READING MUHLENBERG CAREER & TECHNOLOGY CENTER PROGRAM UPGRADES

READING, PA 19604 2615 WARREN ROAD







PROJECT DIRECTORY

<u>OWNER</u> READING MUHLENBERG CAREER & TECHNOLOGY CENTER STACKHOUSE BENSINGER 2615 WARREN ROAD READING PA 19604 CONTACT: CHAD HEFFNER PHONE: 610.921.7300 EMAIL: CHEFFNER@rmctc.org ARCHITECT

MUHLENBERG/GREENE ARCHITECTS LTD. 955 BERKSHIRE BLVD. SUITE 101 WYOMISSING PA 19610 PHONE: 610.376.4927 FAX: 610.376.0720 CONTACT: JAMES A. SARRO AIA, LEED AP+ EMAIL: JimS@MG-Architects.com



GENERAL NOTES

- 1. EACH PRIME CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK OR PURCHASING ANY MATERIALS. VERIFY LAYOUT IN RELATION TO PROPERTY LINES, BENCH MARKS, OR OTHER FIXED CONDITIONS AND REPORT DISCREPANCIES TO ARCHITECT IMMEDIATELY UPON DISCOVERY.
- 2. NOTIFY ARCHITECT OF DISCREPANCIES REGARDING THE CONTRACT DOCUMENTS OR DESIGN INTENT IMMEDIATELY UPON DISCOVERY. EACH PRIME CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK.
- 3. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE WORK SITE IN A CLEAN AND ORDERLY MANNER AND ALLOW FOR SAFE USE OF PREMISES BY THE OWNER AND VISITORS.
- 4. EACH PRIME CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SITE SAFETY, EROSION AND SEDIMENTATION CONTROL, AND COORDINATING WITH THE WORK OF OTHER TRADES.
- 5. GENERAL CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE SCHOOL PRIOR TO PROCEEDING WITH THE WORK.
- 6. ALL REFUSE SHALL BE THE RESPONSIBILITY OF EACH PRIME CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- 7. SKILLED WORKERS: EACH PRIME CONTRACTOR SHALL PROVIDE WORKERS EXPERIENCED IN THE TRADES AND ACTIVITIES TO BE PERFORMED AND BE FAMILIAR WITH THE PRODUCTS, MATERIALS, AND FINISHES INVOLVED IN THE SCOPE OF WORK OF THIS PROJECT.
- 8. EACH PRIME CONTRACTOR SHALL PATCH ALL DISTURBED AREAS TO MATCH EXISTING, AND REPAIR OR REPLACE ANY DAMAGE TO THE SITE CAUSED BY CONSTRUCTION.
- 9. GENERAL CONTRACTOR SHALL PLAN THE SCHEDULE OF ACTIVITIES TO MAINTAIN THE SECURITY OF THE BUILDING THROUGHOUT THE CONSTRUCTION PROCESS. GENERAL CONTRACTOR SHALL LOCK AND SECURE PROJECT AREA AT THE END OF EACH WORK DAY.
- 10. GENERAL CONTRACTOR TO ENSURE THAT ALL WORK AREAS, INCLUDING THOSE ON ROOFS, SHALL BE IN COMPLIANCE WITH OSHA STANDARDS AND REQUIREMENTS, INCLUDING ANY FLAGGING, TIE-OFFS, AND TEMPORARY BARRIERS.
- 11. THE SCHOOL RESERVES THE RIGHT TO KEEP ANY ITEMS REMOVED AS SCHEDULED IN THE DOCUMENTS FOR REMOVAL

PROPOSED PROJECT SCHEDULE

- 1. 8/1/22: START WORK ON WELDING BUILDING
- 2. 5/1/22: WELDING BUILDING AVAILABLE TO MOVE EQUIPMENT INTO.
- 3. 6/7/22: (OR AFTER LAST DAY FOR STUDENTS) START WORK ON 3D FABRICATION.
- 4. 8/1/23: 3D FABRICATION AVAILABLE TO MOVE EQUIPMENT INTO.
- 5. 8/14/23: ALL WORK COMPLETE.
- 6. SCHEDULE IS BEING PROVIDED FOR INFORMATION ONLY AND IS SUBJECT TO CHANGE.

