COUNTY OF BERKS

Purchasing Department

Berks County Services Center, 633 Court Street, Reading, PA 19601 Tel: 610-478-6168 Fax: 610-898-7404

Kelly A. Laubach, CPPB, Director of Contracts and Procurement

NOTICE TO BIDDERS

Amendment #2 Issued on May 8, 2023

Re: Invitation to Bid #23-12-GR

This Amendment should consist of a total of 78 pages. If you have not received this Amendment in its entirety, please contact the County of Berks Purchasing Department at (610) 478-6168.

The County hereby amends the above noted Invitation to Bid (ITB) as indicated herein. All other details of the ITB remain unchanged. Language that is underlined denotes that which has been added. Language that has been stricken denotes that which is hereby removed.

Where conflict exists between these responses and information in the original ITB package, the responses shall prevail.

A pre-bid conference was held at the Berks County Agricultural Center located at 1238 County Welfare Road in Leesport, PA on April 27, 2023 at 10:00 A.M. The following individuals and companies were represented at the meeting:

Name	Entity
Steve Warnek	Balton Construction
Doug Bodden	County of Berks
Rex Levengood	County of Berks
George Rodrigues	County of Berks
Anthony Klopp	Empire Services
Dave Henne	HB Frazer
Dan Mountz	Hirneisen Electric
Sarah Phillips	Irish Creek
Curt Liebold	Liebold Inc.
Matt Bobb	M&M Facility Services
Mike Schlegel	M&M Facility Services
David Kline	Muhlenberg Greene Architects
James Sarro	Muhlenberg Greene Architects
Mark Coutts	Pagoda Electrical
Karl Hamilton	Shannon A Smith
Justin Davidson	Tri-County Mechanical
Todd Cameron	Uhrig Construction

Several key points were reviewed by the Purchasing Department at the beginning of the pre-bid meeting. They were:

- 1. As per Section One, Instruction to Bidders, Clause 3.2.2. submit all questions in writing to the County point of contact, as detailed therein.
- As per Section One, Instructions to Bidders, Clause 3.2.3. an amendment will be issued to respond to any and all questions and clarifications submitted and/or identified as needed by the County. Questions answered, or responses not set forth in an amendment shall not be valid and binding upon the County.
- 3. As per Section One, Instructions to Bidders, Clause 3.3. a Bid that contains exceptions or offers substitute products not previously approved by the County may result in the County rejecting the Bid as a non-responsive Bid.
- 4. Section One, Instructions to Bidders, Clause 4.1.6. details whom the bids must be signed by.
- 5. Section One, Instructions to Bidders, Clause 4.1.9 refers to the deadline for receipt of bids. The County Controller's clock shall be considered the official time. There shall be no exceptions to the Bid Deadline
- 6. As per Section One, Instructions to Bidders, Clause 4.2.1 each bid must be accompanied by bid security. All bonds must be submitted on the County's form.
- 7. Section One, Instructions to Bidders, Clause 11 details insurance requirements. Please review carefully with your agency/broker to ensure you meet or exceed all the limits and the endorsements identified therein.
- 8. Page 3 of the Bid Form lists documents that must be submitted with each bid. Please use this listing as a checklist to ensure your bid is in conformance.
- 9. Sign up to receive notices on the Purchasing page of www.countyofberks.com.

Following is a list of questions asked at the pre-bid meeting, and the County's response to each question, as well as clarifications addressed. The responses to these questions form an integral part of the ITB package and these responses may alter a Contractor's responsibilities in submitting a bid. Where conflict exists between these responses and information in the original ITB package, the responses shall prevail.

Clarification 1 Section 000060 – Schedule of Drawings

MECHANICAL

H001 HVAC General Notes, Legend & Schedule H002 HVAC Sequence of Operations H100 First Floor HVAC Plan H100D HVAC Demo Plan H101 Mezzanine Level HVAC Plan H200 HVAC Roof New Work Plan

Division 00 - Section Two - Instructions to Bidders

Q2: What is the deadline to submit questions?

As per Division 00 – Section Two, Instructions to Bidders, Clause 3.2.2, questions shall be submitted no later than seven (7) business days prior to the date for receipt of Bids.

Division 00 – Section Two – Instructions to Bidders

- Q3: Is the Commonwealth of Pennsylvania Public Works Employment Verification Form required for Subcontractors?
- A3: As per Division 00 Section Two, Instructions to Bidders, Clause 6.2.1.3, a separate and complete Commonwealth of Pennsylvania Public Works Employment Verification Form for the Bidder and each of the proposed Subcontractors shall be submitted as a precondition of the Owner's Award of the Contract.

Division 00 – Section Six – Bid Form for Electrical Construction

- **Q4:** Specification 012210 states EC-6 200 hours of journeyman electricians time? Where should we include the 200 hours of EC-6 in our bid?
- A4: In Division 00, Section Six, Bid Form for Electrical Construction, as noted in the Quantity Allowance section of the Bid Form, the Bidder shall include the Quantity Allowances as part of their Base Bid. The amount for each Quantity Allowances shall also be entered in the appropriate space for each Quantity Allowance in the event the sums stated shall be deducted from the Contract Sum by deduct change order if the corresponding work is not required by the actual conditions encountered.

Division 00 – Section Seventeen – General Conditions of the Contract

- **Q5:** For the insurance requirements, will a tail policy be required for completed operations or will annual certificates evidencing policy renewals suffice?
- **A5:** A tail policy is not required. As per Division 00 Section Seventeen, General Conditions of the Contract, Clause 11.1.3, for completed operations the Contractor shall submit a certificate evidencing continuation of liability and thereafter upon renewal or replacement of such coverage until the expiration of the time required by Section 11.1.2.

Division 01 - Section 011200 - Multiple Contract Summary

Q6: Who is responsible for securing permits?

A6: As per Division 01 - Section 011200, Multiple Contract Summary, Clause 1.6.K, each Prime Contractor shall submit for, pay for, secure, and include in their Base Bid price the respective Building Permit fee required for their work on the Project.

Division 01 - Section 011200 - Multiple Contract Summary

Q7: Who is responsible for arranging dumpsters and temporary sanitation?

A7: As per Division 01 - Section 011200, Multiple Contract Summary, Clause 1.7.C.8, each contractor shall be responsible for their waste disposal facilities.

Division 01 - Section 011200 – Multiple Contract Summary

Q8: Does cutting and patching include the floor patches in the meeting rooms?

A8: As per Division 01 - Section 011200, Multiple Contract Summary, Clauses 1.9.C.j, 1.10.C.h, 1.11.C.k, cutting and patching shall be required on all floors required as a result of demolition or for installation of new work.

Division 01 - Section 015000 - Temporary Facilities and Controls

Q9: Will there be a staging area for materials?

A9: As per Division 01 - Section 015000, Temporary Facilities and Controls, Clause 3.4.D, Contractors shall use designated areas of Project site for storage and staging needs.

Clarification 10

Division 07 – Section 074646 - Siding

2.2 PHENOLIC WALL CLADDING

- A. Phenolic wall cladding: Solid phenolic laminate panel with UV protective clear coat.
 - 1. Basis-of-Design Product: Subject to compliance with requirements, provide Fiberesin Industries, Inc: Stonewood Architectural Panels, or comparable product by one of the following:
 - a. Fundermax
 - b. Architectural Panel Systems
 - c. ECO Cladding
 - d. Or approved equal. Trespa Meteon
 - e. Or approved equal.

Clarification 11

Division 08 – Section 084113 - Aluminum-Framed Entrances and Storefronts

2.11 INTERIOR STOREFRONT SYSTEMS

- A. Basis- of -Design Product: Subject to compliance with requirements, provide Kawneer Company, Inc.," Tri Fab 4 00 Framing System" or a comparable product by one of the following:
 - 1. EFCO Corporation.
 - 2. YKK AP America, Inc.
 - 3. Tubelite Inc.

- 4. Or approved equal.
- B. Framing Members: Manufacturer's extruded or formed aluminum framing members of thickness required and reinforced as required to support imposed loads.
 - 1. Interior Framing Construction: Nonthermal.
 - 2. Glazing System: Retained mechanically with gaskets on four sides.
 - 3. Glazing Plane: Center set.
 - 4. Finish: Clear anodic finish.
 - 5. Fabrication Method: Field- fabricated stick system.
 - 6. Aluminum: Alloy and temper recommended by manufacturer for type of use and finish indicated.
- C. Backer Plates: Manufacturer's standard, continuous backer plates for framing members, if not integral, where framing abuts adjacent construction.
- D. Brackets and Reinforcements: Manufacturer's standard high-strength aluminum with nonstaining, nonferrous shims for aligning system components.

Clarification 12

Division 12 - Section 123216 - Manufactured Plastic-Laminate-Clad Casework

- 1.7 Quality Assurance
 - A. Installer Qualifications: Licensed participate in AWI's Quality Certification Program. May forgo the AWI Quality Certification Program so long as the fabricator is trained and approved by the manufacture for installation of the units or documentation is provided stating that the units are built to AWI specifications.

Division 22 - Section 220548 — Vibration and Seismic Controls for Plumbing Piping and Equipment

- Q13: What seismic restraint is being followed for plumbing?
- A13: As per Division 22 Section 220548, Vibration and Seismic Controls for Plumbing Piping and Equipment, details the seismic restraints for plumbing and shall comply with the requirements in MSS SP-127.

Division 23 – Section 230548 – Vibration and Seismic Controls for HVAC

- **Q14:** What seismic restraint is being followed for HVAC?
- A14: As per Division 23 Section 230548, Vibration and Seismic Controls for HVAC, details the seismic restraints to be followed for HVAC. The IMC and all other applicable codes for the respective seismic zone.

Clarification 15 Division 23 – Section 233113 – Metal Ducts

2.3 Sheet Metal Materials

- A. General Material Requirements: Comply with SMACNA's "HVAC Duct Construction Standards Metal and Flexible" for acceptable materials, material thicknesses, and duct construction methods unless otherwise indicated. Sheet metal materials shall be free of pitting, seam marks, roller marks, stains, discolorations, and other imperfections. Galvanneal may be used in exposed areas with spiral piping as long as it is oil-free and preapproved by Architect.
- B. Galvanized Sheet Steel: Comply with ASTM A 653/A 653M.
 - 1. Galvanized Coating Designation: G90.
 - 2. Finishes for Surfaces Exposed to View: Mill phosphatized.
- C. Factory-or Shop-Applied Antimicrobial Coating:
 - 1. Apply to the surface of sheet metal that will form the interior surface of the duct. An untreated clear coating shall be applied to the exterior surface.
 - a. Subject to compliance with requirements, provide antimicrobial coating product by Bio-Cide EnviroCON or approved equal.
 - 2. Antimicrobial compound shall be tested for efficacy by an NRTL and registered by the EPA for use in HVAC systems.
 - 3. Coating containing the antimicrobial compound shall have a hardness of 2H, minimum, when tested according to ASTM D 3363.
 - 4. Surface-Burning Characteristics: Maximum flame-spread index of 25 and maximum smoke-developed index of 50 when tested according to UL 723; certified by an NRTL.
 - 5. Shop-Applied Coating Color: Black <u>or an alternate color approved by Architect and Owner prior to fabrication.</u>
 - 6. Antimicrobial coating on sheet metal is not required for duct containing liner treated with antimicrobial coating.

Clarification 16 Schedule of Drawings

The following sheets are hereby modified:

- Sheet A-001 General Information: Remove from the Project Drawing List Sheet H002, HVAC Sequence of Operations.
- Sheet C-3 Site Layout, Grading & Utility: Adjust the accessible spaces as per code requirements.
- Sheet AD-101 Demolition Plans: Remove existing mezzanine from southeast corner as shown on supplemental drawing SD-001.

- Sheet A-101 Slab Repair Plan: Additional slab cuts are indicated via clouds on the attached revised drawing.
- Sheet A-601 Schedules: Revised to clarify the storefronts listed in Drawings 5 as "Storefront Systems" and the storefronts listed in Drawing 10 as "Interior Storefront Systems". In addition, the frame on Door No. G212 shall be type F3 and the frame on Door No. G300B shall be type F1.
- Sheet H-100 First Floor HVAC Plan: Increase the quantity of plastic pipe plus fittings from fifty feet (50') to two hundred feet (200').
- Sheet H-100D HVAC Demo Plan: Delete demolition notes for Lav TUG1 and Rec'g Office G018.

Use Drawings – Amendment #2, in place of Drawings.

Schedule of Drawings – Amendment #2 – Sheet A-002 – Contractor Laydown Area and Code Summary

- Q17: In addition to the laydown area, are we demolishing the existing paved area to stone in and then restore to grass?
- A17: The existing paved/impervious paver area is to remain; it is not to be removed. The area shown on Sheet A-002, Contractor Laydown Area and Code Summary, of Schedule of Drawings Amendment #2, details the areas to be removed and replaced.

Schedule of Drawings – Amendment #2 – Sheet AD-101 – Demolition Plans

- Q18: Which Contractor will be responsible for removing and subsequently reinstalling the existing dust collector?
- A18: As per Keynote 2.41.11 on Sheet AD-101, Demolition Plans, on Schedule of Drawings Amendment #2, the HVAC Contractor (HC) shall remove the existing dust collector and store for reinstallation by the HC.

Schedule of Drawings – Amendment #2 – Sheet A-101 – Slab Repair Plan

- Q19: Can you clarify the cutting, patching, and excavation work responsibilities for each contractor?
- A19: Sheet A-101, Slab Repair Plan, on Schedule of Drawings Amendment #2, notes each prime that requires the slab to be cut is to provide the location and layout of slab removal. The General Contractor is to cut the slab and excavate to the depth required, coordinate with the other primes and Mechanical, Electrical, and Plumbing drawings. Each prime is to complete their own backfill to the stone base, the General Contractor is to provide the stone base and concrete patch.

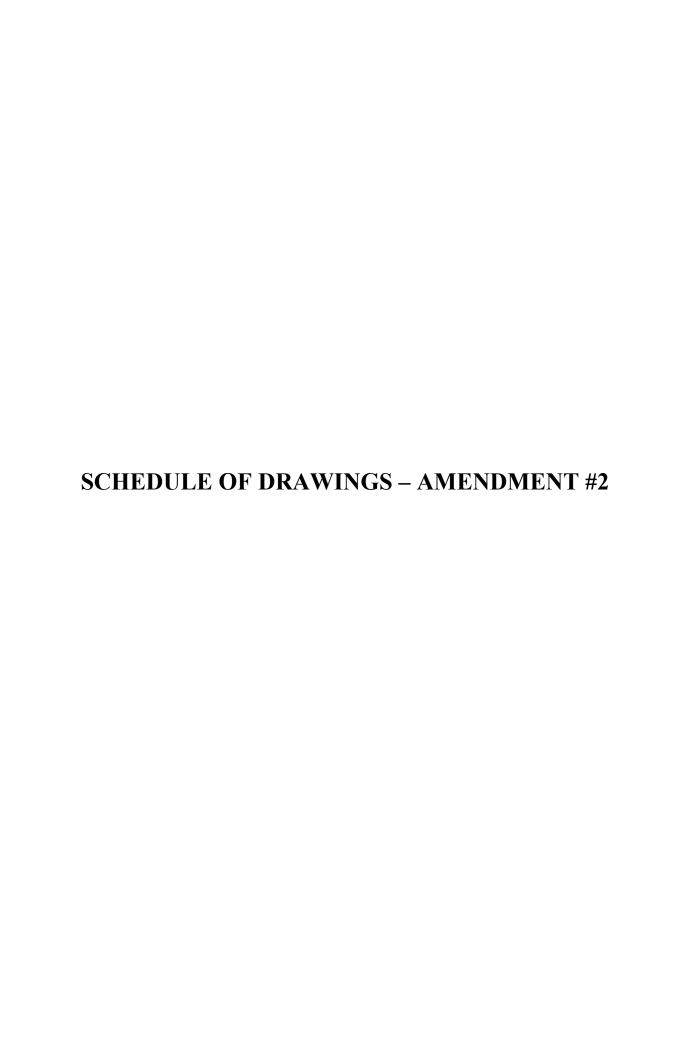
Schedule of Drawings – Amendment #2 – Sheet H-100D – HVAC Demo Plan

- **Q20:** Is the existing pipe and accessories to be reused from the demolition of the AHU's or will new product be installed?
- **A20:** As per Sheet H-100D, HVAC Demo Plan, on Schedule of Drawings Amendment #2, the existing pipe and pipe specialties shall be reused. The pipe shall be removed back to the shutoff valves only. Contractor shall identify and replace non-working specialties as needed in field.

Schedule of Drawings – Amendment #2 – Sheet E-302 – Special Systems Diagrams & Details

- **Q21:** Note 6 on drawing E-301 calls for (1) multimode and (4) CAT 6 cables. Where do these cables originate?
- **A21:** The Data Network Riser Diagram on Schedule of Drawings Amendment #2, Sheet E-302, Special Systems Diagrams & Details, details this information.

Should you have any questions regarding this Amendment, please contact George Rodrigues, Contract Manager, via phone at (610) 478-6168 ext. 6270 or via email at grodrigues@countyofberks.com.



FACILITY UPGRADES

1238 COUNTY WELFARE ROAD LEESPORT, PA 19533



GENERAL NOTES

. EACH PRIME CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK OR PURCHASING ANY MATERIALS. VERIFY LAYOUT IN RELATION TO PROPERTY LINES, BENCH MARKS, OR OTHER FIXED CONDITIONS AND REPORT DISCREPANCIES TO ARCHITECT IMMEDIATELY UPON DISCOVERY

NOTIFY ARCHITECT OF DISCREPANCIES REGARDING THE CONTRACT DOCUMENTS OR DESIGN INTENT IMMEDIATELY UPON DISCOVERY. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK.

3. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE WORK SITE IN A CLEAN AND ORDERLY MANNER AND ALLOW FOR SAFE USE OF PREMISES BY THE OWNER AND VISITORS.

EACH PRIME CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SITE SAFETY, EROSION AND SEDIMENTATION CONTROL, AND COORDINATING WITH THE WORK OF OTHER TRADES.

GENERAL CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE SCHOOL DISTRICT PRIOR TO PROCEEDING WITH THE

6. ALL REFUSE SHALL BE THE RESPONSIBILITY OF EACH PRIME CONTRACTOR

SKILLED WORKERS: EACH PRIME CONTRACTOR SHALL PROVIDE WORKERS EXPERIENCED IN THE TRADES AND ACTIVITIES TO BE PERFORMED AND BE FAMILIAR WITH THE PRODUCTS, MATERIALS, AND FINISHES INVOLVED IN THE SCOPE OF WORK OF THIS PROJECT.

AND SHALL BE PROPERLY DISPOSED OF OFF-SITE IN A LEGAL MANNER.

8. EACH PRIME CONTRACTOR SHALL PATCH ALL DISTURBED AREAS TO MATCH EXISTING, AND REPAIR OR REPLACE ANY DAMAGE TO THE SITE CAUSED BY CONSTRUCTION.

GENERAL CONTRACTOR SHALL PLAN THE SCHEDULE OF ACTIVITIES TO MAINTAIN THE SECURITY OF THE BUILDING THROUGHOUT THE CONSTRUCTION PROCESS. GENERAL CONTRACTOR SHALL LOCK AND SECURE PROJECT AREA AT THE END OF EACH WORK DAY.

110. GENERAL CONTRACTOR TO ENSURE THAT ALL WORK AREAS, INCLUDING THOSE ON ROOFS, SHALL BE IN COMPLIANCE WITH OSHA STANDARDS AND REQUIREMENTS, INCLUDING ANY FLAGGING, TIE-OFFS, AND TEMPORARY BARRIERS.

SELECTIVE DEMOLITION GENERAL **NOTES:**

1. PRIOR TO SUBMISSION OF BID EACH PRIME CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE EXTENT OF DEMOLITION WORK REQUIRED AND VERIFY THE EXISTING CONDITIONS AND MATERIALS TO BE DEMOLISHED. PRIME CONTRACTORS TO FIELD-VERIFY ROUTING OF ALL EXISTING CONCEALED UTILITIES PRIOR TO DEMOLITION.

ELECTRICAL CONTRACTOR IS TO PROVIDE FOR TEMPORARY LIGHTING AND POWER. USE OF EXISTING MEP INFASTRUCTURE IS PERMISSIBLE TO EXTENT POSSIBLE BASED ON THE DEPICTED SCOPE OF WORK

THE DEMOLITION SHOWN AND INDICATED ON THE DEMOLITION DRAWINGS IS NOT A COMPLETE INDICATION OF THE DEMOLITION REQUIRED FOR THIS PROJECT. ALL MISCELLANEOUS DEMOLITION REQUIRED FOR THIS PHASE OF THE PROJECT, AND THE INTENT OF THE CONSTRUCTION DOCUMENTS, SHALL BE COMPLETED.

4. BEFORE PROCEEDING WITH DEMOLITION OF ANY EXISTING CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT IT IS NOT SUPPORTING EXISTING CONSTRUCTION WHICH IS TO REMAIN. IF IN DOUBT, NOTIFY THE ARCHITECT BEFORE REMOVING THE MEMBERS.

OR OTHER PROTECTION AS REQUIRED UNTIL THE WORK IS COMPLETE.

6. DEMOLITION IS TO BE DONE IN A MANNER WHICH WILL NOT DAMAGE EXISTING CONSTRUCTION TO REMAIN. PROVIDE TEMPORARY PROTECTION OF EXISTING FINISHES & MATERIALS AS REQUIRED.

CONSTRUCTION/DEMOLTION DEBRIS. NO CONSTRUCTION DEBRIS OR TRASH IS TO BE PLACED IN THE PROPERTY OWNERS DUMPSTERS.

ALL SOLID WALLS, PARTITIONS, AND FURRED AREAS WHICH ARE SHOWN AS BEING REMOVED SHALL INCLUDE DOORS, WINDOWS, FRAMES, FINISHES, SHELVING, ETC. THAT ARE PART OF THOSE WALLS AND

110. THE TENANT AND OR BUILDING OWNER RESERVES THE RIGHT TO HAVE THE CONTRACTOR TURN OVER ANY SALVAGED ITEMS OR MATERIALS

OF NEW MASONRY OR INSTALLATION OF BULLNOSE CMU'S.

12. INFILL/PATCH OPENINGS WHERE INDICATED ON THE DRAWINGS WITH SIMILAR, COMPATIBLE MATERIALS AND METHODS SUCH AS TO ENSURE UNIFORM APPEARANCE AND PERFORMANCE.

INFORMATION AND SCOPES OF WORK.

PROJECT DRAWING LIST

GENERAL & CODE INFO A-001 GENERAL INFORMATION

A-002 CONTRACTOR LAYDOWN AREA AND CODE SUMM. A-003 FIRST FLOOR LIFE SAFETY PLAN A-004 MEZZANINE LIFE SAFETY PLAN

A-005 ACCESSIBILITY AND CODE DETAILS **CIVIL DRAWING**

> C-1 COVER SHEET C-2 EXISTING CONDITIONS AND SITE DEMOLITION C-3 SITE LAYOUT GRADING & UTILITY

C-4 SITE CONSTRUCTION DETAILS STRUCTURAL DRAWINGS

S-001 GENERAL NOTES S-101 FOUNDATION PLAN

S-103 MEZZANINE/HI-WINDOW PLAN S-202 ROOF FRAMING PLAN S-301 SECTIONS AND DETAILS

S-302 SECTIONS AND DETAILS S-303 SECTIONS AND DETAILS S-304 SECTIONS AND DETAILS

S-305 SECTIONS AND DETAILS

S-306 SECTIONS AND DETAILS ARCHITECTURAL DEMOLITION & ABATEMENT PLANS

AD-101 DEMOLITION PLANS **PLANS**

ELEVATIONS

SECTIONS

ENLARGED PLANS

DETAILS

FINISH PLANS

A-101 SLAB REPAIR PLAN A-102 PARTITION PLAN A-103 KEYNOTE PLAN

A-105 ROOF PLAN

A-201 ELEVATIONS

A-301 WALL SECTIONS

A-302 WALL SECTIONS

A-303 WALL SECTIONS

A-304 WALL SECTIONS

A-305 WALL SECTIONS

A-306 WALL SECTIONS

A-401 ENLARGED PLAN A-402 ENLARGED PLAN

A-501 DETAILS

A-502 DETAILS

A-503 DETAILS

SCHEDULES & DIAGRAMS

A-504 SITE DETAILS

A-601 SCHEDULES

A-603 PARTITION TYPES

A-704 FINISH PLAN

PLUMBING DRAWINGS

MECHANICAL DRAWINGS

ELECTRICAL DRAWINGS

A-403 ENLARGED PLANS, ELEVATIONS, AND DETAILS

A-404 ENLARGED PLANS AND DETAILS

A-405 MEZZANINE STAIR DETAILS

A-602 DOOR/WINDOW DETAILS

A-701 REFLECTED CEILING PLAN

P-101 FLOOR PLAN PLUMBING

H-100 FIRST FLOOR HVAC PLAN

H-102 MEZZANINE LEVEL HVAC PLAN

H-200 HVAC ROOF NEW WORK PLAN

ED-101 ELECTRICAL SPECIFICATIONS

E-101 FIRST FLOOR LIGHTING PLAN

E-102 MEZZANINE LIGHTING PLAN

E-201 FIRST FLOOR POWER PLAN

H-100D HVAC DEMO PLAN

A-702 ENLARGED CEILING PLAN AND DETAILS

P-102 PARTIAL FLOOR PLANS SANITARY & VENT

E-001 ELECTRICAL LEGEND & ABBREVIATIONS

E-301 FIRST FLOOR SPECIAL SYSTEMS PLAN

E-501 ELECTRICAL SINGLE LINE DIAGRAM

INCANDESCENT REINF. REINFORCING / REINFORCED

SIMILAR

SQUARE

U.O.N. UNLESS OTHERWISE

NOTED

STEEL

REQ. REQUIRED

E-302 SPECIAL SYSTEMS DIAGRAMS & DETAILS

E-401 LIGHTING DETAILS, DIAGRAMS AND SCHEDULES

A-703 MEZZANINE REFLECTED CEILING PLAN

A-705 FINISH SCHEDULE AND DETAILS

A-104 MEZZANINE PLAN AND DETAILS

GENERAL CONTRACTOR TO PROVIDE TEMPORARY BRACING, SHORING

DEBRIS FROM DEMOLITION MUST NOT BE STORED IN A MANNER WHICH WILL OVERLOAD THE EXISTING CONSTRUCTION.

8. THE SCOPE OF WORK INCULDES THE LEGAL DISPOSAL, OFF SITE, OF ALL

. PARTIAL REMOVAL OF EXISTING PARTITIONS OR FINISHES IS TO BE PERFORMED AS TO ALLOW FOR REFINISHING FOR NEW CONSTRUCTION. DEMOLITION OF CMU PARTITIONS THAT WILL REMAIN EXPOSED SHALL INCLUDE REMOVAL OF ENTIRE BLOCKS AS TO ALLOW FOR "TOOTHING"

13. WHERE FINISHES ARE SCHEDULED FOR REMOVAL FROM SUBSTRATE SCHEDULED TO REMAIN; CLEAN AND PREPARE SUBSTRATE FOR NEW FINISHES TO CONDITION COMPLIANT WITH MANUFACTURER'S | SPECIFICATIONS.

14. SEE MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL DRAWINGS AS APPLICABLE FOR ADDITIONAL DEMOLITION

HISTORIC PRESERVATION 955 BERKSHIRE BLVD., SUITE 10 WYOMISSING, PA 19610 610.376.4927 www.MG-Architects.com PROJECT #: 22-0012 PROFESSIONAL SEAL

ARCHITECTURAL DESIGN

INTERIOR DESIGN

CODE ANALYSIS

PLANNING SERVICES

REPORTS AND STUDIES

ENGINEERING SERVICES

JIM A. SARRO AIA, LEED AP BD+C JIMS@MG-Architects.com

COUNTY OF BERKS REX LEVENGOOD, DIR. OF FAC. & OPS 633 COURT STREET READING, PA 19601 610.478.6201 X6220

RLEVENGOOD@CountyOfBerks.gov

	ISSUED	
ID	DESCRIPTION	DATE

PROJ. MGR.: JIM SARRO P.M. e-MAIL: JIMS@MG-Architects.com DRAWN BY: DK, SG, BB, JS CLIENT PROJ #:

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GENERAL INFORMATION

COUNTY OF BERKS

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LOCATION MAP

633 COURT STREET READING PA 19601 CONTACT: REX LEVENGOOD PHONE: 610.478.6201 X6220 FAX: 610.478.6363 EMAIL: RLEVENGOOD@CountyOfBerks.gov **ARCHITECT**

PROJECT DIRECTORY

MG ARCHITECTS, LTD. 955 BERKSHIRE BLVD. SUITE 101 WYOMISSING PA 19610 PHONE: 610.376.4927

CONTACT: JIM A. SARRO AIA, LEED AP BD+C EMAIL: JIMS@MG-Architects.com FILE TRANSFER: https://mg-architects.sharefile.com/

CIVIL ENGINEER

WILKINSON APEX ENGINEERING GROUP LLC 374 CIRCLE OF PROGRESS DRIVE, POTTSTOWN, PA PHONE: (610) 323-3400 EXT. 108 CONTACT: ARISTIDES I. OTERO EMAIL: AOTERO@WKNAPEX.COM

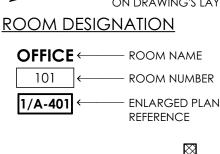
MECHANICAL & ELECTRICAL ENGINEER SYSTEMS DESIGN ENGINEERING, INC. 1032 JAMES DRIVE LEESPORT, PA 19533 CONTACT: STEVE GRIBB PHONE: 610.916.8538 EMAIL: S.GRIBB@SDEI.NET

STRUCTURAL ENGINEER DI GENOVA ASSOCIATES, INC. 1212 GERMANTOWN PIKE, SUITE 5 PLYMOUTH MEETING, PA. 19462 CONTACT: SAM DIGENOVA, PE PHONE: 610.270.9511 FAX: 610.270.9657

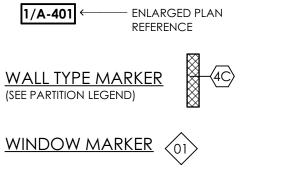
EMAIL: SDIGENOVA@digenovaassociates.com

GRAPHIC SYMBOLS

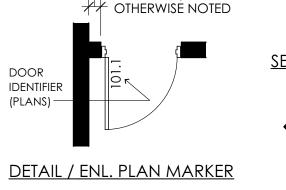


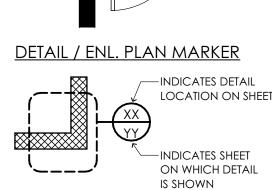


SKYLIGHT MARKER /01

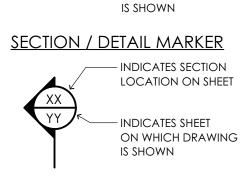


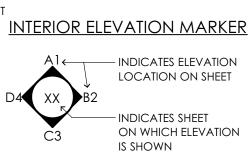
DOOR IDENTIFIERS DOOR IDENTIFIER $(ELEVATIONS/SECTIONS) \longrightarrow (101.1)$





- INDICATES ELEVATION LOCATION ON SHEET - INDICATES SHEET ON WHICH DRAWING





CURRENT REVISION ISSUE

REVISION No. 1 (REFERENCE ONLY)

BOARD BLOCK / BLOCKING B.O. BOTTOM OF B.O.S. BOTTOM OF STEEL CAB. CABINET C.C. CENTER-TO-CENTER CLG. CEILING CLOS. CLOSET C.J. CONTROL JOINT CONC. CONCRETE

ALUM. ALUMINUM ALT. ALTERNATE

ABBREVIATIONS

C.M. CONSTRUCTION MANAGER FT. FEET / FOOT CMU CONCRETE MASONRY UNIT FLUOR. FLUORESCENT CORR. CORRIDOR COL. COLUMN

CONTR. CONTRACTOR

DIA. DIAMETER

DTL. DETAIL

WITH DISABILITIES ACT ADJUSTABLE DIMENSION A.o.R. AREA OF REFUGE DOOR EXIST. EXISTING **EQUAL** A.F.F. ABOVE FINISHED FLOOR E.C. ACOUSTIC / ACOUSTICAL EL. FI FVATION ALUMINUM FACE APPX. APPROXIMATE / **APPROXIMATELY** EXPANSION **EXTERIOR** EACH FLOOR DRAIN FIRE EXTINGUISHER

ELECTRIC / ELECTRICAL FINISH / FINISHED FLOOR FACE OF GYP. GYPSUM GALV. GALVANIZED GA. GAUGE G.C. GENERAL CONTRACTOR OPG. OPENING CONT. CONTINUE / CONTINUOUS HR. HOUR

H.P. HIGH POINT

INSIDE DIAMETER INCAND. JAN. JANITOR ELECTRICAL CONTRACTOR LAV. LAVATORY

HVAC HEAT, VENTILATION, AIR- PR. PAIR

CONDITIONING

R.O. ROUGH OPENING JOINT LBS. POUNDS REV. REVISED / REVISION REFL. REFLECTED LAM. LAMINATE REC. RECESSED L.P. LOW POINT RAD. RADIUS S.S. STAINLESS STEEL MAX. MAXIMUM MFR. MANUFACTURER / MANUFACTURED MTL. METAL MIN. MINIMUN MIRR. MIRRORED MTD. MOUNTED M.O. MASONRY OPENING MISC. MISCELLANEOUS MECH. MECHANICAL N.I.C. NOT IN CONTRACT N.T.S. NOT TO SCALE O.C. ON CENTER O.D. OUTSIDE DIAMETER OPP. OPPOSITE

P.T. PRESSURE TREATED

SAN. SANITARY STD. STANDARD P.F. PANEL FACE

SPEC. SPECIFICATION TELEPHONE T.O. TOP OF T.O.W. TOP OF WALL TOIL. TOILET TYP. TYPICAL THK. THICK P.C. PLUMBING CONTRACTOR T.S.G. TEMPERED SAFETY

PLUS OR MINUS DEGREE ANGLE CHANNEL NUMBER SQUARE ROUND / DIAMETER

LABORATORIES

W.C. WATER CLOSET

AND

☐ / C.L. CENTER LINE

U-BAR

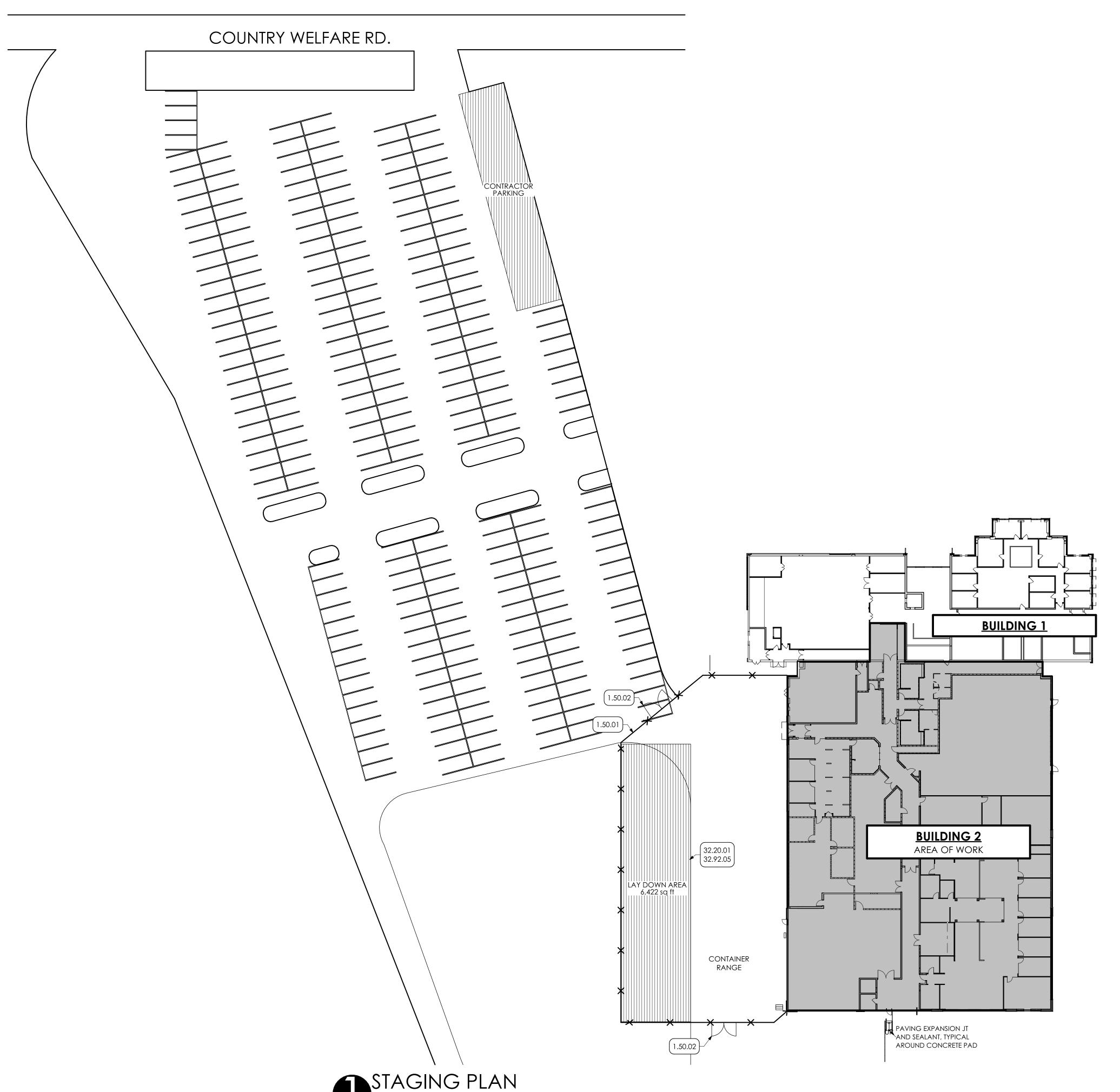
LEG-BAR

☐ / PL. PLATE

WOOD

WD

R.W.C. RAIN WATER CONDUCTOR V.C.T. VINYL COMPOSITION



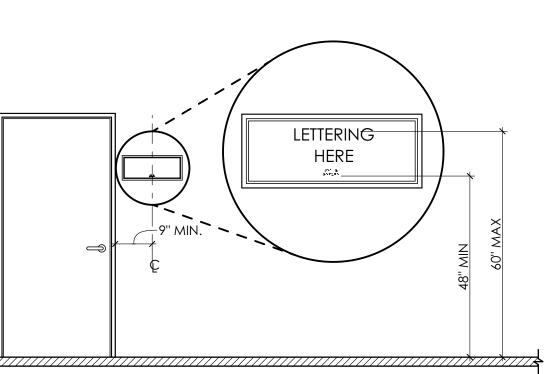


FIGURE 703.3.10 : HEIGHT OF RAISED CHARACTERS ABOVE FLOOR SEE FIGURE 703.4.5 FOR BRAILLE REQUIREMENTS



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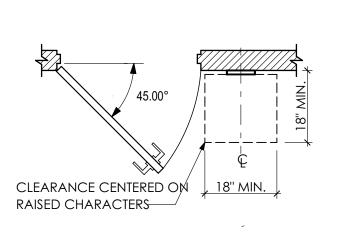
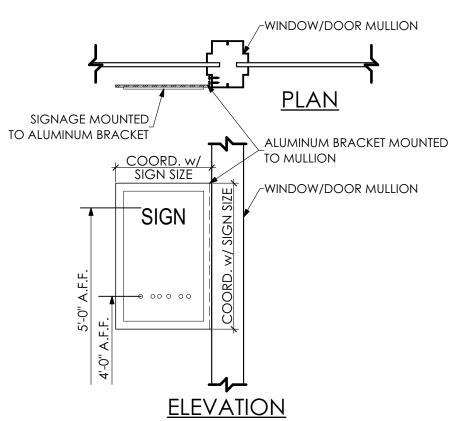


FIGURE 703.3.11 : LOCATION OF SIGNS AT DOORS



SIGN MOUNTING - STOREFRONT
SCALE: 1" = 1'-0"

KEY NOTES

GENERAL CONSTRUCTION

GENERAL CONSTRUCTION NOTE 1.50.01 G.C. TO PROVIDE TEMPORARY 8'-0" HIGH CHAIN-LINK FENCE AS SHOWN.

