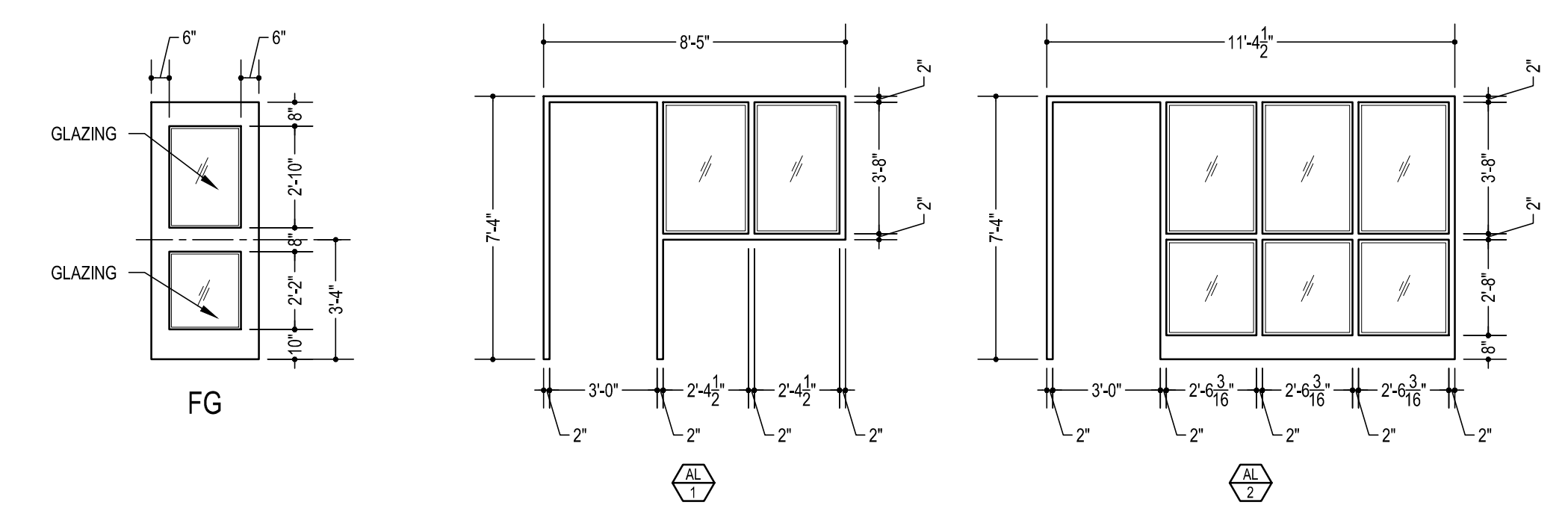
DOOR SCHEDULE															REMARKS	DOOR NUMBER							
DOOR NUMBER	TYPE	MATERIAL	GLASS	FINISH	SIZE			FRAME			THRESHOLD (AT SPT / INT)	U.I. L. (MIN. NUMBER OF MINUTES (TEST))	DOOR UNDERCUT	HARDWARE SET			ELECTRONIC DEVICES						
					WIDTH	HEIGHT	THICKNESS	TYPE	MATERIAL	GLASS					FINISH	DETAIL	SECURITY CONNECTION	24V MAGNETIC HOLD OPEN	CARD READER	MOTOR OPERATOR	RADIO CONTROL FOR DOOR REMOTES		
001	FG	AL	CLI	AN	3'-0"	7'-2"	1-3/4"	AL-2	AL	CLI	AN	1,2	AT	-	-	1	-	-	-	-	-	FRAME SEALS BY ALUMINUM DOOR SUPPLIER	001
002	FG	AL	CLI	AN	3'-0"	7'-2"	1-3/4"	AL-1	AL	CLI	AN	1,2	AT	-	-	2	-	-	-	-	-	TYPE 9 MOUNTING	002

- DOOR SCHEDULE ABBREVIATIONS:**
- AL ALUMINUM
 - AN ANODIZED
 - AT ALUMINUM THRESHOLD
 - CLI CLEAR LAMINATED INSULATED
 - CLL CLEAR CERAMIC LAMINATED
 - CT CLEAR TEMPERED
 - CTI CLEAR TEMPERED INSULATED
 - EX EXISTING
 - FS FACTORY STAINED
 - HM HOLLOW METAL
 - M MARBLE
 - P PAINT
 - SP SOLID POLYMER
 - TLI TINTED LAMINATED INSULATED
 - WD WOOD

GENERAL NOTES:

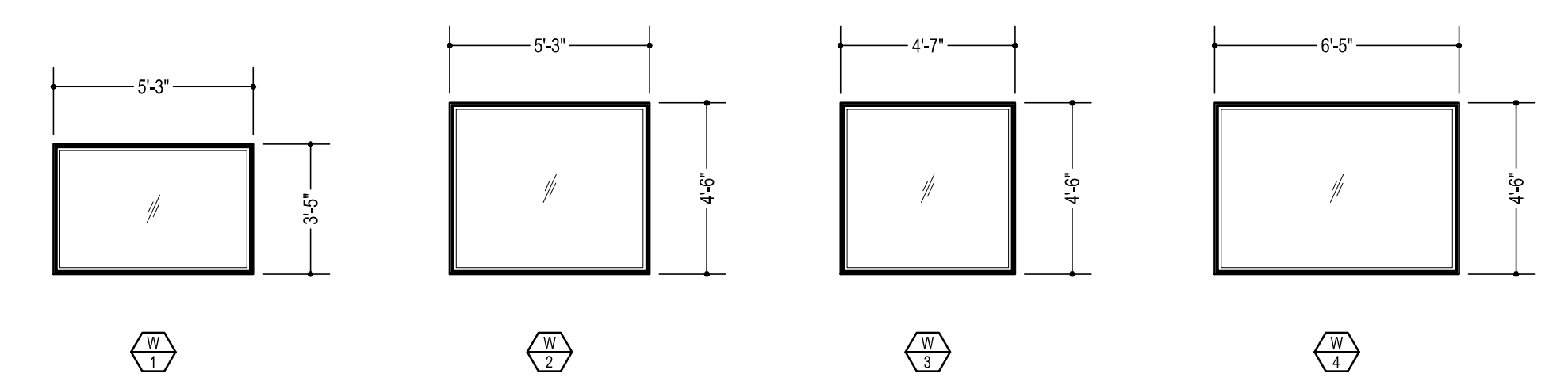
FIELD VERIFY DIMENSIONS OF ALL EXISTING OPENINGS PRIOR TO SUBMITTING SHOP DRAWINGS. INDICATE DEVIATIONS IN OPENING SIZE ON SHOP DRAWINGS.

REFER TO DRAWING A-5 FOR DOOR AND DOOR FRAME TYPES AND DOOR DETAILS.

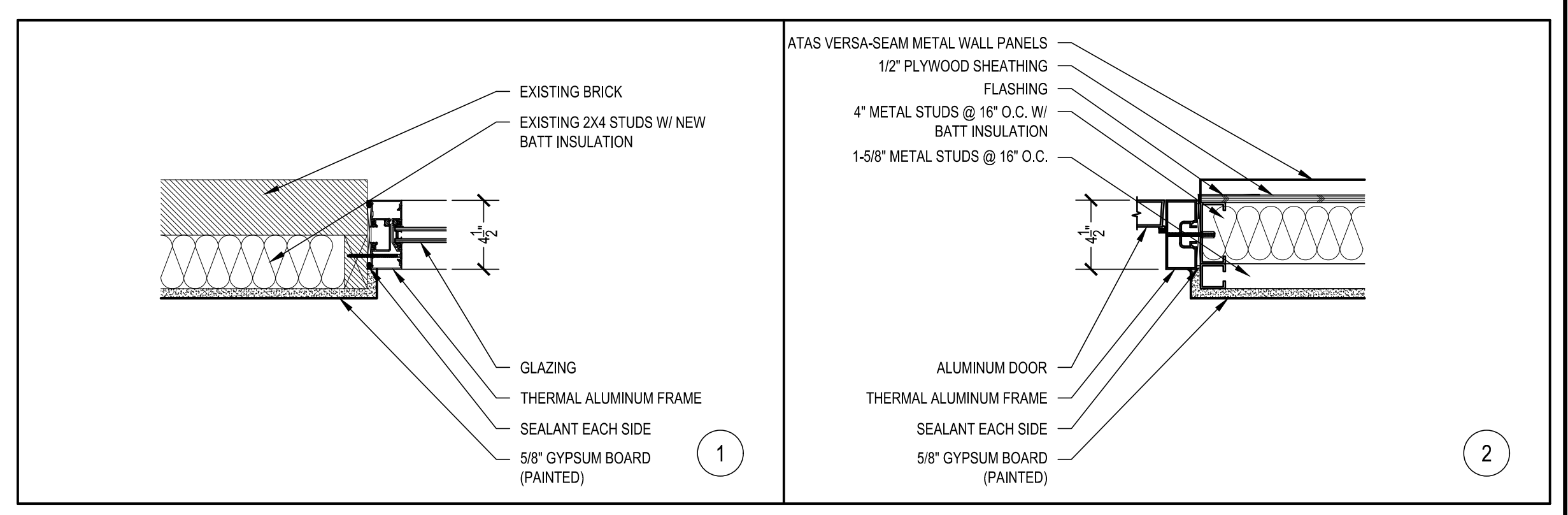


DOOR TYPES
SCALE: 1/4" = 1'-0"

FRAME TYPES
SCALE: 1/4" = 1'-0"



WINDOW TYPES: BASIS OF DESIGN - MARVIN ELEVATE
SCALE: 1/8" = 1'-0"



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 3700 PERKINOMEN AVENUE, READING, PA 19606-2785
 Phone: 610.793.3320 Fax: 610.793.8022 www.aem-arch.com

DOOR, FRAME AND WINDOW TYPES
 RENOVATIONS TO
 AEM ARCHITECTS OFFICE
AEM ARCHITECTS, INC.
 3700 PERKINOMEN AVENUE READING, PA 19607

DIMENSIONS AND EXISTING CONDITIONS
 SHALL BE CHECKED AND VERIFIED
 BY THE CONTRACTOR AT THE SITE.
 JOB NO.: 23005.00
 DRAWN BY: SRH
 DATE: 10.02.23