PROJECT DRAWING LIST GENERAL & CODE INEO

A-001	
4,000	
A-002	
<u> </u>	
C-3.1	LAND DEVELOPMENT AND LANDSCAPE
C-4.1	GRADE & UTILITY
C-5.1	PROFILES
<u> </u>	
	EROSION AND SEDIMENT CONTROL (E & SC) PLAN
C-ESC2	E AND SC PLAN DETAILS
C-POSTDA	POST-CONSTRUCTION DRAINAGE AREA PLAN
SITE PLAN & D	TAILS
AS-101	PHASING PLAN
AS-102	OVERALL CAMPUS SITE PLAN
AS-103	ARCHITECTURAL SITE PLAN AND DETAILS
STRUCTURAL D	RAWINGS
S-001	GENERAL NOTES
S-101	FOUNDATION AND HIGH WINDOW PLANS
<u>S-200</u>	
<u> </u>	
<u> </u>	SECTIONS AND DETAILS
<u> </u>	SECTIONS
S-303	SECTIONS
S-304	SECTIONS
PLANS	
A-101	PARTITION PLANS AND DETAILS
A-102	FLOOR PLANS
A-103	
A-104	
A-111	FLOOR PLANS
A-112	EQUIPMENT PLAN
ELEVATIONS	
A-201	EXTERIOR ELEVATIONS
SECTIONS	
A-301	Building Sections
A-302	WALL SECTIONS AND DETAILS
A-303	WALL SECTIONS AND DETAILS
A-304	WALL SECTIONS AND DETAILS
A-305	
A-306	WALL SECTIONS AND DETAILS
A-311	STAIR AND RAMP SECTIONS
ENLARGED PL	ANS
A-401	ENLARGED PLANS AND ELEVATIONS
A-402	INTERIOR ELEVATIONS
A-403	INTERIOR ELEVEATIONS
A-410	
A-411	
DEIAILS	
A-501	
A-502 A-503	DETAILS
A-504	DETAILS
A-505	SECTION DETAILS
SCHEDULES &	DIAGRAMS
A-601	SCHEDULES
A-602	DOOR DETAILS
A-603	PARTITION TYPE AND DETAILS
FINISH PLANS	
A-701	REFLECTED CEILING PLAN AND ROOF PLAN
A-710	REFLECTED CEILING PLAN
A-710	REFLECTED CEILING PLAN
A-710 FIRE PROTECTION FP-101 FP-100	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION
A-710 FIRE PROTECTION FP-101 FP-102 FP-103	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION FLOOR PLAN FIRE PROTECTION METZANINE PLAN FIRE PROTECTION
A-710 FIRE PROTECTION FP-101 FP-102 FP-103 PLUMBING DP	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION FLOOR PLAN FIRE PROTECTION MEZZANINE PLAN FIRE PROTECTION
A-710 FIRE PROTECTION FP-101 FP-102 FP-103 PLUMBING DR. PLUMBING DR.	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION FLOOR PLAN FIRE PROTECTION MEZZANINE PLAN FIRE PROTECTION AWINGS SITE PLAN PLUMARING
A-710 FIRE PROTECTION FP-101 FP-102 FP-103 PLUMBING DR P-100 P-101	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION FLOOR PLAN FIRE PROTECTION MEZZANINE PLAN FIRE PROTECTION AWINGS SITE PLAN PLUMBING FLOOR PLAN PLUMBING
A-710 FIRE PROTECTION FP-101 FP-102 FP-103 PLUMBING DR P-100 P-101 P-102	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION FLOOR PLAN FIRE PROTECTION MEZZANINE PLAN FIRE PROTECTION AWINGS SITE PLAN PLUMBING FLOOR PLAN PLUMBING FLOOR AND MEZZANINE PLANS PLUMBING DEMO
A-710 FIRE PROTECTION FP-101 FP-102 FP-103 PLUMBING DR P-100 P-101 P-102 P-103	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION FLOOR PLAN FIRE PROTECTION MEZZANINE PLAN FIRE PROTECTION AWINGS SITE PLAN PLUMBING FLOOR PLAN PLUMBING FLOOR AND MEZZANINE PLANS PLUMBING DEMO FLOOR AND MEZZANINE PLANS PLUMBING
A-710 FIRE PROTECTION FP-101 FP-102 FP-103 PLUMBING DR P-100 P-101 P-102 P-103 P-104	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION FLOOR PLAN FIRE PROTECTION MEZZANINE PLAN FIRE PROTECTION AWINGS SITE PLAN PLUMBING FLOOR PLAN PLUMBING FLOOR AND MEZZANINE PLANS PLUMBING DEMO FLOOR AND MEZZANINE PLANS PLUMBING MEZZANINE PLAN PLUMBING
A-710 FIRE PROTECTION FP-101 FP-102 FP-103 PLUMBING DR P-100 P-101 P-102 P-103 P-104 P-201 P.201	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION FLOOR PLAN FIRE PROTECTION MEZZANINE PLAN FIRE PROTECTION AWINGS SITE PLAN PLUMBING FLOOR PLAN PLUMBING FLOOR AND MEZZANINE PLANS PLUMBING DEMO FLOOR AND MEZZANINE PLANS PLUMBING MEZZANINE PLAN PLUMBING PLUMBING LEGEND, SCHEDULES AND DETAILS - SHEET 1 PLUMBING DETAILS SUFEED
A-710 FIRE PROTECTION FP-101 FP-102 FP-103 PLUMBING DRA P-100 P-101 P-102 P-103 P-104 P-201 P-202 P-202	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION FLOOR PLAN FIRE PROTECTION MEZZANINE PLAN FIRE PROTECTION AWINGS SITE PLAN PLUMBING FLOOR PLAN PLUMBING FLOOR AND MEZZANINE PLANS PLUMBING DEMO FLOOR AND MEZZANINE PLANS PLUMBING MEZZANINE PLAN PLUMBING PLUMBING LEGEND, SCHEDULES AND DETAILS - SHEET 1 PLUMBING DETAILS SHEET 2
A-710 FIRE PROTECTION FP-101 FP-102 FP-103 PLUMBING DR P-100 P-101 P-102 P-103 P-104 P-201 P-202 MECHANICAL	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION FLOOR PLAN FIRE PROTECTION MEZZANINE PLAN FIRE PROTECTION AWINGS SITE PLAN PLUMBING FLOOR PLAN PLUMBING FLOOR AND MEZZANINE PLANS PLUMBING DEMO FLOOR AND MEZZANINE PLANS PLUMBING MEZZANINE PLAN PLUMBING PLUMBING LEGEND, SCHEDULES AND DETAILS - SHEET 1 PLUMBING DETAILS SHEET 2 DRAWINGS
A-710 FIRE PROTECTION FP-101 FP-102 FP-103 PLUMBING DR P-100 P-101 P-102 P-103 P-104 P-201 P-202 MECHANICAL H-101 H-101	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION FLOOR PLAN FIRE PROTECTION MEZZANINE PLAN FIRE PROTECTION AWINGS SITE PLAN PLUMBING FLOOR PLAN PLUMBING FLOOR AND MEZZANINE PLANS PLUMBING DEMO FLOOR AND MEZZANINE PLANS PLUMBING MEZZANINE PLAN PLUMBING PLUMBING LEGEND, SCHEDULES AND DETAILS - SHEET 1 PLUMBING DETAILS SHEET 2 DRAWINGS FLOOR AND MEZZANINE PLANS HVAC
A-710 FIRE PROTECTION FP-101 FP-102 FP-103 PLUMBING DRA P-100 P-101 P-102 P-103 P-104 P-201 P-202 MECHANICAL H-101 H-102 H-103	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION FLOOR PLAN FIRE PROTECTION MEZZANINE PLAN FIRE PROTECTION AWINGS SITE PLAN PLUMBING FLOOR PLAN PLUMBING FLOOR AND MEZZANINE PLANS PLUMBING DEMO FLOOR AND MEZZANINE PLANS PLUMBING MEZZANINE PLAN PLUMBING PLUMBING LEGEND, SCHEDULES AND DETAILS - SHEET 1 PLUMBING DETAILS SHEET 2 DRAWINGS FLOOR AND MEZZANINE PLANS HVAC ROOF PLAN HVAC FLOOR AND MEZZANINE PLANS HVAC DEMOLITION
A-710 FIRE PROTECTION FP-101 FP-102 FP-103 P-100 P-101 P-102 P-103 P-104 P-201 P-202 MECHANICAL H-101 H-102 H-103 H-104	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION FLOOR PLAN FIRE PROTECTION MEZZANINE PLAN FIRE PROTECTION AWINGS SITE PLAN PLUMBING FLOOR PLAN PLUMBING FLOOR AND MEZZANINE PLANS PLUMBING DEMO FLOOR AND MEZZANINE PLANS PLUMBING MEZZANINE PLAN PLUMBING PLUMBING LEGEND, SCHEDULES AND DETAILS - SHEET 1 PLUMBING DETAILS SHEET 2 DRAWINGS FLOOR AND MEZZANINE PLANS HVAC ROOF PLAN HVAC FLOOR AND MEZZANINE PLANS HVAC DEMOLITION FLOOR AND MEZZANINE PLANS HVAC DEMOLITION
A-710 FIRE PROTECTION FP-101 FP-102 FP-103 PLUMBING DR P-100 P-101 P-102 P-103 P-104 P-201 P-202 MECHANICAL H-101 H-102 H-103 H-104 H-104 H-105	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION FLOOR PLAN FIRE PROTECTION MEZZANINE PLAN FIRE PROTECTION AWINGS SITE PLAN PLUMBING FLOOR AND MEZZANINE PLANS PLUMBING DEMO FLOOR AND MEZZANINE PLANS PLUMBING MEZZANINE PLAN PLUMBING PLUMBING LEGEND, SCHEDULES AND DETAILS - SHEET 1 PLUMBING DETAILS SHEET 2 DRAWINGS FLOOR AND MEZZANINE PLANS HVAC ROOF PLAN HVAC FLOOR AND MEZZANINE PLANS HVAC DEMOLITION FLOOR AND MEZZANINE PLANS HVAC DEMOLITION FLOOR AND MEZZANINE PLANS HVAC
A-710 FIRE PROTECTION FP-101 FP-102 FP-103 PLUMBING DRA P-100 P-101 P-102 P-103 P-104 P-201 P-202 MECHANICAL H-101 H-102 H-103 H-104 H-105 H-501	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION FLOOR PLAN FIRE PROTECTION MEZZANINE PLAN FIRE PROTECTION AWINGS SITE PLAN PLUMBING FLOOR PLAN PLUMBING FLOOR AND MEZZANINE PLANS PLUMBING DEMO FLOOR AND MEZZANINE PLANS PLUMBING MEZZANINE PLAN PLUMBING PLUMBING LEGEND, SCHEDULES AND DETAILS - SHEET 1 PLUMBING DETAILS SHEET 2 DRAWINGS FLOOR AND MEZZANINE PLANS HVAC ROOF PLAN HVAC FLOOR AND MEZZANINE PLANS HVAC DEMOLITION FLOOR AND MEZZANINE PLANS HVAC DEMOLITION
A-710 FIRE PROTECTION FP-101 FP-102 FP-103 PLUMBING DRA P-100 P-101 P-102 P-103 P-104 P-104 P-201 P-202 MECHANICAL H-101 H-102 H-103 H-104 H-105 H-501 H-601	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION FLOOR PLAN FIRE PROTECTION MEZZANINE PLAN FIRE PROTECTION AWINGS SITE PLAN PLUMBING FLOOR AND MEZZANINE PLANS PLUMBING DEMO FLOOR AND MEZZANINE PLANS PLUMBING MEZZANINE PLAN PLUMBING PLUMBING LEGEND, SCHEDULES AND DETAILS - SHEET 1 PLUMBING DETAILS SHEET 2 DRAWINGS FLOOR AND MEZZANINE PLANS HVAC ROOF PLAN HVAC FLOOR AND MEZZANINE PLANS HVAC DEMOLITION FLOOR AND MEZZANINE PLANS HVAC
A-710 FIRE PROTECTION FP-101 FP-102 FP-103 PLUMBING DRA P-100 P-101 P-102 P-103 P-104 P-102 P-103 P-104 P-201 P-202 MECHANICAL H-101 H-102 H-103 H-104 H-105 H-501 H-501 H-601 ELECTRICAL DI	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION FLOOR PLAN FIRE PROTECTION MEZZANINE PLAN FIRE PROTECTION AWINGS SITE PLAN PLUMBING FLOOR AND MEZZANINE PLANS PLUMBING DEMO FLOOR AND MEZZANINE PLANS PLUMBING MEZZANINE PLAN PLUMBING PLUMBING LEGEND, SCHEDULES AND DETAILS - SHEET 1 PLUMBING DETAILS SHEET 2 DRAWINGS FLOOR AND MEZZANINE PLANS HVAC ROOF PLAN HVAC FLOOR AND MEZZANINE PLANS HVAC DEMOLITION FLOOR AND MEZZANINE PLANS HVAC HVAC DETAILS, LEGENDS, AND NOTES HVAC EQUIPMENT SCHEDULES EXAWINGS
A-710 FIRE PROTECTION FP-101 FP-102 FP-103 PLUMBING DRA P-100 P-101 P-102 P-103 P-104 P-201 P-202 MECHANICAL H-101 H-102 H-103 H-104 H-103 H-104 H-105 H-501 H-501 H-601 ELECTRICAL DI	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION FLOOR PLAN FIRE PROTECTION MEZZANINE PLAN FIRE PROTECTION AWINGS SITE PLAN PLUMBING FLOOR AND MEZZANINE PLANS PLUMBING DEMO FLOOR AND MEZZANINE PLANS PLUMBING MEZZANINE PLAN PLUMBING PLUMBING LEGEND, SCHEDULES AND DETAILS - SHEET 1 PLUMBING DETAILS SHEET 2 DRAWINGS FLOOR AND MEZZANINE PLANS HVAC ROOF PLAN HVAC FLOOR AND MEZZANINE PLANS HVAC DEMOLITION FLOOR AND MEZZANINE PLANS HVAC BEMOLITION FLOOR AND MEZZANINE PLANS HVAC DEMOLITION FLOOR AND MEZZANINE PLANS HVAC HVAC DETAILS, LEGENDS, AND NOTES HVAC EQUIPMENT SCHEDULES RAWINGS SITE PLAN - ELECTRICAL DAMESTRICAL
A-710 FIRE PROTECTION FP-101 FP-102 FP-103 PLUMBING DRA P-100 P-101 P-102 P-103 P-104 P-104 P-201 P-202 MECHANICAL H-101 H-102 H-103 H-104 H-103 H-104 H-105 H-501 H-601 ELECTRICAL DI E-002 E-001 E-002 F 101	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION FLOOR PLAN FIRE PROTECTION MEZZANINE PLAN FIRE PROTECTION AWINGS SITE PLAN PLUMBING FLOOR AND MEZZANINE PLANS PLUMBING DEMO FLOOR AND MEZZANINE PLANS PLUMBING MEZZANINE PLAN PLUMBING PLUMBING LEGEND, SCHEDULES AND DETAILS - SHEET 1 PLUMBING DETAILS SHEET 2 DRAWINGS FLOOR AND MEZZANINE PLANS HVAC ROOF PLAN HVAC FLOOR AND MEZZANINE PLANS HVAC DEMOLITION FLOOR AND MEZZANINE PLANS HVAC DEMOLITION FLOOR AND MEZZANINE PLANS HVAC HVAC DETAILS, LEGENDS, AND NOTES HVAC EQUIPMENT SCHEDULES SITE PLAN - ELECTRICAL PARTIAL OVERALL FLOOR PLAN ELOOR PLAN
A-710 FIRE PROTECTION FP-101 FP-102 FP-103 PLUMBING DRA P-100 P-101 P-102 P-103 P-104 P-201 P-202 MECHANICAL H-101 H-102 H-103 H-104 H-103 H-104 H-105 H-501 H-501 H-601 ELECTRICAL DI E-002 E-101 F-102	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION FLOOR PLAN FIRE PROTECTION MEZZANINE PLAN FIRE PROTECTION AWINGS SITE PLAN PLUMBING FLOOR AND MEZZANINE PLANS PLUMBING DEMO FLOOR AND MEZZANINE PLANS PLUMBING MEZZANINE PLAN PLUMBING PLUMBING LEGEND, SCHEDULES AND DETAILS - SHEET 1 PLUMBING DETAILS SHEET 2 DRAWINGS FLOOR AND MEZZANINE PLANS HVAC ROOF PLAN HVAC FLOOR AND MEZZANINE PLANS HVAC DEMOLITION FLOOR AND MEZZANINE PLANS HVAC HVAC DETAILS, LEGENDS, AND NOTES HVAC EQUIPMENT SCHEDULES XAWINGS SITE PLAN - ELECTRICAL PARTIAL OVERALL FLOOR PLAN FLOOR PLAN - DWFR
A-710 FIRE PROTECTION FP-101 FP-102 FP-103 PLUMBING DRA P-100 P-101 P-102 P-103 P-104 P-201 P-202 MECHANICAL H-101 H-102 H-103 H-104 H-103 H-104 H-105 H-501 H-501 H-601 ELECTRICAL DI E-002 E-101 E-102 E-101 E-102 E-103	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION FLOOR PLAN FIRE PROTECTION MEZZANINE PLAN FIRE PROTECTION AWINGS SITE PLAN PLUMBING FLOOR AND MEZZANINE PLANS PLUMBING DEMO FLOOR AND MEZZANINE PLANS PLUMBING MEZZANINE PLAN PLUMBING PLUMBING LEGEND, SCHEDULES AND DETAILS - SHEET 1 PLUMBING DETAILS SHEET 2 DRAWINGS FLOOR AND MEZZANINE PLANS HVAC ROOF PLAN HVAC FLOOR AND MEZZANINE PLANS HVAC DEMOLITION FLOOR AND MEZZANINE PLANS HVAC HVAC DETAILS, LEGENDS, AND NOTES HVAC EQUIPMENT SCHEDULES XAWINGS SITE PLAN - ELECTRICAL PARTIAL OVERALL FLOOR PLAN FLOOR PLAN - UIGHTING FLOOR PLAN - POWER ROOF PLAN
A-710 FIRE PROTECTION FP-101 FP-102 FP-103 P-100 P-101 P-102 P-103 P-104 P-104 P-201 P-202 MECHANICAL H-104 H-102 H-103 H-104 H-102 H-103 H-104 H-105 H-501 H-601 ELECTRICAL DI E-002 E-101 E-102 E-103 ED-104	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION FLOOR PLAN FIRE PROTECTION MEZZANINE PLAN FIRE PROTECTION AWINGS SITE PLAN PLUMBING FLOOR AND MEZZANINE PLANS PLUMBING DEMO FLOOR AND MEZZANINE PLANS PLUMBING MEZZANINE PLAN PLUMBING PLUMBING LEGEND, SCHEDULES AND DETAILS - SHEET 1 PLUMBING DETAILS SHEET 2 DRAWINGS FLOOR AND MEZZANINE PLANS HVAC ROOF PLAN HVAC FLOOR AND MEZZANINE PLANS HVAC DEMOLITION FLOOR AND MEZZANINE PLANS HVAC HVAC DETAILS, LEGENDS, AND NOTES HVAC EQUIPMENT SCHEDULES XAWINGS SITE PLAN - ELECTRICAL PARTIAL OVERALL FLOOR PLAN FLOOR PLAN - LIGHTING FLOOR PLAN - LIGHTING FLOOR PLAN - POWER ROOF PLAN ELECTRICAL DEMOLITION PLAN
A-710 FIRE PROTECTION FP-101 FP-102 FP-103 PLUMBING DRA P-100 P-101 P-102 P-103 P-104 P-201 P-202 MECHANICAL P-201 P-202 MECHANICAL H-101 H-102 H-103 H-104 H-103 H-104 H-105 H-501 H-501 H-601 ELECTRICAL DI E-002 E-101 E-102 E-103 ED-104 E-105	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION FLOOR PLAN FIRE PROTECTION MEZZANINE PLAN FIRE PROTECTION AWINGS SITE PLAN PLUMBING FLOOR AND MEZZANINE PLANS PLUMBING DEMO FLOOR AND MEZZANINE PLANS PLUMBING MEZZANINE PLAN PLUMBING PLUMBING LEGEND, SCHEDULES AND DETAILS - SHEET 1 PLUMBING DETAILS SHEET 2 DRAWINGS FLOOR AND MEZZANINE PLANS HVAC ROOF PLAN HVAC FLOOR AND MEZZANINE PLANS HVAC DEMOLITION FLOOR AND MEZZANINE PLANS HVAC DEMOLITION FLOOR AND MEZZANINE PLANS HVAC HVAC DETAILS, LEGENDS, AND NOTES HVAC EQUIPMENT SCHEDULES XAWINGS SITE PLAN - ELECTRICAL PARTIAL OVERALL FLOOR PLAN FLOOR PLAN - DWER ROOF PLAN ELECTRICAL DEMOLITION PLAN FLOOR PLANS - LIGHTING FLOOR PLANS - LIGHTING
A-710 FIRE PROTECTION FP-101 FP-102 FP-103 PLUMBING DRA P-100 P-101 P-102 P-103 P-104 P-201 P-202 MECHANICAL H-101 H-102 H-103 H-104 H-103 H-104 H-105 H-501 H-501 H-601 ELECTRICAL DI E-002 E-101 E-102 E-103 ED-104 E-105 E-106	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION FLOOR PLAN FIRE PROTECTION MEZZANINE PLAN FIRE PROTECTION AWINGS SITE PLAN PLUMBING FLOOR PLAN PLUMBING FLOOR AND MEZZANINE PLANS PLUMBING DEMO FLOOR AND MEZZANINE PLANS PLUMBING DEMO FLOOR AND MEZZANINE PLANS PLUMBING MEZZANINE PLAN PLUMBING PLUMBING LEGEND, SCHEDULES AND DETAILS - SHEET 1 PLUMBING DETAILS SHEET 2 DRAWINGS FLOOR AND MEZZANINE PLANS HVAC ROOF PLAN HVAC FLOOR AND MEZZANINE PLANS HVAC DEMOLITION FLOOR AND MEZZANINE PLANS HVAC HVAC DETAILS, LEGENDS, AND NOTES HVAC EQUIPMENT SCHEDULES XAWINGS SITE PLAN - ELECTRICAL PARTIAL OVERALL FLOOR PLAN FLOOR PLAN - POWER ROOF PLAN ELECTRICAL DEMOLITION PLAN FLOOR PLANS - DOWER NOTES AND S. POWER NOTES AND S. POWER NOTES AND S. POWER
A-710 FIRE PROTECTION FP-101 FP-102 FP-103 PLUMBING DRA P-100 P-101 P-102 P-103 P-104 P-201 P-202 MECHANICAL P-201 P-202 MECHANICAL H-101 H-102 H-103 H-104 H-103 H-104 H-105 H-501 H-501 H-601 ELECTRICAL DI E-002 E-101 E-102 E-103 ED-104 E-105 E-106 E-201 F-202	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION FLOOR PLAN FIRE PROTECTION MEZZANINE PLAN FIRE PROTECTION AWINGS SITE PLAN PLUMBING FLOOR AND MEZZANINE PLANS PLUMBING DEMO FLOOR AND MEZZANINE PLANS PLUMBING MEZZANINE PLAN PLUMBING PLUMBING LEGEND, SCHEDULES AND DETAILS - SHEET 1 PLUMBING DETAILS SHEET 2 DRAWINGS FLOOR AND MEZZANINE PLANS HVAC ROOF PLAN HVAC FLOOR AND MEZZANINE PLANS HVAC DEMOLITION FLOOR AND MEZZANINE PLANS HVAC ROOF PLAN HVAC SITE PLAN - ELECTRICAL PARTIAL OVERALL FLOOR PLAN FLOOR PLAN - DOWER ROOF PLAN - DOWER ROOF PLAN - DOWER ROOF PLAN S - LIGHTING FLOOR PLANS - DOWER NOTES AND DETAILS ELECTRICAL DEMOLITION PLAN FLOOR PLANS - DOWER NOTES AND DETAILS ELECTRICAL LECEND
A-710 FIRE PROTECTION FP-101 FP-102 FP-103 PLUMBING DRA P-100 P-101 P-102 P-103 P-104 P-201 P-202 MECHANICAL H-101 H-102 H-103 H-104 H-103 H-104 H-103 H-104 H-105 H-501 H-501 H-501 H-601 ELECTRICAL DI E-002 E-101 E-102 E-103 ED-104 E-105 E-106 E-201 E-202 F-301	REFLECTED CEILING PLAN ON FLOOR PLAN FIRE PROTECTION FLOOR PLAN FIRE PROTECTION MEZZANINE PLAN FIRE PROTECTION AWINGS SITE PLAN PLUMBING FLOOR PLAN PLUMBING FLOOR AND MEZZANINE PLANS PLUMBING DEMO FLOOR AND MEZZANINE PLANS PLUMBING MEZZANINE PLAN PLUMBING PLUMBING LEGEND, SCHEDULES AND DETAILS - SHEET 1 PLUMBING DETAILS SHEET 2 DRAWINGS FLOOR AND MEZZANINE PLANS HVAC ROOF PLAN HVAC FLOOR AND MEZZANINE PLANS HVAC DEMOLITION FLOOR AND MEZZANINE PLANS HVAC HVAC DETAILS, LEGENDS, AND NOTES HVAC EQUIPMENT SCHEDULES XWINGS SITE PLAN - ELECTRICAL PARTIAL OVERALL FLOOR PLAN FLOOR PLAN - DWER ROOF PLAN FLOOR PLAN - DWER ROOF PLAN ELECTRICAL DEMOLITION PLAN FLOOR PLANS - UGHTING FLOOR PLANS - LIGHTING FLOOR PLANS - LIGHTING FLOOR PLANS - LIGHTING FLOOR PLANS - DOWER NOTES AND DETAILS ELECTRICAL LEGEND POWER RISER DIAGRAM