1.50.02 G.C. TO PROVIDE TWO (2) 8'-0" WIDE CHAIN LINK FENCE GATES WITH PADLOCK.

32 EXTERIOR IMPROVEMENTS

32.20 SITEWORK 32.20.01 EXCAVATE FOR CONSTRUCTION STAGING AREA. PROVIDE

MINIMUN 8" OF AASHTO #2A STONE. 32.92 TURF AND GRASSES | SPEC 329200

32.92.05 AT THE COMPLETION OF THE WORK, REMOVE STONE AND BACKFILL WITH CLEAN FILL AND SEED ENTIRE AREA, BY G.

BUILDING CODE SUMMARY

ACCESSORY USES TO THE MAIN USE

ASSEMBLY (UNCONCENTRATED)

BATHTUBS / SHOWERS

DRINKING FOUNTAINS

STORAGE / MECHANICAL AREAS

APPLICABLE CODES AND ORDINANCES 2018 IBC: ALL APPLICABLE CHAPTERS

15 SQ. FT. / PERSON (NET) 118.3 (119)

300 SQ. FT. / PERSON (GROSS) 21.5 (22)

2018 IEBC: ALL APPLICABLE CHAPTERS ANSI 117.1, 2017 EDITION: ALL APPLICABLE CHAPTERS ALL APPLICABLE SUB-CODES AND STANDARDS

PROJECT SCOPE:

PARTIAL RENOVATION RENOVATION OF EXISTING PREFABRIATED METAL WAREHOUSE INTO OFFICE SPACE,

BUILDING DESCRIPTION AND USE	OFFICE W/ PARTIAL MEZZANII	NE	
	IEBC 2018		
CLASSIFICATION OF WORK	CHAPTER 5, SECTION 507	LEVEL 3 RENOVATION	
	IBC 2018	REQUIRED	PROVIDED
USE AND OCCUPANCY	CHAPTER 3		B/S2 (NON SEPARATED) MIXED USE)
CONSTRUCTION TYPE	SECTION 602 AND TABLE 601		TYPE II-B
AUTOMATIC SPRINKLER SYSTEM	SECTION 903		NO
BUILDING HEIGHT	TABLE 504.3	75' MAX.	APPX. 31'-6"
BUILDING STORIES	TABLE 504.4	3 MAX.	2
floor area / Story	TABLE 506.2		
OPEN PERIMETER			
TOTAL FLOOR AREA PER STORY		42,991 SQ. FT. MAX. (B)	
THE BUILDING IS	SEPARATED INTO TWO DISTINCT BUILD	INGS BY AN EXISTING 2-HR FIR	E WALL.
BUILDING 1	LIMITED WORK IN THIS BUILDIN	NG.	
BASEMENT			11,071 SQ. FT.
FIRST FLOOR			12,757 SQ. FT.
SECOND FLOOR			12,757 SQ. FT.
BUILDING 2			
FIRST FLOOR			30,199 SQ. FT.
MEZZANINE AREA			3,415 SQ. FT.
TOTAL AREA (ENTIRE BUILDING / EXCLUDING MEZZANINES)			66,784 SQ. FT.
TABLE 1004.1	.2 MAXIMUM FLOOR AREA ALLOWA	NCES PER OCCUPANT - BUILD	ING 2
BUSINESS AREAS (MAIN USE)	21,979 SQ. FT. (GROSS)	150 SQ. FT. / PERSON (GRO	OSS) 146.5 (147)

	TOTAL OCC	CUPANCY - BUILDING 2	288
MEANS OF EGRESS	IBC 2018	REQUIRED	PROVIDED
means of egress sizing	SECTION 1005		
STAIRWAYS	SECTION 1005.3.1	0.3 INCHES PER OCCUPANT	SEE LIFE SAFETY PLANS
OTHER EGRESS COMPONENTS	SECTION 1005.3.2	0.2 INCHES PER OCCUPANT	SEE LIFE SAFETY PLANS
STAIRWAYS	SECTION 1009 & 1011		
STAIRWAY WIDTH	SECTION 1011.2	44" (36" IF OCC. < 50)	38" (MEZZ. OCC. < 50)
ACCESSIBLE STAIRWAY WIDTH	SECTION 1009.3	48"	N/A - NON-ACC. MEZZANI
AREA OF REFUGE	SECTION 1009.6	NO	N/A
EXTERIOR AREA FOR ASSISTED RESCUE	SECTION 1009.7	NO	N/A
MAXIMUM PATH OF COMMON EGRESS TRAVEL	SECTION 1006.2.1	75'	SEE LIFE SAFETY PLANS
MAXIMUM EXIT ACCESS TRAVEL DISTANCE	SECTION 1017 & TABLE 1017.2	250'	SEE LIFE SAFETY PLANS
MINIMUM CORRIDOR WIDTH	SECTION 1020.2	44"	SEE LIFE SAFETY PLAN
MAXIMUM DEAD END	SECTION 1020.4	50'	N/A
MINIMUM NUMBER OF EXITS	SECT.1006 & TABLE 1006.3.1	2	SEE LIFE SAFETY PLANS
PLUMBING SYSTEMS	IBC 2018	REQUIRED	PROVIDED
TABLE 2902.1MINIMUM NUMBER OF REQUIRED PL	UMBING FIXTURES BUILDING	G 2 - OCCUPANCY CLASSIFICA	TION: B (BUSINESS)
WATER CLOSETS - MALE	1 PER 40	8	16
WATER CLOSETS - FEMALE	1 PER 40	8	16
LAVATORIES - MALE	1 PER 200	2	12
LAVATORIES - FEMALE	1 PER 200	2	12

1,774 SQ. FT. (NET)

6,446 SQ. FT. (GROSS)

ENERGY CONSERVATION	IECC 2018	REQUIRED	PROVIDED
CLIMATE ZONE	SECT. C301 AND TAB. 301.1	PENNSYLVANIA - BERKS	COUNTY - 5A
TABLES C402.1.3 & C402.1.4 O	PAQUE THERMAL ENVELOPE INSU	LATION COMPONENT MINI	MUM REQUIREMENTS
ROOFS	R-VALUE	U-FACTOR	PROVIDED
INSULATION ABOVE ROOF DECK (EXISTING ROOF TO REMAIN PATCHING ONLY)	R-30ci	U-0.032	R-30 ci (EXISTING)
WALLS, ABOVE GRADE			
METAL FRAMED	R-13 + R-7.5ci	U-0.064	R-19 + R-7.5 ci
SLAB-ON-GRADE FLOORS			
UNHEATED SLABS	R-10 24" BELOW	F-0.54	R-10 24" BELOW
DOORS			
OPAQUE, NON-SWINGING	R-4.75	U-0.21	U-0.136 *
OPAQUE, SWINGING	_	U-0.37	U-0.16 0*

1 PER 500

SERVICE SINK

OPAQUE, SWINGING	-		U-0.3/	U-0.16 0 ³	ĸ
TABLE C402.4 BUILDING ENVELOPE FENESTRATION MAXIMUM U-FACTOR AND SHGC REQUIREMENTS					
FENESTRATION	U-FACTOR		ORIENTATION	SOUTH EAST WEST	NORTH
fixed fenestration	0.38))	PF < 0.2	0.40	0.53
OPERABLE FENESTRATION	0.45	SG	0.2 ≤ PF < 0.5	0.48 -	0.58
ENTRANCE DOORS (GLAZED)	0.77		PF <u><</u> 0.5	0.64	0.64
ENTRANCE DOORS (GLAZED)	0.77		PF ≤ 0.5	0.64	

CODE REQUIRED SIGNAGE - IBC 2018

○ ID OR POSTED OCCUPANT LOAD						
ID	SIGNAGE TEXT		SIZE	DUPLICATE BRAILLE TEXT	TACTILE TEXT	ISA
CS-1	EXIT/EXIT ACCESS (IN ADDITION TO ILLUMINATED SIGN)	IBC SECTION 1013	4"x6"	YES	YES	YES
CS-4	TOILET ROOM (MENS/WOMENS/UNISEX)	IBC SECTION 2902.4	6"x9"	YES	YES	NO
CS-5	FIRE EXTINGUISHER	IFC SECTION 906.6	3"x6"	YES	YES	NO

. ALL REQUIRED ACCESSIBILITY SIGNAGE SHALL FOLLOW THE INTERNATIONAL SYMBOL OF ACCESSIBILITY IN SIZE, COLOR, PROPORTIONS, AND TEXT (TACTILE AND BRAILE

TEXT REQUIREMENTS). ALL SIGNAGE SHALL FOLLOW IBC 2018, ICC A117.1-2009, AND 2010 ADA STANDARDS/REQUIREMENTS

B. GENERAL CONTRACTOR SHALL VERIFY SIGNAGE QUANTITIES. REFER TO LIFE SAFETY PLANS ON SHEETS A-003 AND A-004 FOR SIGNAGE LOCATIONS. GENERAL CONTRACTOR SHALL VERIFY/CONFIRM FINAL LOCATIONS OF ALL SIGNS WITH AUTHORITY HAVING JURISDICTION.

5. REFER TO SHEET A-005 FOR TYPICAL ACCESSIBILITY DETAILS. . SIGNAGE FOR RATED BARRIERS SHALL BE LOCATED WITHIN 15 FEET OF THE END OF EACH WALL OR PARTITION AND SPACED AT INTERVALS NOT EXCEEDING 30 FEET ALONG THE WALL OR PARTITION. THE LETTERING SHALL NOT BE LESS THAN 3 INCHES IN HEIGHT WITH A MINIMUM 3/8" STROKE IN A CONTRASTING COLOR.

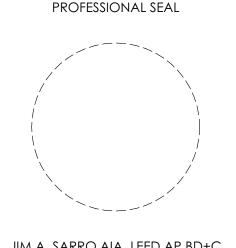
> SEE SHEET A-003 & 005 FOR SIGNAGE REQUIREMENTS



ARCHITECTURAL DESIGN INTERIOR DESIGN CODE ANALYSIS PLANNING SERVICES REPORTS AND STUDIES ENGINEERING SERVICES HISTORIC PRESERVATION

955 BERKSHIRE BLVD., SUITE 101 WYOMISSING, PA 19610 610.376.4927 www.MG-Architects.com

> PROJECT #: 22-0012



JIM A. SARRO AIA, LEED AP BD+C JIMS@MG-Architects.com

COUNTY OF BERKS REX LEVENGOOD, DIR. OF FAC. & OPS 633 COURT STREET READING, PA 19601 610.478.6201 X6220 RLEVENGOOD@CountyOfBerks.gov

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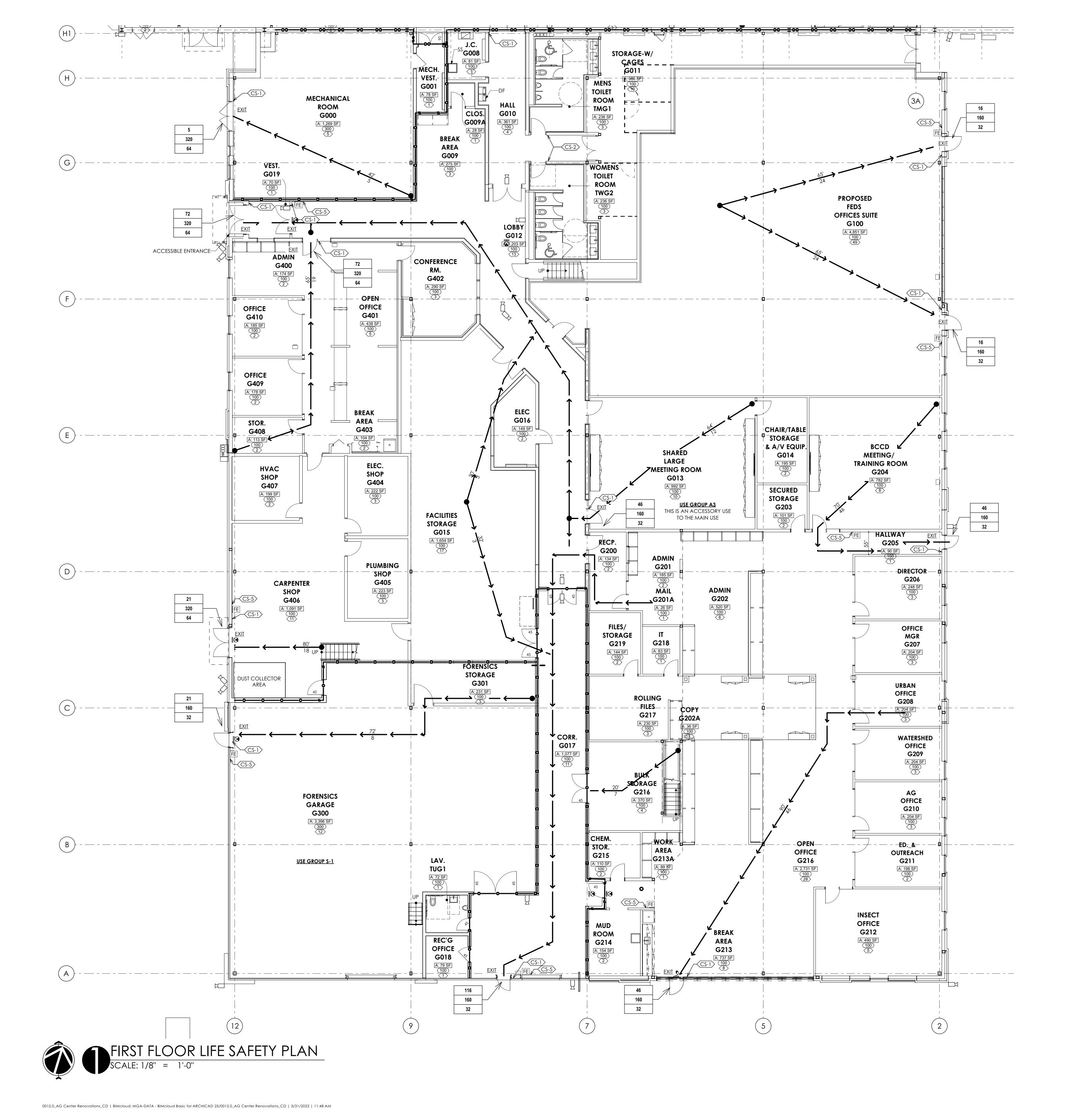
ROJ. MGR.: JIM SARRO P.M. e-MAIL: JIMS@MG-Architects.com DRAWN BY: DK, SG, BB, JS

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CONTRACTOR LAYDOWN AREA AND CODE SUMMARY

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LIFE SAFETY LEGEND

- EGRESS TRAVEL DISTANCE TO EXIT → EGRESS PATH OCCUPANTS ON EGRESS PATH EXIT CAPACITY - SCHEDULED EGRESS LOAD - MAX. DOOR/STAIR EGRESS CAPACITY - EGRESS WIDTH (INCHES) ------ <u>SMOKE PARTITION</u> **─!** — **!** — <u>30 MIN. FIRE-RATED</u> **──○──** <u>60 MIN. FIRE-RATED</u> <u>120 MIN. FIRE-RATED</u>



ACCESSIBLE ROUTE - <u>REQUIRED MINIMUM</u> MANEUVERING SPACE

	<u>ROOM TAG</u>
$OFFICE \longleftarrow$	——— ROOM NAME
101 ←	ROOM NUMBER
100SF <	ROOM SQUARE FEET
100 ←	OCCUPANT LOAD FACTO
2	OCCUPANT LOAD
FE ←	FIRE EXTINGUISHER
##	——— DOOR RATING

GENERAL SHEET NOTES

2. REFER TO SHEET A-005 FOR TYPICAL ACESSIBILITY DETAILS.

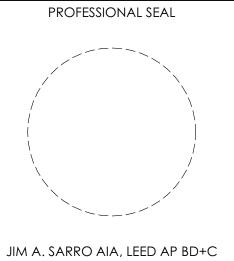
1. REFER TO SHEET A-002 FOR LIFE SAFETY LEGEND.



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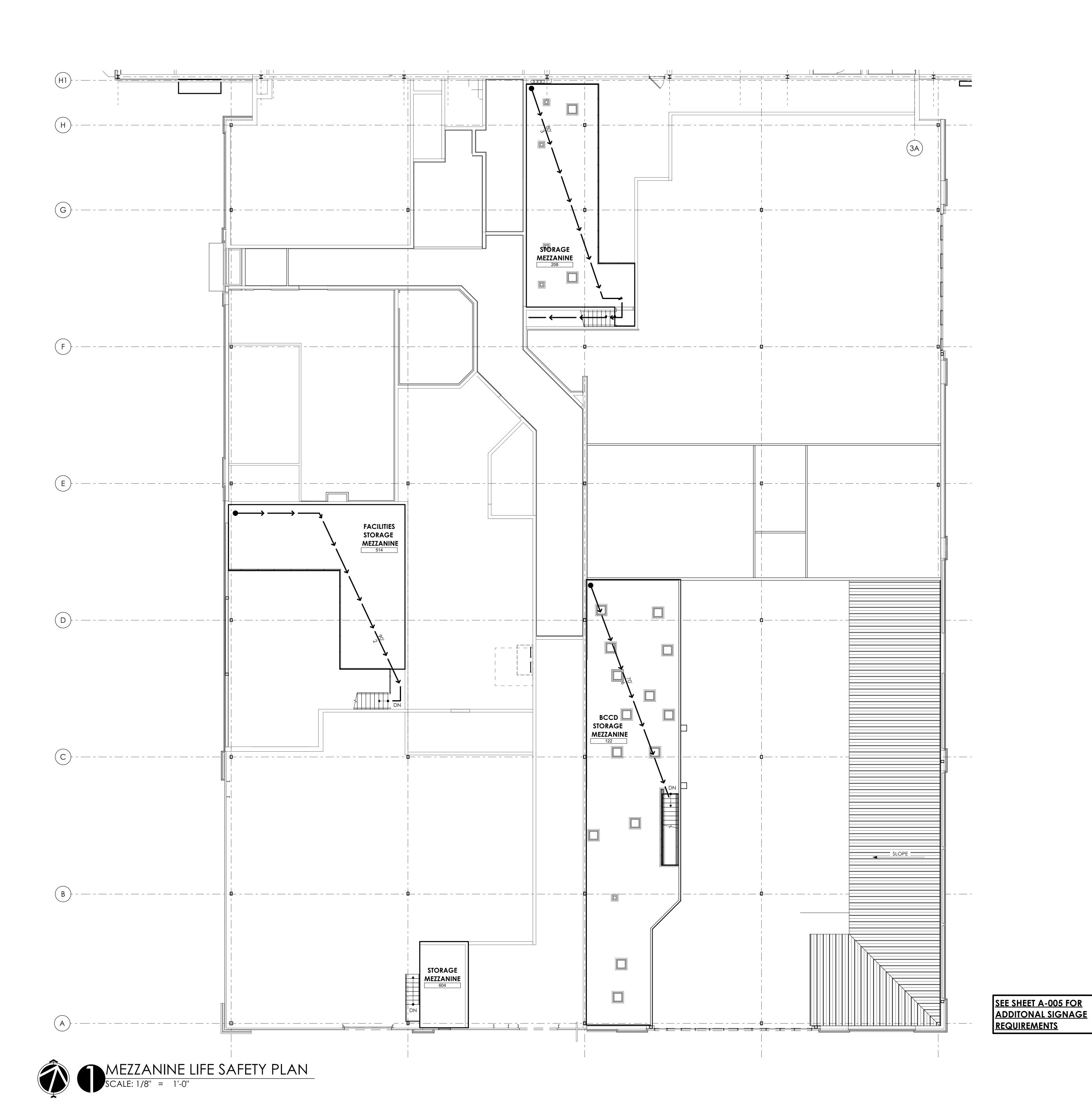
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e-MAIL: JIMS@MG-Architec	cts.com
WN BY: DK, SG, BB, JS	
NT PROJ #: -	

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FIRST FLOOR LIFE SAFETY PLAN

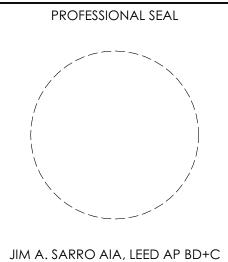


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FACILITY UPGRADES

-		
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	DESCRIPTION	DATE

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DRAWN BY: DK, SG, BB, JS

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GENERAL SHEET NOTES

1. REFER TO SHEET A-002 FOR LIFE SAFETY LEGEND.

2. REFER TO SHEET A-005 FOR TYPICAL ACESSIBILITY DETAILS.

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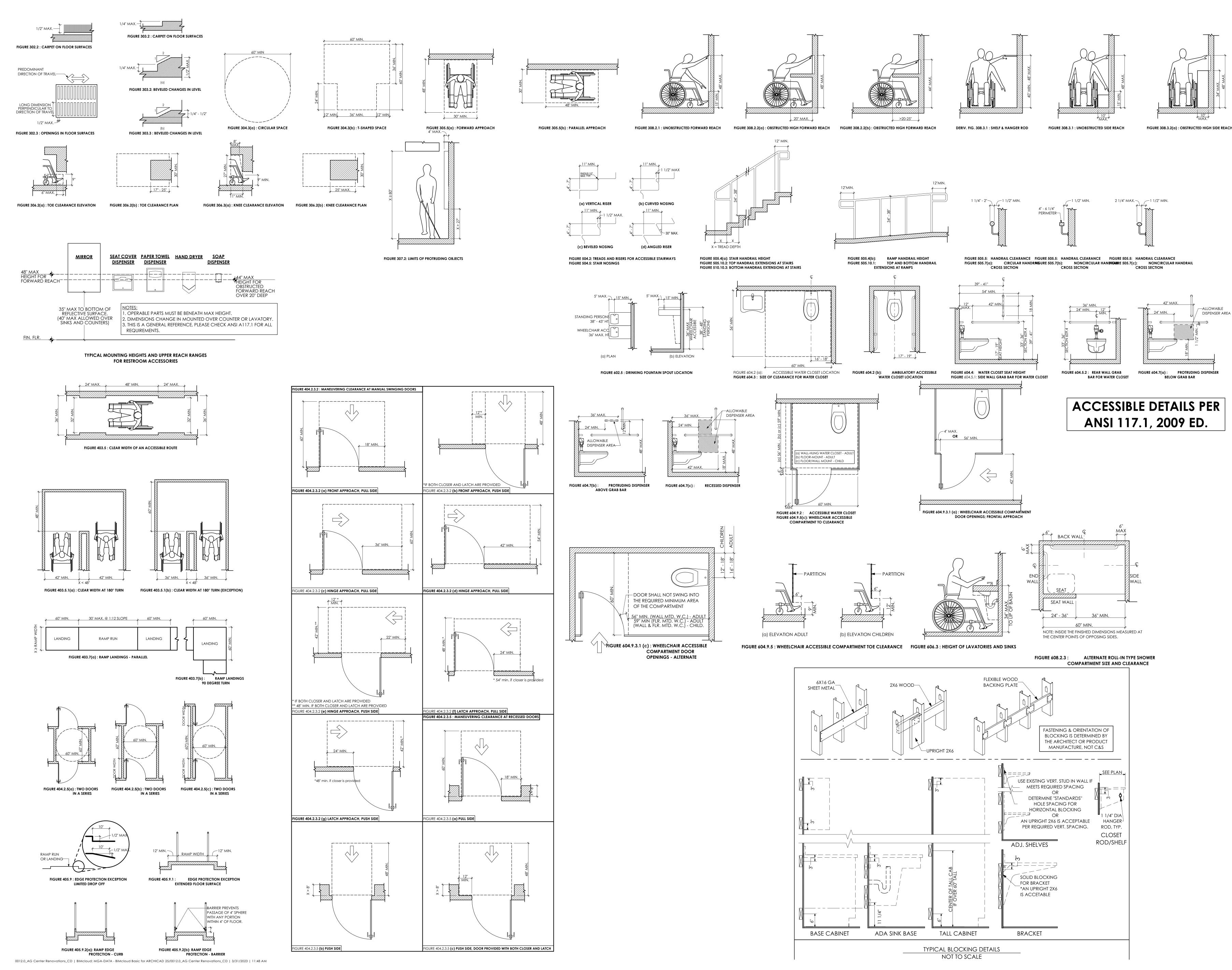
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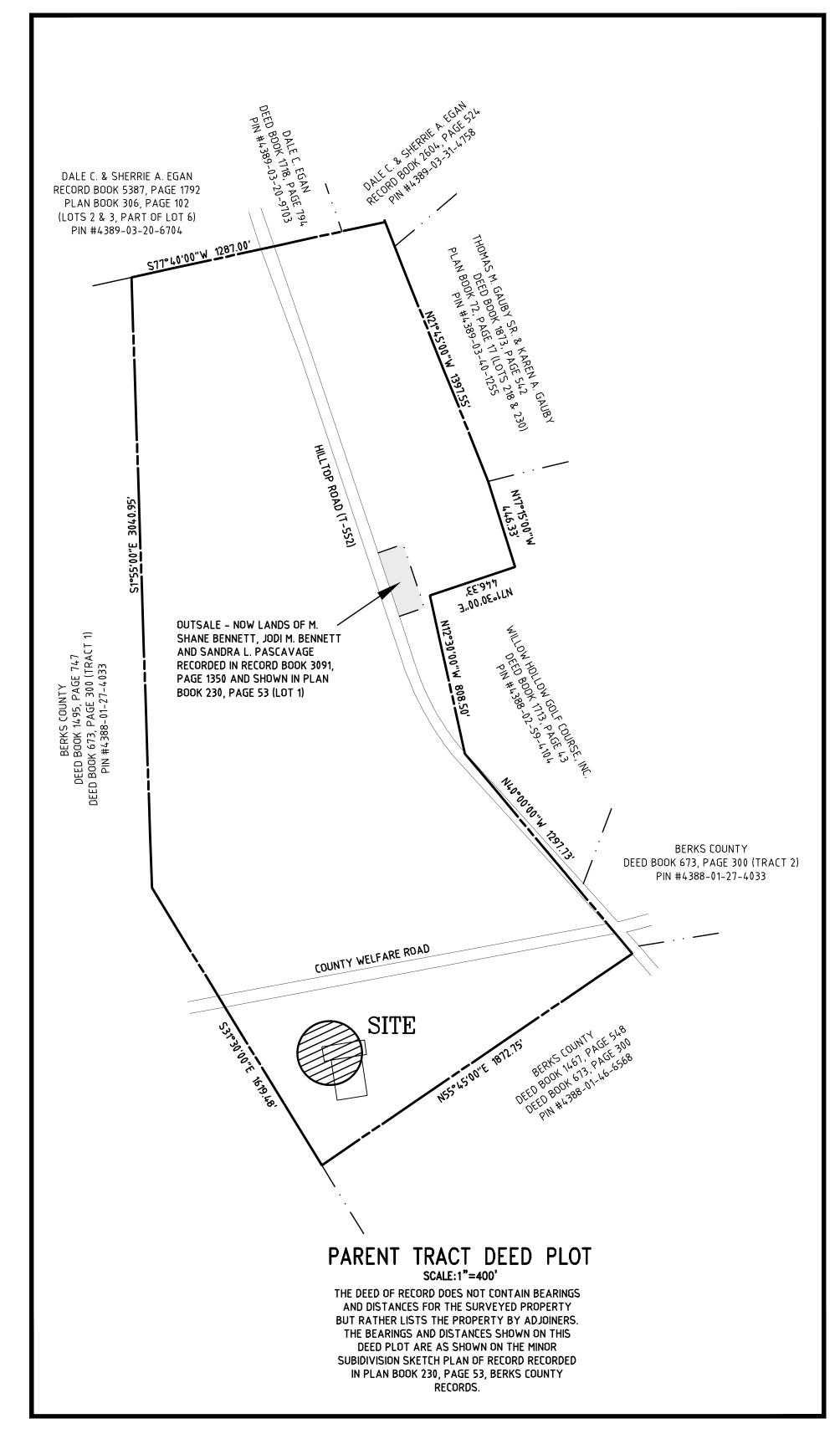
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A-005

DETAILS

BERKS AGRICULTURAL CENTER BUILDING EXPANSION

CONSTRUCTION DOCUMENTS BERN TOWNSHIP, BERKS COUNTY, PENNSYLVANIA



1. THESE PLANS HAVE BEEN PREPARED FOR LAND DEVELOPMENT PURPOSES ONLY.

- ADDITIONAL DATA MAY BE NECESSARY FOR CONSTRUCTION. 2. REFER TO THE LATEST ARCHITECTURAL DRAWINGS FOR COMPLETE DIMENSIONS AND CONSTRUCTION DETAILS FOR THE PROPOSED BUILDING AND ASSOCIATED
- 3. PURSUANT TO PA ACT 121 (2008), NOTIFICATION TO THE "ONE-CALL SYSTEM" IS REQUIRED AT LEAST THREE (3) WORKING DAYS PRIOR TO DISTURBING EARTH WITH ANY TYPE OF POWERED EQUIPMENT. CALL 1-800-242-1776.
- 4. THE CONTOURS AND TOPOGRAPHICAL INFORMATION SHOWN IS BASED ON A FIELD SURVEY PERFORMED BY STACKHOUSE BENSGINER INC. (SBI) IN JUNE OF 2018. 5. THE LOCATIONS OF UNDERGROUND UTILITIES HAVE BEEN SHOWN BASED ON FIELD SURVEY AND SURFACE OBSERVATION AND EXISTING DATA PROVIDED BY UTILITIES.
- STACKHOUSE BENSINGER INC. (SBI) MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. SBI DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THEIR EXACT LOCATION; THEREFORE SBI SHALL NOT BE RESPONSIBLE OR HELD LIABLE FOR ANY UTILITY NOT SHOWN OR SHOWN ON THE DRAWINGS IN A LOCATION OTHER THAN WHERE IT IS ACTUALLY DISCOVERED UPON EXCAVATION. SBI HAS NOT PHYSICALLY EXCAVATED AND LOCATED ANY UNDERGROUND LINES.
- 6. THERE ARE NO APPARENT SINKHOLES IN THE PROJECT AREA. 7. WHEREVER POSSIBLE, NATURAL FEATURES OF THE SITE SUCH AS LARGE TREES, WOODED AREAS AND NATURAL WATERCOURSES AND BODIES OF WATER SHALL BE
- PRESERVED DURING CONSTRUCTION. 8. ALL CONSTRUCTION SHALL BE SUBJECT TO THE REQUIREMENTS OF THE PENNSYLVANIA UNIFORM CONSTRUCTION CODE, AS ADOPTED BY THE MUNICIPALITY
- 9. ALL CONSTRUCTION IMPROVEMENTS SHALL BE LOCATED, DESIGNED, INSTALLED AND/OR CONSTRUCTED IN ACCORDANCE WITH ALL CURRENT STANDARDS SPECIFIED BY THE TOWNSHIP OF BERN. IF NOT COVERED, THEN PennDOT PUBLICATION 408-SPECIFICATIONS, PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION RC SERIES SHALL APPLY, UNLESS OTHERWISE NOTED ON THE
- 10. AS IT RELATES TO CONSTRUCTION ACTIVITY, AND AS NEEDED TO CONSTRUCT IMPROVEMENTS AS INDICATED ON THE PLAN(S), THE CONTRACTOR SHALL REMOVE AND/OR DISPOSE OF ANY BY-PRODUCTS, UNUSED STOCK, DEMOLITION DEBRIS, ETC. IN ACCORDANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL REGULATIONS **GOVERNING SUCH DISPOSAL**
- 11.THE CONTRACTOR SHALL PROVIDE E&SC CONTROL MEASURES AS NECESSARY. 12. STACKHOUSE BENSINGER INC. HAS NOT PROVIDED THE DESIGN OF SHORING TRENCHING, EXCAVATION, SUPPORT, SHIELDING OR BENCHING ASSOCIATED WITH THE INSTALLATION OF UTILITIES, GRADING, ETC. ON THE PLAN(S). IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF UTILITIES AND TO COMPLY WITH OSHA TRENCHING REQUIREMENTS.
- 13.IF UNFORESEEN SUBSURFACE OR GEOLOGIC CONDITIONS ARE ENCOUNTERED, INCLUDING BUT NOT LIMITED TO DUMPS, FOUNDATIONS, ARCHAEOLOGICAL ARTIFACTS OR FEATURES, SPRINGS, ROCK, SINKHOLES, ETC., THE CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY STACKHOUSE BENSINGER INC. AND
- 14. ALL EQUIPMENT OPERATED ON NEWLY PAVED SURFACES SHALL HAVE RUBBER WHEELS OR RUNNERS AND SHALL HAVE RUBBER, WOOD, OR SIMILAR PROTECTIVE PADS BETWEEN OUTRIGGERS AND THE ROADWAY SURFACE. IN THE EVENT THAT OTHER THAN RUBBER EQUIPPED MACHINERY IS AUTHORIZED FOR USE. THE PAVED SURFACE SHALL BE PROTECTED BY THE USE OF MATTING, WOOD, OR OTHER SUITABLE PROTECTIVE MATERIAL HAVING A MINIMUM THICKNESS OF (4) FOUR
- 15.NO OPENINGS WITHIN THE CLEAR ZONE OF AN OPEN ROAD, ACCESS DRIVE OR PARKING AREA SHALL BE ALLOWED AT THE END OF EACH WORKDAY. IF A TRENCH NEEDS TO BE LEFT OPEN AT THE END OF A WORKDAY, REFER TO PennDOT SPECIFICATIONS FOR ACCEPTABLE PROTECTION GUIDELINES FOR ALL OPENINGS.
- 16. WORK ZONE TRAFFIC CONTROL SHALL COMPLY WITH PUBLICATION 23 (MAINTENANCE MANUAL) AND PUBLICATION 213 (TEMPORARY TRAFFIC CONTROL
- 17. FINAL SEWER, WATER, GAS, ELECTRIC, TELEPHONE AND DATA SERVICE LOCATIONS AT THE BUILDING SHALL BE VERIFIED BY THE ARCHITECT OR MECHANICAL/ELECTRICAL ENGINEER PRIOR TO ANY SUCH CONSTRUCTION.

18. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BERN

- TOWNSHIP MUNICIPAL AUTHORITY OF THE TOWNSHIP OF BERN, BERKS COUNTY, CURRENT RULES AND REGULATIONS AND DEP REGULATIONS. IT IS RECOMMENDED THAT THE PERMIT(S) BE OBTAINED PRIOR TO ORDERING OF MATERIALS IN THE EVENT THE MUNICIPAL SPECIFICATIONS DIFFER FROM INFORMATION SHOWN ON THE DRAWINGS. THE CONTRACTOR MUST MEET THE
- MUNICIPALITY'S SPECIFICATIONS. 19. ALL LATERALS/BUILDING SEWERS SHALL HAVE A MINIMUM COVER OF FOUR (4) FEET AND A MINIMUM SLOPE OF 1/4" PER FOOT.
- 20.ALL WATER LINE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE READING AREA WATER AUTHORITY CURRENT SPECIFICATIONS OR THE TOWNSHIP OF BERN MUNICIPAL AUTHORITY RULES AND SPECIFICATIONS AND CURRENT DEP REGULATIONS.
- 21.FIRE HYDRANTS AND THEIR LOCATIONS WILL BE SUBJECT TO APPROVAL BY THE
- 22.ALL FIRE HYDRANT LATERALS SHALL INCLUDE A 6" GATE VALVE. 23.A MINIMUM 10' HORIZONTAL CLEARANCE SHALL BE PROVIDED BETWEEN WATER MAINS AND SANITARY SEWER MAINS, WHERE PRACTICAL
- 24.A MINIMUM 5' HORIZONTAL CLEARANCE BETWEEN WATER MAINS AND STORM SEWERS SHALL BE PROVIDED, WHERE PRACTICAL.

- 25.A MINIMUM 18" VERTICAL CLEARANCE BETWEEN WATER MAINS AND STORM SEWERS SHALL BE PROVIDED.
- 26.A MINIMUM 18" VERTICAL CLEARANCE BETWEEN WATER MAINS AND SANITARY SEWER MAINS SHALL BE PROVIDED 27.GAS, WATER AND SANITARY LATERALS TO HAVE A 10' HORIZONTAL DISTANCE
- FROM EACH OTHER. 28.ROOF DRAINS SHALL BE DIRECTED AWAY FROM STRUCTURES TO PREVENT INFILTRATION NEAR THE STRUCTURE FOUNDATION. THE OUTLETS SHALL HAVE
- POSITIVE DRAINAGE AWAY FROM THE STRUCTURE. 29.IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY COMPANY THE REMOVAL, RELOCATION,
- ABANDONMENT OR INSTALLATION OF ANY PUBLIC UTILITY LINES, POLES, VAULTS, ETC. (GAS, ELECTRIC, TELEPHONE, CABLE TV AND FIBER OPTIC COMMUNICATIONS). 30. THE CONTRACTOR(S) IS(ARE) RESPONSIBLE TO CONTACT EACH UTILITY COMPANY
- OR AUTHORITY AT LEAST 3 DAYS BEFORE ANY EXCAVATION OF EXISTING UTILITIES. PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL INVESTIGATE EXISTING UNDERGROUND UTILITY LOCATIONS, RESEARCH PUBLIC AND SITE UTILITY RECORDS, AND DIG TEST PITS IN AREAS TO THE EXTENT NECESSARY TO VERIFY EXISTING UTILITY DEPTHS AND LOCATIONS AND TO VERIFY THAT STORM DRAINAGE AND UTILITY SYSTEMS PIPE, EXCAVATION, FILLING AND GRADING MAY BE INSTALLED IN COMPLIANCE WITH ORIGINAL DESIGN AND REFERENCED

STANDARDS.

- IF THE CONTRACTOR DETERMINES THAT THE LOCATION OF EXISTING UTILITY LINES ARE NOT AS DEPICTED ON THE DRAWINGS (HORIZONTALLY OR VERTICALLY) OR THE ORIGINAL DESIGN IS IN CONFLICT WITH THE EXISTING UTILITIES, HE SHALI IMMEDIATELY NOTIFY THE DESIGN PROFESSIONAL OF SUCH CONFLICT. THE CONTRACTOR IS CAUTIONED NOT TO ORDER ANY MATERIALS OR PERFORM ANY FURTHER WORK UNTIL SUCH VERIFICATION AND/OR DESIGN PROFESSIONAL CLARIFICATION HAS BEEN PROVIDED. THE CONTRACTOR WILL BE REQUIRED TO REPAIR ALL DAMAGED UTILITY LINES AT HIS EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL REQUIRED MUNICIPAL
- 31.IF THE CONTRACTOR DETERMINES THAT STRUCTURES OR IMPROVEMENTS CANNOT BE MANUFACTURED OR CONSTRUCTED AS INDICATED ON THE DRAWINGS, OR IF THE DESIGN DRAWINGS INDICATE CONFLICTING INFORMATION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN PROFESSIONAL. THE CONTRACTOR IS CAUTIONED NOT TO ORDER ANY MATERIALS OR PERFORM ANY FURTHER WORK UNTIL SUCH VERIFICATION AND/OR DESIGN PROFESSIONAL CLARIFICATION HAS BEEN PROVIDED.
- 32. CONTRACTOR SHALL HAVE ALL PROPERTY LINES LOCATED BEFORE CONSTRUCTION COMMENCES. THE CONTRACTOR SHALL MAKE SURE NO CONSTRUCTION ACTIVITY OCCURS OUTSIDE PROPERTY LIMITS, UNLESS WITHIN DESIGNATED CONSTRUCTION EASEMENTS.
- 33. CONTRACTOR MUST CONFIRM BUILDING DIMENSIONS PRIOR TO ANY SUCH CONSTRUCTION. BUILDING DIMENSIONS AND DETAILS FOR EXTERIOR STEPS, RAILINGS, ETC. SHOULD BE TAKEN FROM THE ARCHITECTURAL PLANS. DO NOT USE THESE PLANS FOR BUILDING-RELATED CONSTRUCTION.
- 34. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES TO CONTROL SEDIMENT RUNOFF FROM THE AREA OF CONSTRUCTION TO INCLUDE COMPOST FILTER SOCK OR ROCK FILTERS, AS NECESSARY. ADDITIONAL E & SC MEASURES ARE TO BE PROVIDED IF DIRECTED BY THE OWNER, DESIGN ENGINEER OR THE TOWNSHIP PER THE PA DEP EROSION & SEDIMENT POLLUTION CONTROL
- 35. ALL PARKING STALLS SHALL BE DELINEATED BY 4" PAINTED WHITE LINES. ALL HANDICAP PARKING SYMBOLS, AISLE HATCHING AND SIGNS SHALL COMPLY WITH CURRENT ADA CONTRASTING COLOR VISIBILITY, DIMENSIONAL AND SIZE REQUIREMENTS AND SPECIFICATIONS.
- 36. ALL PAVING THICKNESSES SHOWN ARE THE COMPACTED THICKNESS. 37. ALL SIDEWALK DIMENSIONS ARE TAKEN FROM THE BACK OF THE CURB, UNLESS
- 38. ADJUSTMENT OF EXISTING WATER VALVES, CLEANOUTS, UTILITY BOXES AND COVERS, ETC. WITHIN NEW SIDEWALK IS INCIDENTAL TO THE SIDEWALK
- 39. ALL ADA ACCESS ROUTES, RAMPS AND PARKING AREAS SHALL BE CONSTRUCTED IN ACCORDANCE TO THE DIMENSIONS INDICATED ON THE PLANS AND DETAILS. THEY SHALL COMPLY WITH THE FOLLOWING GUIDELINES AS WELL AS ALL APPLICABLE BUILDING CODES FOR THIS PROJECT:
 - A. CROSS-SLOPES FOR RAMPS AND ACCESS ROUTES SHALL NOT
 - B. ALL CONCRETE SURFACES SHALL HAVE A SLIP-RESISTANT FINISH. C. RAMPS SHALL NOT EXCEED 1:12 SLOPE (8.3 PERCENT) AND SHALL NOT EXCEED A VERTICAL RISE OF 30 INCHES.
 - D. ACCESS ROUTES SHALL NOT EXCEED 1:20 SLOPE (5 PERCENT) AND SHALL NOT EXCEED A LONGITUDINAL LENGTH OF 200 FEET.
 - E. PASSENGER LOADING ZONES SHALL PROVIDE AN ACCESS AISLE AT LEAST 60 INCHES WIDE AND 20 FEET LONG ADJACENT AND PARALLEL TO THE VEHICLE PULL-UP SPACE AND SHALL NOT EXCEED
 - 2 PERCENT IN ALL DIRECTIONS. F. HANDRAILS SHALL BE INSTALLED ON BOTH SIDES OF RAMPS IF THE RAMP LENGTH EXCEEDS 6 FEET OR THE VERTICAL RISE EXCEEDS 6 INCHES. THE TOP HEIGHT OF HANDRAILS SHALL BE A MINIMUM OF

- 34 INCHES AND A MAXIMUM OF 38 INCHES. HANDRAILS ARE NOT REQUIRED ON CURB RAMPS.
- WHERE PROVIDED, THE MINIMUM INSIDE CLEARANCE BETWEEN HANDRAILS SHALL BE AS SPECIFIED ON THE DRAWINGS, EXCEPT IN NO CASE SHALL THE CLEARANCE BE LESS THAN 36 INCHES FOR RAMPS. LANDINGS THAT CHANGE DIRECTION SHALL MAINTAIN A CLEARANCE OF AT LEAST 60 INCHES BETWEEN HANDRAILS.
- GUARDS SHALL BE PROVIDED ALONG OPEN-SIDED WALKING SURFACES, INDUSTRIAL EQUIPMENT PLATFORMS, STEPS, RAMPS AND LANDINGS THAT ARE LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW. GUARDS SHALL FORM A PROTECTIVE BARRIER NOT LESS THAN THAN 42 INCHES IN HEIGHT REFER TO THE SECTION "GUARDS" IN THE BUILDING CODE FOR ADDITIONAL CONSTRUCTION REQUIREMENTS.

CONTRACTORS ARE RESPONSIBLE TO CONFIRM THESE REQUIREMENTS. IF DRAWING GRADES OR DIMENSIONS DO NOT MEET THESE REQUIREMENTS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN PROFESSIONAL PRIOR TO STARTING CONSTRUCTION OR ORDERING MATERIALS.

40.ALL GRADING SHALL PROMOTE POSITIVE DRAINAGE AWAY FROM THE BUILDING. 41.LOCATION OF LANDSCAPING WILL BE SUCH AS TO ENSURE NO INTERFERENCE WITH EXISTING OR PROPOSED SEWER LINES, WATER LINES, UTILITY LINES AND STORM DRAINAGE FACILITIES.



PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY PA ACT 121 REPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN

SERIAL NUMBER: 20181550064

NOTES:

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THE PENNSYLVANIA ACT

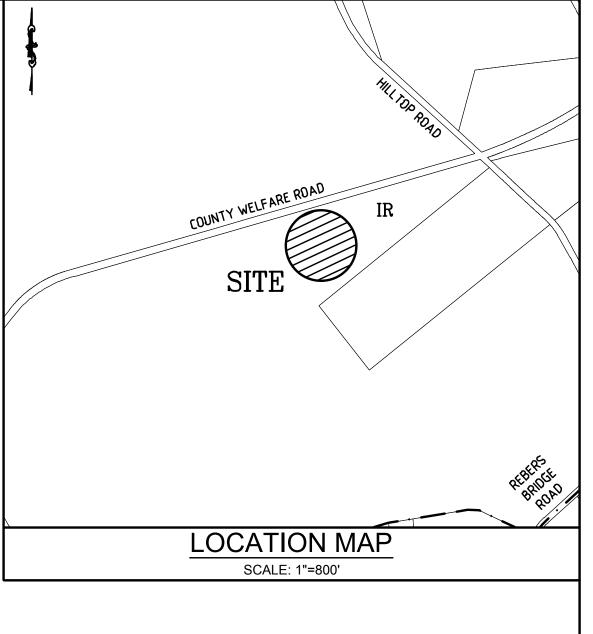
1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THE PENNSYLVANIA ACT

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THE PENNSYLVANIA ACT UNLESS OTHERWISE INDICATED). PA DNE-CALL NUMBER: 1-800-242-1776 OR 811 . ALL EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS AND MUST BE VERIFIED WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY CONSTRUCTION OR OPERATION BEING UNDERTAKEN ON THIS SITE. 3. ANY CONSTRUCTION OR OPERATION UNDERTAKEN ON THIS SITE MUST CONFORM TO ANY AND

ALL LOCAL, STATE, DEED OR OTHER RESTRICTIONS IN EFFECT AT THE TIME OF OPERATION.

BUCKEYE PARTNERS COMCAST CABLE COMMUNICATIONS IN LEESPORT BOROUGH WATER AUTHORITY MAW COMMUNICATIONS INC. METROPOLITAN EDISON COMPANY / FIRST ENERGY READING AREA WATER AUTHORITY READING REGIONAL AIRPORT AUTHORITY **VERIZON PENNSYLVANIA LL**® WESTERN BERKS WATER AUTHORITY

WINDSTREAM



SITE DATA

THE BERKS COUNTY BOARD OF COMMISSIONERS: KEVIN S. BARNHARDT, COMMISSIONER CHRISTIAN Y. LEINBACH, COMMISSIONER CHAIR READING PA 19601

SITE ADDRESS: 1261 COUNTY WELFARE ROAD LEESPORT, PA 19533 DEED BOOK VOLUME: 837, PAGE 546

SOURCE OF TITLE: BEING PART OF THE SAME PREMISES WHICH WILLIAM W. ESSICK, BY DEED DATED NOVEMBER 13, 1940 AND RECORDED IN THE OFFICE FOR THE RECORDER OF DEEDS, IN DEED BOOK VOLUME 837 PAGE 546, BERKS COUNTY RECORDS, GRANTED AND CONVEYED UNTO THE COUNTY OF

TAX MAP: 4388-01-27-4033

SOURCE OF DATUM: SITE PLAN PREPARED BY BOYD C. WAGNER, ORDER NO. 1681, DRAWING NO. A-1, DATED MARCH 15, 1973, ISSUED JULY 16, 1973

- 1. THE LOCATIONS OF UNDERGROUND UTILITIES HAVE BEEN SHOWN BASED ON FIELD SURVEY AND SURFACE OBSERVATION AND EXISTING DATA PROVIDED BY UTILITIES. STACKHOUSE BENSINGER INC. (SBI) MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. SBI DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION. THEREFORE, SBI SHALL NOT BE RESPONSIBLE OR HELD LIABLE FOR ANY UTILITY NOT SHOWN OR SHOWN ON THE DRAWINGS IN A LOCATION OTHER THAN WHERE IT IS ACTUALLY DISCOVERED UPON EXCAVATION. SBI HAS NOT PHYSICALLY EXCAVATED AND LOCATED ANY UNDERGROUND LINES.
- 2. THE PROPERTY SHOWN HERE IS LOCATED WITHIN A ZONE X, AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FLOOD INSURANCE RATE MAP PANEL NO. 42011C0344G, WITH AN EFFECTIVE DATE OF JULY 3, 2012.

TOTAL TRACT AREA: 160.7+/- ACRES DEVELOPMENT AREA: 0.078 ACRES (3400 S.F.)

ZONING DATA

IR (INSTITUTIONAL / RECREATIONAL DISTRICT) MINIMUM LOT AREA: 5 ACRES MINIMUM LOT WIDTH AT STREET LINE: 200 FEET 200 FEET **BUILDING LINE:** MINIMUM FRONT YARD: 100 FEET MINIMUM SIDE YARD 50 FEET MINIMUM REAR YARD: 50 FEET MINIMUM OPEN SPACE: 60 PERCENT

INTENDED USE: BUILDING ADDITION WATER SUPPLY: EXISTING, PUBLIC - NO NEW CONNECTIONS SANITARY SEWER DISPOSAL: EXISTING, PUBLIC - NO NEW CONNECTIONS

COUNTY RECORDER OF DEEDS OFFICE.

EXISTING ADA SPACES: 6 PROPOSED ADA SPACES: 1 TOTAL ADA PARKING SPACES: 7

MAXIMUM BUILDING HEIGHT:

NO. DATE REVISION

> REVISIONS CONSULTANT



STACKHOUSE BENSINGER INC LANDSCAPE ARCHITECTURE CIVIL ENGINEERING LAND PLANNING

MUNICIPAL CONSULTING SURVEYING 330 REVERE BOULEVARD SINKING SPRING, PA 19608 VOICE: (610) 777-8000 FAX: (610) 796-2983 www.stseinc.com

EMAIL: ssainc@stseinc.com THIS IS A COPY AND NOT THE ORIGINAL DRAWING. THE ORIGINAL ANY LIABILITY WHATSOEVER IS LIMITED TO THE ORIGINAL DRAWING OR LAST REVISION TO THE ORIGINAL DRAWING

PROJECT INFORMATION Muhlenberg Green 955 Berkshire Boulevard, Suite 101 Wyomissing PA 19610-1278

ॊ Berks Agricultural Center Building Expansion ALL PLANS LISTED IN THE PLAN LIST INDEX WILL BE RECORDED IN THE BERKS Bern Township Berks County Pennsylvania

COVER SHEET

PLAN STATUS: CONSTRI	JCTI	ON DOCUMENTS
ISSUE DATE:	2-2	2-2023
PROPERTY P.I.N.	43	88-01-27-4033
FILE NAME: 2018-035_CDOCS		
DRAWN BY: ESD		PLAN NO.:
CHECKED BY: AIO		
PLAN SCALE: 1"=10'		C-1

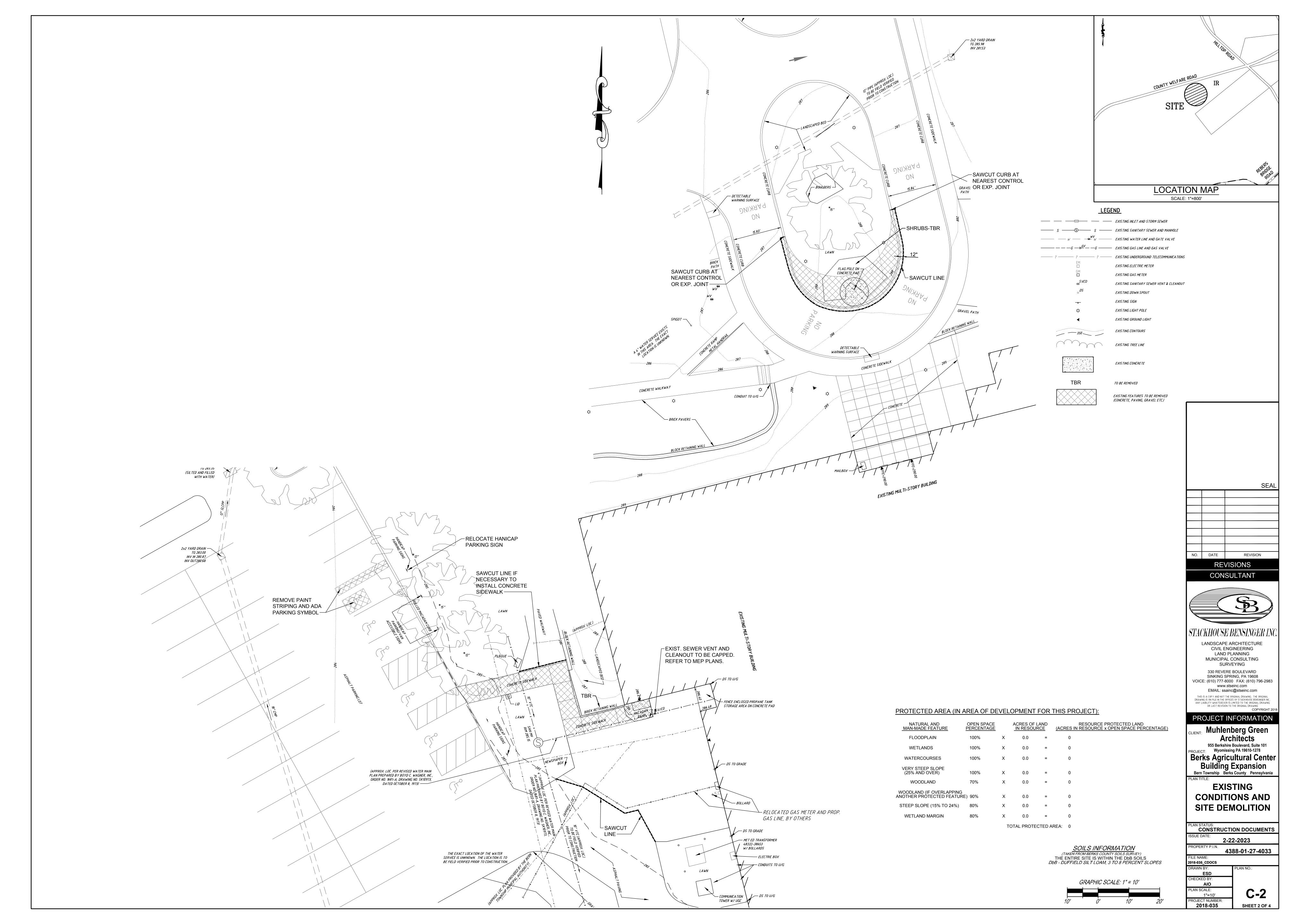
SHEET 1 OF 4

WAIVER NOTE: AT A MEETING ON SEPTEMBER 4, 2018, THE BERN TOWNSHIP BOARD OF SUPERVISORS APPROVED A WAIVER OF THE REGULAR LAND DEVELOPMENT PROCEDURES TO PERMIT THE

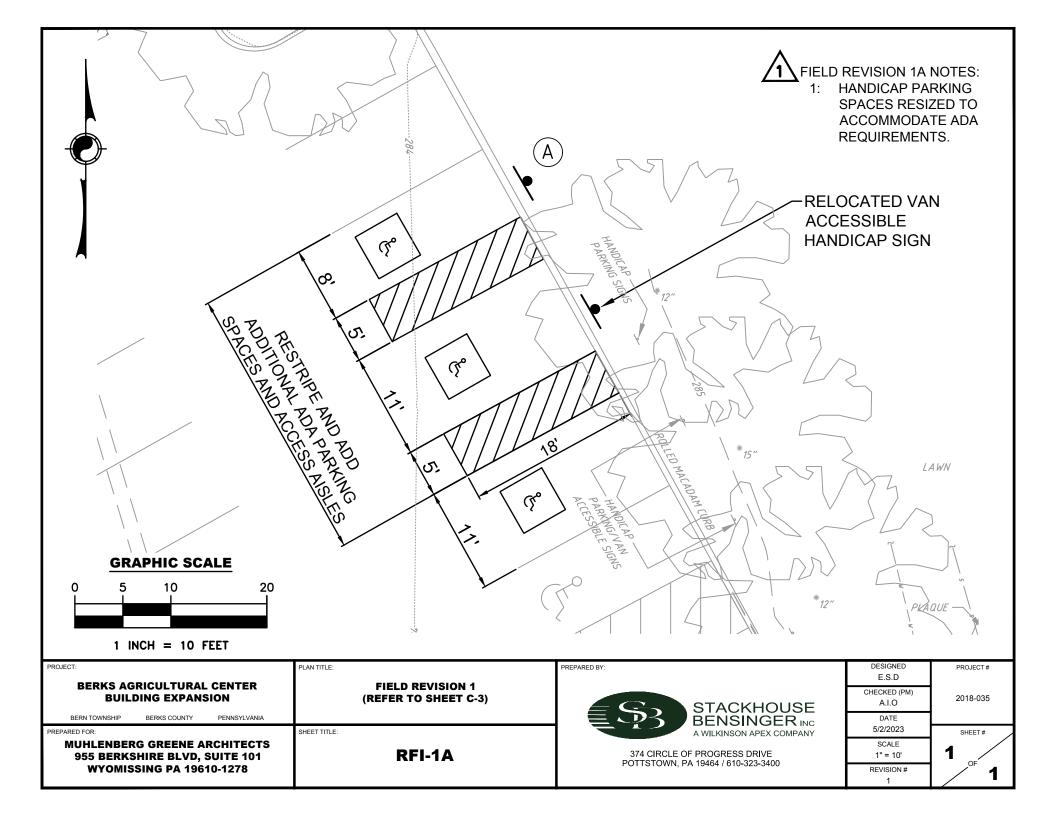
PLAN TO PROCEED AS A SKETCH PLAN FOR RECORD.

PLAN LIST INDEX PLAN TITLE PLAN NO. SHEET NO. COVER SHEET C-1.1 SHEET 1 OF 4 EXISTING CONDITIONS AND SITE DEMOLITION C-2.1 SHEET 2 OF 4 SITE LAYOUT, GRADING AND UTILITY SHEET 3 OF 4 C-3.1 SITE CONSTRUCTION DETAILS C-4.1 SHEET 4 OF 4

35 FEET









— EXPANSION JOINTS

- EXPANSION JOINT

AGAINST EURB

444 4 44

─ WELL COMPACTED SUBGRADE (MIN. 98%

ASTM D-698, UNLESS NOTED OTHEWISE

STANDARD PROCTOR DENSITY PER

IN THE SPECIFICATIONS)

SECTION

SAWEUTTING TO A DEPTH OF 1½" OR WITH A ½" RADIUS JOINT TOOL.

APPLY IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

NOTES:
1. ½" PREMOLDED BITUMINOUS EXPANSION JOINT MATERIAL SHALL BE INSTALLED AT 25"

INTERVALS, ADJACENT TO HANDICAP RAMPS AND AGAINST BUILDINGS AND EXISTING

3. SIDEWALK EDGES SHALL BE ROUNDED WITH 1/4" RADIUS EDGER.
4. SEAL ALL EXPANSION JOINTS WITH SELF-LEVELING, UV RESISTANT, EXTERIOR GRADE,

5. ALL SIDEWALK SURFACES SHALL HAVE A BROOM FINISH APPLIED PERPENDICULAR TO THE DIRECTION OF FOOT TRAFFIC PRIOR TO TOOLING THE JOINTS.

6. ALL SIDEWALK SURFACES SHALL RECEIVE AQUAPEL PLUS (OR APPROVED EQUAL) SEALER.

7. SEE DRIVEWAY ENTRANCE DETAIL FOR SIDEWALK CONSTRUCTION AT DRIVEWAY CROSSINGS.

CONCRETE FLAG POLE BASE

2. CONTRACTION/CONTROL JOINTS SHALL BE PROVIDED AT 5' INTERVALS BETWEEN EXPANSION

NON-PRIMING POLYURETHANE SEALANT MATCHING THE CONCRETE COLOR. SURFACE OF SEALANT

JOINTS, UNLESS NOTED OTHERWISE, AND SHALL BE FORMED USING DIVISION PLATES, BY

EXISTING EONERETE CURB —

(3300 PSI) 4' MIN. THICKNESS —

AASHTO NO. 57 COARSE

AGGREGATE, 4 MIN. DEPTH —

CONCRETE SIDEWALK.

TO BE FLUSH WITH SIDEWALK.

EXISTING CONCRETE CURB -

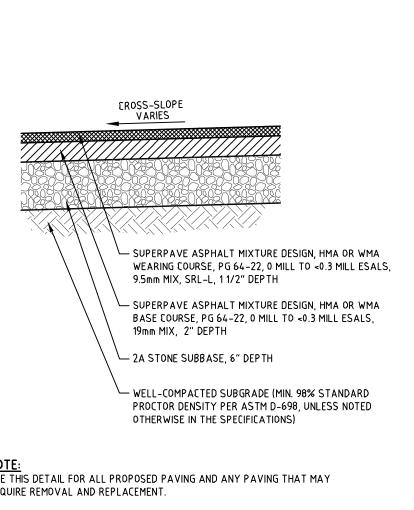
EXISTING PAVING —

4.5′ R.

EXPANSION JOINT

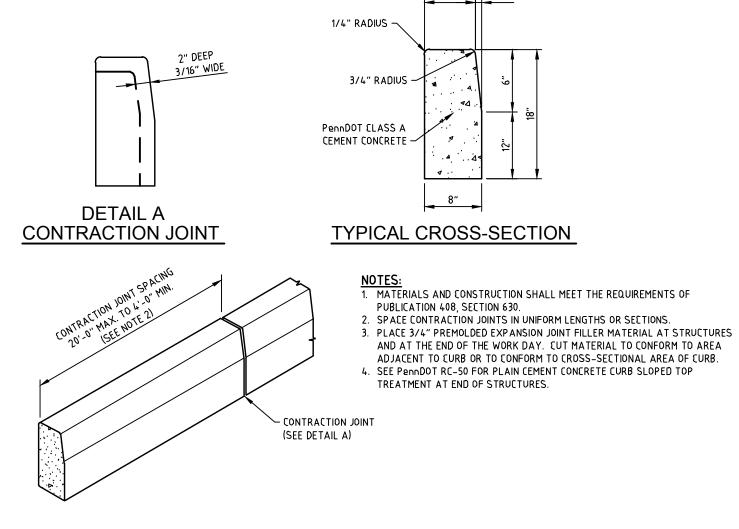
AGAINST CURB

1% MIN.

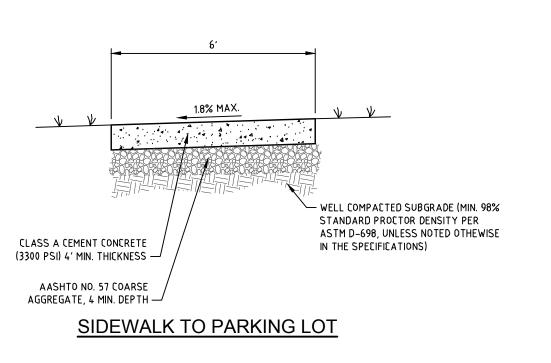


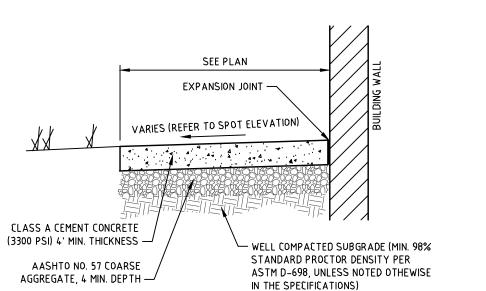
NOTE:
USE THIS DETAIL FOR ALL PROPOSED PAVING AND ANY PAVING THAT MAY REQUIRE REMOVAL AND REPLACEMENT.

PAVING CROSS-SECTION



CONCRETE CURB AT PLANTER



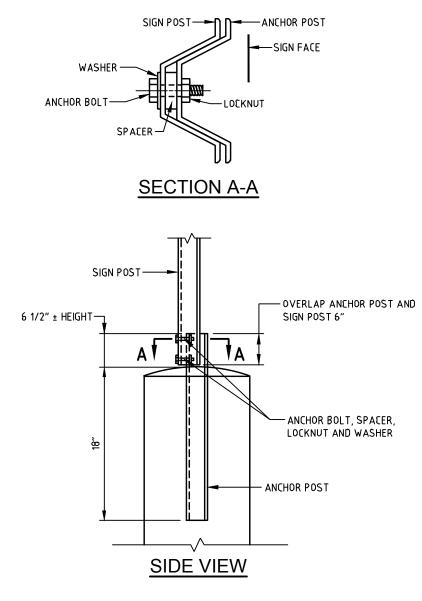


NOTES:

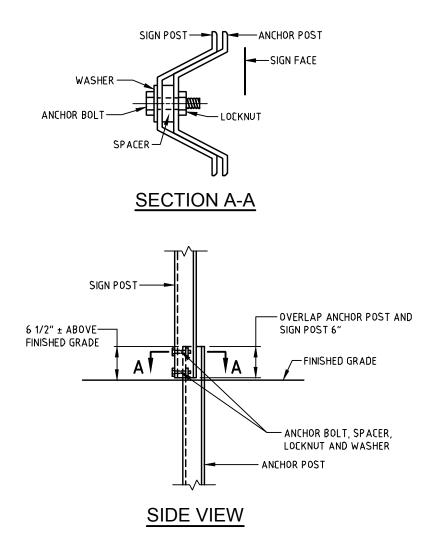
1. ½" PREMOLDED BITUMINOUS EXPANSION JOINT MATERIAL SHALL BE INSTALLED AT 25" INTERVALS, ADJACENT TO HANDICAP RAMPS AND AGAINST BUILDINGS AND EXISTING CONCRETE SIDEWALK. 2. CONTRACTION/CONTROL JOINTS SHALL BE PROVIDED AT 5' INTERVALS BETWEEN EXPANSION JOINTS, UNLESS NOTED OTHERWISE, AND SHALL BE FORMED USING DIVISION PLATES, BY SAWEUTTING TO A DEPTH OF 1%" OR WITH A 1/2" RADIUS JOINT TOOL. 3. SIDEWALK EDGES SHALL BE ROUNDED WITH 1/4- RADIUS EDGER.
4. SEAL ALL EXPANSION JOINTS WITH SELF-LEVELING, UV RESISTANT, EXTERIOR GRADE, NON-PRIMING POLYURETHANE SEALANT MATCHING THE CONCRETE COLOR. SURFACE OF SEALANT TO BE FLUSH WITH SIDEWALK. 5. ALL SIDEWALK SURFACES SHALL HAVE A BROOM FINISH APPLIED PERPENDICULAR TO THE DIRECTION OF FOOT TRAFFIC PRIOR TO TOOLING THE JOINTS.

