

**1 STAGING PLAN**  
SCALE: 1" = 30'

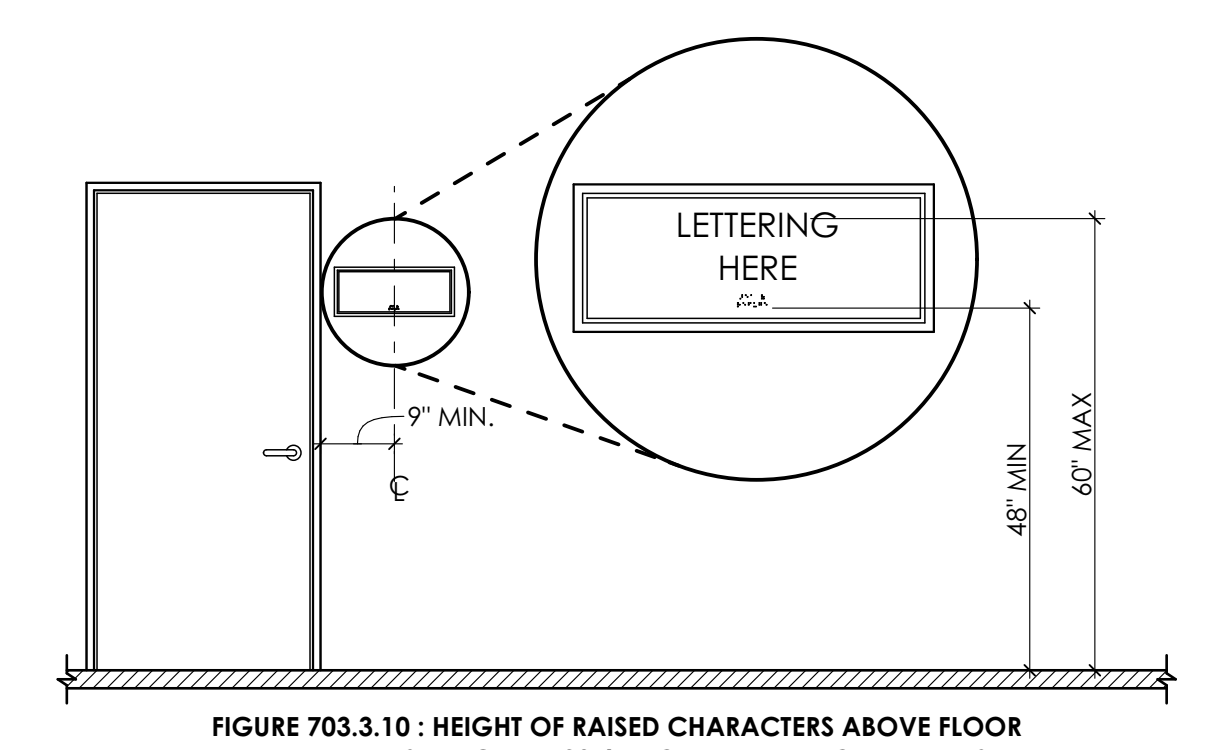


FIGURE 703.3.10 : HEIGHT OF RAISED CHARACTERS ABOVE FLOOR  
SEE FIGURE 703.4.5 FOR BRAILLE REQUIREMENTS

**3 MOUNTING HEIGHT DETAIL**  
SCALE: 1/2" = 1'-0"

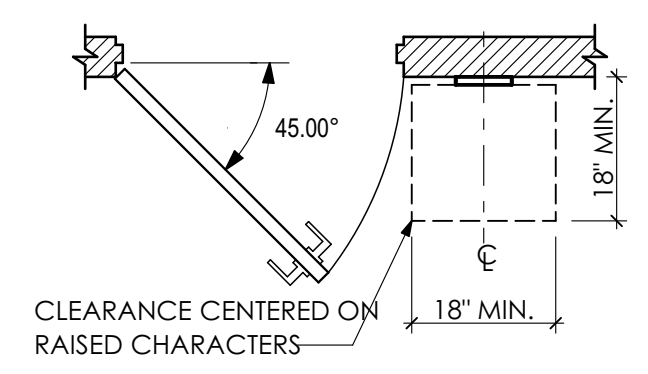
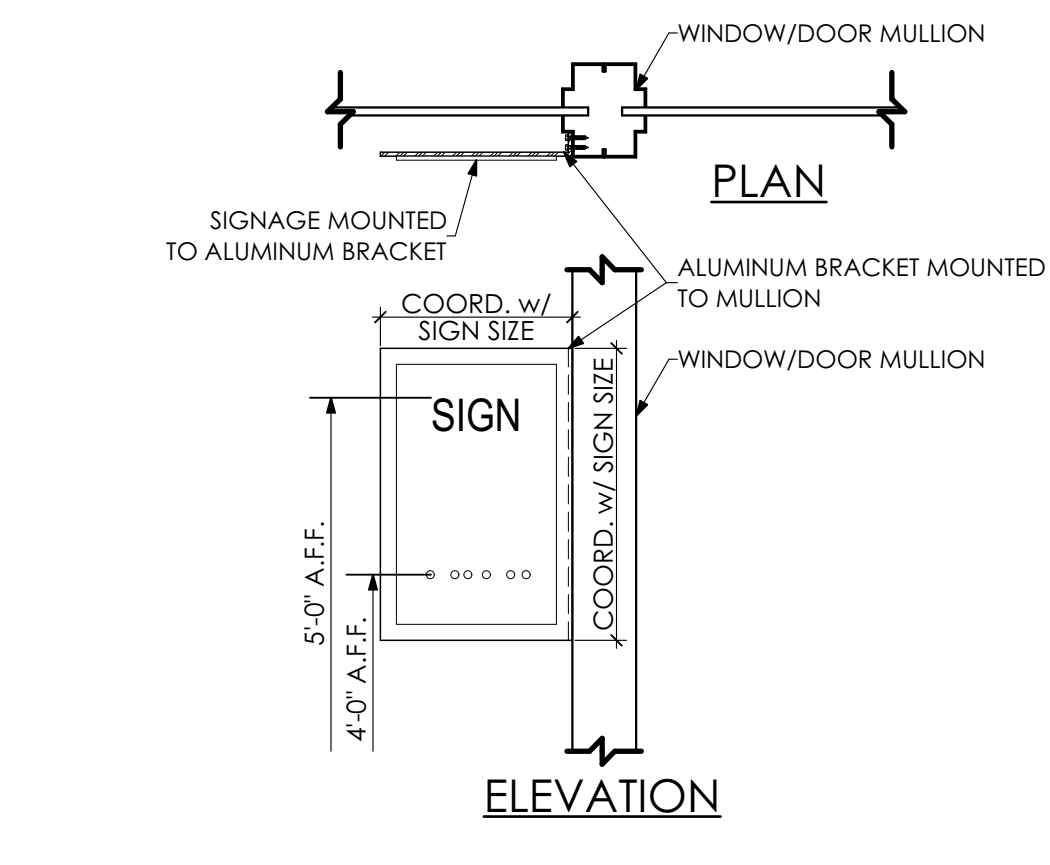


FIGURE 703.3.11 : LOCATION OF SIGNS AT DOORS



**2 SIGN MOUNTING - STOREFRONT**  
SCALE: 1" = 1'-0"

**KEY NOTES**

- 01 GENERAL CONSTRUCTION**
- 1.50 GENERAL CONSTRUCTION NOTE
- 1.50.01 G.C. TO PROVIDE TEMPORARY 8'-0" HIGH CHAIN-LINK FENCE AS SHOWN.
- 1.50.02 G.C. TO PROVIDE TWO (2) 8'-0" WIDE CHAIN LINK FENCE GATES WITH PADLOCK.
- 32 EXTERIOR IMPROVEMENTS**
- 32.20 SITEMARK
- 32.20.01 EXCAVATE FOR CONSTRUCTION STAGING AREA. PROVIDE MINIMUM 8" OF AASHTO #2A STONE.
- 32.92 TURF AND GRASSES | SPEC 329200**
- 32.92.05 AT THE COMPLETION OF THE WORK, REMOVE STONE AND BACKFILL WITH CLEAN FILL AND SEED ENTIRE AREA, BY G.C.

BUILDING CODE SUMMARY	APPLICABLE CODES AND ORDINANCES
	2018 IBC: ALL APPLICABLE CHAPTERS 2018 IEBC: ALL APPLICABLE CHAPTERS ANSI 117.1, 2017 EDITION: ALL APPLICABLE CHAPTERS ALL APPLICABLE SUB-CODES AND STANDARDS

PROJECT SCOPE:	PARTIAL RENOVATION RENOVATION OF EXISTING PREFABRICATED METAL WAREHOUSE INTO OFFICE SPACE.
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BUILDING AND PROJECT DATA			
BUILDING DESCRIPTION AND USE	OFFICE w/ PARTIAL MEZZANINE		
<b>IEBC 2018</b>			
CLASSIFICATION OF WORK	CHAPTER 5, SECTION 507	LEVEL 3 RENOVATION	
IBC 2018		REQUIRED	PROVIDED
USE AND OCCUPANCY	CHAPTER 3		B/S2 (NON SEPARATED / MIXED USE)
CONSTRUCTION TYPE	SECTION 602 AND TABLE 601		TYPE II-B
AUTOMATIC SPRINKLER SYSTEM	SECTION 903		NO
BUILDING HEIGHT	TABLE 504.4	75' MAX.	APPX. 31'-6"
BUILDING STORIES	TABLE 504.4	3 MAX.	2
FLOOR AREA / STORY	TABLE 506.2		
TOTAL FLOOR AREA PER STORY		42,991 SQ. FT. MAX. (B)	
THE BUILDING IS SEPARATED INTO TWO DISTINCT BUILDINGS BY AN EXISTING 2-HR FIRE WALL.			
BUILDING 1	LIMITED WORK IN THIS BUILDING.		
BASEMENT			11,071 SQ. FT.
FIRST FLOOR			12,757 SQ. FT.
SECOND FLOOR			12,757 SQ. FT.
BUILDING 2			
FIRST FLOOR			30,199 SQ. FT.
MEZZANINE AREA			3,415 SQ. FT.
TOTAL AREA (ENTIRE BUILDING / EXCLUDING MEZZANINES)			66,784 SQ. FT.

TABLE 1004.1.2   MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT - BUILDING 2			
BUSINESS AREAS (MAIN USE)	21,979 SQ. FT. (GROSS)	150 SQ. FT. / PERSON (GROSS)	146.5 (147)
ACCESSORY USES TO THE MAIN USE			
ASSEMBLY (UNCONCENTRATED)	1,774 SQ. FT. (NET)	15 SQ. FT. / PERSON (NET)	118.3 (119)
STORAGE / MECHANICAL AREAS	6,446 SQ. FT. (GROSS)	300 SQ. FT. / PERSON (GROSS)	21.5 (22)
TOTAL OCCUPANCY - BUILDING 2			288

MEANS OF EGRESS			
IBC 2018	REQUIRED	PROVIDED	
MEANS OF EGRESS SIZING	SECTION 1005		
STAIRWAYS	SECTION 1005.3.1	0.3 INCHES PER OCCUPANT	SEE LIFE SAFETY PLANS
OTHER EGRESS COMPONENTS	SECTION 1005.3.2	0.2 INCHES PER OCCUPANT	SEE LIFE SAFETY PLANS
STAIRWAYS	SECTION 1009 & 1011		
STAIRWAY WIDTH	SECTION 1011.2	44" (36" IF OCC. < 50)	38" (MEZZ. OCC. < 50)
ACCESSIBLE STAIRWAY WIDTH	SECTION 1009.3	48"	N/A - NON-ACC. MEZZANINE
AREA OF REFUGE	SECTION 1009.6	NO	N/A
EXTERIOR AREA FOR ASSISTED RESCUE	SECTION 1009.7	NO	N/A
MAXIMUM PATH OF COMMON EGRESS TRAVEL	SECTION 1006.2.1	75'	SEE LIFE SAFETY PLANS
MAXIMUM EXIT ACCESS TRAVEL DISTANCE	SECTION 1017 & TABLE 1017.2	250'	SEE LIFE SAFETY PLANS
MINIMUM CORRIDOR WIDTH	SECTION 1020.2	44"	SEE LIFE SAFETY PLAN
MAXIMUM DEAD END	SECTION 1020.4	50'	N/A
MINIMUM NUMBER OF EXITS	SECT. 1006 & TABLE 1006.3.1	2	SEE LIFE SAFETY PLANS

PLUMBING SYSTEMS			
IBC 2018	REQUIRED	PROVIDED	
TABLE 2902.1 MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES   BUILDING 2 - OCCUPANCY CLASSIFICATION: B (BUSINESS)			
WATER CLOSETS - MALE	1 PER 40	8	16
WATER CLOSETS - FEMALE	1 PER 40	8	16
LAVATORIES - MALE	1 PER 200	2	12
LAVATORIES - FEMALE	1 PER 200	2	12
BATHTUBS / SHOWERS	-	-	-
DRINKING FOUNTAINS	1 PER 500	2	2
OTHER	SERVICE SINK	1	1

ENERGY CONSERVATION					
IECC 2018	REQUIRED	PROVIDED			
CLIMATE ZONE					
TABLES C402.1.3 & C402.1.4   OPAQUE THERMAL ENVELOPE INSULATION COMPONENT MINIMUM REQUIREMENTS		PENNSYLVANIA - BERKS COUNTY - 5A			
ROOFS	R-VALUE	U-FACTOR	PROVIDED		
INSULATION ABOVE ROOF DECK (EXISTING ROOF TO REMAIN   PATCHING ONLY)	R-30ci	U-0.032	R-30 ci (EXISTING)		
WALLS, ABOVE GRADE					
METAL FRAMED	R-13 + R-7.5ci	U-0.064	R-19 + R-7.5 ci		
SLAB-ON-GRADE FLOORS					
UNHEATED SLABS	R-10   2" BELOW	F-0.54	R-10   2" BELOW		
DOORS					
OPAQUE, NON-SWINGING	R-4.75	U-0.21	U-0.136 *		
OPAQUE, SWINGING	-	U-0.37	U-0.16 0"		
TABLE C402.4   BUILDING ENVELOPE FENESTRATION MAXIMUM U-FACTOR AND SHGC REQUIREMENTS					
FENESTRATION	U-FACTOR	SHGC	ORIENTATION	SOUTH EAST WEST	NORTH
FIXED FENESTRATION	0.38		PF < 0.2	0.40	0.53
OPERABLE FENESTRATION	0.45		0.2 ≤ PF < 0.5	0.48	0.58
ENTRANCE DOORS (GLAZED)	0.77		PF ≤ 0.5	0.64	0.64

CODE REQUIRED SIGNAGE - IBC 2018						
ID OR POSTED OCCUPANT LOAD						
ID	SIGNAGE TEXT	IBC SECTION	SIZE	DUPLICATE BRAILLE TEXT	TACTILE TEXT	ISA
CS-1	EXIT/EXIT ACCESS (IN ADDITION TO ILLUMINATED SIGN)	IBC SECTION 1013	4'x6'	YES	YES	YES
CS-4	TOILET ROOM (MENS/WOMENS/UNSEX)	IBC SECTION 2902.4	6'x9'	YES	YES	NO
CS-5	FIRE EXTINGUISHER	IFC SECTION 906.6	3'x6'	YES	YES	NO
GENERAL SIGNAGE NOTES						
1. ALL REQUIRED ACCESSIBILITY SIGNAGE SHALL FOLLOW THE INTERNATIONAL SYMBOL OF ACCESSIBILITY IN SIZE, COLOR, PROPORTIONS, AND TEXT (TACTILE AND BRAILLE TEXT REQUIREMENTS).						
2. ALL SIGNAGE SHALL FOLLOW IBC 2018, ICC A117.1 - 2009, AND 2010 ADA STANDARDS/REQUIREMENTS.						
3. GENERAL CONTRACTOR SHALL VERIFY SIGNAGE QUANTITIES.						
4. REFER TO LIFE SAFETY PLANS ON SHEETS A-003 AND A-004 FOR SIGNAGE LOCATIONS. GENERAL CONTRACTOR SHALL VERIFY/CONFIRM FINAL LOCATIONS OF ALL SIGNS WITH AUTHORITY HAVING JURISDICTION.						
5. REFER TO SHEET A-005 FOR TYPICAL ACCESSIBILITY DETAILS.						
6. SIGNAGE FOR RATED BARRIERS SHALL BE LOCATED WITHIN 15 FEET OF THE END OF EACH WALL OR PARTITION AND SPACED AT INTERVALS NOT EXCEEDING 30 FEET ALONG THE WALL OR PARTITION. THE LETTERING SHALL NOT BE LESS THAN 3 INCHES IN HEIGHT WITH A MINIMUM 3/8" STROKE IN A CONTRASTING COLOR.						

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ESTABLISHED 1920

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PROJECT #:  
**22-0012**

PROFESSIONAL SEAL

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FACILITY UPGRADES  
1238 COUNTY WELFARE ROAD LEESPORT, PA 19533

ISSUED		
DATE: ISSUED 3/30/23		
ID	DESCRIPTION	DATE

PROJ. MGR.: JIM SARRO  
P.M. e-MAIL: JIMS@MG-Architects.com  
DRAWN BY: DK, SG, BB, JS  
CLIENT PROJ # : \_\_\_\_\_

1" = 30' SCALE  
BAR IS ONE (1) INCH LONG ON ORIGINAL DRAWING

SHEET TITLE:  
**CONTRACTOR LAYDOWN AREA AND CODE SUMMARY**

**A-002**

SEE SHEET A-003 & 005 FOR SIGNAGE REQUIREMENTS











# BERKS AGRICULTURAL CENTER BUILDING EXPANSION

## CONSTRUCTION DOCUMENTS BERN TOWNSHIP, BERKS COUNTY, PENNSYLVANIA



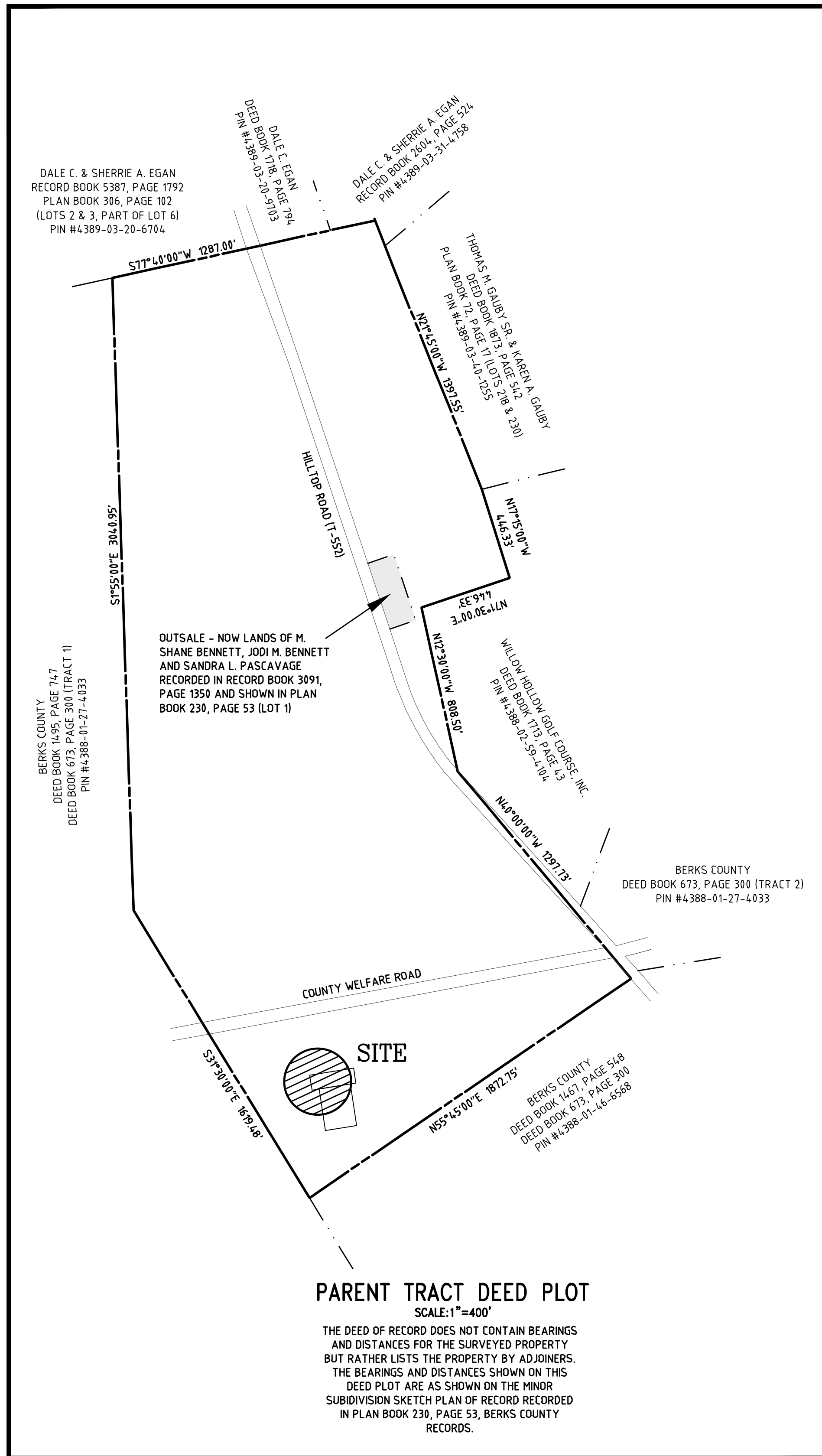
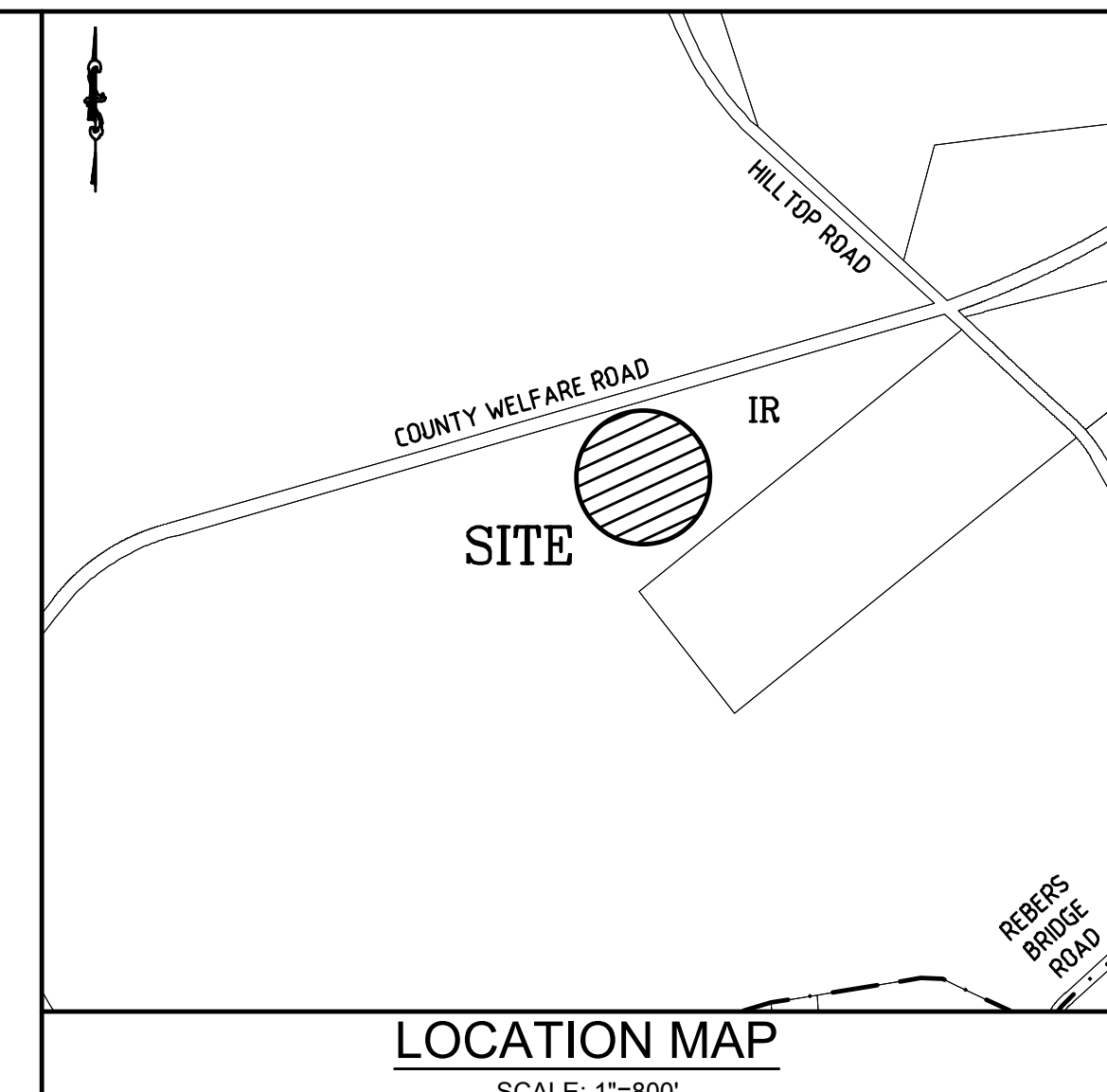
PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY PA ACT 121 OF OCTOBER 5, 2008 73 P.S. 176.106 REQUIRES NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

SERIAL NUMBER: 20181550064

### NOTES:

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THE PENNSYLVANIA ACT 287 AND TO CONTACT THE "ONE-CALL SYSTEM" WORKING DAYS PRIOR TO CONSTRUCTION (UNLESS OTHERWISE INDICATED). PA ONE-CALL NUMBER: 1-800-242-1779 OR 811
- ALL EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS AND MUST BE VERIFIED WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY CONSTRUCTION OR OPERATION BEING UNDERTAKEN ON THIS SITE.
- ANY CONSTRUCTION OR OPERATION UNDERTAKEN ON THIS SITE MUST CONFORM TO ANY AND ALL LOCAL, STATE, FEDERAL OR OTHER RESTRICTIONS IN EFFECT AT THE TIME OF OPERATION.

BERN TOWNSHIP  
BERN TOWNSHIP FEDERAL AUTHORITY  
SECRETARY TREASURER  
CITY OF READING  
ECONOMIC DEVELOPMENT AND  
LEESPORT BOROUGH WATER UTILITY  
HAWK CREEK WATER UTILITY  
METROPOLITAN EROSION CONTROL AUTHORITY  
READING AREA WATER AUTHORITY  
READING REGIONAL SANITARY AUTHORITY  
UG UTILITIES INC.  
VEREEN PENNSYLVANIA  
WESTERN BERKS WATER AUTHORITY  
WINDTREAT



### NOTES:

- THESE PLANS HAVE BEEN PREPARED FOR LAND DEVELOPMENT PURPOSES ONLY. ADDITIONAL DATA MAY BE NECESSARY FOR CONSTRUCTION.
- REFER TO THE LATEST ARCHITECTURAL DRAWINGS FOR COMPLETE DIMENSIONS AND CONSTRUCTION DETAILS FOR THE PROPOSED BUILDING AND ASSOCIATED EXTERIOR FEATURES.
- PURSUANT TO PA ACT 121 (2008), NOTIFICATION TO THE "ONE-CALL SYSTEM" IS REQUIRED AT LEAST THREE (3) WORKING DAYS PRIOR TO DISTURBING EARTH WITH ANY TYPE OF POWERED EQUIPMENT. CALL 1-800-242-1779.
- THE CONTOURS AND TOPOGRAPHICAL INFORMATION SHOWN IS BASED ON A FIELD SURVEY PERFORMED BY STACKHOUSE BENSINGER INC. (SBI) IN JUNE OF 2018.
- THE LOCATIONS OF UNDERGROUND UTILITIES HAVE BEEN SHOWN BASED ON FIELD SURVEY AND SURFACE OBSERVATION AND EXISTING DATA PROVIDED BY UTILITIES. STACKHOUSE BENSINGER INC. (SBI) MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. SBI DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THEIR EXACT LOCATION; THEREFORE, SBI SHALL NOT BE RESPONSIBLE OR HELD LIABLE FOR ANY UTILITY NOT SHOWN OR SHOWN ON THE DRAWINGS IN A LOCATION OTHER THAN WHERE IT IS ACTUALLY DISCOVERED UPON EXCAVATION. SBI HAS NOT PHYSICALLY EXCAVATED AND LOCATED ANY UNDERGROUND LINES.
- THERE ARE NO APPARENT SINKHOLES IN THE PROJECT AREA.
- WHEREVER POSSIBLE, NATURAL FEATURES OF THE SITE SUCH AS LARGE TREES, WOODED AREAS AND NATURAL WATERCOURSES AND BODIES OF WATER SHALL BE PRESERVED DURING CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE SUBJECT TO THE REQUIREMENTS OF THE PENNSYLVANIA UNIFORM CONSTRUCTION CODE, AS ADOPTED BY THE MUNICIPALITY.
- ALL CONSTRUCTION IMPROVEMENTS SHALL BE LOCATED, DESIGNED, INSTALLED AND/OR CONSTRUCTED IN ACCORDANCE WITH ALL CURRENT STANDARDS SPECIFIED BY THE TOWNSHIP OF BERN. IF NOT COVERED, THEN PENNDOT PUBLICATION 408-SPECIFICATIONS, PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION RC SERIES SHALL APPLY, UNLESS OTHERWISE NOTED ON THE PLANS.
- AS IT RELATES TO CONSTRUCTION ACTIVITY, AND AS NEEDED TO CONSTRUCT IMPROVEMENTS AS INDICATED ON THE PLAN(S), THE CONTRACTOR SHALL REMOVE AND/OR DISPOSE OF ANY BY-PRODUCTS, UNUSED STOCK, DEMOLITION DEBRIS, ETC. IN ACCORDANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL REGULATIONS GOVERNING SUCH DISPOSAL.
- THE CONTRACTOR SHALL PROVIDE EASO CONTROL MEASURES AS NECESSARY.
- STACKHOUSE BENSINGER INC. HAS NOT PROVIDED THE DESIGN OF SHORING, TRENCHING, EXCAVATION, SUPPORT, SHIELDING OR BENCHING ASSOCIATED WITH THE INSTALLATION OF UTILITIES, GRADING, ETC. ON THE PLAN(S). IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF UTILITIES AND TO COMPLY WITH OSHA TRENCHING REQUIREMENTS.
- IF UNFORESEEN SUBSURFACE OR GEOLOGIC CONDITIONS ARE ENCOUNTERED, INCLUDING BUT NOT LIMITED TO DUMPS, FOUNDATIONS, ARCHAEOLOGICAL ARTIFACTS OR FEATURES, SPRINGS, ROCK, SINKHOLES, ETC., THE CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY STACKHOUSE BENSINGER INC. AND THE OWNER.
- ALL EQUIPMENT OPERATED ON NEWLY PAVED SURFACES SHALL HAVE RUBBER WHEELS OR RUNNERS AND SHALL HAVE RUBBER, WOOD, OR SIMILAR PROTECTIVE PADS BETWEEN OUTRIGGERS AND THE ROADWAY SURFACE. IN THE EVENT THAT OTHER THAN RUBBER EQUIPPED MACHINERY IS AUTHORIZED FOR USE, THE PAVED SURFACE SHALL BE PROTECTED BY THE USE OF MATTING, WOOD, OR OTHER SUITABLE PROTECTIVE MATERIAL HAVING A MINIMUM THICKNESS OF (4) FOUR INCHES.
- NO OPENINGS WITHIN THE CLEAR ZONE OF AN OPEN ROAD, ACCESS DRIVE OR PARKING AREA SHALL BE ALLOWED AT THE END OF EACH WORKDAY. IF A TRENCH NEEDS TO BE LEFT OPEN AT THE END OF A WORKDAY, REFER TO PENNDOT SPECIFICATIONS FOR ACCEPTABLE PROTECTION GUIDELINES FOR ALL OPENINGS.
- WORK ZONE TRAFFIC CONTROL SHALL COMPLY WITH PUBLICATION 23 (MAINTENANCE MANUAL) AND PUBLICATION 213 (TEMPORARY TRAFFIC CONTROL GUIDELINES).
- FINAL SEWER, WATER, GAS, ELECTRIC, TELEPHONE AND DATA SERVICE LOCATIONS AT THE BUILDING SHALL BE VERIFIED BY THE ARCHITECT OR MECHANICAL/ELECTRICAL ENGINEER PRIOR TO ANY SUCH CONSTRUCTION.
- ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BERN TOWNSHIP MUNICIPAL AUTHORITY OF THE TOWNSHIP OF BERN, BERKS COUNTY, CURRENT RULES AND REGULATIONS AND DEP REGULATIONS. IT IS RECOMMENDED THAT THE PERMIT(S) BE OBTAINED PRIOR TO ORDERING OF MATERIALS IN THE EVENT THE MUNICIPAL SPECIFICATIONS DIFFER FROM INFORMATION SHOWN ON THE DRAWINGS. THE CONTRACTOR MUST MEET THE MUNICIPALITY'S SPECIFICATIONS.
- ALL LATERALS/BUILDING SEWERS SHALL HAVE A MINIMUM COVER OF FOUR (4) FEET AND A MINIMUM SLOPE OF 1/4" PER FOOT.
- ALL WATER LINE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE READING AREA WATER AUTHORITY CURRENT SPECIFICATIONS OR THE TOWNSHIP OF BERN MUNICIPAL AUTHORITY RULES AND SPECIFICATIONS AND CURRENT DEP REGULATIONS.
- FIRE HYDRANTS AND THEIR LOCATIONS WILL BE SUBJECT TO APPROVAL BY THE FIRE MARSHAL.
- ALL FIRE HYDRANT LATERALS SHALL INCLUDE A 6" GATE VALVE.
- A MINIMUM 10' HORIZONTAL CLEARANCE SHALL BE PROVIDED BETWEEN WATER MAINS AND SANITARY SEWER MAINS, WHERE PRACTICAL.
- A MINIMUM 5' HORIZONTAL CLEARANCE BETWEEN WATER MAINS AND STORM SEWERS SHALL BE PROVIDED, WHERE PRACTICAL.

- A MINIMUM 18" VERTICAL CLEARANCE BETWEEN WATER MAINS AND STORM SEWERS SHALL BE PROVIDED.
  - A MINIMUM 18" VERTICAL CLEARANCE BETWEEN WATER MAINS AND SANITARY SEWER MAINS SHALL BE PROVIDED.
  - GAS, WATER AND SANITARY LATERALS TO HAVE A 10' HORIZONTAL DISTANCE FROM EACH OTHER.
  - ROOF DRAINS SHALL BE DIRECTED AWAY FROM STRUCTURES TO PREVENT INFILTRATION NEAR THE STRUCTURE FOUNDATION. THE OUTLETS SHALL HAVE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE.
  - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY COMPANY THE REMOVAL, RELOCATION, ABANDONMENT OR INSTALLATION OF ANY PUBLIC UTILITY LINES, POLES, VAULTS, ETC. (GAS, ELECTRIC, TELEPHONE, CABLE TV AND FIBER OPTIC COMMUNICATIONS).
  - THE CONTRACTOR(S) IS(ARE) RESPONSIBLE TO CONTACT EACH UTILITY COMPANY OR AUTHORITY AT LEAST 3 DAYS BEFORE ANY EXCAVATION OF EXISTING UTILITIES. PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL INVESTIGATE EXISTING UNDERGROUND UTILITY LOCATIONS, RESEARCH PUBLIC AND SITE UTILITY RECORDS, AND DIG TEST PITS IN AREAS TO THE EXTENT NECESSARY TO VERIFY EXISTING UTILITY DEPTHS AND LOCATIONS AND TO VERIFY THAT STORM DRAINAGE AND UTILITY SYSTEMS PIPE, EXCAVATION, FILLING AND GRADING MAY BE INSTALLED IN COMPLIANCE WITH ORIGINAL DESIGN AND REFERENCED STANDARDS.
- IF THE CONTRACTOR DETERMINES THAT THE LOCATION OF EXISTING UTILITY LINES ARE NOT AS DEPICTED ON THE DRAWINGS (HORIZONTALLY OR VERTICALLY) OR THE ORIGINAL DESIGN IS IN CONFLICT WITH THE EXISTING UTILITIES, HE SHALL IMMEDIATELY NOTIFY THE DESIGN PROFESSIONAL OF SUCH CONFLICT. THE CONTRACTOR IS CAUTIONED NOT TO ORDER ANY MATERIALS OR PERFORM ANY FURTHER WORK UNTIL SUCH VERIFICATION AND/OR DESIGN PROFESSIONAL CLARIFICATION HAS BEEN PROVIDED. THE CONTRACTOR WILL BE REQUIRED TO REPAIR ALL DAMAGED UTILITY LINES AT HIS EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL REQUIRED MUNICIPAL PERMITS.
- IF THE CONTRACTOR DETERMINES THAT STRUCTURES OR IMPROVEMENTS CANNOT BE MANUFACTURED OR CONSTRUCTED AS INDICATED ON THE DRAWINGS, OR IF THE DESIGN DRAWINGS INDICATE CONFLICTING INFORMATION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN PROFESSIONAL. THE CONTRACTOR IS CAUTIONED NOT TO ORDER ANY MATERIALS OR PERFORM ANY FURTHER WORK UNTIL SUCH VERIFICATION AND/OR DESIGN PROFESSIONAL CLARIFICATION HAS BEEN PROVIDED.
  - CONTRACTOR SHALL HAVE ALL PROPERTY LINES LOCATED BEFORE CONSTRUCTION COMMENCES. THE CONTRACTOR SHALL MAKE SURE NO CONSTRUCTION ACTIVITY OCCURS OUTSIDE PROPERTY LIMITS, UNLESS WITH DESIGNATED CONSTRUCTION EASEMENTS.
  - CONTRACTOR MUST CONFIRM BUILDING DIMENSIONS PRIOR TO ANY SUCH CONSTRUCTION. BUILDING DIMENSIONS AND DETAILS FOR EXTERIOR STEPS, RAILINGS, ETC. SHOULD BE TAKEN FROM THE ARCHITECTURAL PLANS. DO NOT USE THESE PLANS FOR BUILDING-RELATED CONSTRUCTION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES TO CONTROL SEDIMENT RUNOFF FROM THE AREA OF CONSTRUCTION TO INCLUDE COMPOST FILTER SOCK OR ROCK FILTERS, AS NECESSARY. ADDITIONAL E & S MEASURES ARE TO BE PROVIDED IF DIRECTED BY THE OWNER, DESIGN ENGINEER OR THE TOWNSHIP PER THE PA DEP EROSION & SEDIMENT POLLUTION CONTROL PROGRAM MANUAL.
  - ALL PARKING STALLS SHALL BE DELINEATED BY 4" PAINTED WHITE LINES. ALL HANDICAP PARKING SYMBOLS, AISLE HATCHING AND SIGNS SHALL COMPLY WITH CURRENT ADA CONTRASTING COLOR VISIBILITY, DIMENSIONAL AND SIZE REQUIREMENTS AND SPECIFICATIONS.
  - ALL PAVING THICKNESSES SHOWN ARE THE COMPACTED THICKNESS.
  - ALL SIDEWALK DIMENSIONS ARE TAKEN FROM THE BACK OF THE CURB, UNLESS OTHERWISE NOTED.
  - ADJUSTMENT OF EXISTING WATER VALVES, CLEANOUTS, UTILITY BOXES AND COVERS, ETC. WITHIN NEW SIDEWALK IS INCIDENTAL TO THE SIDEWALK CONSTRUCTION.
  - ALL ADA ACCESS ROUTES, RAMPS AND PARKING AREAS SHALL BE CONSTRUCTED IN ACCORDANCE TO THE DIMENSIONS INDICATED ON THE PLANS AND DETAILS. THEY SHALL COMPLY WITH THE FOLLOWING GUIDELINES AS WELL AS ALL APPLICABLE BUILDING CODES FOR THIS PROJECT:
    - CROSS-SLOPES FOR RAMPS AND ACCESS ROUTES SHALL NOT EXCEED 2 PERCENT.
    - ALL CONCRETE SURFACES SHALL HAVE A SLIP-RESISTANT FINISH.
    - RAMPS SHALL NOT EXCEED 1:12 SLOPE (8.3 PERCENT) AND SHALL NOT EXCEED A VERTICAL RISE OF 30 INCHES.
    - ACCESS ROUTES SHALL NOT EXCEED 1:20 SLOPE (5 PERCENT) AND SHALL NOT EXCEED A LONGITUDINAL LENGTH OF 200 FEET.
    - PASSENGER LOADING ZONES SHALL PROVIDE AN ACCESS AISLE AT LEAST 60 INCHES WIDE AND 20 FEET LONG ADJACENT AND PARALLEL TO THE VEHICLE PULL-UP SPACE AND SHALL NOT EXCEED 2 PERCENT IN ALL DIRECTIONS.
    - HANDRAILS SHALL BE INSTALLED ON BOTH SIDES OF RAMPS IF THE RAMP LENGTH EXCEEDS 6 FEET OR THE VERTICAL RISE EXCEEDS 6 INCHES. THE TOP HEIGHT OF HANDRAILS SHALL BE A MINIMUM OF

- 34 INCHES AND A MAXIMUM OF 38 INCHES. HANDRAILS ARE NOT REQUIRED ON CURB RAMPS.
- WHERE PROVIDED, THE MINIMUM INSIDE CLEARANCE BETWEEN HANDRAILS SHALL BE AS SPECIFIED ON THE DRAWINGS, EXCEPT IN NO CASE SHALL THE CLEARANCE BE LESS THAN 36 INCHES FOR RAMPS. LANDINGS THAT CHANGE DIRECTION SHALL MAINTAIN A CLEARANCE OF AT LEAST 60 INCHES BETWEEN HANDRAILS. GUARDS SHALL BE PROVIDED ALONG OPEN-SIDED WALKING SURFACES, INDUSTRIAL EQUIPMENT PLATFORMS, STEPS, RAMPS AND LANDINGS THAT ARE LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW. GUARDS SHALL FORM A PROTECTIVE BARRIER NOT LESS THAN 42 INCHES IN HEIGHT. REFER TO THE SECTION "GUARDS" IN THE BUILDING CODE FOR ADDITIONAL CONSTRUCTION REQUIREMENTS.

- ALL GRADING SHALL PROMOTE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
- LOCATION OF LANDSCAPING WILL BE SUCH AS TO ENSURE NO INTERFERENCE WITH EXISTING OR PROPOSED SEWER LINES, WATER LINES, UTILITY LINES AND STORM DRAINAGE FACILITIES.

### SITE DATA

RECORD OWNER: COUNTY OF BERKS  
633 COURT STREET  
READING PA 19601

THE BERKS COUNTY BOARD OF COMMISSIONERS:  
KEVIN S. BARNHART, COMMISSIONER  
CHRISTIAN Y. LEINBACH, COMMISSIONER CHAIR  
MARK C. SCOTT, ESQ., COMMISSIONER

SITE ADDRESS: 1261 COUNTY WELFARE ROAD  
LEESPORT, PA 19533

DEED BOOK VOLUME: 837, PAGE 546

SOURCE OF TITLE: BEING PART OF THE SAME PREMISES WHICH WILLIAM W. ESSIACK, BY DEED DATED NOVEMBER 13, 1940 AND RECORDED IN THE OFFICE FOR THE RECORDER OF DEEDS, IN DEED BOOK VOLUME 837 PAGE 546, BERKS COUNTY RECORDS, GRANTED AND CONVEYED INTO THE COUNTY OF BERKS.

TAX MAP: 4388-01-27-4033

SOURCE OF DATUM: SITE PLAN PREPARED BY BOYD C. WAGNER, ORDER NO. 1681, DRAWING NO. A-1, DATED MARCH 15, 1973, ISSUED JULY 16, 1973

### NOTES:

- THE LOCATIONS OF UNDERGROUND UTILITIES HAVE BEEN SHOWN BASED ON FIELD SURVEY AND SURFACE OBSERVATION AND EXISTING DATA PROVIDED BY UTILITIES. STACKHOUSE BENSINGER INC. (SBI) MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. SBI DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION, THEREFORE, SBI SHALL NOT BE RESPONSIBLE OR HELD LIABLE FOR ANY UTILITY NOT SHOWN OR SHOWN ON THE DRAWINGS IN A LOCATION OTHER THAN WHERE IT IS ACTUALLY DISCOVERED UPON EXCAVATION. SBI HAS NOT PHYSICALLY EXCAVATED AND LOCATED ANY UNDERGROUND LINES.
- THE PROPERTY SHOWN HERE IS LOCATED WITHIN A ZONE X, AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FLOOD INSURANCE RATE MAP PANEL NO. 42011C03344G, WITH AN EFFECTIVE DATE OF JULY 3, 2012.

TOTAL TRACT AREA: 160.7 +/- ACRES  
DEVELOPMENT AREA: 0.078 ACRES (3400 S.F.)

### ZONING DATA

IR (INSTITUTIONAL / RECREATIONAL DISTRICT)	REQUIRED
MINIMUM LOT AREA:	5 ACRES
MINIMUM LOT WIDTH AT STREET LINE:	200 FEET
BUILDING LINE:	200 FEET
MINIMUM FRONT YARD:	100 FEET
MINIMUM SIDE YARD:	50 FEET
MINIMUM REAR YARD:	50 FEET
MINIMUM OPEN SPACE:	60 PERCENT
MAXIMUM BUILDING HEIGHT:	35 FEET

INTENDED USE: BUILDING ADDITION  
WATER SUPPLY: EXISTING, PUBLIC - NO NEW CONNECTIONS  
SANITARY SEWER DISPOSAL: EXISTING, PUBLIC - NO NEW CONNECTIONS

### PARKING

EXISTING ADA SPACES: 6  
PROPOSED ADA SPACES: 1  
TOTAL ADA PARKING SPACES: 7

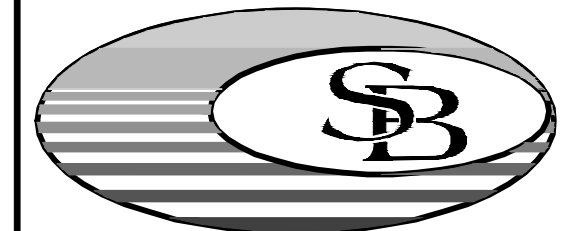
WAIVER NOTE:  
AT A MEETING ON SEPTEMBER 4, 2018, THE BERN TOWNSHIP BOARD OF SUPERVISORS APPROVED A WAIVER OF THE REGULAR LAND DEVELOPMENT PROCEDURES TO PERMIT THE PLAN TO PROCEED AS A SKETCH PLAN FOR RECORD.

PLAN LIST INDEX		
PLAN TITLE	PLAN NO.	SHEET NO.
COVER SHEET	C-1.1	SHEET 1 OF 4
EXISTING CONDITIONS AND SITE DEMOLITION	C-2.1	SHEET 2 OF 4
SITE LAYOUT, GRADING AND UTILITY	C-3.1	SHEET 3 OF 4
SITE CONSTRUCTION DETAILS	C-4.1	SHEET 4 OF 4

ALL PLANS LISTED IN THE PLAN LIST INDEX WILL BE RECORDED IN THE BERKS COUNTY RECORDER OF DEEDS OFFICE.

NO.	DATE	REVISION

### REVISIONS CONSULTANT



STACKHOUSE BENSINGER INC.  
LANDSCAPE ARCHITECTURE  
CIVIL ENGINEERING  
LAND PLANNING  
MUNICIPAL CONSULTING  
SURVEYING  
330 REVERE BOULEVARD  
SINKING SPRING, PA 19608  
VOICE: (610) 777-8000 FAX: (610) 796-2983  
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EMAIL: ssainc@sbsinc.com

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### PROJECT INFORMATION

CLIENT: Muhlenberg Green Architects  
955 Berkshire Boulevard, Suite 101  
Wyomissing PA 19610-1278  
PROJECT: Berks Agricultural Center Building Expansion  
Bern Township Berks County Pennsylvania

### COVER SHEET

PLAN STATUS:	CONSTRUCTION DOCUMENTS
ISSUE DATE:	2-22-2023
PROPERTY P.I.N.	4388-01-27-4033
FILE NAME:	2018-035_CDDocs
DRAWN BY:	ESD
CHECKED BY:	AIO
PLAN SCALE:	1"=10'
PROJECT NUMBER:	2018-035
PLAN NO.:	C-1
SHEET OF 4:	SHEET 1 OF 4







EXISTING LAWN TO PAVING	437 SF
EXISTING PAVING TO CONCRETE	1,133 SF
TOTAL:	1,133 SF
NET CHANGE IN IMPERVIOUS COVER:	-696 SF

**LEGEND**

	EXISTING INLET AND STORM SEWER
	EXISTING SANITARY SEWER AND MANHOLE
	EXISTING WATER LINE AND GATE VALVE
	EXISTING GAS LINE AND GAS VALVE
	EXISTING UNDERGROUND TELECOMMUNICATIONS
	EXISTING ELECTRIC METER
	EXISTING GAS METER
	EXISTING SANITARY SEWER VENT & CLEANOUT
	EXISTING DOWN SPOUT
	EXISTING SIGN
	EXISTING LIGHT POLE
	EXISTING GROUND LIGHT
	EXISTING CONTOURS
	EXISTING TREE LINE
	EXISTING CONCRETE
	PAINTED ADA PARKING SPACE SYMBOL
	PROPOSED ASPHALT PAVING
	PROPOSED CONCRETE SIDEWALK



SEAL

NO.	DATE	REVISION

**REVISIONS**  
CONSULTANT

**STACKHOUSE BENSSINGER INC.**  
 LANDSCAPE ARCHITECTURE  
 CIVIL ENGINEERING  
 LAND PLANNING  
 MUNICIPAL CONSULTING  
 SURVEYING  
 330 REVERE BOULEVARD  
 SINKING SPRING, PA 19008  
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 WWW.SBINC.COM  
 EMAIL: ssainc@sbinc.com

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**PROJECT INFORMATION**

CLIENT: **Muhlenberg Green Architects**  
 955 Berkshire Boulevard, Suite 101  
 Wyomissing PA 19610-1278  
 PROJECT: **Berks Agricultural Center Building Expansion**  
 Bern Township Berks County Pennsylvania

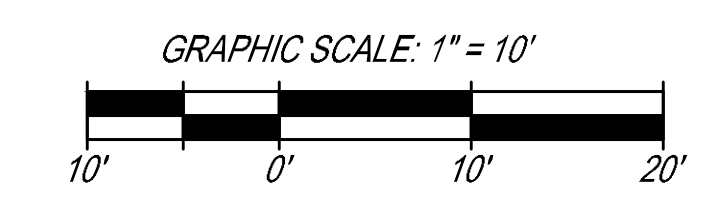
**SITE LAYOUT, GRADING & UTILITY**

PLAN STATUS:	<b>CONSTRUCTION DOCUMENTS</b>
ISSUE DATE:	<b>2-22-2023</b>
PROPERTY P.I.N.	<b>4388-01-27-4033</b>
FILE NAME:	<b>2018-035_CD00CS</b>
DRAWN BY:	<b>ESD</b>
CHECKED BY:	<b>AIO</b>
PLAN SCALE:	<b>1"=10'</b>
PROJECT NUMBER:	<b>2018-035</b>
PLAN NO.:	<b>C-3</b>
SHEET NO.:	<b>SHEET 3 OF 4</b>

**SIGN SCHEDULE**

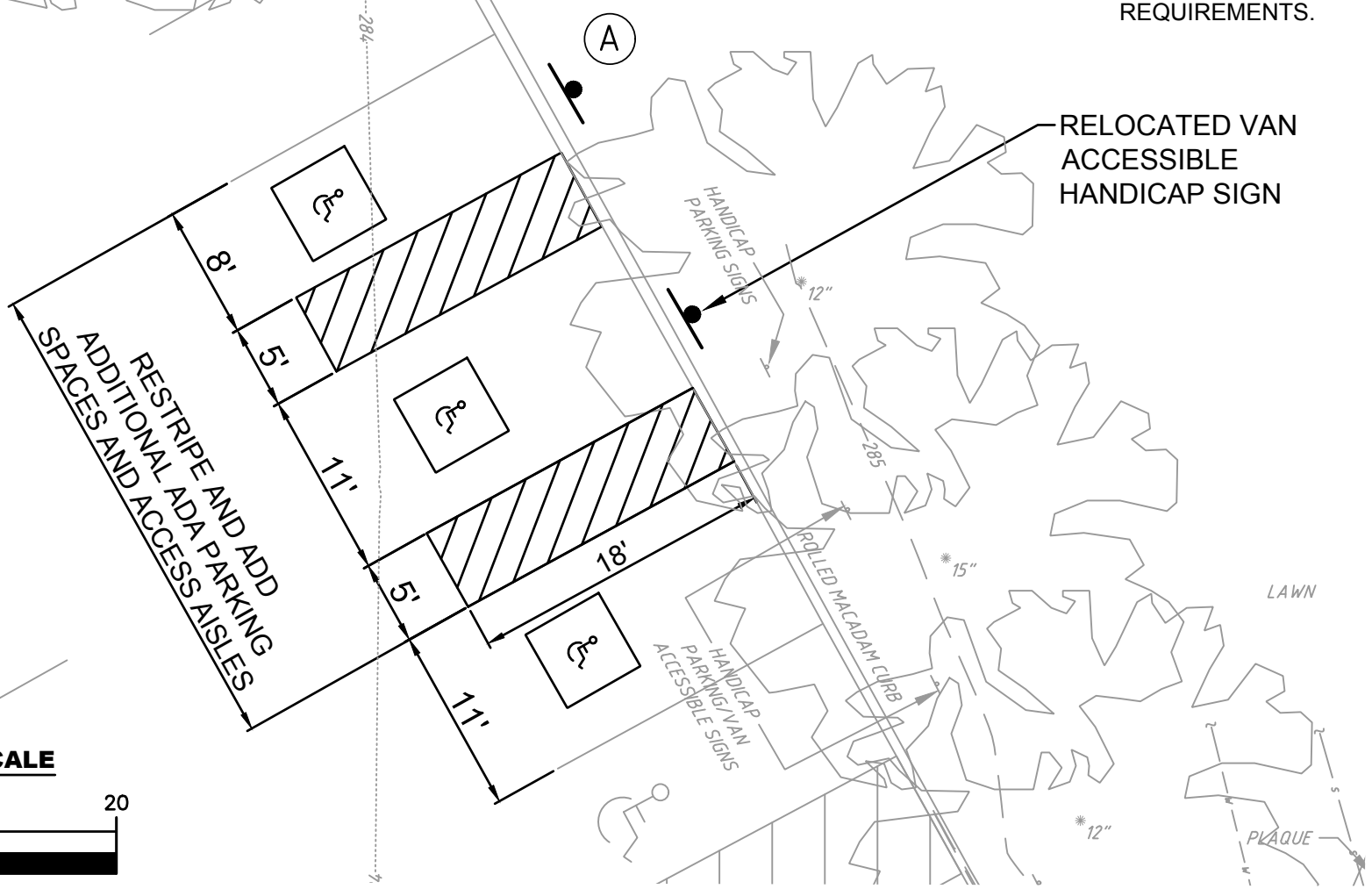
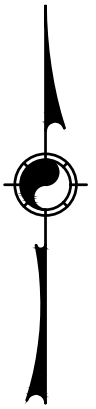
SYMBOL	SIGN NAME	QUANTITY	SIZE	PADOT DESIGNATION
(A)	RESERVED PARKING	1	12' x 18'	R1-B
	RESERVED PARKING PENALTIES*		12' x 18'	R1-BF
	VAN ACCESSIBLE		12' x 6"	R7-BB