IL / ENLARGED PLAN MARKER	<u>ABB</u>	<u>REVIATIONS</u>								
INDICATES DETAIL LOCATION ON SHEET	A.D. ABV. ADA	AREA DRAIN ABOVE ACCESSIBLE / AMERICANS	DN DWG. DEPT.	DOWN DRAWING DEPARTMENT DOUBLE	HORIZ. HT. INSUL.	HORIZONTAL HEIGHT INSULATION / INSULATING	PL. LAM QTY. R	PLASTIC LAMINATE QUANTITY RISER	U.L. VEST.	UNDER LABOR VESTIBL
INDICATES SHEET ON WHICH DETAIL IS SHOWN	ADJ. A.o.R. ALUM. ALT.	ADJUSTABLE AREA OF REFUGE ALUMINUM ALTERNATE	DIM. DR. EXIST. EQ.	DIMENSION DOOR EXISTING EQUAL	INCANE JAN. JT. LBS.	JANITOR JOINT POUNDS	REINF. REQ. R.O. REV.	REINFORCING / REINFORCED REQUIRED ROUGH OPENING REVISED / REVISION	W/ W.C. WD	TILE WITH WATER WOOD
E DESIGNATION	A.F.F. AC. A.F.	ABOVE FINISHED FLOOR ACOUSTIC / ACOUSTICAL ALUMINUM FACE	E.C. EL. ELEV.	ELECTRICAL CONTRACTOR ELEVATION ELEVATOR	LAV. LAM. L.P.	LAVATORY LAMINATE LOW POINT	REFL. REC. RAD.	REFLECTED RECESSED RADIUS	& @	AND AT
CE SPACE NAME	APPX.	APPROXIMATE / APPROXIMATELY	ELEC. EXP.	ELECTRIC / ELECTRICAL EXPANSION	MAX. MFR.	MAXIMUM MANUFACTURER /	S.S. ST.	STAINLESS STEEL STREET	± °	PLUS O DEGRE
SPACE NUMBER	BD. BLK. BLDG.	BOARD BLOCK / BLOCKING BUILDING	EXT. EA. F.D.	EXTERIOR EACH FLOOR DRAIN	MTL. MIN.	MANUFACTURED METAL MINIMUM	SIM. STL. SQ.	SIMILAR STEEL SQUARE	□ [#	ANGLE CHANI NUMBE
TYPE MARKER	B.O. B.O.S. CAB. C.C. CLG.	BOTTOM OF BOTTOM OF STEEL CABINET CENTER-TO-CENTER CEILING CLOSET	F.E. F.E.C. FIN. FLR.	FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH / FINISHED FLOOR	MIRR. MTD. M.O. MISC. MECH.	MIRRORED MOUNTED MASONRY OPENING MISCELLANEOUS MECHANICAL	SAN. SUSP. STD. SPEC. TEL.	SANITARY SUSPENDED STANDARD SPECIFICATION TELEPHONE TOP OF	□ Ø □ / C.L. □ / PL. Π	SQUAR ROUNE CENTER PLATE U-BAR
1.00 KEYNOTE; SEE KEYNOTE LEGEND ON DRAWING'S LAYOUT	CLOS. C.M. CMU C.J. CONC.	CONSTRUCTION MANAGER CONCRETE MASONRY UNIT CONTROL JOINT CONCRETE	FT. FLUOR. GYP. GALV.	FEET / FOOT FLUORESCENT GYPSUM GALVANIZED	N.T.S. O.C. O.D.	NUMBER NOT TO SCALE ON CENTER OUTSIDE DIAMETER	T.O.S. T.O.W. TOIL. TYP.	TOP OF STEEL TOP OF WALL TOILET TYPICAL		LLG-DA
1.00 ALTERNATE KEYNOTE; SEE KEYNOTE LEGEND ON DRAWING'S LAYOUT	CORR. COL. CONT. CONTR.	CORRIDOR COLUMN CONTINUE / CONTINUOUS CONTRACTOR	GA. G.C. HR. H.P.	GAUGE GENERAL CONTRACTOR HOUR HIGH POINT	OPP. OPG. P.C. P.F.	OPPOSITE OPENING PLUMBING CONTRACTOR PANEL FACE	THK. TMP. T.S.G.	THICK TEMPERED TEMPERED SAFETY GLASS		

HVAC HEAT, VENTILATION, AIR- PR. PAIR

P.T. PRESSURE TREATED

CONDITIONING

U.O.N. UNLESS OTHERWISE

NOTED

DIA. DIAMETER DTL. DETAIL





DISTANCE BETWEEN EXISTS

MINIMUM CORRIDOR WIDTH

MINIMUM NUMBER OF EXITS

MAXIMUM DEAD END

MAXIMUM EXIT ACCESS TRAVEL DISTANCE

MAXIMUM PATH OF COMMON EGRESS TRAVEL SECTION 1006.2.1

SECT. 1007.1.1

SECTION 1020.2

SECTION 1020.4

SECTION 1017 & TABLE 1017.2 250'

SECT.1006 & TABLE 1006.3.1

44"





CODE REQUIRED SIGNAGE - IBC 2015

CS	SIGNAGE TEXT		SIZE	DUPLICATE BRAILLE TEXT	TACTILE TEXT	ISA	
CS-3	EXIT/EXIT ACCESS (IN ADDITION TO ILLUMINATED SIGN)	IBC SECTION 1013	4"x6"	YES	YES	YES	
CS-6	TOILET ROOM (MENS/WOMENS/UNISEX)	IBC SECTION 2902.4	6"x9"	YES	YES	NO	
CS-7	FIRE EXTINGUISHER	IFC SECTION 906.6	3"x6"	YES	YES	NO	
CS-8	EVACUATION ROUTE PLAN	IBC SECTION 1001.4	11"x11"	YES	YES	NO	
CS-15	LOCKER ROOM (MENS/WOMENS/UNISEX)	IBC SECTION 2902.4	6"x9"	YES	YES	NO	

. ALL REQUIRED ACCESSIBILITY SIGNAGE SHALL FOLLOW THE INTERNATIONAL SYMBOL OF ACCESSIBILITY IN SIZE, COLOR, PROPORTIONS, AND TEXT (TACTILE AND BRAILE

2. ALL SIGNAGE SHALL FOLLOW IBC 2015, ICC A117.1-2009, AND 2010 ADA STANDARDS/REQUIREMENTS.

I. REFER TO LIFE SAFETY PLANS FOR SIGNAGE LOCATIONS. GENERAL CONTRACTOR SHALL VERIFY/CONFIRM FINAL LOCATIONS OF ALL SIGNS WITH AUTHORITY HAVING

41'
5

25 180 36

SEE LIFE SAFETY PLANS

SEE LIFE SAFETY PLANS

SEE LIFE SAFETY PLANS

1/3 MAX. TRAVEL DISTANCE SEE LIFE SAFETY PLANS

N/A

N/A

<u>SMOKE PARTITION</u> <u>30 MIN. FIRE-RATED</u> <u>60 MIN. FIRE-RATED</u>

L____/

_____OO____OO____ <u>120 MIN. FIRE-RATED</u> _____

> REQUIRED MINIMUM MANEUVERING SPACE

ACCESSIBLE ROUTE

MAX. DOOR/STAIR EGRESS CAF

- EGRESS WIDTH (INCHES)





(b) ELEVATION



(a) PLAN





4525_RMCTC WeldingBldg_Final CD | BIMcloud: MG-Architects-v22 - BIMcloud Basic for ARCHICAD 22/4525_RMCTC WeldingBldg_Final CD | 5/16/2022 | 2:22 PM

ID	SIGNAGE TEXT		SIZE	DUPLICATE BRAILLE TEXT	TACTILE TEXT	ISA		
CS-1	BUILDING ADDRESS NUMBER	IFC SECTION 505.1	9"x6"	YES	NO	NO		
CS-3	EXIT/EXIT ACCESS (IN ADDITION TO ILLUMINATED SIGN)	IBC SECTION 1013	4"x6"	YES	YES	YES		
CS-5	BUILDING CORE ROOMS/FIRE PROTECTION EQUIPMENT	IFC SECTION 509 AND 605.3.1	3"x6"	YES	YES	NO		
CS-6	TOILET ROOM (MENS/WOMENS/UNISEX)	IBC SECTION 2902.4	6"x9"	YES	YES	NO		
CS-7	FIRE EXTINGUISHER	IFC SECTION 906.6	3"x6"	YES	YES	NO		
CS-8	EVACUATION ROUTE PLAN	IBC SECTION 1001.4	11"x11"	YES	YES	NO		
CS-10	ASSEMBLY OCCUPANCY LOAD	IBC SECTION 1004.3	4"x6"	YES	YES	NO		
CS-11	ACCESSIBLE ELEMENTS	IBC SECTION 1111	4"x6"	YES	YES	NO		
CS-15	CS-15 LOCKER ROOM (MENS/WOMENS/UNISEX) IBC SECTION 2902.4 6"x9" YES YES NO							
GENERAL SIG 1. ALL REQU TEXT REQU 2. ALL SIGNA 3. GENERAL	SNAGE NOTES IRED ACCESSIBILITY SIGNAGE SHALL FOLLOW THE INTERNA JIREMENTS). AGE SHALL FOLLOW IBC 2015, ICC A117.1-2009, AND 2010 CONTRACTOR SHALL VERIFY SIGNAGE QUANTITIES.	TIONAL SYMBOL OF ACCESSIBILITY IN ADA STANDARDS/REQUIREMENTS.	SIZE, COLOR, PROF	PORTIONS, AND	TEXT (TACTILE AN	ND BRAILE		

JURISDICTION.

4. REFER TO LIFE SAFETY PLANS FOR SIGNAGE LOCATIONS. GENERAL CONTRACTOR SHALL VERIFY/CONFIRM FINAL LOCATIONS OF ALL SIGNS WITH AUTHORITY HAVING

BUILDING CODE SUMMARY

APPLICABLE CODES AND ORDINANCES 2015 IBC: ALL APPLICABLE CHAPTERS ANSI 117.1, 2009 EDITION: ALL APPLICABLE CHAPTERS 2018 IBC: CHAPTER 11 ONLY

PROJECT SCOPE:

NEW FREE-STANDING BUILDING TO HOUSE THE SCHOOL'S WELDING PROGRAM AND CLASSES, INCLUDING WORKSPACES AND CLASSROOM.