6. ALL SIDEWALK SURFACES SHALL RECEIVE AQUAPEL PLUS (OR APPROVED EQUAL) SEALER. APPLY IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

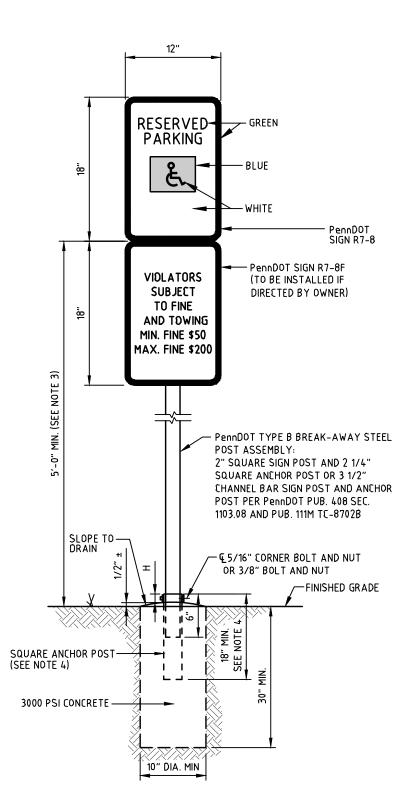
CONCRETE SIDEWALK



CHANNEL BAR POST ANCHOR



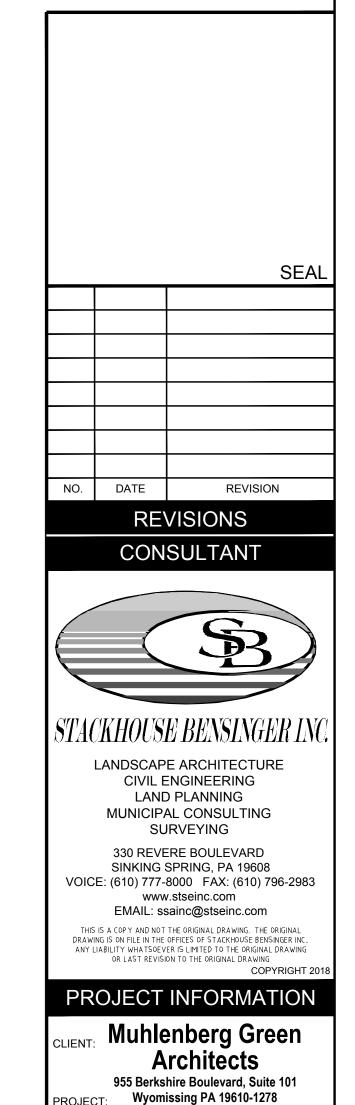
CHANNEL BAR POST INSTALLATION



NOTES:

1. ALL SIGN PAINT TO BE REFLECTORIZED. 2. SIGN MOUNTING HEIGHT IS SUBJECT TO APPROVAL BY STATE AND LOCAL INSPECTORS. 3. TOP OF CONCRETE BASE MAY BE BURIED 3"-4" BELOW FINISHED GRADE (30" BASE STILL REQUIRED AND ANCHOR POST LENGTH MUST BE INCREASED TO EXTEND APPROXIMATELY 1" - 2" ABOVE FINISHED GRADE). 4. FOR SQUARE POST H=1" MAX., FOR CHANNEL BAR POST H=6 1/2" (SEE CHANNEL BAR POST ANCHOR DETAIL)

> PLAN SYMBOL (A) SIGN IDENTIFICATION AND SIGN POST INSTALLATION



Berks Agricultural Center Building Expansion

Bern Township Berks County Pennsylvania

SITE CONSTRUCTION

DETAILS

LAN STATUS:
CONSTRUCTION DOCUMENTS

2-22-2023

2018-035_CDOCS

ESD

AIO

PLAN SCALE: NO SCALE PROJECT NUMBER: 2018-035

4388-01-27-4033

SHEET 4 OF 4

GENERAL NOTES:

- DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO VERIFY ALL DIMENSIONS, ELEVATIONS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION. SEE ARCH'L DWG'S FOR ALL OTHER
- 2. VERIFY ALL EXISTING CONDITIONS AND NOTIFY STRUCTURAL ENGINEER OF ANY DISCREPANCIES.

DIMENSIONS, DETAILS, LAYOUT, ETC..

- 3. (N) DENOTES NEW
- 4. *(E) DENOTES EXISTING*
- 5. G.C. TO VERIFY EXIST. BLDG AND FND CONDITIONS AND PROVIDE FINDINGS TO ENGINEER FOR EVALUATION PRIOR TO ANY NEW WORK.
- COORD. ALL WORK DIM'S ETC. SHOWN ON THESE DRAWINGS WITH ARCH'L DWG'S. NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

FOUNDATION NOTES:

- 1. FOUNDATION SOIL BEARING PRESSURE 3000 PSF. (ASSUMED, TO BE FIELD VERIFIED)
- 2. FOUNDATIONS SHALL BE PLACED ON VIRGIN SOIL OR STRUCTURAL FILL AT ELEVATIONS INDICATED ON DRAWINGS.
- 3. ALL STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY OF 95% OF THE MAXIMUM MODIFIED PROCTOR DENSITY AS DEFINED BY ASTM D-1557.
- 4. THE SOILS ENGINEER SHALL APPROVE ALL BEARING STRATA PRIOR TO PLACEMENT OF CONCRETE FOOTINGS.
- 5. NO GEOTECHNICAL REPORT AVAILABLE AT TIME OF DESIGN. 3000 PSF ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. CONTRACTOR IS TO VERIFY SOIL BEARING PRESSURE AND INFORM ENGINEER IF ACTUAL CONDITIONS DO NOT MEET OR EXCEED ASSUMED VALUE. CONTRACTOR TO COORDINATE GEOTECHNICAL REQUIREMENTS WITH PROJECT DRAWINGS INCLUDING ANY AND ALL REQUIRED SUBSURFACE SOIL PREPARATION, MODIFICATIONS, IMPROVEMENTS OR REPLACEMENTS.

MASONRY NOTES:

1. MATERIALS:

CONCRETE MASONRY UNITS	ASTM C90 GRADE N
MORTAR	(MIN. COMP. STRENGTH = 1900 PSI) ASTM C270 TYPE M OR S
GROUT	(MIN. COMP. STRENGTH = 2500 PSI) ASTM C476
GROUT	(MIN. COMP. STRENGTH = 3000 PSI)

- 2. MASONRY CONSTRUCTION SHALL CONFORM TO "BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES" AND "SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF LOAD-BEARING CONCRETE MASONRY" AS PUBLISHED BY THE NATIONAL CONCRETE MASONRY ASSOCIATION.
- 3. ALL MASONRY BEARING BENEATH STEEL COLUMN, BEAM AND LINTEL SUPPORTS SHALL HAVE THREE COURSES OF CMU FILLED WITH CONCRETE GROUT OR SHALL BE 100% SOLID CMU, UNLESS NOTED OTHERWISE.
- 4. ALL HORIZONTAL WALL REINFORCING SHALL BE TRUSS TYPE, GALVANIZED REINFORCING SPACED AT 16" O.C. VERTICALLY. AT ALL CORNERS AND INTERSECTIONS HORIZONTAL WALL REINFORCING SHALL BE FULLY LAPPED WITH TRUSS TYPE, GALVANIZED CORNERS AND TEES.
- 5. PROVIDE MASONRY ANCHORS AT 1'-4" O.C. MAXIMUM,SET ON COURSING AND WELD TO ALL BEAMS AND COLUMNS ABUTTING OR EMBEDDED IN MASONRY.
- 6. PROVIDE WALL CONTROL JOINTS @ 30'-0" MAX O.C., WITHIN 10'-0" OF ALL CORNERS, AND ON ONE SIDE OF ALL LARGE OPENINGS. COORD. LOCATION WITH ARCH. ELEVATIONS. FILL WITH BACKER ROD AND SEALENT PER ARCH'L SPECS.

CONCRETE NOTES:

1.	MATERIALS:				
	CONCRETE SLAB ON GRADE	4000	PSI @	28	DAYS
	ALL OTHER CONCRETE	3000	PSI @	28	DAYS
	REINFORCING STEEL	ASTM	A615,	GRA	DE 60
	WELDED WIRE FABRIC	ASTM	A185		

- 2. REINFORCED CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE ACI 318,
- 3. HORIZONTAL REINFORCING BARS IN WALLS AND FOOTINGS SHALL BE CONTINUOUS AROUND CORNERS.
- 4. REINFORCING BARS SHALL BE LAPPED WITH A MINIMUM OF 36 BAR DIAMETERS AT SPLICES AND WELDED WIRE FABRIC SHALL BE LAPPED A MINIMUM OF 6 INCHES UNLESS NOTED OTHERWISE ON DRAWINGS.
- 5. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT:
 CONCRETE CAST AGAINST EARTH & PERMANENTLY EXPOSED 3"
 CONCRETE EXPOSED TO EARTH OR WEATHER
 #5 & SMALLER
 1½"
 - #5 & SMALLER 1½"
 #6 & LARGER 2"

 CONCRETE NOT EXPOSED TO WEATHER OR GROUND

 SLABS AND JOISTS 34"

 BEAMS AND WALLS 1½"

 COLUMNS AND PILASTERS 2"

 SLABS ON GRADE 2" MAX. (TOP)
- 6. MINIMUM EMBEDMENT LENGTH SHALL BE 24 BAR DIAMETERS UNLESS OTHERWISE NOTED.
- 7. ALL CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR-ENTRAINED 4%-6%.
- 8. ALL REINFORCING SHALL BE SUPPORTED ON REINF. CHAIRS OR CONCRETE MASONRY UNITS.
- 9. ALL REINFORCING SHALL BE TIED AND SET IN PLACE PRIOR TO PLACING CONC.
- 10. CONCRETE SHALL NOT BE PLACED ON WET OR FROZEN SUBSTRATE.

 11. CONCRETE SHALL BE PLACED ONLY AFTER INSPECTION AND APPROVAL
- 11. CONCRETE SHALL BE PLACED ONLY AFTER INSPECTION AND APPROVAL OF SUBSTRATE FORM WORK, REINFORCING, AND EMBEDMENTS BY TOWNSHIP ENGINEER OR FIELD REPRESENTATIVE.
- 12. CONCRETE SHALL BE TESTED AT A MINIMUM FOR COMPRESSIVE STRENGTH, SLUMP AND AIR ENTRAINMENT FOR EACH DAY'S PLACEMENT AND FOR EACH FIFTY (50) CUBIC YARDS PLACED DURING A DAY
- 13. ALL REINF. DETAILS SHALL CONFORM TO THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI 315) UNLESS DETAILED ON THE STRUCTURAL DRAWINGS

STEEL ROOF DECK NOTES:

- 1. DECK SHALL BE GALVANIZED BY UNITED STEEL DECK OR EQUAL WITH RESPECT TO LOAD CARRYING CAPACITY, DEFLECTION, AND U.L. LABEL. SUBMIT DATA TO STRUCTURAL ENGINEER.
- 2. DECK SHALL BE 1½"-20 GA. MINIMUM, TYPE-B.
- 3. DECK INSTALLATION TO BE IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 4. ALL BEAMS TO HAVE %"Ø PUDDLE WELDS AT 12" O.C. (MAX). FASTEN SIDE LAPS WITH 1½" SEAM WELDS OR #10 SELF TAPPING SCREWS AT 30" O.C. (MAX). HEADED STUDS SHALL BE INSTALLED BY WELDING THROUGH THE METAL DECK. REMOVE FERRULES FROM THE DECK BEFORE CONCRETE IS PLACED.
- 5. INSTALLATION TO BE 3 SPAN CONTINUOUS.
- 6. PROVIDE 6" WIDE, 20 GA. BUTT STRIP PLATE (TACK IN PLACE) AT ALL DECK "BUTT" CONDITIONS OR CHANGE IN DECK DIRECTION, WHERE REQUIRED.

STRUCTURAL STEEL NOTES:

1. MATERIALS:

BEAMS	ASTM A992,	GRADE 50
LINTELS AND ANGLES	ASTM A36	
TUBE/HSS STEEL	ASTM $A-500$,	GRADE B
PIPE COLUMN	ASTM A53,	GRADE B
ANCHOR BOLTS	ASTM A307	
HIGH-STRENGTH BOLTS	ASTM A325	
WELDING ELECTRODES	ASTM A233,	CLASS E70

- BEAM-TO-BEAM AND BEAM-TO-COLUMN CONNECTIONS SHALL BE AISC STANDARD FULL DEPTH DOUBLE ANGLE CONNECTIONS. WHERE REACTIONS EXCEED MINIMUM CONDITIONS, THE APPROPRIATE CONNECTION SHALL BE DETERMINED BY FABRICATOR (CONTRACTOR).
- 3. ALL MAJOR CONNECTIONS SHALL BE HIGH—STRENGTH FRICTION BOLTS OR WELDS OF EQUAL STRENGTH. ANCHOR BOLTS SHALL BE UNFINISHED BOLTS.
- 4. ALL COLUMNS TO BE PROVIDED WITH 3/4" THICK CAP PLATES, AS REQ'D.
- 5. STEEL WORK SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISC SPECIFICATIONS.
- 6. ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY USING E70XX ELECTRODES.
- 7. SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO ANY FABRICATION AND ORDERING. SHOP AND ERECTION DRAWINGS MUST SHOW ALL SHOP AND FIELD WELDS.
- 8. STEEL STAIRS WILL BE A "DELEGATED DESIGN" AND SHALL BE DESIGNED/DETAILED BY CONTRACTOR. SUBMIT SHOP DWG'S & CALCULATIONS (SIGNED/SEALED) FOR REVIEW AND APPROVAL.
- 9. PROVIDE MASONRY ANCHORS AT 1'-4" O.C. MAXIMUM, SET ON COURSING AND WELD TO ALL BEAMS AND COLUMNS ABUTTING OR EMBEDDED IN MASONRY.
- 10. ALL STEEL TO RECEIVE ONE COAT OF SHOP PRIMER, FINAL FINISH TO BE COORDINATED WITH OWNER, U.N.O. ALL CANOPY STEEL, CONNECTIONS, ETC TO BE GALVANIZED, G60 COATING MINIMUM.
- 11. FOR ALL ARCH'L EXPOSED STEEL (HANGERS, PLATES, ETC.) REMOVE ALL BURRS, ETC. AND GROUND ALL WELDS SMOOTH.

12.	LOOSE	LINTELS	TO	BE	AS	FOLLOWS:	
<u>SPAN</u>							

HOLLOW CORE PLANK (H.C.P.) NOTES:

1. UNLOADING AND ERECTION BY CONTRACTOR.

- 2. G.C. TO PROVIDE FREE ACCESS AT JOB SITE FOR DELIVERY INCLUDING TEMPORARY ROADWAYS.
- 3. H.C.P. MUST BE LIFTED WITH SLINGS UNLESS NOTED OTHERWISE. DO NOT LIFT PLANKS IN MIDDLE. SEE MANUF'S INSTRUCTIONS FOR HANDLING AND STORAGE.
- 4. USE BEARING STRIPS UNDER ENDS OF H.C.P. BEARING ON MASONRY.
- 5. SEALANT BACKER ROD FURNISHED BY H.C.P. MANUFACTURES AND INSTALLED BY CONTRACTOR.
- 6. LEVEL PLANK BY JACKING THE UNDERSIDE OF THE PLANK AND GROUTING THE JOINTS. REMOVE JACKS THE FOLLOWING DAY.
- 7 OPOLITING OF LONGITUDINAL PLANK JOINTS BY CONTRACTOR
- 7. GROUTING OF LONGITUDINAL PLANK JOINTS BY CONTRACTOR.
- 8. GROUTING OF H.C.P. BUTT JOINTS (IF REQUIRED) BY CONTRACTOR.
- 9. GROUTING OF H.C.P. END CELLS (IF REQUIRED) BY CONTRACTOR.
- 10. CAULKING OF UNDERSIDE JOINTS (IF REQUIRED) BY CONTRACTOR.
- 11. FEATHERING OF TOP SIDE GROUT JOINTS (IF REQUIRED) BY CONTRACTOR.12. ALL PLANK ON THIS LAYOUT ARE 4'-0" WIDE UNLESS NOTED OTHERWISE.
- 13. ANY TOPPING, MESH, AND DRILLING OR CUTTING OF HOLES 10" SQUARE OR LESS IS BY OTHERS.
- 14. NO PRESTRESSING STRAND AND/OR REINFORCING SHALL BE CUT IN FIELD UNLESS GRANTED PRIOR APPROVAL BY H.C.P. MANUFACTURERS. ALSO SEE GENERAL
- 15. NO WALLS, PIPE, CONDUIT OR OTHER OBJECTS TO EXTEND ABOVE BEARING LEVEL
- OF PRECAST PLANKS UNTIL PLANKS ARE IN PLACE.
- 16. ALL TRADES ARE TO REMAIN OFF DECK AREAS UNTIL FIELD CREWS HAVE FINISHED ERECTING, LEVELING, GROUTING AND ANY OTHER FINISHING THAT MAY BE REQUIRED.
- 17. CONTRACTOR TO PROVIDE H.C.P. MANUFACTURE WITH FIELD DIMENSIONS AND AS-BUILT CONDITION INFO, AS REQUIRED.
- 18. ALL MASONRY SURFACES FOR H.C.P. BEARING MUST BE SOLID.

INSTRUCTIONS FOR DRILLING HOLES IN PLANK.

- 19. FOR APPLICATIONS OF CERAMIC OR QUARRY TILE OVER PRECAST FLOOR SYSTEMS, IT IS RECOMMENDED THAT A CLEAVAGE MEMBRANE OF EITHER 16 LB ROOFING FELT OR 4 MIL POLYETHYLENE FILM BE PLACED PRIOR TO APPLICATION OF THE MORTAR BED. REFER TO TILE MANUFACTURER FOR SPECIFIC INSTRUCTIONS.
- 20. SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO ANY FABRICATOR AND ORDERING.
- 21. DESIGN LIVE LOAD 125 PSF.

METAL STUD FRAMING NOTES:

- 1. COLD FORMED FRAMING SIZES/GAUGES ARE PROVIDED ON DRAWINGS FOR "BASIS OF DESIGN"/BIDDING. COLD FORMED FRAMING SPECIALTY DESIGNER TO PERFORM DESIGN OF SYSTEM INCLUDING ANY SUBSTITUTIONS AS APPLICABLE.
- 2. COLD FORMED STEEL STUDS SHALL BE DESIGNED IN ACCORDANCE WITH THE LATEST AISC SPECIFICATION FOR THE DESIGN OF COLD FORMED STRUCTURAL MEMBERS ASSUMING A MINIMUM YIELD STRENGTH OF 40 KSI.
- COLD FORMED STEEL STUDS SHALL BE INSTALLED AS PER DIETRICH INCORPORATED OR APPROVED EQUAL. TEMPORARY BRACING SHALL BE PROVIDED.
- 4. USE MINIMUM OF THREE STUDS AT THE CORNER OF ALL EXTERIOR WALLS.

AND REMAIN IN PLACE UNTIL WORK IS COMPLETELY STABILIZED.

- 5. USE MINIMUM OF THREE STUDS AT THE INTERSECTION OF ALL LOAD BEARING WALLS (EXTERIOR/OR INTERIOR).
- 6. CONNECT ALL WALL STUDS ADJACENT TO STEEL COLUMNS WITH SELF TAPPING SCREWS @ 12" O.C. AND AS REQ'D BY METAL STUD MANUFACTURER.
- 7. CONTRACTOR SHALL SUBMIT DESIGN CALCULATIONS AND SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION. DRAWINGS SHALL BE COMPLETE IN ALL DETAILS, INCLUDING ALL BRACING LOCATIONS AND BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE STATE OF THE PROJECT AND SHALL BE SOLELY RESPONSIBLE FOR SAME.
- 8. CONTRACTOR TO COORDINATE ALL DIMENSIONS, ELEVATIONS, LAYOUTS, AND ETC. OF ALL METAL STUD CONSTRUCTION SUCH AS PARAPETS AND CANOPIES WITH ARCH'L DRAWINGS.

FO	OTING SCH	EDULE F'C=3000 PSI	/ F	FB=3000	PSF (A	SSUMED)
FOOTING #	SIZE	REINFORCING		REI	MARKS	
FT4	4'-0"x4'-0"x1'-0"	5-#5's E.W.				
FT5	5'-0"x5'-0"x1'-0"	6-#5's E.W.				
BP4	4'-0"x4'-0"	5-#5's E.W.	BULK	POUR FT	G; SEE	3/S-30
		-				



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PERKS COUNTY AGRICULTURAL CENTER

FACILITY UPGRADES - PHASE 1238 COUNTY WELFARE ROAD

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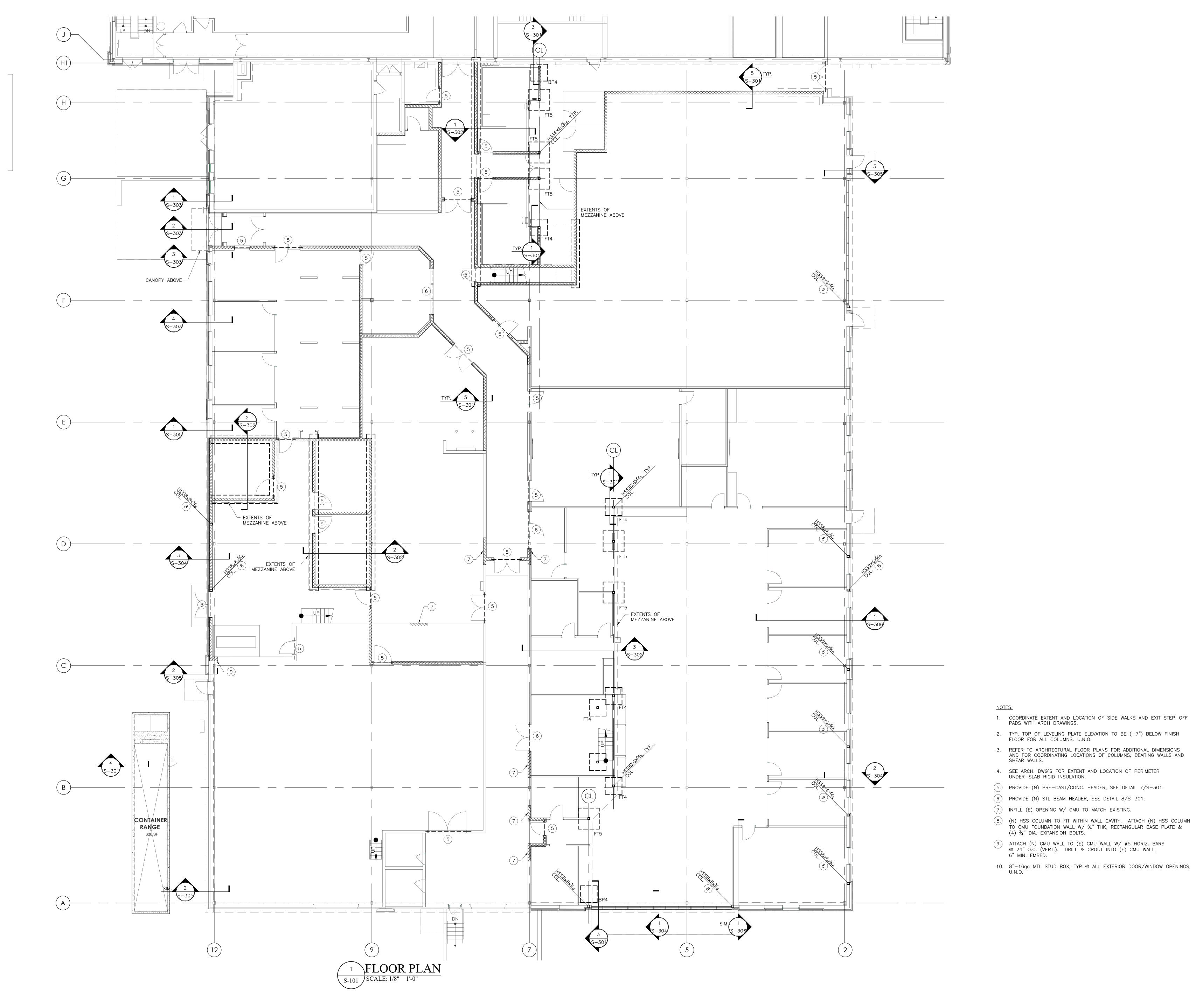
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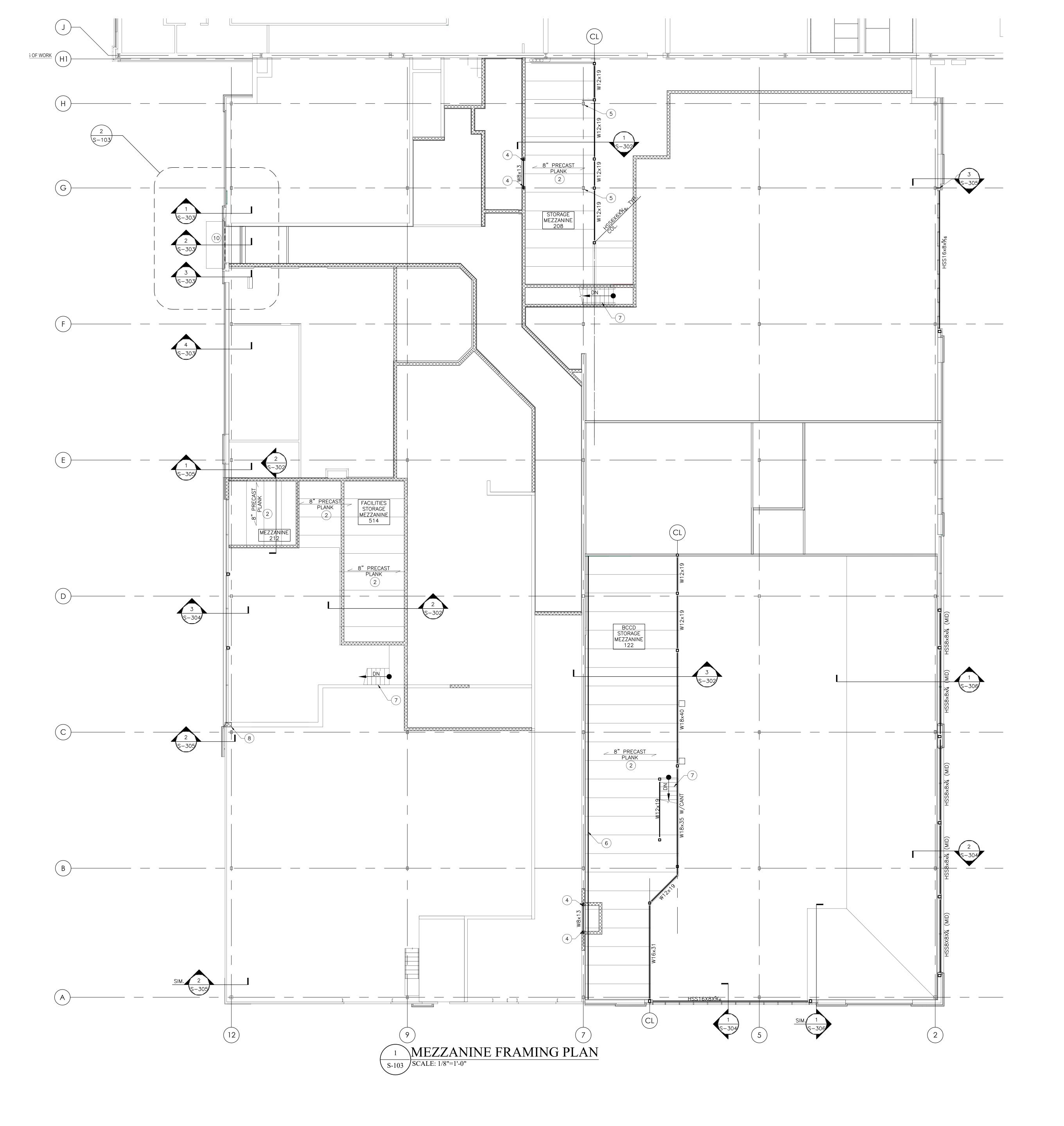
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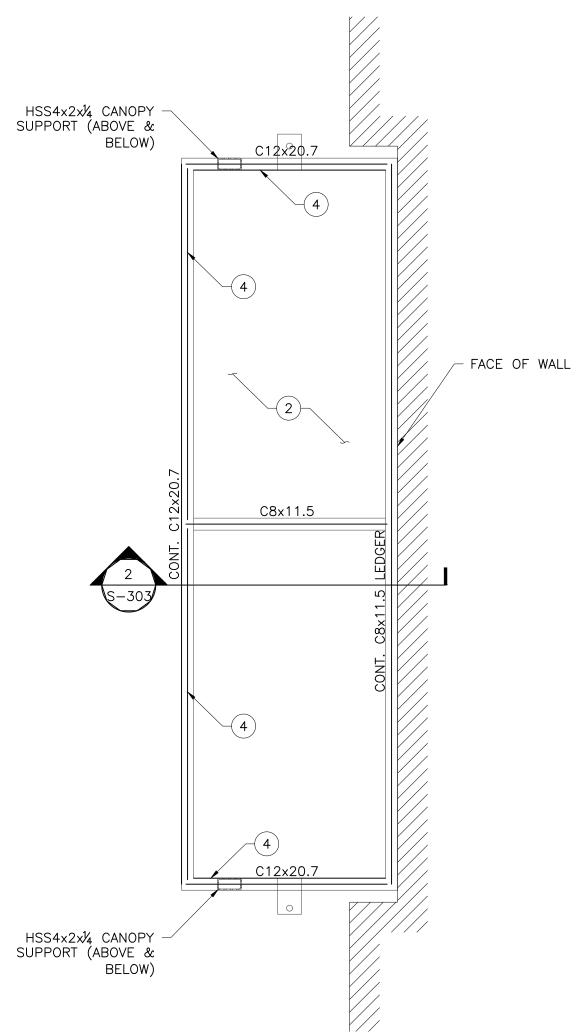
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FOUNDATION PLAN



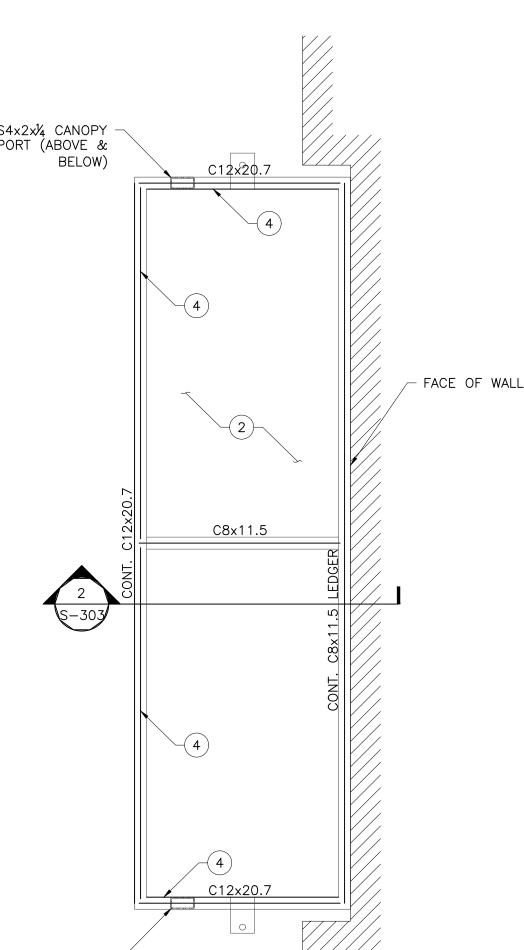


S-103 SCALE: 3/4"=1'-0"

- 3. ALL CANOPY STL. TO BE GALVANIZED.
- 4.) CONT. \(\alpha 3 \times 3 \times 4 \) DECK SUPPORT ANGLE.

- 1. T.O. MEZZ ELEV. = 9'-8" (COORD. W/ ARCH'L)
- 2.) 8" PRECAST CONC. HOLLOW CORE PLANK, PROVIDED BY OTHERS (LIVE LOAD = 125 PSF MIN.)
- 3.) PROVIDE HSS OUTRIGGER (TO MATCH SIZE OF HSS COLUMN) FULLY WELDED TO HSS COLUMN.

- 8. ATTACH (N) CMU WALL TO (E) CMU WALL W/ #5 HORIZ. BARS @ 24" O.C. (VERT.). DRILL & GROUT INTO (E) CMU WALL, 6" MIN. EMBED.
- 10) 12"-14ga MTL STUD BOX HEADER.



CANOPY ROOF PLAN

- 1. B.O.S. = 9'-8" (COORD. W/ ARCH'L)
- 2.) 1½-20GA GALV. MTL ROOF DECK.

- (4.) PROVIDE BM BRG POCKET, SEE DETAIL 9/S-301
- (5.) PROVIDE OPENING/BLOCK OUT OF (N) PLANK AROUND (E) COLUMN.
- (6.) PROVIDE (N) CONT. ∠8x8x¾ LEDGER.
- 7.) PRE-FABRICATED STEEL STAIRS, COOR. W/ARCH'L.
- 9. 8"—16ga MTL STUD BOX, TYP. @ ALL EXTERIOR DOOR/WINDOW OPENINGS, U.N.O.