\*SEE SIGN DETAIL

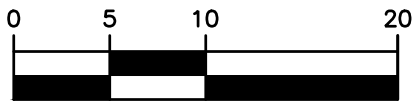




**1** FIELD REVISION 1A NOTES:  
 1: HANDICAP PARKING SPACES RESIZED TO ACCOMMODATE ADA REQUIREMENTS.



**GRAPHIC SCALE**



1 INCH = 10 FEET

PROJECT:  
**BERKS AGRICULTURAL CENTER  
 BUILDING EXPANSION**  
 BERN TOWNSHIP BERKS COUNTY PENNSYLVANIA

PLAN TITLE:  
**FIELD REVISION 1  
 (REFER TO SHEET C-3)**

PREPARED BY:  
 **STACKHOUSE  
 BENSINGER INC**  
 A WILKINSON APEX COMPANY

DESIGNED  
 E.S.D  
 CHECKED (PM)  
 A.I.O  
 DATE  
 5/2/2023

PROJECT #  
 2018-035  
 SHEET #

PREPARED FOR:  
**MUHLBERG GREENE ARCHITECTS**  
 955 BERKSHIRE BLVD, SUITE 101  
 WYOMISSING PA 19610-1278

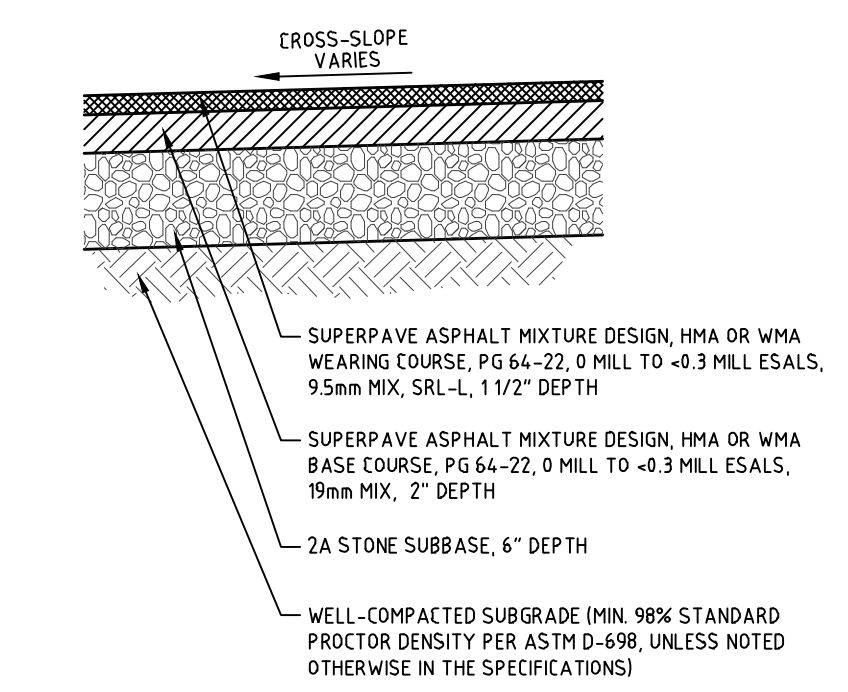
SHEET TITLE:  
**RFI-1A**

374 CIRCLE OF PROGRESS DRIVE  
 POTTSTOWN, PA 19464 / 610-323-3400

SCALE  
 1" = 10'  
 REVISION #  
 1

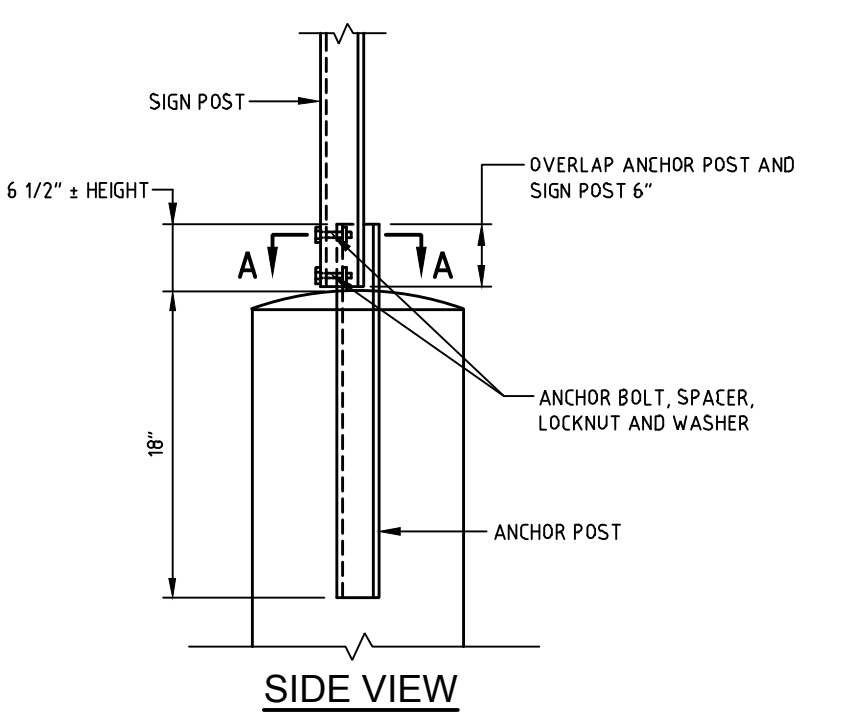
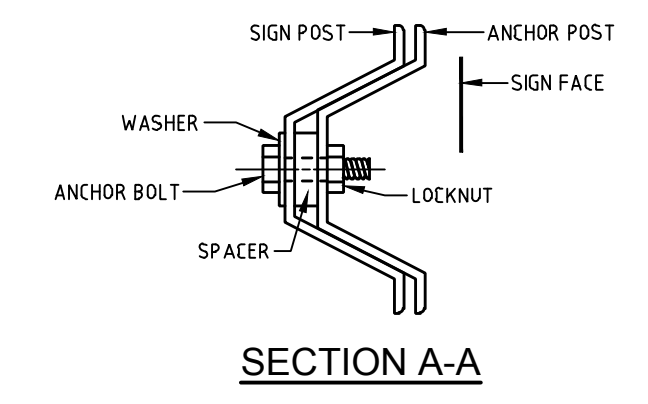
**1** OF **1**



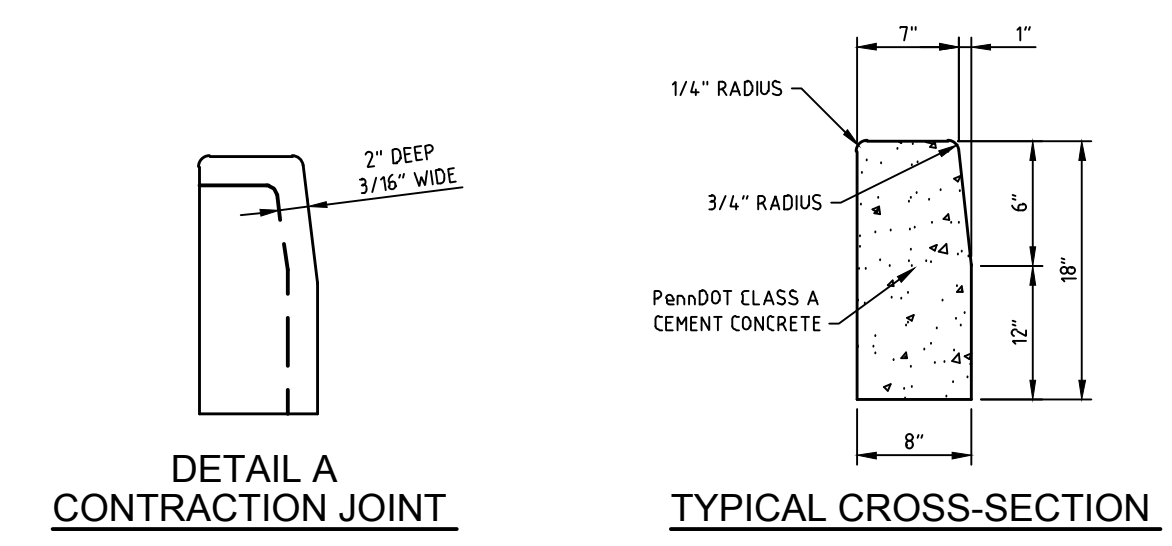


**NOTE:**  
USE THIS DETAIL FOR ALL PROPOSED PAVING AND ANY PAVING THAT MAY REQUIRE REMOVAL AND REPLACEMENT.

**PAVING CROSS-SECTION**

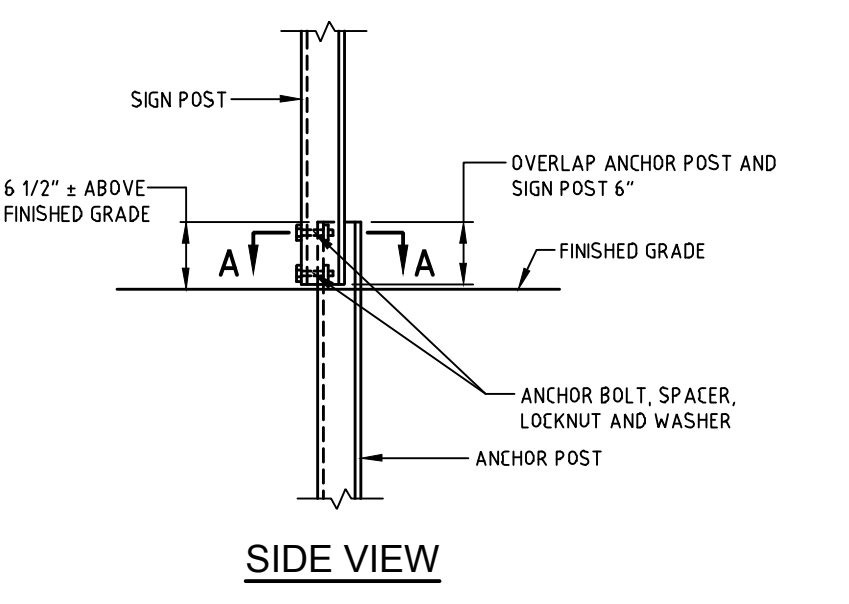
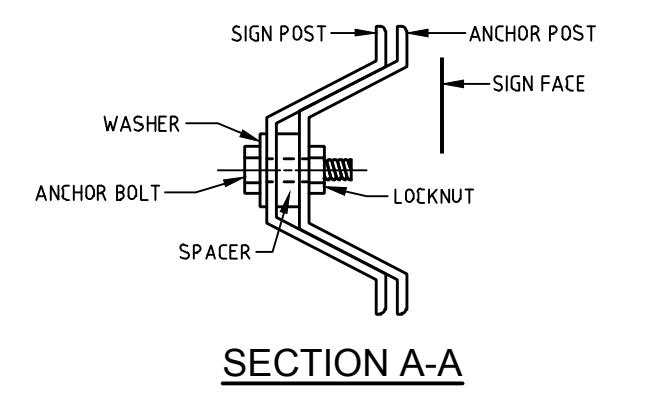


**CHANNEL BAR POST ANCHOR**

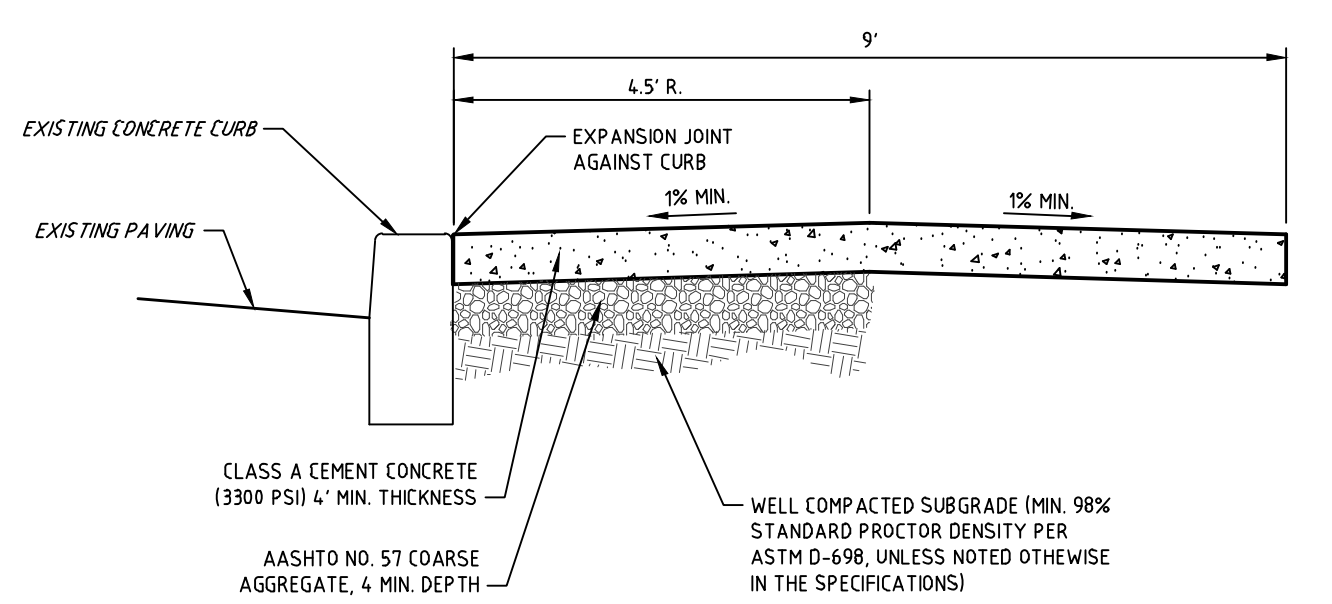
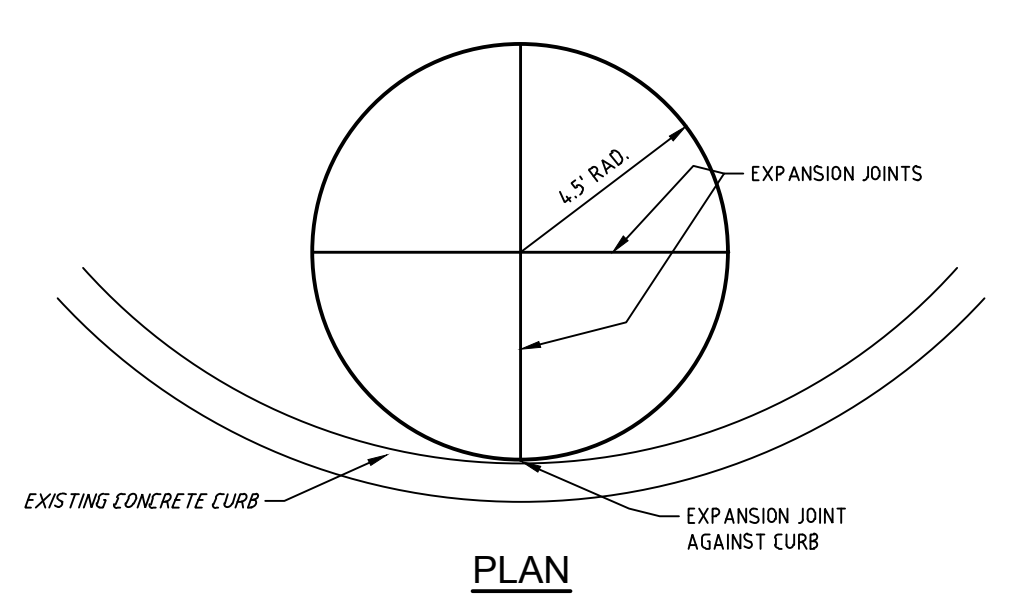


**NOTES:**  
1. MATERIALS AND CONSTRUCTION SHALL MEET THE REQUIREMENTS OF PUBLICATION 449, SECTION 430.  
2. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.  
3. PLACE 3/4\"/>

**CONCRETE CURB AT PLANTER**

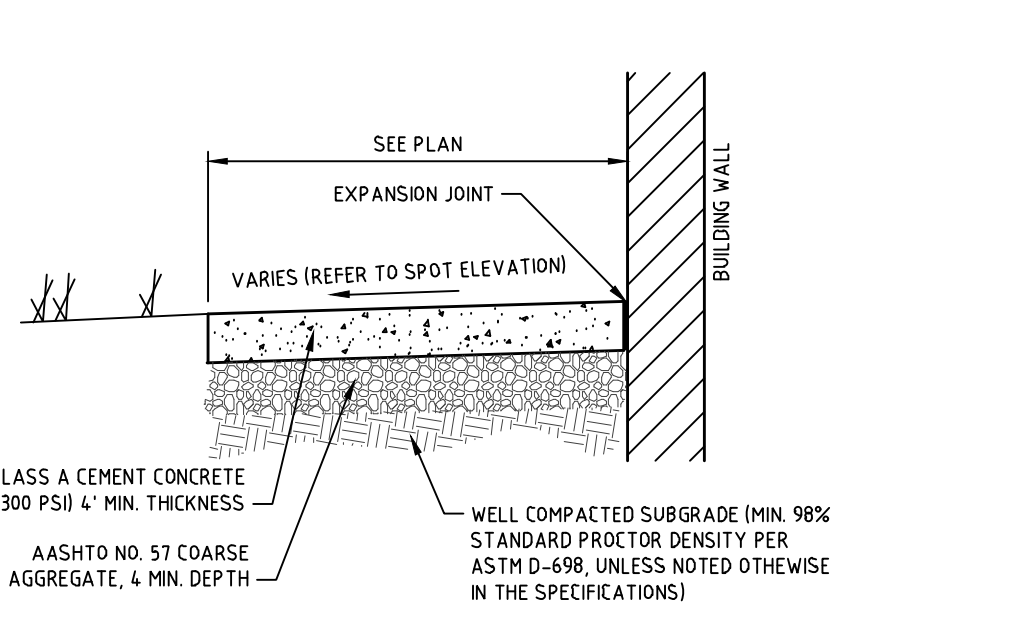
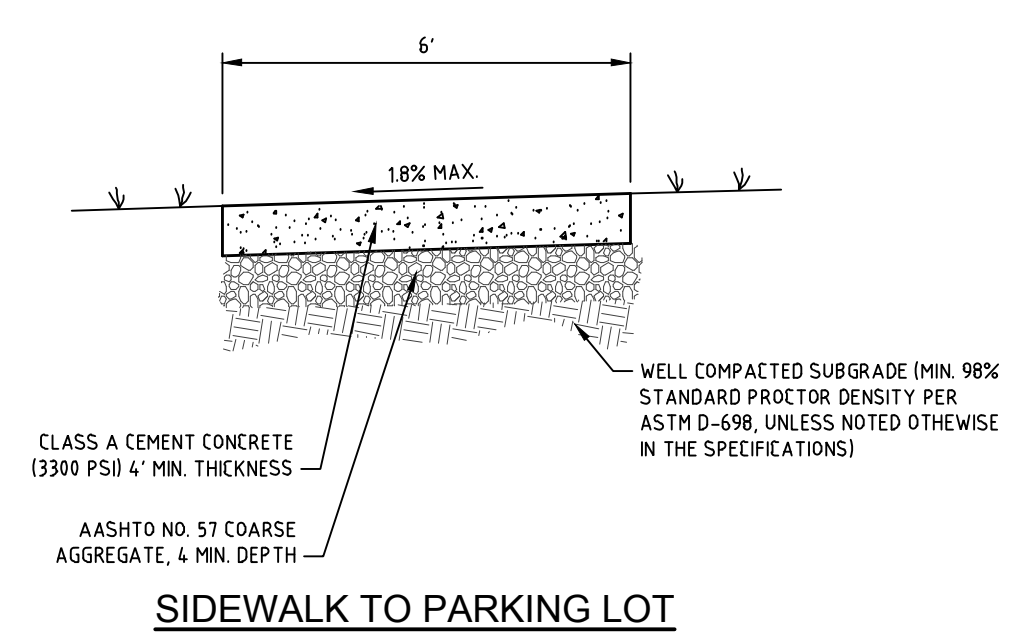


**CHANNEL BAR POST INSTALLATION**



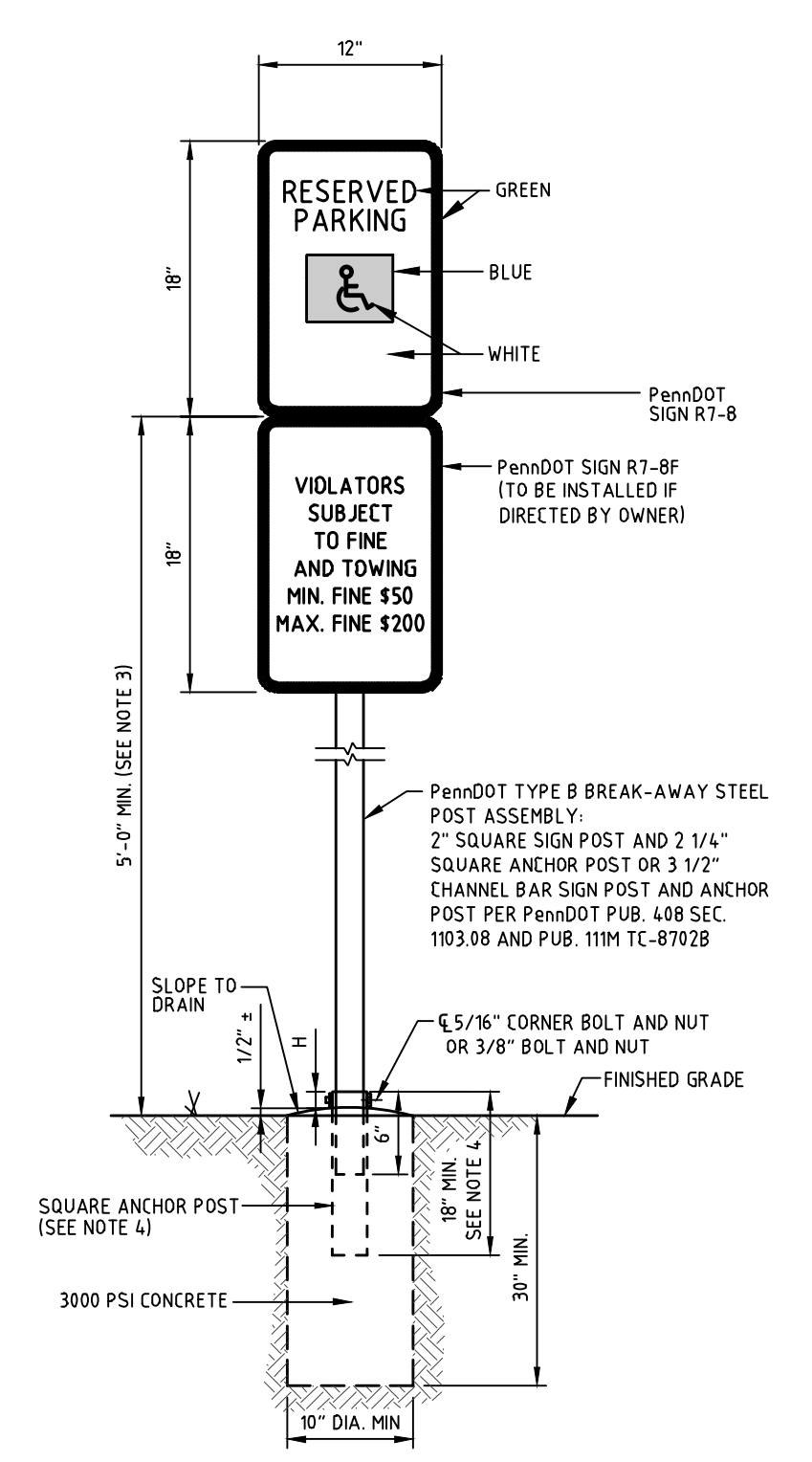
**NOTES:**  
1. 3/4\"/>

**CONCRETE FLAG POLE BASE**



**NOTES:**  
1. 3/4\"/>

**CONCRETE SIDEWALK**



**NOTES:**  
1. ALL SIGN PAINT TO BE REFLECTORIZED.  
2. SIGN MOUNTING HEIGHT IS SUBJECT TO APPROVAL BY STATE AND LOCAL INSPECTORS.  
3. TOP OF CONCRETE BASE MAY BE BURIED 3\"/>

**SIGN IDENTIFICATION AND SIGN POST INSTALLATION**

NO.	DATE	REVISION

**REVISIONS CONSULTANT**

**STACKHOUSE BENSINGER INC.**  
LANDSCAPE ARCHITECTURE  
CIVIL ENGINEERING  
MUNICIPAL CONSULTING  
SURVEYING  
330 REVERE BOULEVARD  
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VOICE: (610) 777-8000 FAX: (610) 796-2983  
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EMAIL: ssainc@sbinc.com

**PROJECT INFORMATION**

**CLIENT:** Muhlenberg Green Architects  
955 Berkshire Boulevard, Suite 101  
Wyomissing PA 19610-1278  
**PROJECT:** Berks Agricultural Center Building Expansion  
Bern Township Berks County Pennsylvania

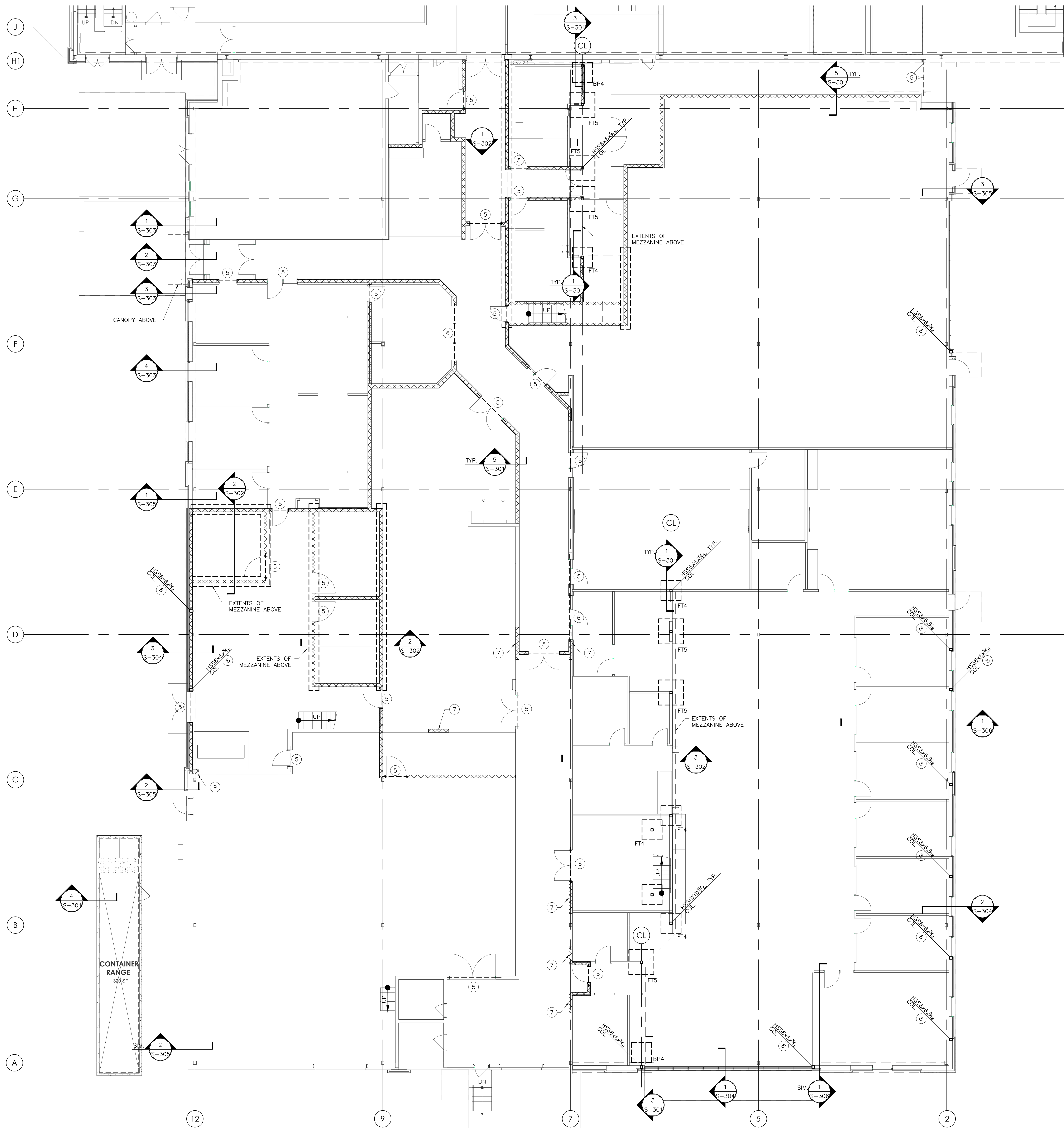
**SITE CONSTRUCTION DETAILS**

PLAN STATUS:	CONSTRUCTION DOCUMENTS
ISSUE DATE:	2-22-2023
PROPERTY P.I.N.	4388-01-27-4033
FILE NAME:	2018-035_CD005
DRAWN BY:	ESD
CHECKED BY:	AIO
PLAN SCALE:	NO SCALE
PROJECT NUMBER:	2018-035
PLAN NO.:	C-4









1 FLOOR PLAN  
SCALE: 1/8" = 1'-0"



ARCHITECTURAL DESIGN  
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955 BERKSHIRE BLVD., SUITE 101  
WYOMISSING, PA 19610  
610.376.4927  
www.MG-Architects.com

PROJECT #:  
22-0012

CONSULTANT  
**DIGENOVA**  
ASSOCIATES, INC.  
STRUCTURAL ENGINEERING + DESIGN  
1017 Commonwealth Pike, Suite 1000 610.276.8178 Phone  
700 South Mountain Pike, #100 610.276.8657 Fax

SALVATORE DIGENOVA  
ENGINEER  
REGISTRATION NO. 042432-E  
DATE: \_\_\_\_\_ SIGNED: \_\_\_\_\_

COUNTY OF BERKS  
REX LEVINGOOD, DIR. OF FAC. & OPS  
1238 COUNTY WELFARE ROAD #260  
LEESPORT, PA 19533  
610.478.6201 X6220  
RLevengood@CountyOfBerks.gov

BERKS COUNTY AGRICULTURAL CENTER  
**FACILITY UPGRADES**  
1238 COUNTY WELFARE ROAD  
LEESPORT, PA 19533

ISSUED  
DATE: 03/30/23

REVISION	DESCRIPTION	DATE

PROJ. MGR.: S.DI GENOVA  
P.M. @-MAIL: <consultant@pm email>  
DRAWN BY: JF  
CLIENT PROJ #: 2022-010.00  
SHEET SCALE: 1/8" = 1'-0"

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SHEET TITLE:

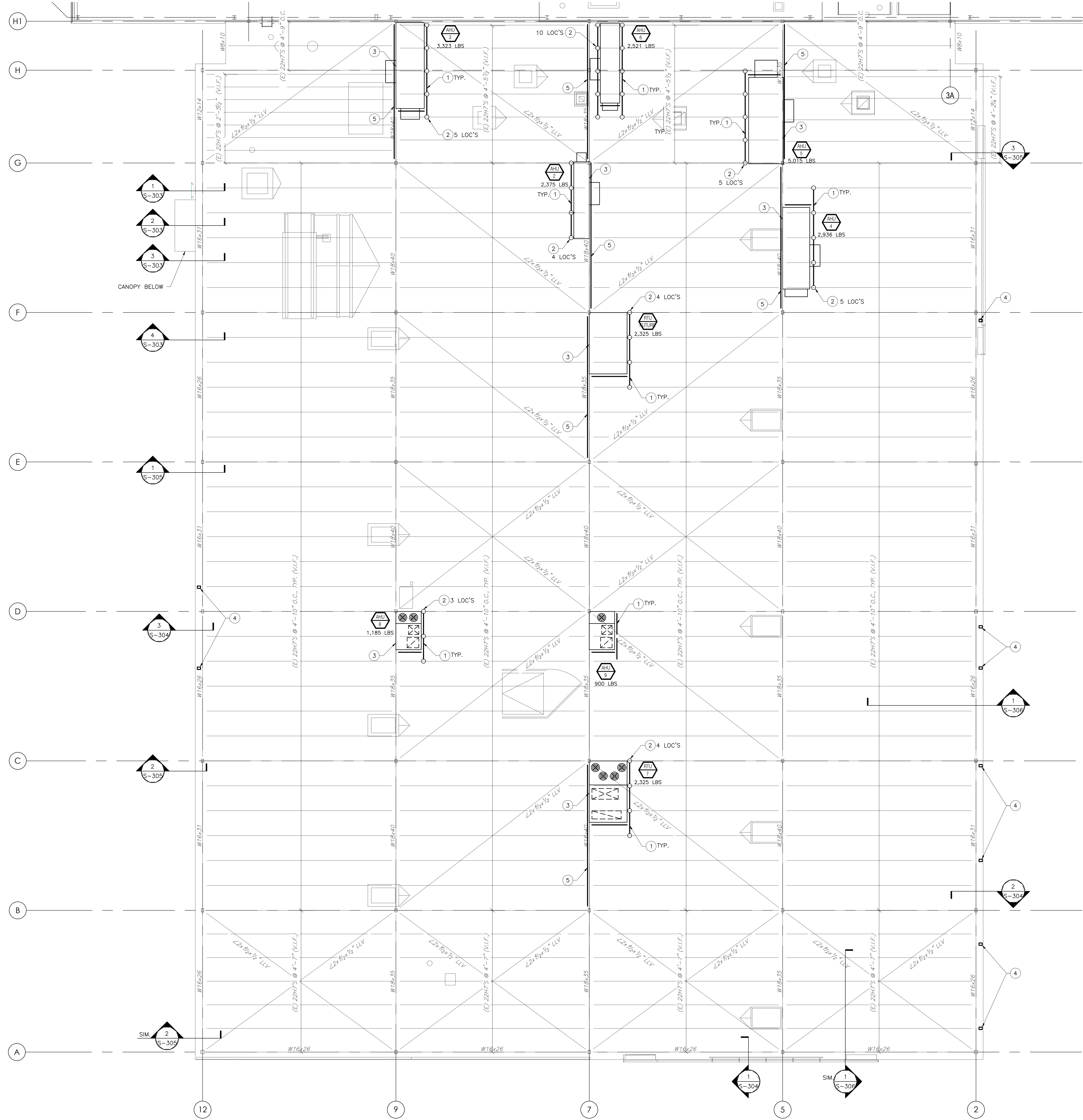
FOUNDATION PLAN

S-101

- NOTES:
- COORDINATE EXTENT AND LOCATION OF SIDE WALKS AND EXIT STEP-OFF PADS WITH ARCH DRAWINGS.
  - TYP. TOP OF LEVELING PLATE ELEVATION TO BE (-7") BELOW FINISH FLOOR FOR ALL COLUMNS. U.N.O.
  - REFER TO ARCHITECTURAL FLOOR PLANS FOR ADDITIONAL DIMENSIONS AND FOR COORDINATING LOCATIONS OF COLUMNS, BEARING WALLS AND SHEAR WALLS.
  - SEE ARCH. DWG'S FOR EXTENT AND LOCATION OF PERIMETER UNDER-SLAB RIGID INSULATION.
  - PROVIDE (N) PRE-CAST/CONC. HEADER, SEE DETAIL 7/S-301.
  - PROVIDE (N) STL BEAM HEADER, SEE DETAIL 8/S-301.
  - INFILL (E) OPENING W/ CMU TO MATCH EXISTING.
  - (N) HSS COLUMN TO FIT WITHIN WALL CAVITY. ATTACH (N) HSS COLUMN TO CMU FOUNDATION WALL W/ 3/4" THK, RECTANGULAR BASE PLATE & (4) 3/4" DIA. EXPANSION BOLTS.
  - ATTACH (N) CMU WALL TO (E) CMU WALL W/ #5 HORIZ. BARS @ 24" O.C. (VERT.). DRILL & GROUT INTO (E) CMU WALL, 6" MIN. EMBED.
  - 8"-16ga MTL STUD BOX, TYP @ ALL EXTERIOR DOOR/WINDOW OPENINGS, U.N.O.







1 ROOF FRAMING PLAN  
S202 SCALE: 1/8"=1'-0"

- NOTES:
- 1 PROVIDE FRAMED ROOF OPENING FOR ALL RTU LOC'S AND PENETRATIONS, SEE DETAIL 4/S-302.
  - 2 PROVIDE JOIST REINF. FOR ALL RTU LOCATION, SEE DETAIL 5/S-302.
  - 3 LINE UP ONE SIDE OF UNIT OVER JOIST/BEAM.
  - 4 ATTACH (N) HSS COL., LOCATED WITHIN WALL CAVITY, TO (E) ROOF BEAM W/ 3/8" THK BENT PLATE, FULLY WELDED TO BOTTOM FLANGE OF (E) ROOF BM & FACE OF (N) HSS COL.
  - 5 REINFORCE (E) ROOF BEAM, SEE DETAIL 10/S-301
  - 6 ADJUST OVERALL UNIT, AS REQ'D, TO ENSURE SUPPLY & DUCT RETURN FALL BETWEEN EXISTING JOISTS.

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610.376.4927  
www.MG-Architects.com

PROJECT #:  
**22-0012**

CONSULTANT

**DIGENOVA ASSOCIATES, INC.**  
STRUCTURAL ENGINEERING + DESIGN  
202 Commonwealth Blvd., Suite 200  
700 North Meridian Pk. #100

SALVATORE DIGENOVA  
ENGINEER  
REGISTRATION NO. 042432-E  
DATE:                                  2022  
SIGNED:           

COUNTY OF BERKS  
REX LEVENGOOD, DIR. OF FAC. & OPS  
1238 COUNTY WELFARE ROAD #260  
LEESPORT, PA 19533  
610.478.6201 X6220  
RLevengood@CountyOfBerks.gov

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LEESPORT, PA 19533

ISSUED  
DATE: 03/30/23

REV#	DESCRIPTION	DATE

PROJ. MGR.: S.DI GENOVA  
P.M. @-MAIL: <consultant@pm email>  
DRAWN BY: JF  
CLIENT PROJ #: 2022-010.00  
DATE: 03/30/23

1  
BAR IS ONE (1) INCH LONG ON ORIGINAL DRAWING

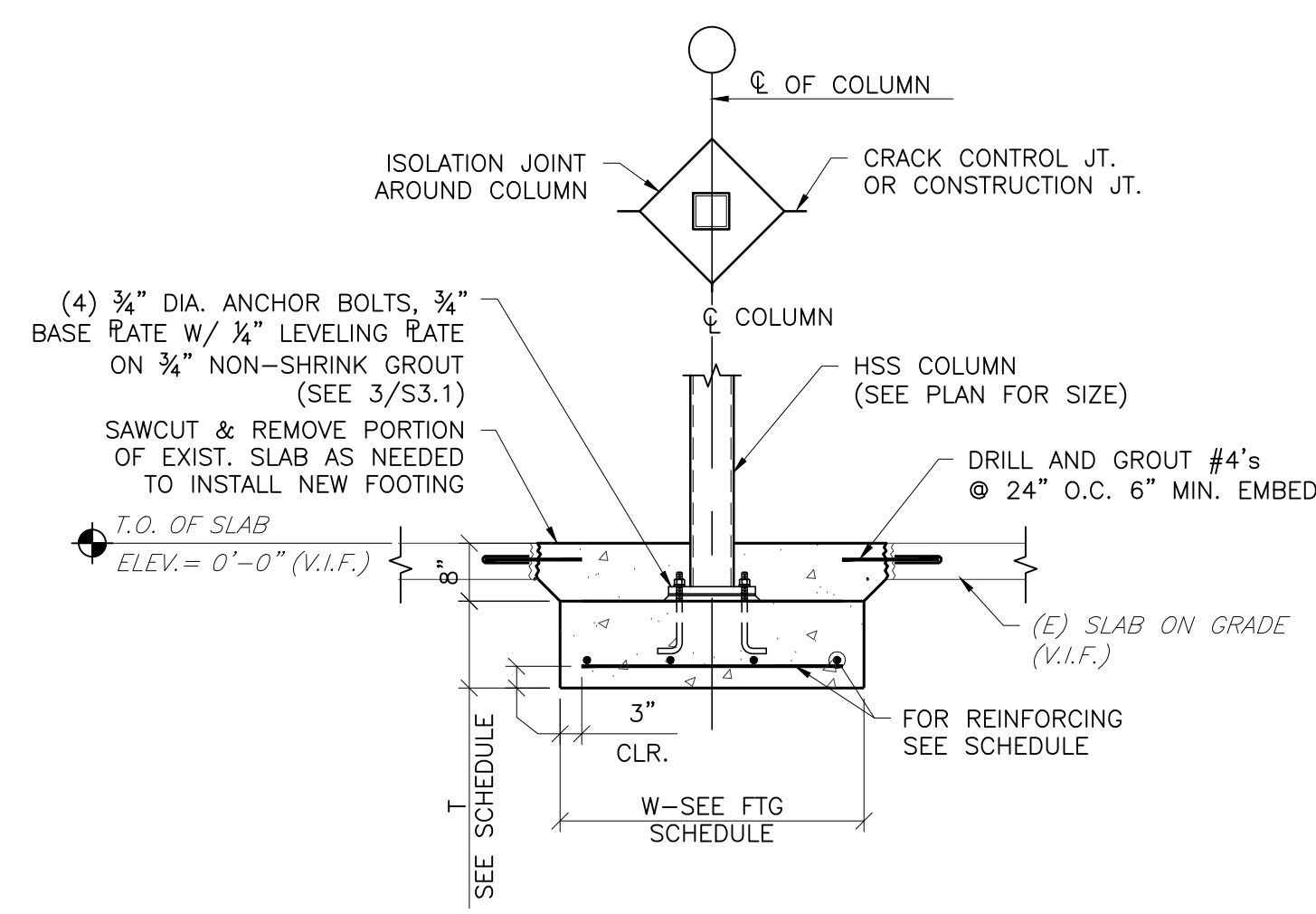
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SHEET TITLE:  
**ROOF FRAMING PLAN**

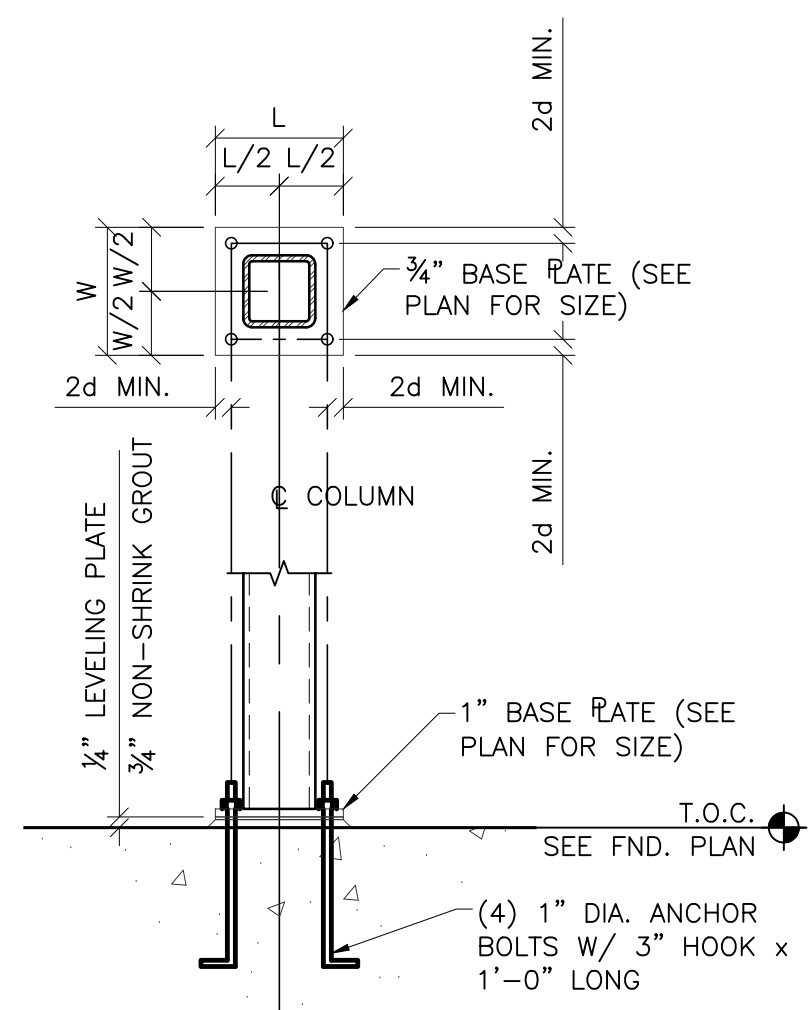
**S-202**



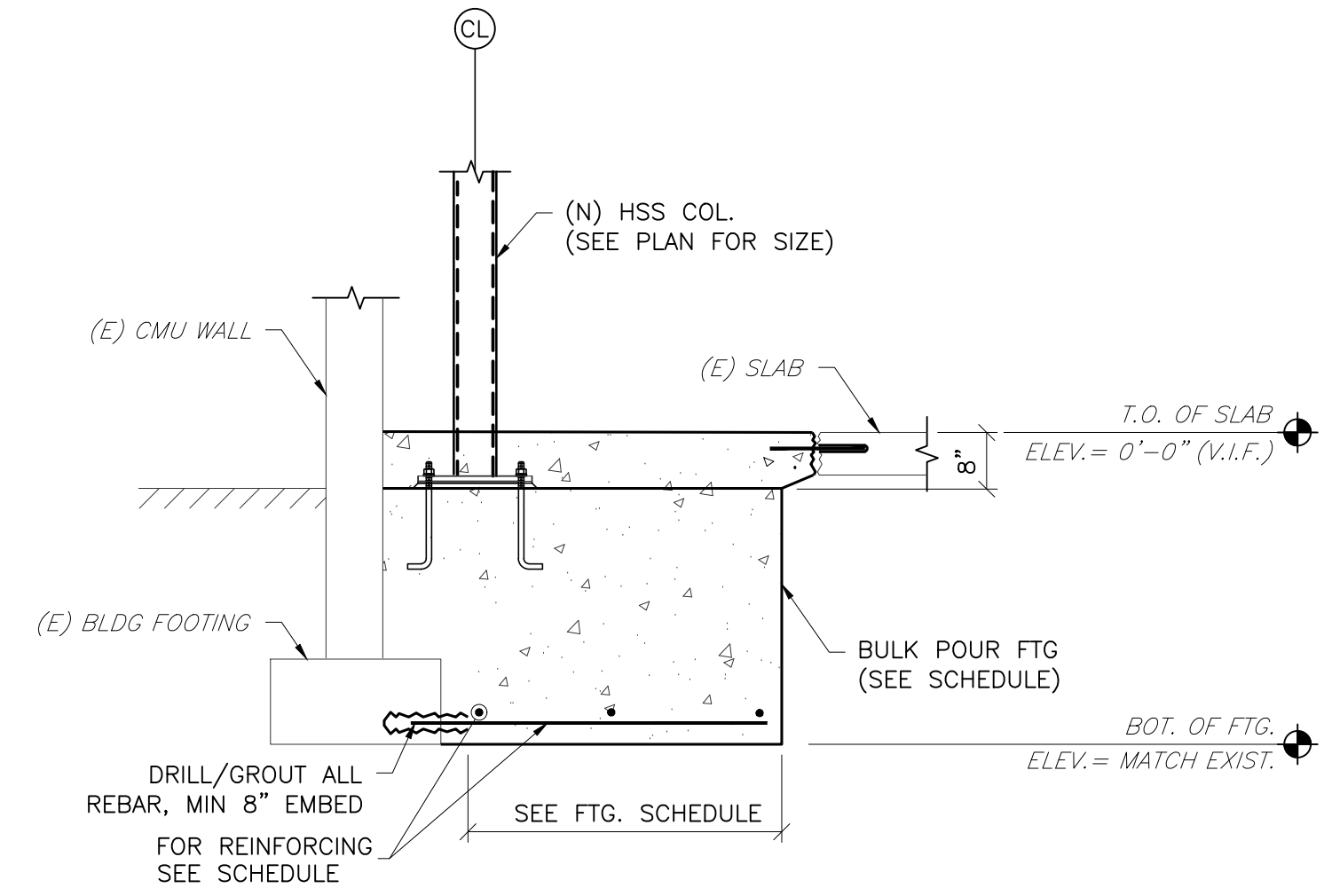
REV#	DESCRIPTION	DATE



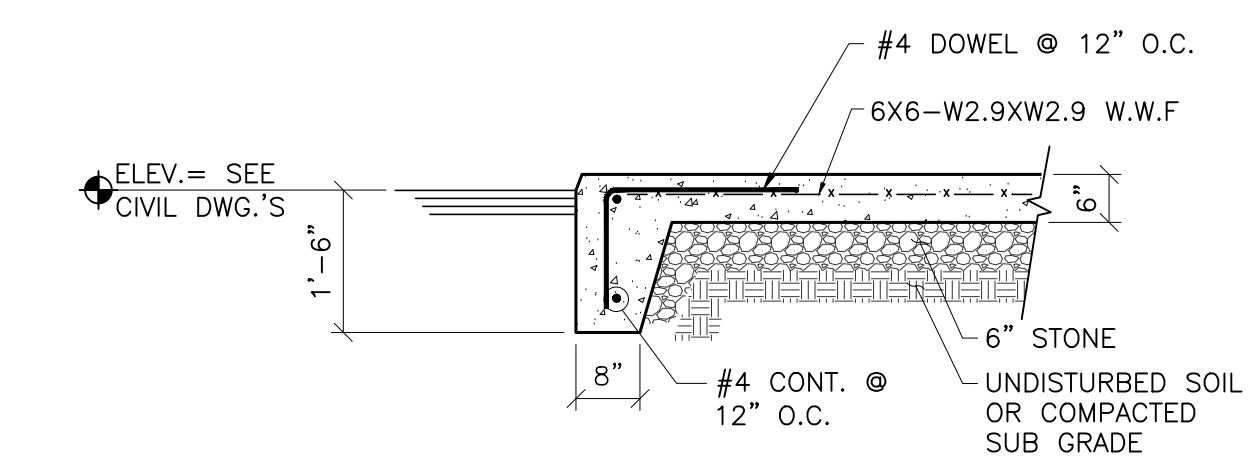
**1** INTERIOR COL. FTG.  
S-301 SCALE: 1/2"=1'-0"



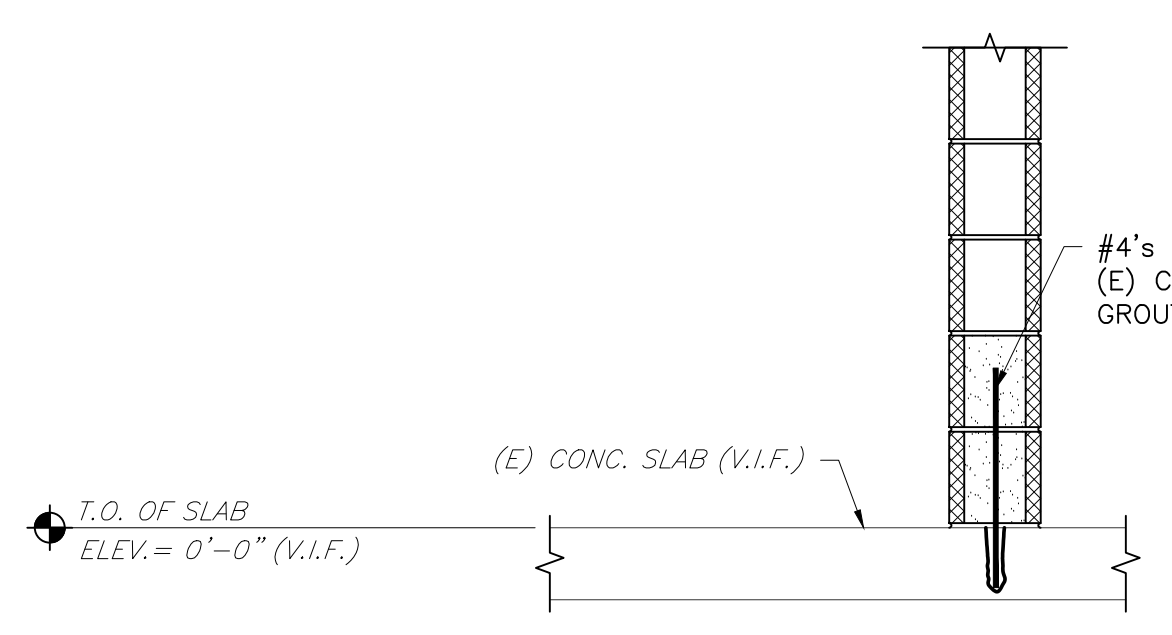
**2** TYP. BASE PLATE DETAIL  
S-301 SCALE: 3/4"=1'-0"



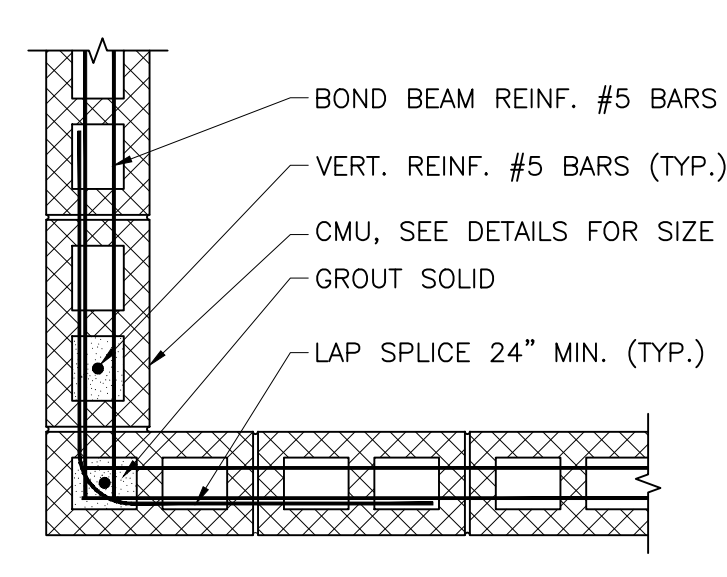
**3** BULK POUR FTG. DETAIL  
S-301 SCALE: 1/2"=1'-0"



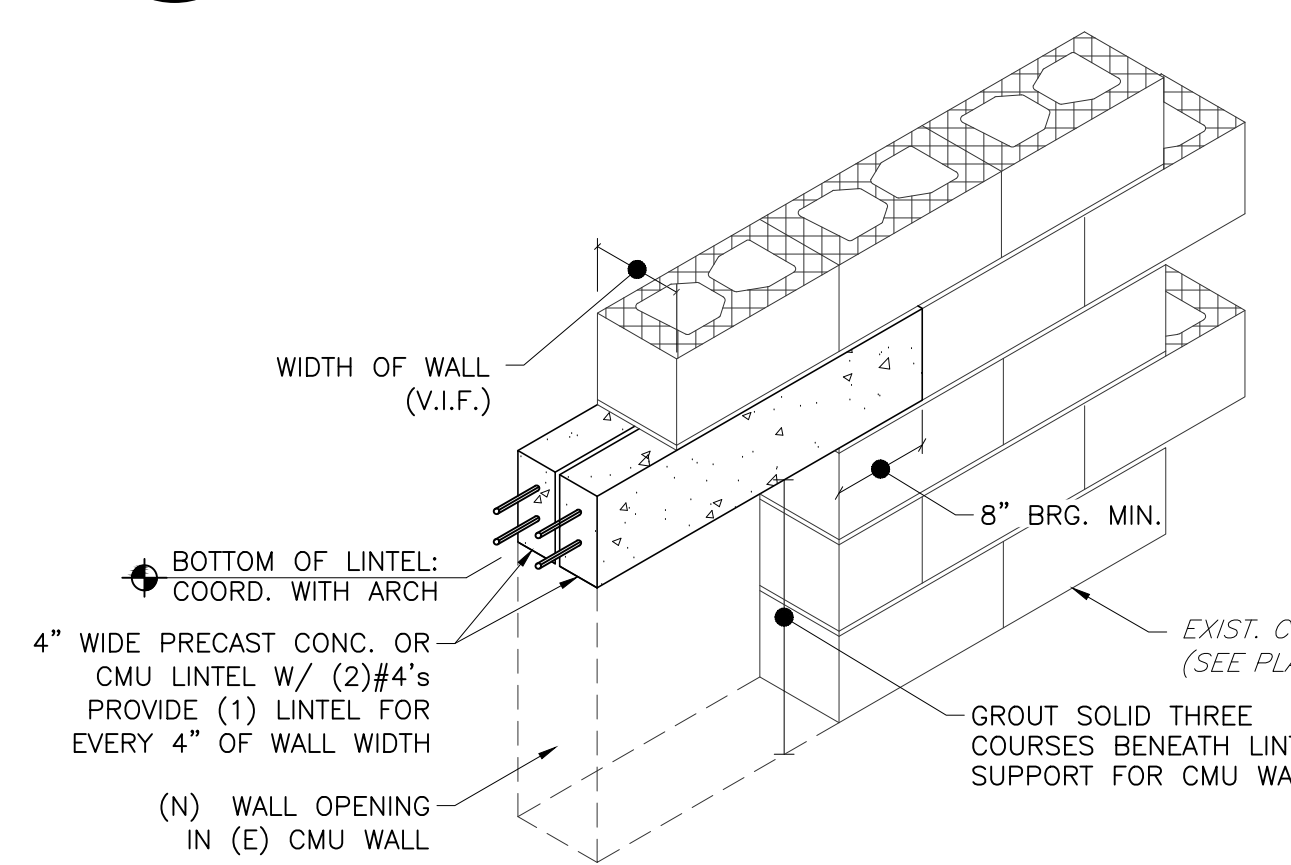
**4** EQUIP. PAD DETAIL  
S-301 SCALE: 1/2"=1'-0"