BUILDING AND PROJECT DATA BUILDING DESCRIPTION AND USE 1-STRY NEW CONSTRUCTION EDUCATIONAL

	IBC 2015	REQUIRED	PROVIDED
USE AND OCCUPANCY	CHAPTER 3		E - EDUCATIONAL
CONSTRUCTION TYPE	SECTION 602 AND TABLE 601		TYPE II-B
AUTOMATIC SPRINKLER SYSTEM	SECTION 903	NOT REQUIRED	YES
BUILDING HEIGHT	TABLE 504.3	55' MAX.	APPX. 24'-0''
BUILDING STORIES	TABLE 504.4	3 STORIES	1 STORIES
FLOOR AREA / STORY	TABLE 506.2	58,000 (S1)	8,584 SQ. FT
OCCUPANCY CALCS		REQUIRED	OCC. LOAD
	6 382 SQ. FT.	20 NET SQ. FL. / PERSON	44 OCCUPANIS
	445 SQ FT	50 GROSS SOLET / PERSON	
	4445 SQ. 11.	50 GROSS SQ. 11. / TERSON	
	8 584 SQ. FT. (GROSS)		
	6,564 5Q. 11. (GRC33)		177 OCCOPANIS
FIRE RESISTANCE RTG - IIB	IBC 2015	REQUIRED	
	TABLE OUT AND SECTION 704	0110003	01100K3
	TABLE 201, 002 & SECTION 703		
			UHOUKS
	TABLE 001, 002 & SECTION 705		
		U HOURS	0 HOURS
		U HOURS	0 HOURS
	TABLE 601	0 HOURS	0 HOURS
EXTERIOR WALL OPENINGS (DIST. \geq 30 FEET)		1	
	T + B + E 30E 0		
	TABLE 705.8		
UNPROTECTED, SPRINKLERED PROTECTED	TABLE 705.8TABLE 705.8	NO LIMIT NO LIMIT	NO LIMII NO LIMIT
UNPROTECTED, SPRINKLERED PROTECTED MFANS OF FGRESS	TABLE 705.8 TABLE 705.8		
UNPROTECTED, SPRINKLERED PROTECTED MEANS OF EGRESS	TABLE 705.8 TABLE 705.8 IBC 2015	NO LIMIT NO LIMIT REQUIRED	NO LIMIT NO LIMIT PROVIDED
UNPROTECTED, SPRINKLERED PROTECTED MEANS OF EGRESS MEANS OF EGRESS SIZING STAIRWAYS	TABLE 705.8 TABLE 705.8 IBC 2015 SECTION 1005 SECTION 1005 3 1	NO LIMIT NO LIMIT REQUIRED	NO LIMII NO LIMIT PROVIDED
UNPROTECTED, SPRINKLERED PROTECTED MEANS OF EGRESS MEANS OF EGRESS SIZING STAIRWAYS OTHER EGRESS COMPONENTS	TABLE 705.8 TABLE 705.8 IBC 2015 SECTION 1005 SECTION 1005.3.1 SECTION 1005.3.2	NO LIMIT NO LIMIT REQUIRED 0.3 INCHES PER OCCUPANT	NO LIMII NO LIMIT PROVIDED SEE LIFE SAFETY PLANS
UNPROTECTED, SPRINKLERED PROTECTED MEANS OF EGRESS MEANS OF EGRESS SIZING STAIRWAYS OTHER EGRESS COMPONENTS MAXIMUM PATH OF COMMON EGRESS TRAVEL	TABLE 705.8 TABLE 705.8 IBC 2015 SECTION 1005 SECTION 1005.3.1 SECTION 1005.3.2 SECTION 1006.2.1	NO LIMIT NO LIMIT REQUIRED 0.3 INCHES PER OCCUPANT 0.2 INCHES PER OCCUPANT 75'	NO LIMII NO LIMIT PROVIDED SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS
UNPROTECTED, SPRINKLERED PROTECTED MEANS OF EGRESS SIZING STAIRWAYS OTHER EGRESS COMPONENTS MAXIMUM PATH OF COMMON EGRESS TRAVEL	TABLE 705.8 TABLE 705.8 IBC 2015 SECTION 1005 SECTION 1005.3.1 SECTION 1005.3.2 SECTION 1006.2.1 SECTION 1017.8 TABLE 1017.2	NO LIMIT NO LIMIT REQUIRED 0.3 INCHES PER OCCUPANT 0.2 INCHES PER OCCUPANT 75' 250'	NO LIMII NO LIMIT PROVIDED SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS
UNPROTECTED, SPRINKLERED PROTECTED MEANS OF EGRESS MEANS OF EGRESS SIZING STAIRWAYS OTHER EGRESS COMPONENTS MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM EXIT ACCESS TRAVEL DISTANCE MINIMUM CORRIDOR WIDTH	TABLE 705.8 TABLE 705.8 IBC 2015 SECTION 1005 SECTION 1005.3.1 SECTION 1005.3.1 SECTION 1005.3.2 SECTION 1006.2.1 SECTION 1017 & TABLE 1017.2 SECTION 1020 2	NO LIMIT NO LIMIT REQUIRED 0.3 INCHES PER OCCUPANT 0.2 INCHES PER OCCUPANT 75' 250' 44''	NO LIMII NO LIMIT PROVIDED SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS
UNPROTECTED, SPRINKLERED PROTECTED MEANS OF EGRESS SIZING STAIRWAYS OTHER EGRESS COMPONENTS MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM EXIT ACCESS TRAVEL DISTANCE MINIMUM CORRIDOR WIDTH MAXIMUM DEAD END	TABLE 705.8 TABLE 705.8 IBC 2015 SECTION 1005 SECTION 1005.3.1 SECTION 1005.3.2 SECTION 1006.2.1 SECTION 1017 & TABLE 1017.2 SECTION 1020.2 SECTION 1020.4	NO LIMIT NO LIMIT REQUIRED 0.3 INCHES PER OCCUPANT 0.2 INCHES PER OCCUPANT 75' 250' 44" 20'	NO LIMII NO LIMIT PROVIDED SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS
UNPROTECTED, SPRINKLERED PROTECTED MEANS OF EGRESS MEANS OF EGRESS SIZING STAIRWAYS OTHER EGRESS COMPONENTS MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM EXIT ACCESS TRAVEL DISTANCE MINIMUM CORRIDOR WIDTH MAXIMUM DEAD END ANNIMALIAA NUMABER OF EXITS	TABLE 705.8 TABLE 705.8 IBC 2015 SECTION 1005 SECTION 1005.3.1 SECTION 1005.3.2 SECTION 1006.2.1 SECTION 1017 & TABLE 1017.2 SECTION 1020.2 SECTION 1020.4	NO LIMIT NO LIMIT REQUIRED 0.3 INCHES PER OCCUPANT 0.2 INCHES PER OCCUPANT 75' 250' 44" 20' 2	NO LIMII NO LIMIT PROVIDED SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS
UNPROTECTED, SPRINKLERED PROTECTED MEANS OF EGRESS MEANS OF EGRESS SIZING STAIRWAYS OTHER EGRESS COMPONENTS MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM DEAD END MINIMUM NUMBER OF EXITS	TABLE 705.8 TABLE 705.8 IBC 2015 SECTION 1005 SECTION 1005.3.1 SECTION 1005.3.1 SECTION 1005.3.2 SECTION 1006.2.1 SECTION 1017 & TABLE 1017.2 SECTION 1020.2 SECTION 1020.4 SECT.1006 & TABLE 1006.3.1	NO LIMIT NO LIMIT REQUIRED 0.3 INCHES PER OCCUPANT 0.2 INCHES PER OCCUPANT 75' 250' 44" 20' 2	NO LIMII NO LIMIT PROVIDED SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS N/A SEE LIFE SAFETY PLANS
UNPROTECTED, SPRINKLERED PROTECTED MEANS OF EGRESS MEANS OF EGRESS SIZING STAIRWAYS OTHER EGRESS COMPONENTS MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM EXIT ACCESS TRAVEL DISTANCE MINIMUM CORRIDOR WIDTH MAXIMUM DEAD END MINIMUM NUMBER OF EXITS DISTANCE BETWEEN EXITS	TABLE 705.8 TABLE 705.8 IBC 2015 SECTION 1005 SECTION 1005.3.1 SECTION 1005.3.2 SECTION 1006.2.1 SECTION 1017 & TABLE 1017.2 SECTION 1020.2 SECTION 1020.4 SECT.1006 & TABLE 1006.3.1	NO LIMIT NO LIMIT REQUIRED 0.3 INCHES PER OCCUPANT 0.2 INCHES PER OCCUPANT 75' 250' 44" 20' 2 2 1/3 MAX DIAGONAL	NO LIMII NO LIMIT PROVIDED SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS N/A SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS
UNPROTECTED, SPRINKLERED PROTECTED MEANS OF EGRESS MEANS OF EGRESS SIZING STAIRWAYS OTHER EGRESS COMPONENTS MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM EXIT ACCESS TRAVEL DISTANCE MINIMUM CORRIDOR WIDTH MAXIMUM DEAD END MINIMUM NUMBER OF EXITS DISTANCE BETWEEN EXITS ENERGY CONSERVATION	TABLE 705.8 TABLE 705.8 IBC 2015 SECTION 1005 SECTION 1005.3.1 SECTION 1005.3.2 SECTION 1006.2.1 SECTION 1017 & TABLE 1017.2 SECTION 1020.2 SECTION 1020.4 SECT.1006 & TABLE 1006.3.1	NO LIMIT NO LIMIT REQUIRED 0.3 INCHES PER OCCUPANT 0.2 INCHES PER OCCUPANT 75' 250' 44" 20' 2 1/3 MAX DIAGONAL REQUIRED	NO LIMII NO LIMIT PROVIDED SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS
UNPROTECTED, SPRINKLERED PROTECTED MEANS OF EGRESS MEANS OF EGRESS SIZING STAIRWAYS OTHER EGRESS COMPONENTS MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM DEAD END MINIMUM NUMBER OF EXITS DISTANCE BETWEEN EXITS ENERGY CONSERVATION CLIMATE ZONE	TABLE 705.8 TABLE 705.8 IBC 2015 SECTION 1005 SECTION 1005.3.1 SECTION 1005.3.2 SECTION 1006.2.1 SECTION 1017 & TABLE 1017.2 SECTION 1020.2 SECTION 1020.4 SECT.1006 & TABLE 1006.3.1 IECC 2015 SECT. C301 AND TAB. 301.1	NO LIMIT NO LIMIT REQUIRED 0.3 INCHES PER OCCUPANT 0.2 INCHES PER OCCUPANT 75' 250' 44" 20' 2 1/3 MAX DIAGONAL REQUIRED PENNSYLVANIA - BERKS COU	NO LIMII NO LIMIT PROVIDED SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS
UNPROTECTED, SPRINKLERED PROTECTED MEANS OF EGRESS MEANS OF EGRESS SIZING STAIRWAYS OTHER EGRESS COMPONENTS MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM EXIT ACCESS TRAVEL DISTANCE MINIMUM CORRIDOR WIDTH MAXIMUM DEAD END MINIMUM NUMBER OF EXITS DISTANCE BETWEEN EXITS ENERGY CONSERVATION CLIMATE ZONE TABLES C402.1.3 & C402.1.4 O	TABLE 705.8 TABLE 705.8 IBC 2015 SECTION 1005 SECTION 1005.3.1 SECTION 1005.3.1 SECTION 1005.3.2 SECTION 1006.2.1 SECTION 1017 & TABLE 1017.2 SECTION 1020.2 SECTION 1020.4 SECT.1006 & TABLE 1006.3.1 IECC 2015 SECT. C301 AND TAB. 301.1 PAQUE THERMAL ENVELOPE INSUL	NO LIMIT NO LIMIT REQUIRED 0.3 INCHES PER OCCUPANT 0.2 INCHES PER OCCUPANT 75' 250' 44" 20' 2 1/3 MAX DIAGONAL REQUIRED PENNSYLVANIA - BERKS COU ATION COMPONENT MINIMUM	NO LIMII NO LIMIT PROVIDED SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS
UNPROTECTED, SPRINKLERED PROTECTED MEANS OF EGRESS SIZING STAIRWAYS OTHER EGRESS COMPONENTS MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM PATH OF COMMON EGRESS TRAVEL MINIMUM CORRIDOR WIDTH MAXIMUM DEAD END MINIMUM NUMBER OF EXITS DISTANCE BETWEEN EXITS DISTANCE BETWEEN EXITS CLIMATE ZONE TABLES C402.1.3 & C402.1.4 O ROOFS	TABLE 705.8 TABLE 705.8 IBC 2015 SECTION 1005 SECTION 1005.3.1 SECTION 1005.3.1 SECTION 1005.3.2 SECTION 1006.2.1 SECTION 1017 & TABLE 1017.2 SECTION 1020.2 SECTION 1020.4 SECT.1006 & TABLE 1006.3.1 IECC 2015 SECT. C301 AND TAB. 301.1 PAQUE THERMAL ENVELOPE INSUL	NO LIMIT NO LIMIT REQUIRED 0.3 INCHES PER OCCUPANT 0.2 INCHES PER OCCUPANT 75' 250' 44" 20' 2 1/3 MAX DIAGONAL REQUIRED PENNSYLVANIA - BERKS COU ATION COMPONENT MINIMUM U-FACTOR	NO LIMII NO LIMIT PROVIDED SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS
UNPROTECTED, SPRINKLERED PROTECTED MEANS OF EGRESS SIZING STAIRWAYS OTHER EGRESS COMPONENTS MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM EXIT ACCESS TRAVEL DISTANCE MINIMUM CORRIDOR WIDTH MAXIMUM DEAD END MINIMUM NUMBER OF EXITS DISTANCE BETWEEN EXITS DISTANCE BETWEEN EXITS ENERGY CONSERVATION CLIMATE ZONE TABLES C402.1.3 & C402.1.4 O ROOFS INSULATION ABOVE ROOF DECK	TABLE 705.8 TABLE 705.8 IBC 2015 SECTION 1005 SECTION 1005.3.1 SECTION 1005.3.2 SECTION 1006.2.1 SECTION 1017 & TABLE 1017.2 SECTION 1020.2 SECTION 1020.2 SECTION 1020.4 SECT.1006 & TABLE 1006.3.1 IECC 2015 SECT. C301 AND TAB. 301.1 PAQUE THERMAL ENVELOPE INSULAR-VALUE R-30ci	NO LIMIT NO LIMIT REQUIRED 0.3 INCHES PER OCCUPANT 0.2 INCHES PER OCCUPANT 75' 250' 44" 20' 2 1/3 MAX DIAGONAL REQUIRED PENNSYLVANIA - BERKS COU ATION COMPONENT MINIMUM U-FACTOR U-0.032	NO LIMII NO LIMIT PROVIDED SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS
UNPROTECTED, SPRINKLERED PROTECTED MEANS OF EGRESS MEANS OF EGRESS SIZING STAIRWAYS OTHER EGRESS COMPONENTS MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM EXIT ACCESS TRAVEL DISTANCE MINIMUM CORRIDOR WIDTH MAXIMUM DEAD END MINIMUM NUMBER OF EXITS DISTANCE BETWEEN EXITS DISTANCE BETWEEN EXITS ENERGY CONSERVATION CLIMATE ZONE TABLES C402.1.3 & C402.1.4 O ROOFS INSULATION ABOVE ROOF DECK WALLS, ABOVE GRADE	TABLE 705.8 TABLE 705.8 IBC 2015 SECTION 1005 SECTION 1005.3.1 SECTION 1005.3.2 SECTION 1006.2.1 SECTION 1017 & TABLE 1017.2 SECTION 1020.2 SECTION 1020.4 SECT.1006 & TABLE 1006.3.1 IECC 2015 SECT. C301 AND TAB. 301.1 R-VALUE R-30ci	NO LIMIT NO LIMIT REQUIRED 0.3 INCHES PER OCCUPANT 0.2 INCHES PER OCCUPANT 75' 250' 44" 20' 2 1/3 MAX DIAGONAL 2 1/3 MAX DIAGONAL REQUIRED PENNSYLVANIA - BERKS COU ATION COMPONENT MINIMUM U-FACTOR U-0.032	NO LIMII NO LIMIT PROVIDED SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS
UNPROTECTED, SPRINKLERED PROTECTED MEANS OF EGRESS MEANS OF EGRESS SIZING STAIRWAYS OTHER EGRESS COMPONENTS MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM EXIT ACCESS TRAVEL DISTANCE MINIMUM CORRIDOR WIDTH MAXIMUM DEAD END MINIMUM NUMBER OF EXITS DISTANCE BETWEEN EXITS DISTANCE BETWEEN EXITS ENERGY CONSERVATION CLIMATE ZONE TABLES C402.1.3 & C402.1.4 O ROOFS INSULATION ABOVE ROOF DECK WALLS, ABOVE GRADE MASS	TABLE 705.8 TABLE 705.8 IBC 2015 SECTION 1005 SECTION 1005.3.1 SECTION 1005.3.2 SECTION 1006.2.1 SECTION 1017 & TABLE 1017.2 SECTION 1017 & TABLE 1017.2 SECTION 1020.2 SECTION 1020.4 SECT.1006 & TABLE 1006.3.1 IECC 2015 SECT. C301 AND TAB. 301.1 PAQUE THERMAL ENVELOPE INSUL R-30ci R-11.4ci	NO LIMIT NO LIMIT REQUIRED 0.3 INCHES PER OCCUPANT 0.2 INCHES PER OCCUPANT 75' 250' 44" 20' 2 2 1/3 MAX DIAGONAL REQUIRED PENNSYLVANIA - BERKS COU ATION COMPONENT MINIMUM U-FACTOR U-0.032	NO LIMII NO LIMIT PROVIDED SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS REQUIREMENTS PROVIDED R-30 ci R-12 ci
UNPROTECTED, SPRINKLERED PROTECTED MEANS OF EGRESS SIZING STAIRWAYS OTHER EGRESS COMPONENTS MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM EXIT ACCESS TRAVEL DISTANCE MINIMUM CORRIDOR WIDTH MAXIMUM DEAD END MINIMUM NUMBER OF EXITS DISTANCE BETWEEN EXITS DISTANCE BETWEEN EXITS ENERGY CONSERVATION CLIMATE ZONE TABLES C402.1.3 & C402.1.4 O ROOFS INSULATION ABOVE ROOF DECK WALLS, ABOVE GRADE MASS WALLS, BELOW GRADE	TABLE 705.8 TABLE 705.8 IBC 2015 SECTION 1005 SECTION 1005.3.1 SECTION 1005.3.2 SECTION 1006.2.1 SECTION 1017 & TABLE 1017.2 SECTION 1020.2 SECTION 1020.4 SECTION 1020.4 SECTION 1020.4 SECTION 1020.4 SECT.1006 & TABLE 1006.3.1 IECC 2015 SECT. C301 AND TAB. 301.1 PAQUE THERMAL ENVELOPE INSUL R-VALUE R-30ci R-11.4ci R-7.5ci	NO LIMIT NO LIMIT REQUIRED 0.3 INCHES PER OCCUPANT 0.2 INCHES PER OCCUPANT 75' 250' 44" 20' 2 2 1/3 MAX DIAGONAL 20' 2 2 1/3 MAX DIAGONAL REQUIRED PENNSYLVANIA - BERKS COU ATION COMPONENT MINIMUM U-FACTOR U-0.032	NO LIMII NO LIMIT PROVIDED SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS
UNPROTECTED, SPRINKLERED PROTECTED MEANS OF EGRESS SIZING STAIRWAYS OTHER EGRESS COMPONENTS MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM EXIT ACCESS TRAVEL DISTANCE MINIMUM CORRIDOR WIDTH MAXIMUM DEAD END MINIMUM NUMBER OF EXITS DISTANCE BETWEEN EXITS DISTANCE BETWEEN EXITS ENERGY CONSERVATION CLIMATE ZONE TABLES C402.1.3 & C402.1.4 O ROOFS INSULATION ABOVE ROOF DECK WALLS, ABOVE GRADE MASS WALLS, BELOW GRADE SLAB-ON-GRADE FLOORS	TABLE 705.8 TABLE 705.8 IBC 2015 SECTION 1005 SECTION 1005.3.1 SECTION 1005.3.2 SECTION 1006.2.1 SECTION 1017 & TABLE 1017.2 SECTION 1020.2 SECTION 1020.4 SECTION 1020.4 SECTION 1020.4 SECT.1006 & TABLE 1006.3.1 FECC 2015 SECT. C301 AND TAB. 301.1 PAQUE THERMAL ENVELOPE INSUL R-VALUE R-11.4ci R-7.5ci	NO LIMIT NO LIMIT REQUIRED 0.3 INCHES PER OCCUPANT 0.2 INCHES PER OCCUPANT 75' 250' 44" 20' 2 1/3 MAX DIAGONAL 2 1/3 MAX DIAGONAL REQUIRED PENNSYLVANIA - BERKS COU ATION COMPONENT MINIMUM U-FACTOR U-0.032 U-0.090 U-0.119	NO LIMII NO LIMIT PROVIDED SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS
UNPROTECTED, SPRINKLERED PROTECTED MEANS OF EGRESS SIZING STAIRWAYS OTHER EGRESS COMPONENTS MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM EXIT ACCESS TRAVEL DISTANCE MINIMUM CORRIDOR WIDTH MAXIMUM DEAD END MINIMUM NUMBER OF EXITS DISTANCE BETWEEN EXITS DISTANCE BETWEEN EXITS ENERGY CONSERVATION CLIMATE ZONE TABLES C402.1.3 & C402.1.4 O ROOFS INSULATION ABOVE ROOF DECK WALLS, ABOVE GRADE MASS WALLS, BELOW GRADE SLAB-ON-GRADE FLOORS UNHEATED SLABS	TABLE 705.8 TABLE 705.8 IBC 2015 SECTION 1005 SECTION 1005.3.1 SECTION 1005.3.2 SECTION 1006.2.1 SECTION 1017 & TABLE 1017.2 SECTION 1017 & TABLE 1017.2 SECTION 1020.2 SECTION 1020.4 SECT.1006 & TABLE 1006.3.1 IECC 2015 SECT. C301 AND TAB. 301.1 PAQUE THERMAL ENVELOPE INSUL R-VALUE R-30ci R-11.4ci R-7.5ci R-10 24" BELOW	NO LIMIT NO LIMIT REQUIRED 0.3 INCHES PER OCCUPANT 0.2 INCHES PER OCCUPANT 75' 250' 44" 20' 2 2 1/3 MAX DIAGONAL 2 2 1/3 MAX DIAGONAL REQUIRED PENNSYLVANIA - BERKS COU ATION COMPONENT MINIMUM U-FACTOR U-0.032 U-0.090 U-0.119	NO LIMII NO LIMIT PROVIDED SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS REQUIREMENTS PROVIDED R-30 ci R-12 ci -
UNPROTECTED, SPRINKLERED PROTECTED MEANS OF EGRESS SIZING STAIRWAYS OTHER EGRESS COMPONENTS MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM EXIT ACCESS TRAVEL DISTANCE MINIMUM CORRIDOR WIDTH MAXIMUM DEAD END MINIMUM NUMBER OF EXITS DISTANCE BETWEEN EXITS DISTANCE BETWEEN EXITS ENERGY CONSERVATION CLIMATE ZONE TABLES C402.1.3 & C402.1.4 O ROOFS INSULATION ABOVE ROOF DECK WALLS, ABOVE GRADE SLAB-ON-GRADE FLOORS UNHEATED SLABS DOORS	TABLE 705.8 TABLE 705.8 IBC 2015 SECTION 1005.3.1 SECTION 1005.3.2 SECTION 1006.2.1 SECTION 1017 & TABLE 1017.2 SECTION 1020.2 SECTION 1020.2 SECTION 1020.4 SECTION 1020.4 SECTION 1020.4 SECT. C301 AND TABLE 1006.3.1 FECC 2015 SECT. C301 AND TAB. 301.1 PAQUE THERMAL ENVELOPE INSUL R-VALUE R-11.4ci R-7.5ci R-10 24" BELOW	NO LIMIT NO LIMIT REQUIRED 0.3 INCHES PER OCCUPANT 0.2 INCHES PER OCCUPANT 75' 250' 44" 20' 2 2 1/3 MAX DIAGONAL 2 1/3 MAX DIAGONAL REQUIRED PENNSYLVANIA - BERKS COU ATION COMPONENT MINIMUM U-FACTOR U-0.032 U-0.090 U-0.119	NO LIMII NO LIMIT PROVIDED SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS REQUIREMENTS PROVIDED NTY - 5A REQUIREMENTS R-30 ci R-12 ci -
UNPROTECTED, SPRINKLERED PROTECTED MEANS OF EGRESS MEANS OF EGRESS SIZING STAIRWAYS OTHER EGRESS COMPONENTS MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM PATH OF COMMON EGRESS TRAVEL MAXIMUM EXIT ACCESS TRAVEL DISTANCE MINIMUM CORRIDOR WIDTH MAXIMUM DEAD END MINIMUM NUMBER OF EXITS DISTANCE BETWEEN EXITS DISTANCE BETWEEN EXITS ENERGY CONSERVATION CLIMATE ZONE TABLES C402.1.3 & C402.1.4 O ROOFS INSULATION ABOVE ROOF DECK WALLS, ABOVE GRADE MASS WALLS, BELOW GRADE SLAB-ON-GRADE FLOORS UNHEATED SLABS DOORS OPAQUE, NON-SWINGING	TABLE 705.8 TABLE 705.8 IBC 2015 SECTION 1005 SECTION 1005.3.1 SECTION 1005.3.1 SECTION 1005.3.2 SECTION 1006.2.1 SECTION 1017 & TABLE 1017.2 SECTION 1020.2 SECTION 1020.4 SECT.006 & TABLE 1006.3.1 IECC 2015 SECT. C301 AND TAB. 301.1 PAQUE THERMAL ENVELOPE INSULA R-VALUE R-30ci R-11.4ci R-7.5ci R-10 24" BELOW R-4.75	NO LIMIT NO LIMIT REQUIRED 0.3 INCHES PER OCCUPANT 0.2 INCHES PER OCCUPANT 75' 250' 44" 20' 2 1/3 MAX DIAGONAL 2 1/3 MAX DIAGONAL REQUIRED PENNSYLVANIA - BERKS COU ATION COMPONENT MINIMUM U-FACTOR U-0.032 U-0.090 U-0.119 F-0.54	NO LIMII NO LIMIT PROVIDED SEE LIFE SAFETY PLANS SEE LIFE SAFETY PLANS REQUIREMENTS PROVIDED R-30 ci R-12 ci R-12 ci