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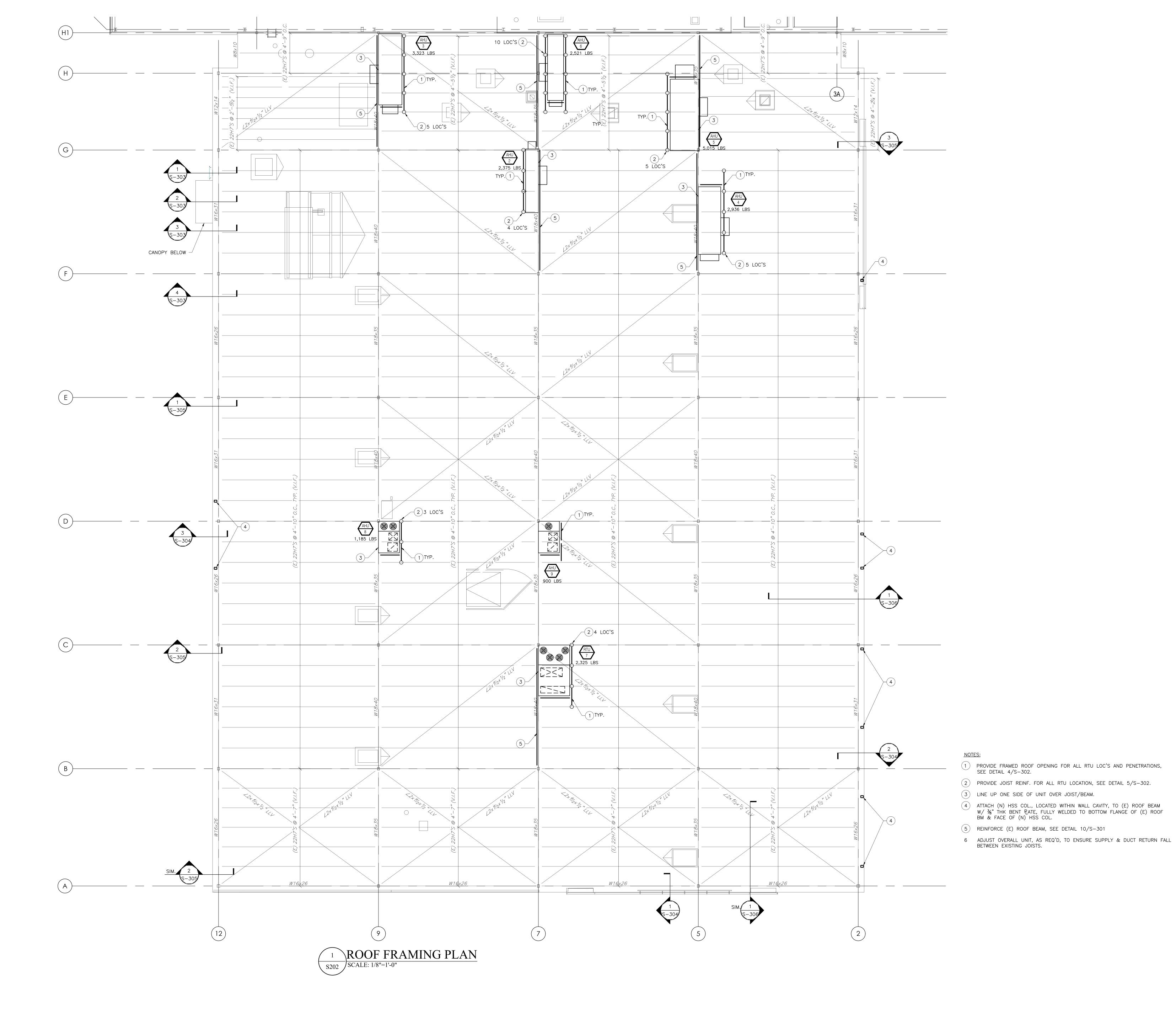
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MEZZANINE/ HI-WINDOW PLAN



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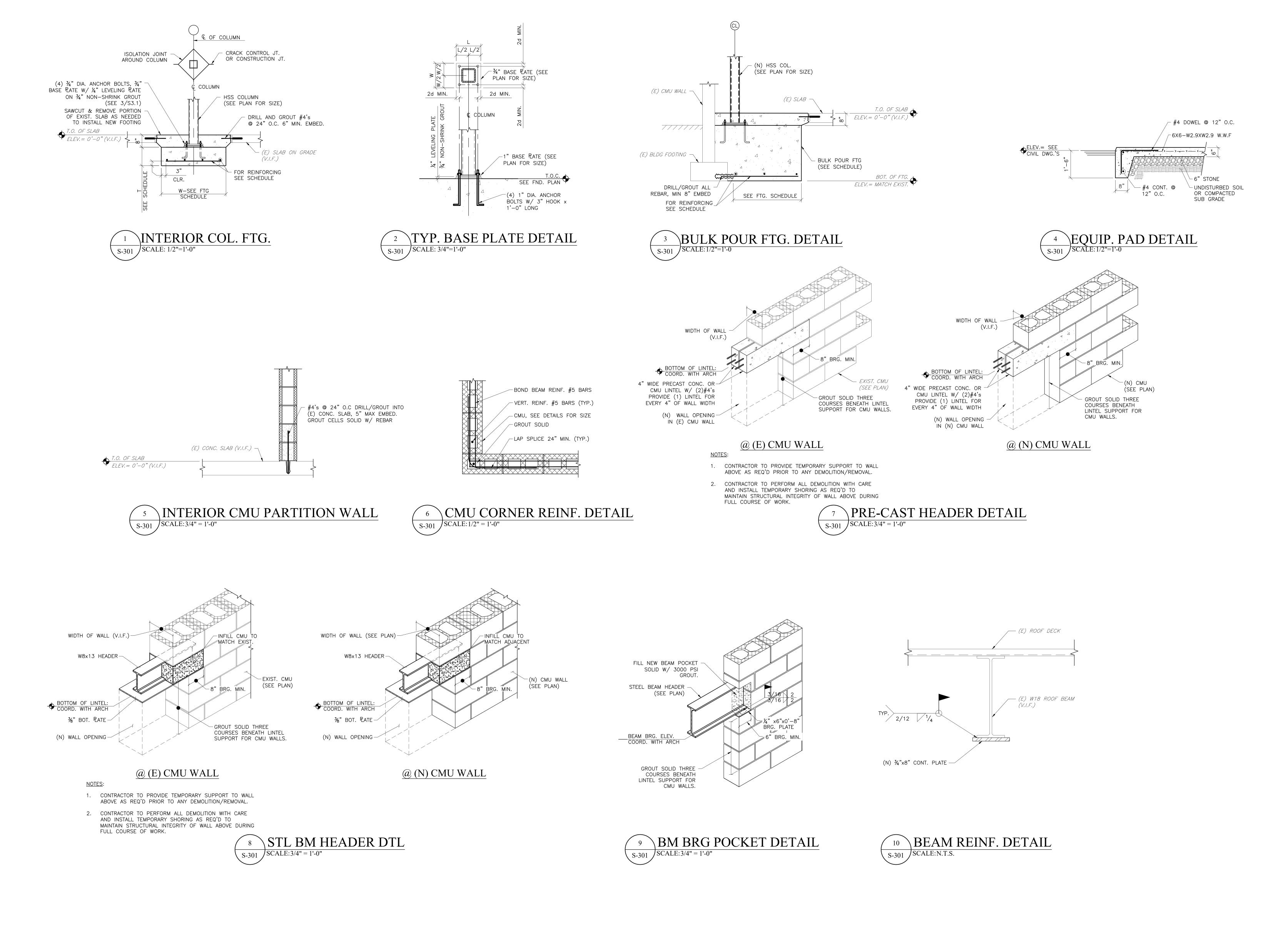
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ROOF FRAMING PLAN



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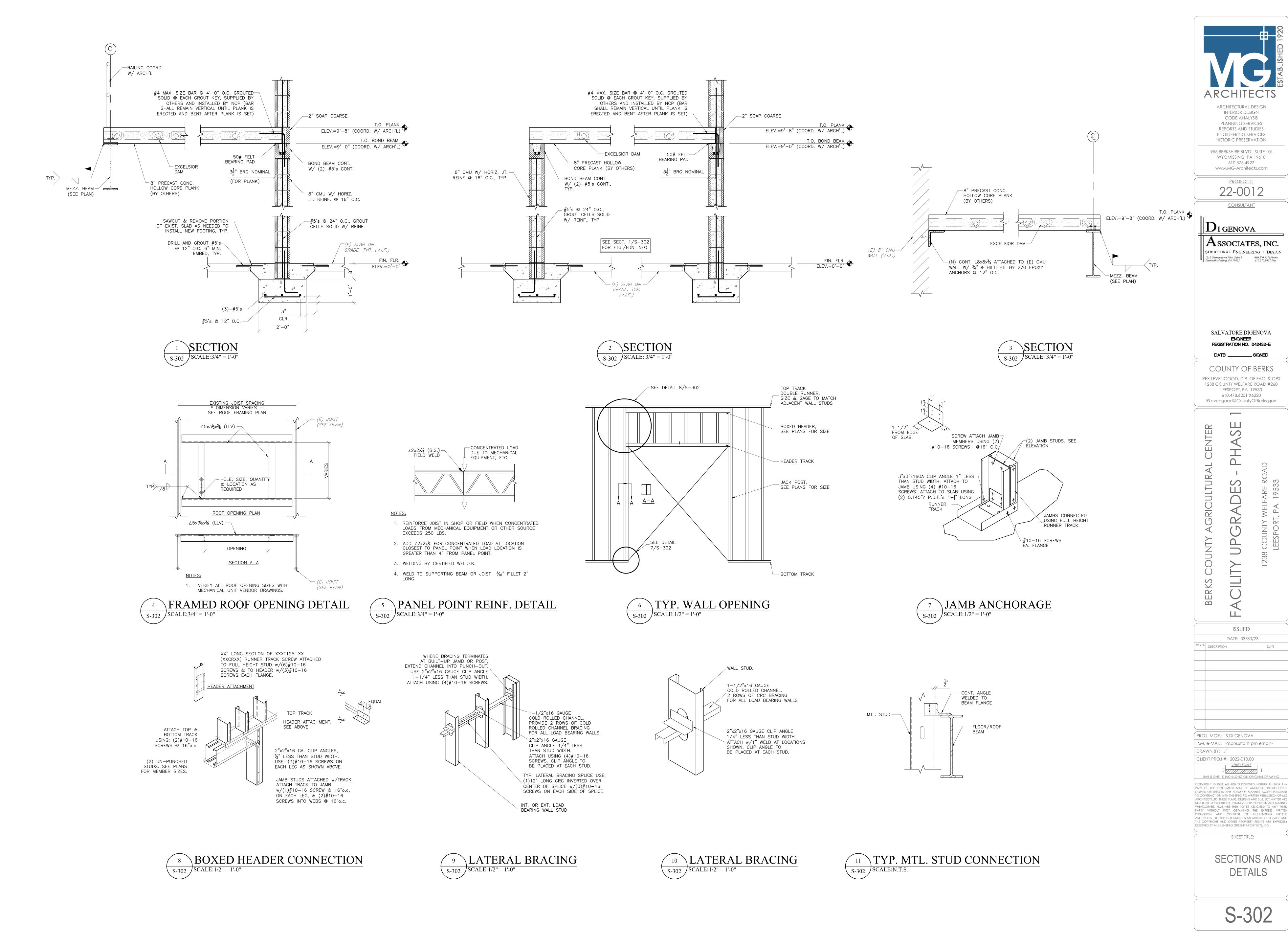
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S-302

DETAILS

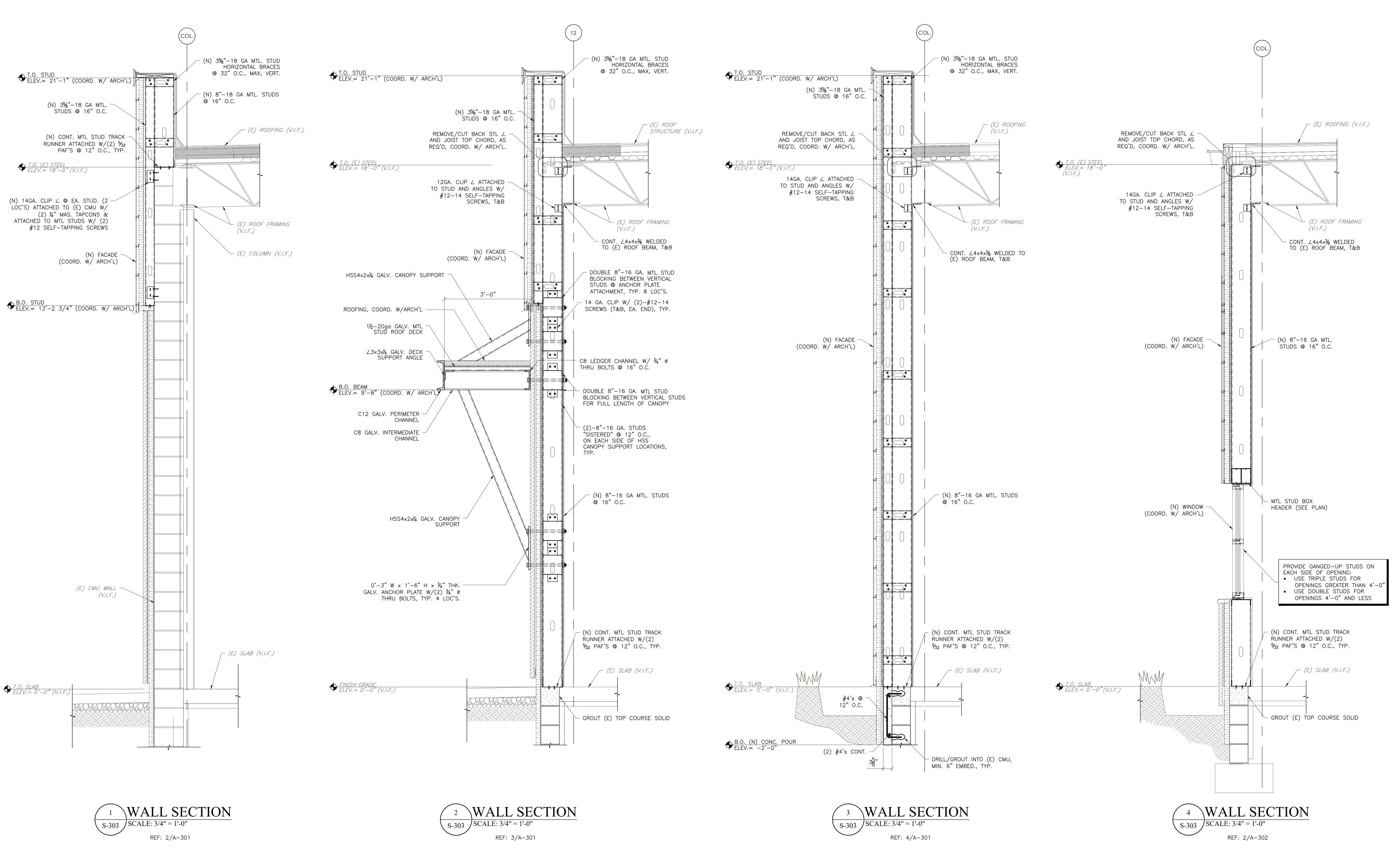
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METAL STUD FRAMING NOTE:

CANOPIES WITH ARCH'L DRAWINGS.

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S-303

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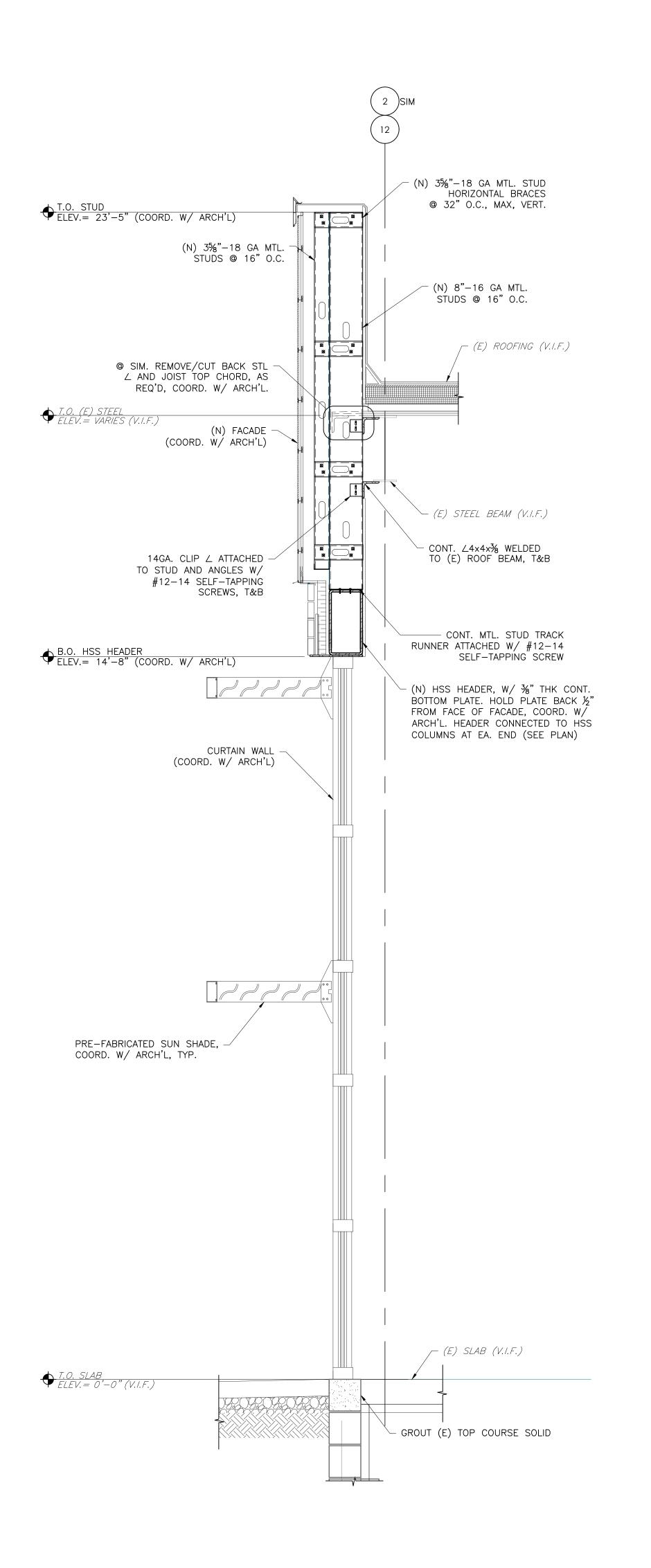
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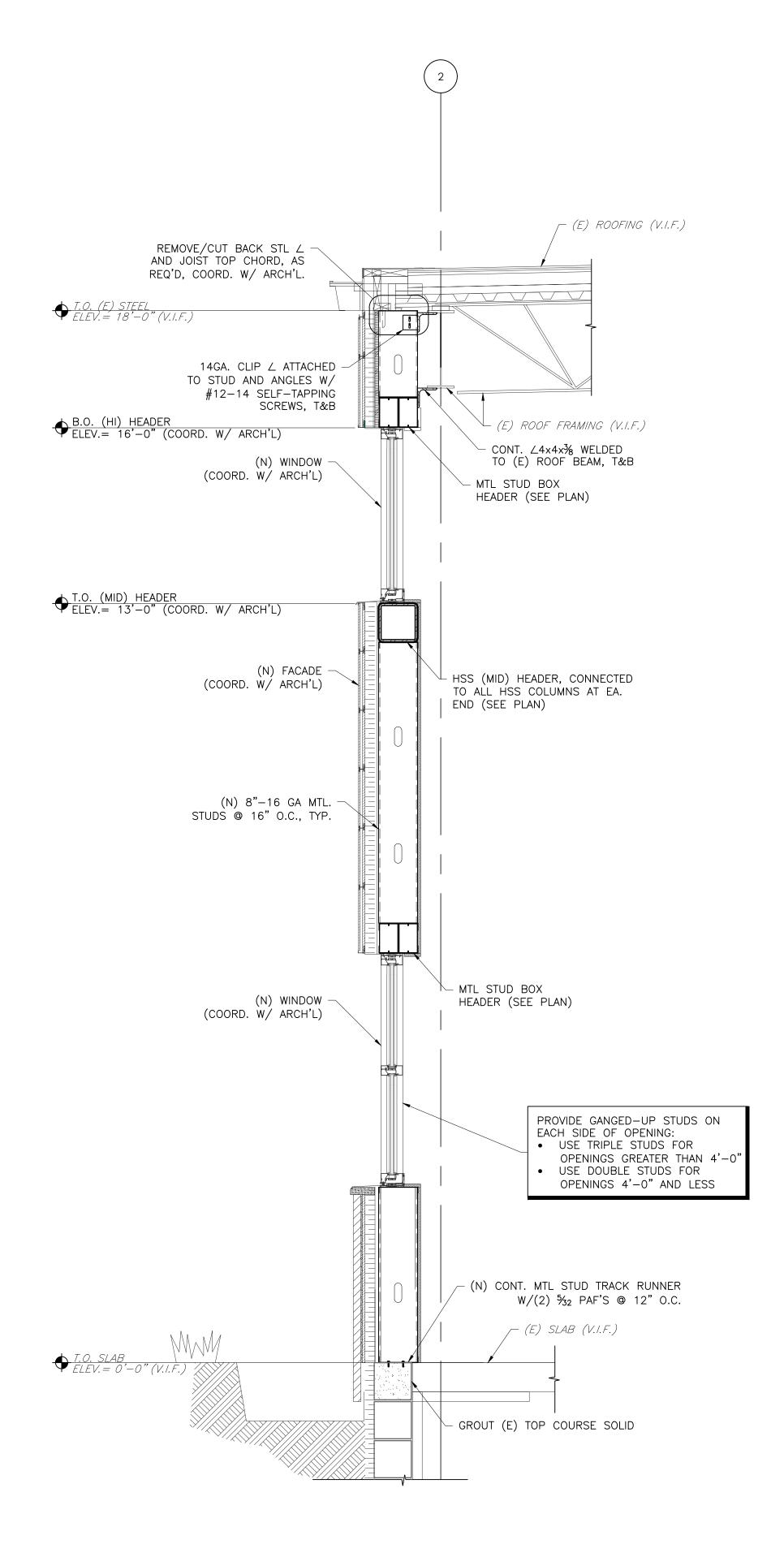
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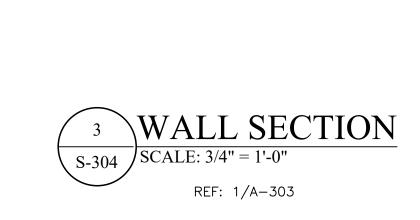
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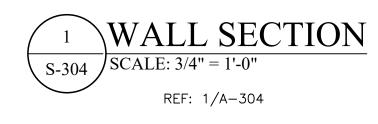
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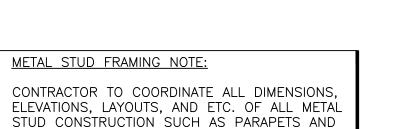
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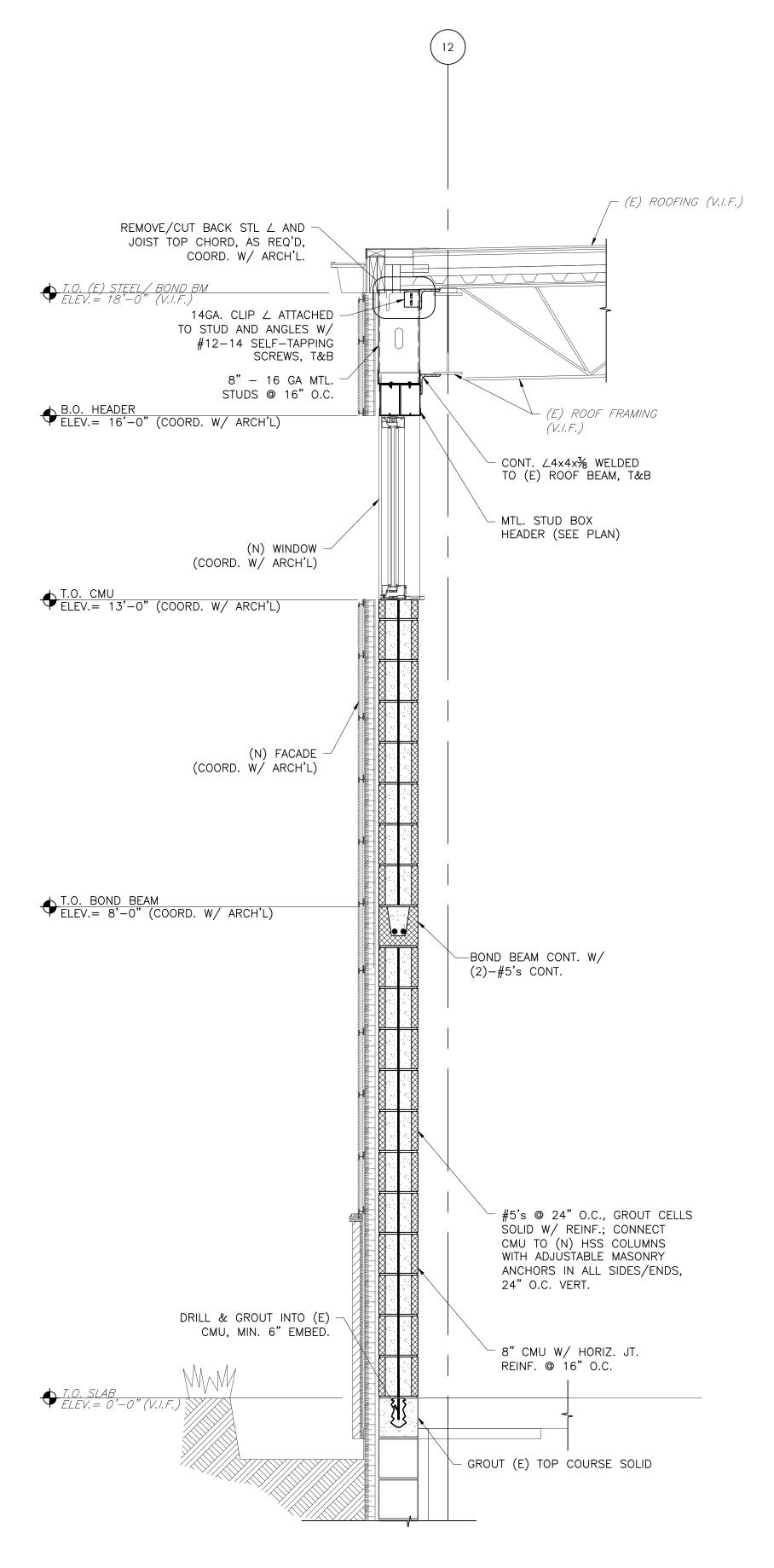


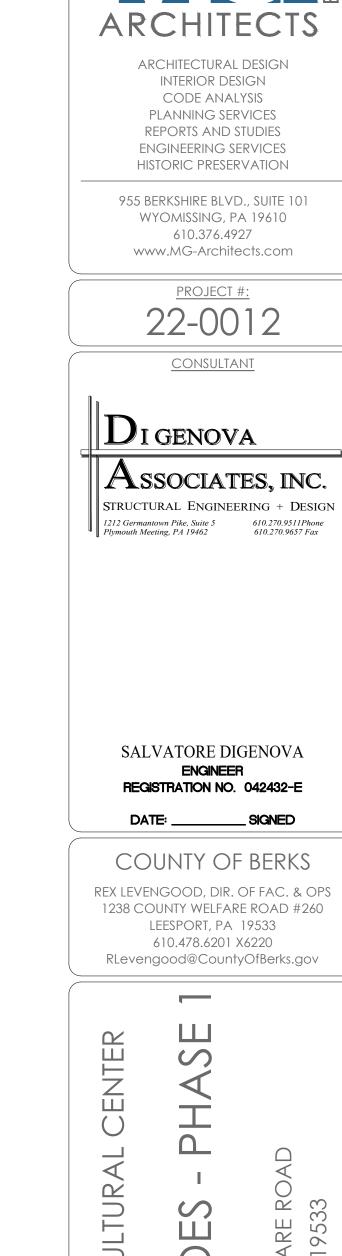
CANOPIES WITH ARCH'L DRAWINGS.

² WALL SECTION

REF: 4/A-305

S-304 SCALE: 3/4'' = 1'-0''





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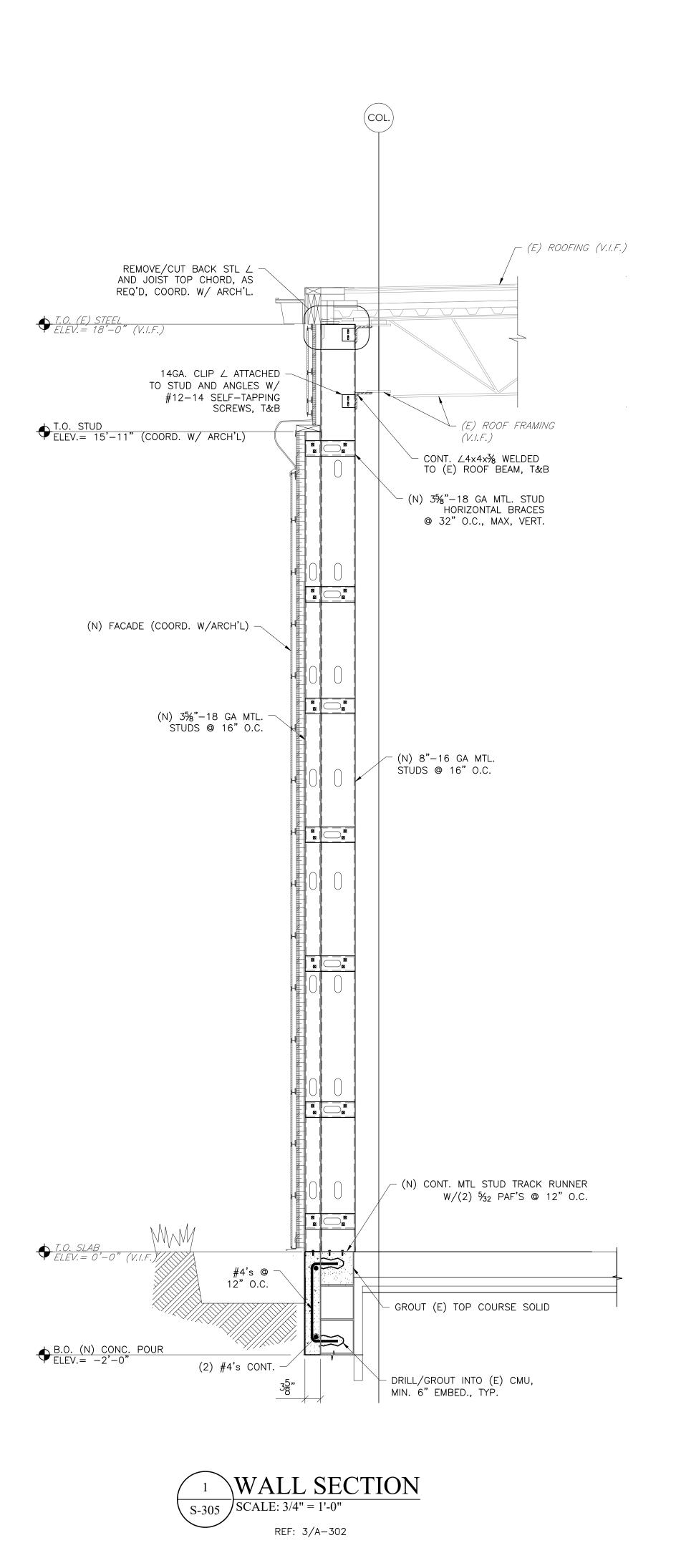
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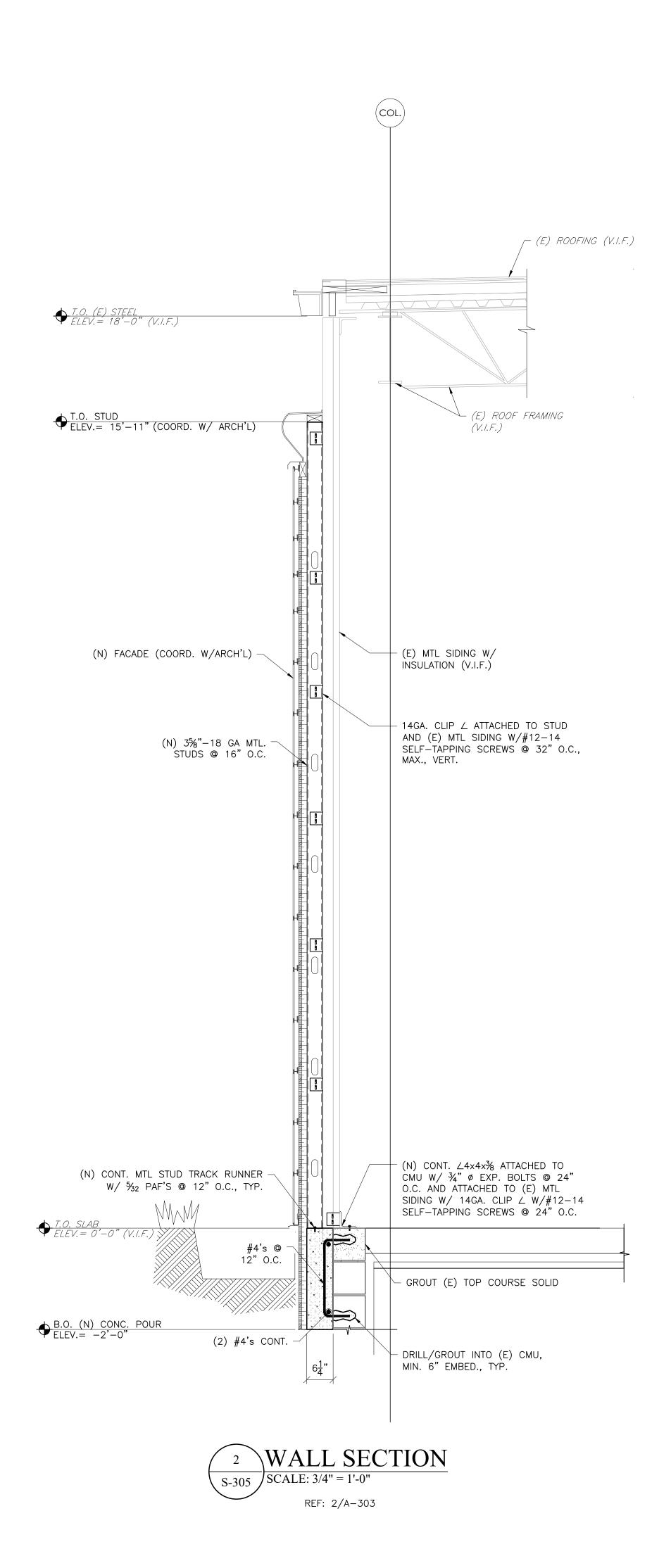
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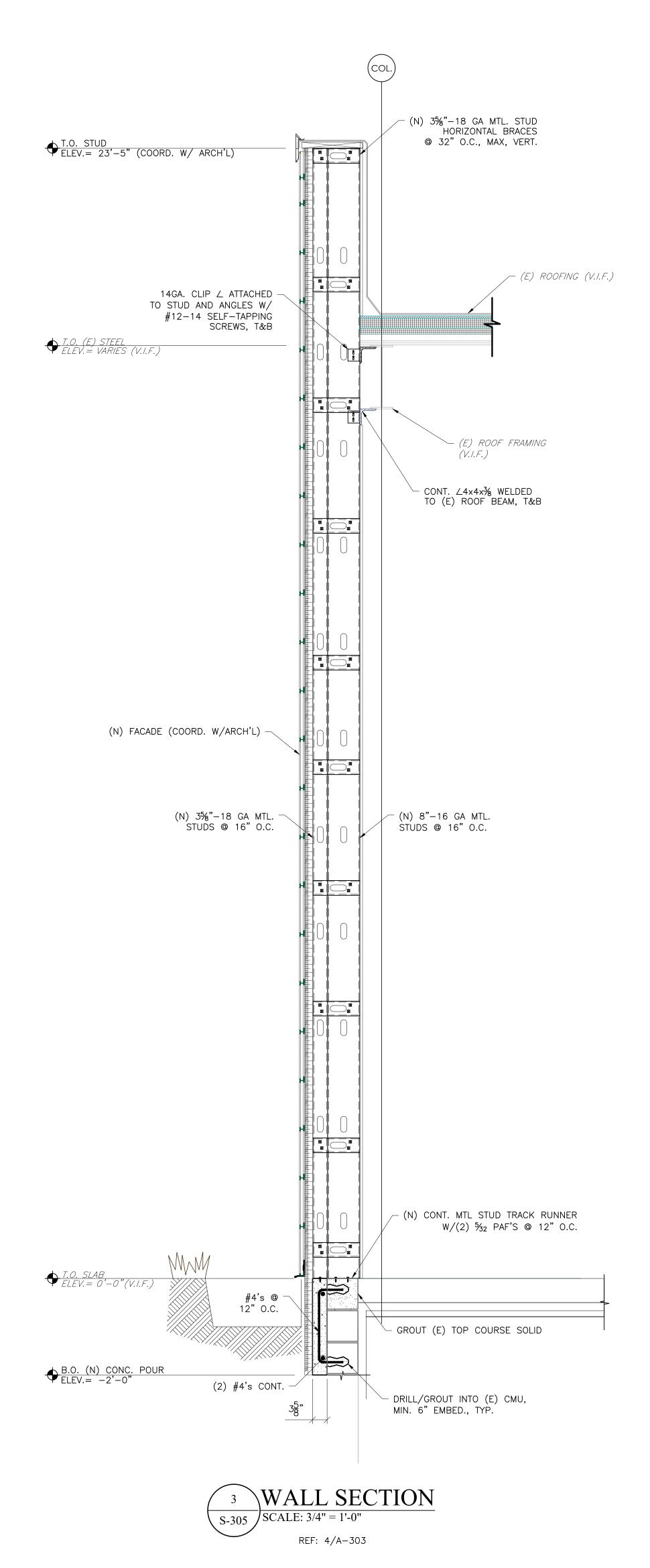
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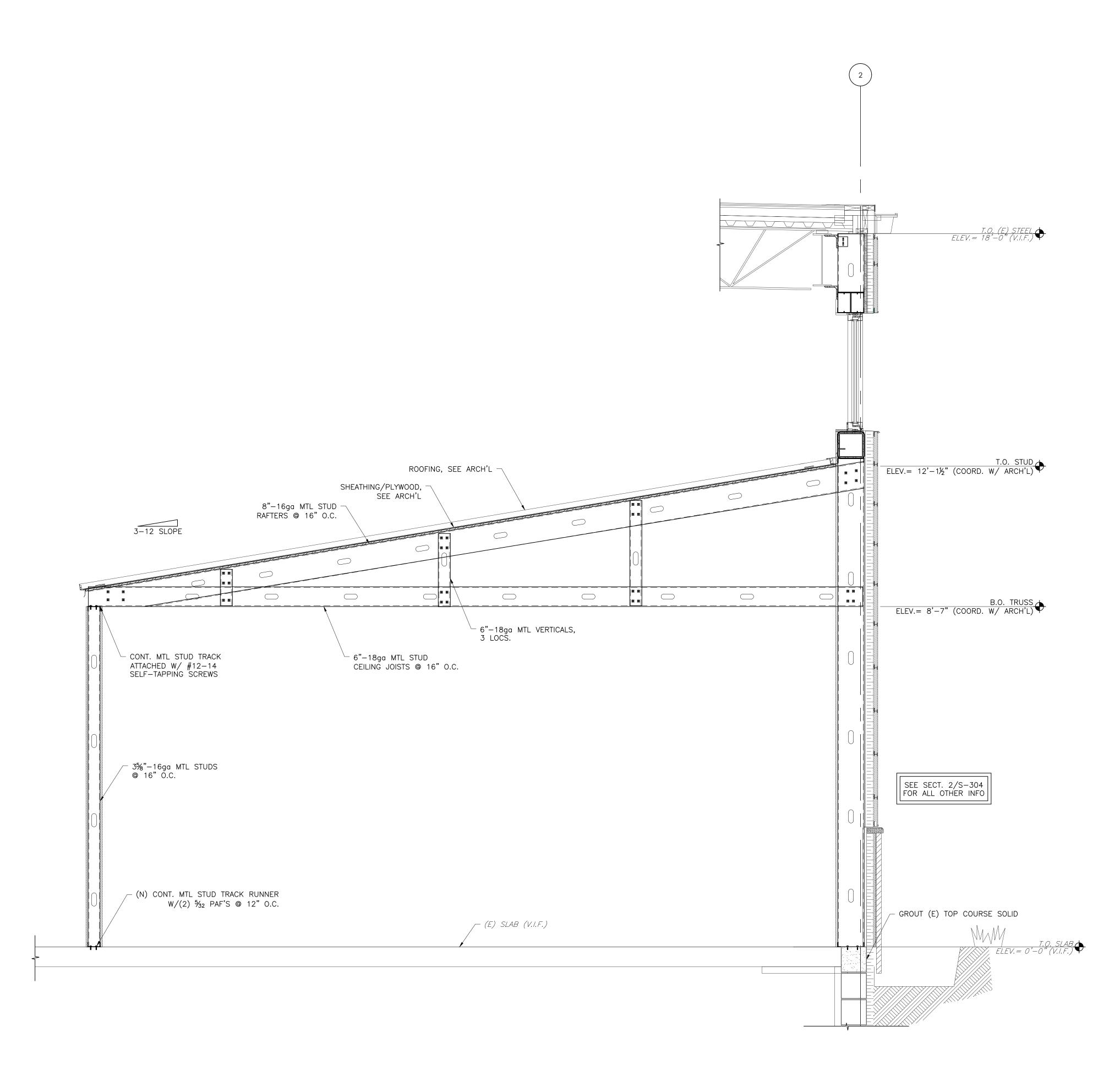
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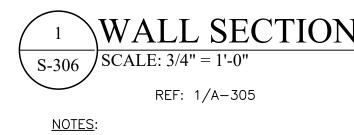
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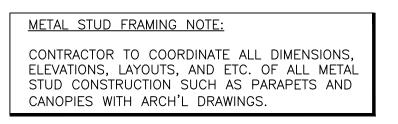
SECTIONS AND DETAILS

SHEET TITLE:





1. PROVIDE 8"-16ga MTL STUD BOX HEADERS AT ALL OPENINGS WITHIN OFFICE PARTITION WALLS. PROVIDE TRIPLE GANGED-UP STUDS ON EACH SIDE OF OPENING. COORD. ALL LOCATIONS, SIZES, ETC. OF ALL OPENINGS W/ARCH'L.