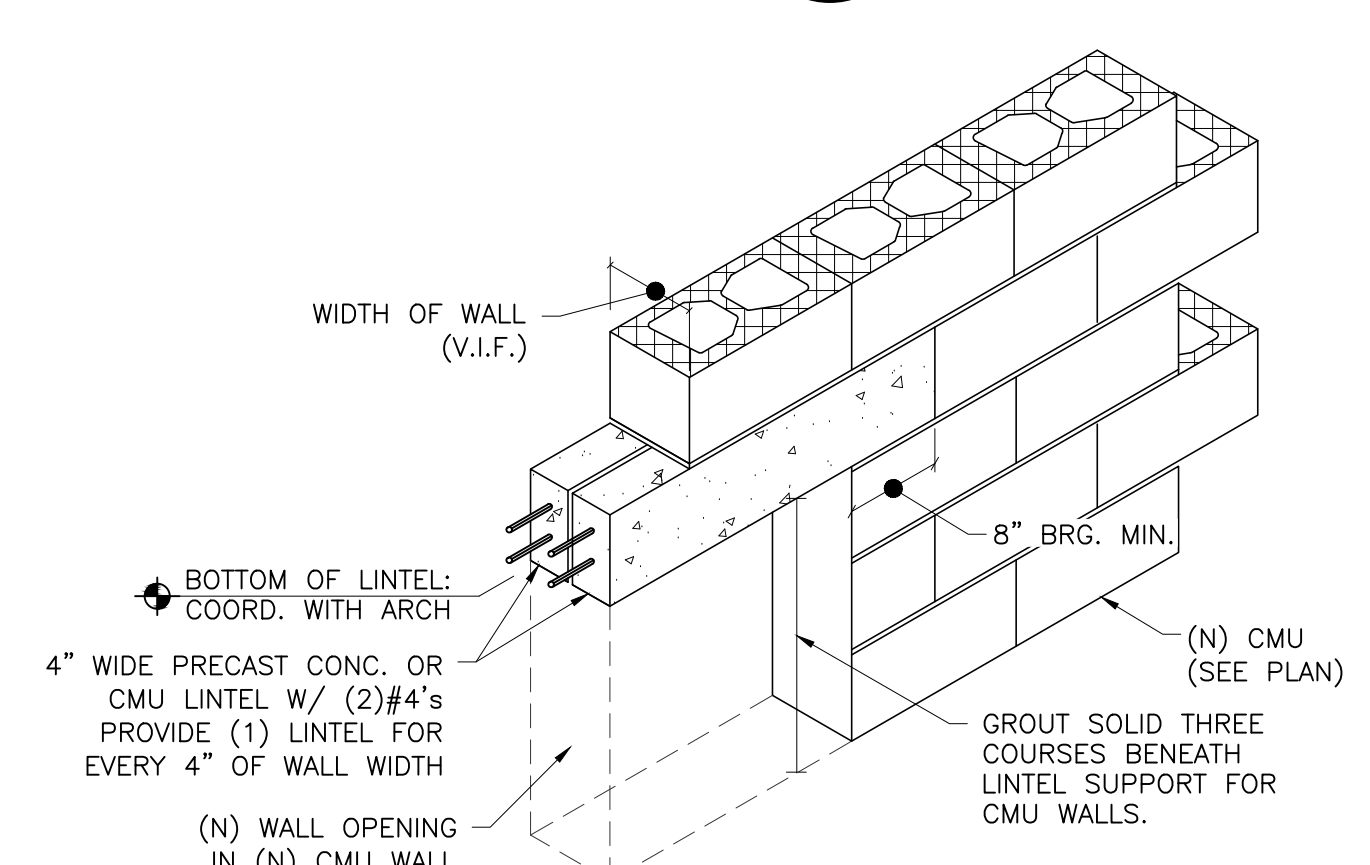
**5** INTERIOR CMU PARTITION WALL  
S-301 SCALE: 3/4"=1'-0"



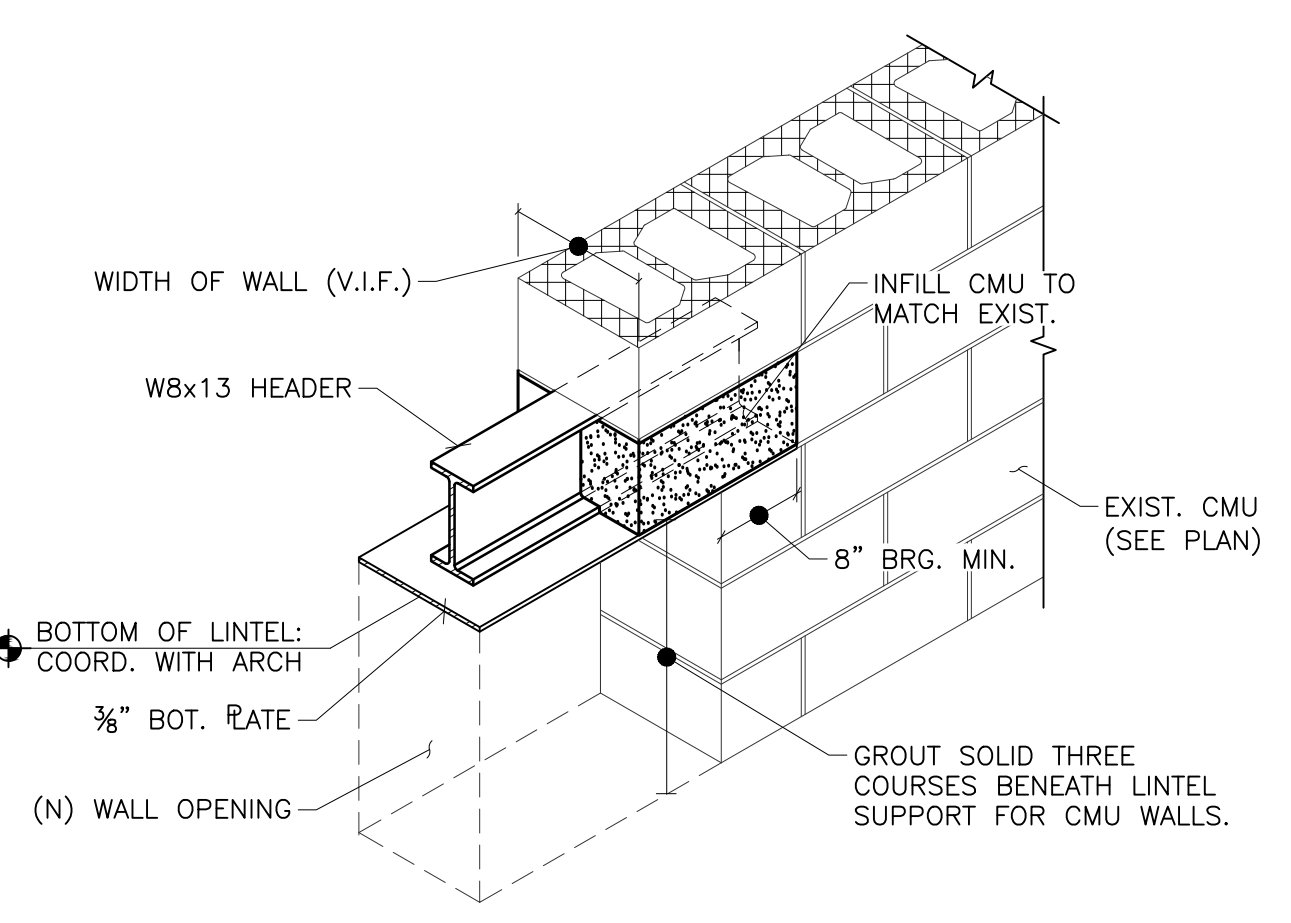
**6** CMU CORNER REINF. DETAIL  
S-301 SCALE: 1/2"=1'-0"



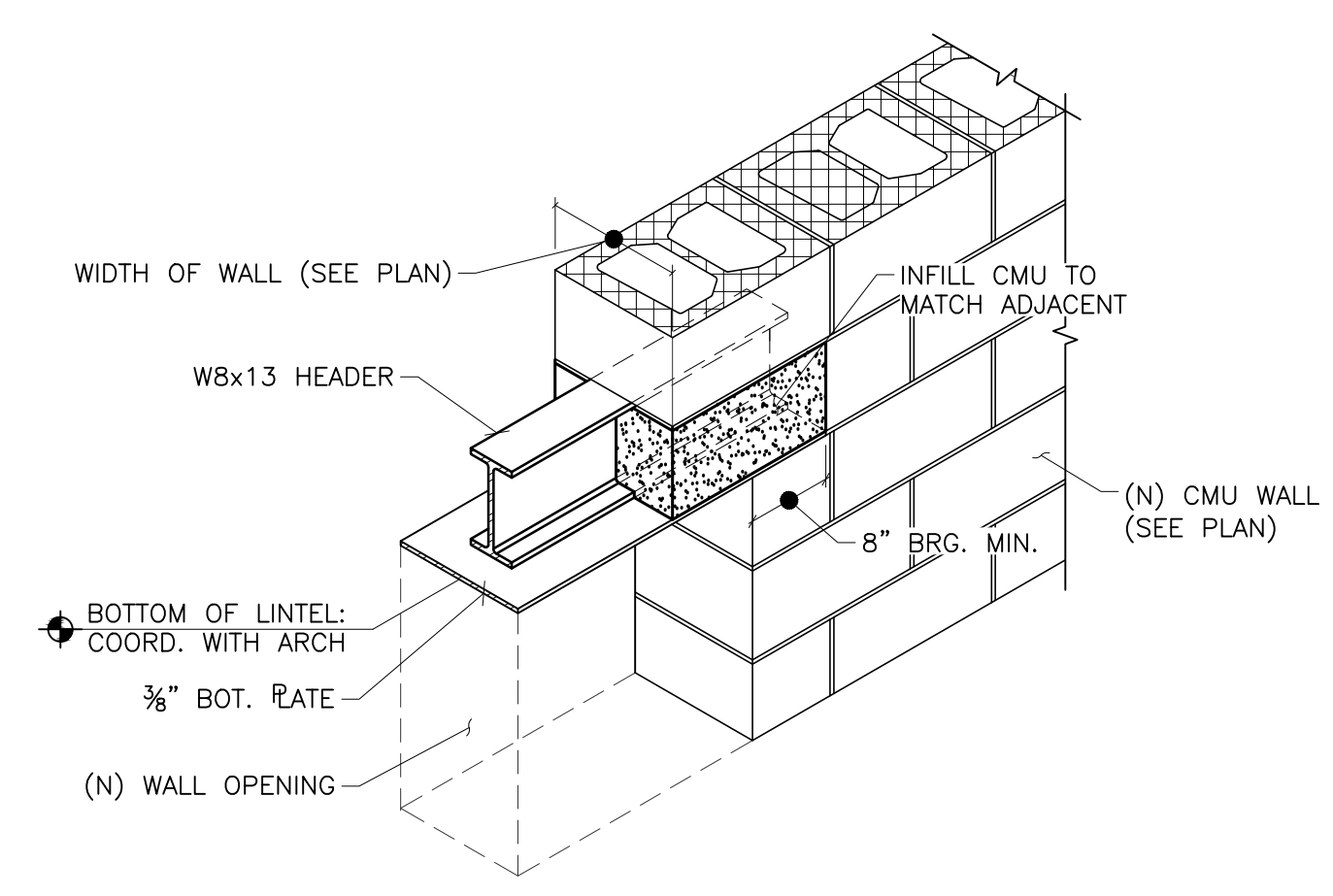
**7** PRE-CAST HEADER DETAIL  
S-301 SCALE: 3/4"=1'-0"



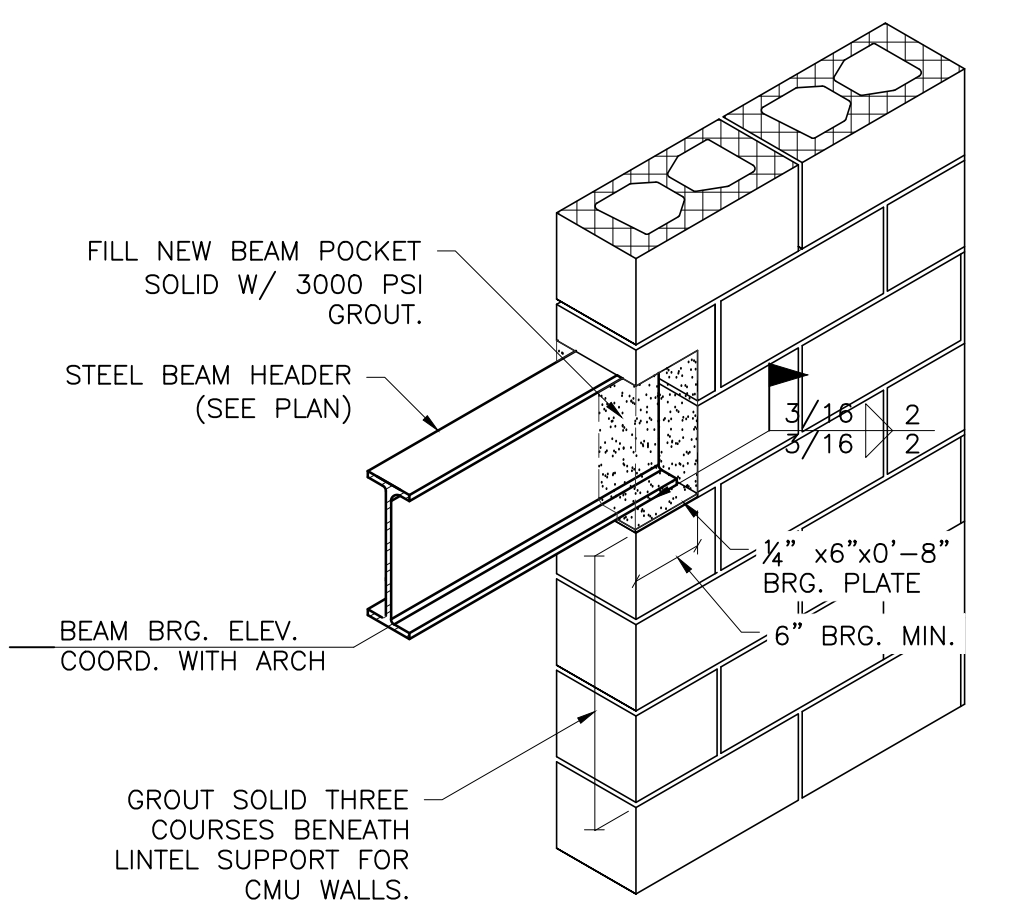
**8** @ (N) CMU WALL



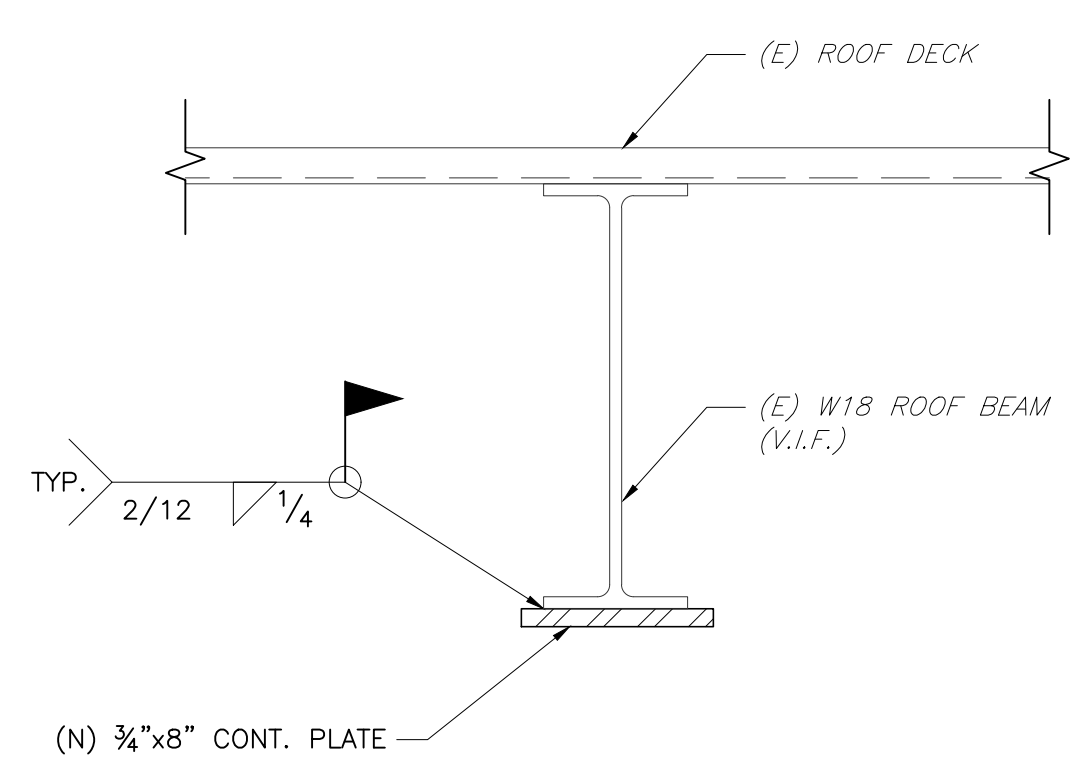
**9** @ (E) CMU WALL



**10** @ (N) CMU WALL



**9** BM BRG POCKET DETAIL  
S-301 SCALE: 3/4"=1'-0"

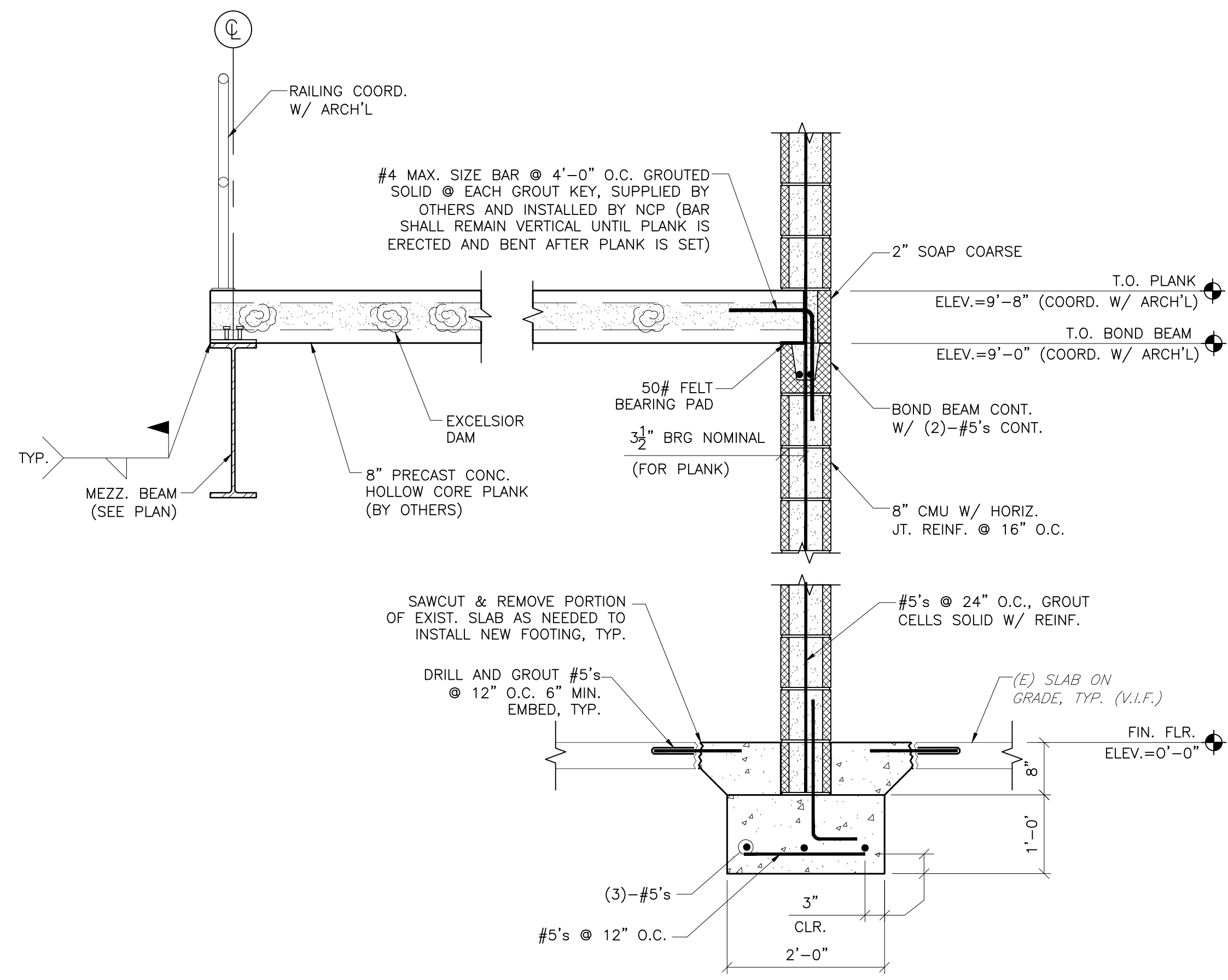


**10** BEAM REINF. DETAIL  
S-301 SCALE: N.T.S.

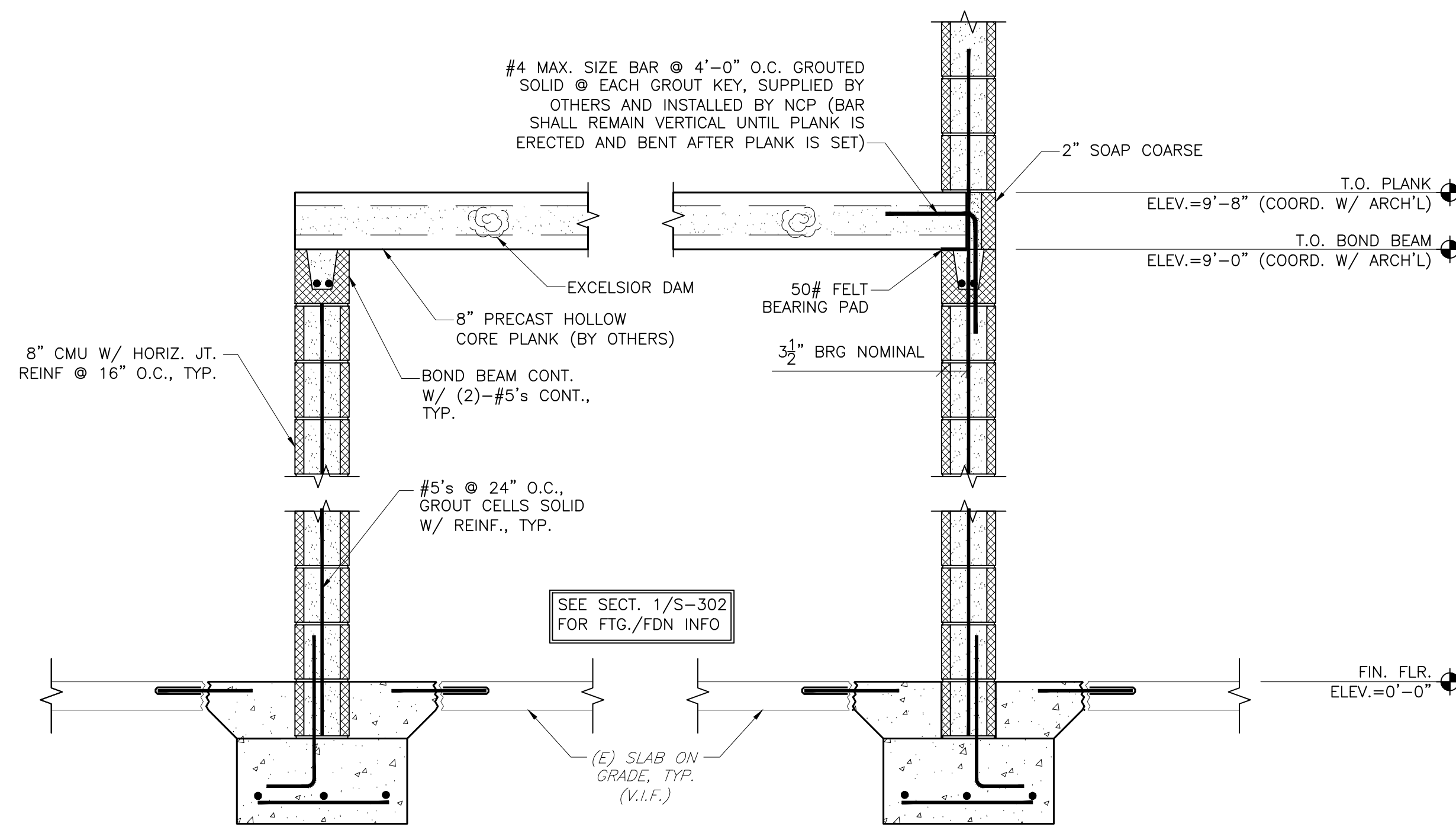
- NOTES:
- CONTRACTOR TO PROVIDE TEMPORARY SUPPORT TO WALL ABOVE AS REQ'D PRIOR TO ANY DEMOLITION/REMOVAL.
  - CONTRACTOR TO PERFORM ALL DEMOLITION WITH CARE AND INSTALL TEMPORARY SHORING AS REQ'D TO MAINTAIN STRUCTURAL INTEGRITY OF WALL ABOVE DURING FULL COURSE OF WORK.

**8** STL BM HEADER DTL  
S-301 SCALE: 3/4"=1'-0"

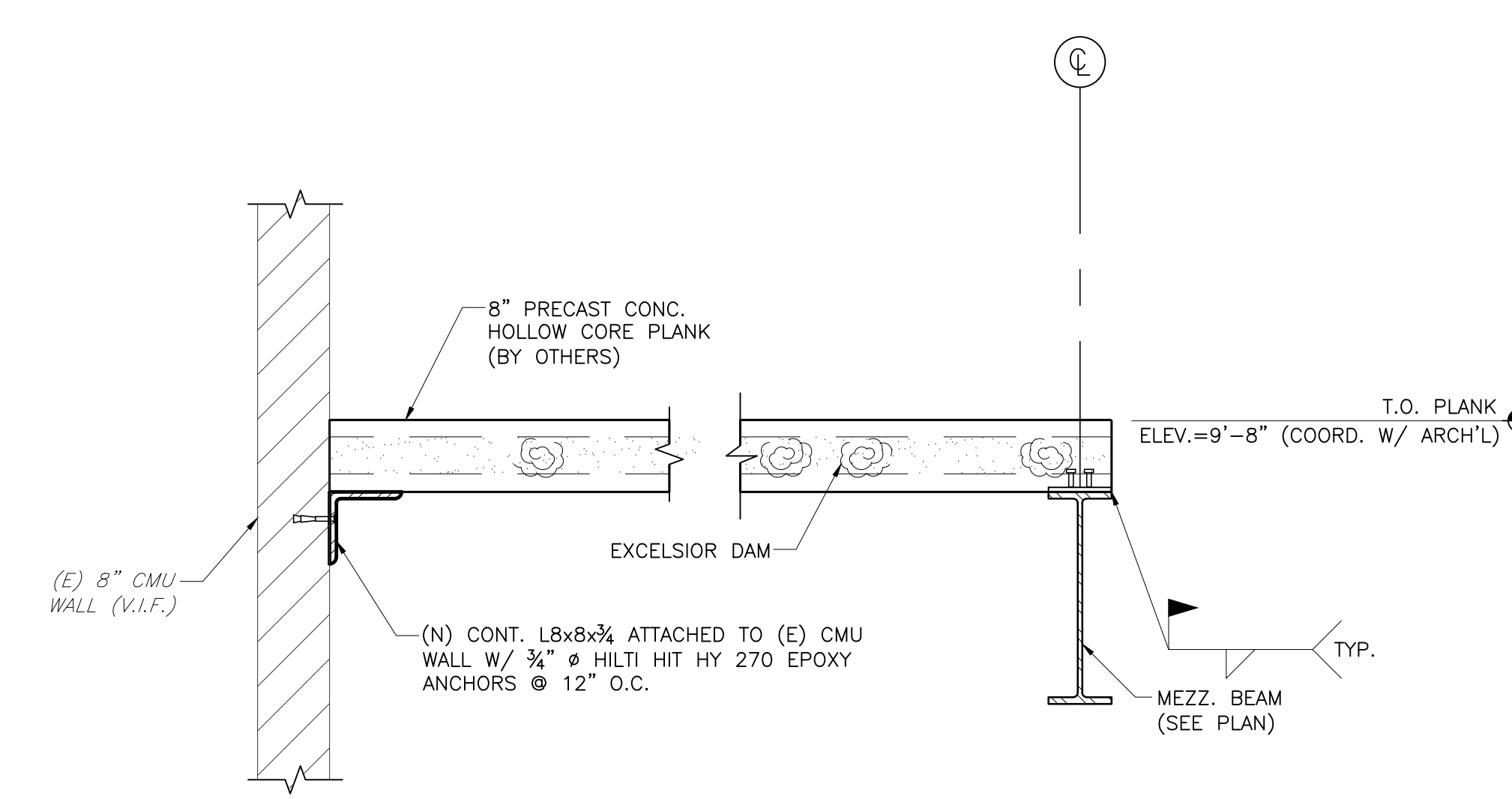




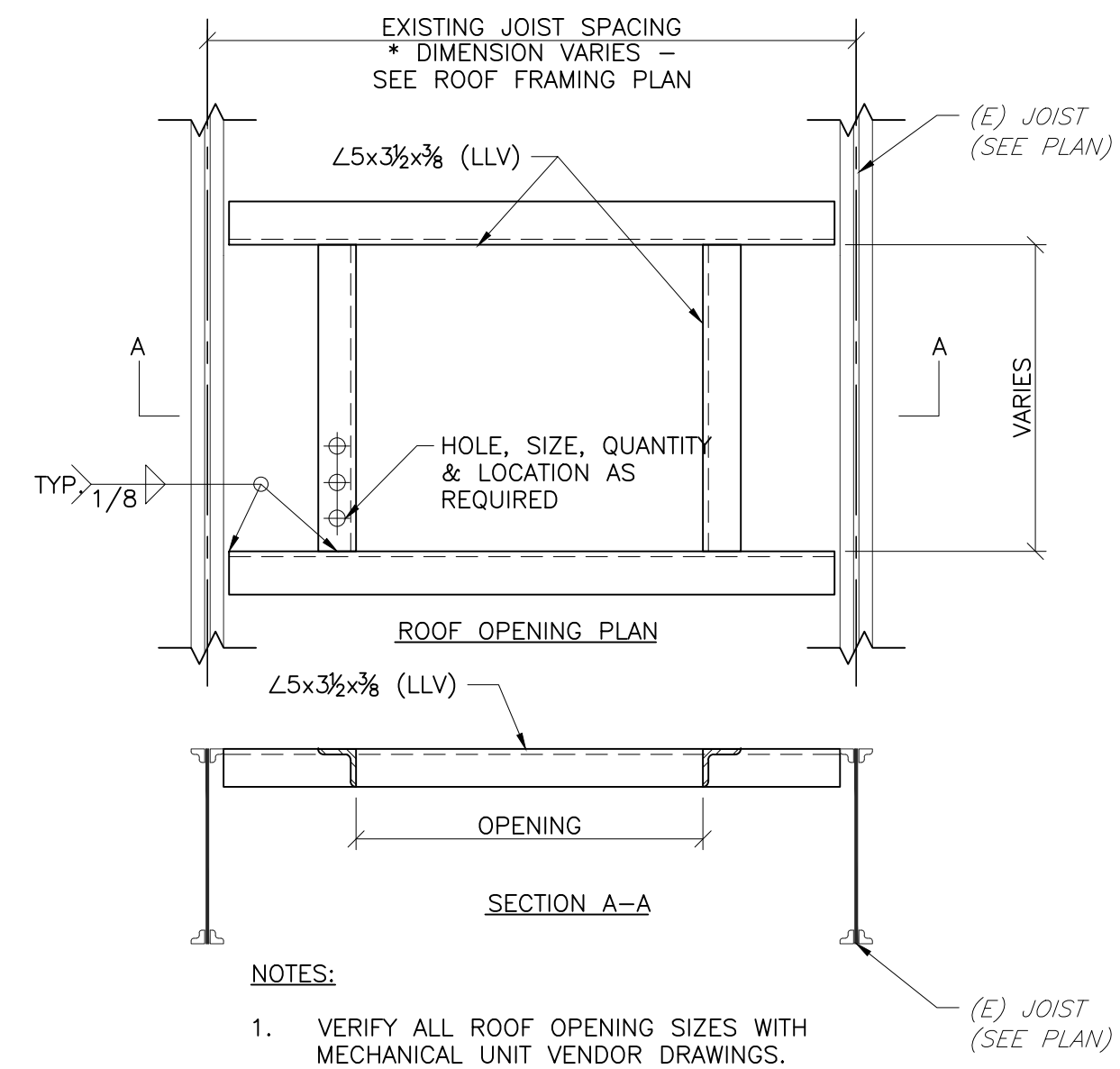
1 SECTION  
S-302 SCALE: 3/4" = 1'-0"



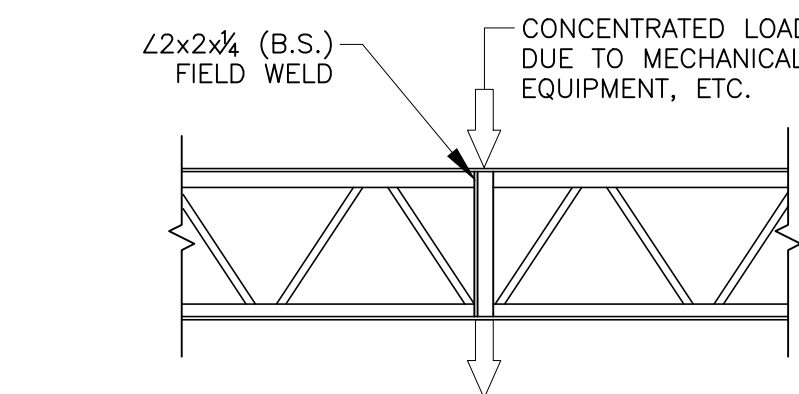
2 SECTION  
S-302 SCALE: 3/4" = 1'-0"



3 SECTION  
S-302 SCALE: 3/4" = 1'-0"

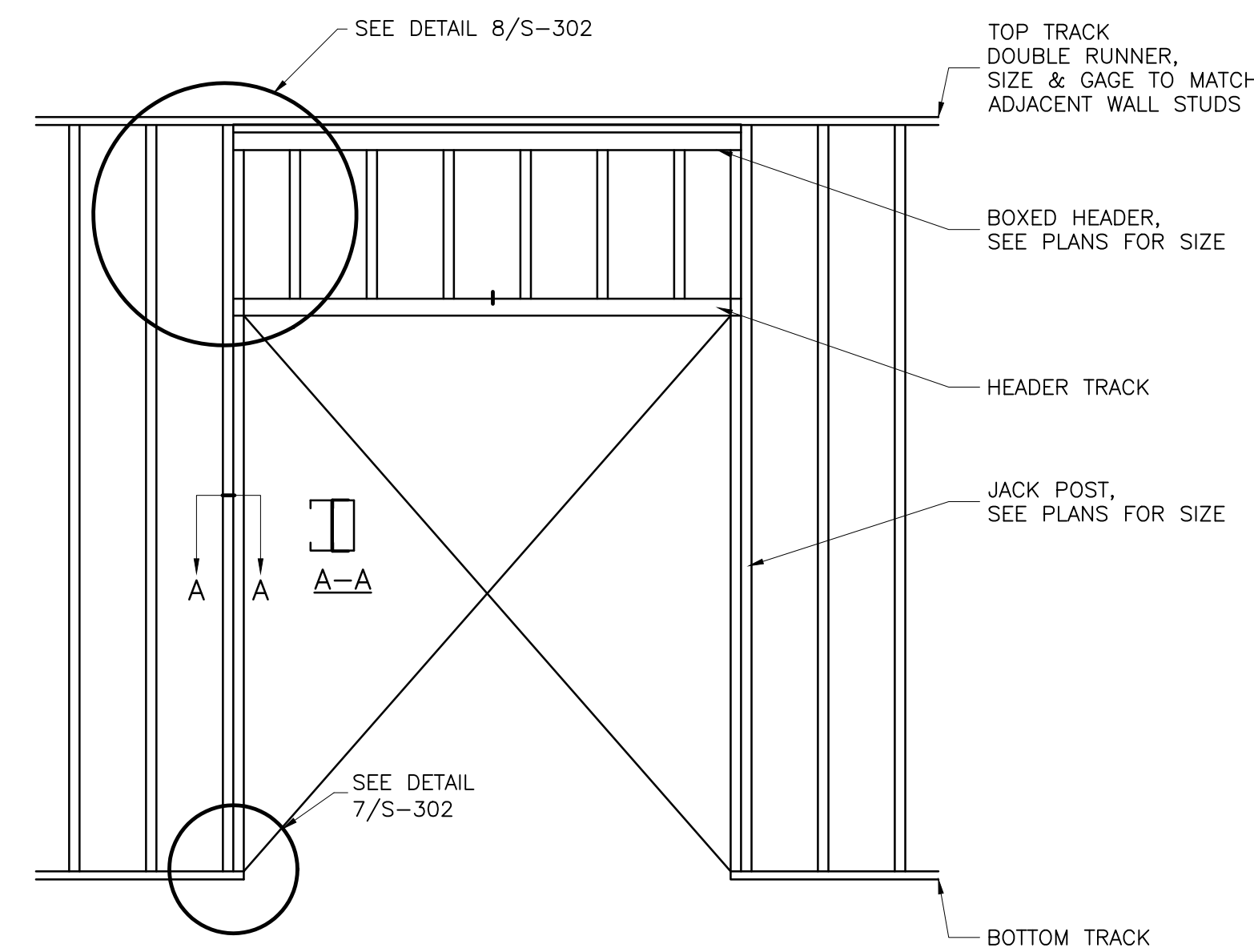


4 FRAMED ROOF OPENING DETAIL  
S-302 SCALE: 3/4" = 1'-0"

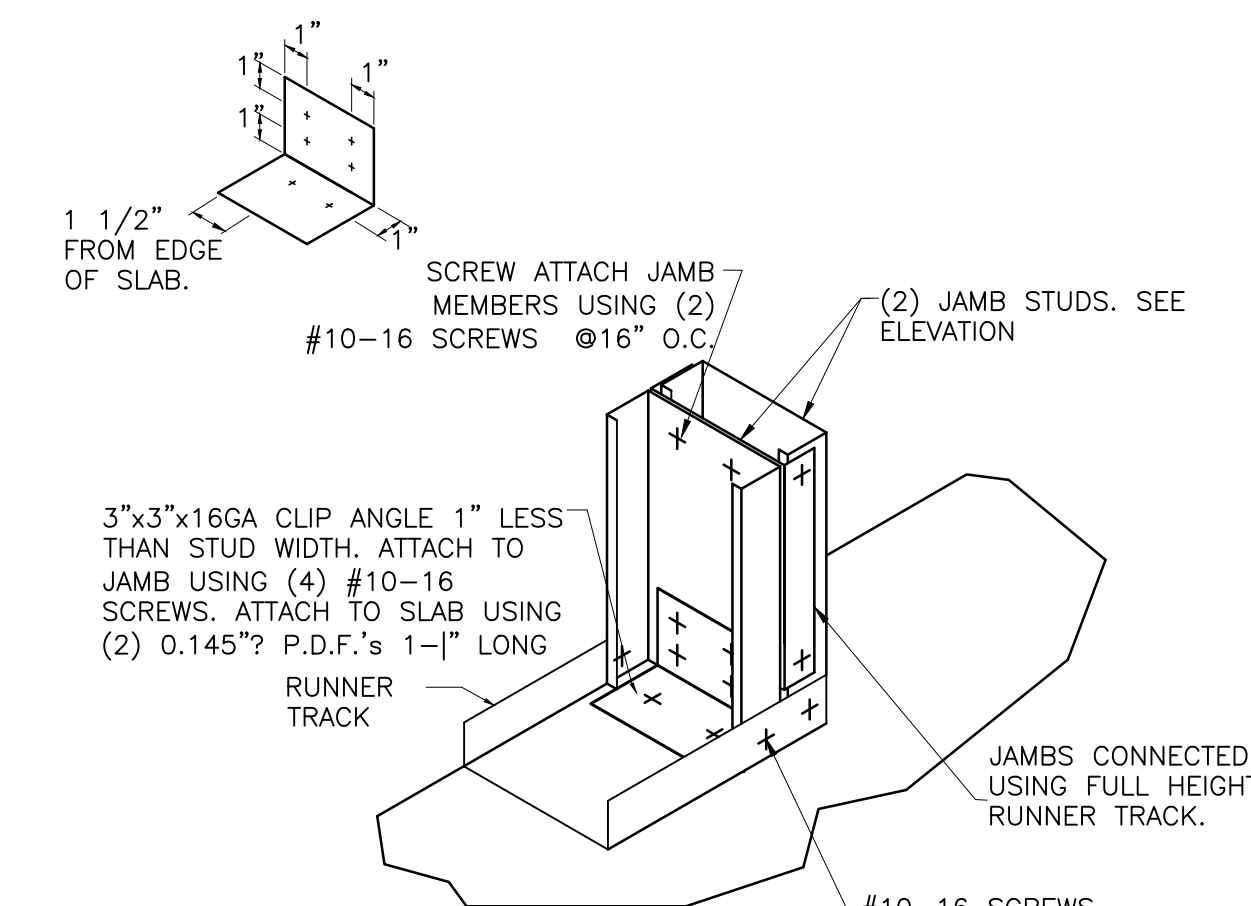


- NOTES:
1. REINFORCE JOIST IN SHOP OR FIELD WHEN CONCENTRATED LOADS FROM MECHANICAL EQUIPMENT OR OTHER SOURCE EXCEEDS 250 LBS.
  2. ADD L2x2 1/2 FOR CONCENTRATED LOAD AT LOCATION CLOSEST TO PANEL POINT WHEN LOAD LOCATION IS GREATER THAN 4" FROM PANEL POINT.
  3. WELDING BY CERTIFIED WELDER.
  4. WELD TO SUPPORTING BEAM OR JOIST 3/8" FILLET 2" LONG

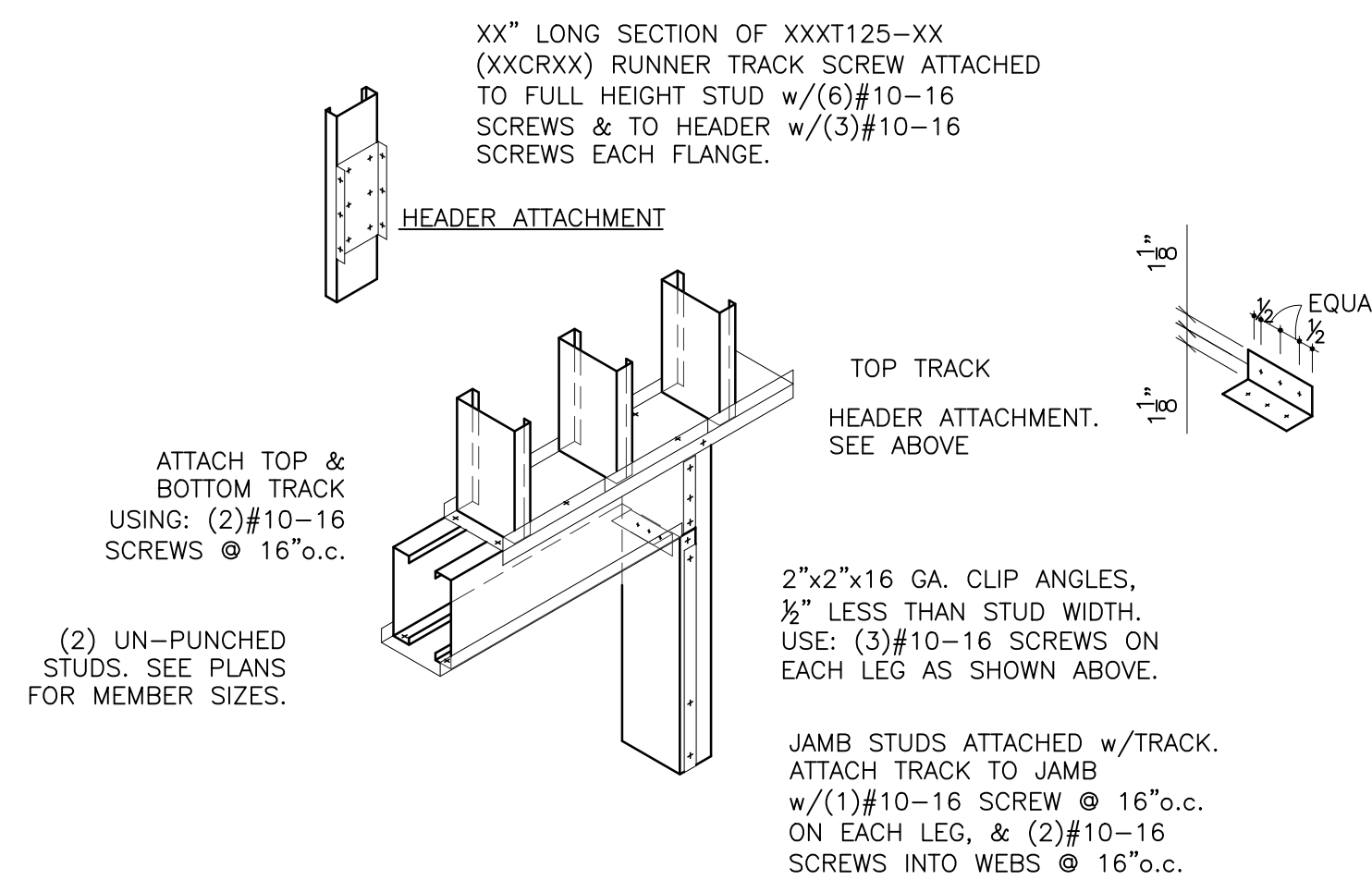
5 PANEL POINT REINF. DETAIL  
S-302 SCALE: 3/4" = 1'-0"



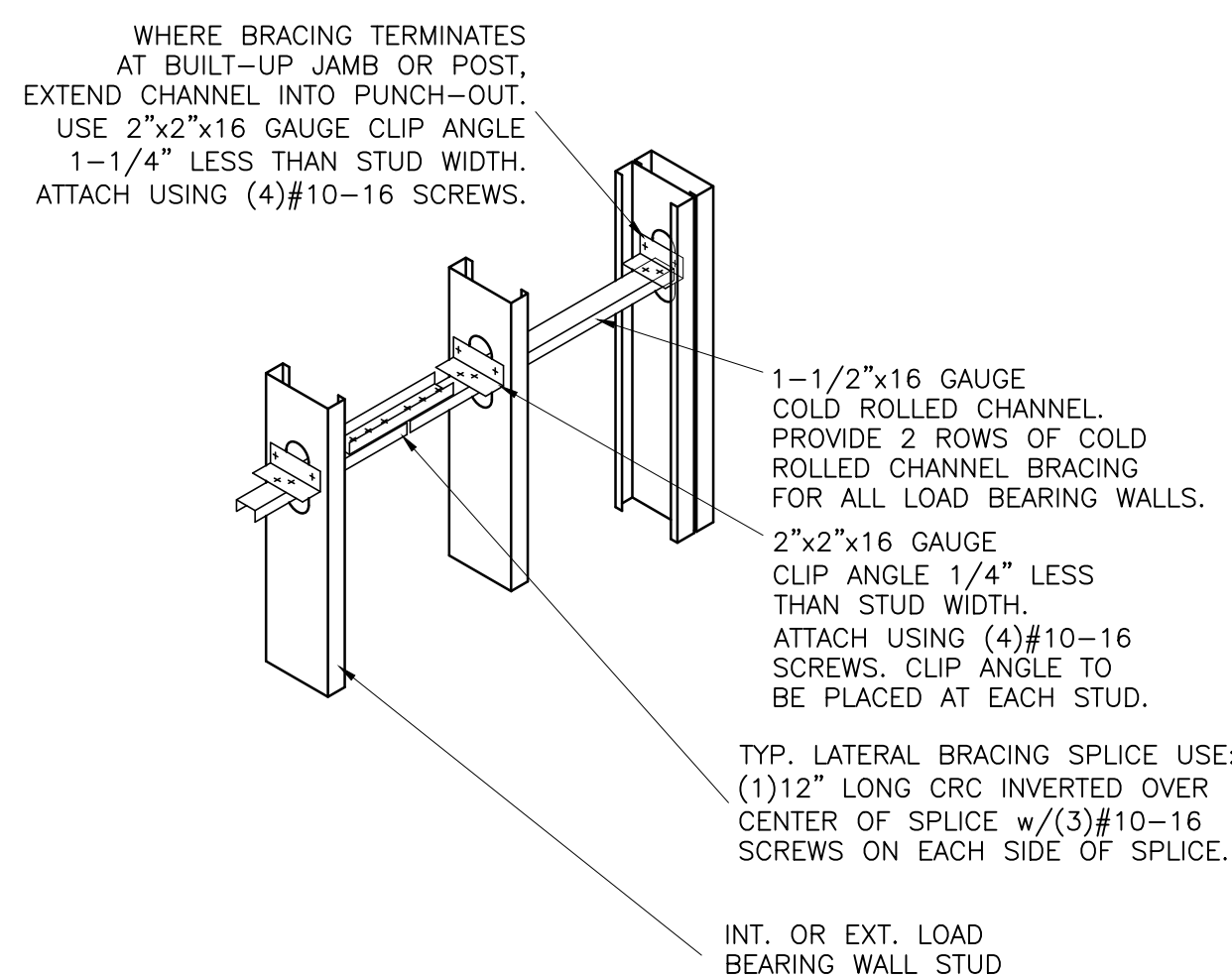
6 TYP. WALL OPENING  
S-302 SCALE: 1/2" = 1'-0"



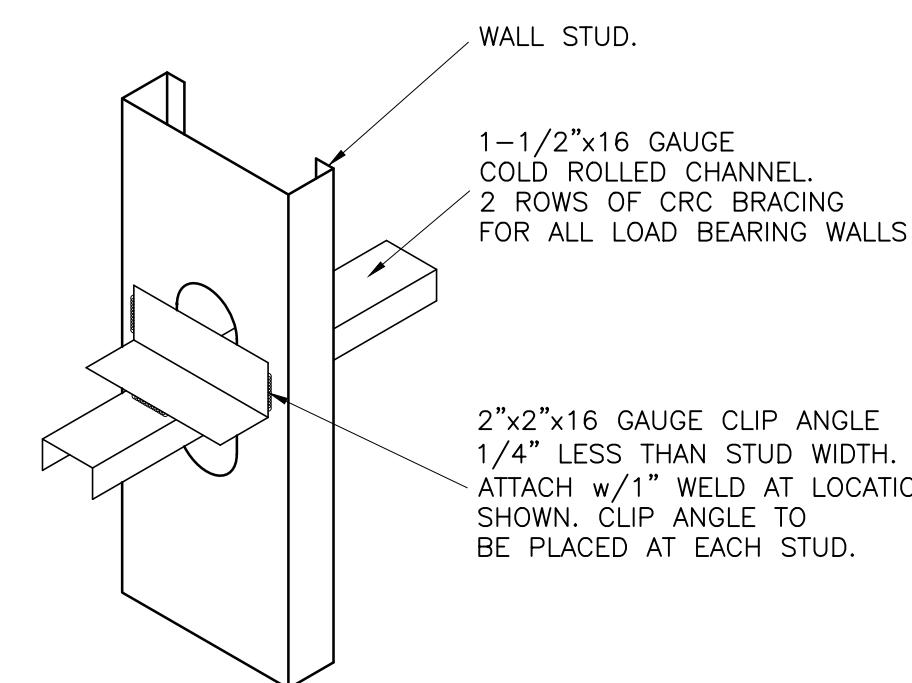
7 JAMB ANCHORAGE  
S-302 SCALE: 1/2" = 1'-0"



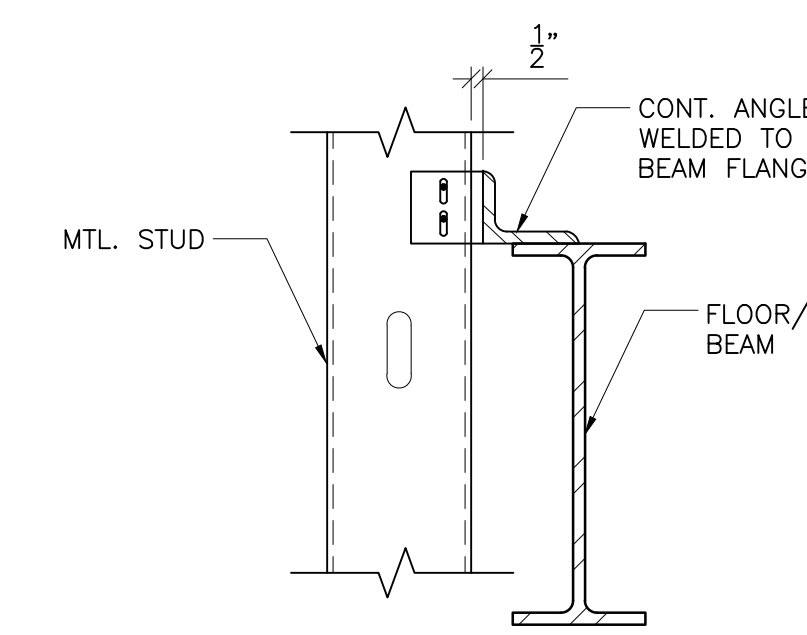
8 BOXED HEADER CONNECTION  
S-302 SCALE: 1/2" = 1'-0"



9 LATERAL BRACING  
S-302 SCALE: 1/2" = 1'-0"



10 LATERAL BRACING  
S-302 SCALE: 1/2" = 1'-0"



11 TYP. MTL. STUD CONNECTION  
S-302 SCALE: N.T.S.

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DATE: 03/30/23

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DRAWN BY: JF  
CLIENT PROJ #: 2022-010.00  
SHEET SCALE: 1/8" = 1'-0"  
BAR IS ONE (1) INCH LONG ON ORIGINAL DRAWING