PLUMBING SYSTEMS	IBC 2015	REQUIRED	PROVIDED
TABLE 2902.1 MINIMUM NUMBER OF REQU	IRED PLUMBING FIXTURES	OCCUPANCY CLASSIFICATION: E (EDUCATIONAL)
WATER CLOSETS - MALE			1
WATER CLOSETS - FEMALE	I PER 50	2	(SEE NOTE #1
LAVATORIES - MALE			1
LAVATORIES - FEMALE	I PER 50	2	(SEE NOTE #1
BATHTUBS / SHOWERS			
DRINKING FOUNTAINS (DF)	1 PER 100	2	1 (HI-LOW)
OTHER	SERVICE SINK	(SS) 1	1

U-FACTOR

0.38

0.45

0.77

GENERAL SHEET NOTES:

FENESTRATION

FIXED FENESTRATION

OPERABLE FENESTRATION

ENTRANCE DOORS (GLAZED)

1. SEE SHEET A-002 FOR ANSI/CODE DETAILS

2. SEE SHEET AS-101 FOR LOCATION OF ADA-COMPLIANT TOILET ROOMS AND DRINKING FOUNTAINS. DISTANCE FROM THEORY RM. TO ADA-COMPLIANT TOILET ROOMS IS 300'

LIFE SAFETY LEGEND

ORIENTATION

PF < 0.2

0.2 <u><</u> PF < 0.5

PF <u><</u> 0.5



EGRESS TRAVEL DISTANCE TO EXIT → <u>EGRESS PATH</u> - OCCUPANTS ON EGRESS PATH EXIT CAPACITY - SCHEDULED EGRESS LOAD - MAX. DOOR/STAIR EGRESS CAPACITY - EGRESS WIDTH (INCHES)

0.40

0.48

0.64



ACCESSIBLE ROUTE - <u>REQUIRED MINIMUM</u> MANEUVERING SPACE



RMCTC WELDING & FABRICATION BUILDING

FINAL LAND DEVELOPMENT PLAN MUHLENBERG TOWNSHIP, BERKS COUNTY, PENNSYLVANIA

GENERAL NOTES

- 1. THESE PLANS HAVE BEEN PREPARED FOR LAND DEVELOPMENT PURPOSES ONLY. ADDITIONAL DATA MAY BE NECESSARY FOR CONSTRUCTION.
- 2. DO NOT SCALE THESE DRAWINGS. NOTIFY STACKHOUSE BENSINGER INC. (SBI) IN CASES OF DIMENSIONAL OR INFORMATIONAL DISCREPANCIES OR CONDITIONS REQUIRING CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- 3. REFER TO THE LATEST ARCHITECTURAL DRAWINGS FOR COMPLETE DIMENSIONS AND CONSTRUCTION DETAILS FOR THE PROPOSED BUILDING AND ASSOCIATED EXTERIOR
- FEATURES. DO NOT USE THESE PLANS FOR BUILDING CONSTRUCTION. 4. REFER TO THE LATEST STRUCTURAL DRAWING DETAILS FOR CONCRETE PADS ATTACHED TO THE BUILDING AND CONCRETE PADS FOR MECHANICAL/UTILITY EQUIPMENT
- 5. THIS BOUNDARY SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH. 6. PURSUANT TO PA ACT 121 (2008), NOTIFICATION TO THE "ONE-CALL SYSTEM" IS REQUIRED AT LEAST THREE (3) WORKING DAYS PRIOR TO DISTURBING EARTH WITH ANY TYPE OF
- POWERED EQUIPMENT. CALL 1-800-242-1776. 7. THE CONTOURS AND TOPOGRAPHICAL INFORMATION SHOWN IS BASED ON A FIELD SURVEY PERFORMED BY STACKHOUSE BENSINGER INC. (SBI) IN OCTOBER 2021.
- 8. NO OPENINGS WITHIN THE CLEAR ZONE OF AN OPEN ROAD, ACCESS DRIVE OR PARKING AREA SHALL BE ALLOWED AT THE END OF EACH WORKDAY. IF A TRENCH NEEDS TO BE LEFT OPEN AT THE END OF A WORKDAY, REFER TO PennDOT SPECIFICATIONS FOR ACCEPTABLE PROTECTION GUIDELINES FOR ALL OPENINGS.
- 9. WORK ZONE TRAFFIC CONTROL SHALL COMPLY WITH PUBLICATION 23 (MAINTENANCE MANUAL) AND PUBLICATION 213 (TEMPORARY TRAFFIC CONTROL GUIDELINES)
- 10. FINAL SEWER, WATER, GAS, ELECTRIC, TELEPHONE AND DATA SERVICE LOCATIONS AT THE BUILDING SHALL BE VERIFIED BY THE ARCHITECT OR MECHANICAL/ELECTRICAL ENGINEER PRIOR TO ANY SUCH CONSTRUCTION. 11. THERE ARE NO WETLANDS PRESENT ON THIS SITE IN THE AREA OF THE PROPOSED
- LAND DEVELOPMENT 12. THERE ARE HYDRIC SOILS PRESENT ON THIS SITE, PER THE BERKS COUNTY SOIL SURVEY.
- 13. THERE ARE NO APPARENT SINKHOLES ON THIS SITE. 14 WHEREVER POSSIBLE, NATURAL FEATURES OF THE SITE SUCH AS LARGE TREES, WOODED AREAS AND NATURAL WATERCOURSES AND BODIES OF WATER SHALL BE PRESERVED DURING CONSTRUCTION.
- 15. ALL CONSTRUCTION SHALL BE SUBJECT TO THE REQUIREMENTS OF THE

PENNSYLVANIA UNIFORM CONSTRUCTION CODE, AS ADOPTED BY THE MUNICIPALITY. ALL CONSTRUCTION IMPROVEMENTS SHALL BE LOCATED, DESIGNED, INSTALLED AND/OR CONSTRUCTED IN ACCORDANCE WITH ALL CURRENT STANDARDS SPECIFIED BY THE TOWNSHIP OF MUHLENBERG. IF NOT COVERED. THEN PennDOT PUBLICATION 408-SPECIFICATIONS, PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION RC SERIES SHALL APPLY. UNLESS OTHERWISE NOTED ON THE PLANS.