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DATE: 03/30/23 REV ID DESCRIPTION DATE DATE: 03/30/23	BEV ID	DA
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SECTIONS AND DETAILS

KEY NOTES				
02	DEMOLITION			
2.01	EXISTING CONDITIONS			
2.01.17	EXISTING X-BRACING TO			
	REMAIN.			
2.41	SELECTIVE DEMOLITION			
	SPEC 024119			
0.41.07	DEMOVE DODTION OF			

2.41.07 REMOVE PORTION OF
EXISTING MASONRY WALL TO
CREATE NEW OPENING.
COORDINATE WITH FLOOR

PLAN.

2.41.12 REMOVE EXISTING MEZZANINE PLATFORM IN ITS ENTIRELY

2.41.19 REMOVE EXISTING METAL GIRT AND SAG RODS.

2.41.35 REMOVE EXISTING INSULATED 2. METAL PANEL, INCLUDING WINDOWS AND DOORS LOCATED WITHIN THE PANEL.

2.41.38 EXCAVATE FOR NEW CONCRETE SLAB.
COORDINATE WITH FLOOR PLANS.

2.41.42 EXCAVATE FOR NEW MOW STRIP, COORINDATE WITH DETAIL.

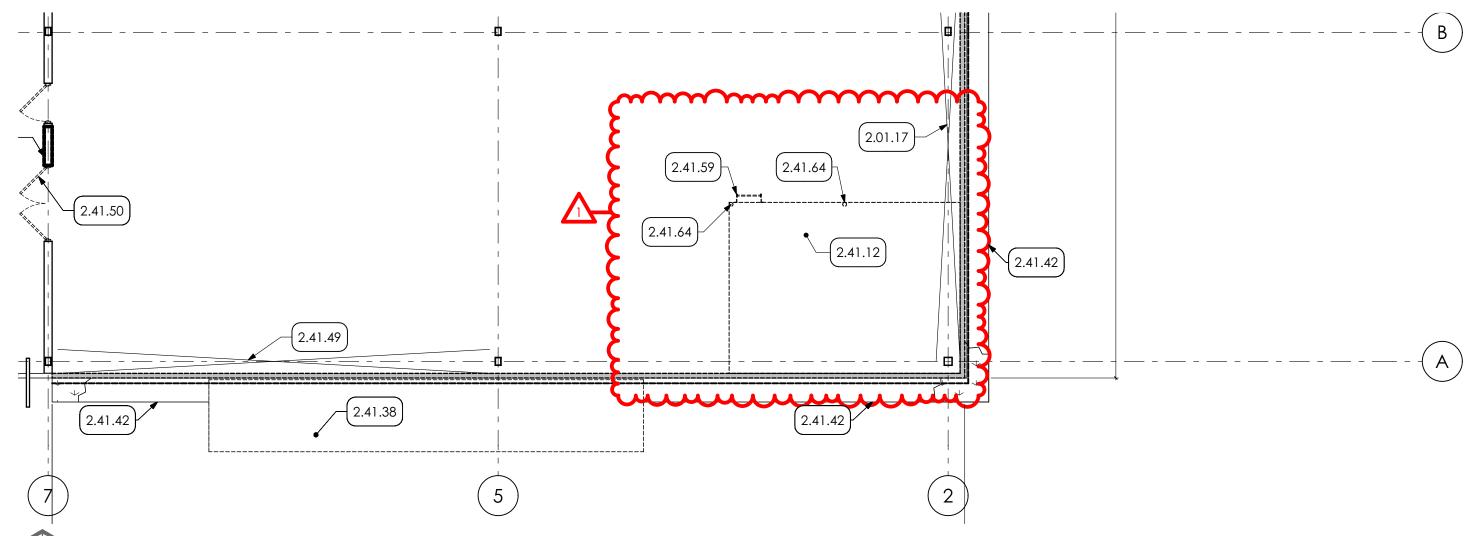
2.41.49 EXISTING X-BRACING TO BE REMOVED.

2.41.50 REMOVE COURSE OF

GIRT EXISTING CMU BELOW CONCRETE SLAB.

TED 2.41.59 REMOVE EXISTING WALL HUNG LADDERS, INCLUDING LADDER ABOVE MEZZANINE.

EL. 2.41.64 REMOVE COLUMN AND ALL ATTACHMENTS IN THEIR ENTIRETY.







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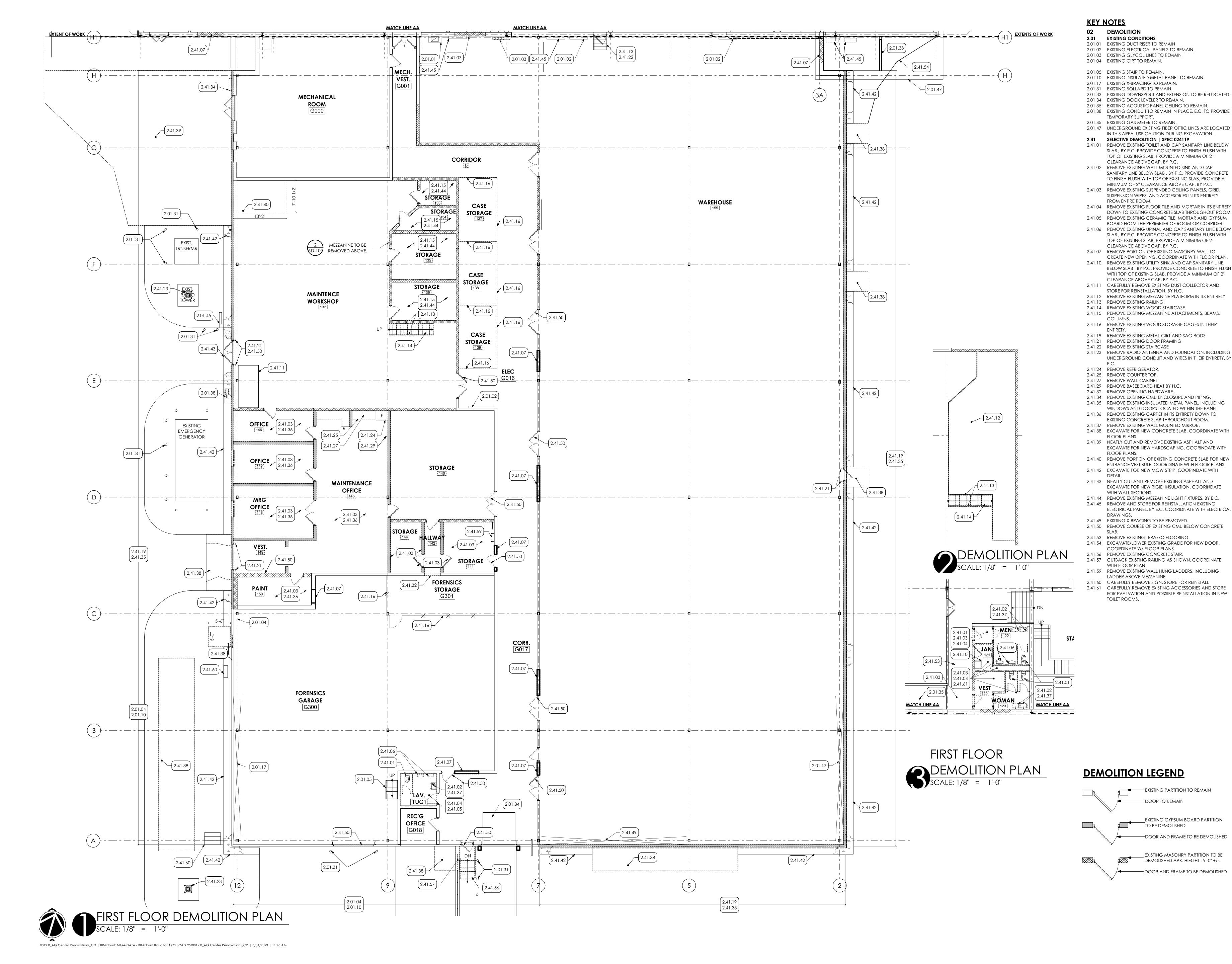
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MEZZANINE DEMOLITION





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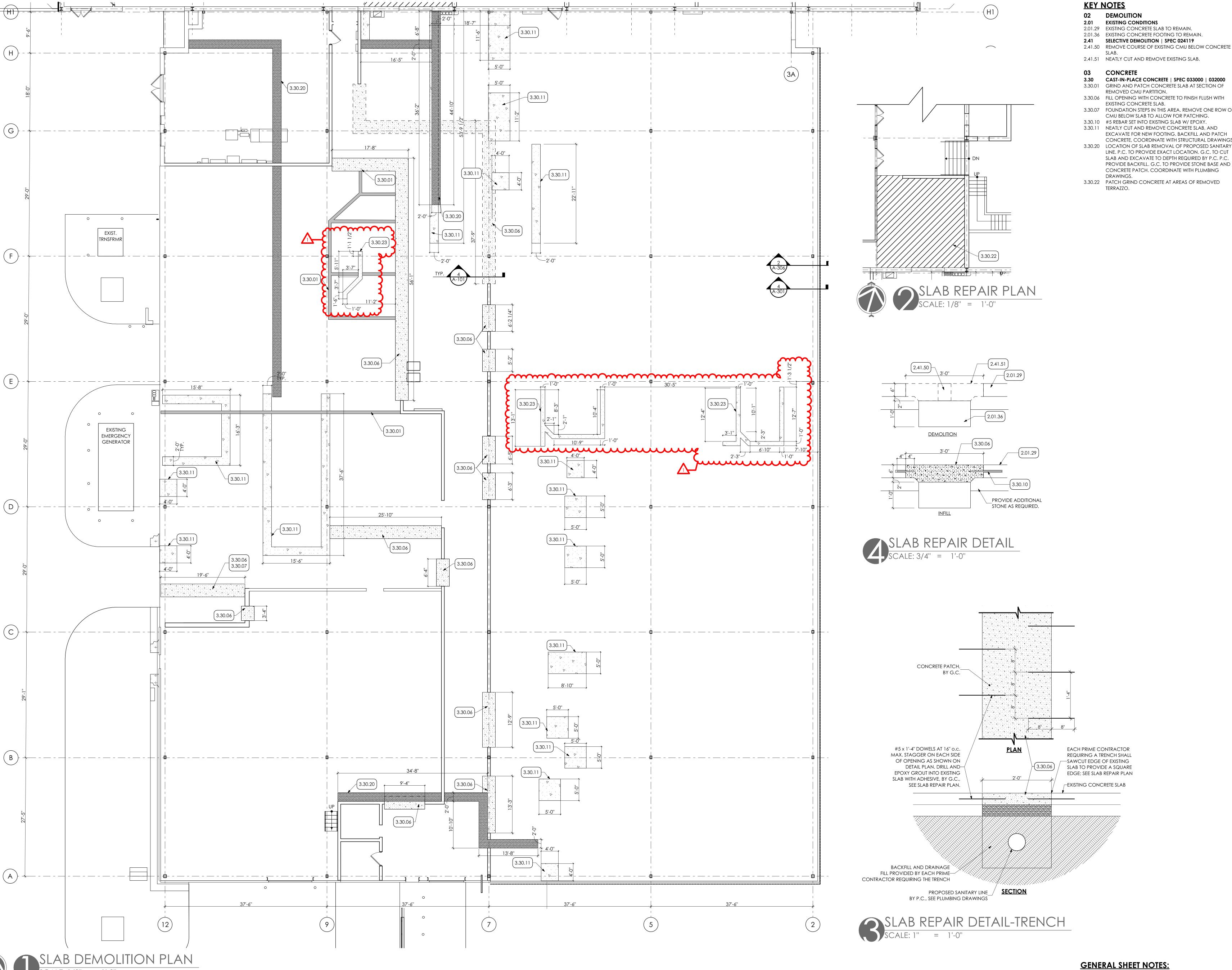
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DEMOLITION PLANS

AD-101



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2.01.29 EXISTING CONCRETE SLAB TO REMAIN.

2.01.36 EXISTING CONCRETE FOOTING TO REMAIN. 2.41 SELECTIVE DEMOLITION | SPEC 024119

2.41.50 REMOVE COURSE OF EXISTING CMU BELOW CONCRETE

2.41.51 NEATLY CUT AND REMOVE EXISTING SLAB.

3.30 CAST-IN-PLACE CONCRETE | SPEC 033000 | 032000 3.30.01 GRIND AND PATCH CONCRETE SLAB AT SECTION OF

3.30.06 FILL OPENING WITH CONCRETE TO FINISH FLUSH WITH EXISTING CONCRETE SLAB.

3.30.07 FOUNDATION STEPS IN THIS AREA. REMOVE ONE ROW OF

CMU BELOW SLAB TO ALLOW FOR PATCHING. 3.30.10 #5 REBAR SET INTO EXISTING SLAB W/ EPOXY. 3.30.11 NEATLY CUT AND REMOVE CONCRETE SLAB, AND

CONCRETE, COORDINATE WITH STRUCTURAL DRAWINGS. 3.30.20 LOCATION OF SLAB REMOVAL OF PROPOSED SANITARY LINE. P.C. TO PROVIDE EXACT LOCATION. G.C. TO CUT SLAB AND EXCAVATE TO DEPTH REQUIRED BY P.C. P.C. PROVIDE BACKFILL. G.C. TO PROVIDE STONE BASE AND CONCRETE PATCH. COORDINATE WITH PLUMBING

3.30.22 PATCH GRIND CONCRETE AT AREAS OF REMOVED

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ADDENDUM #1	5/3/2023

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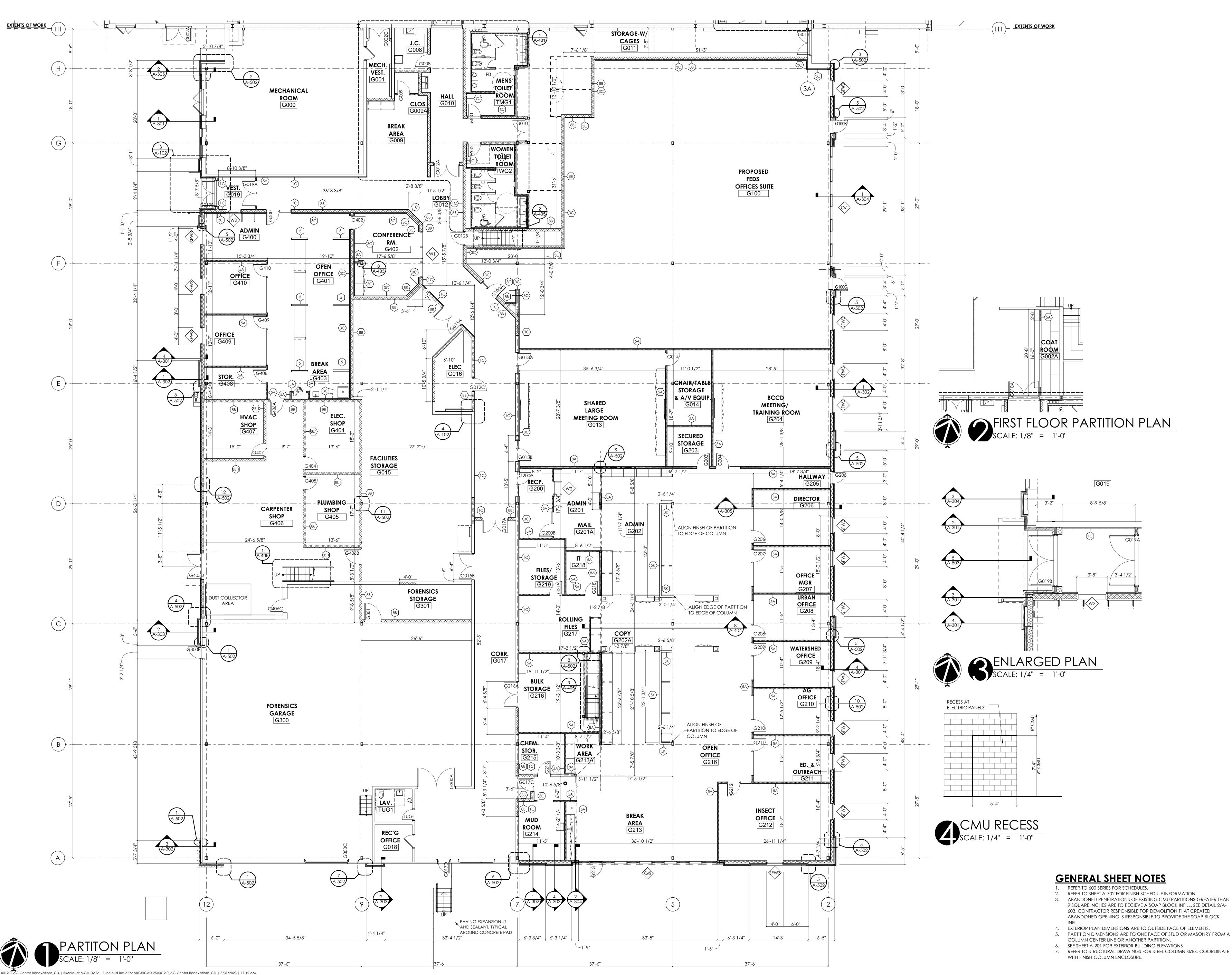
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SHEET TITLE:

SLAB REPAIR PLAN

1. ALL LOCATIONS WHERE AN ADJACENT CMU PARTITION IS

ADJACENT TO A DOOR BEING REMOVED, GRIND AND PATCH AROUND DOOR AND ALONG REMOVED CMU PARTITION.



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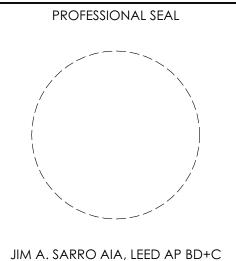
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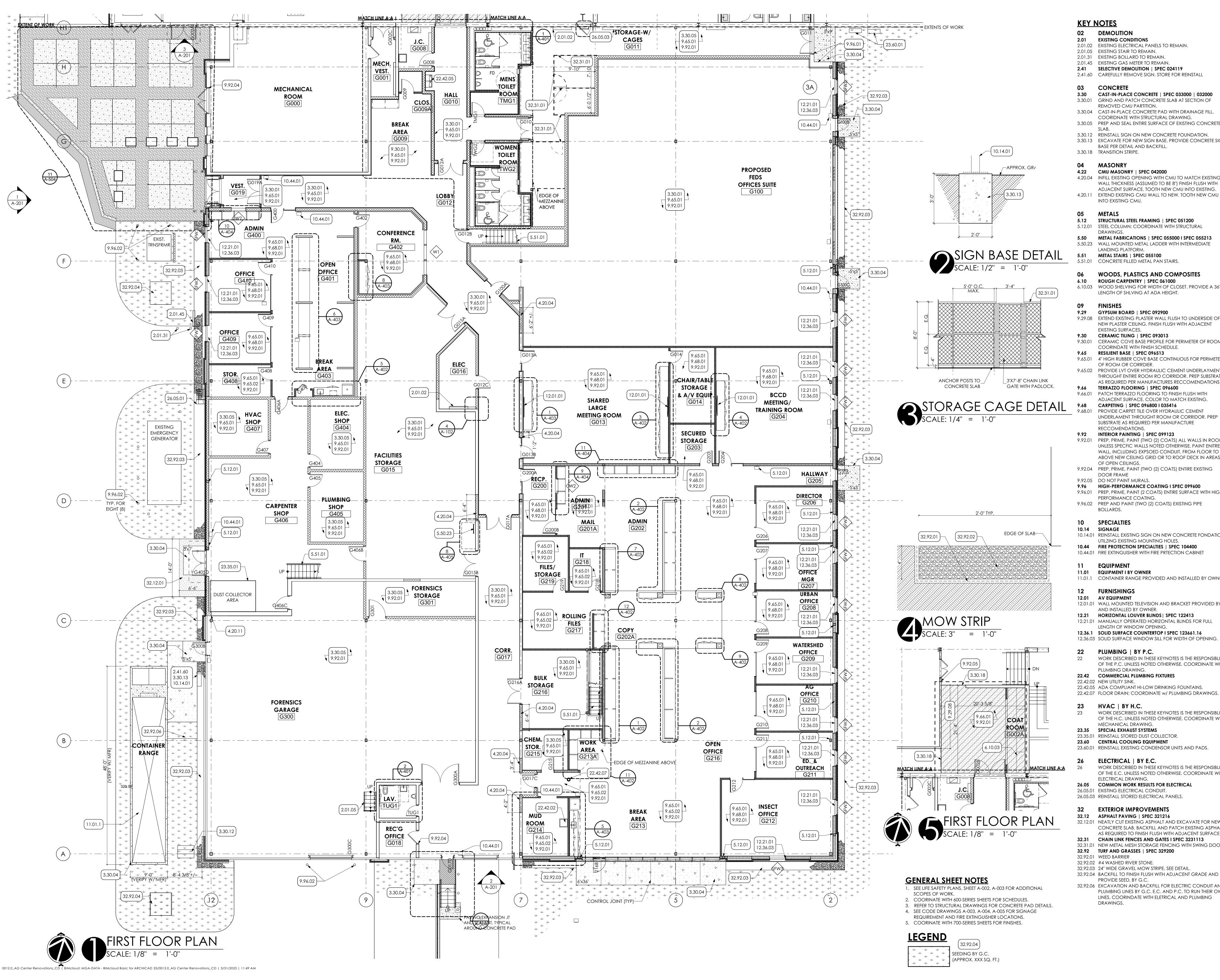
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SHEET TITLE:

PARTITION PLAN

A-102



- **DEMOLITION EXISTING CONDITIONS**
- 2.01.02 EXISTING ELECTRICAL PANELS TO REMAIN.
- 2.01.05 EXISTING STAIR TO REMAIN. 2.01.31 EXISTING BOLLARD TO REMAIN.
- 2.01.45 EXISTING GAS METER TO REMAIN. 2.41 SELECTIVE DEMOLITION | SPEC 024119

- CAST-IN-PLACE CONCRETE | SPEC 033000 | 032000 3.30.01 GRIND AND PATCH CONCRETE SLAB AT SECTION OF REMOVED CMU PARTITION.
- 3.30.04 CAST-IN-PLACE CONCRETE PAD WITH DRAINAGE FILL. COORIDNATE WITH STRUCTURAL DRAWING.
- 3.30.05 PREP AND SEAL ENTIRE SURFACE OF EXISTING CONCRETE 3.30.12 REINSTALL SIGN ON NEW CONCRETE FOUNDATION.
- 3.30.13 EXCAVATE FOR NEW SIGN BASE. PROVIDE CONCRETE SIGN BASE PER DETAIL AND BACKFILL.
- 3.30.18 TRANSITION STRIPE.

MASONRY

- CMU MASONRY | SPEC 042000 4.20.04 INFILL EXISTING OPENING WITH CMU TO MATCH EXISTING
- WALL THICKNESS (ASSUMED TO BE 8") FINISH FLUSH WITH ADJACENT SURFACE. TOOTH NEW CMU INTO EXISTING. 4.20.11 EXTEND EXISTING CMU WALL TO NEW. TOOTH NEW CMU INTO EXISTING CMU.

METALS

- STRUCTURAL STEEL FRAMING | SPEC 051200 5.12.01 STEEL COLUMN; COORDINATE WITH STRUCTURAL
- METAL FABRICATIONS | SPEC 055000 | SPEC 055213
- 5.50.23 WALL MOUNTED METAL LADDER WITH INTERMEDIATE LANDING PLATFORM.
- METAL STAIRS | SPEC 055100 5.51.01 CONCRETE FILLED METAL PAN STAIRS.

WOODS, PLASTICS AND COMPOSITES 6.10 ROUGH CARPENTRY | SPEC 061000

6.10.03 WOOD SHELVING FOR WIDTH OF CLOSET. PROVIDE A 36" LENGTH OF SHLVING AT ADA HEIGHT.

- GYPSUM BOARD | SPEC 092900
- 9.29.08 EXTEND EXISTING PLASTER WALL FLUSH TO UNDERSIDE OF NEW PLASTER CEILING. FINISH FLUSH WITH ADJACENT
- EXISTING SURFACES. 9.30 CERAMIC TILING | SPEC 093013
- 9.30.01 CERAMIC COVE BASE PROFILE FOR PERIMETER OF ROOM. COORINDATE WITH FINISH SCHEDULE.
- RESILIENT BASE | SPEC 096513 9.65.01 4" HIGH RUBBER COVE BASE CONTINUOUS FOR PERIMETER
- OF ROOM OR CORRDIER. 9.65.02 PROVIDE LVT OVER HYDRAULIC CEMENT UNDERLAYMENT THROUGHT ENTIRE ROOM RO CORRIDOR. PREP SUBSTRATE
- AS REQUIRED PER MANUFACTURES RECCOMENDATIONS.
- TERRAZZO FLOORING | SPEC 096600 9.66.01 PATCH TERRAZZO FLOORING TO FINISH FLUSH WITH
- ADJACENT SURFACE. COLOR TO MATCH EXISTING.
- UNDERLAMENT THROUGHT ROOM OR CORRIDOR. PREP
- 9.92 INTERIOR PAINTING | SPEC 099123 9.92.01 PREP, PRIME, PAINT (TWO (2) COATS) ALL WALLS IN ROOM, UNLESS SPECFIC WALLS NOTED OTHERWISE. PAINT ENITRE
 - WALL, INCLUDING EXPSOED CONDUIT, FROM FLOOR TO 4' ABOVE NEW CEILING GRID OR TO ROOF DECK IN AREAS
- OF OPEN CEILINGS. 9.92.04 PREP, PRIME, PAINT (TWO (2) COATS) ENTIRE EXISTING
- DOOR FRAME 9.92.05 DO NOT PAINT MURALS.
- HIGH-PERFORMANCE COATING I SPEC 099600
- 9.96.01 PREP, PRIME, PAINT (2 COATS) ENTIRE SURFACE WITH HIGH PERFORMANCE COATING.

- **SPECIALTIES**
- 10.14.01 REINSTALL EXISTING SIGN ON NEW CONCRETE FONDATION. UTILZING EXISTING MOUNTING HOLES. 10.44 FIRE PROTECTION SPECIALTIES | SPEC 104400

EQUIPMENT 11.01 EQUIPMENT I BY OWNER

11.01.1 CONTAINER RANGE PROVIDED AND INSTALLED BY OWNER.

FURNISHINGS

- 12.01.01 WALL MOUNTED TELEVISION AND BRACKET PROVIDED BY AND INSTALLED BY OWNER.
- HORIZONTAL LOUVER BLINDS | SPEC 122413 12.21.01 MANUALLY OPERATED HORIZONTAL BLINDS FOR FULL
- LENGTH OF WINDOW OPENING. 12.36.1 SOLID SURFACE COUNTERTOP I SPEC 123661.16

PLUMBING | BY P.C.

- WORK DESCRIBED IN THESE KEYNOTES IS THE RESPONSIBLITY OF THE P.C. UNLESS NOTED OTHERWISE. COORDINATE WITH
- PLUMBING DRAWING. 22.42 COMMERCIAL PLUMBING FIXTURES
- 22.42.02 NEW UTILITY SINK. 22.42.05 ADA COMPLIANT HI-LOW DRINKING FOUNTAINS.

HVAC | BY H.C.

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MECHANICAL DRAWING. 23.35 SPECIAL EXHAUST SYSTEMS

23.35.01 REINSTALL STORED DUST COLLECTOR. 23.60 CENTRAL COOLING EQUIPMENT

23.60.01 REINSTALL EXISTING CONDENSOR UNITS AND PADS.

ELECTRICAL | BY E.C. WORK DESCRIBED IN THESE KEYNOTES IS THE RESPONSIBLITY OF THE E.C. UNLESS NOTED OTHERWISE. COORDINATE WITH

26.05 COMMON WORK RESULTS FOR ELECTRICAL 26.05.01 EXISTING ELECTRICAL CONDUIT.

26.05.03 REINSTALL STORED ELECTRICAL PANELS

EXTERIOR IMPROVEMENTS 32.12 ASPHALT PAVING | SPEC 321216 CONCRETE SLAB. BACKFILL AND PATCH EXISTING ASPHALT

AS REQUIRED TO FINISH FLUSH WITH ADJACENT SURFACE. 32.31 CHAIN LINK FENCES AND GATES I SPEC 3231113 32.31.01 NEW METAL MESH STORAGE FENCING WITH SWING DOOR.

32.92 TURF AND GRASSES | SPEC 329200 32.92.01 WEED BARRIER

- 32.92.02 #4 WASHED RIVER STONE.
- 32.92.03 24" WIDE GRAVEL MOW STRIPE, SEE DETAIL.
- 32.92.04 BACKFILL TO FINISH FLUSH WITH ADJACENT GRADE AND
- 32.92.06 EXCAVATION AND BACKFILL FOR ELECTRIC CONDUIT AND LINES. COORINDATE WITH ELETRICAL AND PLUMBING
 - PLUMBING LINES BY G.C. E.C. AND P.C. TO RUN THEIR OWN DRAWINGS.