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**SECTIONS AND DETAILS**

**S-302**



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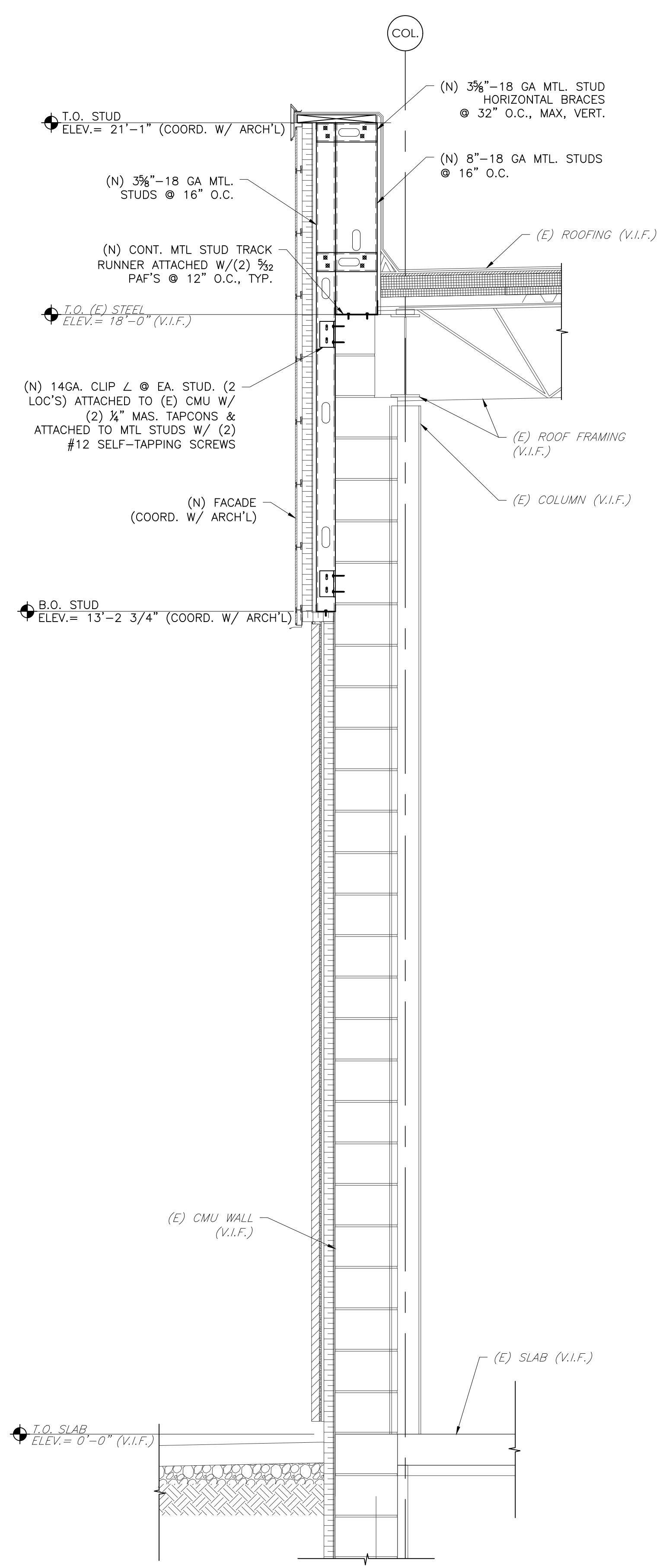
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P.M. @-MAIL: <consultant/pm\_email>  
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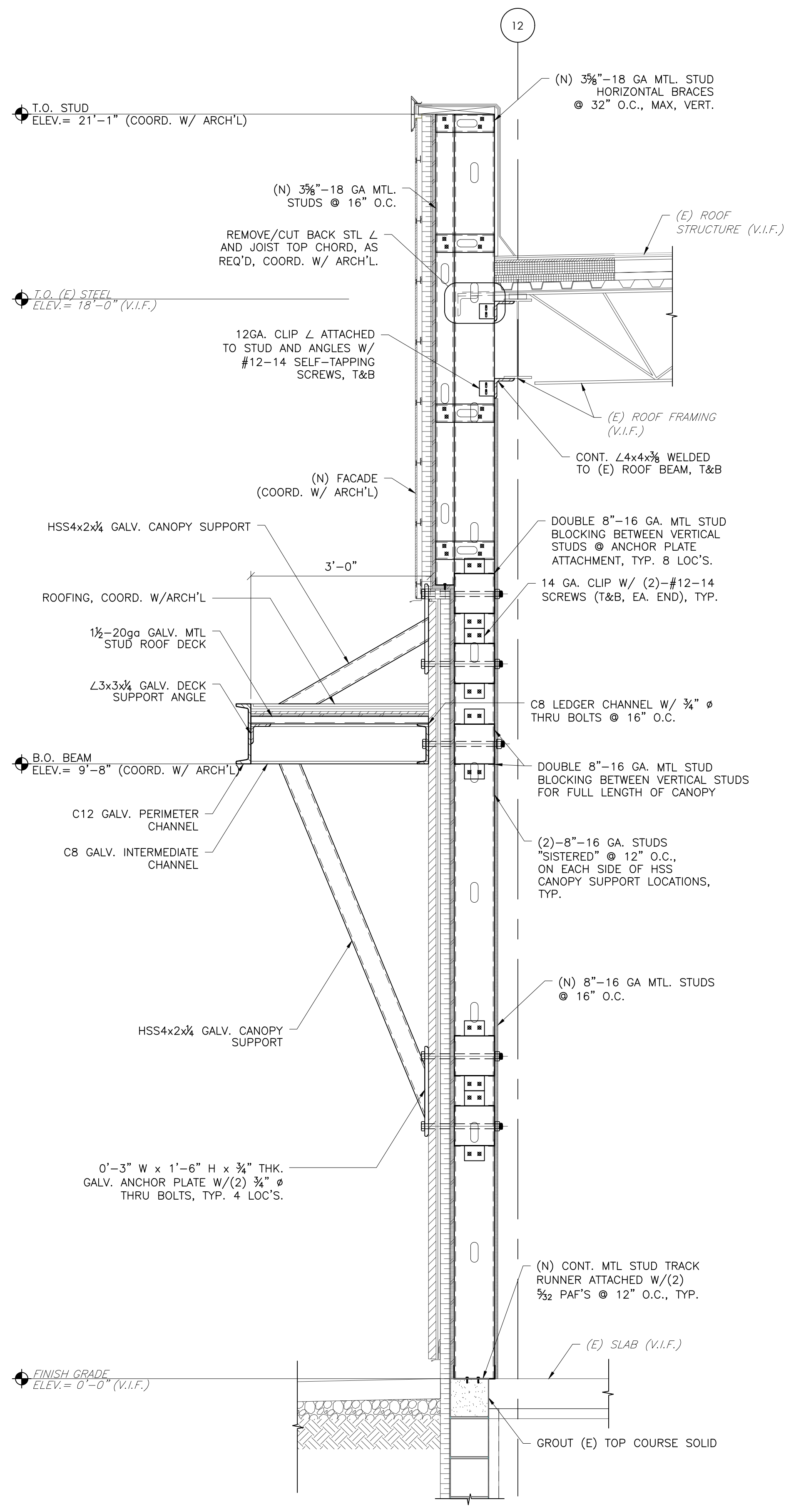
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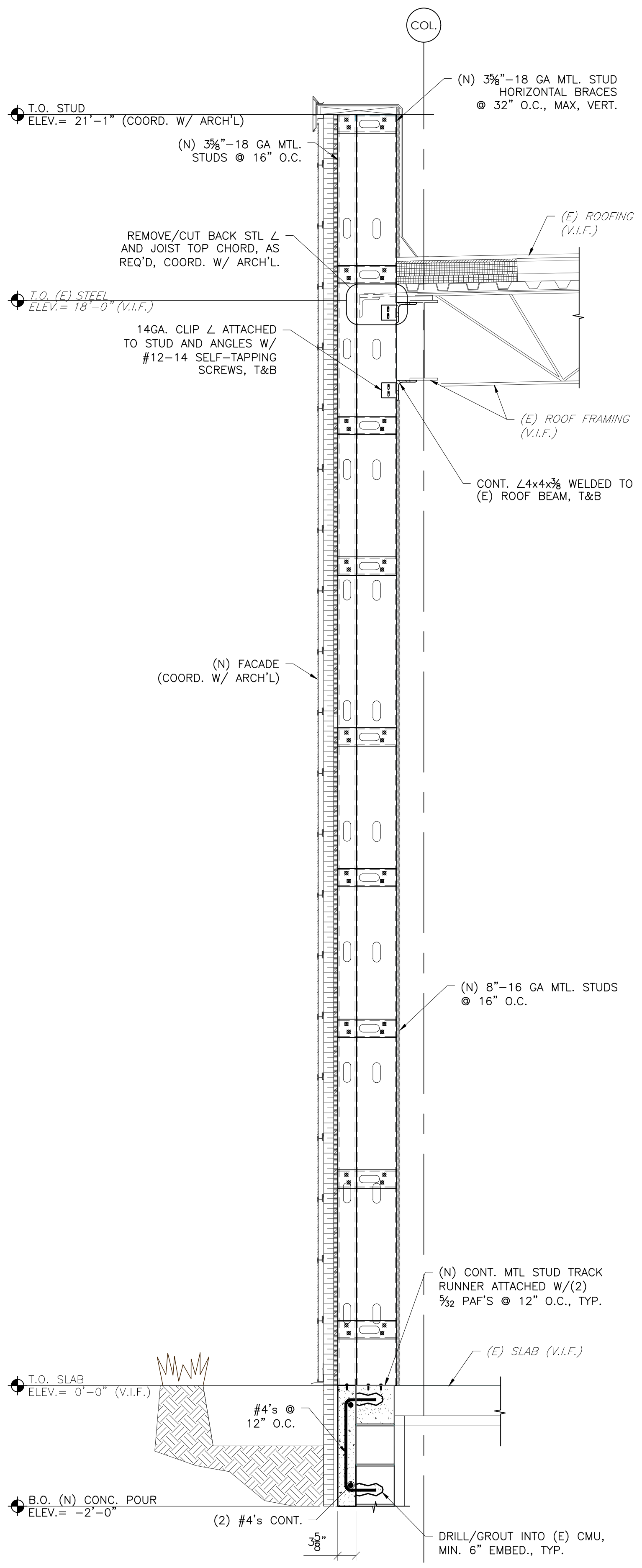
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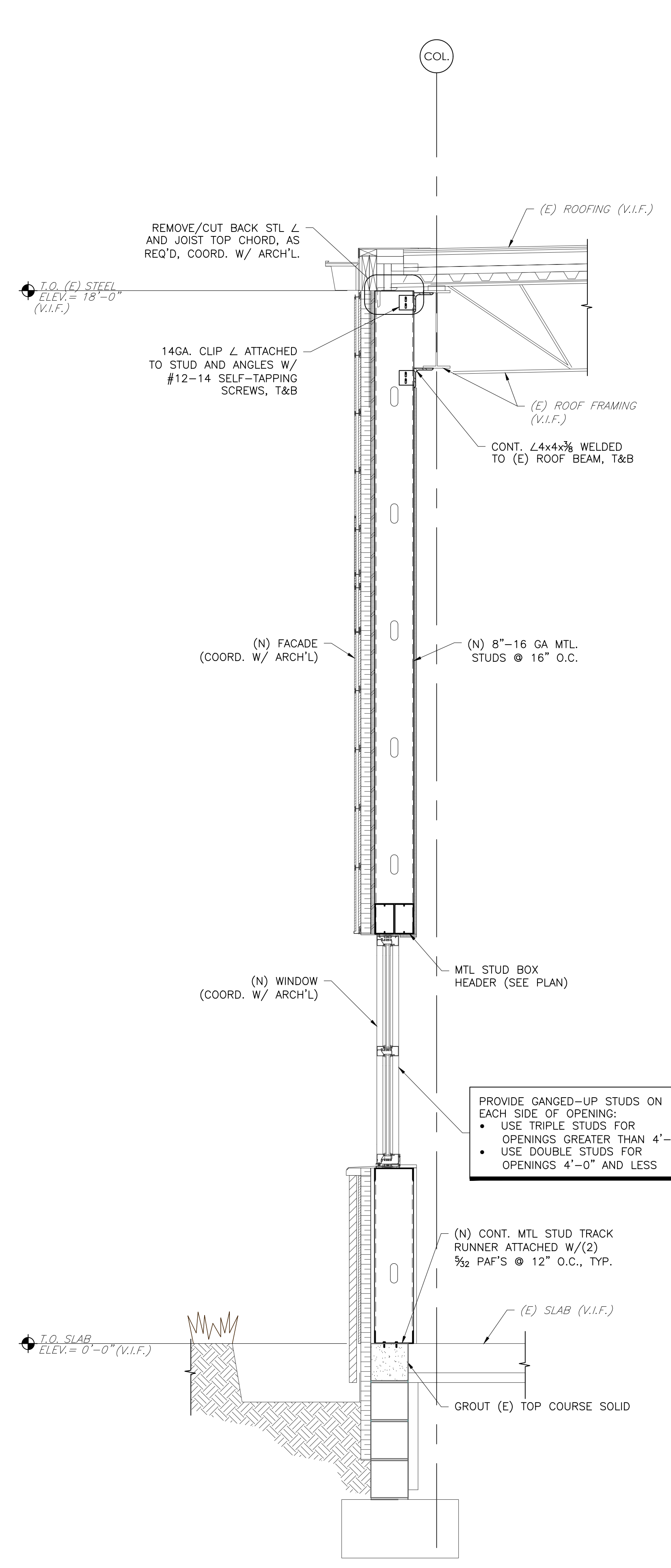
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S-303 SCALE: 3/4" = 1'-0"  
REF: 2/A-301



**2 WALL SECTION**  
S-303 SCALE: 3/4" = 1'-0"  
REF: 3/A-301



**3 WALL SECTION**  
S-303 SCALE: 3/4" = 1'-0"  
REF: 4/A-301



**4 WALL SECTION**  
S-303 SCALE: 3/4" = 1'-0"  
REF: 2/A-302

**METAL STUD FRAMING NOTE:**  
CONTRACTOR TO COORDINATE ALL DIMENSIONS, ELEVATIONS, LAYOUTS, AND ETC. OF ALL METAL STUD CONSTRUCTION SUCH AS PARAPETS AND CANOPIES WITH ARCH'L DRAWINGS.



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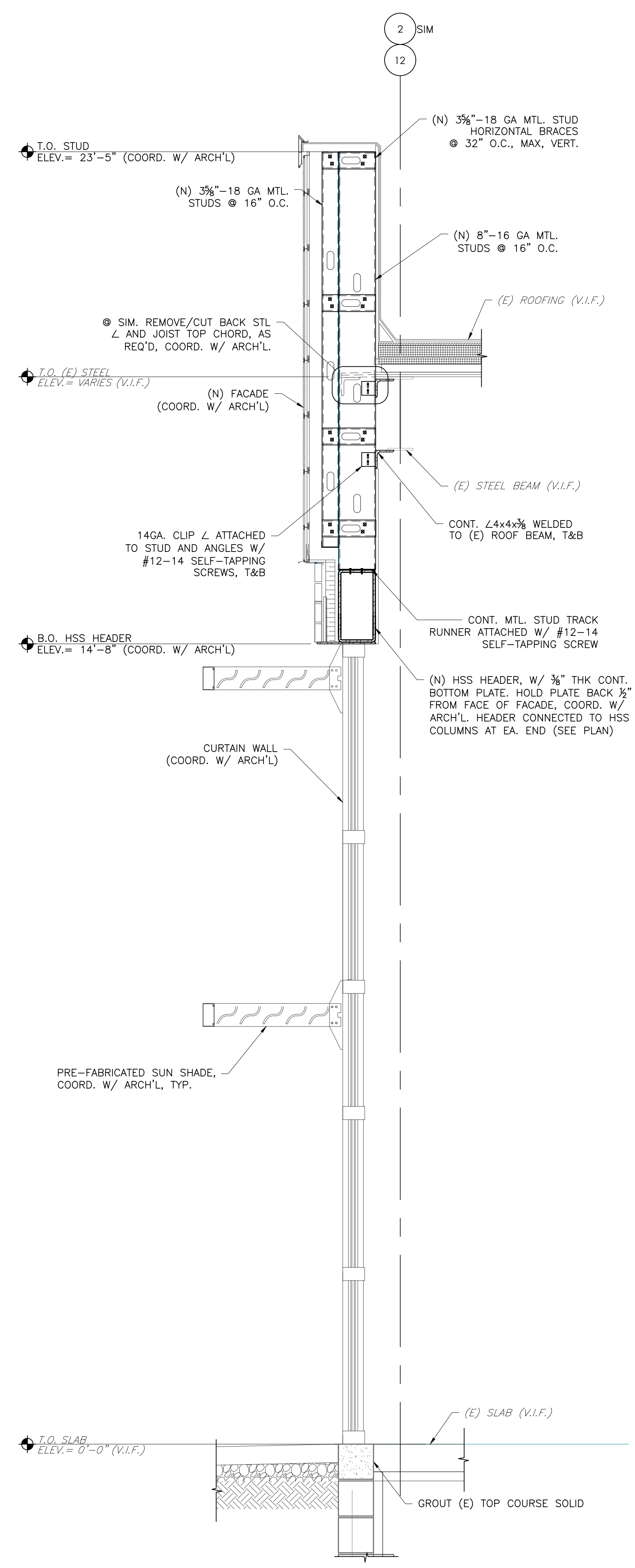
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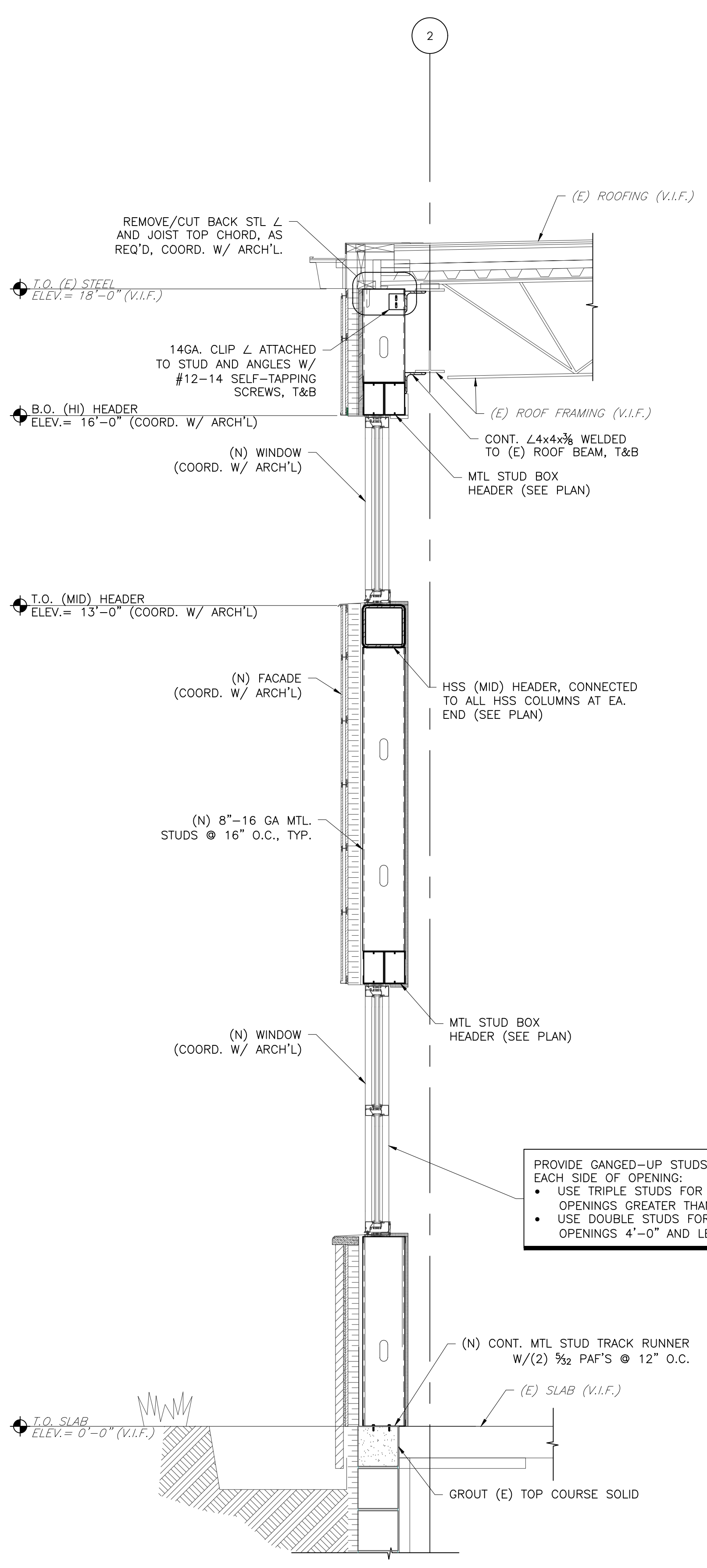
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**SECTIONS AND DETAILS**

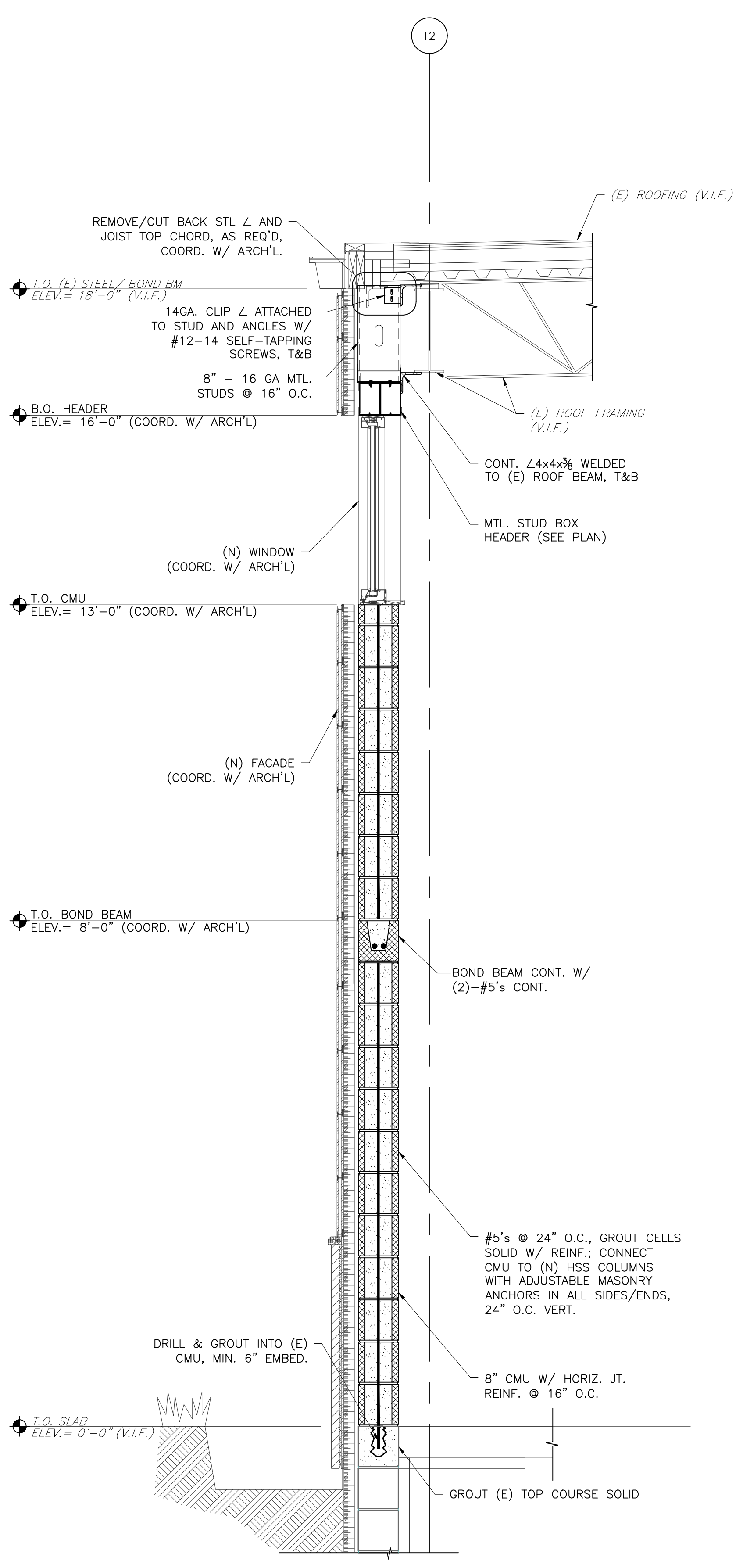
**S-304**



**1** WALL SECTION  
S-304 SCALE: 3/4" = 1'-0"  
REF: 1/A-304



**2** WALL SECTION  
S-304 SCALE: 3/4" = 1'-0"  
REF: 4/A-305



**3** WALL SECTION  
S-304 SCALE: 3/4" = 1'-0"  
REF: 1/A-303

PROVIDE GANGED-UP STUDS ON EACH SIDE OF OPENING:  
• USE TRIPLE STUDS FOR OPENINGS GREATER THAN 4'-0"  
• USE DOUBLE STUDS FOR OPENINGS 4'-0" AND LESS

**METAL STUD FRAMING NOTE:**  
CONTRACTOR TO COORDINATE ALL DIMENSIONS, ELEVATIONS, LAYOUTS, AND ETC. OF ALL METAL STUD CONSTRUCTION SUCH AS PARAPETS AND CANOPIES WITH ARCH'L DRAWINGS.



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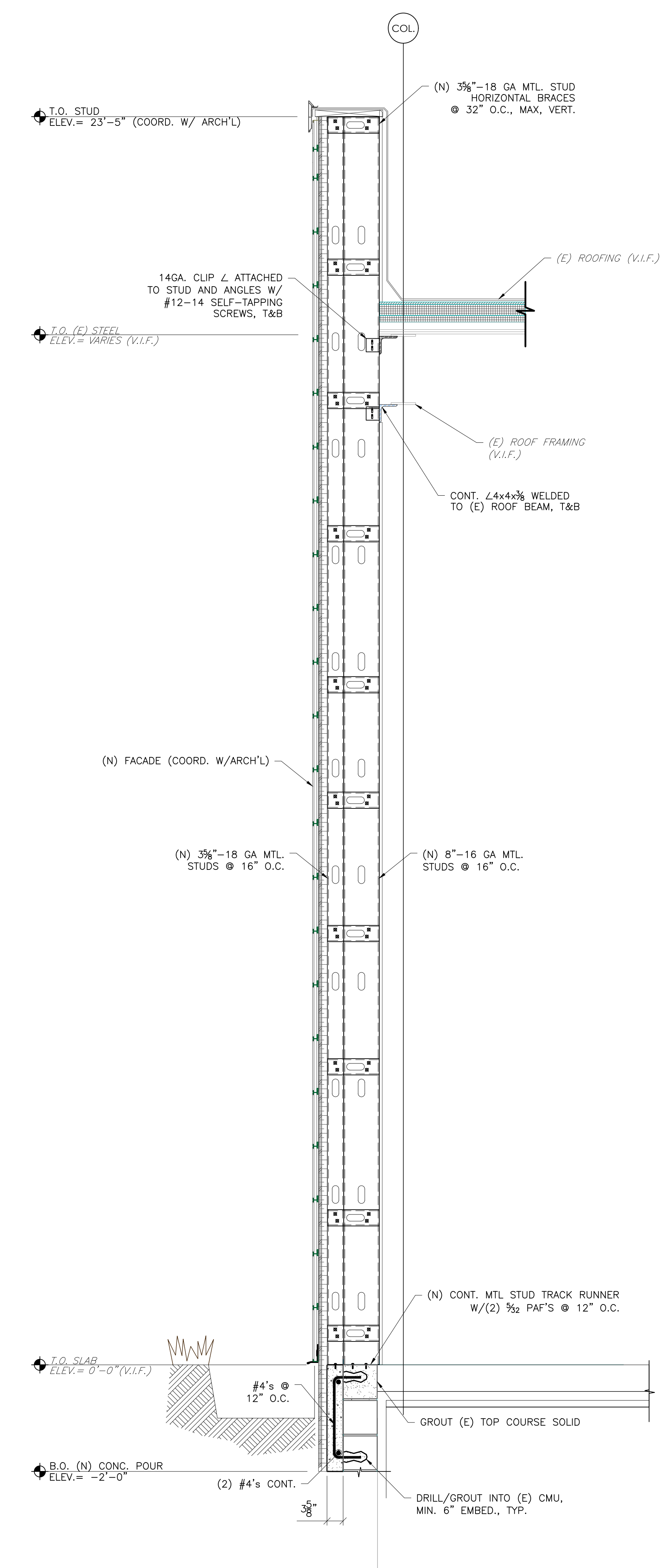
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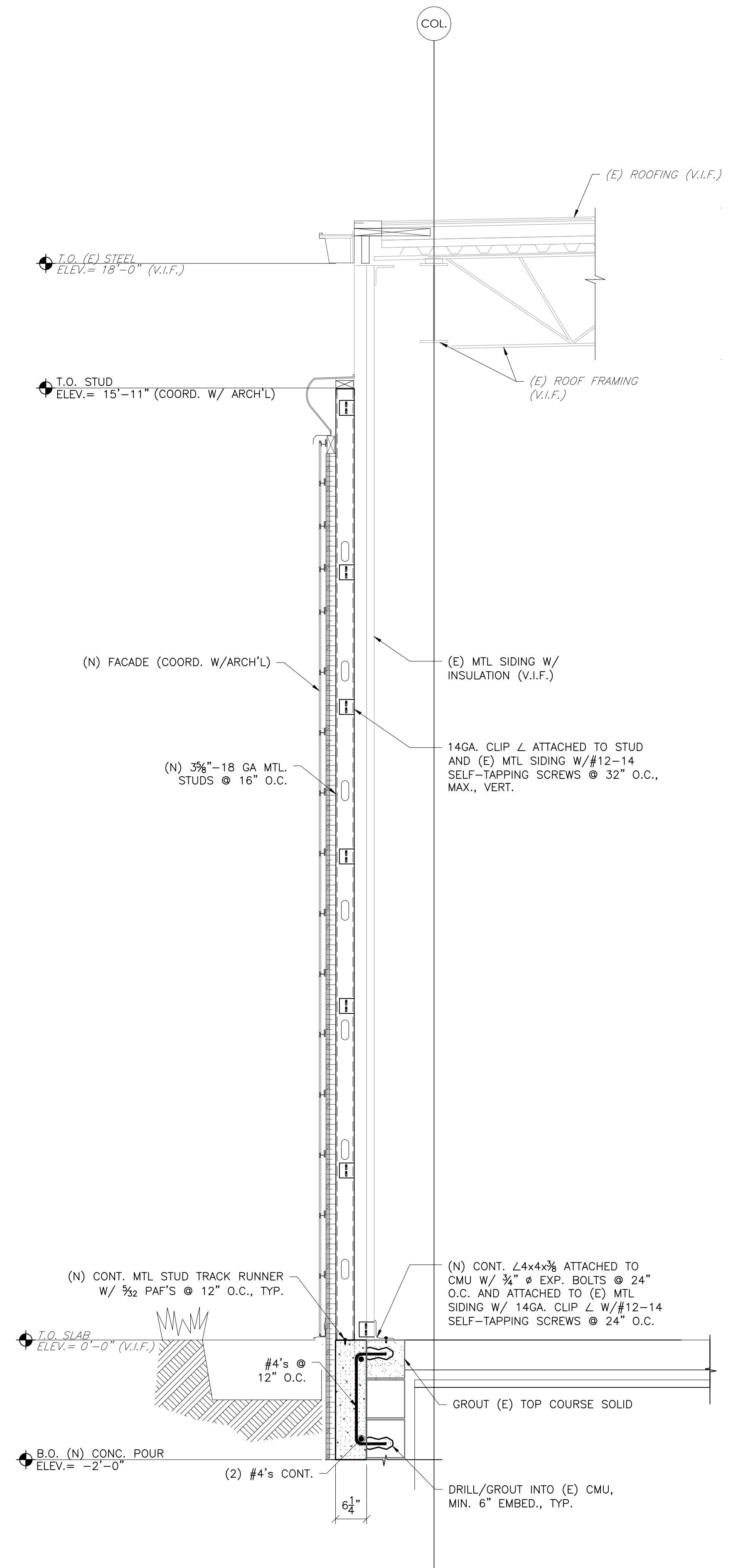
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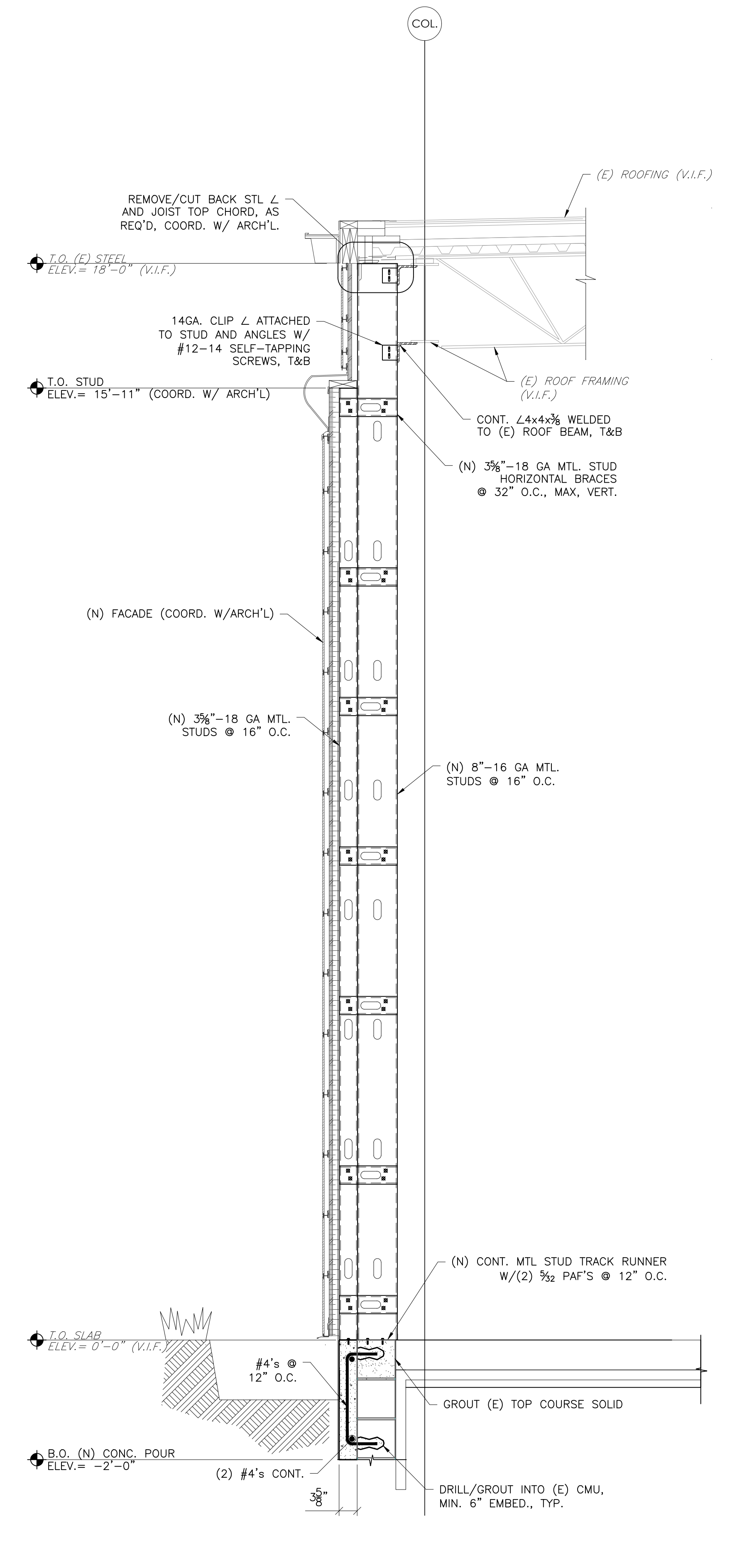
**S-305**



**3 WALL SECTION**  
S-305 SCALE: 3/4" = 1'-0"  
REF: 4/A-303



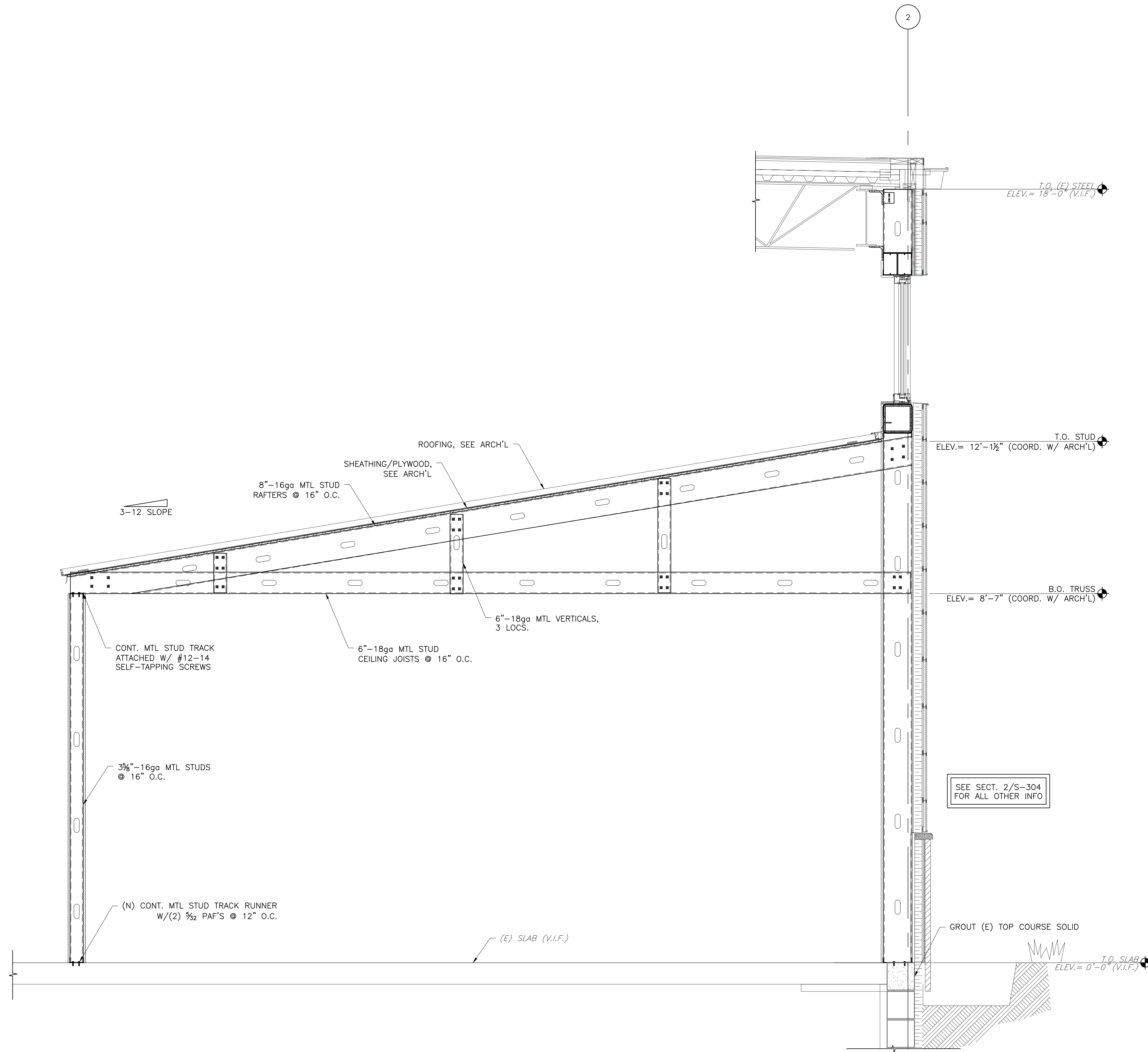
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S-305 SCALE: 3/4" = 1'-0"  
REF: 2/A-303



**1 WALL SECTION**  
S-305 SCALE: 3/4" = 1'-0"  
REF: 3/A-302

**METAL STUD FRAMING NOTE:**  
CONTRACTOR TO COORDINATE ALL DIMENSIONS, ELEVATIONS, LAYOUTS, AND ETC. OF ALL METAL STUD CONSTRUCTION SUCH AS PARAPETS AND CANOPIES WITH ARCH'L DRAWINGS.





**1 WALL SECTION**  
S-306 SCALE: 3/4" = 1'-0"

REF: 1/A-305

**NOTES:**

1. PROVIDE 8"-16ga MTL STUD BOX HEADERS AT ALL OPENINGS WITHIN OFFICE PARTITION WALLS. PROVIDE TRIPLE GANGED-UP STUDS ON EACH SIDE OF OPENING. COORD. ALL LOCATIONS, SIZES, ETC. OF ALL OPENINGS W/ARCH'L.

**METAL STUD FRAMING NOTE:**  
CONTRACTOR TO COORDINATE ALL DIMENSIONS, ELEVATIONS, LAYOUTS, AND ETC. OF ALL METAL STUD CONSTRUCTION SUCH AS PARAPETS AND CANOPIES WITH ARCH'L DRAWINGS.



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STRUCTURAL ENGINEERING + DESIGN  
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717.270.8637 Fax 717.270.8637 Fax

SALVATORE DIGENOVA  
ENGINEER  
REGISTRATION NO. 042432-E  
DATE: \_\_\_\_\_ SIGNED: \_\_\_\_\_

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DATE: 03/30/23

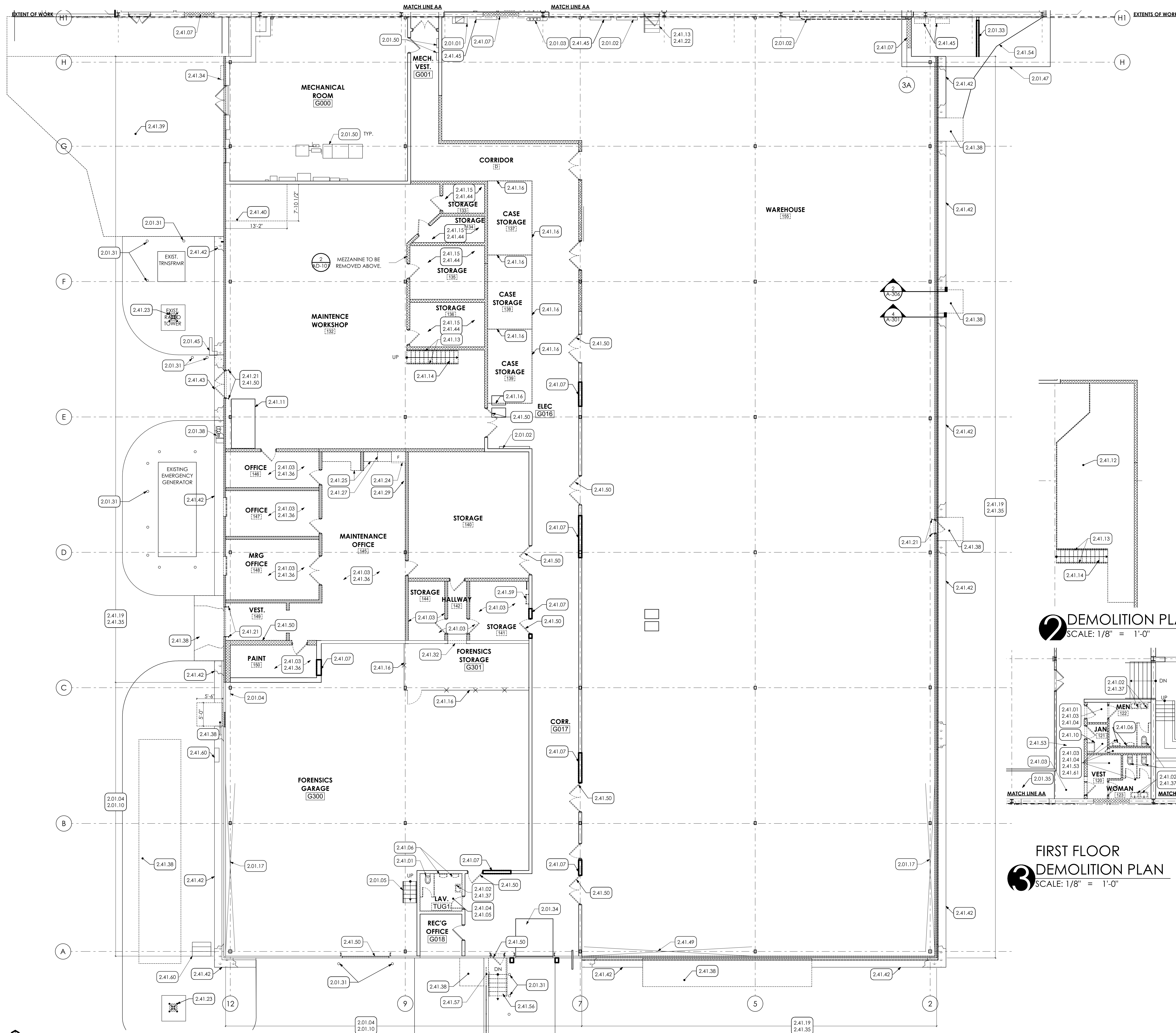
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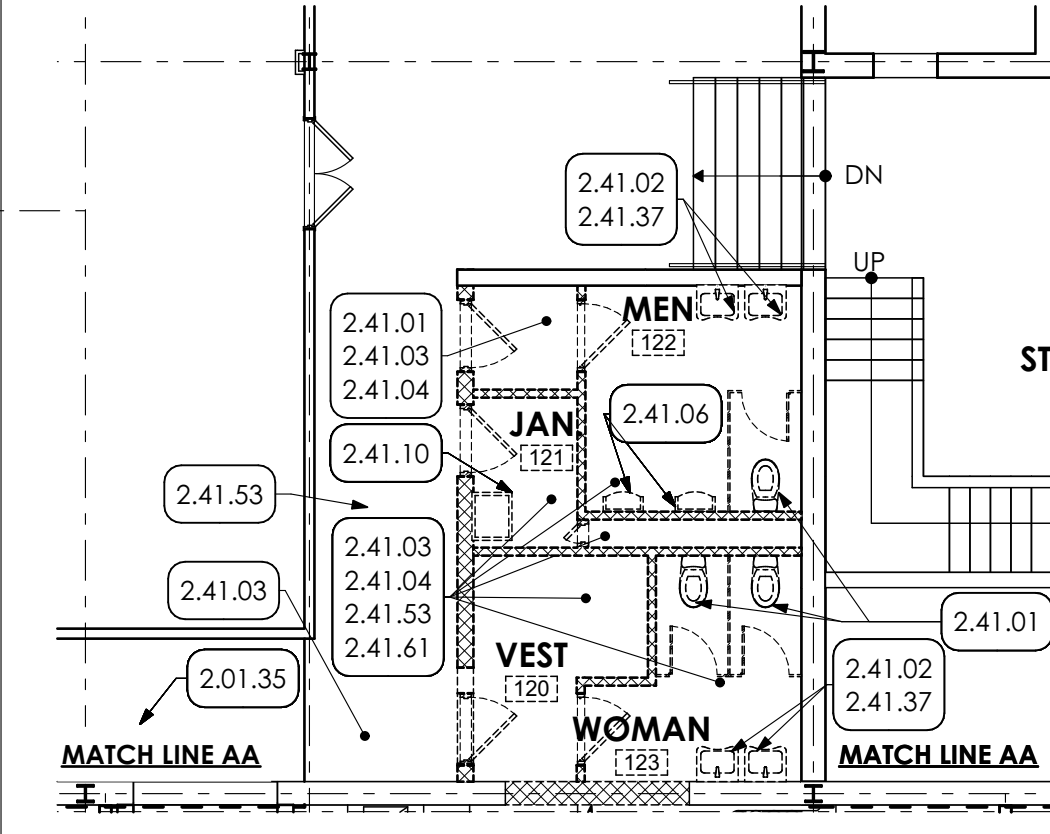
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SHEET TITLE:  
**SECTIONS AND DETAILS**

**S-306**



**2 DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"



**3 FIRST FLOOR DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"

**DEMOLITION LEGEND**

- EXISTING PARTITION TO REMAIN
- DOOR TO REMAIN
- EXISTING GYPSUM BOARD PARTITION TO BE DEMOLISHED
- DOOR AND FRAME TO BE DEMOLISHED
- EXISTING MASONRY PARTITION TO BE DEMOLISHED APX. HEIGHT 19'-0" +/-
- DOOR AND FRAME TO BE DEMOLISHED

**KEY NOTES**

**02 DEMOLITION**

**2.01 EXISTING CONDITIONS**

2.01.01 EXISTING DUCT RISER TO REMAIN.

2.01.02 EXISTING ELECTRICAL PANELS TO REMAIN.

2.01.03 EXISTING GLYCOL LINES TO REMAIN.

2.01.04 EXISTING GIRT TO REMAIN.

2.01.05 EXISTING STAIR TO REMAIN.

2.01.10 EXISTING INSULATED METAL PANEL TO REMAIN.

2.01.17 EXISTING X-BRACING TO REMAIN.

2.01.31 EXISTING BOLLARD TO REMAIN.

2.01.33 EXISTING DOWNSPOUT AND EXTENSION TO BE RELOCATED.

2.01.34 EXISTING DOCK LEVELER TO REMAIN.

2.01.35 EXISTING ACOUSTIC PANEL CEILING TO REMAIN.

2.01.38 EXISTING CONDUIT TO REMAIN IN PLACE. E.C. TO PROVIDE TEMPORARY SUPPORT.

2.01.45 EXISTING GAS METER TO REMAIN.

2.01.47 UNDERGROUND EXISTING FIBER OPTIC LINES ARE LOCATED IN THIS AREA. USE CAUTION DURING EXCAVATION.

2.01.50 EXISTING ELECTRICAL EQUIPMENT

**2.41 SELECTIVE DEMOLITION - SPEC 024119**

2.41.01 REMOVE EXISTING TOILET AND CAP SANITARY LINE BELOW SLAB. BY P.C. PROVIDE CONCRETE TO FINISH FLUSH WITH TOP OF EXISTING SLAB. PROVIDE A MINIMUM OF 2" CLEARANCE ABOVE CAP. BY P.C.

2.41.02 REMOVE EXISTING WALL MOUNTED SINK AND CAP SANITARY LINE BELOW SLAB. BY P.C. PROVIDE CONCRETE TO FINISH FLUSH WITH TOP OF EXISTING SLAB. PROVIDE A MINIMUM OF 2" CLEARANCE ABOVE CAP. BY P.C.

2.41.03 REMOVE EXISTING SUSPENDED CEILING PANELS, GRID, SUSPENSION WIRES, AND ACCESSORIES IN ITS ENTIRETY FROM ENTIRE ROOM.

2.41.04 REMOVE EXISTING FLOOR TILE AND MORTAR IN ITS ENTIRETY DOWN TO EXISTING CONCRETE SLAB THROUGHOUT ROOM.

2.41.05 REMOVE EXISTING CERAMIC TILE, MORTAR AND GYPSUM BOARD FROM THE PERIMETER OF ROOM OR CORRIDOR.

2.41.06 REMOVE EXISTING URINAL AND CAP SANITARY LINE BELOW SLAB. BY P.C. PROVIDE CONCRETE TO FINISH FLUSH WITH TOP OF EXISTING SLAB. PROVIDE A MINIMUM OF 2" CLEARANCE ABOVE CAP. BY P.C.

2.41.07 REMOVE PORTION OF EXISTING MASONRY WALL TO CREATE NEW OPENINGS. COORDINATE WITH FLOOR PLAN.

2.41.10 REMOVE EXISTING UTILITY SINK AND CAP SANITARY LINE BELOW SLAB. BY P.C. PROVIDE CONCRETE TO FINISH FLUSH WITH TOP OF EXISTING SLAB. PROVIDE A MINIMUM OF 2" CLEARANCE ABOVE CAP. BY P.C.

2.41.11 CAREFULLY REMOVE EXISTING DUST COLLECTOR AND STORE FOR REINSTALLATION. BY H.C.

2.41.12 REMOVE EXISTING MEZZANINE PLATFORM IN ITS ENTIRETY.

2.41.13 REMOVE EXISTING RAILING.

2.41.14 REMOVE EXISTING WOOD STAIRCASE.

2.41.15 REMOVE EXISTING MEZZANINE ATTACHMENTS, BEAMS, COLUMNS.

2.41.16 REMOVE EXISTING WOOD STORAGE CAGES IN THEIR ENTIRETY.

2.41.19 REMOVE EXISTING METAL GIRT AND SAG RODS.

2.41.21 REMOVE EXISTING DOOR FRAMING

2.41.22 REMOVE EXISTING STAIRCASE

2.41.23 REMOVE EXISTING ANTENNA AND FOUNDATION, INCLUDING UNDERGROUND CONDUIT AND WIRES IN THEIR ENTIRETY, BY E.C.

2.41.24 REMOVE REFRIGERATOR.

2.41.25 REMOVE COUNTER TOP.

2.41.27 REMOVE WALL CABINET

2.41.29 REMOVE BASEBOARD HEAT BY H.C.

2.41.32 REMOVE OPENING HARDWARE.

2.41.34 REMOVE EXISTING CMU ENCLOSURE AND PIPING.

2.41.35 REMOVE EXISTING INSULATED METAL PANEL, INCLUDING WINDOWS AND DOORS LOCATED WITHIN THE PANEL.

2.41.36 REMOVE EXISTING CARPET IN ITS ENTIRETY DOWN TO EXISTING CONCRETE SLAB THROUGHOUT ROOM.

2.41.37 REMOVE EXISTING WALL MOUNTED MIRROR.

2.41.38 EXCAVATE FOR NEW CONCRETE SLAB. COORDINATE WITH FLOOR PLANS.

2.41.39 NEATLY CUT AND REMOVE EXISTING ASPHALT AND EXCAVATE FOR NEW HARDSCAPING. COORDINATE WITH FLOOR PLANS.

2.41.40 REMOVE PORTION OF EXISTING CONCRETE SLAB FOR NEW ENTRANCE VESTIBULE. COORDINATE WITH FLOOR PLANS. EXCAVATE FOR NEW MOW STRIP. COORDINATE WITH DETAIL.