ALL PAVING THICKNESSES SHOWN ARE THE COMPACTED THICKNESS. ALL ADA ACCESS ROUTES, RAMPS AND PARKING AREAS SHALL BE CONSTRUCTED IN ACCORDANCE TO THE DIMENSIONS INDICATED ON THE PLANS AND DETAILS. THEY SHALL COMPLY WITH THE FOLLOWING GUIDELINES AS WELL AS ALL APPLICABLE BUILDING CODES FOR THIS PROJECT:

- A. CROSS-SLOPES FOR RAMPS AND ACCESS ROUTES SHALL NOT EXCEED 2 PERCENT.
- B. ALL CONCRETE SURFACES SHALL HAVE A SLIP-RESISTANT FINISH. C. RAMPS SHALL NOT EXCEED 1:12 SLOPE (8.3 PERCENT) AND SHALL NOT EXCEED
- A VERTICAL RISE OF 30 INCHES. D. ACCESS ROUTES SHALL NOT EXCEED 1:20 SLOPE (5 PERCENT) AND SHALL NOT EXCEED A LONGITUDINAL LENGTH OF 200 FEET
- E. PASSENGER LOADING ZONES SHALL PROVIDE AN ACCESS AISLE AT LEAST 60 INCHES WIDE AND 20 FEET LONG ADJACENT AND PARALLEL TO THE VEHICLE PULL-UP SPACE AND SHALL NOT EXCEED 2 PERCENT IN ALL DIRECTIONS.
- F. HANDRAILS SHALL BE INSTALLED ON BOTH SIDES OF RAMPS IF THE RAMP LENGTH EXCEEDS 6 FEET OR THE VERTICAL RISE EXCEEDS 6 INCHES. THE TOP HEIGHT OF HANDRAILS SHALL BE A MINIMUM OF 34 INCHES AND A MAXIMUM OF 38 INCHES. HANDRAILS ARE NOT REQUIRED ON CURB RAMPS.
- G. WHERE PROVIDED, THE MINIMUM INSIDE CLEARANCE BETWEEN HANDRAILS SHALL BE AS SPECIFIED ON THE DRAWINGS, EXCEPT IN NO CASE SHALL THE CLEARANCE BE LESS THAN 36 INCHES FOR RAMPS. LANDINGS THAT CHANGE DIRECTION SHALL MAINTAIN A CLEARANCE OF AT LEAST 60 INCHES BETWEEN HANDRAILS.
- H. GUARDS SHALL BE PROVIDED ALONG OPEN-SIDED WALKING SURFACES. INDUSTRIAL EQUIPMENT PLATFORMS, STEPS, RAMPS AND LANDINGS THAT ARE LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW. GUARDS SHALL FORM A PROTECTIVE BARRIER NOT LESS THAN THAN 42 INCHES IN HEIGHT. REFER TO THE SECTION "GUARDS" IN THE BUILDING CODE FOR ADDITIONAL CONSTRUCTION REQUIREMENTS.

CONTRACTORS ARE RESPONSIBLE TO CONFIRM THESE REQUIREMENTS. IF DRAWING GRADES OR DIMENSIONS DO NOT MEET THESE REQUIREMENTS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN PROFESSIONAL PRIOR TO STARTING CONSTRUCTION OR ORDERING MATERIALS.

- 19. ALL GRADING SHALL PROMOTE POSITIVE DRAINAGE AWAY FROM THE BUILDING. 20. LOCATION OF LANDSCAPING WILL BE SUCH AS TO ENSURE NO INTERFERENCE WITH EXISTING OR PROPOSED SEWER LINES, WATER LINES, UTILITY LINES AND STORM DRAINAGE FACILITIES.
- 21. NO OBJECTS GREATER THAN THIRTY (30) INCHES IN HEIGHT SHALL BE LOCATED WITHIN THE CLEAR SIGHT TRIANGLES. NO STRUCTURES, LANDSCAPING OR GRADING MAY BE CONSTRUCTED, INSTALLED OR PERFORMED WITHIN THE AREA OF THE CLEAR SIGHT TRIANGLE WHICH WOULD OBSCURE THE VISION OF MOTORISTS. DEEDS TO LOTS WHICH CONTAIN CLEAR SIGHT TRIANGLES SHALL PROVIDE THAT NO STRUCTURES, LANDSCAPING OR GRADING SHALL BE ERECTED, INSTALLED OR PERFORMED WITHIN THE AREA OF THE CLEAR SIGHT TRIANGLE WHICH WILL OBSCURE THE VISION OF MOTORISTS.

22. ALL PROPOSED UTILITY AND MECHANICAL EQUIPMENT LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE AND ARE BASED ON THE CURRENT PLANS AND INFORMATION OBTAINED FROM THE ARCHITECT, MECHANICAL CONSULTANT AND THE UTILITY COMPANIES AT THE TIME THESE PLANS WERE PREPARED. SBI WILL NOT BE HELD RESPONSIBLE OR LIABLE FOR ANY CHANGES OR MODIFICATIONS TO THE LOCATION OF THE FACILITIES OR OTHER SITE IMPROVEMENTS AFFECTED BY THESE CHANGES AFTER THE PLANS HAVE BEEN APPROVED BY THE MUNICIPALITY AND RECORDED IN THE COUNTY OF BERKS.

23. SOLID WASTE STORAGE AND DISPOSAL: ALL SOLID WASTE SHALL BE STORED IN APPROVED CONTAINERS, INCLUDING SEPARATE RECYCLING MATERIALS, AND PICKED UP ON A REGULAR BASIS BY AN APPROVED COLLECTION AND HAULING COMPANY (OR THE MUNICIPALITY) AND TAKEN TO AN APPROVED RECEIVING SITE PER LOCAL MUNICIPALITIES REQUIREMENTS.

CONTRACTOR NOTES

- 1. WHERE EXISTING IMPROVEMENTS ARE DESIGNATED TO BE REMOVED (TBR), THEY SHALL BE REMOVED, FILLED, AND/OR GRADED PER THE GRADING PLAN(S), OR RESTORED TO EXISTING GRADES WHERE NEW GRADING IS NOT BEING PROPOSED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOUNT FOR THE STRUCTURAL FILL NEEDED TO FILL THE VOID LEFT BY THE REMOVAL OF A STRUCTURE WITH FOUNDATION WALLS AND/OR FOOTERS, UNDERGROUND TANKS OR VAULTS, OR ANY OTHER STRUCTURE WHOSE
- REMOVAL RESULTS IN A NEED FOR FILL TO ACHIEVE PROPOSED GRADES. 2. AS IT RELATES TO CONSTRUCTION ACTIVITY, AND AS NEEDED TO CONSTRUCT IMPROVEMENTS AS INDICATED ON THE PLAN(S), THE CONTRACTOR SHALL REMOVE AND/OR DISPOSE OF ANY BY-PRODUCTS, UNUSED STOCK, DEMOLITION DEBRIS, ETC, IN ACCORDANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL REGULATIONS GOVERNING SUCH DISPOSAL.
- 3. STACKHOUSE BENSINGER INC. HAS NOT PROVIDED THE DESIGN OF SHORING, TRENCHING, EXCAVATION, SUPPORT, SHIELDING OR BENCHING ASSOCIATED WITH THE INSTALLATION OF UTILITIES, GRADING, ETC. ON THE PLAN(S). IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF UTILITIES AND TO COMPLY WITH OSHA TRENCHING REQUIREMENTS
- 4. IF UNFORESEEN SUBSURFACE OR GEOLOGIC CONDITIONS ARE ENCOUNTERED, INCLUDING BUT NOT LIMITED TO DUMPS, FOUNDATIONS, ARCHAEOLOGICAL ARTIFACTS OR FEATURES, SPRINGS, ROCK, SINKHOLES, ETC., THE CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY STACKHOUSE BENSINGER INC. AND THE OWNER.
- 5. ALL EQUIPMENT OPERATED ON NEWLY PAVED SURFACES SHALL HAVE RUBBER WHEELS OR RUNNERS AND SHALL HAVE RUBBER, WOOD, OR SIMILAR PROTECTIVE PADS BETWEEN OUTRIGGERS AND THE ROADWAY SURFACE. IN THE EVENT THAT OTHER THAN RUBBER EQUIPPED MACHINERY IS AUTHORIZED FOR USE, THE PAVED SURFACE SHALL BE PROTECTED BY THE USE OF MATTING, WOOD, OR OTHER SUITABLE PROTECTIVE MATERIAL HAVING A MINIMUM THICKNESS OF (4) FOUR INCHES
- 6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITY COMPANY THE REMOVAL, RELOCATION, ABANDONMENT OR INSTALLATION OF ANY PUBLIC UTILITY LINES, POLES, VAULTS, ETC. (GAS, ELECTRIC, TELEPHONE, CABLE TV AND FIBER OPTIC COMMUNICATIONS) 7. CONTRACTOR(S) SHALL BE RESPONSIBLE TO MAINTAIN DETAILED "AS-BUILT" INFORMATION OF LATERALS, BENDS, VALVES, DROP CONNECTIONS, ETC.. OF ALL UTILITY LINE CONSTRUCTION. THIS IS TO INCLUDE DIMENSIONED "TIE-DOWNS" OF ALL FITTINGS.
- VALVES AND WYE CONNECTIONS. 8. THE CONTRACTOR(S) IS(ARE) RESPONSIBLE TO CONTACT EACH UTILITY COMPANY OR AUTHORITY AT LEAST 3 DAYS BEFORE ANY EXCAVATION OF EXISTING UTILITIES. PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL INVESTIGATE EXISTING UNDERGROUND UTILITY LOCATIONS, RESEARCH PUBLIC AND SITE UTILITY RECORDS, AND DIG TEST PITS IN AREAS TO THE EXTENT NECESSARY TO VERIFY EXISTING UTILITY DEPTHS AND LOCATIONS AND TO VERIFY THAT STORM DRAINAGE AND UTILITY SYSTEMS PIPE, EXCAVATION, FILLING AND GRADING MAY BE INSTALLED IN COMPLIANCE WITH ORIGINAL DESIGN AND REFERENCED STANDARDS.

IF THE CONTRACTOR DETERMINES THAT THE LOCATION OF EXISTING UTILITY LINES ARE NOT AS DEPICTED ON THE DRAWINGS (HORIZONTALLY OR VERTICALLY) OR THE ORIGINAL DESIGN IS IN CONFLICT WITH THE EXISTING UTILITIES, HE SHALL IMMEDIATELY NOTIFY THE DESIGN PROFESSIONAL OF SUCH CONFLICT. THE CONTRACTOR IS CAUTIONED NOT TO ORDER ANY MATERIALS OR PERFORM ANY FURTHER WORK UNTIL SUCH VERIFICATION AND/OR DESIGN PROFESSIONAL CLARIFICATION HAS BEEN PROVIDED. THE CONTRACTOR WILL BE REQUIRED TO REPAIR ALL DAMAGED UTILITY LINES AT HIS EXPENSE.

THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL REQUIRED MUNICIPAL. UTILITY OR CONSTRUCTION PERMITS NOT PROVIDED BY THE OWNER OR CONSULTANTS.

- 9. IF THE CONTRACTOR DETERMINES THAT STRUCTURES OR IMPROVEMENTS CANNOT BE MANUFACTURED OR CONSTRUCTED AS INDICATED ON THE DRAWINGS, OR IF THE DESIGN DRAWINGS INDICATE CONFLICTING INFORMATION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN PROFESSIONAL. THE CONTRACTOR IS CAUTIONED NOT TO ORDER ANY MATERIALS OR PERFORM ANY FURTHER WORK UNTIL SUCH VERIFICATION AND/OR DESIGN PROFESSIONAL CLARIFICATION HAS BEEN PROVIDED. 10. CONTRACTOR MUST CONFIRM BUILDING DIMENSIONS PRIOR TO ANY SUCH CONSTRUCTION. BUILDING DIMENSIONS AND DETAILS FOR EXTERIOR STEPS, RAILINGS, ETC. SHOULD BE TAKEN FROM THE ARCHITECTURAL PLANS. DO NOT USE THESE PLANS
- FOR BUILDING-RELATED CONSTRUCTION.
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL MEASURES, AND SHALL COMPLY WITH ALL NOTES LISTED ON THE E&SC PLAN. A COPY OF THE STAMPED APPROVED E&SC PLAN AND NARRATIVE MUST BE KEPT ON SITE AT ALL TIMES BY THE CONTRACTOR.

DEMOLITION NOTES

- SAWCUT LINE REPRESENTS THE APPROXIMATE LIMIT OF PAVING RECONSTRUCTION. 2. FIELD ADJUST PAVING TO PROVIDE AN APPROPRIATE TRANSITION TO EXISTING PAVING. THERE SHALL BE NO LESS THAN A 6' TAPER.
- 3. THE CONTRACTOR IS PUT ON NOTICE THAT THERE ARE NUMEROUS UNDERGROUND UTILITIES IN THE LIMITS OF DISTURBANCE, INCLUDING WATER, SEWER, GAS, TELEPHONE AND ELECTRIC. THERE MAY BE OTHER UTILITIES INCLUDING CABLE TELEVISION, TELECOMMUNICATIONS AND OTHERS, SOME OF THESE UTILITIES MY BE ABANDONED, WHILE MANY ARE ACTIVE.
- 4. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN CONDUCTING EXCAVATION OPERATIONS, NOT TO DAMAGE OR DISTURB ANY EXISTING CONDITIONS THAT ARE TO REMAIN. THE CONTRACTOR SHALL REPAIR ANY DAMAGE OR DISTURBANCE OF ANY EXISTING CONDITION IMMEDIATELY, AT NO COST THE THE OWNER.
- 5. THE CONTRACTOR IS TO BE AWARE THAT IF ANY EXISTING UTILITIES ARE SHOWN ON THE PLANS THEY ARE SHOWN IN THEIR APPROXIMATE LOCATION ONLY AND THAT THE EXISTING UTILITIES SHOWN REPRESENT ONLY A DILIGENT EFFORT TO SHOW THE APPROXIMATE LOCATION OF SOME OF THE UTILITIES. 6. THE CONTRACTOR IS TO COMPLY WITH FEDERAL, STATE AND LOCAL CODE

STORMWATER MANAGEMENT LANDOWNER'S ACKNOWLEDGEMENT	I, MICHAEL HARTMAN, P.E., CERTIFY THAT TH DRAINAGE PLANS MEET ALL DESIGN STAND/ AND CRITERIA OF THE TOWNSHIP OF MUHLE STORMWATER ORDINANCE.	IE ARDS ENBERG	LIST OF WAIVERS THE FOLLOWING WAIVERS OF THE STORMWATER M TOWNSHIP OF MUHLENBERG HAVE BEEN REQUEST SECTION 297-15 - GROUND WATER RECHARGE SECTION 297-16 - WATER QUALITY SECTION 297-17 - STREAM BANK EROSION SECTION 297-18 - RATE CONTROL THE FOLLOWING WAIVERS OF THE SUBDIVISION AM TOWNSHIP OF MUHLENBERG HAVE BEEN REQUEST SECTION 310-14 - PRELIMINARY PLAN SECTION 310-25(G)(8)(a) - ENVIRONMENTAL IMPACT SECTION 310-25(G)(8)(b) - COMMUNITY FACILITIES IM SECTION 310-25(G)(8)(c) - TRAFFIC IMPACT ASSESSI SECTION 310-25(G)(8)(d) - UTILITY IMPACT ASSESSI
MUHLENBERG TOWNSHIP P	ANNING COMMISSION		MUHLENBERG TOWNSHP BOARD OF COMMIS
AT A MEETING HELD ON	_, THE MUHLENBERG TOWNSHIP THE RMCTC WELDING & FABRICATION SHOWN AND DESCRIBED HEREON, PLANNING COMMISSION, BY MOTION, N ACCORDANCE WITH THE NSHIP CODE.	AT BO, FAE HEI BY THI 	A MEETING HELD ON, THE MUHLENBE ARD OF COMMISSIONERS HAS REVIEWED THE RMCTC WE BRICATION BUILDING LAND DEVELOPMENT PLAN, AS SHOV REON, WHEREAS, THE MUHLENBERG TOWNSHIP BOARD C MOTION, APPROVES THE PLAN IN ACCORDANCE WITH THI E MUHLENBERG TOWNSHIP CODE.