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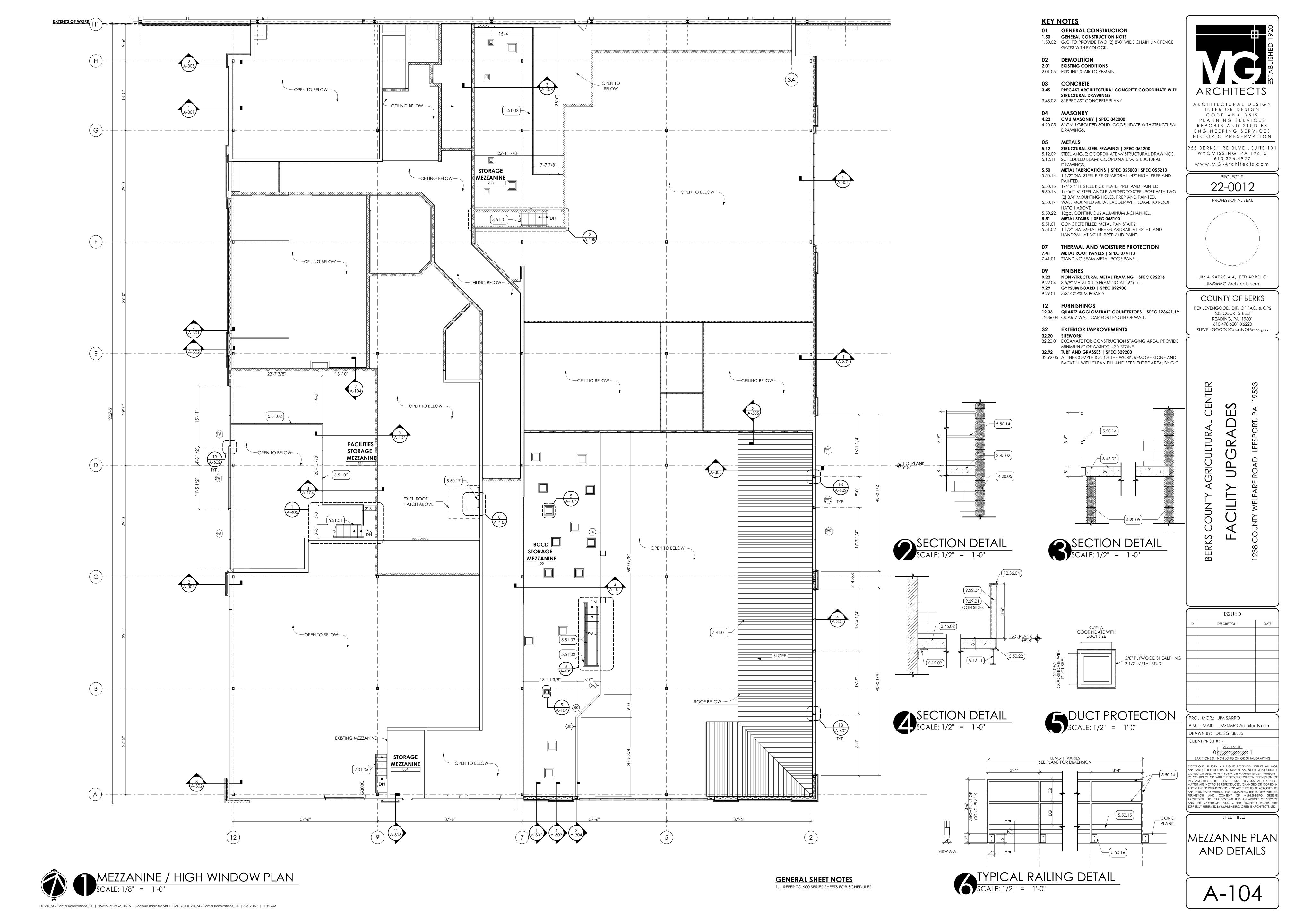
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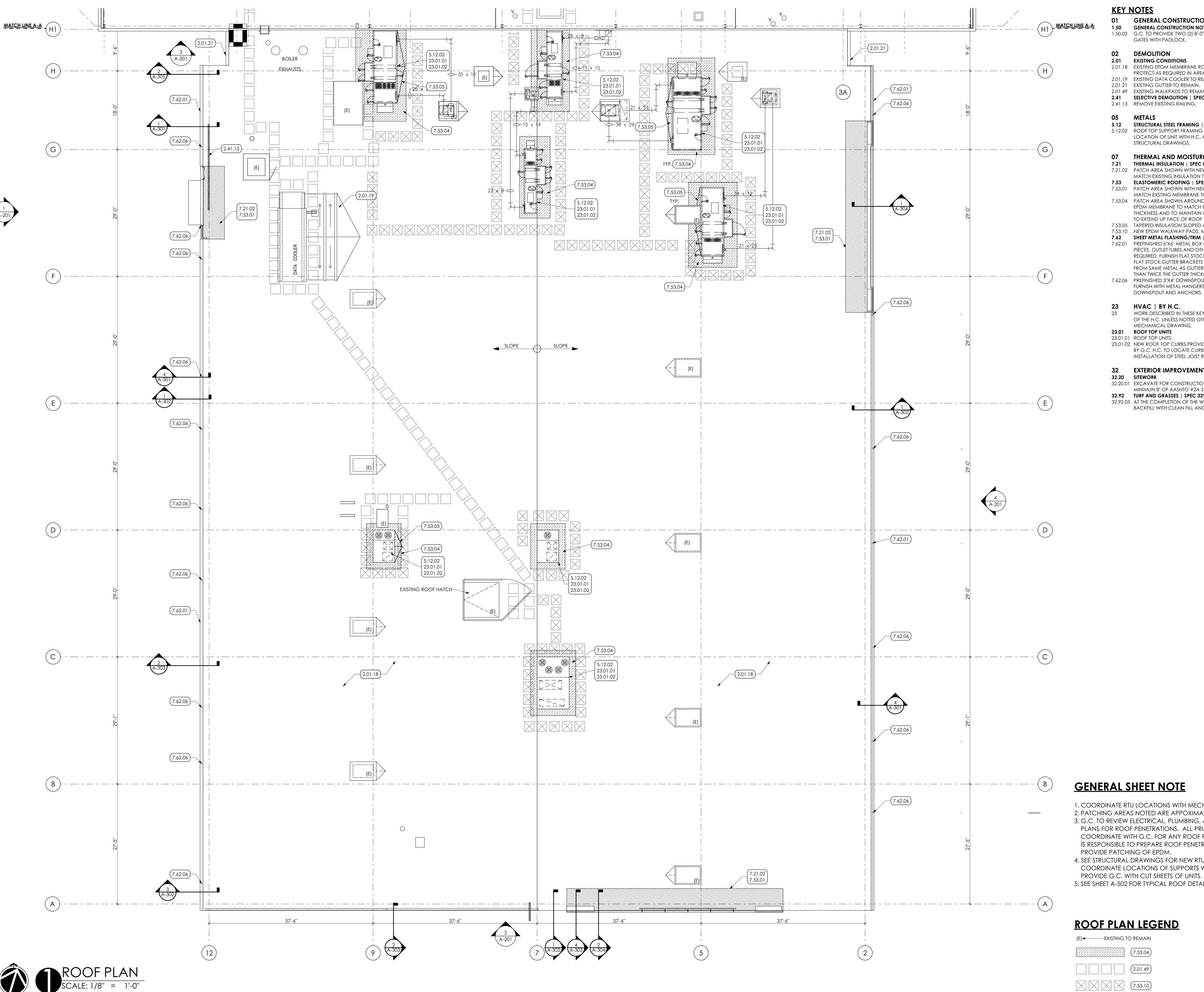
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KEYNOTE PLAN





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KEY NOTES

GENERAL CONSTRUCTION

1.50 GENERAL CONSTRUCTION NOTE 1.50.02 G.C. TO PROVIDE TWO (2) 8'-0" WIDE CHAIN LINK FENCE

GATES WITH PADLOCK.

DEMOLITION

EXISTING CONDITIONS 2.01.18 EXISTING EPDM MEMBRANE ROOF MEMBRANE. G.C. TO

PROTECT AS REQUIRED IN AREAS OF WORK. 2.01.19 EXISTING DATA COOLER TO REMAIN.

2.01.21 EXISTING GUTTER TO REMAIN. 2.01.49 EXISTING WALKPADS TO REMAIN.

2.41 SELECTIVE DEMOLITION | SPEC 024119 2.41.13 REMOVE EXISTING RAILING.

METALS

STRUCTURAL STEEL FRAMING | SPEC 051200 5.12.02 ROOF TOP SUPPORT FRAMING BY G.C. COORDINATE LOCATION OF UNIT WITH H.C. AND COORDINATE WITH STRUCTURAL DRAWINGS.

THERMAL AND MOISTURE PROTECTION THERMAL INSULATION | SPEC 072100

7.21.02 PATCH AREA SHOWN WITH NEW POLY-ISO INSULATION, TO MATCH EXISTING INSULATION THICKNESS, BY G.C.

7.53 ELASTOMERIC ROOFING | SPEC 075323 7.53.01 PATCH AREA SHOWN WITH NEW EPDM MEMBRANE TO MATCH EXSTING MEMBRANE THICKNESS.

7.53.04 PATCH AREA SHOWN AROUND NEW ROOF TOP UNITS WITH EPDM MEMBRANE TO MATCH EXSTING MEMBRANE THICKNESS AND TO MAINTAIN EXISTING WARRANTY. EPDM TO EXTEND UP FACE OF ROOF TOP CURB.

7.53.05 TAPERED INSULATION SLOPED AT 1/4 INCH PER FOOT. 7.53.10 NEW EPDM WALKWAY PADS. MATCH EXISTING ROOF PADS. 7.62 SHEET METAL FLASHING/TRIM | SPEC 076200

7.62.01 PREFINISHED 6"X6" METAL BOX GUTTER COMPLETE WITH END

PIECES, OUTLET TUBES AND OTHER ACCESSORIES AS REQUIRED. FURNISH FLAT STOCK GUTTER BRACKETS AND FLAT STOCK GUTTER BRACKETS AND SPACERS FABRICATED FROM SAME METAL AS GUTTER WITH THICKNESS NOT LESS THAN TWICE THE GUTTER THICKNESS.

7.62.06 PREFINISHED 3"X4" DOWNSPOUT WITH MITERED ELBOWS FURNISH WITH METAL HANGERS FROM SAME MATERIAL AS DOWNSPOUT AND ANCHORS.

HVAC | BY H.C.

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23.01.01 ROOF TOP UNITS.

23.01.02 NEW ROOF TOP CURBS PROVIDED BY H.C. AND INSTALLED BY G.C. H.C. TO LOCATE CURBS ON ROOF PRIOR TO INSTALLATION OF STEEL JOIST REINFORCING.

EXTERIOR IMPROVEMENTS 32.20 SITEWORK

32.20.01 EXCAVATE FOR CONSTRUCTION STAGING AREA. PROVIDE MINIMUN 8" OF AASHTO #2A STONE.

32.92 TURF AND GRASSES | SPEC 329200

32.92.05 AT THE COMPLETION OF THE WORK, REMOVE STONE AND BACKFILL WITH CLEAN FILL AND SEED ENTIRE AREA, BY G.C.

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HISTORIC PRESERVATION

955 BERKSHIRE BLVD., SUITE 101 WYOMISSING, PA 19610

610.376.4927

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PROJECT #:

22-0012

PROFESSIONAL SEAL

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COUNTY OF BERKS

REX LEVENGOOD, DIR. OF FAC. & OPS 633 COURT STREET

READING, PA 19601

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ISSUED

GENERAL SHEET NOTE

1. COORDINATE RTU LOCATIONS WITH MECHANICAL PLANS 2. PATCHING AREAS NOTED ARE APPOXIMATE. G.C. TO V.I.F.

3. G.C. TO REVIEW ELECTRICAL, PLUMBING, AND MECHANICAL PLANS FOR ROOF PENETRATIONS. ALL PRIMES TO COORDINATE WITH G.C. FOR ANY ROOF PENETRATIONS. G.C. IS RESPONSIBLE TO PREPARE ROOF PENETRATIONS AND

PROVIDE PATCHING OF EPDM. 4. SEE STRUCTURAL DRAWINGS FOR NEW RTU SUPPORT. G.C. TO COORDINATE LOCATIONS OF SUPPORTS WITH H.C. H.C. TO

5. SEE SHEET A-502 FOR TYPICAL ROOF DETAILS

ROOF PLAN LEGEND

(E)**←** EXISTING TO REMAIN 7.53.04 PROJ. MGR.: JIM SARRO P.M. e-MAIL: JIMS@MG-Architects.com DRAWN BY: DK, SG, BB, JS

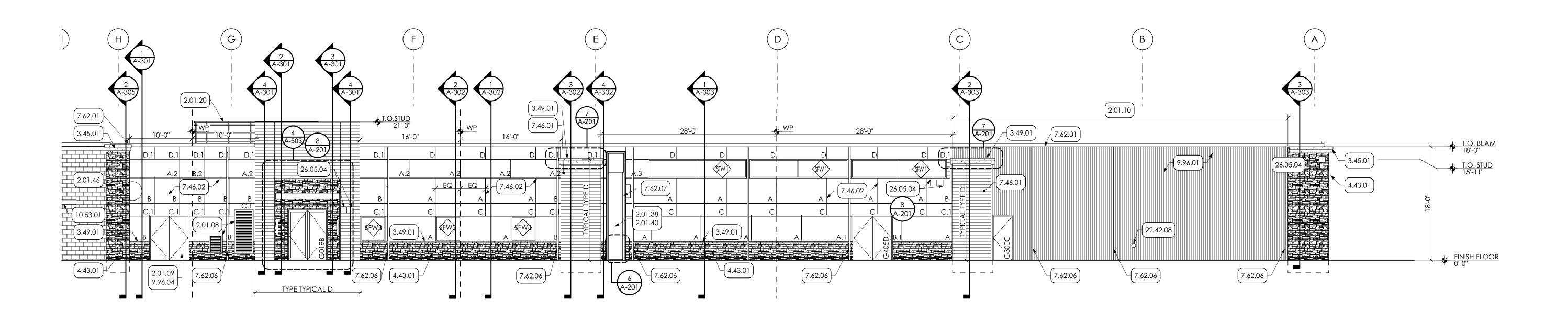
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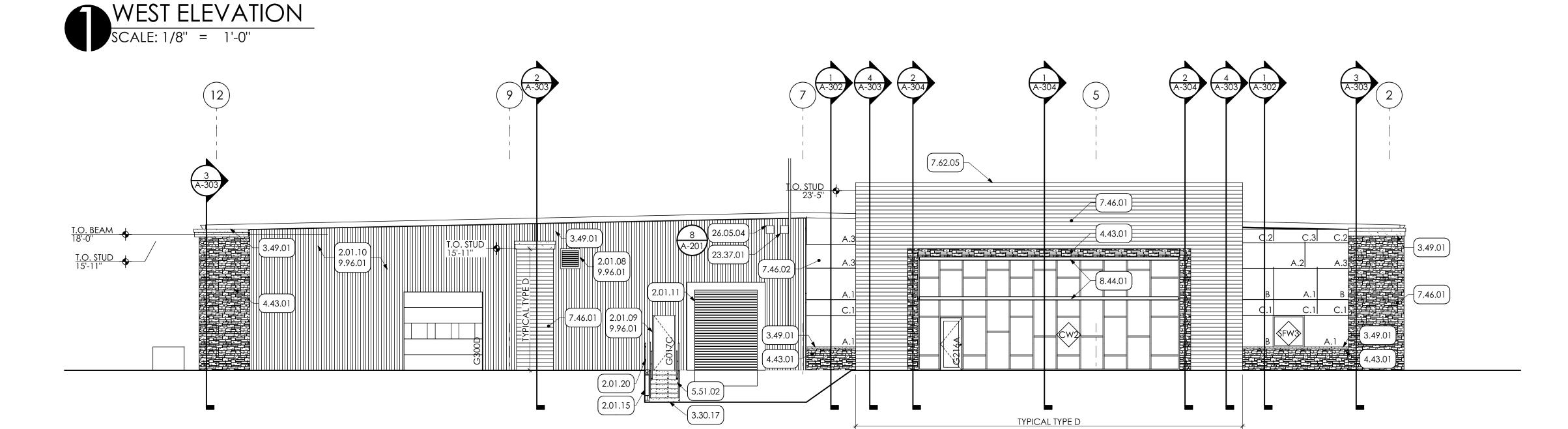
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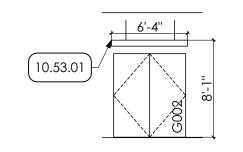
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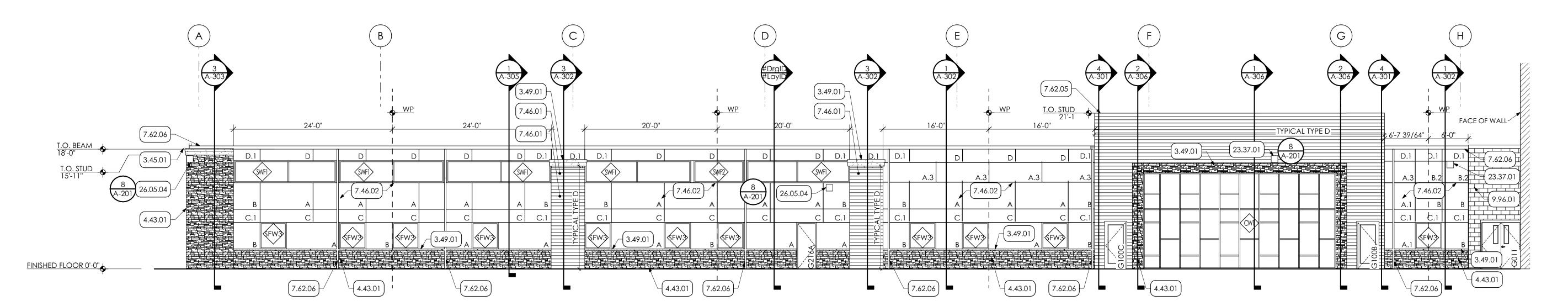
ROOF PLAN



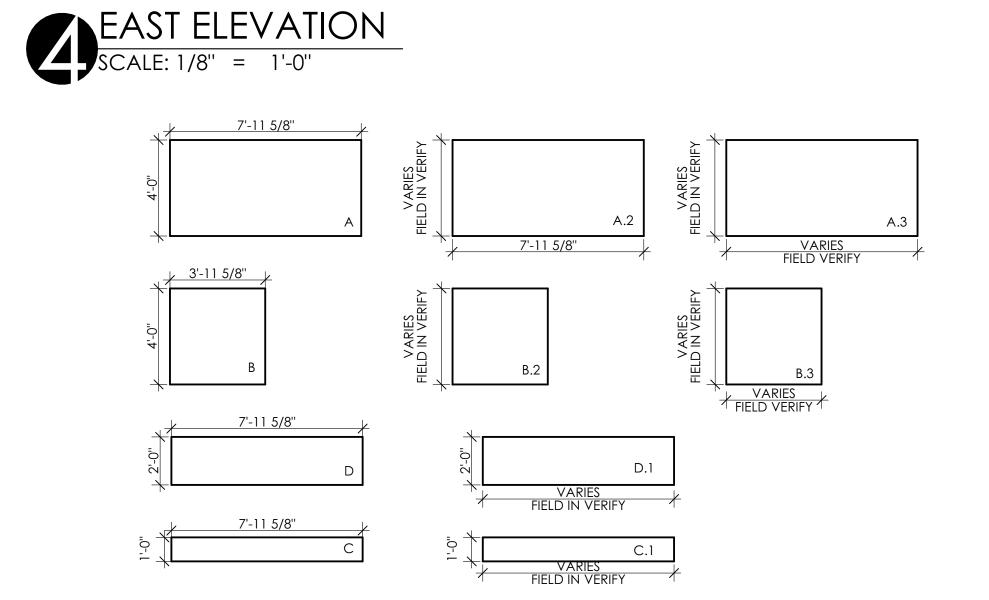


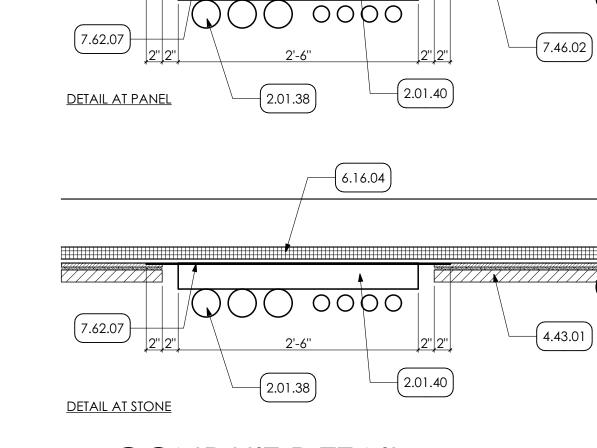


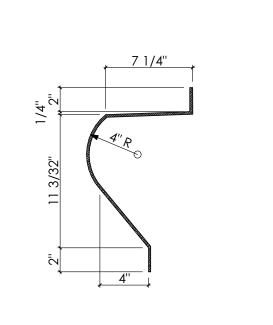


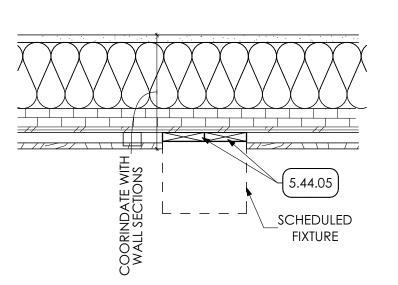


---(6.16.04)















DEMOLITION

2.01 EXISTING CONDITIONS 2.01.08 EXISTING LOUVERS TO REMAIN.

2.01.09 EXISTING DOOR TO REMAIN. 2.01.10 EXISTING INSULATED METAL PANEL TO REMAIN.

2.01.11 EXISTING OVERHEAD DOOR TO REMAIN. 2.01.15 EXISTING RETAINING WALL TO REMAIN

2.01.20 EXISTING RAILING TO REMAIN.

2.01.38 EXISTING CONDUIT TO REMAIN IN PLACE. E.C. TO PROVIDE TEMPORARY SUPPORT. 2.01.39 EXISTING GAS LINE.

2.01.40 EXISTING UNISTRUT TO SUPPRT ELECTRICAL CONDUIT. ATTACH TO NEW WALL SHEATHING.

2.01.46 EXISTING VENT TO REMAIN. CONCRETE

CAST-IN-PLACE CONCRETE | SPEC 033000 | 032000 3.30.17 NEW CAST IN PLACE CONCRETE STAIR. 3.45 PRECAST ARCHITECTURAL CONCRETE COORDINATE WITH

STRUCTURAL DRAWINGS 3.45.01 CONCRETE CAP 3.49 GFRC | SPEC 034900

3.49.01 GFRC DECORATIVE TRIM

MASONRY 4.43 MANUFACTURED MASONRY VENEER | SPEC 047300 4.43.01 MANUFACTURED MASONRY VENEER

METALS

METAL STAIRS | SPEC 055100

WOODS, PLASTICS AND COMPOSITES

6.16.04 2" STRUCTURAL INSULATED WALL SHEATHING

6.10 ROUGH CARPENTRY | SPEC 061000 6.10.07 1X4X12" PRESERVATIVE TREATED WOOD BLOCKING 6.16 SHEATHING | SPEC 061600

5.51.02 1 1/2" DIA. METAL PIPE GUARDRAIL AT 42" HT. AND HANDRAIL AT 36" HT. PREP AND PAINT.

THERMAL AND MOISTURE PROTECTION SIDING | SPEC 074646

7.46.01 SOLID PHENOLIC PANELS WOOD LOOK WITH CLIP SYSTEM.

7.46.02 SOLID PHENOLIC PANELS WITH EXPOSED FASTERNS. COLOR

7.62 SHEET METAL FLASHING/TRIM | SPEC 076200 7.62.01 PREFINISHED 6"X6" METAL BOX GUTTER COMPLETE WITH END PIECES, OUTLET TUBES AND OTHER ACCESSORIES AS REQUIRED. FURNISH FLAT STOCK GUTTER BRACKETS AND FLAT STOCK GUTTER BRACKETS AND SPACERS FABRICATED FROM SAME METAL AS GUTTER WITH THICKNESS NOT LESS

THAN TWICE THE GUTTER THICKNESS. 7.62.05 METAL FASCIA (BASIS OF DESIGN: HICKMAN (AN ETL COMPANY); TERMINEDGE EX FASCIA; 7" FASCIA HEIGHT) 7.62.06 PREFINISHED 3"X4" DOWNSPOUT WITH MITERED ELBOWS FURNISH WITH METAL HANGERS FROM SAME MATERIAL AS

7.62.07 METAL FLASHING TO EXTEND FOR FULL HEIGHT OF CONDUIT

OPENINGS ALUMINUM CURTAINWALLS | SPEC 084413

DOWNSPOUT AND ANCHORS.

8.44.01 OUTRIGGER SYSTEM

FINISHES 9.96 HIGH-PERFORMANCE COATING I SPEC 099600

9.96.01 PREP, PRIME, PAINT (2 COATS) ENTIRE SURFACE WITH HIGH PERFORMANCE COATING.

9.96.04 PREP, PRIME, PAINT (TWO (2) COATS) ENTIRE DOOR FRAME AND DOOR.

SPECIALTIES

10.53 ALUMINUM CANTELEIVER CANOPY I SPEC 084413 10.53.01 PREMANUFACTURED HANGER-ROD CANOPY

WORK DESCRIBED IN THESE KEYNOTES IS THE RESPONSIBLITY OF THE P.C. UNLESS NOTED OTHERWISE. COORDINATE WITH

PLUMBING DRAWING. 22.42 COMMERCIAL PLUMBING FIXTURES 22.42.08 HOSE BIB; COORDINATE W/ PLUMBING DRAWINGS.

HVAC | BY H.C.

PLUMBING | BY P.C.

WORK DESCRIBED IN THESE KEYNOTES IS THE RESPONSIBLITY OF THE H.C. UNLESS NOTED OTHERWISE. COORDINATE WITH MECHANICAL DRAWING.

23.37 DIFFUSER, REGISTERS AND GRILLES | SPEC 233713 23.37.01 EXHAUST VENT BY H.C. G.C TO PROVIDE WOOD BLOCKING BEHIND PANELS AS REQUIRED.

ELECTRICAL | BY E.C. WORK DESCRIBED IN THESE KEYNOTES IS THE RESPONSIBLITY OF THE E.C. UNLESS NOTED OTHERWISE. COORDINATE WITH ELECTRICAL DRAWING.

26.05 COMMON WORK RESULTS FOR ELECTRICAL 26.05.04 INSTALL SECURITY CAMERAS BY E.C., G.C TO PROVIDE WOOD BLOCKING BEHIND PANELS AS REQUIRED.

ARCHITECTS

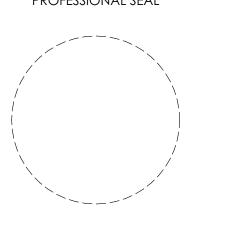
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ISSUED DESCRIPTION

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BAR IS ONE (1) INCH LONG ON ORIGINAL DRAWING

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ELEVATIONS

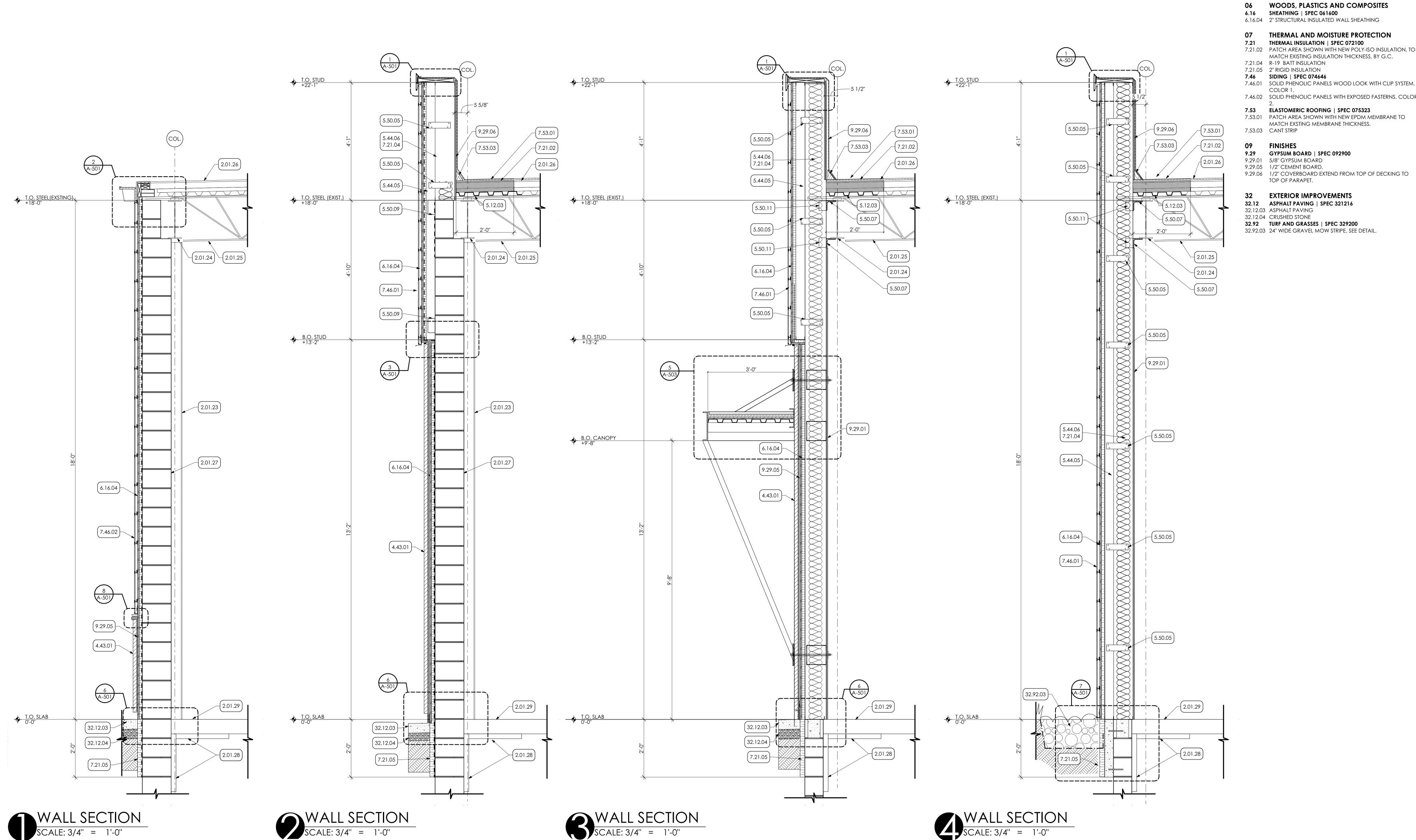
A-20

PHENOLIC PANEL LEGEND 0012.0_AG Center Renovations_CD | BIMcloud: MGA-DATA - BIMcloud Basic for ARCHICAD 25/0012.0_AG Center Renovations_CD | 3/31/2023 | 11:49 AM

SOUTH ELEVATION

SCALE: 1/8" = 1'-0"





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KEY NOTES

02 DEMOLITION

2.01 EXISTING CONDITIONS

2.01.23 EXISTING COLUMN TO REMAIN.

2.01.24 EXISTING BEAM TO REMAIN. 2.01.25 EXISTING JOIST TO REMAIN.

2.01.26 EXISTING ROOF ASSEMBLY TO REMAIN. 2.01.27 EXISTING CMU WALL TO REMAIN.

2.01.28 EXISTING RIGID INSULATION TO REMAIN. 2.01.29 EXISTING CONCRETE SLAB TO REMAIN.

04 MASONRY

4.43 MANUFACTURED MASONRY VENEER | SPEC 047300 4.43.01 MANUFACTURED MASONRY VENEER

METALS 5.12 STRUCTURAL STEEL FRAMING | SPEC 051200

5.12.03 INFILL AREA SHOWN WITH NEW METAL DECKING, TO MATCH EXISTING METAL DECKING, BY G.C. 5.44 COLD FRAMED METAL FRAMING | SPEC 054000

5.44.05 3 5/8" STRUCTURAL METAL STUDS @ 16 O.C. COORINDATE WITH STRUCTURAL DRAWINGS. 5.44.06 8" STRUCTURAL METAL STUDS @ 16 O.C. COORINDATE WITH

STRUCTURAL DRAWINGS. 5.50 METAL FABRICATIONS | SPEC 055000 | SPEC 055213

5.50.05 METAL UTILITY ANGLE. COORDINATE WITH STRUCTURAL 5.50.07 METAL ANGLE COORDINATE WITH STRUCTURAL DRAWINGS.

5.50.09 14 GAUGE METAL CLIP COORDINATE WITH STRUCTURAL DRAWINGS. 5.50.11 12 GAUGE METAL CLIP COORDINATE WITH STRUCTURAL DRAWINGS.

WOODS, PLASTICS AND COMPOSITES

6.16 SHEATHING | SPEC 061600 6.16.04 2" STRUCTURAL INSULATED WALL SHEATHING

THERMAL AND MOISTURE PROTECTION

7.21 THERMAL INSULATION | SPEC 072100 7.21.02 PATCH AREA SHOWN WITH NEW POLY-ISO INSULATION, TO

MATCH EXISTING INSULATION THICKNESS, BY G.C. 7.21.04 R-19 BATT INSULATION

7.21.05 2" RIGID INSULATION

7.46 SIDING | SPEC 074646

COLOR 1. 7.46.02 SOLID PHENOLIC PANELS WITH EXPOSED FASTERNS. COLOR

7.53 ELASTOMERIC ROOFING | SPEC 075323 7.53.01 PATCH AREA SHOWN WITH NEW EPDM MEMBRANE TO

MATCH EXSTING MEMBRANE THICKNESS.

7.53.03 CANT STRIP

9.29 GYPSUM BOARD | SPEC 092900 9.29.01 5/8" GYPSUM BOARD

9.29.05 1/2" CEMENT BOARD.

9.29.06 1/2" COVERBOARD EXTEND FROM TOP OF DECKING TO TOP OF PARAPET.

EXTERIOR IMPROVEMENTS 32.12 ASPHALT PAVING | SPEC 321216

32.12.03 ASPHALT PAVING

32.12.04 CRUSHED STONE

32.92 TURF AND GRASSES | SPEC 329200 32.92.03 24" WIDE GRAVEL MOW STRIPE, SEE DETAIL.

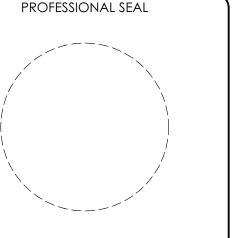


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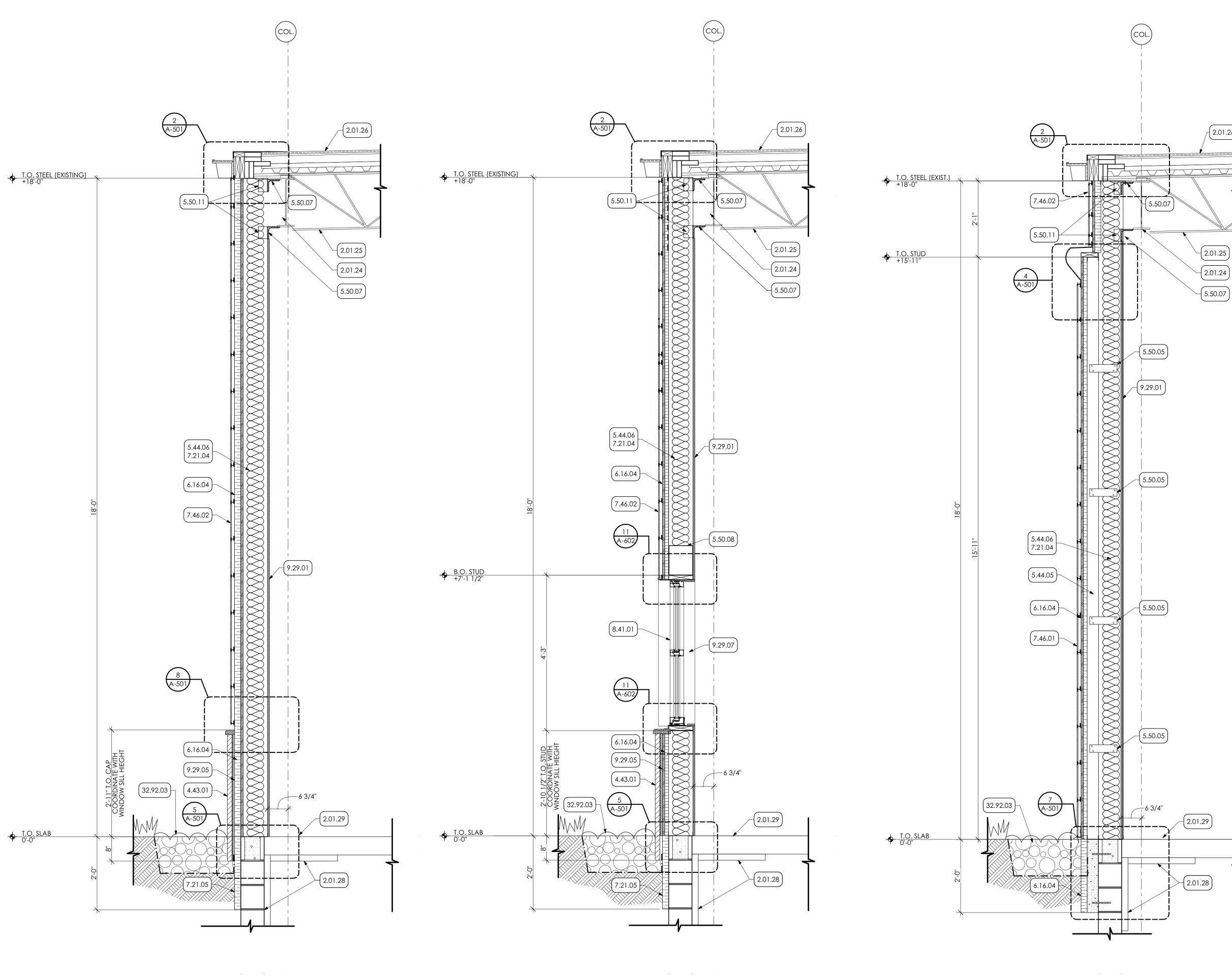
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WALL SECTIONS

A-301





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KEY NOTES

02 DEMOLITION

2.01 EXISTING CONDITIONS

2.01.24 EXISTING BEAM TO REMAIN. 2.01.25 EXISTING JOIST TO REMAIN. 2.01.26 EXISTING ROOF ASSEMBLY TO REMAIN.

2.01.28 EXISTING RIGID INSULATION TO REMAIN. 2.01.29 EXISTING CONCRETE SLAB TO REMAIN.

04 MASONRY 4.43 MANUFACTURED MASONRY VENEER | SPEC 047300 4.43.01 MANUFACTURED MASONRY VENEER

METALS 5.44 COLD FRAMED METAL FRAMING | SPEC 054000 5.44.05 3 5/8" STRUCTURAL METAL STUDS @ 16 O.C. COORINDATE WITH STRUCTURAL DRAWINGS.

5.44.06 8" STRUCTURAL METAL STUDS @ 16 O.C. COORINDATE WITH STRUCTURAL DRAWINGS. 5.50 METAL FABRICATIONS | SPEC 055000 | SPEC 055213

5.50.05 METAL UTILITY ANGLE. COORDINATE WITH STRUCTURAL 5.50.07 METAL ANGLE COORDINATE WITH STRUCTURAL DRAWINGS 5.50.08 METAL BOX HEADER COORINDATE WITH STRUCTURAL

Drawings. 5.50.11 12 GAUGE METAL CLIP COORDINATE WITH STRUCTURAL DRAWINGS.