2.41.43 NEATLY CUT AND REMOVE EXISTING ASPHALT AND EXCAVATE FOR NEW RIGID INSULATION. COORDINATE WITH WALL SECTIONS.

2.41.44 REMOVE EXISTING MEZZANINE LIGHT FIXTURES. BY E.C.

2.41.45 REMOVE AND STORE FOR REINSTALLATION EXISTING ELECTRICAL PANEL. BY E.C. COORDINATE WITH ELECTRICAL DRAWINGS.

2.41.49 EXISTING X-BRACING TO BE REMOVED.

2.41.50 REMOVE COURSE OF EXISTING CMU BELOW CONCRETE SLAB.

2.41.53 REMOVE EXISTING TERRAZZO FLOORING.

2.41.54 EXCAVATE LOWER EXISTING GRADE FOR NEW DOOR. COORDINATE W/ FLOOR PLANS.

2.41.56 REMOVE EXISTING CONCRETE STAIR.

2.41.57 CUTBACK EXISTING RAILING AS SHOWN. COORDINATE WITH FLOOR PLAN.

2.41.59 REMOVE EXISTING WALL HUNG LADDERS, INCLUDING LADDER ABOVE MEZZANINE.

2.41.60 CAREFULLY REMOVE SIGN. STORE FOR REINSTALL.

2.41.61 CAREFULLY REMOVE EXISTING ACCESSORIES AND STORE FOR EVALUATION AND POSSIBLE REINSTALLATION IN NEW TOILET ROOMS.

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DRAWN BY: DK, SG, BB, JS  
CLIENT PROJ #:

SHEET TITLE:  
**DEMOLITION PLANS**

AD-101



### KEY NOTES

**02 DEMOLITION**

**2.01 EXISTING CONDITIONS**

2.01.17 EXISTING X-BRACING TO REMAIN.

**2.41 SELECTIVE DEMOLITION | SPEC 024119**

2.41.07 REMOVE PORTION OF EXISTING MASONRY WALL TO CREATE NEW OPENING. COORDINATE WITH FLOOR PLAN.

2.41.12 REMOVE EXISTING MEZZANINE PLATFORM IN ITS ENTIRETY

2.41.19 REMOVE EXISTING METAL GIRT AND SAG RODS.

2.41.35 REMOVE EXISTING INSULATED METAL PANEL, INCLUDING WINDOWS AND DOORS LOCATED WITHIN THE PANEL.

2.41.38 EXCAVATE FOR NEW CONCRETE SLAB. COORDINATE WITH FLOOR PLANS.

2.41.42 EXCAVATE FOR NEW MOW STRIP, COORINDATE WITH DETAIL.

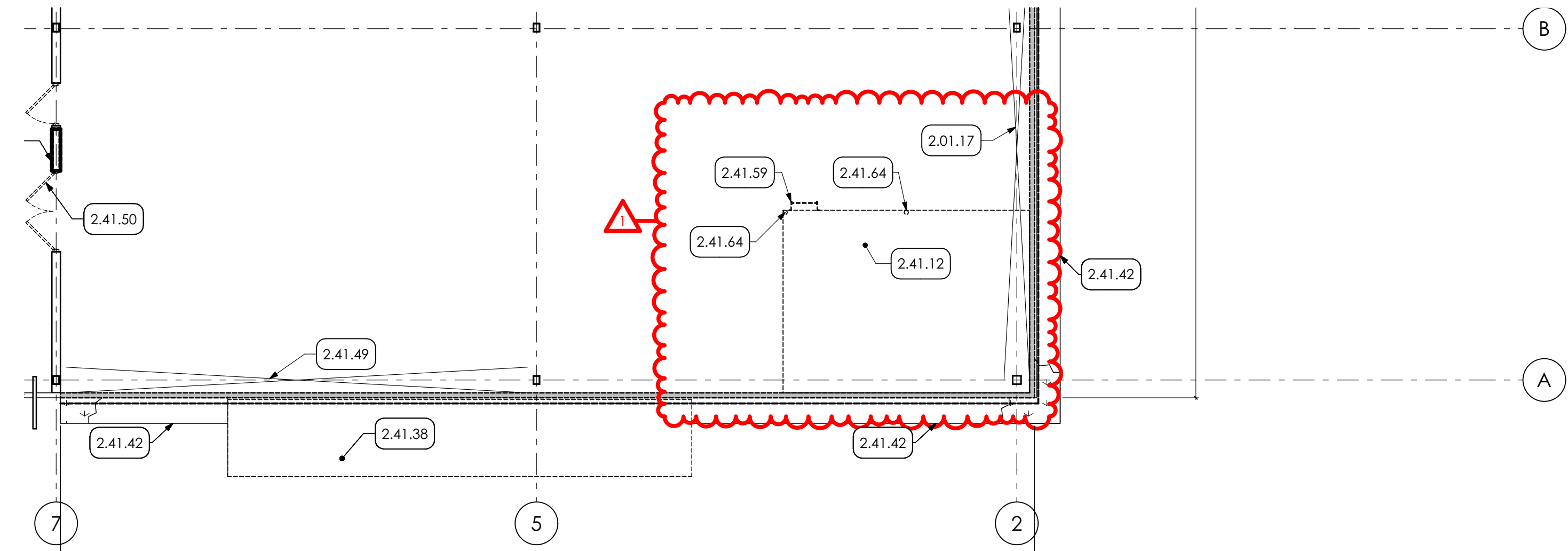
2.41.49 EXISTING X-BRACING TO BE REMOVED.

2.41.50 REMOVE COURSE OF

EXISTING CMU BELOW CONCRETE SLAB.


2.41.59 REMOVE EXISTING WALL HUNG LADDERS, INCLUDING LADDER ABOVE MEZZANINE.

2.41.64 REMOVE COLUMN AND ALL ATTACHMENTS IN THEIR ENTIRETY.



**1 PARTIAL DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"

COUNTY OF BERKS	
<b>FACILITY UPGRADES</b>	
1238 COUNTY WELFARE ROAD LEESPORT, PA19533	
PROJ. MGR.: JIM SARRO	P.M. e-MAIL: JIMS@MG-Architects.com
DRAWN BY: DK, SG, BB, JS	DATE: ISSUED 3/30/23
CLIENT PROJ #: -	CLIENT: REX LEVENGOOD, DIR. OF FAC. & OPS
<b>MEZZANINE DEMOLITION</b>	

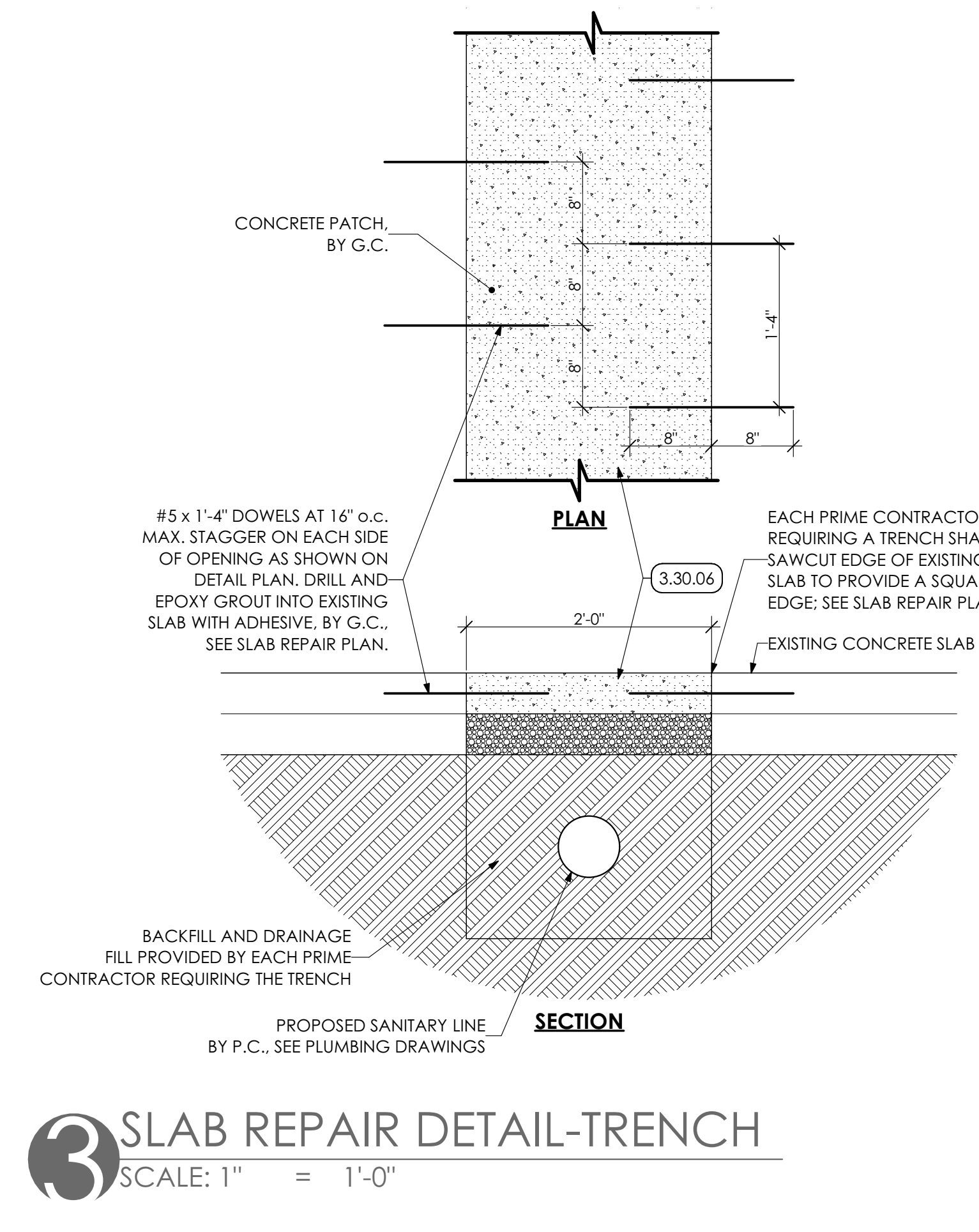
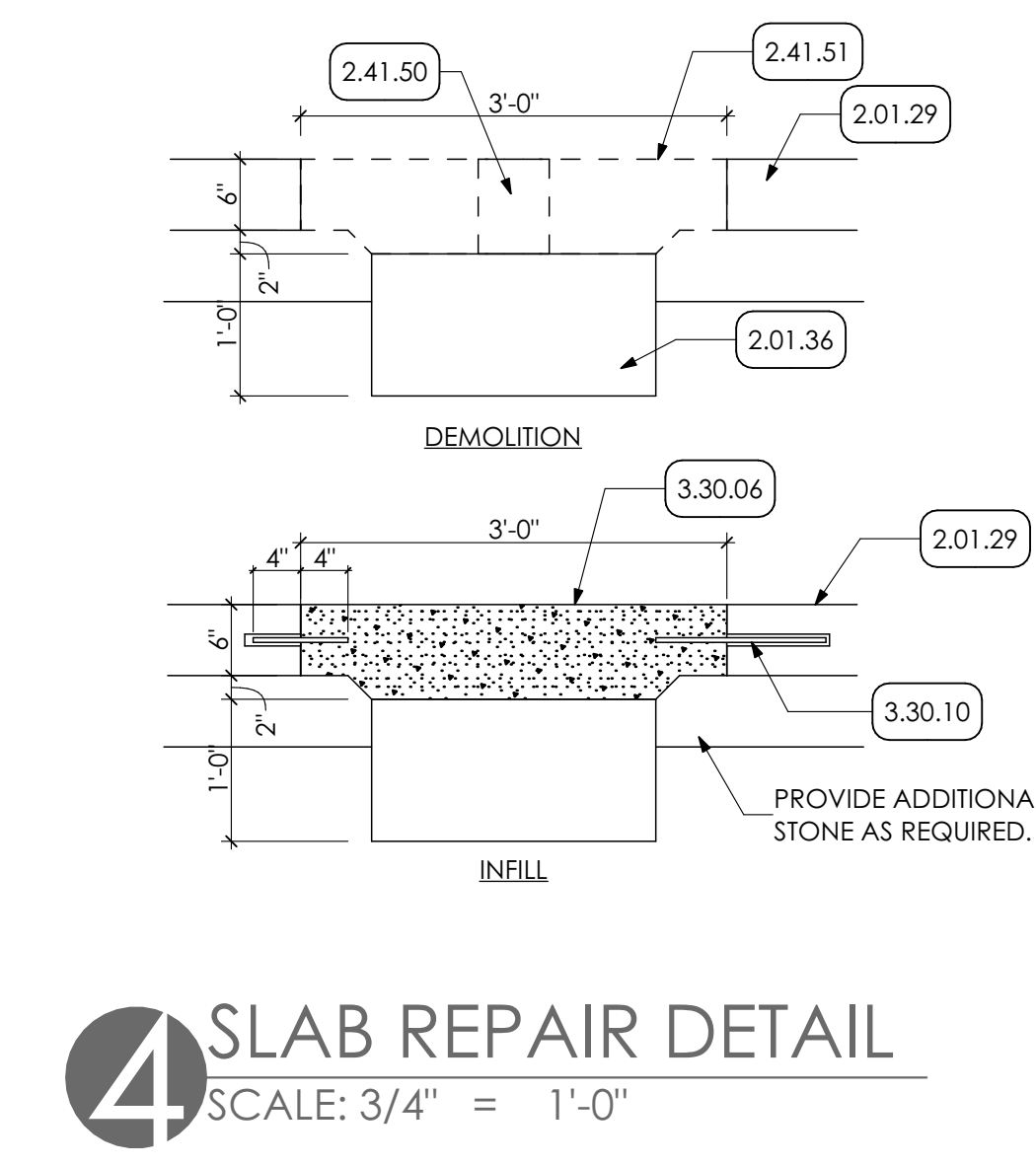
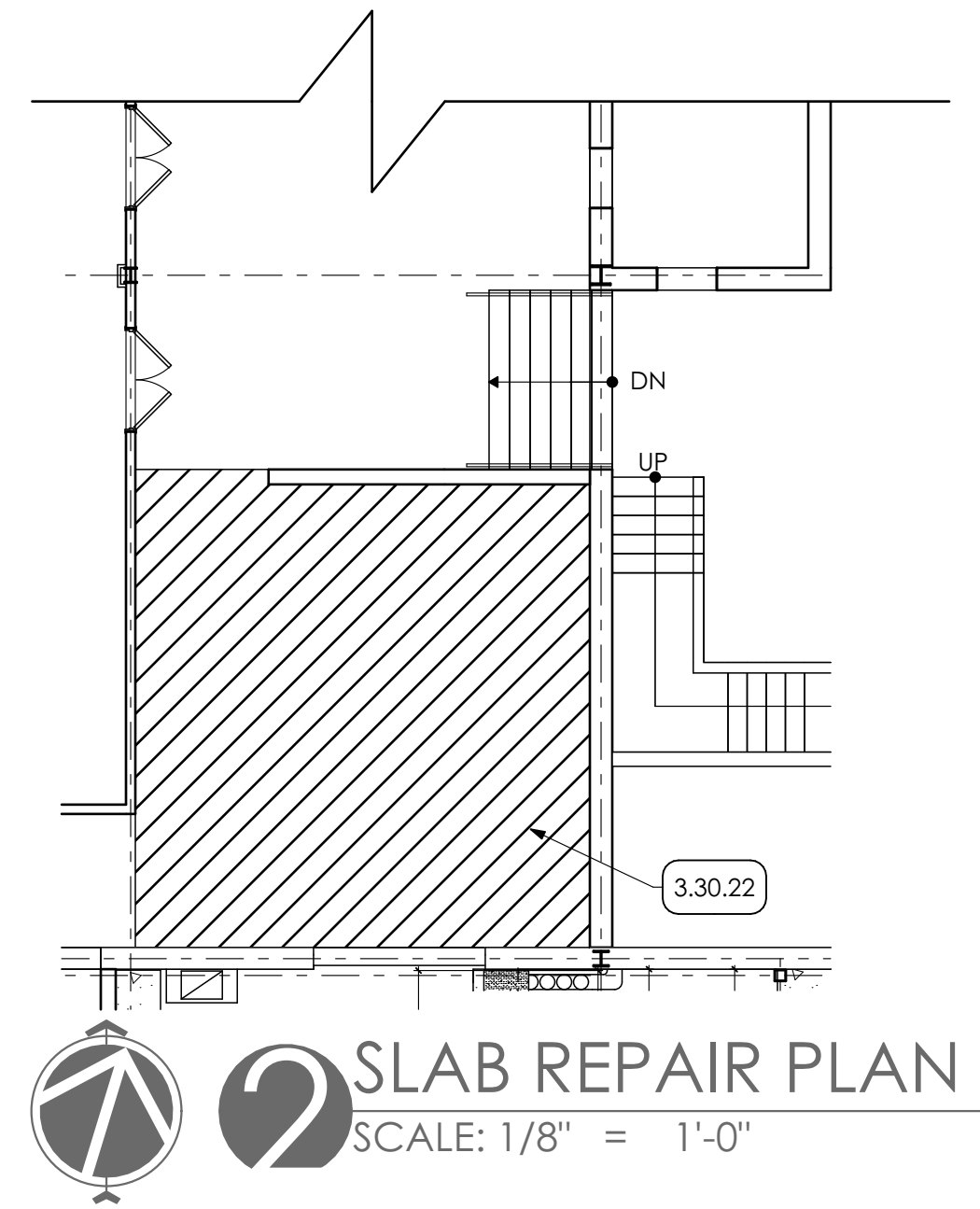
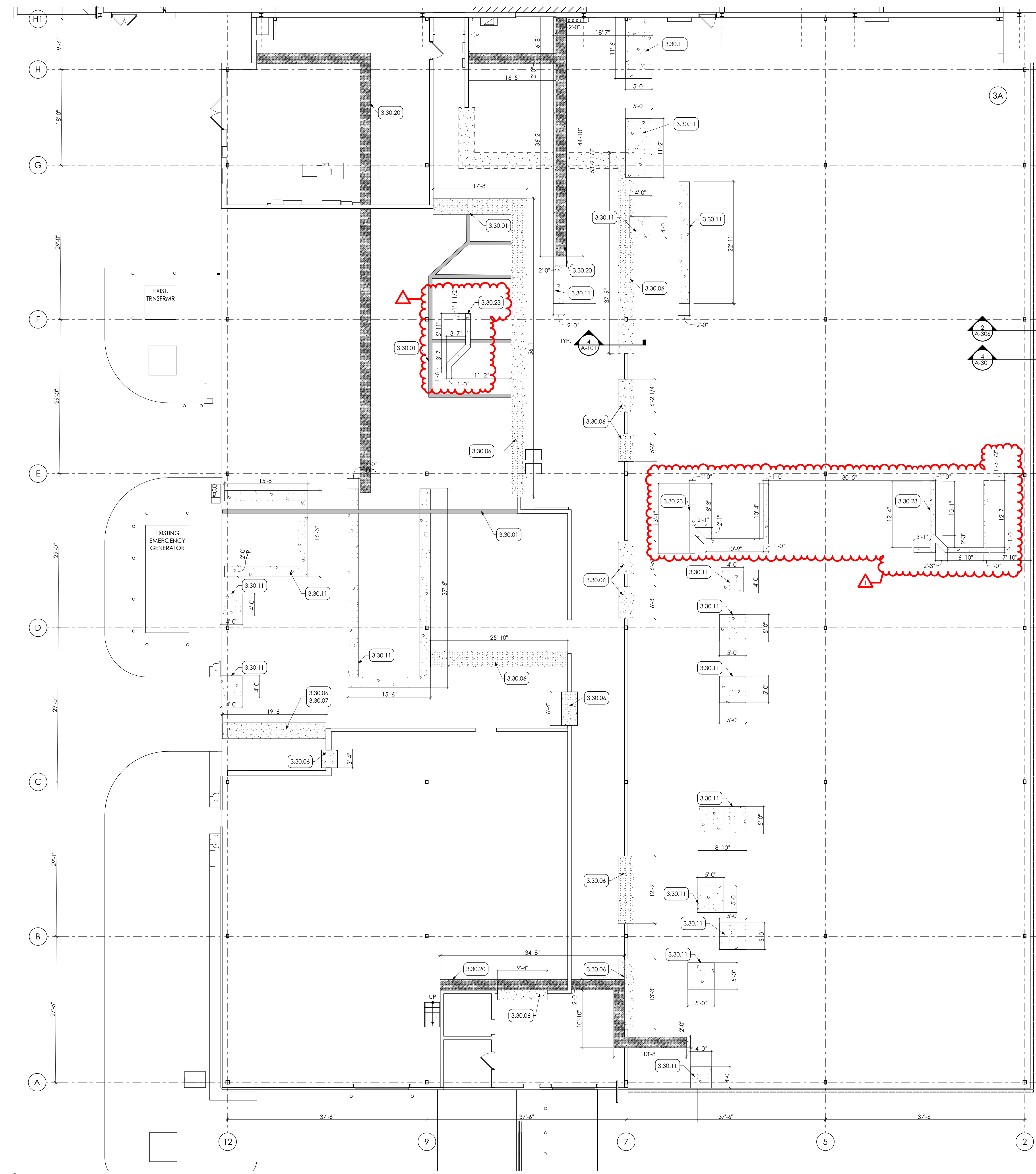


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**22-0012**

**SD-001**





- KEY NOTES**
- 02 DEMOLITION**
    - 2.01.29 EXISTING CONCRETE SLAB TO REMAIN.
    - 2.01.36 EXISTING CONCRETE FOOTING TO REMAIN.
    - 2.41 SELECTIVE DEMOLITION | SPEC 024119
    - 2.41.50 REMOVE COURSE OF EXISTING CMU BELOW CONCRETE SLAB.
    - 2.41.51 NEARLY CUT AND REMOVE EXISTING SLAB.
  - 03 CONCRETE**
    - 3.30 CAST-IN-PLACE CONCRETE | SPEC 033000 | 032000
    - 3.30.01 GRIND AND PATCH CONCRETE SLAB AT SECTION OF REMOVED CMU PARTITION.
    - 3.30.06 FILL OPENING WITH CONCRETE TO FINISH FLUSH WITH EXISTING CONCRETE SLAB.
    - 3.30.07 FOUNDATION STEPS IN THIS AREA. REMOVE ONE ROW OF CMU BELOW SLAB TO ALLOW FOR PATCHING.
    - 3.30.10 #5 REBAR SET INTO EXISTING SLAB W/ EPOXY.
    - 3.30.11 NEARLY CUT AND REMOVE CONCRETE SLAB, AND EXCAVATE FOR NEW FOOTING. BACKFILL AND PATCH CONCRETE. COORDINATE WITH STRUCTURAL DRAWINGS. LOCATION OF SLAB REMOVAL OF PROPOSED SANITARY LINE. P.C. TO PROVIDE EXACT LOCATION. G.C. TO CUT SLAB AND EXCAVATE TO DEPTH REQUIRED BY P.C. P.C. PROVIDE BACKFILL. G.C. TO PROVIDE STONE BASE AND CONCRETE PATCH. COORDINATE WITH PLUMBING DRAWINGS.
    - 3.30.22 PATCH GRIND CONCRETE AT AREAS OF REMOVED TERRAZZO.

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DATE	DESCRIPTION
3/30/23	ISSUED
5/3/2023	ADDENDUM #1

PROJ. MGR.: JIM SARRO  
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DRAWN BY: DK, SG, BB, JS  
CLIENT PROJ #:  
SHEET SCALE: 1  
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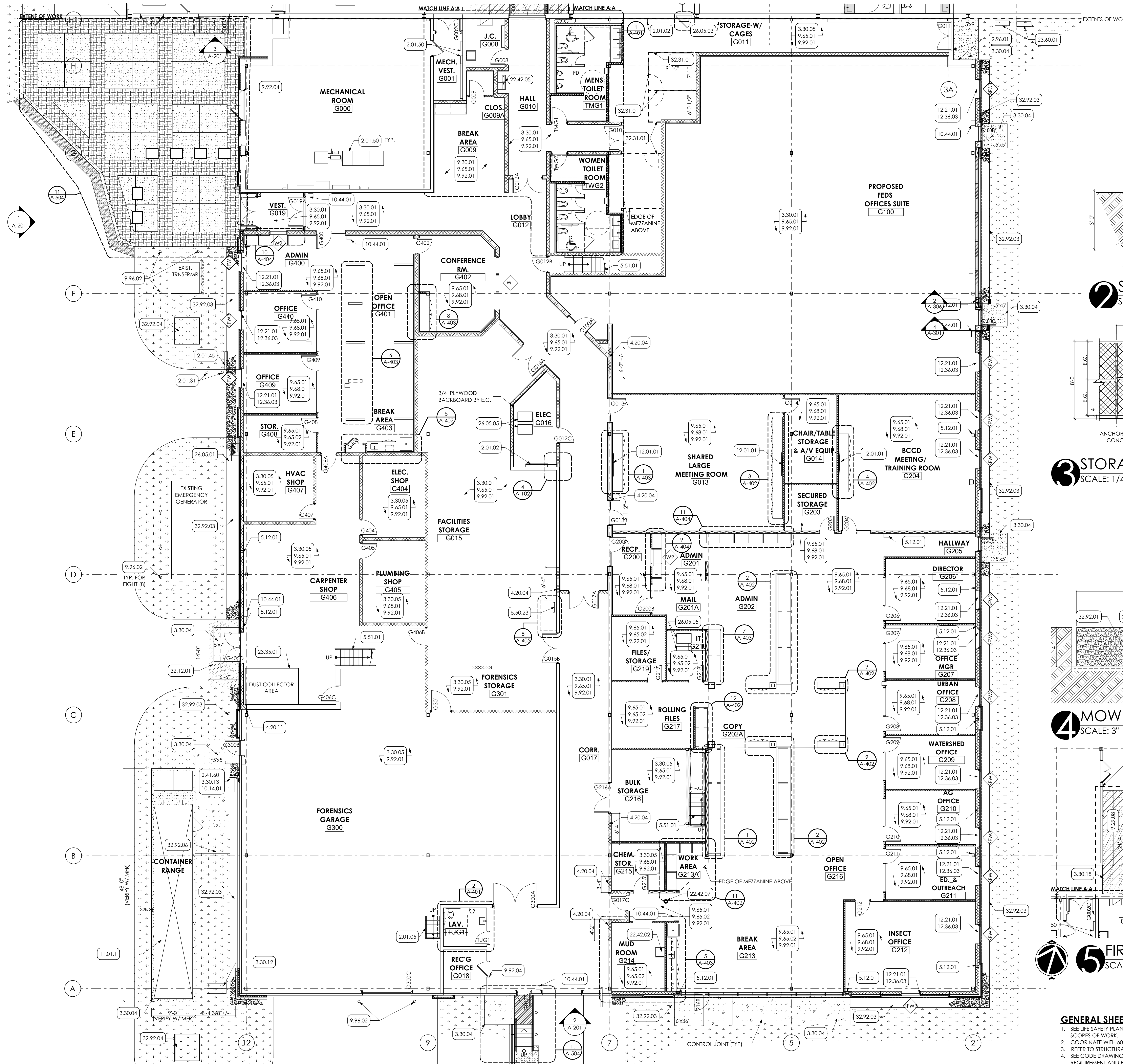
SHEET TITLE:  
**SLAB REPAIR PLAN**  
**A-101**

**GENERAL SHEET NOTES:**  
1. ALL LOCATIONS WHERE AN ADJACENT CMU PARTITION IS ADJACENT TO A DOOR BEING REMOVED. GRIND AND PATCH AROUND DOOR AND ALONG REMOVED CMU PARTITION.





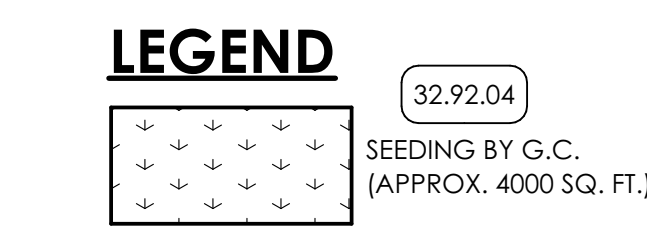




**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



- GENERAL SHEET NOTES**
- SEE LIFE SAFETY PLANS, SHEET A-002, A-003 FOR ADDITIONAL SCOPES OF WORK.
  - COORDINATE WITH 600-SERIES SHEETS FOR SCHEDULES.
  - REFER TO STRUCTURAL DRAWINGS FOR CONCRETE PAD DETAILS.
  - SEE CODE DRAWINGS A-003, A-004, A-005 FOR SIGNAGE REQUIREMENT AND FIRE EXTINGUISHER LOCATIONS.
  - COORDINATE WITH 700-SERIES SHEETS FOR FINISHES.



**KEY NOTES**

**02 DEMOLITION**  
2.01 EXISTING CONDITIONS  
2.01.02 EXISTING ELECTRICAL PANELS TO REMAIN.  
2.01.05 EXISTING STAIR TO REMAIN.  
2.01.31 EXISTING BOLLARDS TO REMAIN.  
2.01.45 EXISTING ELECTRICAL EQUIPMENT  
2.41 SELECTIVE DEMOLITION | SPEC 024119  
2.41.60 CAREFULLY REMOVE SIGN. STORE FOR REINSTALL.

**03 CONCRETE**  
3.30 CAST-IN-PLACE CONCRETE | SPEC 033000 | 032000  
3.30.01 GRIND AND PATCH CONCRETE SLAB AT SECTION OF REMOVED CMU PARTITION.  
3.30.04 CAST-IN-PLACE CONCRETE PAD WITH DRAINAGE FILL. COORDINATE WITH STRUCTURAL DRAWING.  
3.30.05 PREP AND SEAL ENTIRE SURFACE OF EXISTING CONCRETE SLAB.  
3.30.12 REINSTALL SIGN ON NEW CONCRETE FOUNDATION.  
3.30.13 EXCAVATE FOR NEW SIGN BASE. PROVIDE CONCRETE SIGN BASE PER DETAIL AND BACKFILL.  
3.30.18 TRANSITION STRIPE.

**04 MASONRY**  
4.22 CMU MASONRY | SPEC 042000  
4.20.04 INFILL EXISTING OPENING WITH CMU TO MATCH EXISTING WALL THICKNESS (ASSUMED TO BE 8") FINISH FLUSH WITH ADJACENT SURFACE. TOOTH NEW CMU INTO EXISTING. EXTEND EXISTING CMU WALL TO NEW. TOOTH NEW CMU INTO EXISTING CMU.

**05 METALS**  
5.12 STRUCTURAL STEEL FRAMING | SPEC 051200  
5.12.01 STEEL COLUMN. COORDINATE WITH STRUCTURAL DRAWINGS.  
5.50 METAL FABRICATIONS | SPEC 055000 | SPEC 055213  
5.50.23 WALL MOUNTED METAL LADDER WITH INTERMEDIATE LANDING PLATFORM.  
5.51 METAL STAIRS | SPEC 055100  
5.51.01 CONCRETE FILLED METAL PAN STAIRS.

**06 WOODS, PLASTICS AND COMPOSITES**  
6.10 ROUGH CARPENTRY | SPEC 061000  
6.10.03 WOOD SHELVING FOR WIDTH OF CLOSET. PROVIDE A 36" LENGTH OF SHELVING AT ADA HEIGHT.

**09 FINISHES**  
9.29 GYPSUM BOARD | SPEC 092900  
9.29.08 EXTEND EXISTING PLASTER WALL FLUSH TO UNDERSIDE OF NEW PLASTER CEILING. FINISH FLUSH WITH ADJACENT EXISTING SURFACES.  
9.30 CERAMIC TILING | SPEC 093013  
9.30.01 CERAMIC COVE BASE PROFILE FOR PERIMETER OF ROOM. COORDINATE WITH FINISH SCHEDULE.  
9.65 RESILIENT BASE | SPEC 096513  
9.65.01 4" HIGH RUBBER COVE BASE CONTINUOUS FOR PERIMETER OF ROOM OR CORRIDOR.  
9.65.02 PROVIDE LVT OVER HYDRAULIC CEMENT UNDERLAYMENT THROUGHOUT ENTIRE ROOM OR CORRIDOR. PREP SUBSTRATE AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS.  
9.66 TERRAZZO FLOORING | SPEC 096600  
9.66.01 PATCH TERRAZZO FLOORING TO FINISH FLUSH WITH ADJACENT SURFACE. COLOR TO MATCH EXISTING.  
9.68 CARPETING | SPEC 096800 | 035416  
9.68.01 PROVIDE CARPET TILE OVER HYDRAULIC CEMENT UNDERLAYMENT THROUGHOUT ROOM OR CORRIDOR. PREP SUBSTRATE AS REQUIRED PER MANUFACTURER RECOMMENDATIONS.  
9.92 INTERIOR PAINTING | SPEC 099213  
9.92.01 PREP. PRIME PAINT (TWO (2) COATS) ALL WALLS IN ROOM. UNLESS SPECIFIC WALLS NOTED OTHERWISE. PAINT ENTIRE WALL INCLUDING EXPOSED CONDUIT. FROM FLOOR TO 4" ABOVE NEW CEILING GRID OR TO ROOF DECK IN AREAS OF OPEN CEILINGS.  
9.92.04 PREP. PRIME PAINT (TWO (2) COATS) ENTIRE EXISTING DOOR FRAME  
9.92.05 DO NOT PAINT MURALS.  
9.96 HIGH-PERFORMANCE COATING | SPEC 099600  
9.96.01 PREP. PRIME PAINT (2 COATS) ENTIRE SURFACE WITH HIGH PERFORMANCE COATING.  
9.96.02 PREP AND PAINT (TWO (2) COATS) EXISTING PIPE BOLLARDS.

**10 SPECIALTIES**  
10.14 SIGNAGE  
10.14.01 REINSTALL EXISTING SIGN ON NEW CONCRETE FOUNDATION. UTILIZING EXISTING MOUNTING HOLES.  
10.44 FIRE PROTECTION SPECIALTIES | SPEC 104400  
10.44.01 FIRE EXTINGUISHER WITH FIRE PROTECTION CABINET

**11 EQUIPMENT**  
11.01 EQUIPMENT | BY OWNER  
11.01.1 CONTAINER RANGE PROVIDED AND INSTALLED BY OWNER.

**12 FURNISHINGS**  
12.01 AV EQUIPMENT  
12.01.01 WALL MOUNTED TELEVISION AND BRACKET PROVIDED BY AND INSTALLED BY OWNER.  
12.21 HORIZONTAL LOUVER BLINDS | SPEC 122413  
12.21.01 MANUALLY OPERATED HORIZONTAL BLINDS FOR FULL LENGTH OF WINDOW OPENING.  
12.36.1 SOLID SURFACE COUNTERTOP | SPEC 12361.1  
12.36.03 SOLID SURFACE WINDOW SILL FOR WIDTH OF OPENING.

**22 PLUMBING | BY P.C.**  
22 WORK DESCRIBED IN THESE KEYNOTES IS THE RESPONSIBILITY OF THE P.C. UNLESS NOTED OTHERWISE. COORDINATE WITH PLUMBING DRAWING.  
22.42 COMMERCIAL PLUMBING FIXTURES  
22.42.02 NEW UTILITY SINK.  
22.42.05 ADA COMPLIANT HI-LOW DRINKING FOUNTAINS.  
22.42.07 FLOOR DRAIN: COORDINATE W/ PLUMBING DRAWINGS.

**23 HVAC | BY H.C.**  
23 WORK DESCRIBED IN THESE KEYNOTES IS THE RESPONSIBILITY OF THE H.C. UNLESS NOTED OTHERWISE. COORDINATE WITH MECHANICAL DRAWING.  
23.35 SPECIAL EXHAUST SYSTEMS  
23.35.01 REINSTALL STORED DUST COLLECTOR.  
23.60 CENTRAL COOLING EQUIPMENT  
23.60.01 REINSTALL EXISTING CONDENSOR UNITS AND PADS.

**26 ELECTRICAL | BY E.C.**  
26 WORK DESCRIBED IN THESE KEYNOTES IS THE RESPONSIBILITY OF THE E.C. UNLESS NOTED OTHERWISE. COORDINATE WITH ELECTRICAL DRAWING.  
26.05 COMMON WORK RESULTS FOR ELECTRICAL  
26.05.01 EXISTING ELECTRICAL CONDUIT.  
26.05.03 REINSTALL STORED ELECTRICAL PANELS.  
26.05.05 RACKS BY E.C.

**32 EXTERIOR IMPROVEMENTS**  
32.12 ASPHALT PAVING | SPEC 321216  
32.12.01 NEATLY CUT EXISTING ASPHALT AND EXCAVATE FOR NEW CONCRETE SLAB. BACKFILL AND PATCH EXISTING ASPHALT AS REQUIRED TO FINISH FLUSH WITH ADJACENT SURFACE.  
32.31 CHAIN LINK FENCES AND GATES | SPEC 323113  
32.31.01 NEW METAL MESH STORAGE FENCING WITH SWING DOOR.  
32.32 TURF AND GRASSES | SPEC 323200  
32.32.01 WEED BARRIER  
32.32.02 #4 WASHED RIVER STONE  
32.32.03 24" WIDE GRAVEL MOW STRIPE. SEE DETAIL.  
32.32.04 BACKFILL TO FINISH FLUSH WITH ADJACENT GRADE AND PROVIDE SEED. BY G.C. BACKFILL FOR ELECTRIC CONDUIT AND PLUMBING LINES BY G.C. E.C. AND P.C. TO RUN THEIR OWN LINES. COORDINATE WITH ELECTRICAL AND PLUMBING DRAWINGS.  
32.92.06 EXCAVATION AND BACKFILL FOR CONCRETE PAD DETAILS.

**KEYNOTE PLAN**

**A-103**

**BERKS COUNTY AGRICULTURAL CENTER FACILITY UPGRADES**  
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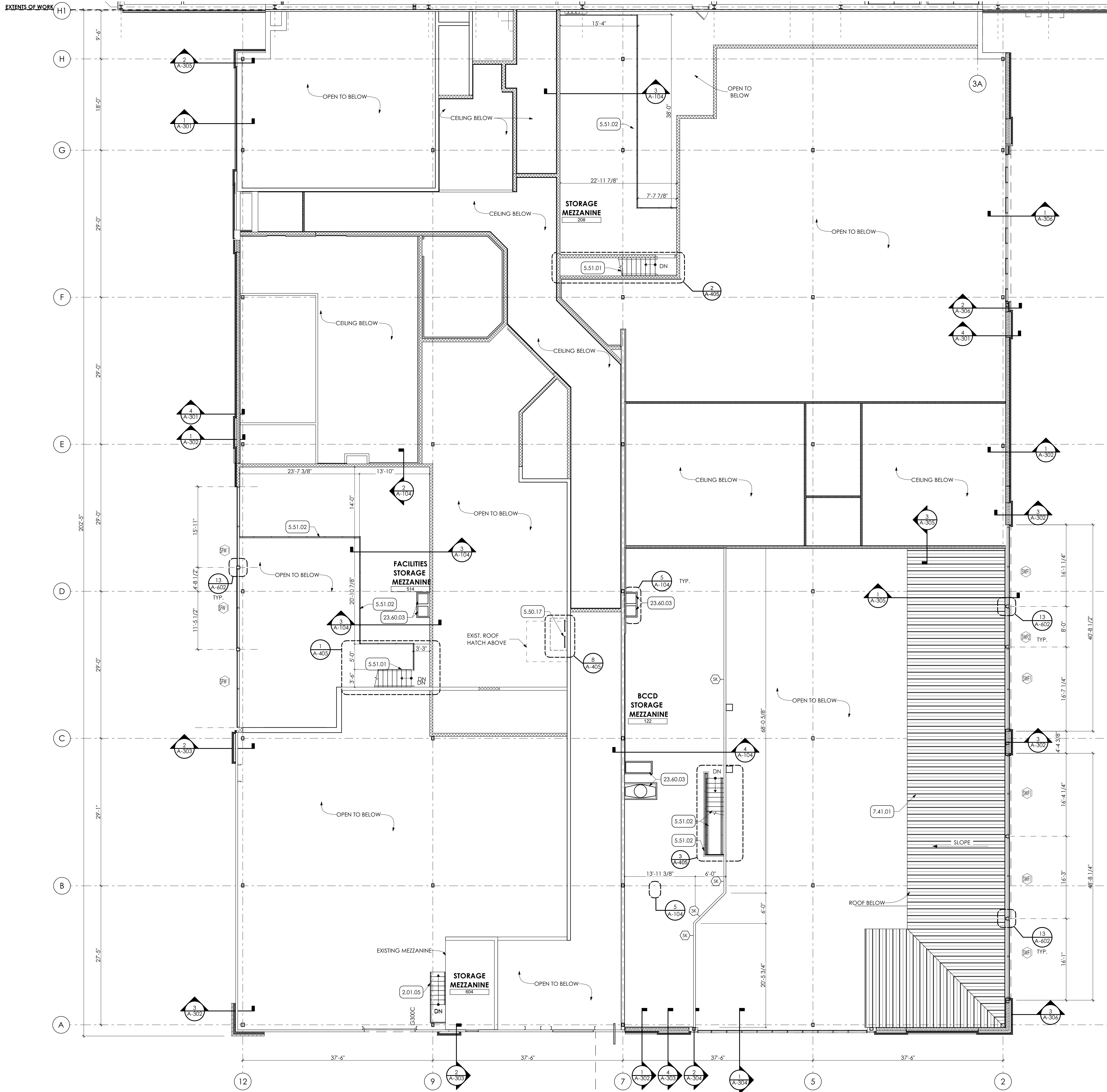
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KEYNOTE PLAN

**A-103**





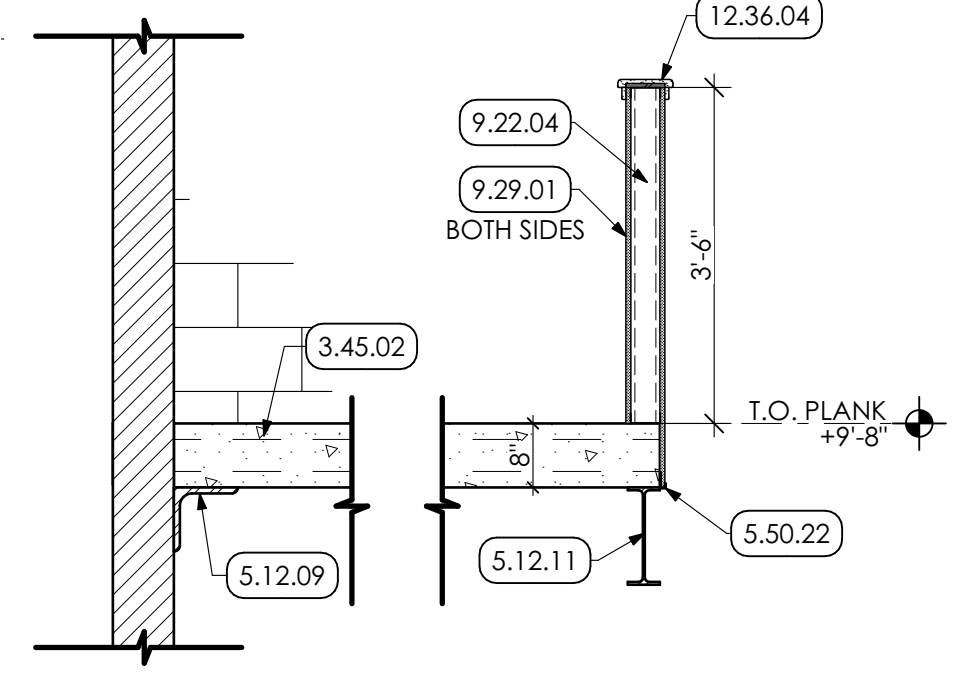
**1 MEZZANINE / HIGH WINDOW PLAN**  
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**GENERAL SHEET NOTES**  
1. REFER TO 600 SERIES SHEETS FOR SCHEDULES.

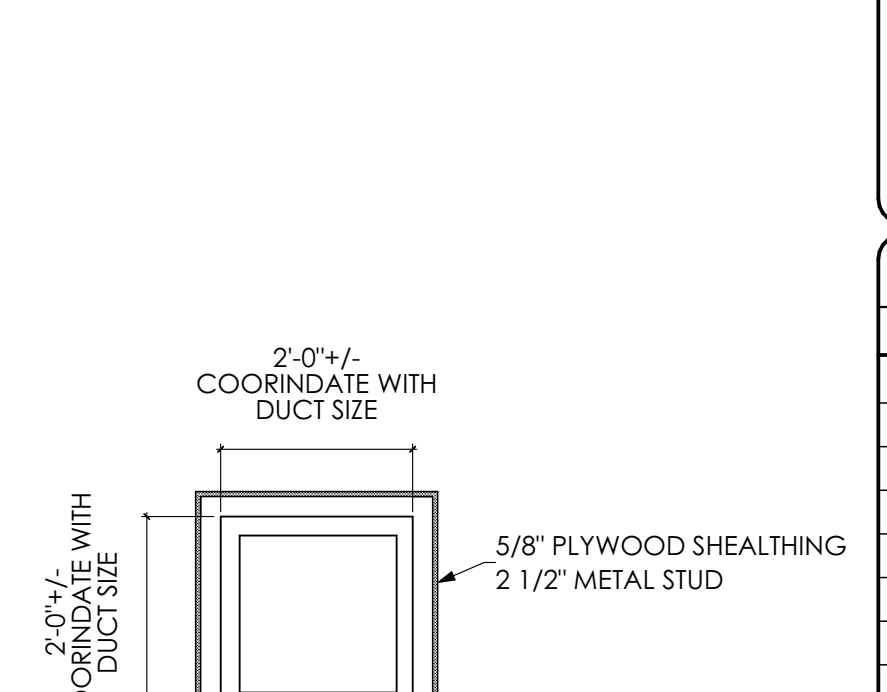
**6 TYPICAL RAILING DETAIL**  
SCALE: 1/2" = 1'-0"

- KEY NOTES**
- 01 GENERAL CONSTRUCTION**
    - 1.50.02 G.C. TO PROVIDE TWO (2) 8'-0" WIDE CHAIN LINK FENCE GATES WITH PADLOCK.
  - 02 DEMOLITION**
    - 2.01 EXISTING CONDITIONS
    - 2.01.05 EXISTING STAIR TO REMAIN.
  - 03 CONCRETE**
    - 3.45 PRECAST ARCHITECTURAL CONCRETE COORDINATE WITH STRUCTURAL DRAWINGS
    - 3.45.02 8" PRECAST CONCRETE PLANK
  - 04 MASONRY**
    - 4.22 CMU MASONRY | SPEC 042000
    - 4.20.05 8" CMU GROUTED SOLID, COORDINATE WITH STRUCTURAL DRAWINGS.
  - 05 METALS**
    - 5.12 STRUCTURAL STEEL FRAMING | SPEC 051200
    - 5.12.09 STEEL ANGLE, COORDINATE W/ STRUCTURAL DRAWINGS.
    - 5.12.11 SCHEDULED BEAM, COORDINATE W/ STRUCTURAL DRAWINGS.
    - 5.50 METAL FABRICATIONS | SPEC 055000 | SPEC 055213
    - 5.50.14 1 1/2" DIA. STEEL PIPE GUARDRAIL, 42" HIGH, PREP AND PAINTED.
    - 5.50.15 1/4" x 4" H. STEEL KICK PLATE, PREP AND PAINTED.
    - 5.50.16 1/4"x4"x6" STEEL ANGLE WELDED TO STEEL POST WITH TWO (2) 3/4" MOUNTING HOLES, PREP AND PAINTED.
    - 5.50.17 WALL MOUNTED METAL LADDER WITH CAGE TO ROOF HATCH ABOVE
    - 5.50.22 12ga. CONTINUOUS ALUMINUM J-CANNEL.
    - 5.51 METAL STAIRS | SPEC 055100
    - 5.51.01 CONCRETE FILLED METAL PAN STAIRS.
    - 5.51.02 1 1/2" DIA. METAL PIPE GUARDRAIL AT 42" HT. AND HANDRAIL AT 36" HT., PREP AND PAINT.
  - 07 THERMAL AND MOISTURE PROTECTION**
    - 7.41 METAL ROOF PANELS | SPEC 074113
    - 7.41.01 STANDING SEAM METAL ROOF PANEL.
  - 09 FINISHES**
    - 9.22 NON-STRUCTURAL METAL FRAMING | SPEC 092216
    - 9.22.04 3 5/8" METAL STUD FRAMING AT 16" O.C.
    - 9.29 GYPSUM BOARD | SPEC 092900
    - 9.29.01 5/8" GYPSUM BOARD
  - 12 FURNISHINGS**
    - 12.36 QUARTZ AGGLOMERATE COUNTERTOPS | SPEC 123661.19
    - 12.36.04 QUARTZ WALL CAP FOR LENGTH OF WALL.
  - 23 HVAC | BY H.C.**
    - 23 WORK DESCRIBED IN THESE KEYNOTES IS THE RESPONSIBILITY OF THE H.C. UNLESS NOTED OTHERWISE. COORDINATE WITH MECHANICAL DRAWING.
  - 23.60 CENTRAL COOLING EQUIPMENT**
    - 23.60.03 HOT WATER COIL BY H.C.
  - 32 EXTERIOR IMPROVEMENTS**
    - 32.20 SITEMARK
    - 32.20.01 EXCAVATE FOR CONSTRUCTION STAGING AREA. PROVIDE MINIMUM 8" OF AASHTO #2A STONE.
    - 32.92 TURF AND GRASSES | SPEC 329200
    - 32.92.05 AT THE COMPLETION OF THE WORK, REMOVE STONE AND BACKFILL WITH CLEAN FILL AND SEED ENTIRE AREA, BY G.C.

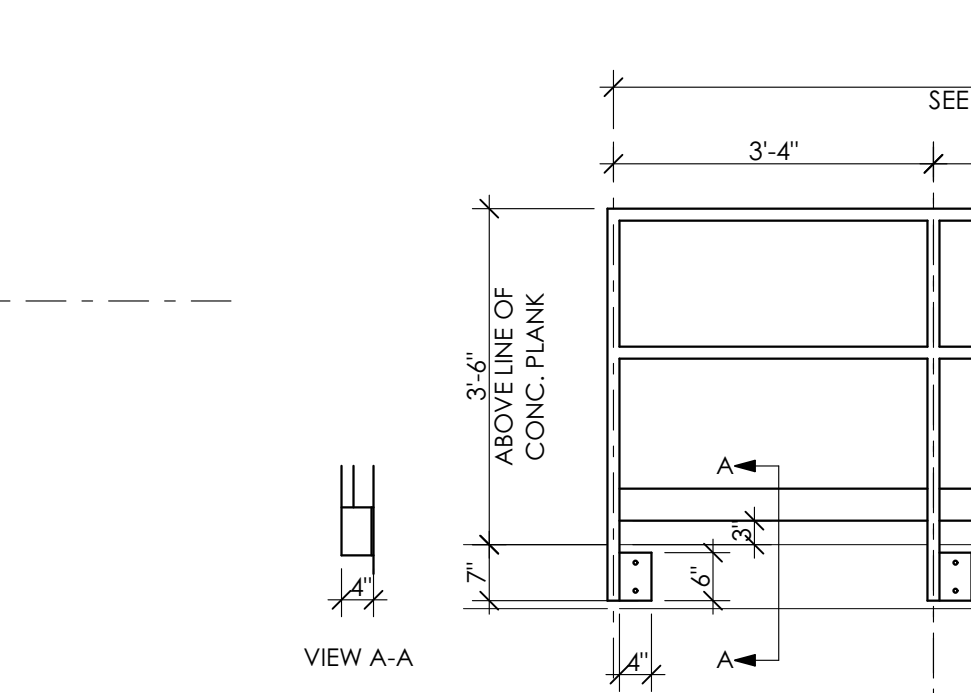
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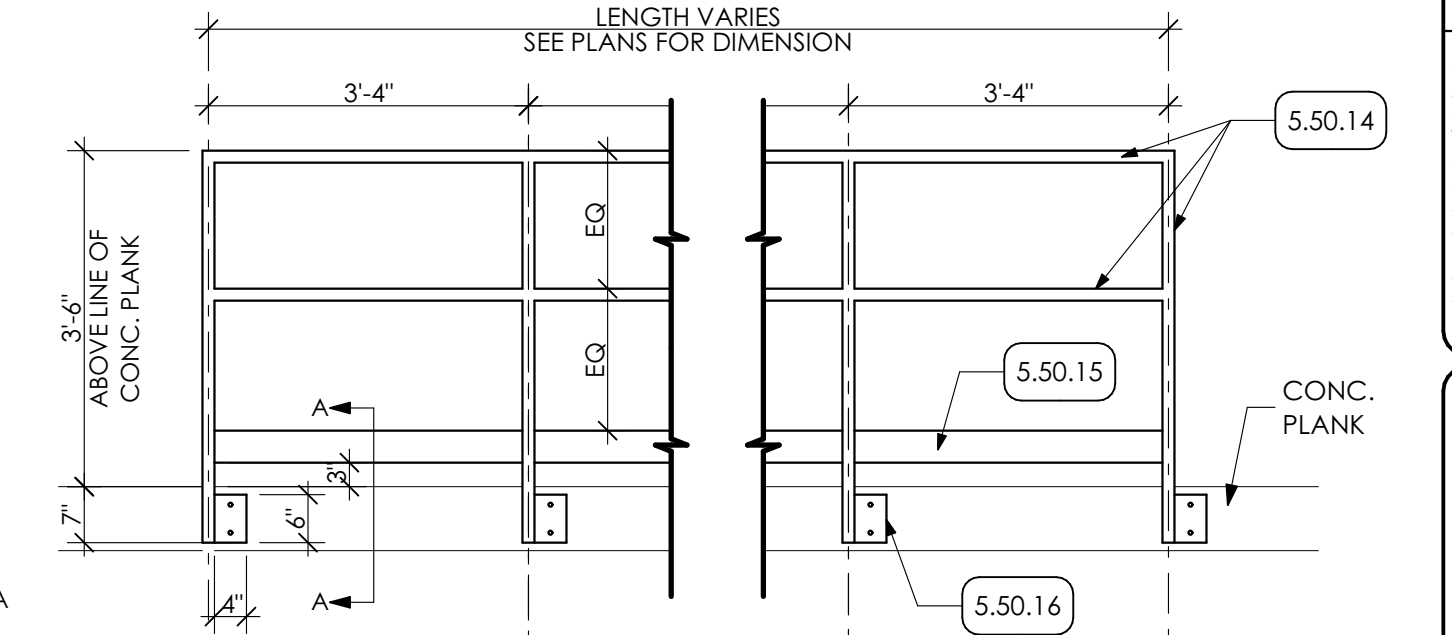
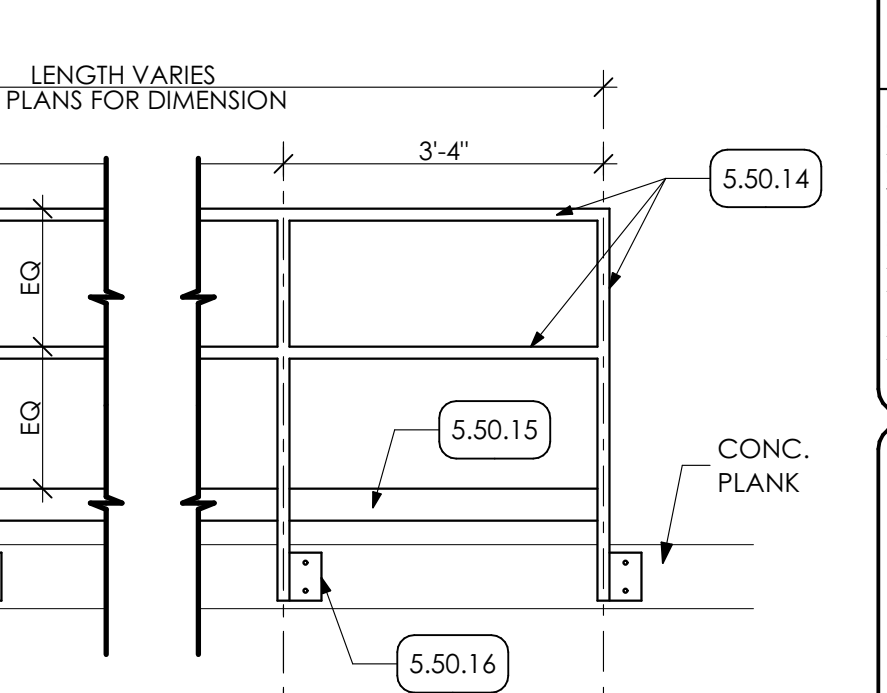
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SCALE: 1/2" = 1'-0"



**4 SECTION DETAIL**  
SCALE: 1/2" = 1'-0"



**5 DUCT PROTECTION**  
SCALE: 1/2" = 1'-0"



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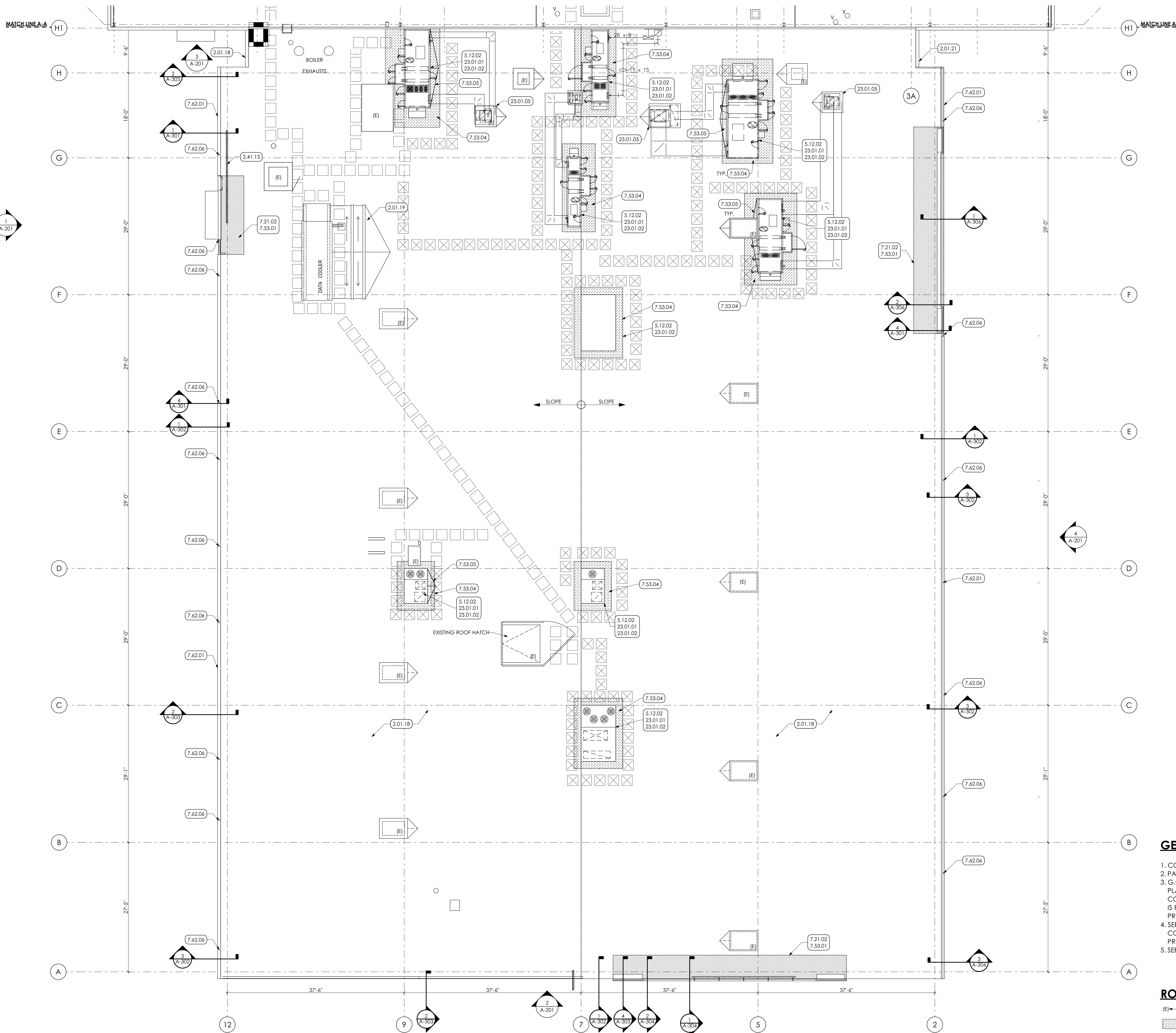
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SHEET TITLE:  
**MEZZANINE PLAN AND DETAILS**

**A-104**





- KEY NOTES**
- 01 GENERAL CONSTRUCTION**  
**1.50 GENERAL CONSTRUCTION NOTE**  
 1.50.02 G.C. TO PROVIDE TWO (2) 8'-0" WIDE CHAIN LINK FENCE GATES WITH PADLOCK.
- 02 DEMOLITION**  
**2.01 EXISTING CONDITIONS**  
 2.01.18 EXISTING EPDM MEMBRANE ROOF MEMBRANE, G.C. TO PROTECT AS REQUIRED IN AREAS OF WORK.  
 2.01.19 EXISTING DATA COOLER TO REMAIN.  
 2.01.21 EXISTING GUTTER TO REMAIN.  
 2.01.49 EXISTING WALKPADS TO REMAIN.  
**2.41 SELECTIVE DEMOLITION | SPEC 024119**  
 2.41.13 REMOVE EXISTING RAILING.
- 05 METALS**  
**5.12 STRUCTURAL STEEL FRAMING | SPEC 051200**  
 5.12.02 ROOF TOP SUPPORT FRAMING BY G.C. COORDINATE LOCATION OF UNIT WITH H.C. AND COORDINATE WITH STRUCTURAL DRAWINGS.
- 07 THERMAL AND MOISTURE PROTECTION**  
**7.21 THERMAL INSULATION | SPEC 072100**  
 7.21.02 PATCH AREA SHOWN WITH NEW POLY-ISO INSULATION, TO MATCH EXISTING INSULATION THICKNESS, BY G.C.  
**7.53 ELASTOMERIC ROOFING | SPEC 075323**  
 7.53.01 PATCH AREA SHOWN WITH NEW EPDM MEMBRANE TO MATCH EXISTING MEMBRANE THICKNESS.  
 7.53.04 PATCH AREA SHOWN AROUND NEW ROOF TOP UNITS WITH EPDM MEMBRANE TO MATCH EXISTING MEMBRANE THICKNESS AND TO MAINTAIN EXISTING WARRANTY. EPDM TO EXTEND UP FACE OF ROOF TOP CURB.  
 7.53.05 TAPERED INSULATION SLOPED AT 1/4 INCH PER FOOT.  
 7.53.10 NEW EPDM WALKWAY PADS, MATCH EXISTING ROOF PADS.  
**7.62 SHEET METAL FLASHING/TRIM | SPEC 076200**  
 7.62.01 PREFINISHED 8"x8" METAL BOX GUTTER COMPLETE WITH END PIECES, OUTLET TUBES AND OTHER ACCESSORIES AS REQUIRED. FURNISH FLAT STOCK GUTTER BRACKETS AND FLAT STOCK GUTTER BRACKETS AND SPACERS FABRICATED FROM SAME METAL AS GUTTER WITH THICKNESS NOT LESS THAN TWICE THE GUTTER THICKNESS.  
 7.62.06 PREFINISHED 3" DOWNSPOUT WITH MITERED ELBOWS FURNISH WITH METAL HANGERS FROM SAME MATERIAL AS DOWNSPOUT AND ANCHORS. CONNECT TO UNDERGROUND STORM WATER SYSTEM.
- 23 HVAC | BY H.C.**  
 23 WORK DESCRIBED IN THESE KEYNOTES IS THE RESPONSIBILITY OF THE H.C. UNLESS NOTED OTHERWISE. COORDINATE WITH MECHANICAL DRAWING.
- 23.01 ROOF TOP UNITS**  
 23.01.01 ROOF TOP UNITS.  
 23.01.02 NEW ROOF TOP CURBS PROVIDED BY H.C. AND INSTALLED BY G.C. H.C. TO LOCATE CURBS ON ROOF PRIOR TO INSTALLATION OF STEEL JOIST REINFORCING.  
 23.01.05 METAL CAP OVER OPENING BY H.C.
- 32 EXTERIOR IMPROVEMENTS**  
**32.20 SITEWORK**  
 32.20.01 EXCAVATE FOR CONSTRUCTION STAGING AREA. PROVIDE MINIMUM 8" OF AASHTO #2A STONE.  
**32.92 TURF AND GRASSES | SPEC 329200**  
 32.92.05 AT THE COMPLETION OF THE WORK, REMOVE STONE AND BACKFILL WITH CLEAN FILL AND SEED ENTIRE AREA, BY G.C.