- REQUIREMENTS. 7. REFER TO THE ARCHITECTS PLANS FOR ADDITIONAL DEMOLITION NOTES AND INSTRUCTIONS. 8. PROTECT EXISTING IMPROVEMENTS, APPEARANCES, AND LANDSCAPING TO REMAIN FROM
- DAMAGE. 9. ERECT TEMPORARY PROTECTIONS, SUCH AS WALKS, FENCES, RAILINGS, ETC. WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION OR AS INDICATED. REMOVE
- TEMPORARY BARRIERS AND PROTECTIONS ONLY WHERE HAZARDS NO LONGER EXIST. 10. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT AND COORDINATE WITH THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE THE REMOVAL, RELOCATION, ABANDONMENT OR INSTALLATION OF ANY PUBLIC UTILITY LINES, POLES, VAULTS, ETC. (GAS, ELECTRIC, TELEPHONE, CABLE TV AND FIBER OPTIC COMMUNICATIONS).
- 11. NO EARTH DISTURBING ACTIVITIES SHALL COMMENCE UNTIL ALL PERIMETER EROSION CONTROL MEASURES ARE IN PLACE IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLAN.
- THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH ALL REGULATIONS GOVERNING THE DEMOLITION. REMOVAL TRANSPORTATION AND DISPOSAL OF ALL DEMOLITION DEBRIS.
- THE CONTRACTOR SHALL LOCATE AND REMOVE ALL UNDERGROUND UTILITY PIPING. UTILITY CABLES (ELECTRIC, TELEPHONE, ETC.) IN THE PROJECT SITE, INDICATED TO BE REMOVED, UP TO A DEPTH AS REQUIRED TO PERMIT PROPOSED CONSTRUCTION. 14. THE CONTRACTOR SHALL ADJUST OR RELOCATE UNDERGROUND UTILITIES,
- INDICATED TO REMAIN, AS REQUIRED TO PERMIT PROPOSED CONSTRUCTION. THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, ETC. AS NECESSARY FOR THESE OPERATIONS,
- AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA. 16. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL PROPERTY CORNER MONUMENTS, AND SHALL HAVE, AT HIS EXPENSE, ALL CORNER MONUMENTS REPLACED WHICH ARE DISTURBED BY CONSTRUCTION ACTIVITIES.
- NOTES SHOWN HERE ON REGARDING SPECIFIC ITEMS OF DEMOLITION ARE GENERAL IN NATURE, AND ARE NOT INTENDED TO BE WHOLLY INCLUSIVE. THE CONTRACTOR SHALL DEMOLISH AND REMOVE ALL EXISTING IMPROVEMENTS TO THE EXTENT AS NOTED ON THESE PLANS AND IN THE SPECIFICATIONS, TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING DISCONNECTION OF ALL UTILITIES SERVING THE EXISTING BUILDING(S) WITH THE APPROPRIATE UTILITY COMPANY, AND SHALL OBTAIN APPROVAL FROM SAME TO COMMENCE DEMOLITION ACTIVITIES. 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLUGGING, CAPPING, OR
- OTHERWISE TERMINATING UTILITY SERVICE LINES AT EXISTING METER LOCATIONS,
- CLEANOUTS, ETC., UNLESS OTHERWISE DIRECTED BY THE UTILITY COMPANY. 20. INFORMATION SHOWN HAS BEEN PROVIDED TO STACKHOUSE BENSINGER INC. (SBI) BY ELYSIAN PARNERS LLC AND BY UTILITY COMPANIES RESPONDING TO THE PA ONE-CALL SYSTEM. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING ABOVE GROUND AND UNDERGROUND ELECTRICAL, MECHANICAL, PIPING, AND CONDUITS PRIOR TO PROCEEDING WITH THE DEMOLITION WORK.
- 21. IF ANY DISCREPANCIES, INCONSISTENCIES, OR OMISSIONS ARE FOUND, THE DESIGN ENGINEER AND PROPERTY OWNER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION PRIOR TO PROCEEDING WITH DEMOLITION WORK. 22. ALL EXISTING BUILDINGS AND UTILITIES ASSOCIATED WITH THE BUILDING, INCLUDING
- HVAC, PLUMBING, ELECTRICAL, ETC., SHALL BE BY OTHERS. THIS PLAN SHOWS THE REMOVAL OF THE EXISTING BUILDINGS, NOT HOW IT IS TO BE REMOVED. 23. REFER TO THE GRADING AND UTILITY PLAN FOR ANY UTILITY STRUCTURE RIMS,
- GRATES OR TOPS THAT ARE BEING ADJUSTED DUE TO PAVING OR LAWN REGRADING. **GRADING NOTES**
- 1. TOPSOIL AND SUBSOIL MATERIAL SHALL BE EXCAVATED AND STOCKPILES SEPARATELY. TOPSOIL CONTAMINATED WITH SUBSOIL SHALL NOT BE USED FOR FINAL GRADING AND SEEDBED PREPARATION WITHOUT SPECIFIC AUTHORIZATION BY THE OWNER. SUBSOIL CONTAMINATED WITH TOPSOIL AND/OR OTHER ORGANIC MATERIAL SHALL NOT BE USED FOR STRUCTURAL FILL, AND MAY ONLY BE USED FOR NON-STRUCTURAL FILL OR SPOILED ON THE SITE WITH SPECIFIC AUTHORIZATION BY THE OWNER. CONTAMINATED SOILS NOT AUTHORIZED FOR USE ON THE SITE SHALL BE HAULED OFF-SITE TO AN APPROVED LOCATION AT NO COST OR LIABILITY TO THE OWNER.
- 2. THE CONTRACTOR SHALL COMPACT AND PREPARE THE SUBGRADE FOR ALL IMPROVEMENTS INCLUDING BUT NOT LIMITED TO PAVING AND CONCRETE PADS. UNSUITABLE MATERIAL SHALL BE REMOVED DOWN TO APPROVED SUBGRADE OR ACCEPTABLE FILL MATERIAL SHALL BE IMPORTED AND PREPARED.
- 3. ALL FILL MATERIAL SHALL CONSIST OF SUITABLE MATERIAL FREE OF ALL ROOTS, SOD, FROZEN SOIL OR ROCK OVER 3 INCHES IN DIAMETER AND CONTAINING NOT MORE THAN 20 PERCENT CLAY BY WEIGHT. ALL FILL SHALL BE PLACED IN MAXIMUM 8 INCH LIFTS AT ±2 PERCENT OPTIMUM MOISTURE CONTENT AND UNIFORMLY COMPACTED TO 98 PERCENT FOR FOUNDATIONS AND FLOOR SLABS, 95 PERCENT FOR PAVEMENTS AND 93 PERCENT FOR NON-STRUCTURAL FILL (ASTM D-698). ON SITE SOILS MAY NEED TO BE DRIED TO MEET THESE REQUIREMENTS. SAMPLES (MINIMUM OF 65 LBS. OR 2 5-GALLON BUCKETS) OF ON-SITE OR BORROW SOURCES OF FILL SHALL BE SUBMITTED TO THE GEOTECHNICAL ENGINEER FOR TESTING AT LEAST 1 WEEK BEFORE USE ON THE SITE, IF REQUIRED BY THE OWNER OR CONTRACT DOCUMENTS.
- 4. WHERE EXISTING IMPROVEMENTS ARE DESIGNATED TO BE REMOVED (TBR), THEY SHALL BE REMOVED, FILLED AND/OR GRADED PER THE GRADING PLAN(S) OR RESTORED TO EXISTING GRADES WHERE NEW GRADING IS NOT BEING PROPOSED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOUNT FOR THE STRUCTURAL FILL NEEDED TO FILL THE VOID LEFT BY THE REMOVAL OF A STRUCTURE WITH FOUNDATION WALLS AND/OR FOOTERS, UNDERGROUND TANKS OR VAULTS, OR ANY OTHER STRUCTURE WHOSE REMOVAL RESULTS IN A NEED FOR FILL TO ACHIEVE PROPOSED GRADES.

UTILITY NOTES

MY COMMISSION EXPIRES:

1. THE LOCATIONS OF UNDERGROUND UTILITIES HAVE BEEN SHOWN BASED ON FIELD SURVEY AND SURFACE OBSERVATION AND EXISTING DATA PROVIDED BY UTILITIES. STACKHOUSE BENSINGER INC. (SBI) MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. SBI DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THEIR EXACT LOCATION; THEREFORE, SBI SHALL NOT BE RESPONSIBLE OR HELD LIABLE FOR ANY UTILITY NOT SHOWN OR SHOWN ON THE DRAWINGS IN A LOCATION OTHER THAN WHERE IT IS ACTUALLY DISCOVERED UPON EXCAVATION. SBI HAS NOT PHYSICALLY

- EXCAVATED AND LOCATED ANY UNDERGROUND LINES. CONTRACTOR MUST MEET THE MUNICIPALITY'S SPECIFICATIONS. 3. ALL LATERALS/BUILDING SEWERS SHALL HAVE A MINIMUM COVER OF FOUR (4) FEET AND A MINIMUM SLOPE OF 1/4" PER FOOT.
- 5. A 10' MINIMUM HORIZONTAL CLEARANCE SHALL BE PROVIDED BETWEEN WATER MAINS
- THE HORIZONTAL SEPARATION CANNOT BE MAINTAINED THEN AN 18" (INCH) MINIMUM VERTICAL SEPARATION SHALL BE PROVIDED. 6. ROOF DRAINS SHALL BE DIRECTED AWAY FROM STRUCTURES TO PREVENT INFILTRATION
- NEAR THE STRUCTURE FOUNDATION. THE OUTLETS SHALL HAVE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE. 7. NOTHING SHALL BE PLACED, PLANTED, CONSTRUCTED AND/OR INSTALLED WITHIN ANY UTILITY EASEMENTS WHICH WOULD HINDER THE PURPOSES FOR WHICH SUCH
- EASEMENTS WERE CREATED. 8. A MINIMUM HORIZONTAL DISTANCE OF 3 FEET SHOULD BE MAINTAINED BETWEEN THE
- CLEANOUT/VENT AND OTHER UTILITIES (I.E. ELECTRIC, PHONE AND CABLE TV) WITH A SET OF "AS-BUILT" DRAWINGS AT THE COMPLETION OF INSTALLING THE MAIN SANITARY SEWER SYSTEM.
- ALL EASEMENTS SHALL REMAIN FREE AND CLEAR OF ALL IMPEDIMENTS INCLUDING. BUT NOT LIMITED TO, BUILDINGS, SHEDS, DECKS, POOLS, FENCES, TREES AND LARGE SHRUBS. THE INDIVIDUAL LOT OWNERS SHALL PROVIDE ROUTINE MAINTENANCE. NO SHALL BE PERFORMED

STORMWATER MANAGEMENT NOTES 1. THE GRADING SHALL BE IN ACCORDANCE WITH THE GRADING PLANS. ANY DEVIATION

- FROM THE PROPOSED GRADING SHOWN ON THESE PLANS MUST HAVE THE WRITTEN APPROVAL OF THE MUHLENBERG TOWNSHIP ENGINEER. THE PROPERTY OWNER IS PROHIBITED FROM THE PLACEMENT OF ANY STRUCTURE, VEGETATION OR OTHER SURFACE WATER OBSTRUCTION IN ANY MANNER THAT WOULD IMPEDE OR REDIRECT STORM WATER DISCHARGING FROM THE LOTS IN A PATTERN DIFFERING FROM THAT INDICATED ON THE GRADING PLANS. 2. AS-BUILT PLANS SHALL BE PREPARED AND CERTIFIED BY A PROFESSIONAL ENGINEER
- SEWERS, WERE CONSTRUCTED IN ACCORDANCE WITH THE PLAN. 3. THE PROPERTY OWNER IS RESPONSIBLE FOR THE MAINTENANCE AND OWNERSHIP OF ALL STORMWATER MANAGEMENT FACILITIES LOCATED OUTSIDE OF THE ROAD RIGHTS-OF-WAY. THE RIGHT TO INSPECT THESE FACILITIES IS RESERVED TO MUHLENBERG TOWNSHIP. IN THE EVENT THAT MAINTENANCE AND STRUCTURAL INTEGRITY ARE NOT MAINTAINED BY THE OWNER AS REQUIRED BY THE TOWNSHIP, THE
- DETERMINED NECESSARY BY THE TOWNSHIP AND TO RECOVER THE COSTS THEREOF FROM THE PROPERTY OWNER BY ALL LAWFUL MEANS INCLUDING, BUT NOT LIMITED TO, THE IMPOSITION OF A MUNICIPAL LIEN ON THE SUBJECT PROPERTY. 4. BASED ON A RECENT INSPECTION OF THE STORMWATER MANAGEMENT FACILITY, IT HAS
- OPERATED IN AN ACCEPTABLE MANNER SUCH THAT IT HAS THE CAPACITY TO RECEIVE THE ADDITIONAL STORMWATER RUNOFF GENERATED BY THE PROPOSED SITE IMPROVEMENTS DEPICTED ON THIS LAND DEVELOPMENT PLAN.