06 WOODS, PLASTICS AND COMPOSITES 6.16 SHEATHING | SPEC 061600

6.16.04 2" STRUCTURAL INSULATED WALL SHEATHING

THERMAL AND MOISTURE PROTECTION

7.21 THERMAL INSULATION | SPEC 072100 7.21.04 R-19 BATT INSULATION 7.21.05 2" RIGID INSULATION

7.46 SIDING | SPEC 074646 7.46.01 SOLID PHENOLIC PANELS WOOD LOOK WITH CLIP SYSTEM.

7.46.02 SOLID PHENOLIC PANELS WITH EXPOSED FASTERNS. COLOR

OPENINGS 8.41 ALUMINUM STOREFRONTS | SPEC 084113

8.41.01 SCHEDULED ALUMINUM FRAMED STOREFRONT SYSTEM

09 FINISHES 9.29 GYPSUM BOARD | SPEC 092900

9.29.01 5/8" GYPSUM BOARD

9.29.05 1/2" CEMENT BOARD. 9.29.07 GYPSUM BOARD RETURN

32 EXTERIOR IMPROVEMENTS 32.92 TURF AND GRASSES | SPEC 329200

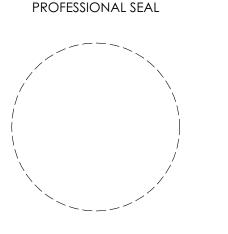
32.92.03 24" WIDE GRAVEL MOW STRIPE, SEE DETAIL.



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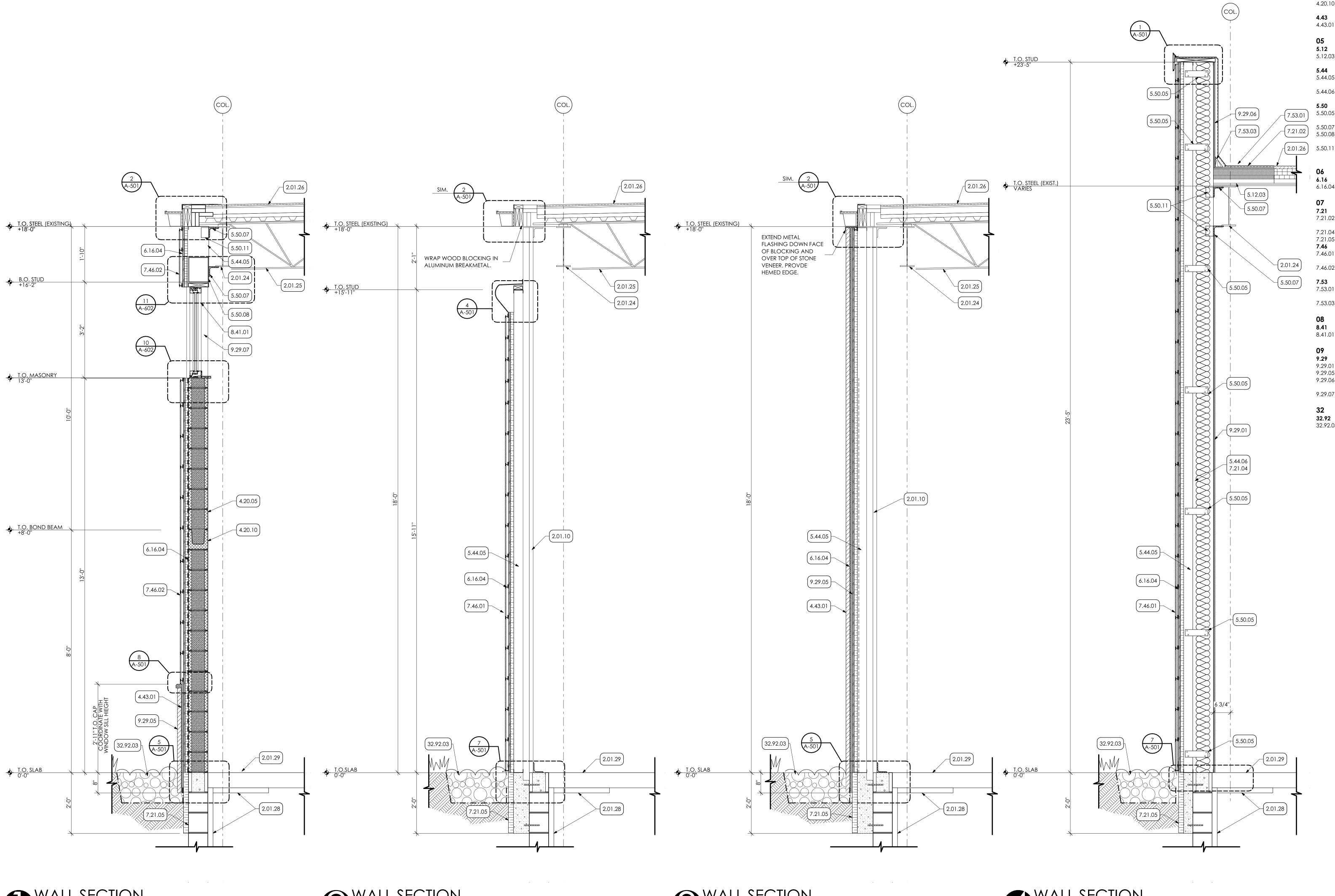
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04 MASONRY

4.22 CMU MASONRY | SPEC 042000 4.20.05 8" CMU GROUTED SOLID. COORINDATE WITH STRUCTURAL DRAWINGS. 4.20.10 8" BOND BEAM COORDINATE WITH STRUCTURAL

DRAWINGS. 4.43 MANUFACTURED MASONRY VENEER | SPEC 047300 4.43.01 MANUFACTURED MASONRY VENEER

METALS

5.12 STRUCTURAL STEEL FRAMING | SPEC 051200 5.12.03 INFILL AREA SHOWN WITH NEW METAL DECKING, TO

MATCH EXISTING METAL DECKING, BY G.C. 5.44 COLD FRAMED METAL FRAMING | SPEC 054000 5.44.05 3 5/8" STRUCTURAL METAL STUDS @ 16 O.C. COORINDATE

WITH STRUCTURAL DRAWINGS. 5.44.06 8" STRUCTURAL METAL STUDS @ 16 O.C. COORINDATE WITH

STRUCTURAL DRAWINGS. 5.50 METAL FABRICATIONS | SPEC 055000 | SPEC 055213 5.50.05 METAL UTILITY ANGLE. COORDINATE WITH STRUCTURAL

DRAWINGS. 5.50.07 METAL ANGLE COORDINATE WITH STRUCTURAL DRAWINGS. 7.21.02) 5.50.07 METAL ANGLE COORDINATE WITH STRUCTURAL DRAWII

DRAWINGS. (2.01.26) 5.50.11 12 GAUGE METAL CLIP COORDINATE WITH STRUCTURAL Drawings.

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6.16.04 2" STRUCTURAL INSULATED WALL SHEATHING

THERMAL AND MOISTURE PROTECTION THERMAL INSULATION | SPEC 072100

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7.21.05 2" RIGID INSULATION 7.46 SIDING | SPEC 074646

7.46.01 SOLID PHENOLIC PANELS WOOD LOOK WITH CLIP SYSTEM. COLOR 1. 7.46.02 SOLID PHENOLIC PANELS WITH EXPOSED FASTERNS. COLOR

7.53 ELASTOMERIC ROOFING | SPEC 075323

7.53.01 PATCH AREA SHOWN WITH NEW EPDM MEMBRANE TO MATCH EXSTING MEMBRANE THICKNESS. 7.53.03 CANT STRIP

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9.29 GYPSUM BOARD | SPEC 092900

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32.92 TURF AND GRASSES | SPEC 329200 32.92.03 24" WIDE GRAVEL MOW STRIPE, SEE DETAIL.

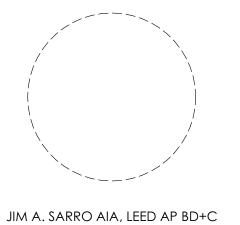
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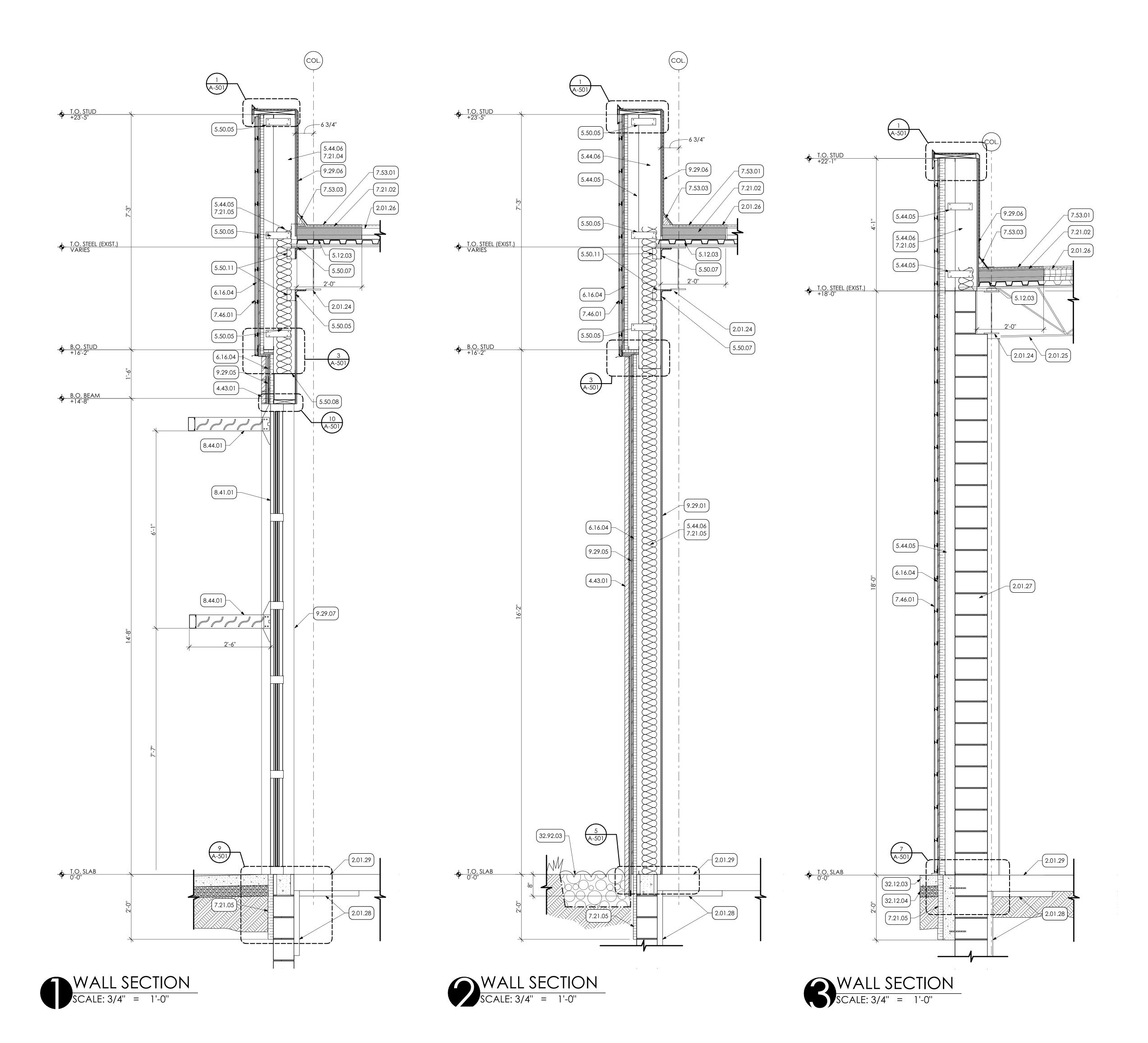
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WALL SECTIONS

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DRAWINGS. 5.50.07 METAL ANGLE COORDINATE WITH STRUCTURAL DRAWINGS.

5.50.08 METAL BOX HEADER COORINDATE WITH STRUCTURAL DRAWINGS. 5.50.11 12 GAUGE METAL CLIP COORDINATE WITH STRUCTURAL

WOODS, PLASTICS AND COMPOSITES

6.16 SHEATHING | SPEC 061600 6.16.04 2" STRUCTURAL INSULATED WALL SHEATHING

THERMAL AND MOISTURE PROTECTION

7.21 THERMAL INSULATION | SPEC 072100 7.21.02 PATCH AREA SHOWN WITH NEW POLY-ISO INSULATION, TO

MATCH EXISTING INSULATION THICKNESS, BY G.C. 7.21.04 R-19 BATT INSULATION 7.21.05 2" RIGID INSULATION

DRAWINGS.

7.46 SIDING | SPEC 074646 7.46.01 SOLID PHENOLIC PANELS WOOD LOOK WITH CLIP SYSTEM.

7.53 ELASTOMERIC ROOFING | SPEC 075323 7.53.01 PATCH AREA SHOWN WITH NEW EPDM MEMBRANE TO

MATCH EXSTING MEMBRANE THICKNESS. 7.53.03 CANT STRIP

OPENINGS

8.41 ALUMINUM STOREFRONTS | SPEC 084113 8.41.01 SCHEDULED ALUMINUM FRAMED STOREFRONT SYSTEM

8.44 ALUMINUM CURTAINWALLS | SPEC 084413 8.44.01 OUTRIGGER SYSTEM

FINISHES

9.29 GYPSUM BOARD | SPEC 092900

9.29.01 5/8" GYPSUM BOARD 9.29.05 1/2" CEMENT BOARD.

9.29.06 1/2" COVERBOARD EXTEND FROM TOP OF DECKING TO TOP OF PARAPET.

9.29.07 GYPSUM BOARD RETURN

32 EXTERIOR IMPROVEMENTS

32.12 ASPHALT PAVING | SPEC 321216
32.12.03 ASPHALT PAVING
32.12.04 CRUSHED STONE
32.92 TURF AND GRASSES | SPEC 329200
32.92.03 24" WIDE GRAVEL MOW STRIPE, SEE DETAIL.



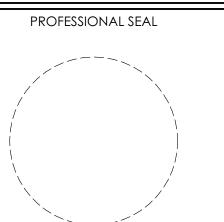
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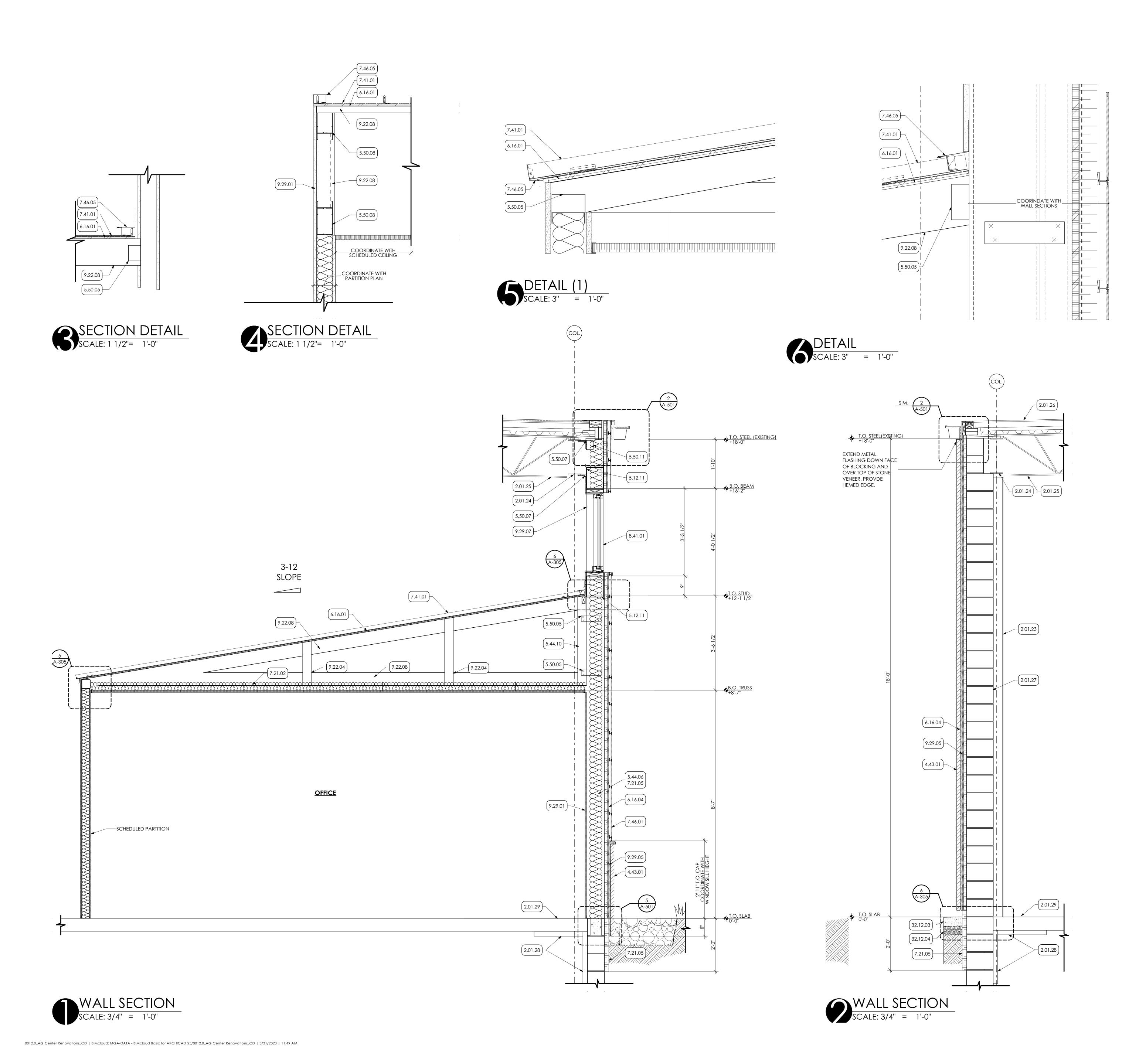
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KEY NOTES

02 DEMOLITION

2.01 EXISTING CONDITIONS

2.01.23 EXISTING COLUMN TO REMAIN. 2.01.24 EXISTING BEAM TO REMAIN.

2.01.25 EXISTING JOIST TO REMAIN. 2.01.26 EXISTING ROOF ASSEMBLY TO REMAIN.

2.01.27 EXISTING CMU WALL TO REMAIN. 2.01.28 EXISTING RIGID INSULATION TO REMAIN. 2.01.29 EXISTING CONCRETE SLAB TO REMAIN.

04 MASONRY

4.43 MANUFACTURED MASONRY VENEER | SPEC 047300 4.43.01 MANUFACTURED MASONRY VENEER

METALS

5.12 STRUCTURAL STEEL FRAMING | SPEC 051200 5.12.11 SCHEDULED BEAM; COORDINATE w/ STRUCTURAL

5.44 COLD FRAMED METAL FRAMING | SPEC 054000

5.44.06 8" STRUCTURAL METAL STUDS @ 16 O.C. COORINDATE WITH STRUCTURAL DRAWINGS.

5.44.10 METAL BRACING 5.50 METAL FABRICATIONS | SPEC 055000 | SPEC 055213

5.50.05 METAL UTILITY ANGLE. COORDINATE WITH STRUCTURAL DRAWINGS.

5.50.07 METAL ANGLE COORDINATE WITH STRUCTURAL DRAWINGS. 5.50.08 METAL BOX HEADER COORINDATE WITH STRUCTURAL

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WOODS, PLASTICS AND COMPOSITES

6.16 SHEATHING | SPEC 061600 6.16.01 3/4" PLYWOOD SHEATHING

6.16.04 2" STRUCTURAL INSULATED WALL SHEATHING THERMAL AND MOISTURE PROTECTION

7.21 THERMAL INSULATION | SPEC 072100 7.21.02 SOUND ATTENUATING BATT INSULATION

7.21.05 2" RIGID INSULATION

7.41 METAL ROOF PANELS | SPEC 074113

7.41.01 STANDING SEAM METAL ROOF PANEL. 7.46 SIDING | SPEC 074646 7.46.01 SOLID PHENOLIC PANELS WOOD LOOK WITH CLIP SYSTEM.

OPENINGS

COLOR 1. 7.46.05 MANUFACTURE STANDARD ROOF TRIM

8.41 ALUMINUM STOREFRONTS | SPEC 084113 8.41.01 SCHEDULED ALUMINUM FRAMED STOREFRONT SYSTEM

9.22 NON-STRUCTURAL METAL FRAMING | SPEC 092216 9.22.04 3 5/8" METAL STUD FRAMING AT 16" o.c.

9.22.08 6" METAL STUDS AT 16" O.C.

9.29 GYPSUM BOARD | SPEC 092900 9.29.01 5/8" GYPSUM BOARD

9.29.05 1/2" CEMENT BOARD.

9.29.07 GYPSUM BOARD RETURN

EXTERIOR IMPROVEMENTS 32.12 ASPHALT PAVING | SPEC 321216

32.12.03 ASPHALT PAVING

32.12.04 CRUSHED STONE

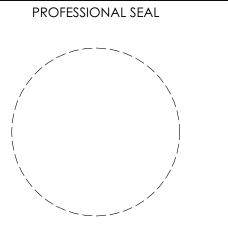
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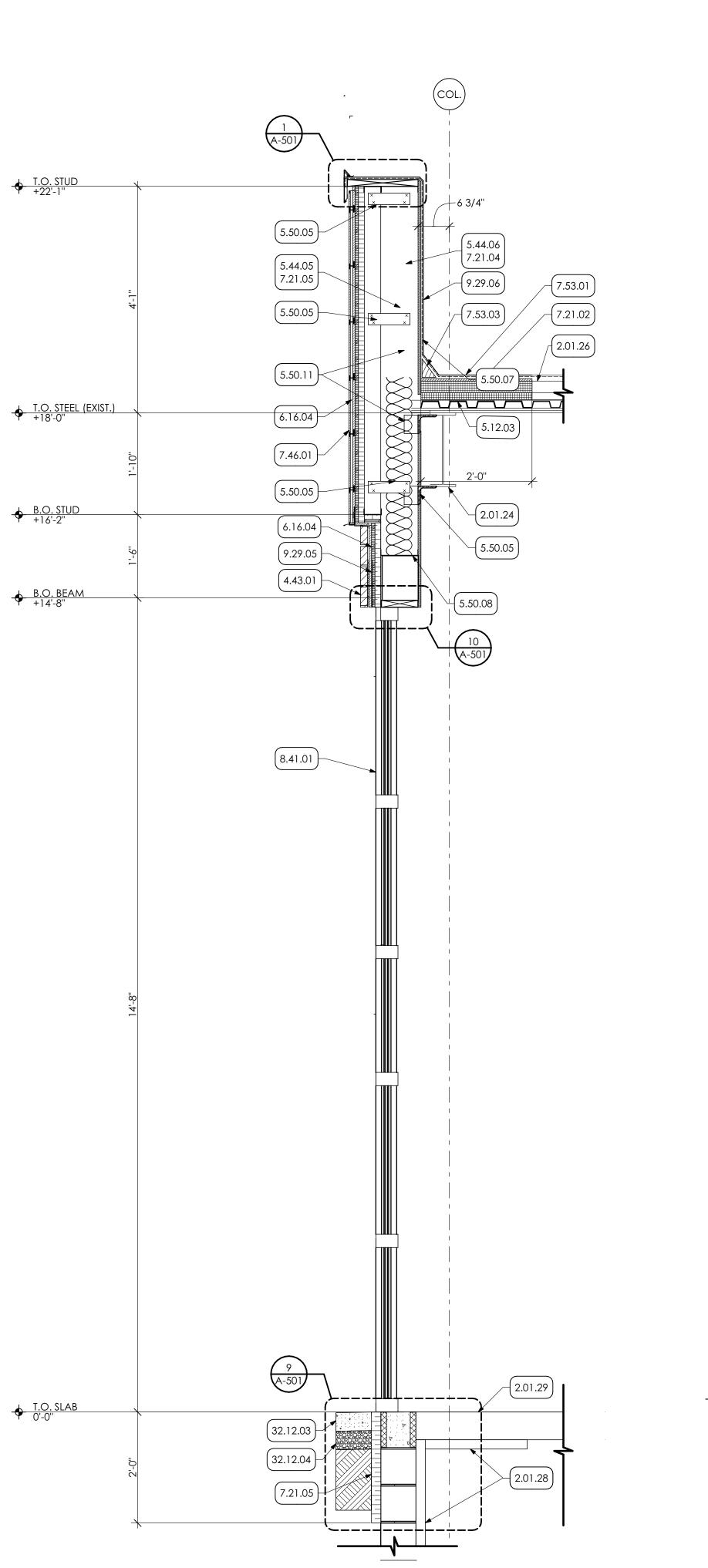
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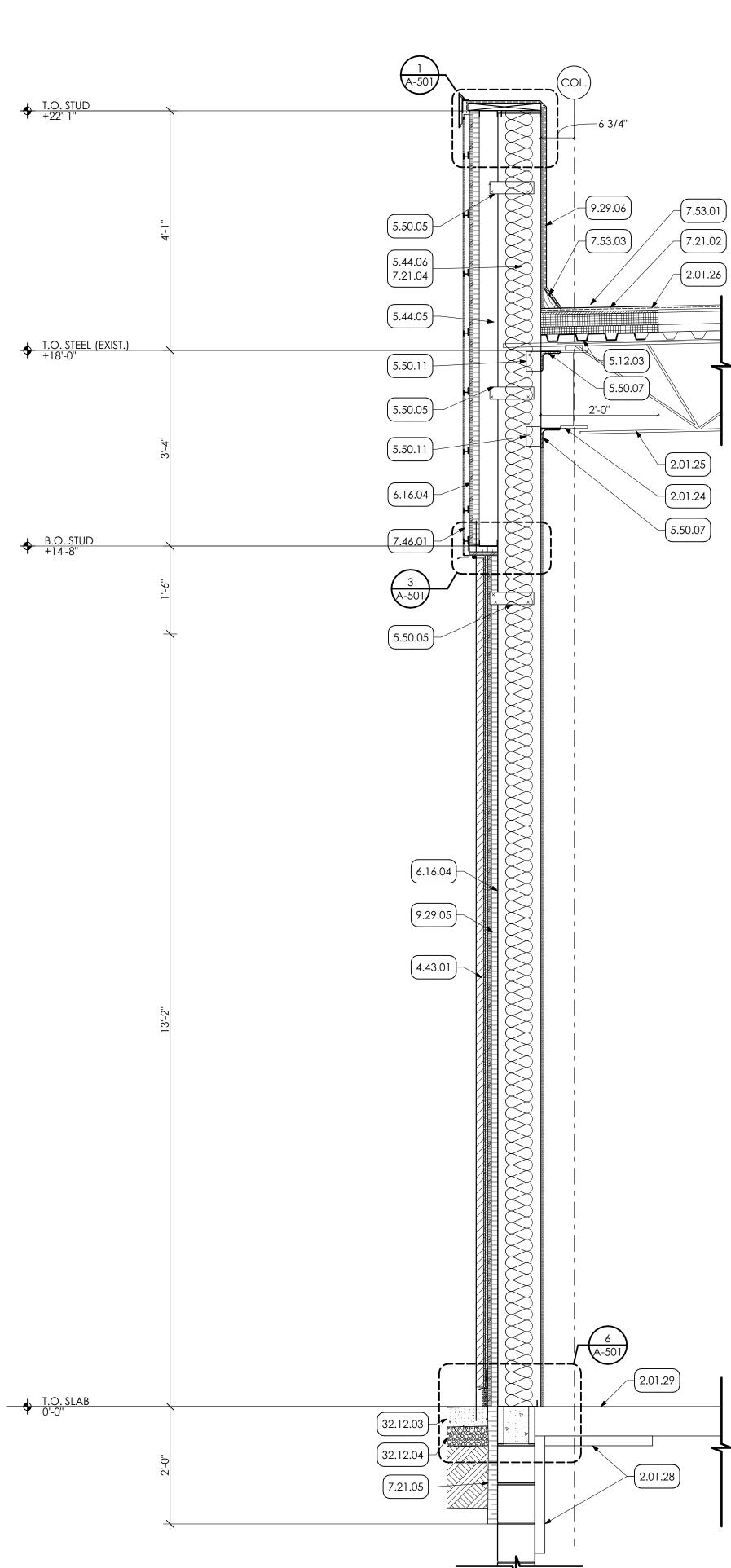
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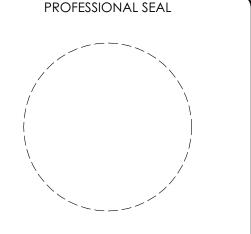


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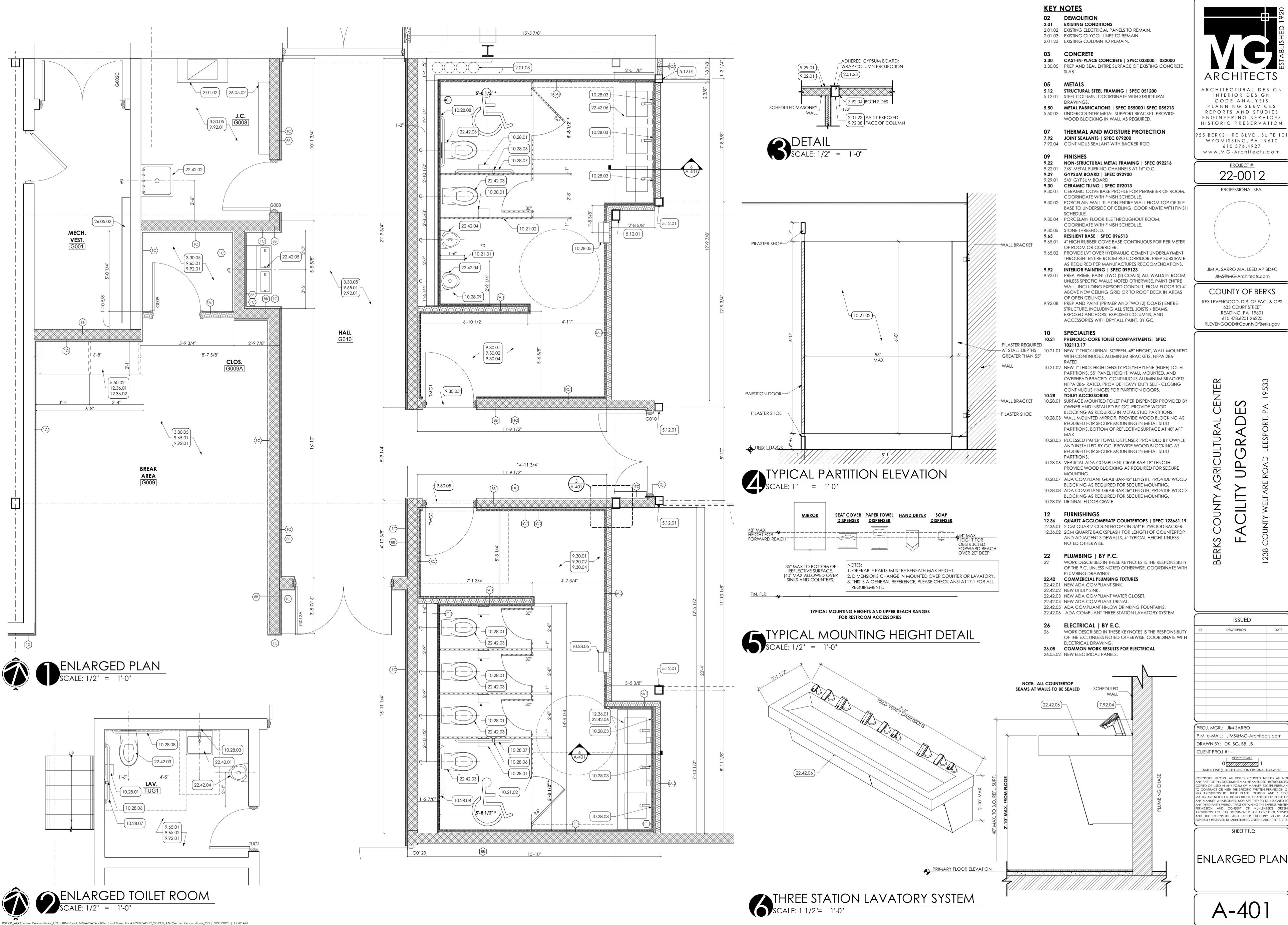
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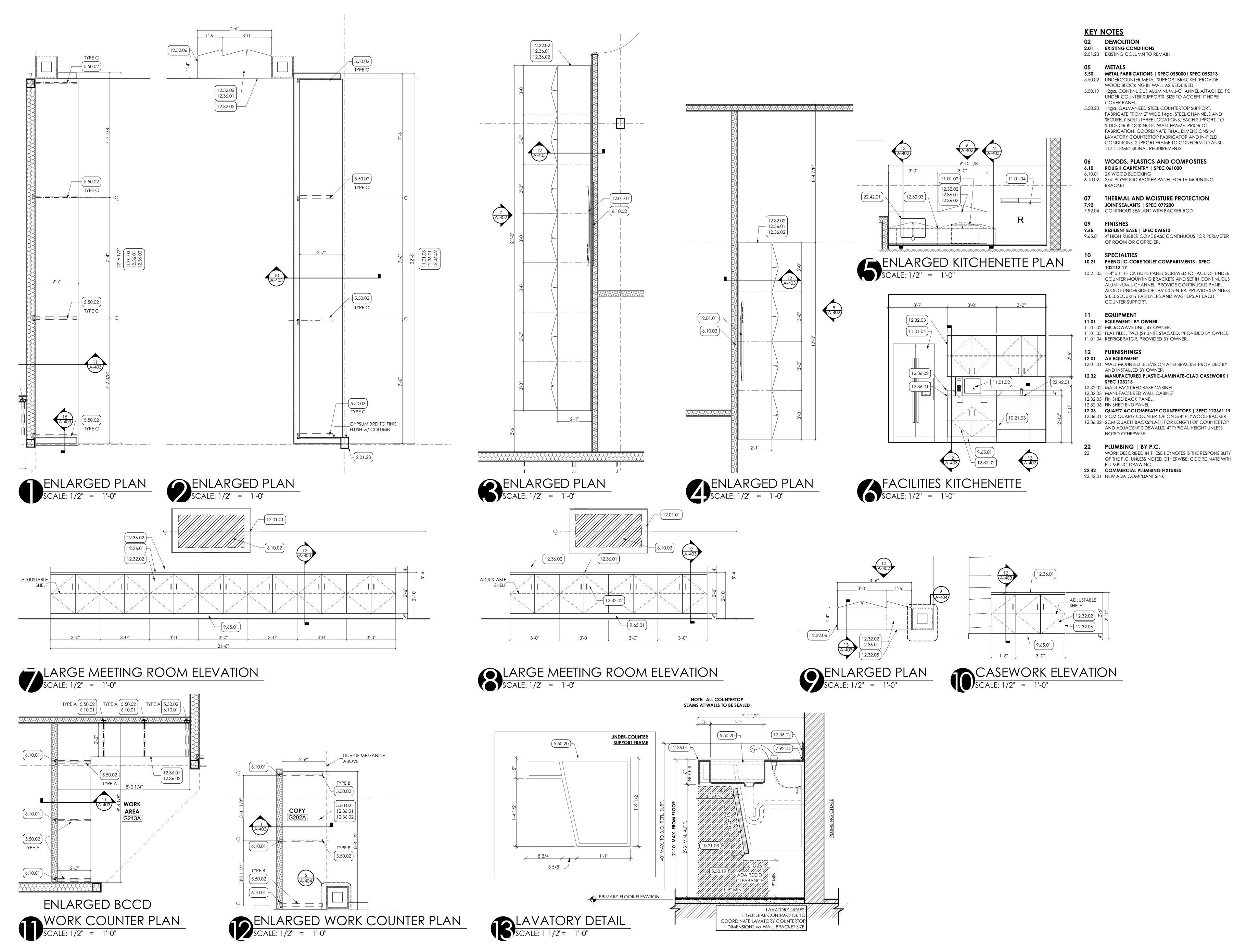
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