**GENERAL SHEET NOTE**

- COORDINATE RTU LOCATIONS WITH MECHANICAL PLANS
- PATCHING AREAS NOTED ARE APPROXIMATE. G.C. TO V.I.F.
- G.C. TO REVIEW ELECTRICAL, PLUMBING, AND MECHANICAL PLANS FOR ROOF PENETRATIONS. ALL PRIMES TO COORDINATE WITH G.C. FOR ANY ROOF PENETRATIONS. G.C. IS RESPONSIBLE TO PREPARE ROOF PENETRATIONS AND PROVIDE PATCHING OF EPDM.
- SEE STRUCTURAL DRAWINGS FOR NEW RTU SUPPORT. G.C. TO COORDINATE LOCATIONS OF SUPPORTS WITH H.C. H.C. TO PROVIDE G.C. WITH CUT SHEETS OF UNITS.
- SEE SHEET A-502 FOR TYPICAL ROOF DETAILS

**ROOF PLAN LEGEND**

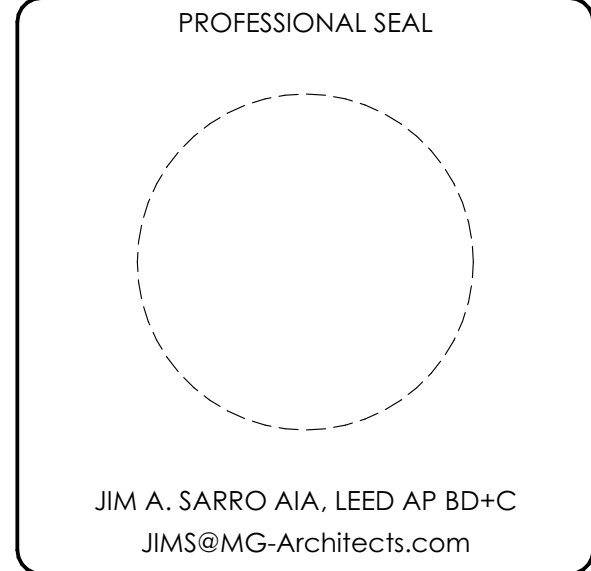
- (E) — EXISTING TO REMAIN
- 7.53.04
- 2.01.49
- 7.53.10



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PROJ. MGR.: JIM SARRO  
 P.M. e-MAIL: JIMS@MG-Architects.com  
 DRAWN BY: DK, SG, BB, JS  
 CLIENT PROJ #:

SCALE: 1" = 1'-0"  
 BAR IS ONE (1) INCH LONG ON ORIGINAL DRAWING

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SHEET TITLE:  
**ROOF PLAN**

**A-105**







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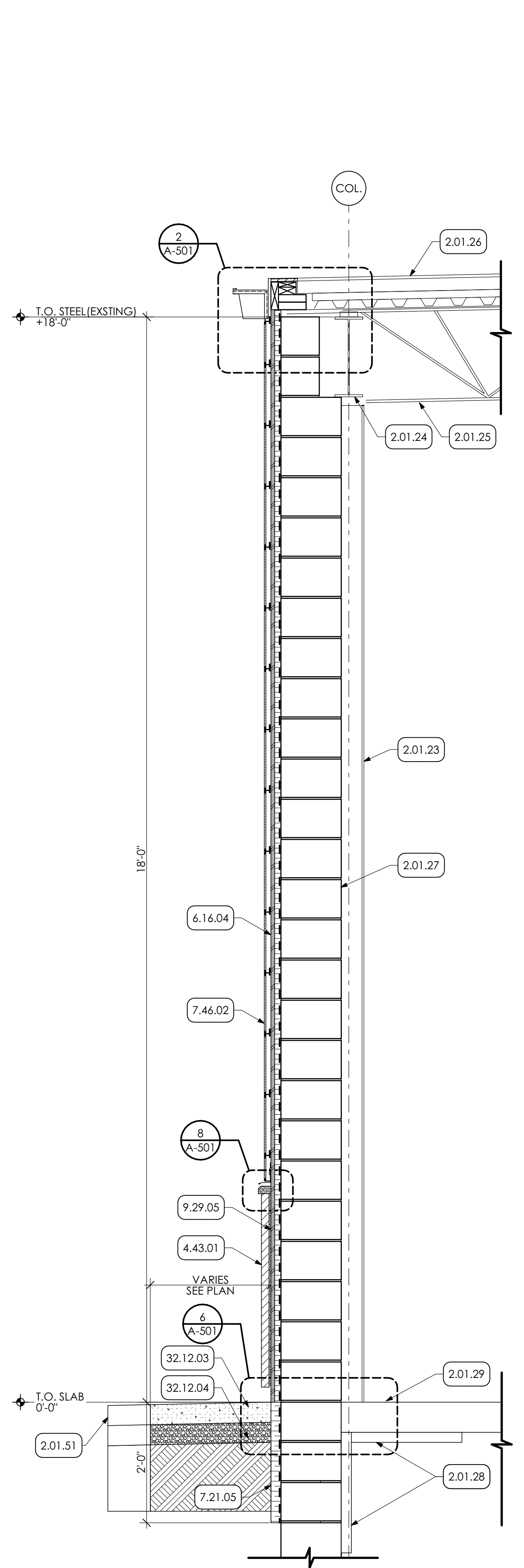
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SHEET TITLE:  
**WALL SECTIONS**

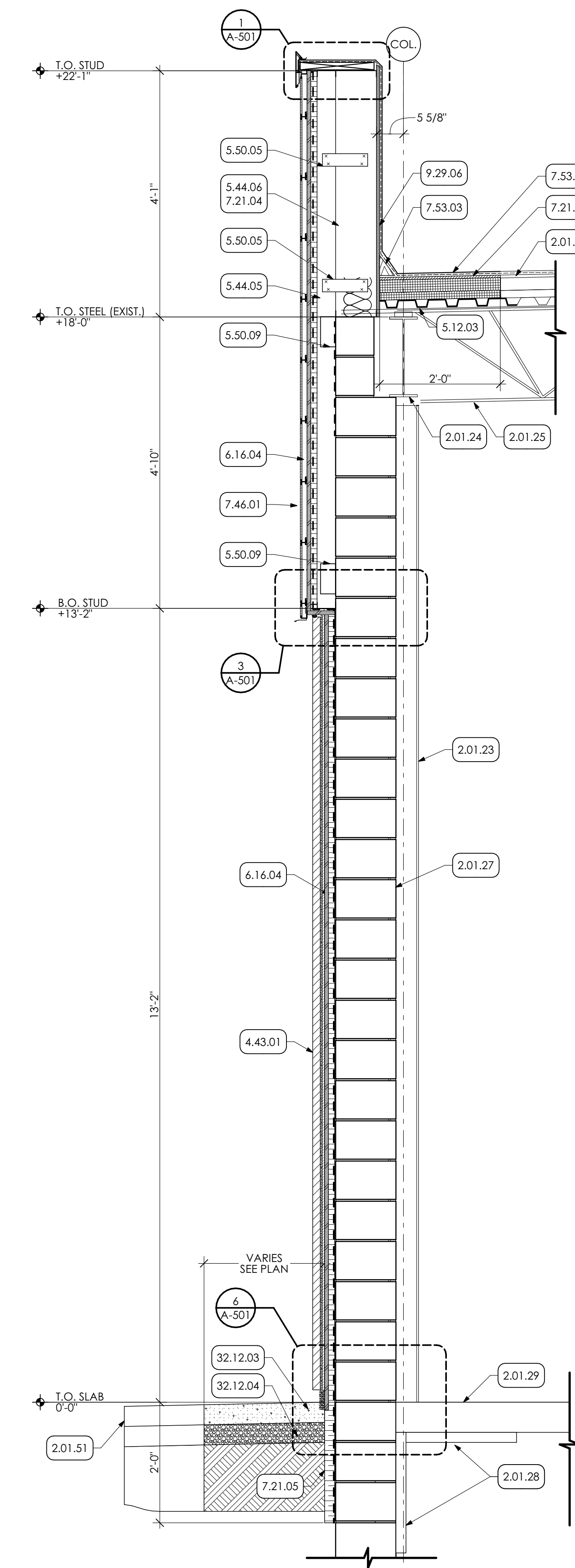
**A-301**

**KEY NOTES**

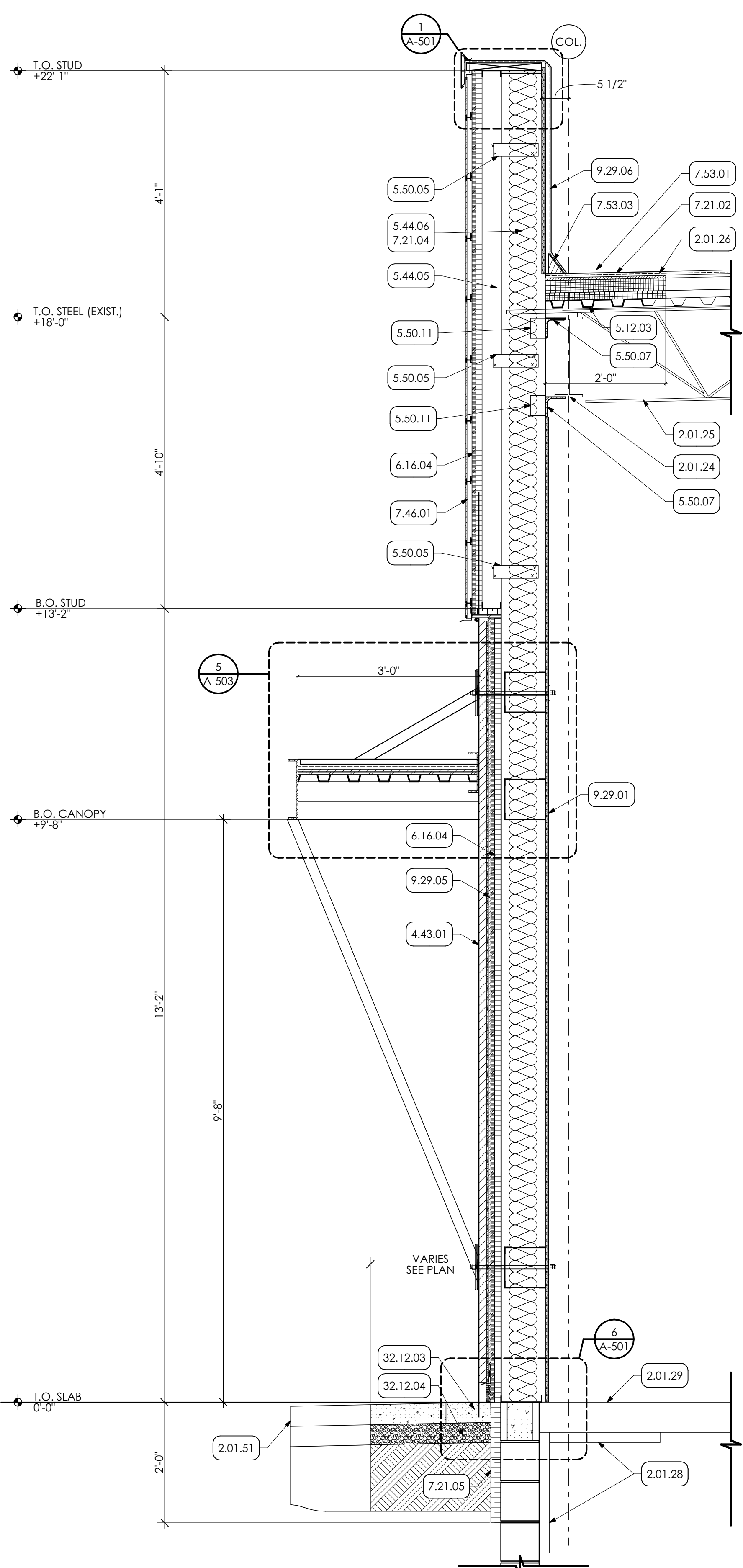
- 02 DEMOLITION**
- 02.01 EXISTING CONDITIONS**
- 2.01.23 EXISTING COLUMN TO REMAIN.
- 2.01.24 EXISTING BEAM TO REMAIN.
- 2.01.25 EXISTING JOIST TO REMAIN.
- 2.01.26 EXISTING ROOF ASSEMBLY TO REMAIN.
- 2.01.27 EXISTING CHAU WALL TO REMAIN.
- 2.01.28 EXISTING RIGID INSULATION TO REMAIN.
- 2.01.29 EXISTING CONCRETE SLAB TO REMAIN.
- 2.01.51 EXISTING ASPHALT TO REMAIN.
- 04 MASONRY**
- 4.43 MANUFACTURED MASONRY VENEER | SPEC 047300**
- 4.43.01 MANUFACTURED MASONRY VENEER
- 05 METALS**
- 5.12 STRUCTURAL STEEL FRAMING | SPEC 051200**
- 5.12.03 INFILL AREA SHOWN WITH NEW METAL DECKING. TO MATCH EXISTING METAL DECKINGS. BY G.C.
- 5.44 COLD FRAMED METAL FRAMING | SPEC 054000**
- 5.44.05 3/8" STRUCTURAL METAL STUDS @ 16 O.C. COORDINATE WITH STRUCTURAL DRAWINGS.
- 5.44.06 8" STRUCTURAL METAL STUDS @ 16 O.C. COORDINATE WITH STRUCTURAL DRAWINGS.
- 5.50 METAL FABRICATIONS | SPEC 055000 | SPEC 055213**
- 5.50.05 METAL UTILITY ANGLE. COORDINATE WITH STRUCTURAL DRAWINGS.
- 5.50.07 METAL ANGLE COORDINATE WITH STRUCTURAL DRAWINGS.
- 5.50.09 14 GAUGE METAL CLIP COORDINATE WITH STRUCTURAL DRAWINGS.
- 5.50.11 12 GAUGE METAL CLIP COORDINATE WITH STRUCTURAL DRAWINGS.
- 06 WOODS, PLASTICS AND COMPOSITES**
- 6.16 SHEATHING | SPEC 061600**
- 6.16.04 2" STRUCTURAL INSULATED WALL SHEATHING
- 07 THERMAL AND MOISTURE PROTECTION**
- 7.21 THERMAL INSULATION | SPEC 072100**
- 7.21.02 PATCH AREA SHOWN WITH NEW POLY-ISO INSULATION. TO MATCH EXISTING INSULATION THICKNESS. BY G.C.
- 7.21.04 R-19 BATT INSULATION
- 7.21.05 2" RIGID INSULATION
- 7.44 SIDING | SPEC 074444**
- 7.46.01 SOLID PHENOLIC PANELS WOOD LOOK WITH CLIP SYSTEM. COLOR 1.
- 7.46.02 SOLID PHENOLIC PANELS WITH EXPOSED FASTENERS. COLOR 2
- 7.53 ELASTOMERIC ROOFING | SPEC 075323**
- 7.53.01 PATCH AREA SHOWN WITH NEW EPDM MEMBRANE TO MATCH EXISTING MEMBRANE THICKNESS.
- 7.53.03 CANT STRIP
- 09 FINISHES**
- 9.29 GYPSUM BOARD | SPEC 092900**
- 9.29.01 5/8" GYPSUM BOARD
- 9.29.05 1/2" CEMENT BOARD
- 9.29.06 1/2" COVERBOARD EXTEND FROM TOP OF DECKING TO TOP OF PARAPET.
- 32 EXTERIOR IMPROVEMENTS**
- 32.12 ASPHALT PAVING | SPEC 321216**
- 32.12.03 ASPHALT PAVING
- 32.12.04 CRUSHED STONE
- 32.92 TURF AND GRASSES | SPEC 329200**
- 32.92.03 24" WIDE GRAVEL MOW STRIPE. SEE DETAIL.



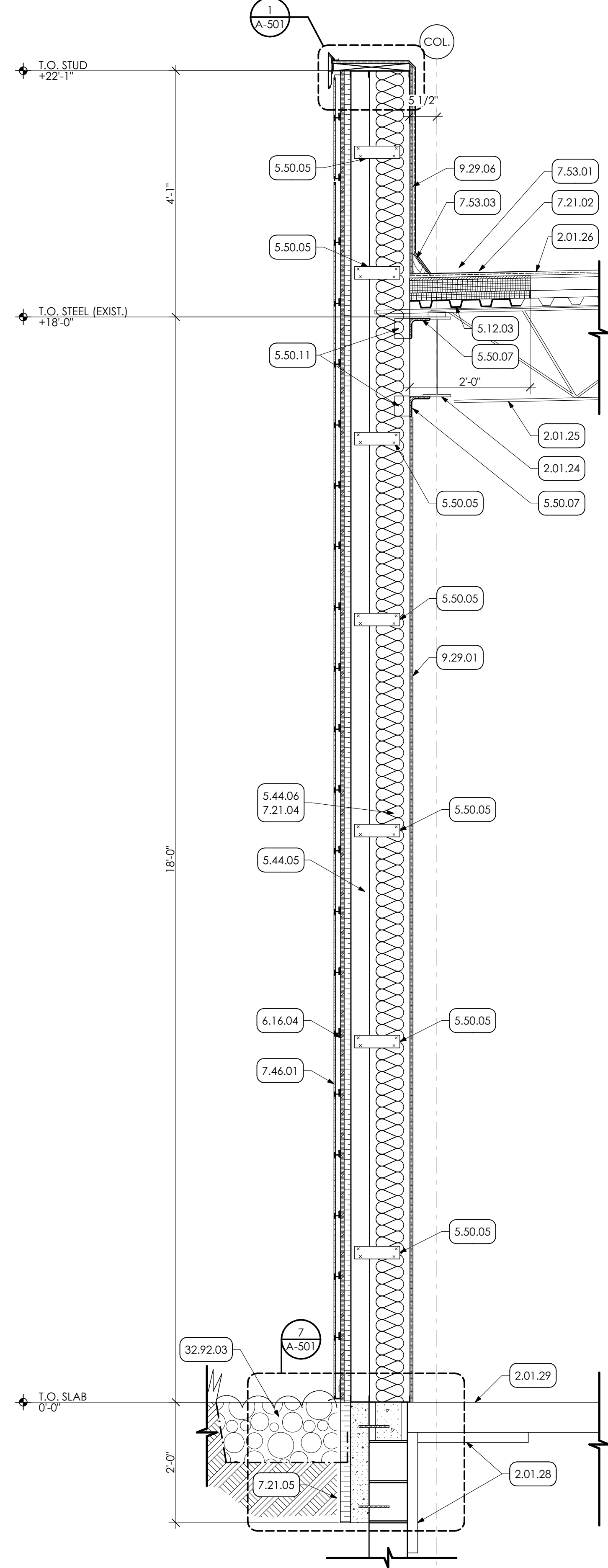
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**2 WALL SECTION**  
 SCALE: 3/4" = 1'-0"



**3 WALL SECTION**  
 SCALE: 3/4" = 1'-0"



**4 WALL SECTION**  
 SCALE: 3/4" = 1'-0"















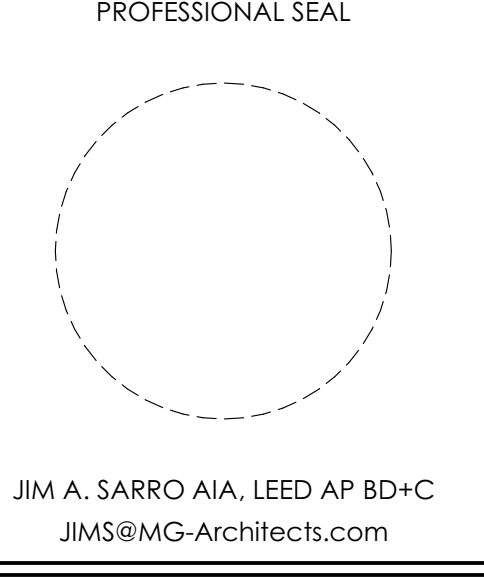




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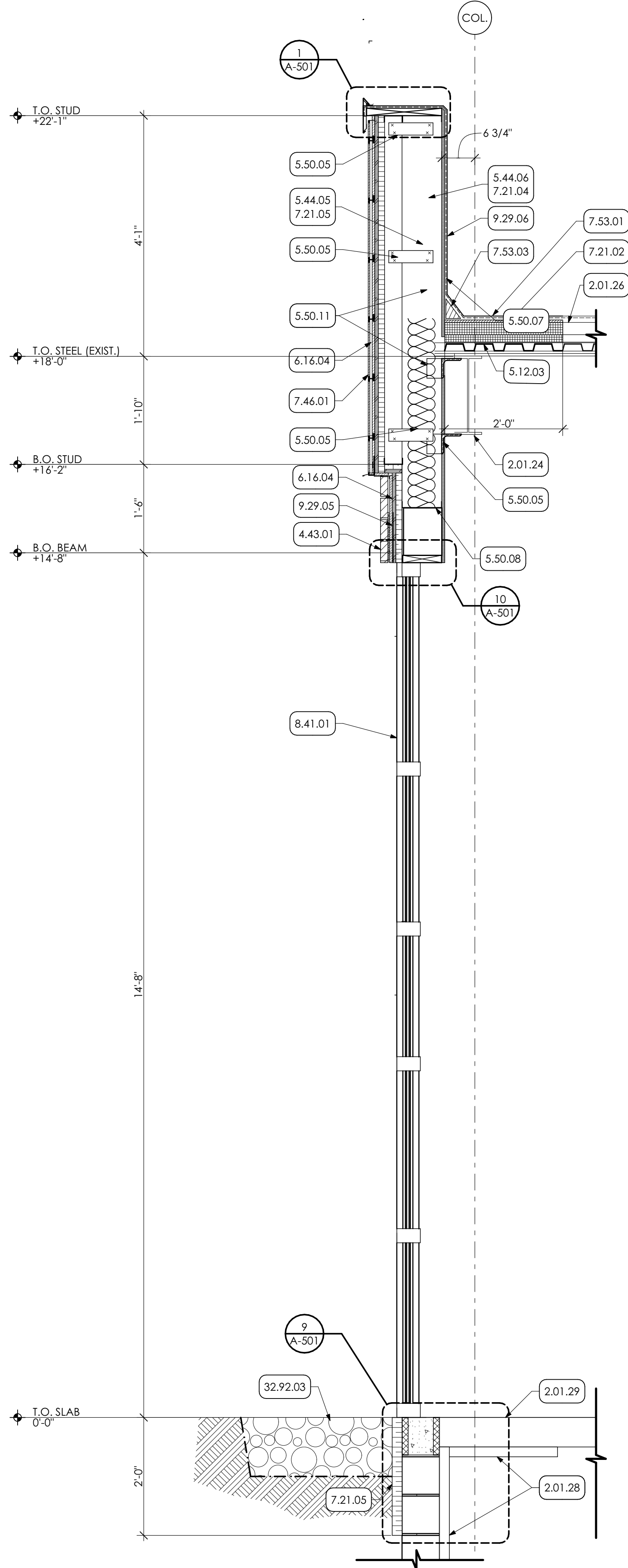
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P.M. e-MAIL: JIMS@MG-Architects.com  
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SHEET SCALE: 1  
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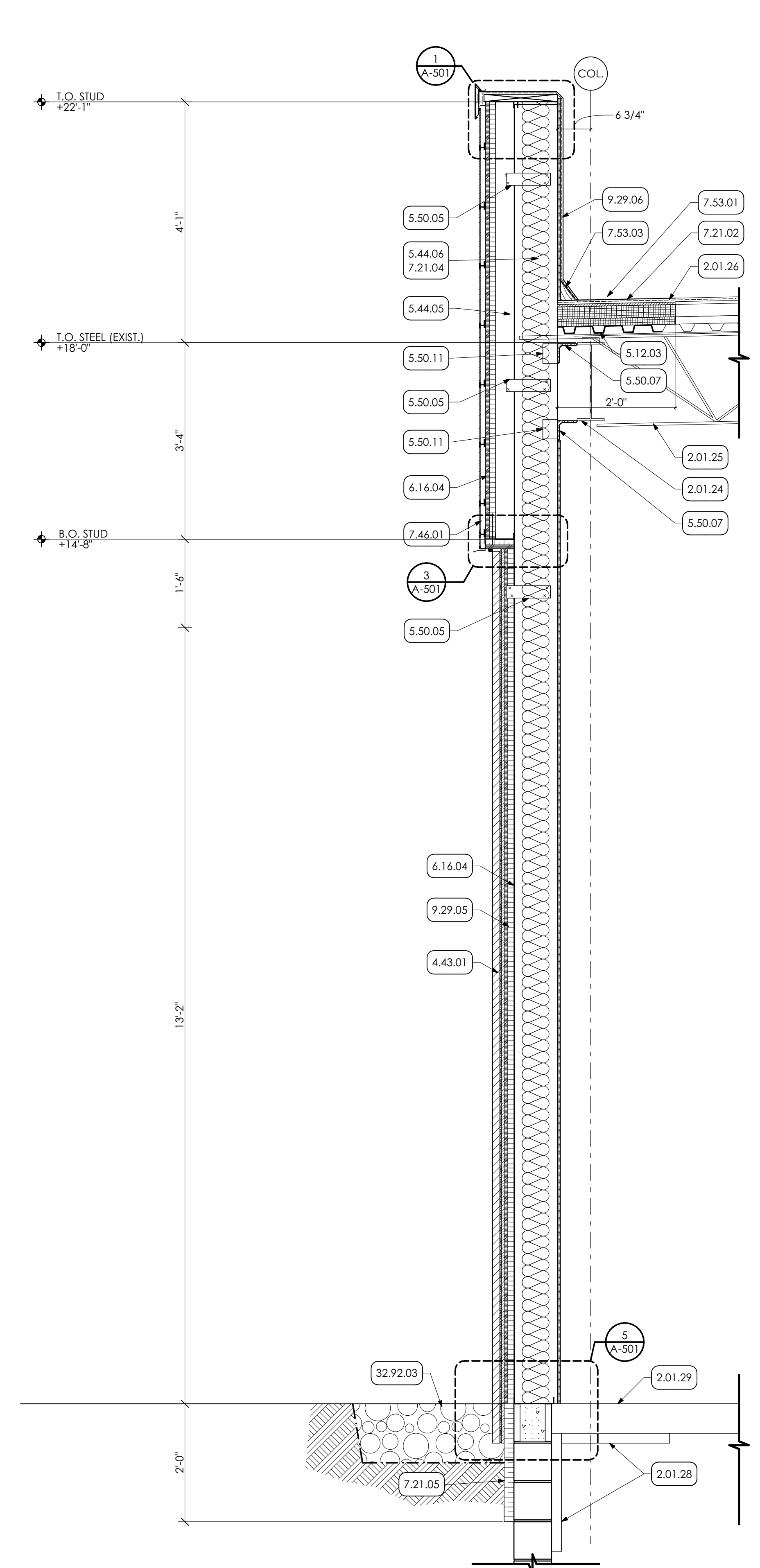
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**WALL SECTIONS**

**A-306**

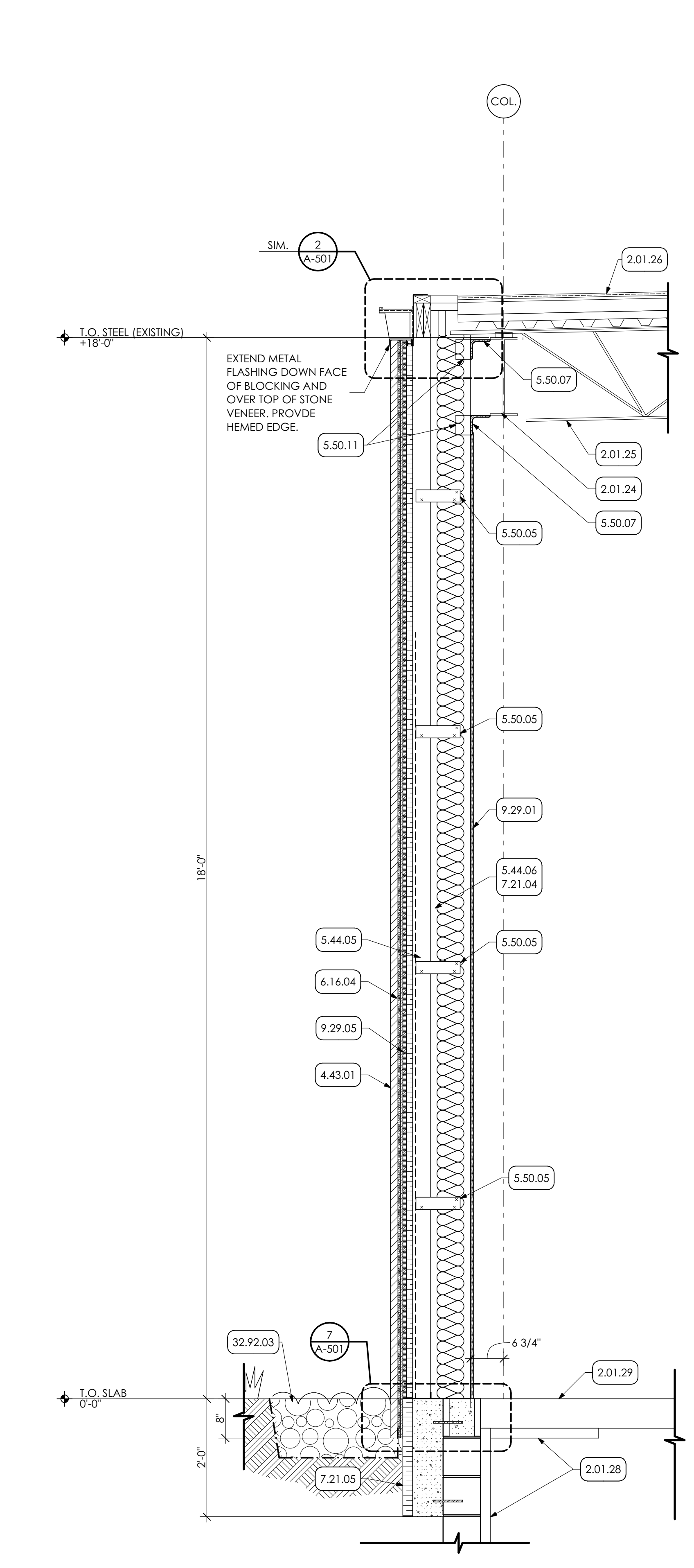
- 02 DEMOLITION**
  - 2.01 EXISTING CONDITIONS
  - 2.01.24 EXISTING BEAM TO REMAIN.
  - 2.01.25 EXISTING JOIST TO REMAIN.
  - 2.01.26 EXISTING ROOF ASSEMBLY TO REMAIN.
  - 2.01.28 EXISTING RIGID INSULATION TO REMAIN.
  - 2.01.29 EXISTING CONCRETE SLAB TO REMAIN.
- 04 MASONRY**
  - 4.43 MANUFACTURED MASONRY VENEER | SPEC 047300
  - 4.43.01 MANUFACTURED MASONRY VENEER
- 05 METALS**
  - 5.12 STRUCTURAL STEEL FRAMING | SPEC 051200
  - 5.12.03 INFILL AREA SHOWN WITH NEW METAL DECKING. TO MATCH EXISTING METAL DECKING, BY G.C.
  - 5.44 COLD FRAMED METAL FRAMING | SPEC 054000
  - 5.44.05 3/8" STRUCTURAL METAL STUDS @ 16 O.C. COORDINATE WITH STRUCTURAL DRAWINGS.
  - 5.44.06 8" STRUCTURAL METAL STUDS @ 16 O.C. COORDINATE WITH STRUCTURAL DRAWINGS.
  - 5.50 METAL FABRICATIONS | SPEC 055000 | SPEC 055213
  - 5.50.05 METAL UTILITY ANGLE. COORDINATE WITH STRUCTURAL DRAWINGS.
  - 5.50.07 METAL ANGLE COORDINATE WITH STRUCTURAL DRAWINGS.
  - 5.50.08 METAL BOX HEADER COORDINATE WITH STRUCTURAL DRAWINGS.
  - 5.50.11 12 GAUGE METAL CLIP COORDINATE WITH STRUCTURAL DRAWINGS.
- 06 WOODS, PLASTICS AND COMPOSITES**
  - 4.14 SHEATHING | SPEC 061600
  - 6.16.04 2" STRUCTURAL INSULATED WALL SHEATHING
- 07 THERMAL AND MOISTURE PROTECTION**
  - 7.21 THERMAL INSULATION | SPEC 072100
  - 7.21.02 PATCH AREA SHOWN WITH NEW POLY-ISO INSULATION. TO MATCH EXISTING INSULATION THICKNESS, BY G.C.
  - 7.21.04 R-19 BATT INSULATION
  - 7.21.05 2" RIGID INSULATION
  - 7.46 SIDING | SPEC 074644
  - 7.46.01 SOLID PHENOLIC PANELS WOOD LOOK WITH CLIP SYSTEM. COLOR 1.
  - 7.53 ELASTOMERIC ROOFING | SPEC 075323
  - 7.53.01 PATCH AREA SHOWN WITH NEW EPDM MEMBRANE TO MATCH EXISTING MEMBRANE THICKNESS.
  - 7.53.03 CANT STRIP
- 08 OPENINGS**
  - 8.41 ALUMINUM STOREFRONTS | SPEC 084113
  - 8.41.01 SCHEDULED ALUMINUM FRAMED STOREFRONT SYSTEM
- 09 FINISHES**
  - 9.29 GYPSUM BOARD | SPEC 092900
  - 9.29.01 5/8" GYPSUM BOARD
  - 9.29.05 1/2" CEMENT BOARD
  - 9.29.06 1/2" COVERBOARD EXTEND FROM TOP OF DECKING TO TOP OF PARAPET.
- 32 EXTERIOR IMPROVEMENTS**
  - 32.92 TURF AND GRASSES | SPEC 329200
  - 32.92.03 24" WIDE GRAVEL MOW STRIPE. SEE DETAIL.



**1 WALL SECTION**  
SCALE: 3/4" = 1'-0"

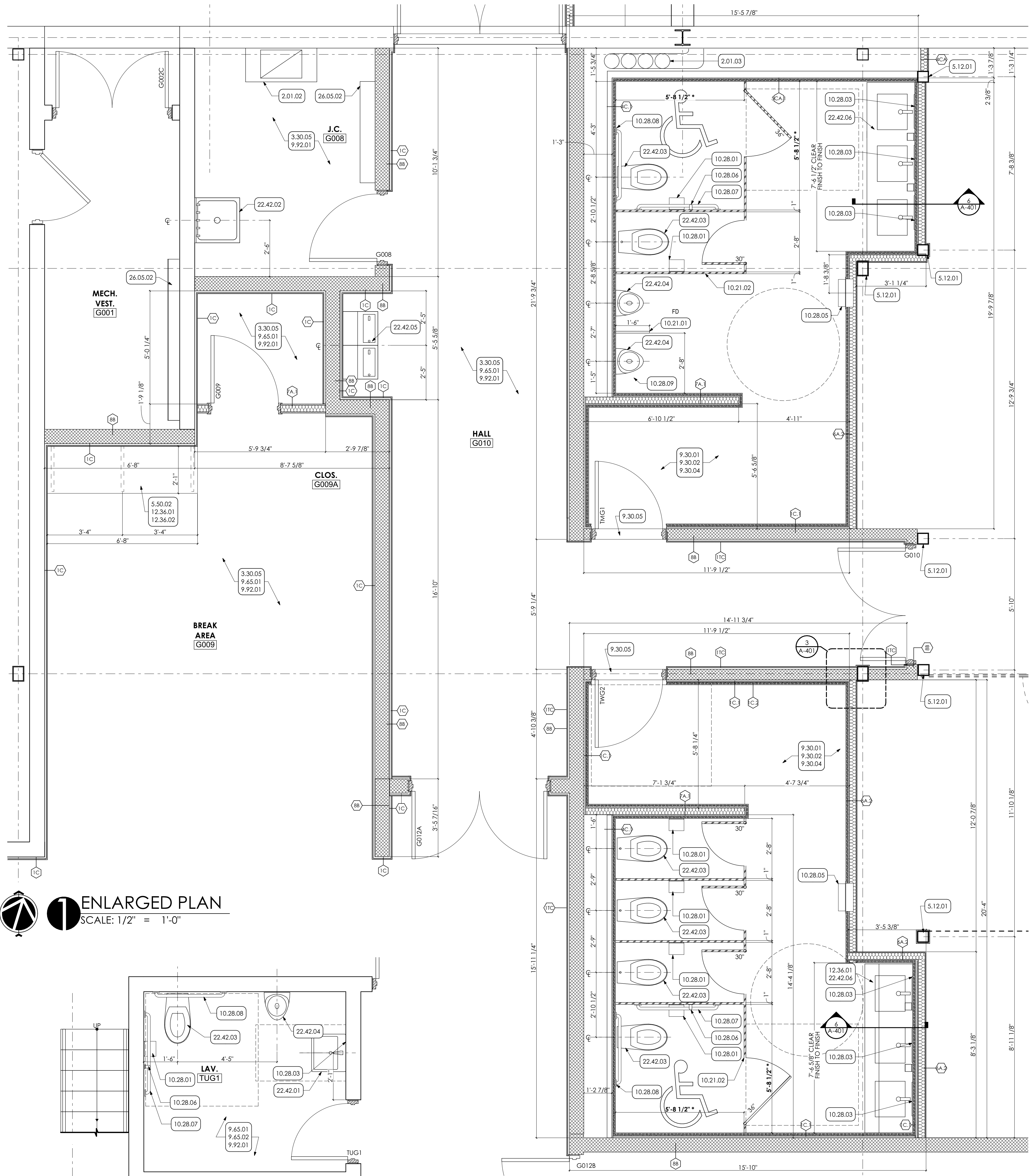


**2 WALL SECTION**  
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**3 WALL SECTION**  
SCALE: 3/4" = 1'-0"

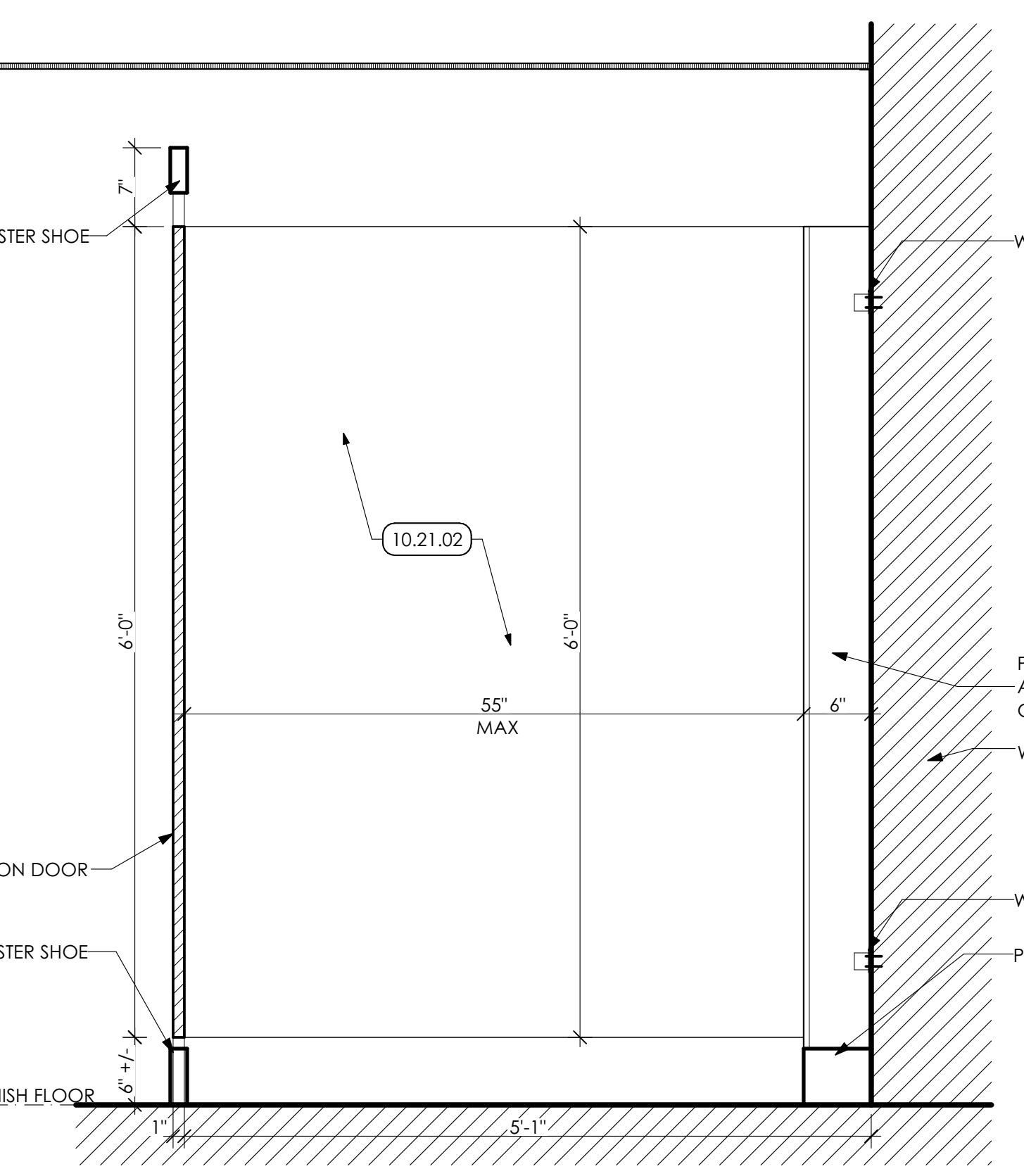




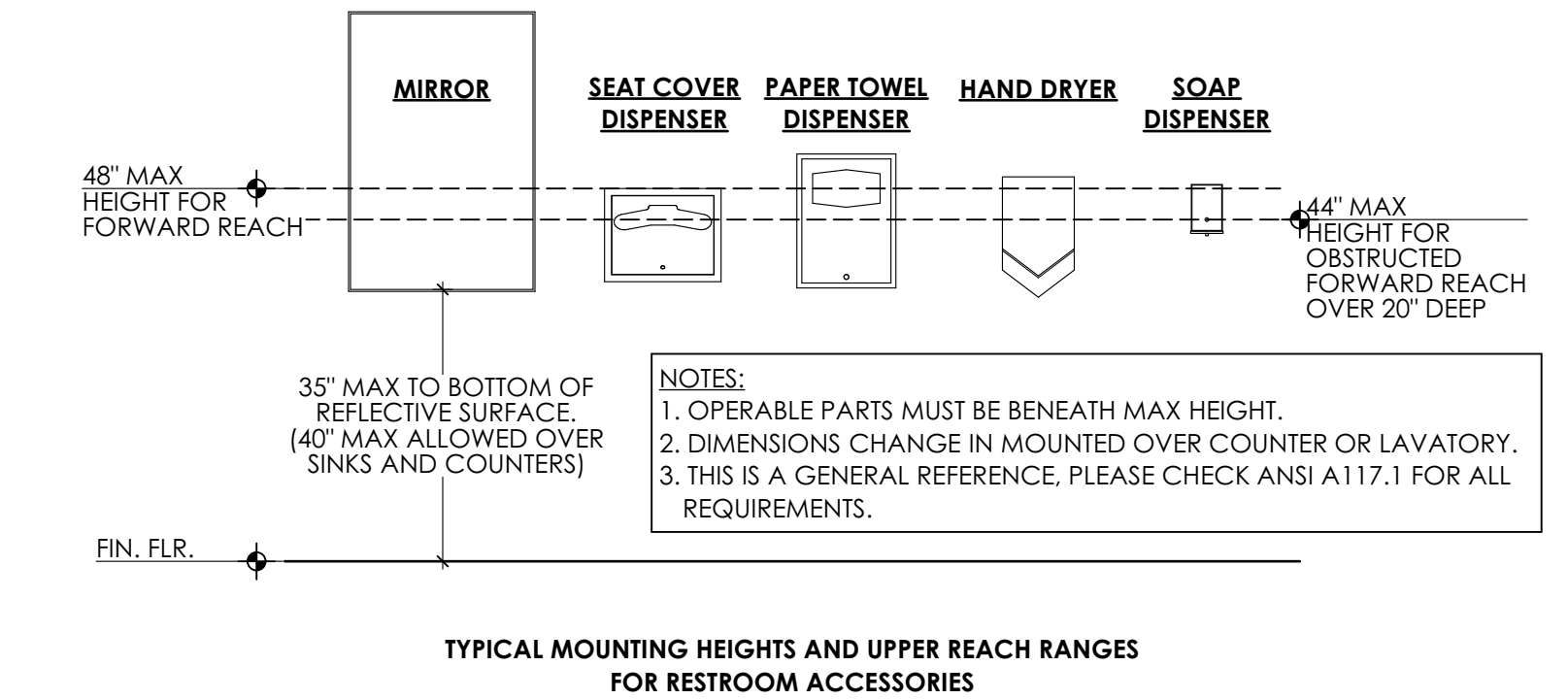
**1 ENLARGED PLAN**  
SCALE: 1/2" = 1'-0"

**2 ENLARGED TOILET ROOM**  
SCALE: 1/2" = 1'-0"

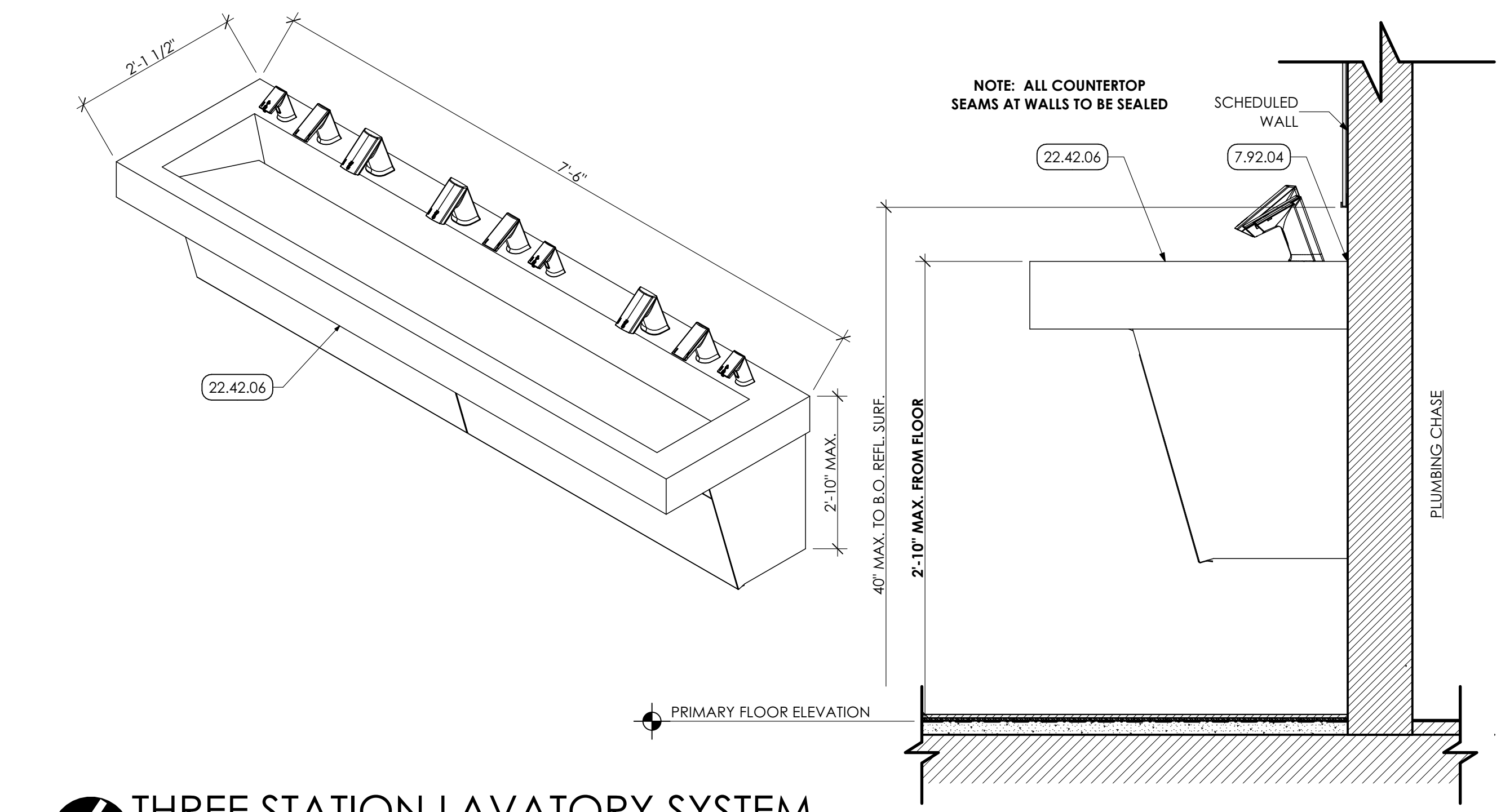
**3 DETAIL**  
SCALE: 1/2" = 1'-0"



**4 TYPICAL PARTITION ELEVATION**  
SCALE: 1" = 1'-0"



**5 TYPICAL MOUNTING HEIGHT DETAIL**  
SCALE: 1/2" = 1'-0"



**6 THREE STATION LAVATORY SYSTEM**  
SCALE: 1 1/2" = 1'-0"

- KEY NOTES**
- 02 DEMOLITION**
  - 2.01 EXISTING CONDITIONS**
  - 2.01.02 EXISTING ELECTRICAL PANELS TO REMAIN.
  - 2.01.03 EXISTING GLYCOL LINES TO REMAIN
  - 2.01.23 EXISTING COLUMN TO REMAIN.
  - 03 CONCRETE**
  - 3.30 CAST-IN-PLACE CONCRETE | SPEC 033000 | 032000**
  - 3.30.05 PREP AND SEAL ENTIRE SURFACE OF EXISTING CONCRETE SLAB.
  - 05 METALS**
  - 5.12 STRUCTURAL STEEL FRAMING | SPEC 051200**
  - 5.12.01 STEEL COLUMN; COORDINATE WITH STRUCTURAL DRAWINGS.
  - 5.50 METAL FABRICATIONS | SPEC 055000 | SPEC 055213**
  - 5.50.02 UNDERCOUNTER METAL SUPPORT BRACKET. PROVIDE WOOD BLOCKING IN WALL AS REQUIRED.
  - 07 THERMAL AND MOISTURE PROTECTION**
  - 7.92 JOINT SEALANTS | SPEC 079200**
  - 7.92.04 CONTINUOUS SEALANT WITH BACKER ROD
  - 09 FINISHES**
  - 9.22 NON-STRUCTURAL METAL FRAMING | SPEC 092216**
  - 9.22.01 7/8" METAL FURRING CHANNELS AT 16" O.C.
  - 9.29 GYPSUM BOARD | SPEC 092900**
  - 9.29.01 5/8" GYPSUM BOARD
  - 9.30 CERAMIC TILING | SPEC 093013**
  - 9.30.01 CERAMIC COVE BASE PROFILE FOR PERIMETER OF ROOM. COORDINATE WITH FINISH SCHEDULE.
  - 9.30.02 PORCELAIN WALL TILE ON ENTIRE WALL FROM TOP OF TILE BASE TO UNDERSIDE OF CEILING. COORDINATE WITH FINISH SCHEDULE.
  - 9.30.04 PORCELAIN FLOOR TILE THROUGHOUT ROOM. COORDINATE WITH FINISH SCHEDULE.
  - 9.30.05 STONE THRESHOLD.
  - 9.45 RESILIENT BASE | SPEC 094513**
  - 9.45.01 4" HIGH RUBBER COVE BASE CONTINUOUS FOR PERIMETER OF ROOM OR CORRIDOR.
  - 9.45.02 PROVIDE LVT OVER HYDRAULIC CEMENT UNDERLAYMENT THROUGHOUT ENTIRE ROOM OR CORRIDOR. PREP SUBSTRATE AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS.
  - 9.92 INTERIOR PAINTING | SPEC 099123**
  - 9.92.01 PREP, PRIME, PAINT (TWO (2) COATS) ALL WALLS IN ROOM. UNLESS SPECIFIC WALLS NOTED OTHERWISE. PAINT ENTIRE WALL, INCLUDING EXPOSED CONDUIT, FROM FLOOR TO 4" ABOVE NEW CEILING GRID OR TO ROOF DECK IN AREAS OF OPEN CEILINGS.
  - 9.92.08 PREP AND PAINT (PRIMER AND TWO (2) COATS) ENTIRE STRUCTURE INCLUDING ALL STEEL JOISTS / BEAMS, EXPOSED ANCHORS, EXPOSED COLUMNS, AND ACCESSORIES WITH DRYFLAT PAINT, BY GC.
  - 10 SPECIALTIES**
  - 10.21 PHENOLIC-CORE TOILET COMPARTMENTS | SPEC 102117**
  - 10.21.01 NEW 1" THICK URINAL SCREEN, 48" HEIGHT, WALL MOUNTED WITH CONTINUOUS ALUMINUM BRACKETS. NFPA 286-RATED.
  - 10.21.02 NEW 1" THICK HIGH DENSITY POLYETHYLENE (HDPE) TOILET PARTITIONS, 55" PANEL HEIGHT, WALL MOUNTED, AND OVERHEAD BRACED, CONTINUOUS ALUMINUM BRACKETS, NFPA 286-RATED. PROVIDE HEAVY DUTY SELF-CLOSING CONTINUOUS HINGES FOR PARTITION DOORS.
  - 10.28 TOILET ACCESSORIES**
  - 10.28.01 SURFACE MOUNTED TOILET PAPER DISPENSER PROVIDED BY OWNER AND INSTALLED BY GC. PROVIDE WOOD BLOCKING AS REQUIRED IN METAL STUD PARTITIONS.
  - 10.28.03 WALL MOUNTED MIRROR. PROVIDE WOOD BLOCKING AS REQUIRED FOR SECURE MOUNTING IN METAL STUD PARTITIONS. BOTTOM OF REFLECTIVE SURFACE AT 40" AFF MAX.
  - 10.28.05 RECESSED PAPER TOWEL DISPENSER PROVIDED BY OWNER AND INSTALLED BY GC. PROVIDE WOOD BLOCKING AS REQUIRED FOR SECURE MOUNTING IN METAL STUD PARTITIONS.
  - 10.28.06 VERTICAL ADA COMPLIANT GRAB BAR-18" LENGTH. PROVIDE WOOD BLOCKING AS REQUIRED FOR SECURE MOUNTING.
  - 10.28.07 ADA COMPLIANT GRAB BAR-42" LENGTH. PROVIDE WOOD BLOCKING AS REQUIRED FOR SECURE MOUNTING.
  - 10.28.08 ADA COMPLIANT GRAB BAR-26" LENGTH. PROVIDE WOOD BLOCKING AS REQUIRED FOR SECURE MOUNTING.
  - 10.28.09 URINAL FLOOR GRATE
  - 12 FURNISHINGS**
  - 12.34 QUARTZ AGGLOMERATE COUNTERTOPS | SPEC 123461.19**
  - 12.34.01 2 CM QUARTZ COUNTERTOP ON 3/4" PLYWOOD BACKER.
  - 12.34.02 2 CM QUARTZ BACKSPLASH FOR LENGTH OF COUNTERTOP AND ADJACENT SIDEWALLS; 4" TYPICAL HEIGHT UNLESS NOTED OTHERWISE.
  - 22 PLUMBING | BY P.C.**
  - 22 WORK DESCRIBED IN THESE KEYNOTES IS THE RESPONSIBILITY OF THE P.C. UNLESS NOTED OTHERWISE. COORDINATE WITH PLUMBING DRAWING.
  - 22.42 COMMERCIAL PLUMBING FIXTURES**
  - 22.42.01 NEW ADA COMPLIANT SINK.
  - 22.42.02 NEW UTILITY SINK.
  - 22.42.03 NEW ADA COMPLIANT WATER CLOSET. (1.6 GPF)
  - 22.42.04 NEW ADA COMPLIANT URINAL.
  - 22.42.05 ADA COMPLIANT HI-LOW DRINKING FOUNTAINS.
  - 22.42.06 ADA COMPLIANT THREE STATION LAVATORY SYSTEM.
  - 26 ELECTRICAL | BY E.C.**
  - 26 WORK DESCRIBED IN THESE KEYNOTES IS THE RESPONSIBILITY OF THE E.C. UNLESS NOTED OTHERWISE. COORDINATE WITH ELECTRICAL DRAWING.
  - 26.05 COMMON WORK RESULTS FOR ELECTRICAL**
  - 26.05.02 NEW ELECTRICAL PANELS.

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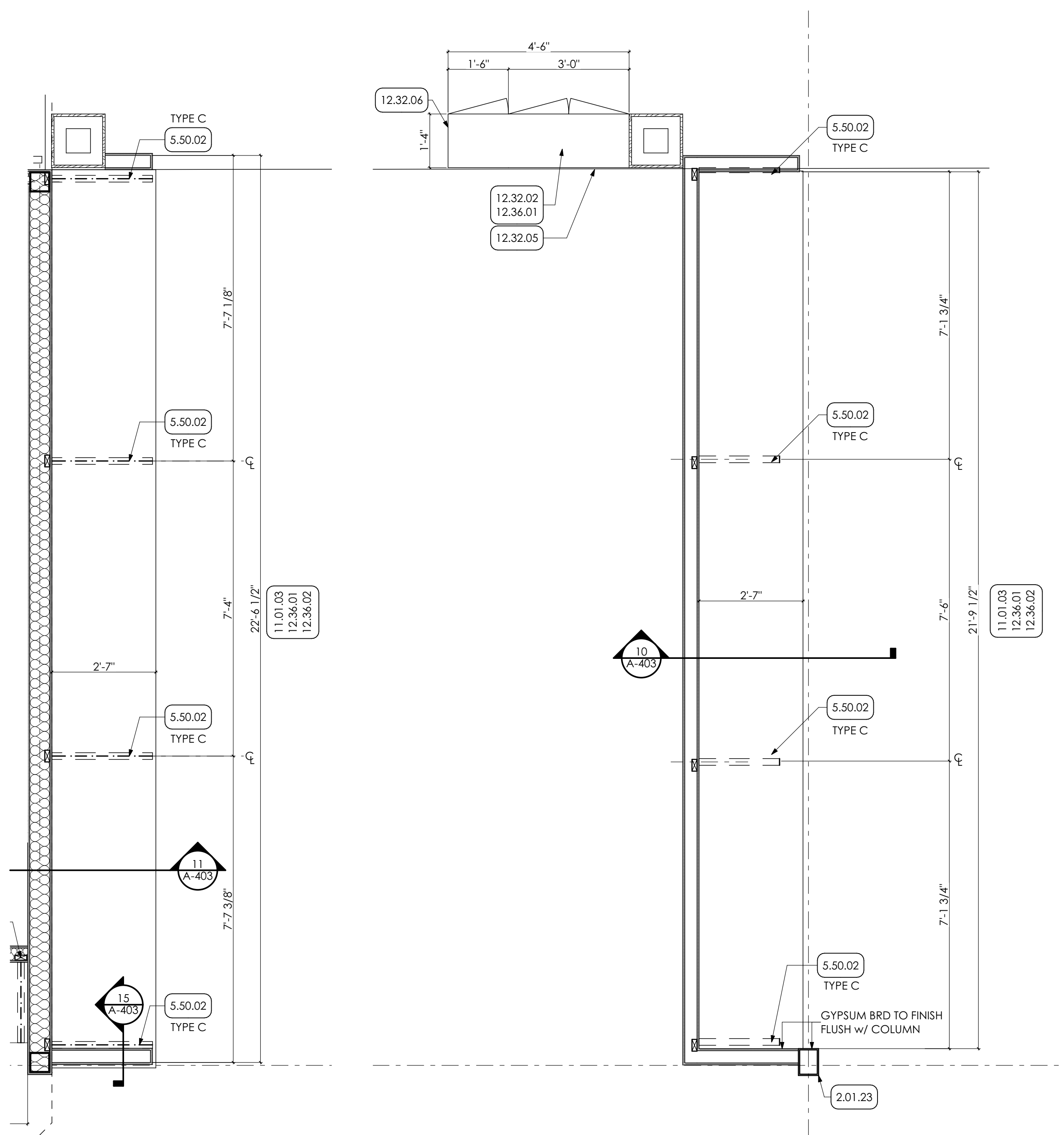
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P.M. e-MAIL: JMS@MG-Architects.com  
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SHEET SCALE: 1" = 1'-0"  
BAR IS ONE (1) INCH LONG ON ORIGINAL DRAWING

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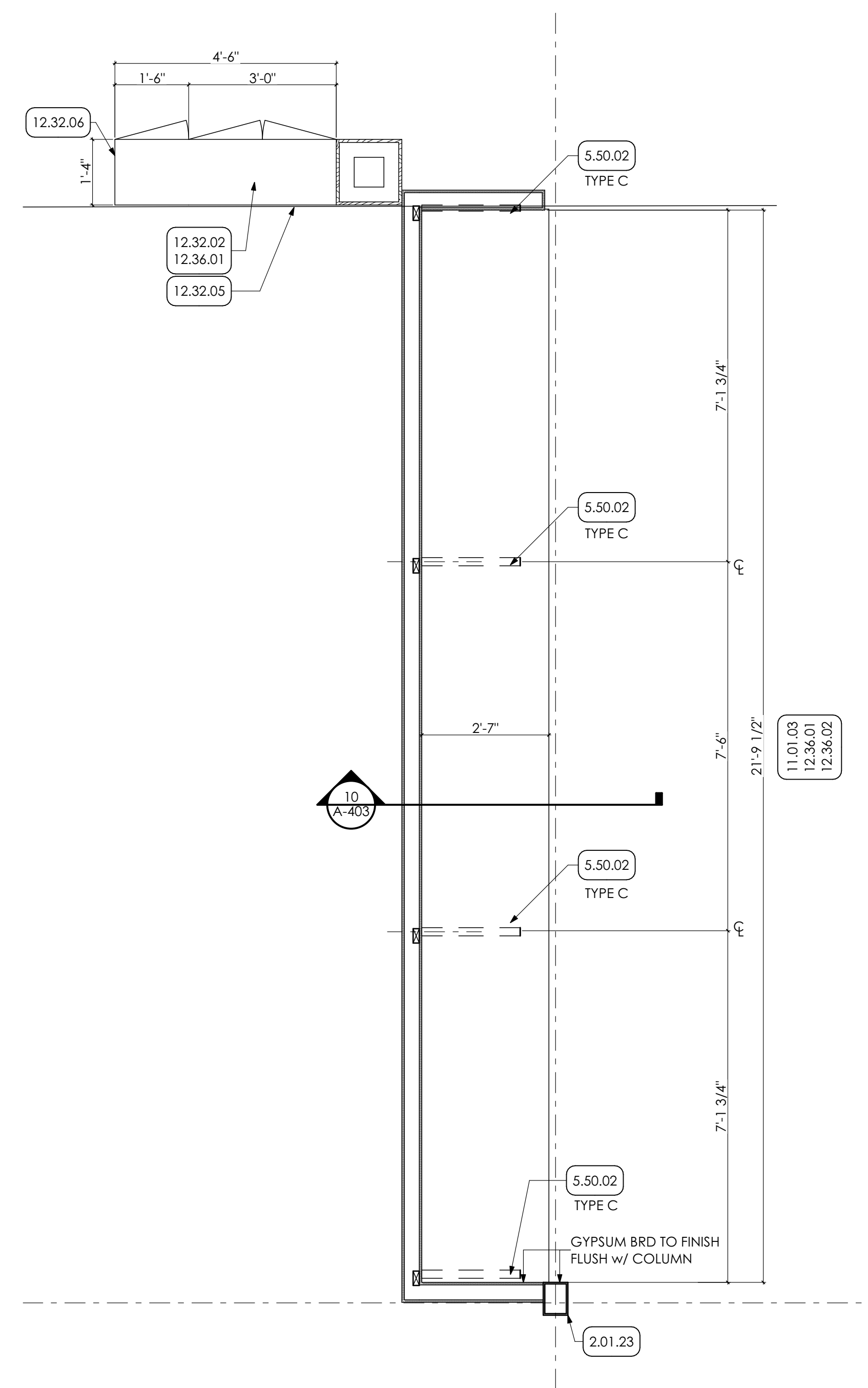
SHEET TITLE:  
**ENLARGED PLAN**

**A-401**

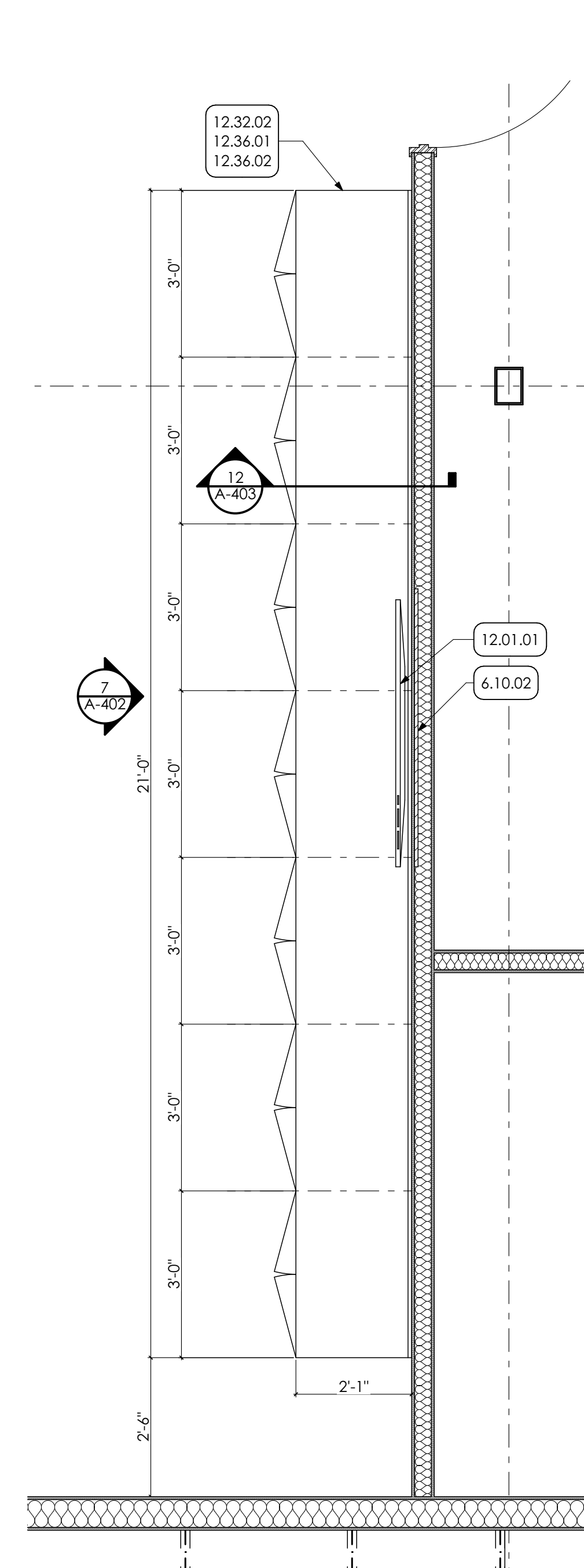




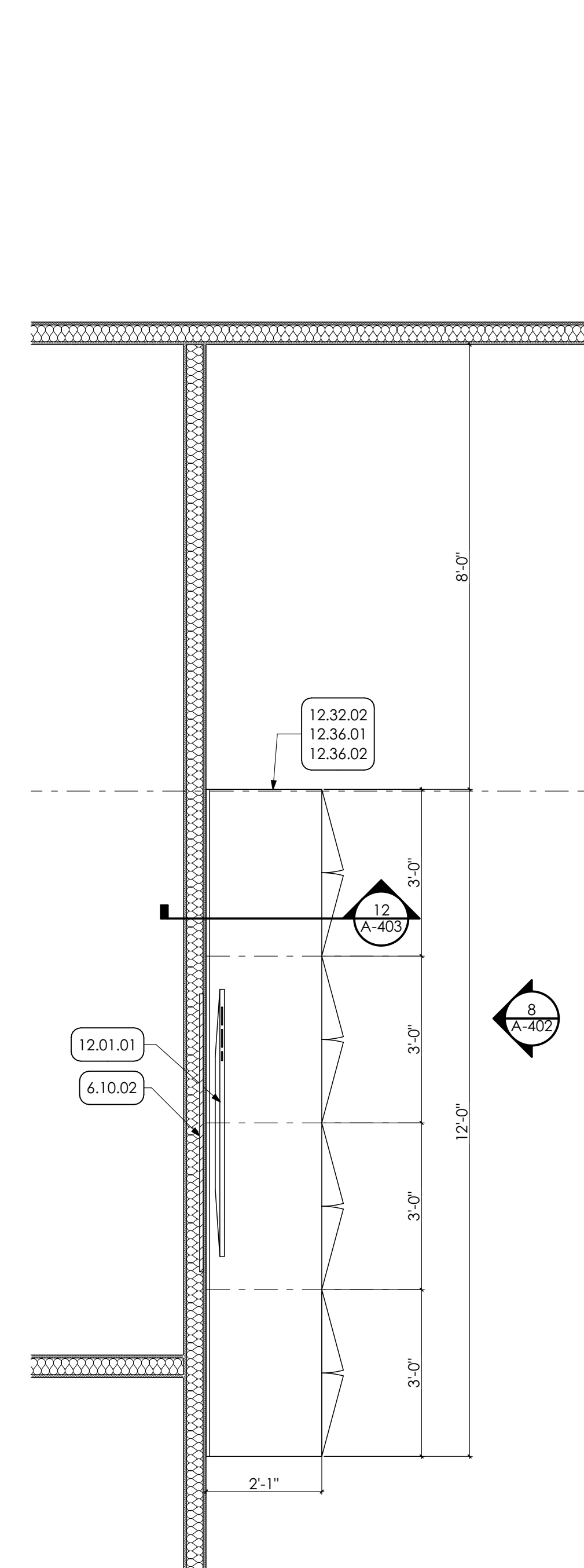
**1 ENLARGED PLAN**  
SCALE: 1/2" = 1'-0"



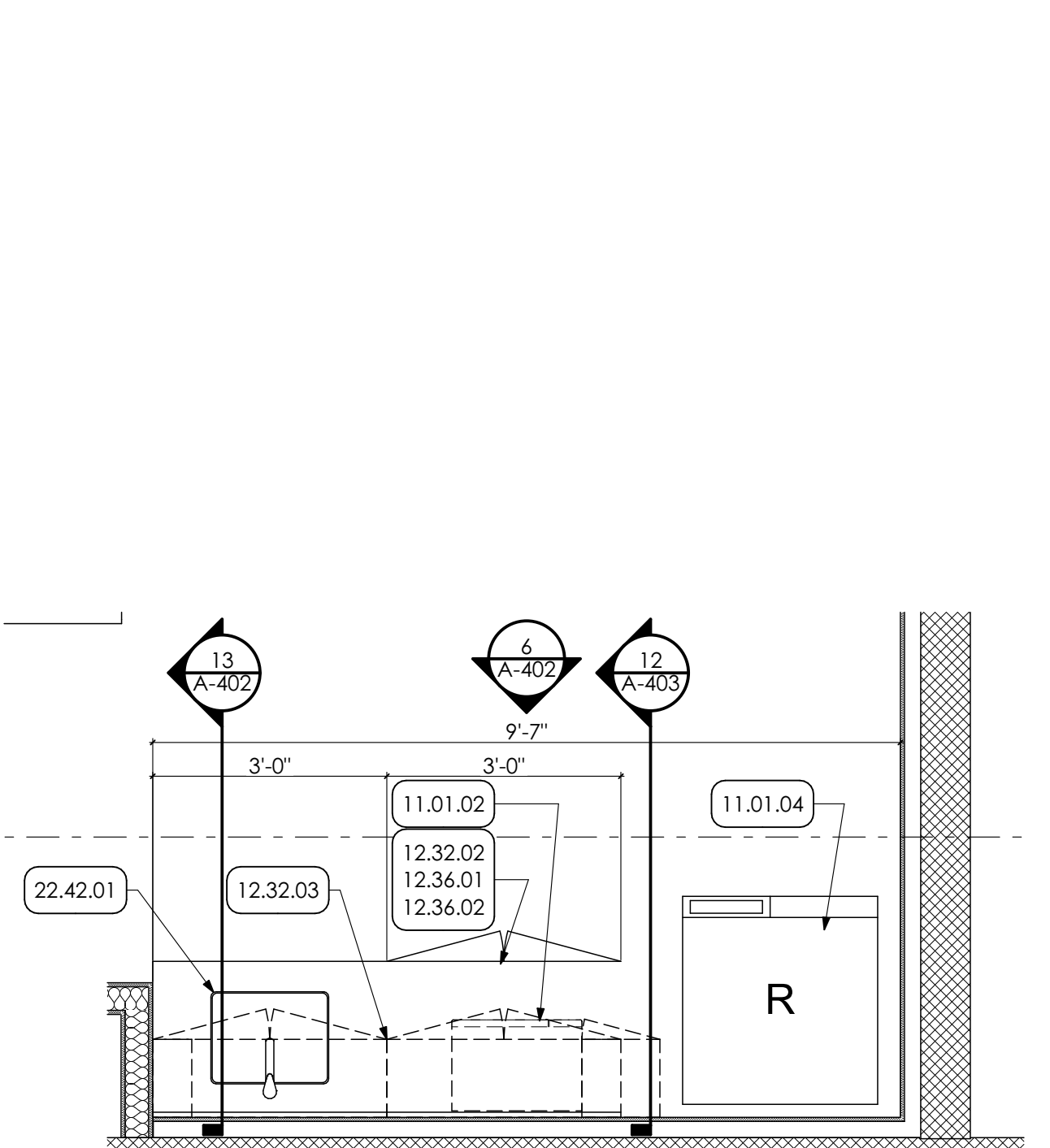
**2 ENLARGED PLAN**  
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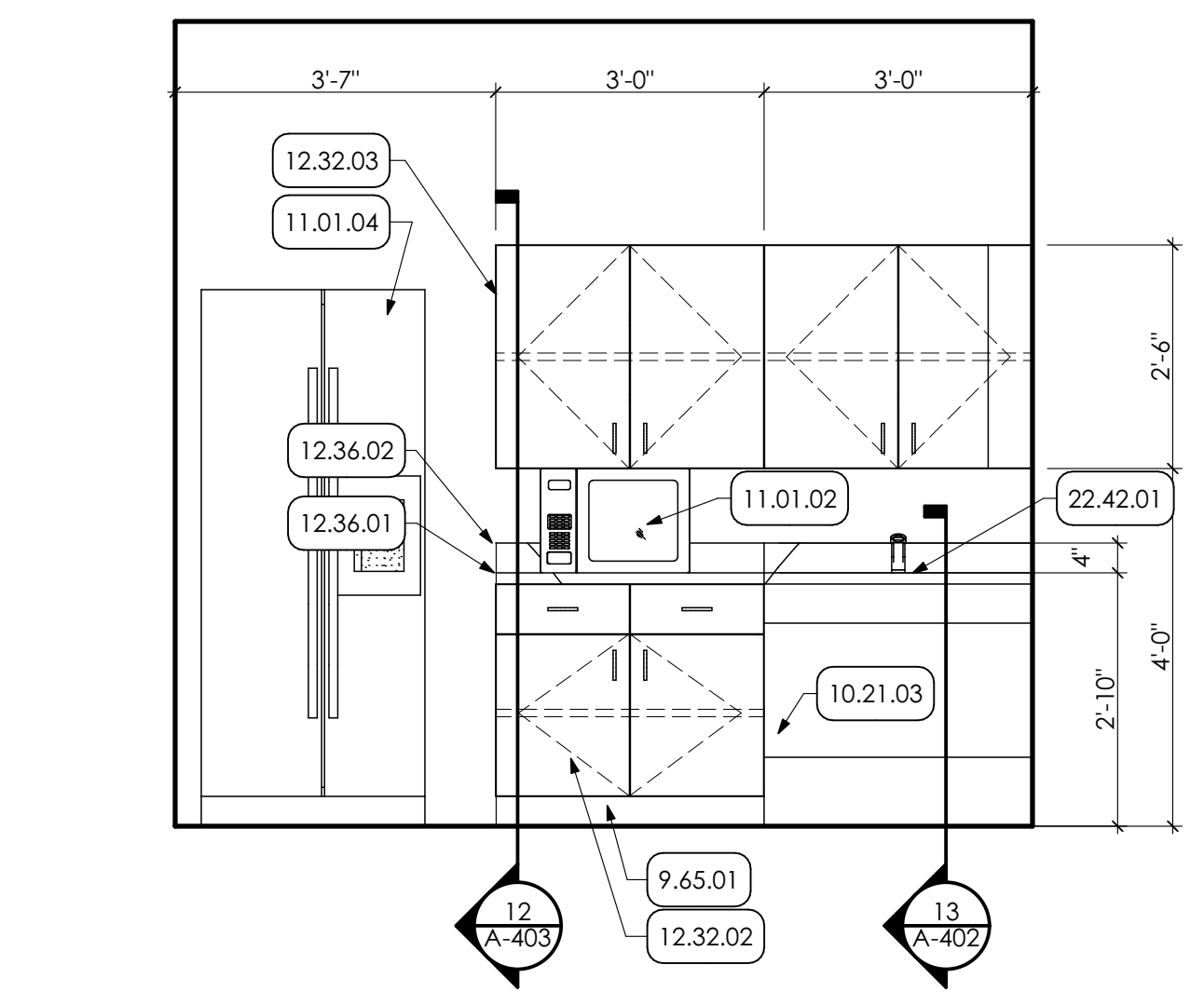
**3 ENLARGED PLAN**  
SCALE: 1/2" = 1'-0"



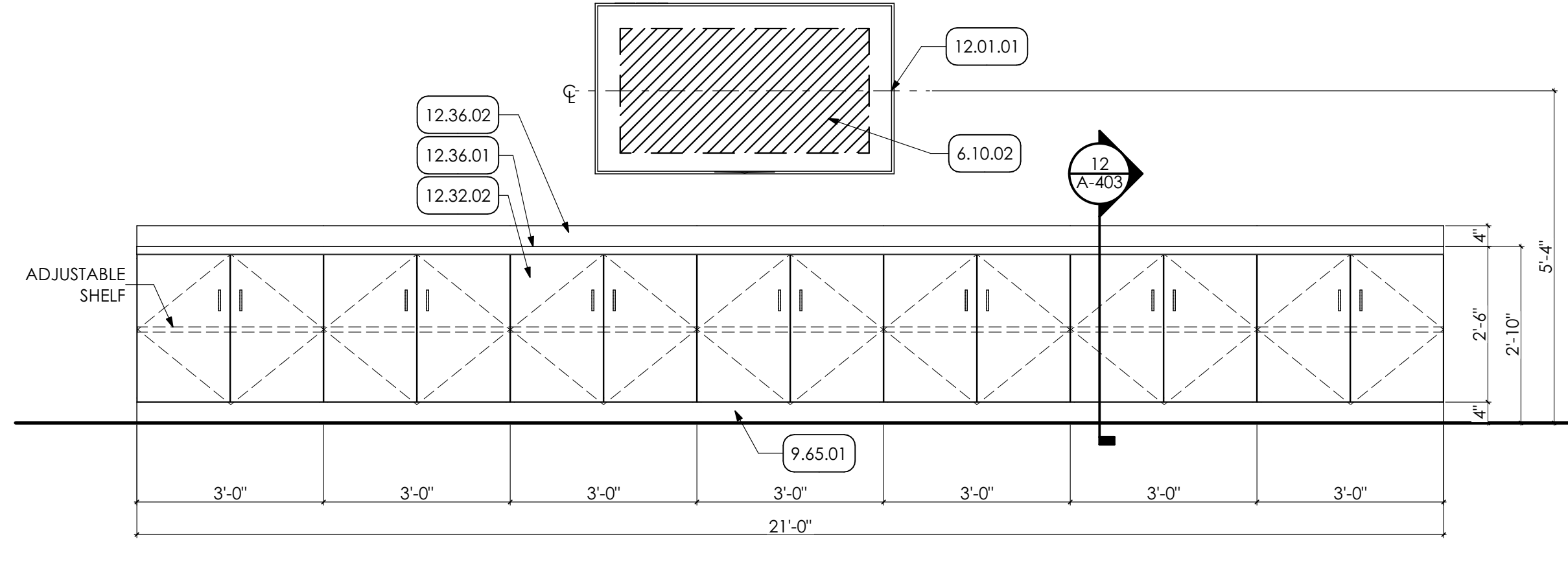
**4 ENLARGED PLAN**  
SCALE: 1/2" = 1'-0"



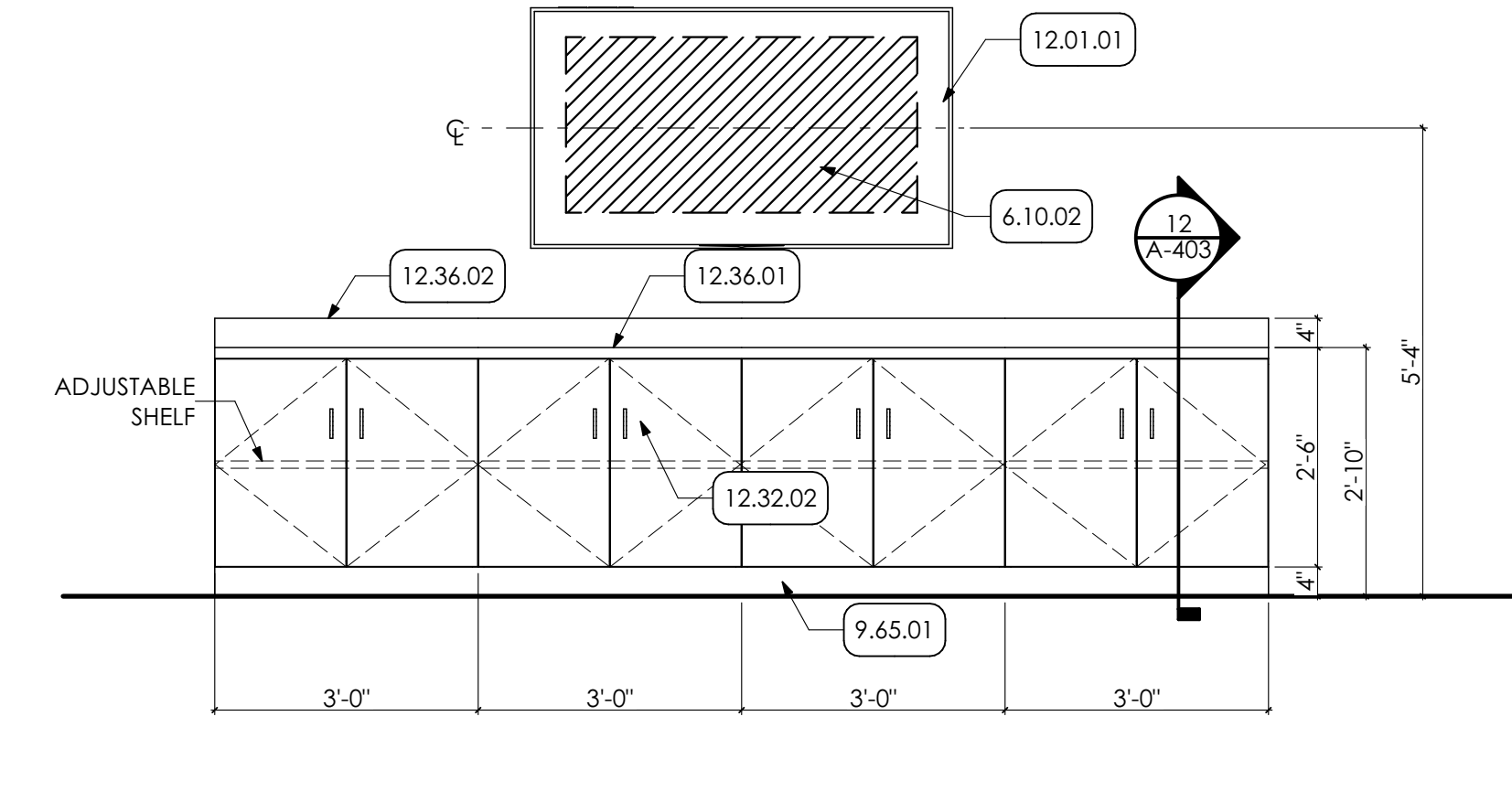
**5 ENLARGED KITCHENETTE PLAN**  
SCALE: 1/2" = 1'-0"



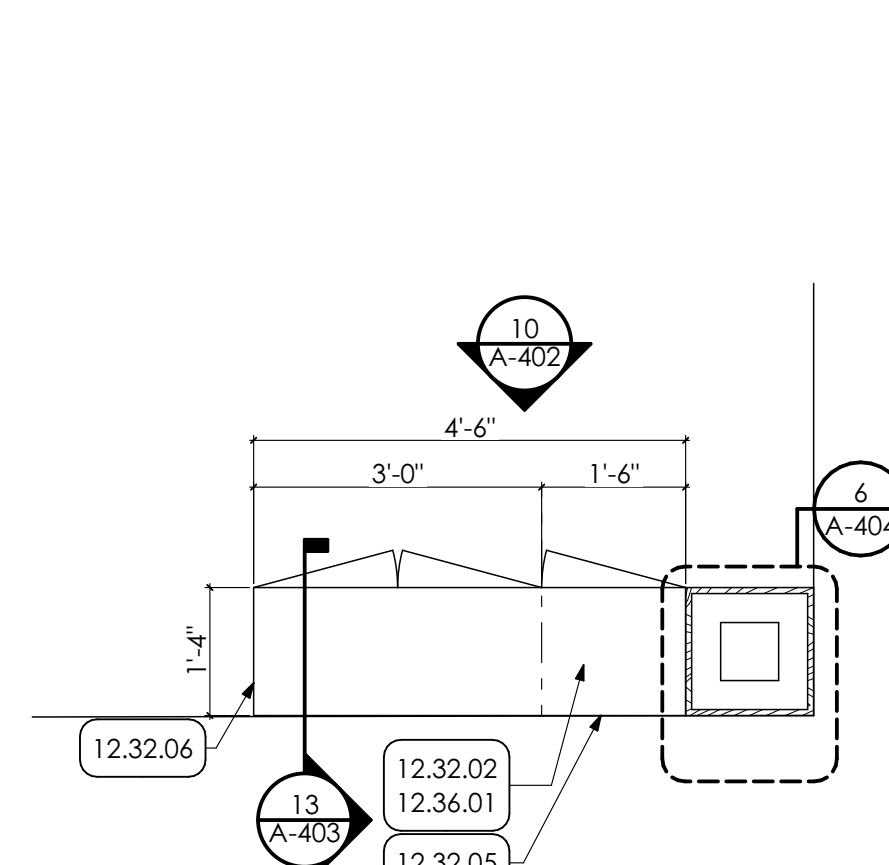
**6 FACILITIES KITCHENETTE**  
SCALE: 1/2" = 1'-0"



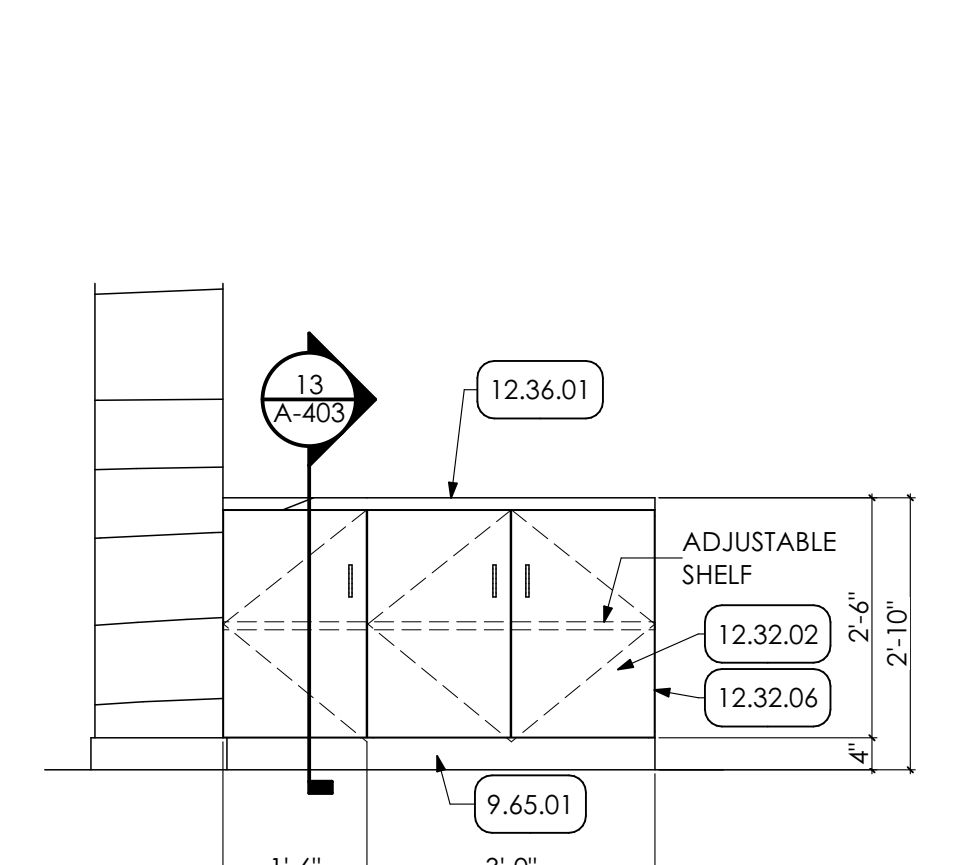
**7 LARGE MEETING ROOM ELEVATION**  
SCALE: 1/2" = 1'-0"



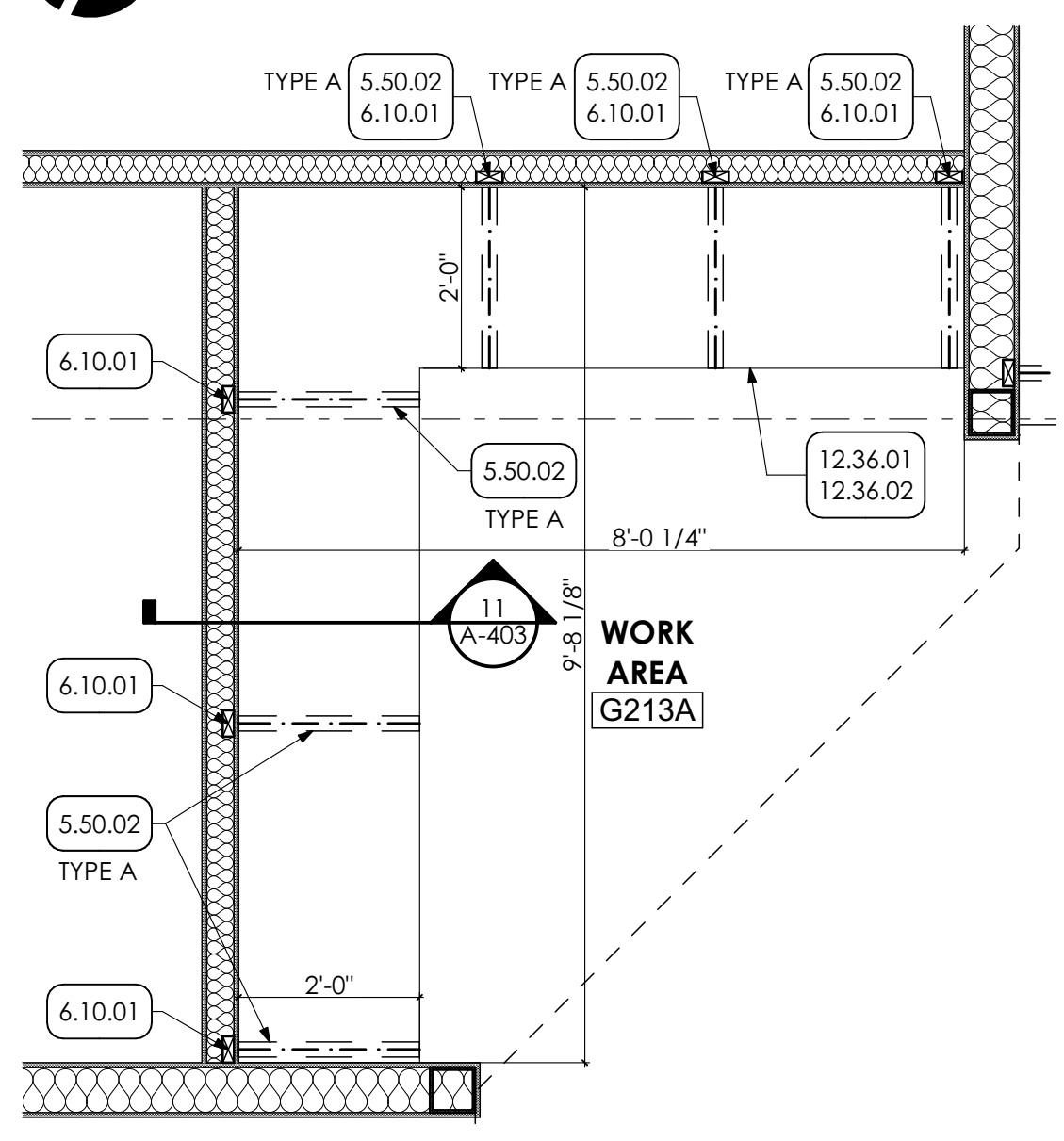
**8 LARGE MEETING ROOM ELEVATION**  
SCALE: 1/2" = 1'-0"



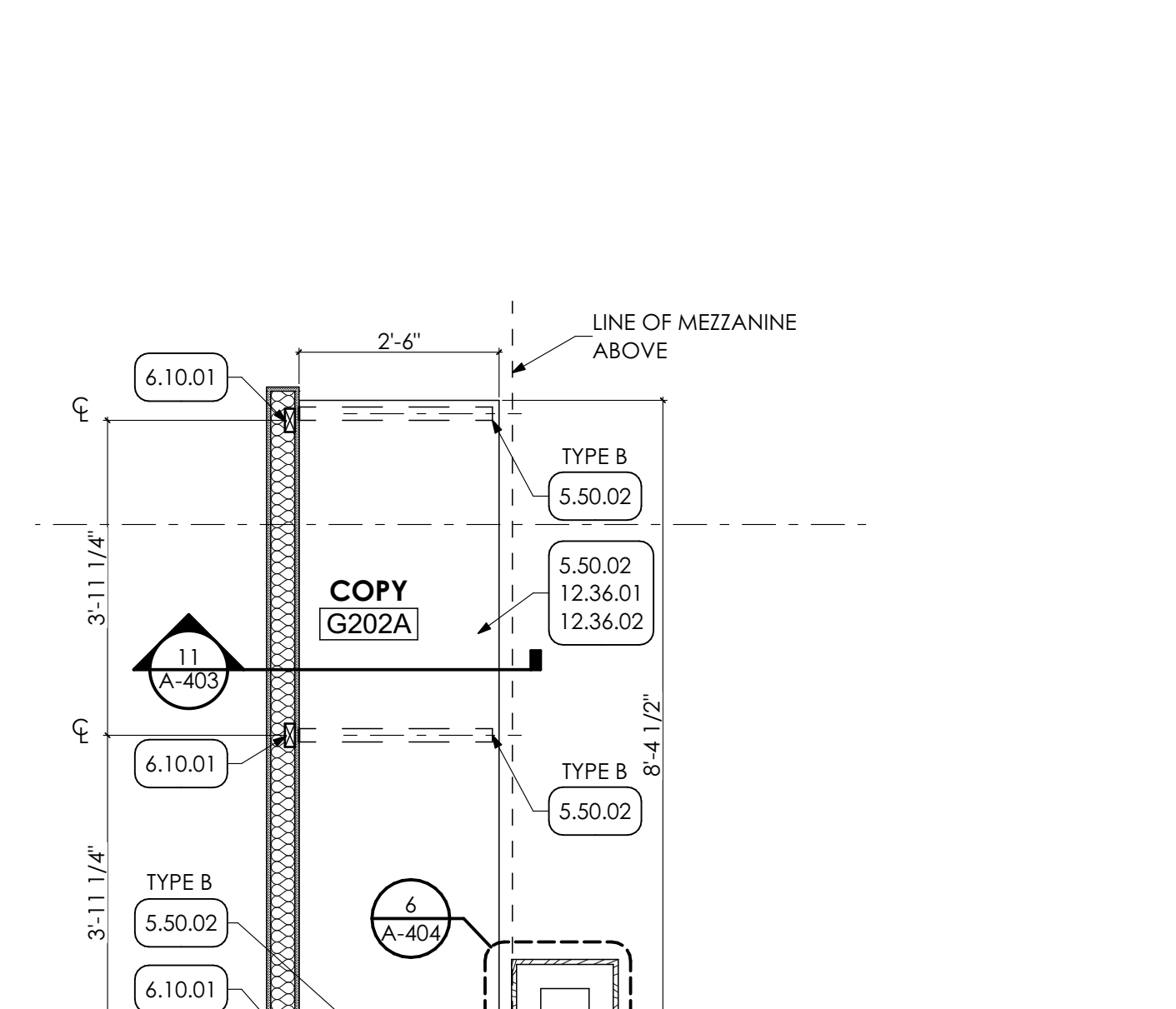
**9 ENLARGED PLAN**  
SCALE: 1/2" = 1'-0"



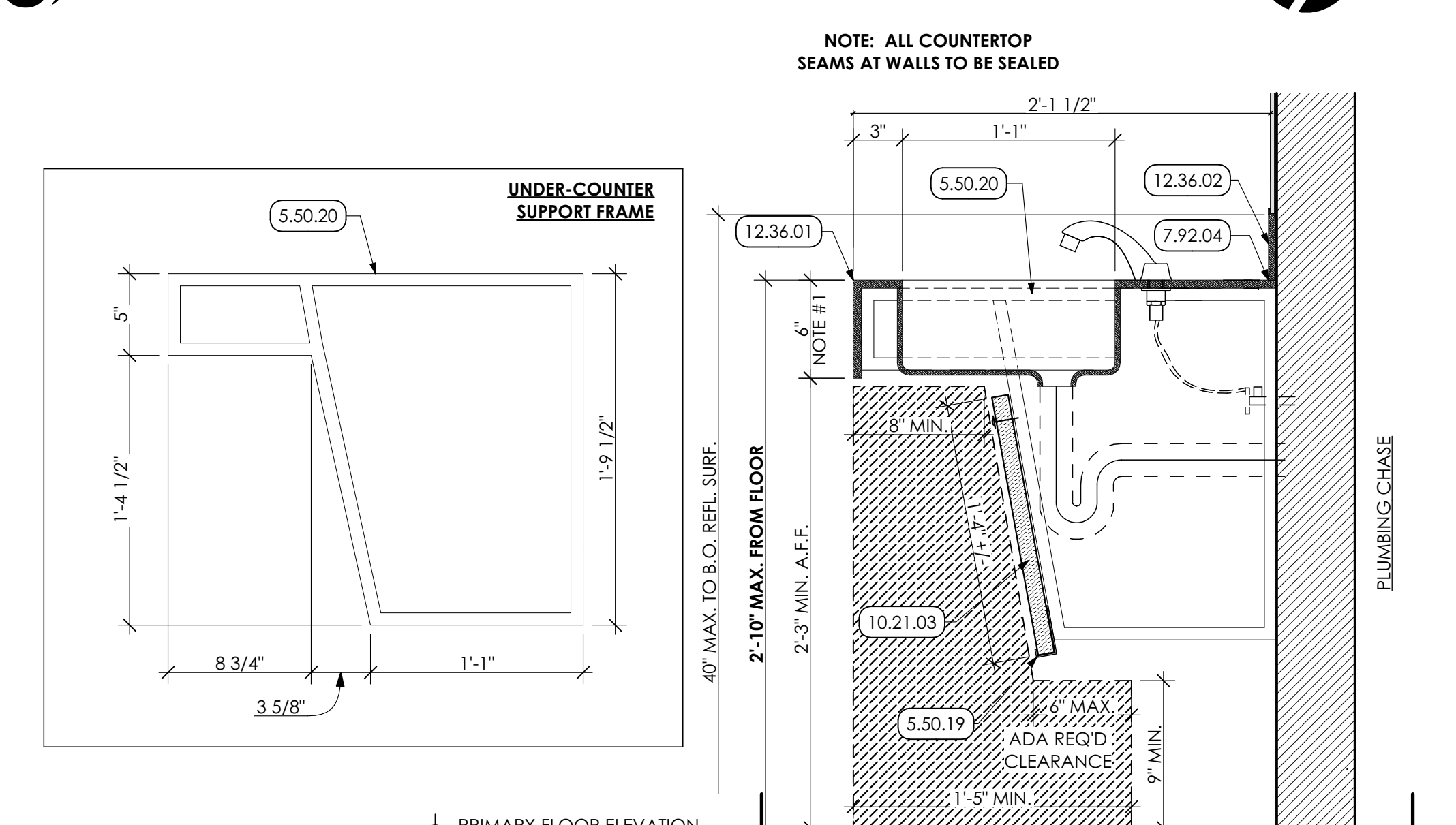
**10 CASEWORK ELEVATION**  
SCALE: 1/2" = 1'-0"



**11 ENLARGED BCCD WORK COUNTER PLAN**  
SCALE: 1/2" = 1'-0"



**12 ENLARGED WORK COUNTER PLAN**  
SCALE: 1/2" = 1'-0"



**13 LAVATORY DETAIL**  
SCALE: 1 1/2" = 1'-0"

- KEY NOTES**
- 02 DEMOLITION**
  - 2.01 EXISTING CONDITIONS**  
2.01.23 EXISTING COLUMN TO REMAIN.
  - 05 METALS**
  - 5.50 METAL FABRICATIONS | SPEC 055000 | SPEC 055213**  
5.50.02 UNDERCOUNTER METAL SUPPORT BRACKET. PROVIDE WOOD BLOCKING IN WALL AS REQUIRED.
  - 5.50.19 1230. CONTINUOUS ALUMINUM L-CHANNEL ATTACHED TO UNDER COUNTER SUPPORTS. SIZE TO ACCEPT 1" HDPE COVER PANEL.**
  - 5.50.20 1490. GALVANIZED STEEL COUNTERTOP SUPPORT. FABRICATE FROM 2" WIDE 1490. STEEL CHANNELS AND SECURELY BOLT (THREE LOCATIONS, EACH SUPPORT) TO STUDS OR BLOCKING IN WALL FRAME. PRIOR TO FABRICATION, COORDINATE FINAL DIMENSIONS w/ LAVATORY COUNTERTOP FABRICATOR AND IN-FIELD CONDITIONS. SUPPORT FRAME TO CONFORM TO ANSI 117.1 DIMENSIONAL REQUIREMENTS.**
  - 06 WOODS, PLASTICS AND COMPOSITES**
  - 6.10 ROUGH CARPENTRY | SPEC 061000**  
6.10.01 2" WOOD BLOCKING
  - 6.10.02 3/4" PLYWOOD BACKER PANEL FOR TV MOUNTING BRACKET.**
  - 07 THERMAL AND MOISTURE PROTECTION**
  - 7.92 JOINT SEALANTS | SPEC 079200**  
7.92.04 CONTINUOUS SEALANT WITH BACKER ROD
  - 09 FINISHES**
  - 9.65 RESILIENT BASE | SPEC 096513**  
9.65.01 4" HIGH RUBBER COVE BASE CONTINUOUS FOR PERIMETER OF ROOM OR CORRIDOR.
  - 10 SPECIALTIES**
  - 10.21 PHENOLIC-CORE TOILET COMPARTMENTS | SPEC 102113.17**  
10.21.03 1'-4" x 1" THICK HDPE PANEL SCREWED TO FACE OF UNDER COUNTER MOUNTING BRACKETS AND SET IN CONTINUOUS ALUMINUM J-CHANNEL. PROVIDE CONTINUOUS PANEL ALONG UNDERSIDE OF LAV COUNTER. PROVIDE STAINLESS STEEL SECURITY FASTENERS AND WASHERS AT EACH COUNTER SUPPORT.
  - 11 EQUIPMENT**
  - 11.01 EQUIPMENT | BY OWNER**  
11.01.02 MICROWAVE UNIT, BY OWNER.  
11.01.03 FLAT FILES, TWO (2) UNITS STACKED, PROVIDED BY OWNER.  
11.01.04 REFRIGERATOR, PROVIDED BY OWNER.
  - 12 FURNISHINGS**
  - 12.01 AV EQUIPMENT**  
12.01.01 WALL MOUNTED TELEVISION AND BRACKET PROVIDED BY AND INSTALLED BY OWNER.
  - 12.32 MANUFACTURED PLASTIC-LAMINATE-CLAD CASEWORK | SPEC 123216**  
12.32.02 MANUFACTURED BASE CABINET.  
12.32.03 MANUFACTURED WALL CABINET.  
12.32.05 FINISHED BACK PANEL.  
12.32.06 FINISHED END PANEL.
  - 12.36 QUARTZ AGGLOMERATE COUNTERTOPS | SPEC 123661.19**  
12.36.01 2 CM QUARTZ COUNTERTOP ON 3/4" PLYWOOD BACKER.  
12.36.02 2CM QUARTZ BACKSPLASH FOR LENGTH OF COUNTERTOP AND ADJACENT SIDEWALLS. 4" TYPICAL HEIGHT UNLESS NOTED OTHERWISE.
  - 22 PLUMBING | BY P.C.**  
22 WORK DESCRIBED IN THESE KEYNOTES IS THE RESPONSIBILITY OF THE P.C., UNLESS NOTED OTHERWISE. COORDINATE WITH PLUMBING DRAWING.
  - 22.42 COMMERCIAL PLUMBING FIXTURES**  
22.42.01 NEW ADA COMPLIANT SINK.

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PROJECT #:  
**22-0012**

PROFESSIONAL SEAL

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DATE: ISSUED 3/30/23

ID	DESCRIPTION	DATE

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DRAWN BY: DK, SG, BB, JS  
CLIENT PROJ #:

GRAPHIC SCALE  
1" = 1'-0"

BAR IS ONE (1) INCH LONG ON ORIGINAL DRAWING

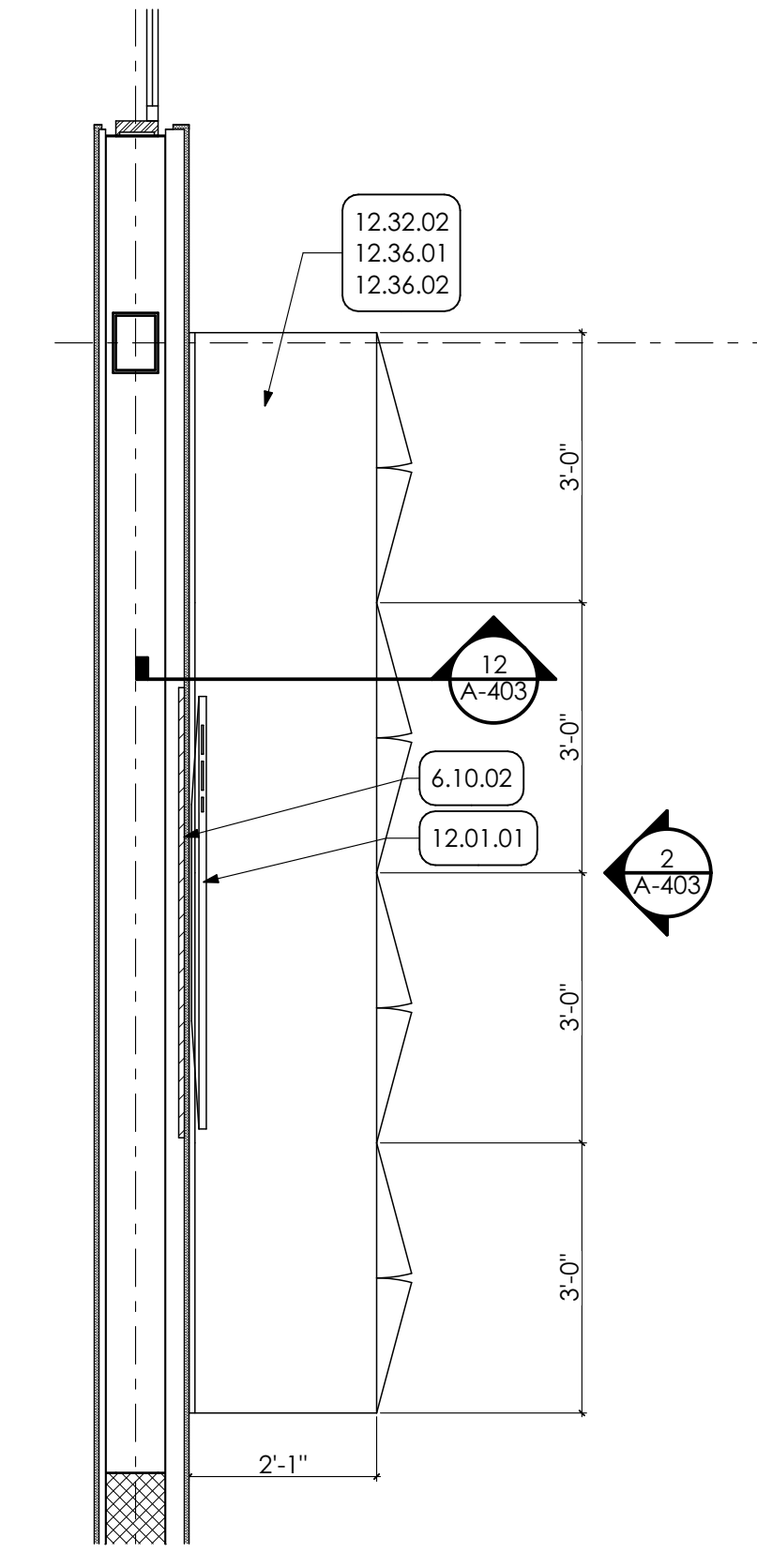
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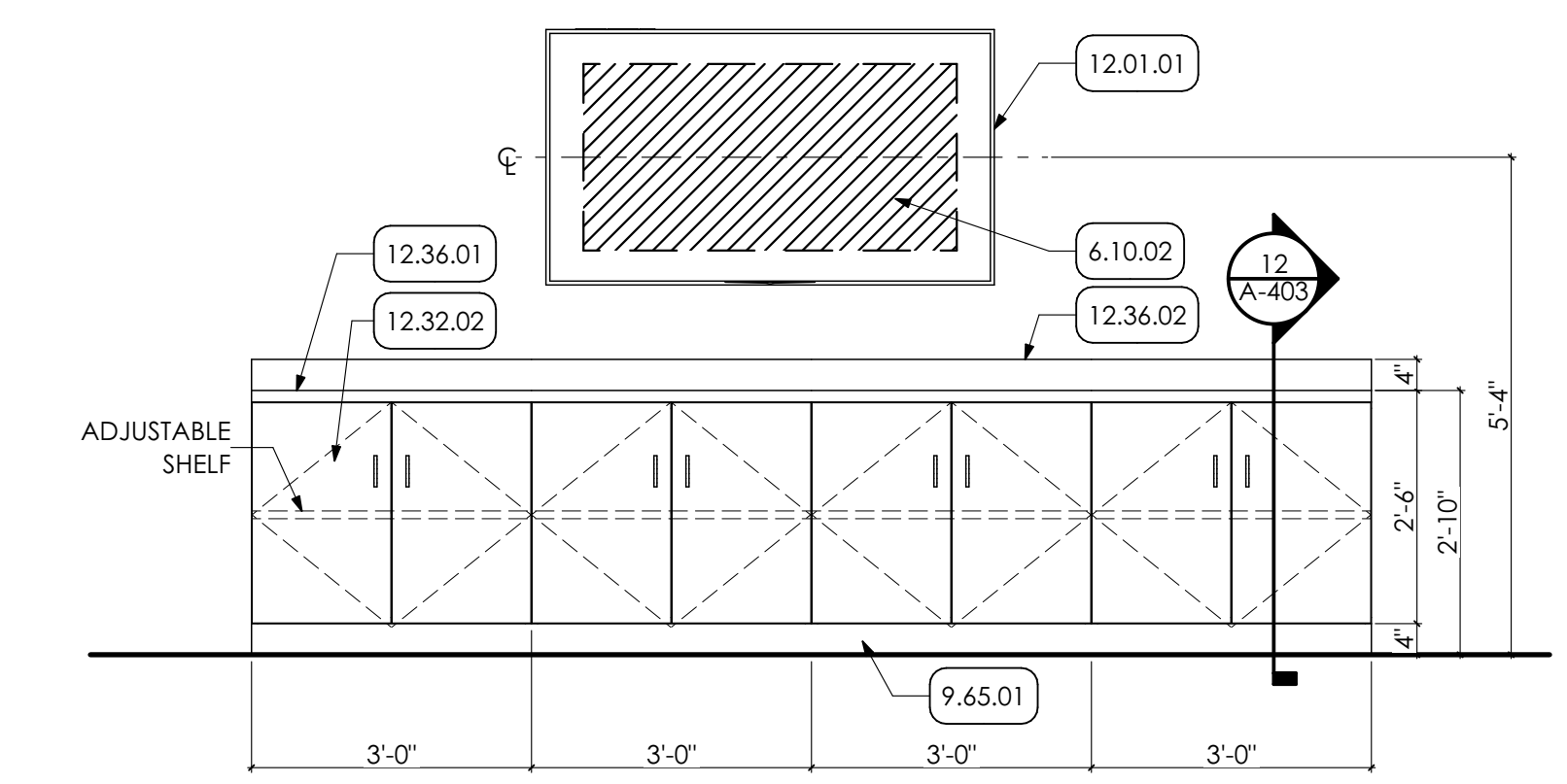
ENLARGED PLAN

A-402

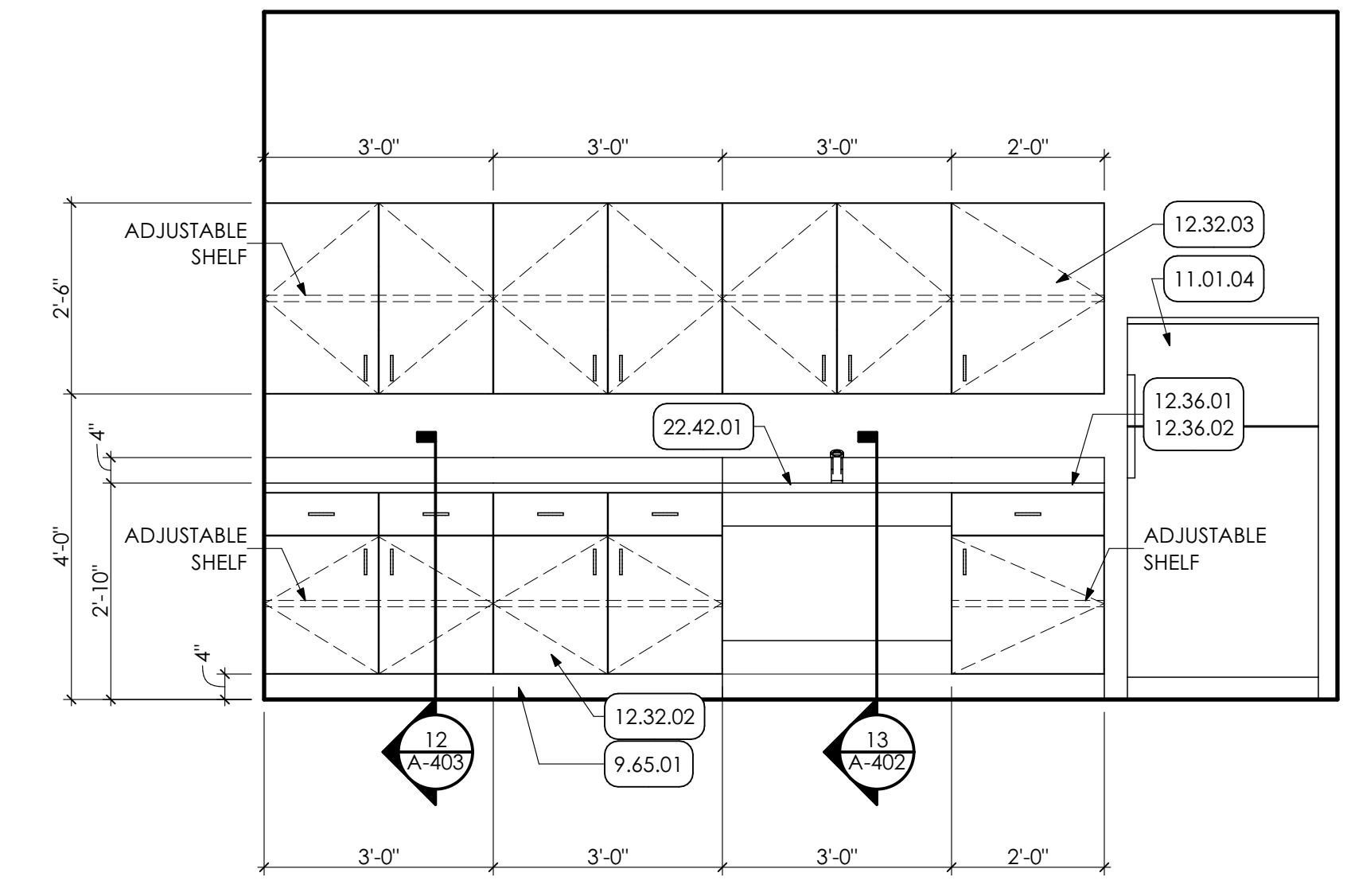




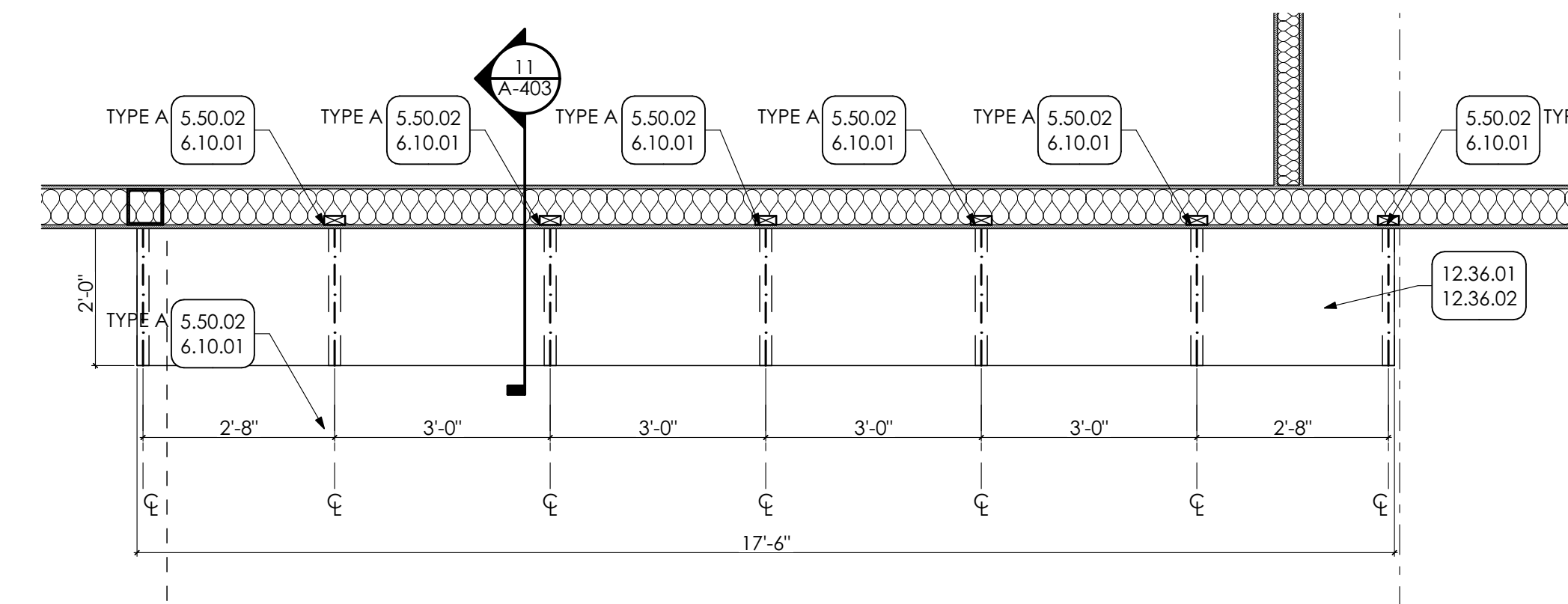
**1 ENLARGED CASEWORK PLAN**  
SCALE: 1/2" = 1'-0"



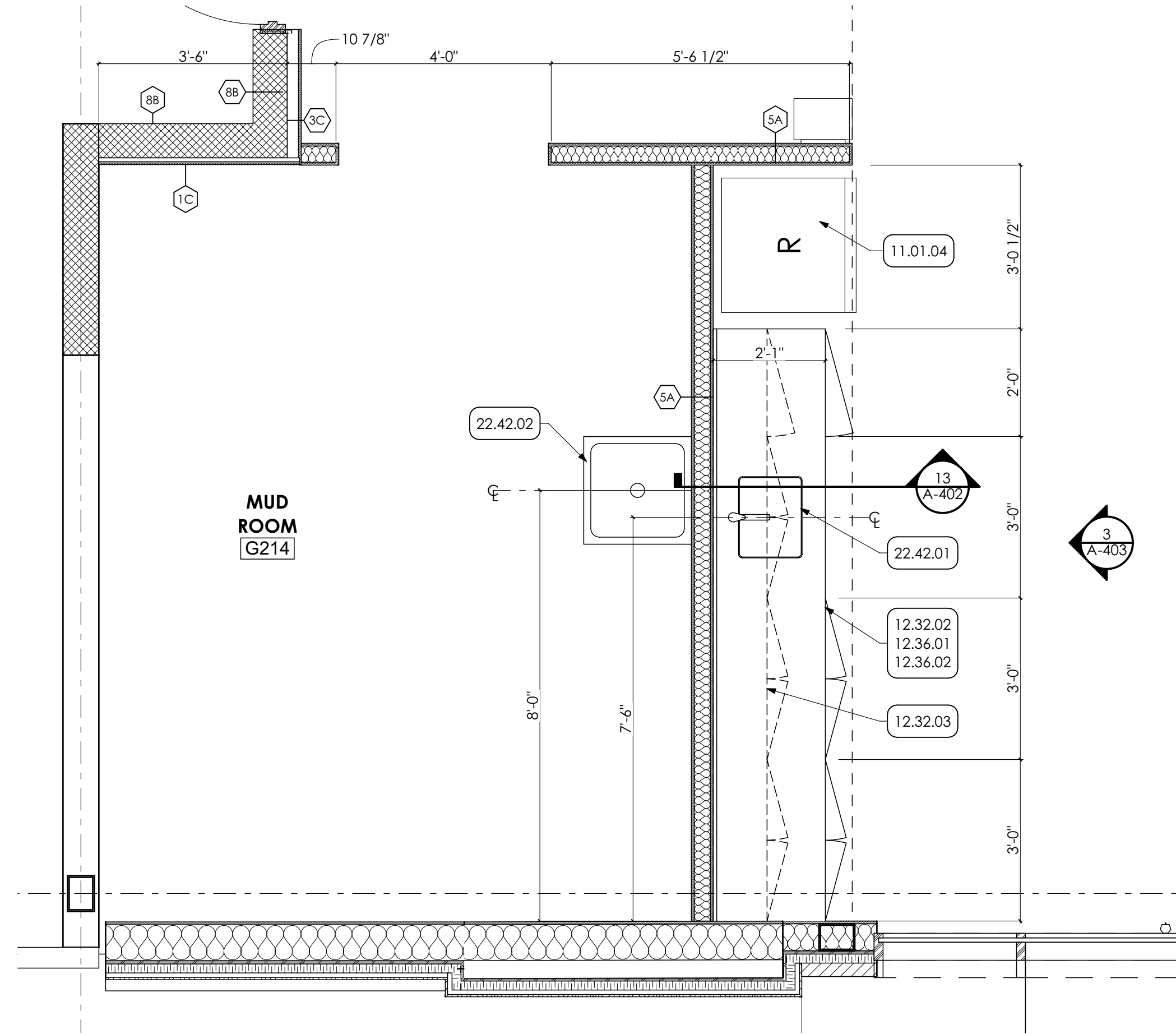
**2 LARGE MEETING ROOM ELEVATION**  
SCALE: 1/2" = 1'-0"



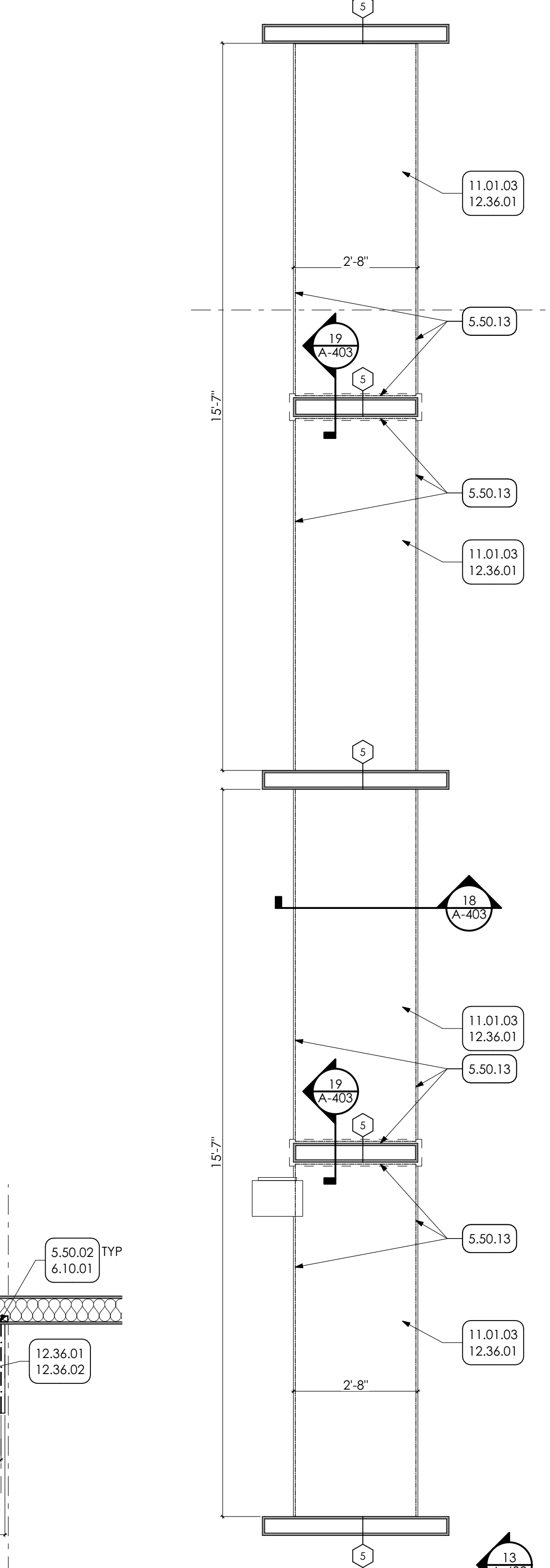
**3 ENLARGED KITCHENETTE ELEVATION**  
SCALE: 1/2" = 1'-0"



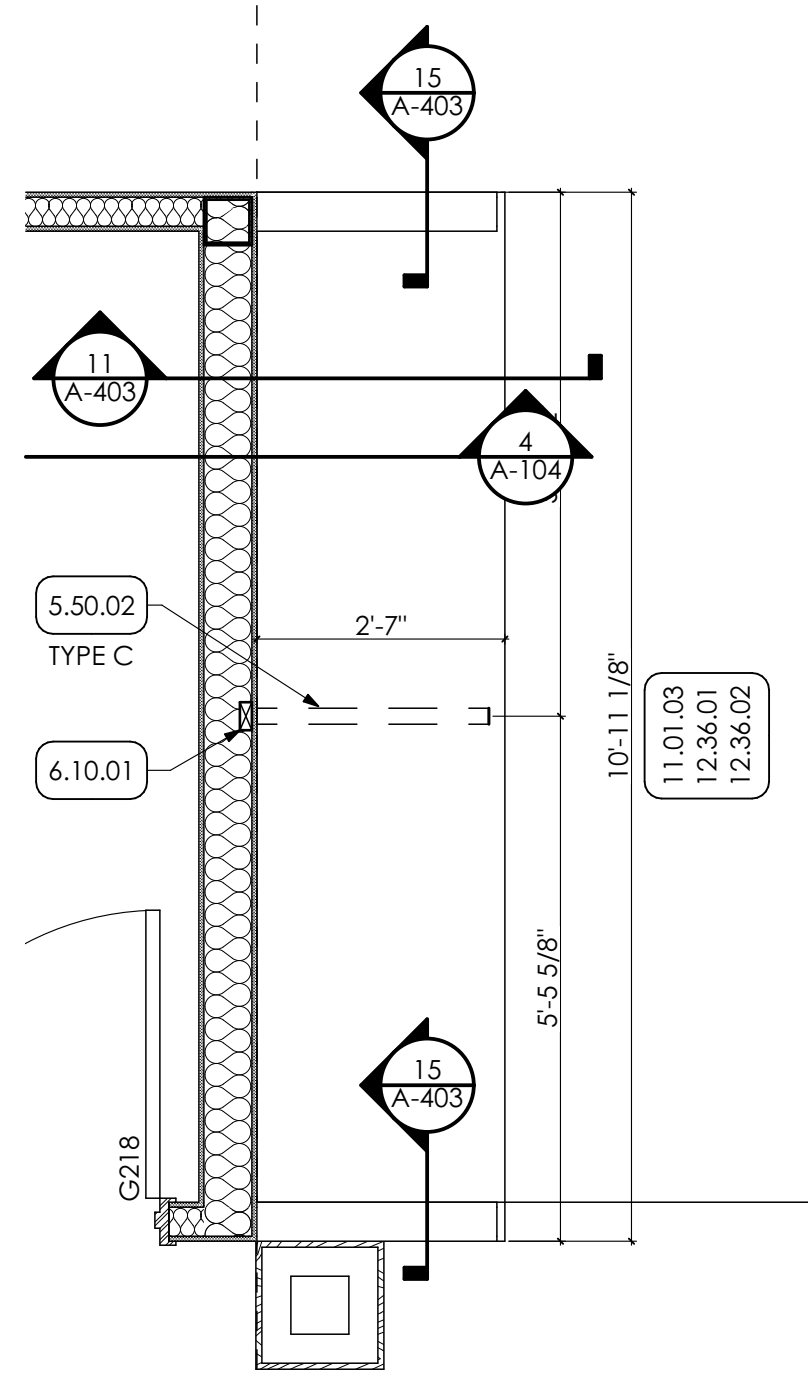
**4 ENLARGED WORK COUNTER PLAN**  
SCALE: 1/2" = 1'-0"



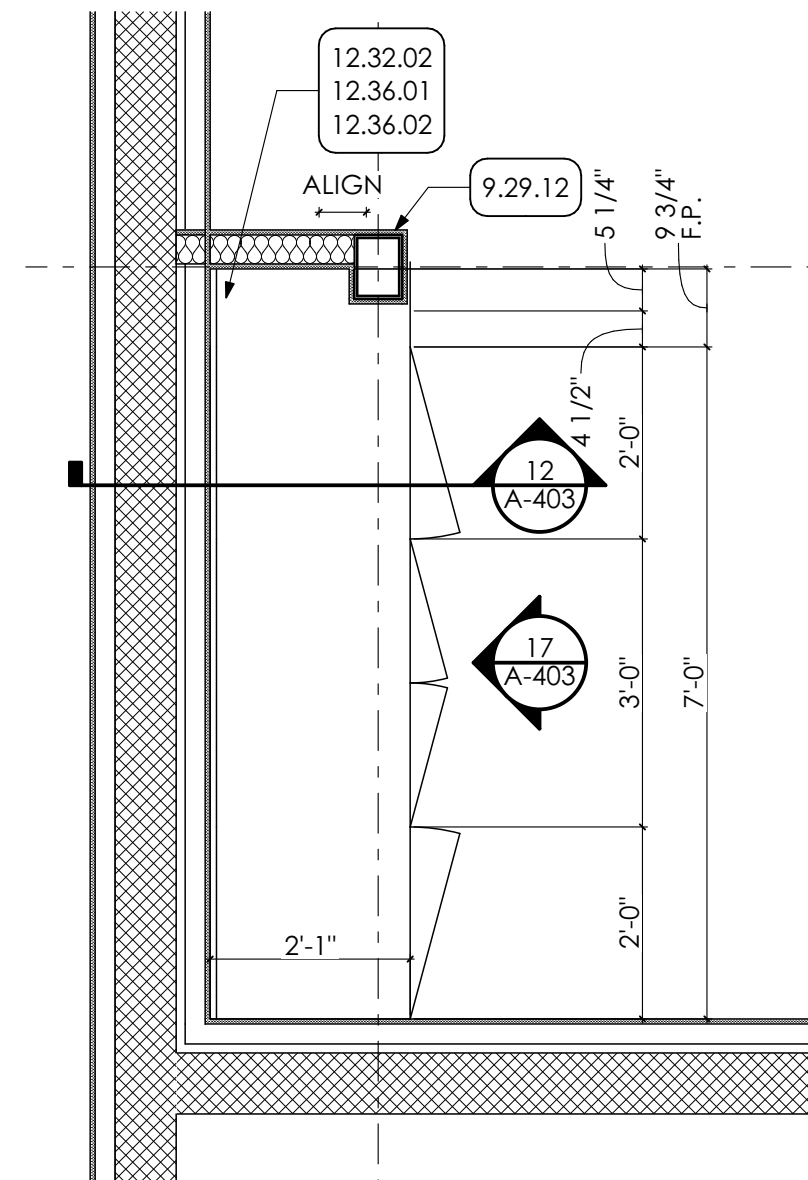
**5 ENLARGED KITCHENETTE PLAN**  
SCALE: 1/2" = 1'-0"



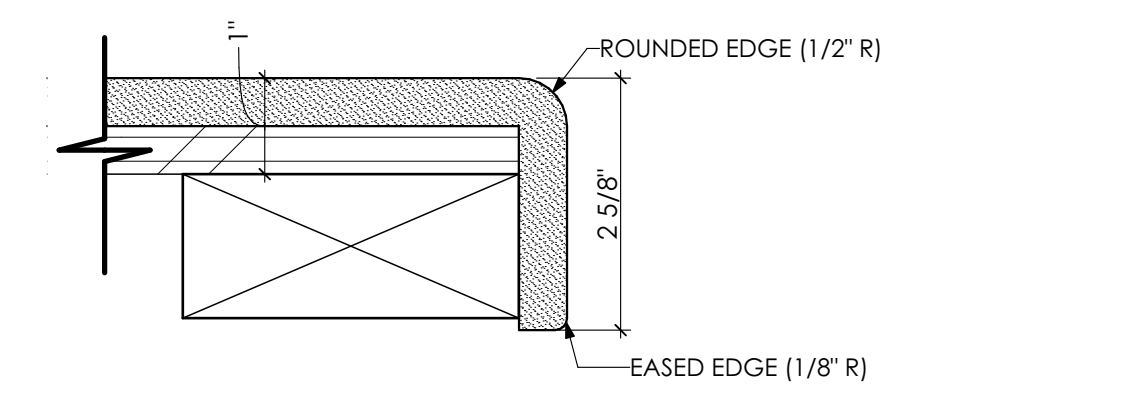
**6 ENLARGED PLAN**  
SCALE: 1/2" = 1'-0"



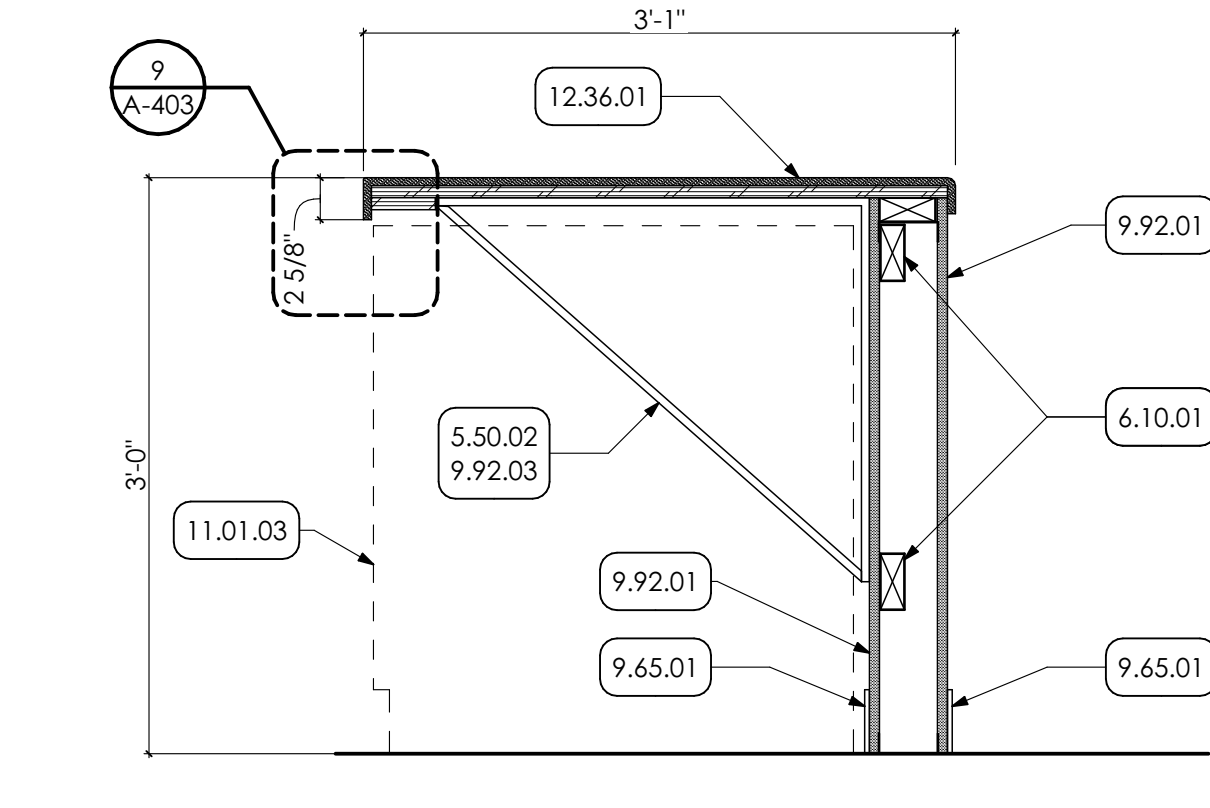
**7 ENLARGED PLAN**  
SCALE: 1/2" = 1'-0"



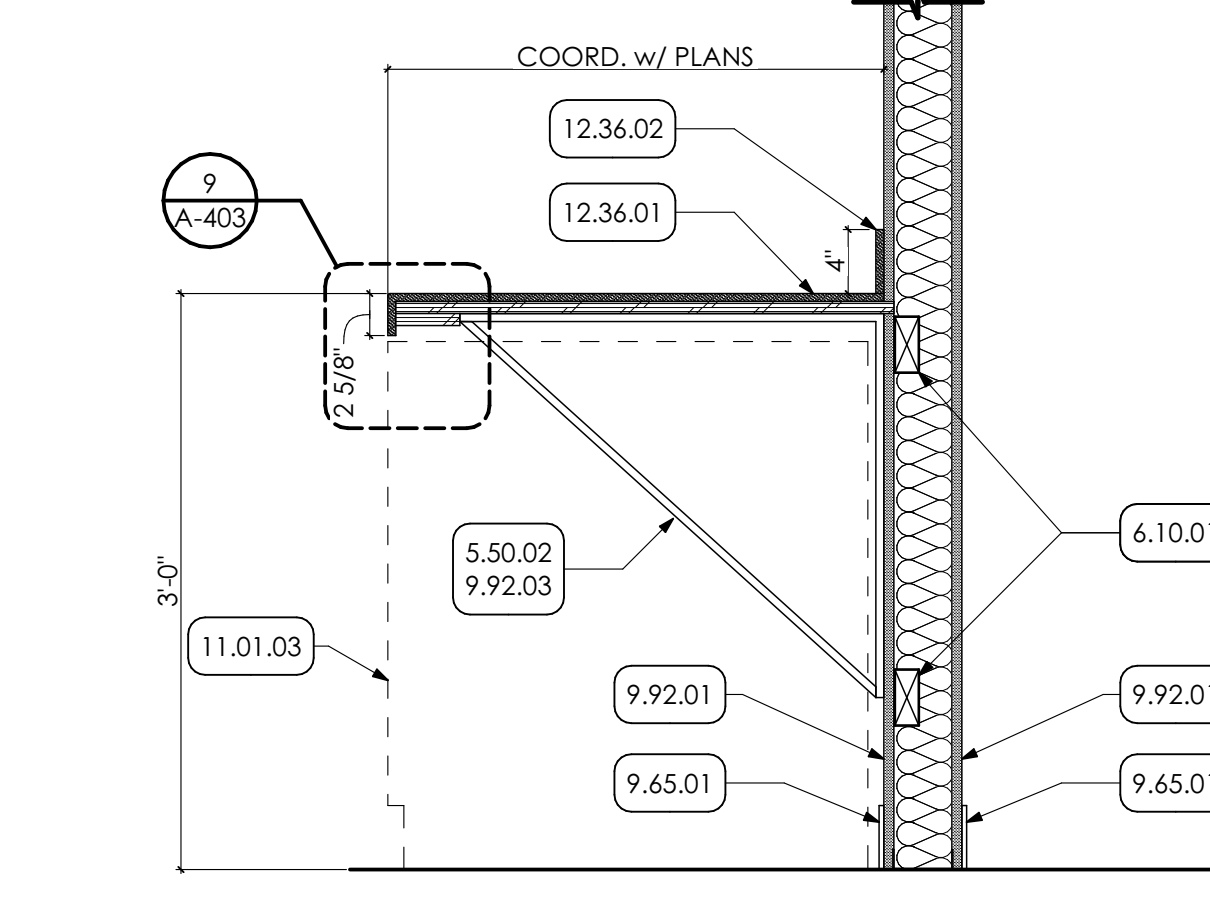
**8 ENLARGED PLAN**  
SCALE: 1/2" = 1'-0"



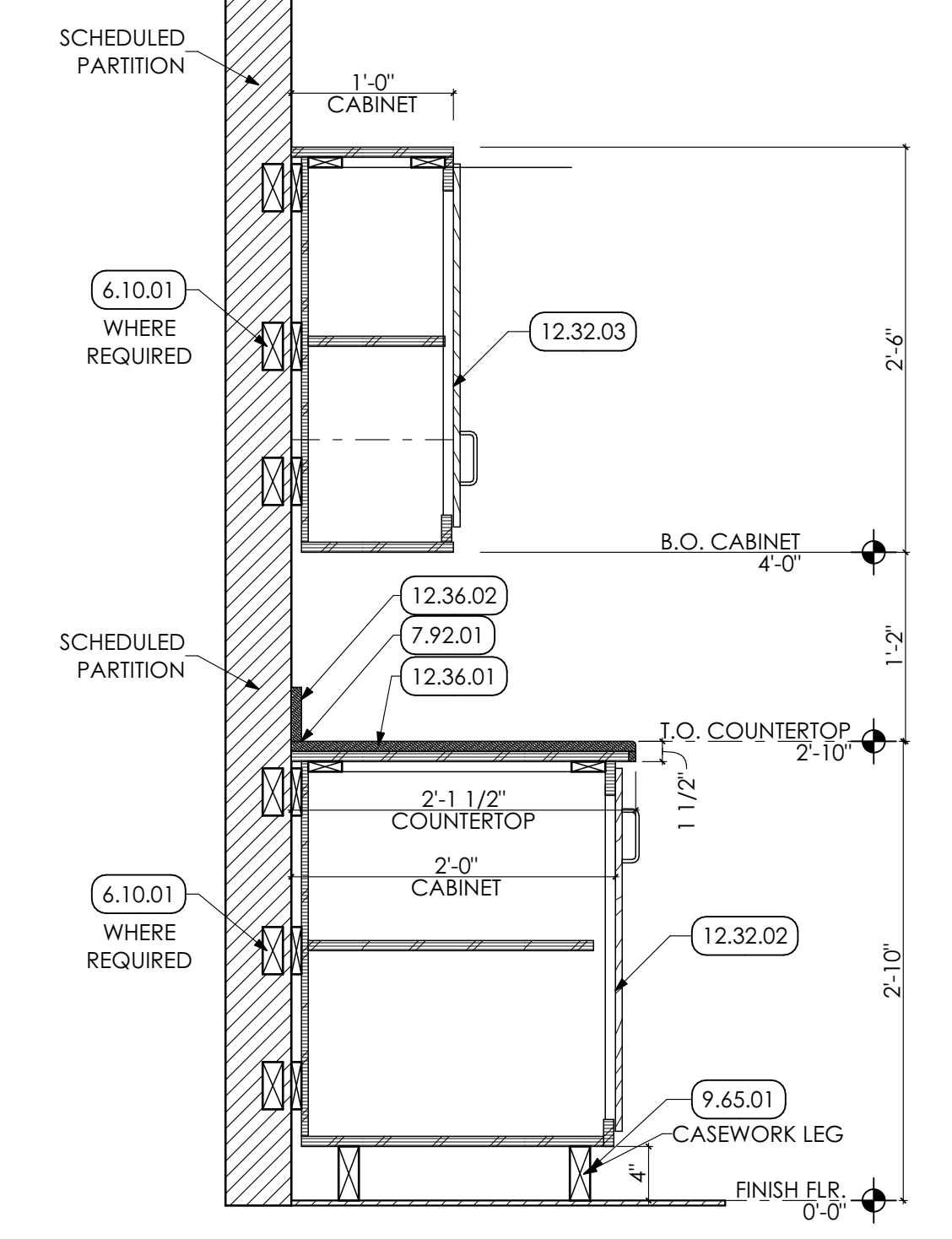
**9 TYPICAL WORK COUNTER EDGE DETAIL**  
SCALE: 6" = 1'-0"



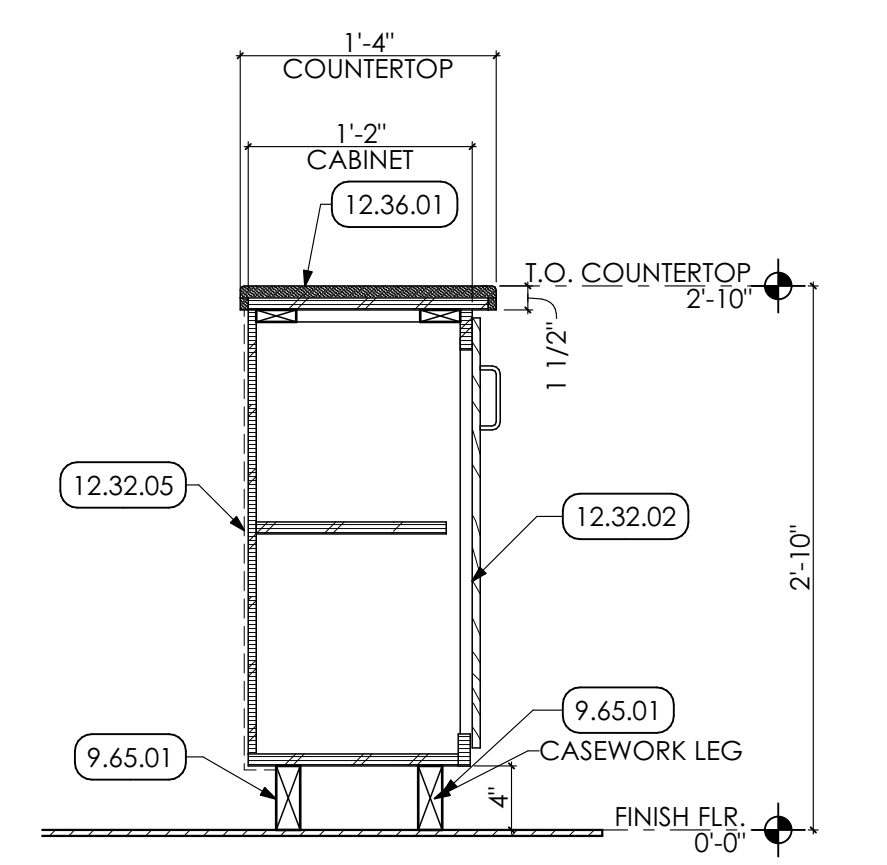
**10 COUNTER DETAIL**  
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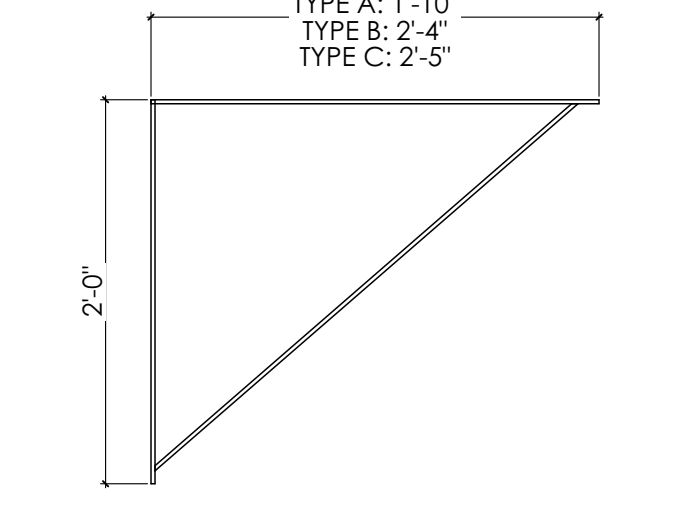
**11 COUNTER DETAIL**  
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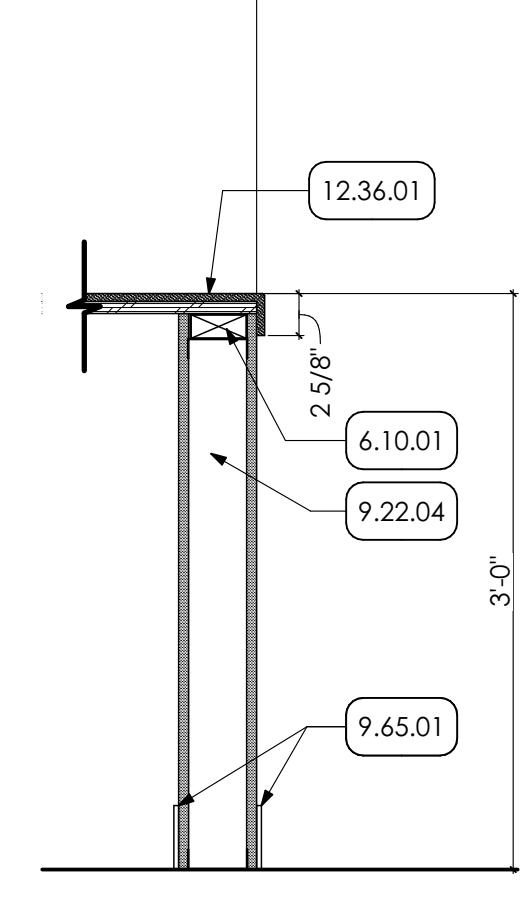
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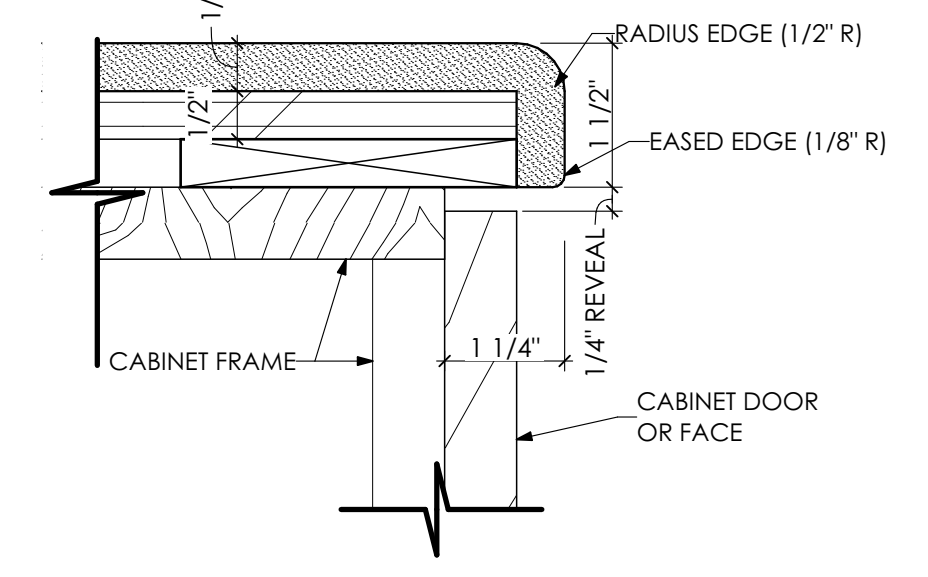
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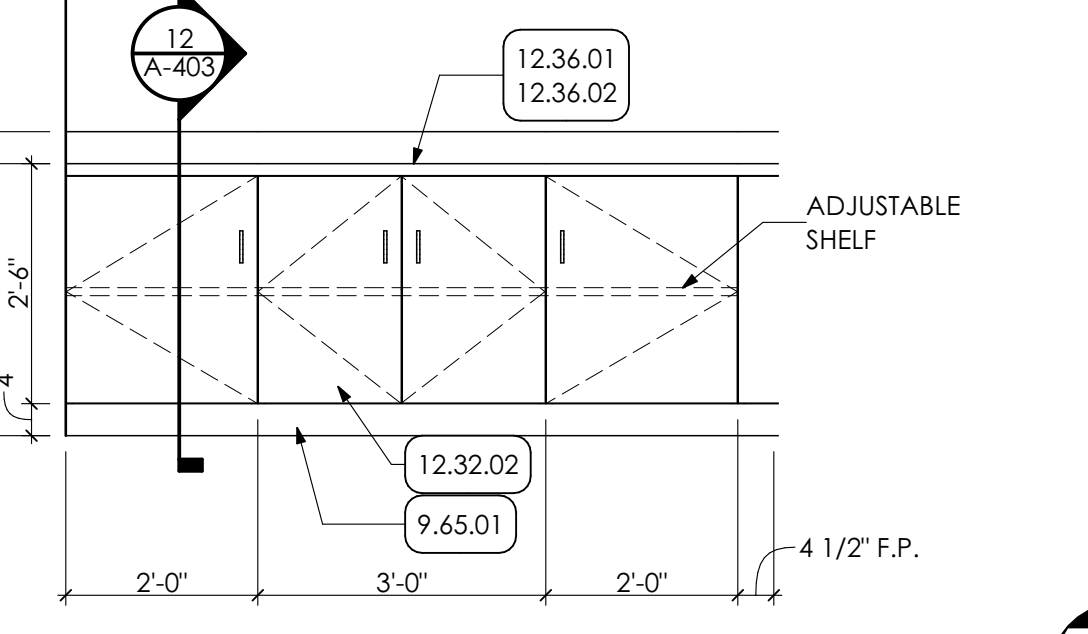
**14 BRACKET DETAIL**  
SCALE: 1" = 1'-0"



**15 COUNTER DETAIL**  
SCALE: 1" = 1'-0"



**16 TYPICAL COUNTERTOP EDGE DETAIL**  
SCALE: 6" = 1'-0"

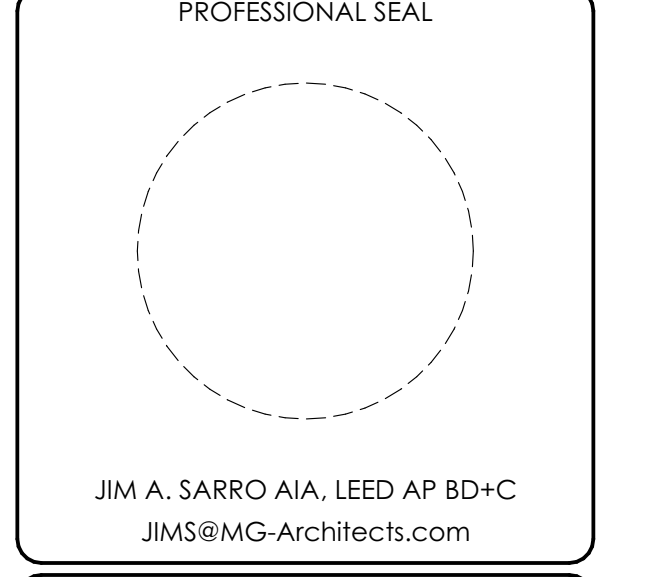


**17 FACILITIES MEETING ROOM**  
SCALE: 1/2" = 1'-0"

- KEY NOTES**
- 05 METALS**
    - 5.50 METAL FABRICATIONS | SPEC 055000 | SPEC 055213
    - 5.50.02 UNDERCOUNTER METAL SUPPORT BRACKET. PROVIDE WOOD BLOCKING IN WALL AS REQUIRED.
    - 5.50.13 2" x 2" x 1/4" STEEL ANGLE COUNTERTOP FRAMING.
  - 06 WOODS, PLASTICS AND COMPOSITES**
    - 6.10 ROUGH CARPENTRY | SPEC 061000
    - 6.10.01 2X WOOD BLOCKING
    - 6.10.02 3/4" PLYWOOD BACKER PANEL FOR TV MOUNTING BRACKET.
    - 6.10.05 1/2" PLYWOOD BLOCKING
  - 07 THERMAL AND MOISTURE PROTECTION**
    - 7.92 JOINT SEALANTS | SPEC 079200
    - 7.92.01 CONTINUOUS SEALANT
  - 09 FINISHES**
    - 9.22 NON-STRUCTURAL METAL FRAMING | SPEC 092216
    - 9.22.04 3 5/8" METAL STUD FRAMING AT 16" O.C.
    - 9.29 GYPSUM BOARD | SPEC 092900
    - 9.29.12 WRAP COLUMN IN 5/8" GYPSUM BOARD
    - 9.45 RESILIENT BASE | SPEC 094513
    - 9.65.01 4" HIGH RUBBER COVE-BASE CONTINUOUS FOR PERIMETER OF ROOM OR CORRIDOR.
    - 9.92 INTERIOR PAINTING | SPEC 099123
    - 9.92.01 PREP. PRIME PAINT (TWO (2) COATS) ALL WALLS IN ROOM. UNLESS SPECIFIC WALLS NOTED OTHERWISE. PAINT ENTIRE WALL INCLUDING EXPOSED CONDUIT, FROM FLOOR TO 4" ABOVE NEW CEILING GRID OR TO ROOF DECK IN AREAS OF OPEN CEILINGS.
    - 9.92.03 PREP. PRIME PAINT (TWO (2) COATS) ENTIRE BRACKET.
  - 11 EQUIPMENT**
    - 11.01 EQUIPMENT BY OWNER
    - 11.01.03 FLAT FILES, TWO (2) UNITS STACKED, PROVIDED BY OWNER. REFRIGERATOR, PROVIDED BY OWNER.
    - 11.01.04
  - 12 FURNISHINGS**
    - 12.01 AV EQUIPMENT
    - 12.01.01 WALL MOUNTED TELEVISION AND BRACKET PROVIDED BY AND INSTALLED BY OWNER.
    - 12.32 MANUFACTURED PLASTIC-LAMINATE-CLAD CASEWORK | SPEC 123216
    - 12.32.02 MANUFACTURED BASE CABINET.
    - 12.32.03 MANUFACTURED WALL CABINET
    - 12.32.05 FINISHED BACK PANEL.
    - 12.36 QUARTZ AGGLOMERATE COUNTERTOPS | SPEC 123661.19
    - 12.36.01 2 CM QUARTZ COUNTERTOP ON 3/4" PLYWOOD BACKER.
    - 12.36.02 2CM QUARTZ BACKSPLASH FOR LENGTH OF COUNTERTOP AND ADJACENT SIDEWALLS: 4" TYPICAL HEIGHT UNLESS NOTED OTHERWISE.
    - 12.36.04 QUARTZ WALL CAP FOR LENGTH OF WALL.
    - 12.36.05 QUARTZ WALL TRIM FOR LENGTH OF WALL.
  - 22 PLUMBING | BY P.C.**
    - 22 WORK DESCRIBED IN THESE KEYNOTES IS THE RESPONSIBILITY OF THE P.C. UNLESS NOTED OTHERWISE. COORDINATE WITH PLUMBING DRAWING.
    - 22.42 COMMERCIAL PLUMBING FIXTURES
    - 22.42.01 NEW ADA COMPLIANT SINK.
    - 22.42.02 NEW UTILITY SINK.



PROJECT #:  
**22-0012**



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1238 COUNTY WELFARE ROAD LEESPORT, PA 19533

**GENERAL SHEET NOTES:**

1. ALL FILLER PANELS (F.P.) TO BE 2" MINIMUM. UNLESS NOTED OTHERWISE.
2. GC TO COORDINATE W/ OWNER'S FURNITURE VENDOR TO CONFIRM / COORDINATE SIZES OF OWNER PROVIDED ITEMS, INCLUDING, BUT NOT LIMITED TO, THOSE ITEMS LOCATED UNDER THE COUNTERTOP.

ISSUED		
ID	DESCRIPTION	DATE

PROJ. MGR.: JIM SARRO  
P.M. e-MAIL: JIMS@MG-Architects.com  
DRAWN BY: DK, SG, BB, JS  
CLIENT PROJ #:

GRAPHIC SCALE  
1" = 1'-0"  
0 1 2 3 4 5 6 7 8 9 10  
BAR IS ONE (1) INCH LONG ON ORIGINAL DRAWING

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SHEET TITLE:  
**ENLARGED PLANS, ELEVATIONS, AND DETAILS**

**A-403**