CARBONATE NOTES:

CONSTRUCTION GUIDELINES:

- 1. CARE SHOULD BE TAKEN TO PREVENT COLLECTION AND DRAINAGE OF SURFACE WATER INTO EXCAVATED OR LOW LYING AREAS OF THE SITE DURING EXCAVATION AND CONSTRUCTION.
- 2. SOFT AND WET CONDITIONS SHALL BE LOCATED WHEREVER THEY MAY EXIST OR BE ENCOUNTERED. 3. SOFT AREAS SHALL BE REMOVED AND REPLACED WITH SUITABLE FILL COMPACTED IN
- ACCORDANCE WITH RECOGNIZED STANDARDS, SUCH AS ASTM. WITH SOUNDINGS OR PROBES OF THE SOIL AT REGULAR INTERVALS, SHALL BE PERFORMED. ANY SOFT OR UNUSUALLY MOIST SOIL SHALL BE EXCAVATED AND A
- ADOPTED AS NECESSARY. FINDINGS AND REMEDIATIONS SHALL BE DOCUMENTED AND PROVIDED TO THE MUNICIPALITY. 5. THE END POINTS OF SWALES AND OUTLET LOCATIONS FOR DRAINAGE PIPES SHALL BE
- LINED WITH IMPERMEABLE LINERS INSTEAD OF STONE RIP-RAO IN ORDER TO PREVENT INFILTRATION OF RUNOFF. 6. EXCAVATION SHOULD BE KEPT TO A PRACTICAL MINIMUM.
- POSSIBLE, ROOF DRAINS SHOULD DISCHARGE DIRECTLY INTO A STORM SYSTEM OR A STREET GUTTER.
- 8. WATER TIGHT PIPE CONNECTIONS SHALL BE USED FOR STORM SEWERS. 9. SUBSOIL EROSION/SINKHOLES THAT OCCUR DURING THE CONSTRUCTION OF A PROJECT SHALL BE CORRECTED AS QUICKLY AS POSSIBLE UNDER THE SUPERVISION OF A QUALIFIED GEOTECHNICAL ENGINEER. 10. BLASTING SHOULD BE AVOIDED.

REFER TO ZONING ORDINANCE SECTION 355-35 CARBONATE GEOLOGY OVERLAY DISTRICT FOR ADDITIONAL INFORMATION.

COMPANY: MET ED FIRSTENERGY MANAGEMENT ORDINANCE FOR THE ADDRESS: 2800 POTTSVILLE PIKE READING, PA. 19605 ONTACT: PETE HACHEM EMAIL:PHACHEM@FIRSTENERGYCORP.COM COMPANY: MUHLENBERG TOWNSHIP AUTHORITY ADDRESS: 2840 KUTZTOWN ROAD READING PA 19605 CONTACT: JEFFREY CALPINO EMAIL:jcalpino@comcast.net ID LAND DEVELOPMENT ORDINANCE OF THE COMPANY: AIR LIQUIDE INDUSTRIAL US LP ADDRESS: 2500 N 11TH ST PO BOX 13577 READING, PA. 19612-3577 CONTACT: JOSEPH ELY EMAIL: joe.ely@airgas.com ASSESSMENT MPACT ASSESSMENT COMPANY: MUHI ENBERG TOWNSHIP ADDRESS: 210 GEORGE STREET MENT READING PA 1960 1ENT CONTACT: JEREMY GARL EMAIL:JGARL@MUHLENBERGTWP.COM CERTIFICAT SIONERS CERTIFICATE OF OWNERSHIP RG TOWNSHIP COMMONWEALTH OF PENNSYLVANIA HEREBY CERTIFY THAT TO THE BEST OF COUNTY OF _____ LDING & DESCRIBED HEREON IS TRUE AND CORRECT WN AND DESCRIBED MUHLENBERG TOWNSHIP CODE. OF COMMISSIONERS, ON THIS, THE DAY OF , BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY E PROVISIONS OF APPEARED ERIC KAHLER, ADMINISTRATIVE DIRECTOR OF THE READING MUHLENBERG CAREER AND TECHNOLOGY CENTER, WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT IT IS THE RECORD OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN WAS PREPARED AT ITS TEPHEN H. BENSINGER DIRECTION, AND THAT IT ACKNOWLEDGES THE SAME TO BE ITS ACT AND PLAN, AND DESIRES THE SAME SU-31389-E TO BE RECORDED AS SUCH ACCORDING TO LAW. AND THAT ALL STREETS SHOWN AND NOT HERETOFORE DEDICATED ARE HEREBY DEDICATED TO THE PUBLIC USE. ------DATE ERIC KAHLER, ADMINISTRATIVE DIRECTOR READING MUHLENBERG CAREER AND TECHNOLOGY CENTER NOTARY

2. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWNSHIP OF MUHLENBERG AND/OR THE MUHLENBERG TOWNSHIP AUTHORITY'S CURRENT RULES AND REGULATIONS AND DEP REGULATIONS. THE CONTRACTOR IS RESPONSIBLE TO APPLY FOR ALL MUNICIPAL PERMITS PRIOR TO THE START OF CONSTRUCTION. IT IS RECOMMENDED THAT THE PERMIT(S) BE OBTAINED PRIOR TO ORDERING OF MATERIALS IN THE EVENT THE MUNICIPAL SPECIFICATIONS DIFFER FROM INFORMATION SHOWN ON THE DRAWINGS. THE

4. ALL WATER LINE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE THE MUHLENBERG TOWNSHIP AUTHORITY'S RULES AND SPECIFICATIONS AND CURRENT DEP REGULATIONS. AND WATER LATERALS AND SANITARY SEWER MAINS AND SANITARY SEWER LATERALS. IF

9. THE DEVELOPER'S CONTRACTOR SHALL PROVIDE THE TOWNSHIP'S MUNICIPAL AUTHORITY

REGRADING WITHOUT THE MUHLENBERG TOWNSHIP AUTHORITY'S WRITTEN PERMISSION

THAT THE SITE WORK, INCLUDING DETENTION BASIN, INFILTRATION SYSTEM AND STORM

OWNER HEREBY GRANTS TO THE TOWNSHIP THE RIGHT TO ENTER UPON SUCH PROPERTY AND TO PERFORM ANY AND ALL IMPROVEMENTS, REVISIONS OR MAINTENANCE AS MAY BE

BEEN DETERMINED THAT THE EXISTING DETENTION BASIN #1 HAS BEEN MAINTAINED AND

4. THE BOTTOM OF ALL EXCAVATIONS SHALL BE INSPECTED FOR SOFT OR UNUSUALLY MOIST CONDITIONS. A VISUAL INSPECTION OF THE EXCAVATED BEARING SURFACE, TOGETHER

DETERMINATION MADE OF THE EXTENT OF THE PROBLEM. REMEDIAL MEASURES SHALL BE

7. WATER FROM ROOF DRAINS OR OTHER DRAINAGE SYSTEMS SHOULD BE COLLECTED AND CONVEYED AWAY FROM STRUCTURES TO PREVENT INFILTRATION NEAR FOUNDATIONS. IF

COMPANY: ENERGY TRANSFER

CONTACT: CELESTE WATERWALI

EMAIL:celeste.waterwall@energytransfer.com

ADDRESS: 225 MORGANTOWN ROAD

COMPANY: LAURELDALE BOROUGH

ADDRESS: 3406 KUTZTOWN ROAD

CONTACT: OFFICE PERSONNEL

HOUSTON, TX. 77002

READING PA 19611

LAURELDALE, PA. 19605

ADDRESS: 1300 MAIN ST

COMPANY: UGI UTILITIES INC

EMAIL:kzielaskowski@ugi.com

CONTACT: KURT ZIELASKOWSKI

PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY PA ACT 121 OF OCTOBER 9, 2008 73 P.S. 176 et. seq., REQUIRES NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH SERIAL NUMBER: 20212801733

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH THE PENNSYLVANIA ACT 121, AND TO CONTACT THE "ONE-CALL SYSTEM" 3 WORKING DAYS PRIOR TO CONSTRUCTION (UNLESS OTHERWISE INDICATED). PA ONE-CALL NUMBER: 1-800-242-1776 OR 811. 2. ALL EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS AND MUST BE VERIFIED WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY CONSTRUCTION OR OPERATION BEING UNDERTAKEN ON THIS SITE. ANY CONSTRUCTION OR OPERATION UNDERTAKEN ON THIS SITE MUST

PLAN LIST I	NDEX	
PLAN TITLE	PLAN NO.	
OVER SHEET AND SITE CONSTRUCTION NOTES	C-1.1	
EXISTING CONDITIONS & DEMOLITION	C-2.1	
LAND DEVELOPMENT & LANDSCAPE	C-3.1	
GRADING & UTILITY	C-4.1	
PROFILES	C-5.1	
SITE CONSTRUCTION DETAILS	C-6.1	
EROSION & SEDIMENT CONTROL (E & SC) PLAN	C-ESC1	
E & SC PLAN DETAILS	C-ESC2	
E & SC PLAN NOTES	C-ESC3	
LIGHTING	E-104	
ALL PLANS LISTED IN THE PLAN LIST INDEX W COUNTY RECORDER OF DE	ILL BE RECORDED EEDS OFFICE.) IN

198+ FEET

7.4 PERCENT

	CONFORM TO ANY AND ALL LOCAL, STATE, DEED OR OTHER RESTRICTIONS IN EFFECT AT THE TIME OF OPERATION.	COUNTY RECORDER OF DEEDS OFFICE.
E OF ACCURACY	RECORDER OF DEEDS	BERKS COUNTY PLANNING COMMISSION
MY KNOWLEDGE, THE PLAN SHOWN AND ECT TO THE ACCURACY REQUIRED BY THE		

SITE DATA

RECORD OWNER: READING SCHOOL DISTRICT AND MUHLENBERG SCHOOL DISTRICT 2615 WARREN ROAD READING PA 19605

OWNER'S REPRESENTATIVE: ERIC KAHLER (ADMINISTRATIVE DIRECTOR OF THE READING MUHLENBERG CAREER AND TECHNOLOGY CENTER) 610-921-7300

DEED BOOK VOLUME: 1814, PAGE 487

SOURCE OF TITLE: BEING PART OF THE SAME PREMISES WHICH READING-MUHLENBERG AREA VOCATIONAL-TECHNICAL SCHOOL AUTHORITY, BY DEED DATED APRIL 5, 1981 AND RECORDED IN THE OFFICE FOR THE RECORDER OF DEEDS. IN DEED BOOK VOLUME 1814 PAGE 487, BERKS COUNTY RECORDS, GRANTED AND CONVEYED

UNTO READING SCHOOL DISTRICT AND MUHLENBERG SCHOOL DISTRICT. UPI / PROPERTY ID: 66-5318-14-34-9436

TOTAL TRACT AREA: 54.946 ACRES (GROSS) SOURCE OF DATUM: EXISTING SANITARY SEWER MANHOLE INVERT (ELEVATION 483.23) NEAR THE END OF THE CONNECTOR B (APPROX. 7+00) AS SHOWN ON THE BELOW REFERENCED PLAN RECORDED IN PLAN BOOK 270, PAGE 86, BERKS COUNTY

RECORDS. REFERENCES USED TO PREPARE PLANS: "READING-MUHLENBERG AREA VOCATIONAL TECHNICAL SCHOOL ADDITIONS & RENOVATIONS" PLAN RECORDED IN PLAN BOOK 270, PAGE 86, BERKS COUNTY RECORDS. NOTES

1. THE LOCATIONS OF UNDERGROUND UTILITIES HAVE BEEN SHOWN BASED ON FIELD

SURVEY AND SURFACE OBSERVATION AND EXISTING DATA PROVIDED BY UTILITIES. STACKHOUSE BENSINGER INC. (SBI) MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. SBI DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION. THEREFORE, SBI SHALL NOT BE RESPONSIBLE OR HELD LIABLE FOR ANY UTILITY NOT SHOWN OR SHOWN ON THE DRAWINGS IN A LOCATION OTHER THAN WHERE IT IS ACTUALLY DISCOVERED UPON EXCAVATION. SBI HAS NOT PHYSICALLY

EXCAVATED AND LOCATED ANY UNDERGROUND LINES. 2. THE PROPERTY SHOWN HERE IS LOCATED WITHIN A ZONE X, AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FLOOD INSURANCE RATE MAP PANEL NO. 42011C0506G AND 42011C0507G, WITH AN EFFECTIVE DATE OF JULY 3, 2012.

INTENT: CONSTRUCT NEW BUILDING AND RELATED IMPROVEMENTS (NO ADDITIONAL STAFF, STUDENTS, ETC. WILL BE ADDED AS PART OF THIS PROJECT. NO ADDITIONAL PARKING IS PROPOSED OR NECESSARY)

PROPOSED WATER SUPPLY: PUBLIC PROPOSED SANITARY SEWER DISPOSAL: PUBLIC

ZONING DATA

-2 (LOW TO MEDIUM DENSITY RESIDENTIAL DISTRICT) **REQUIREMENTS FOR EDUCATIONAL USES**

	REQUIRED	PROVIDED
MINIMUM LOT AREA:	3 ACRES	54.946 ACRES
MINIMUM LOT WIDTH:	250 FEET	250+ FEET
MINIMUM FRONT YARD:	60 FEET	200+ FEET
MINIMUM SIDE YARD :	25 FEET	198+ FEET
MINIMUM REAR YARD:	50 FEET	198+ FEET
MAXIMUM BUILDING COVERAGE:	30 PERCENT	7.4 PERCENT
	24 PERCENT*	
MAXIMUM LOT COVERAGE:	50 PERCENT	20.0 PERCENT
	40 PERCENT*	
MAXIMUM BUILDING HEIGHT:	50 FEET	
BYPASS INTERCHANGE OVERLAY DISTRICT		
	REQUIRED	
MINIMUM LOT AREA:	3 ACRES PER PERMITTED USE	PROVIDED
MINIMUM LOT WIDTH:	200 FEET	54.946 ACRES
MINIMUM FRONT YARD:	60 FEET	250+ FEET
MINIMUM SIDE YARD :	30 FEET**	200+ FEET
MINIMUM REAR YARD:	50 FEET**	198+ FEET

40 PERCENT

32 PERCENT*

60 PERCENT

48 PERCENT* 20.0 PERCENT 50 FEET MAXIMUM BUILDING HEIGHT: *DUE TO THE FACT THAT MORE THAN 10 PERCENT OF THE OVERALL PROPERTY CONTAINS SLOPES WITHIN THE CATEGORY 3 SLOPES, THE MAXIMUM COVERAGE AREAS SHALL BE

REDUCED BY 20 PERCENT **MINIMUM SETBACK INCREASES TO 100 FEET IF THE ADJOINING PROPERTY CONTAINS AN EXISTING RESIDENTIAL USE

EXISTING IMPERVIOUS COVER TO BE REMOVED: CONCRETE: 3,499.83 S.F

 GRAVEL: 14,053.90 S.F.

MAXIMUM BUILDING COVERAGE:

MAXIMUM LOT COVERAGE:

PROPOSED IMPERVIOUS COVER TO BE ADDED: BUILDING: 9,099.12 S.F.

956.12 S.F. PAVING: CONCRETE: 1,983.78 S.F.

CHANGE IN IMPERVIOUS COVER: 5,514.71 S.F. INCREASE







			SEAL			
1	2/23/22	F	REVISED PER TWP. REVIEW			
NO.	DATE		REVISION			
	RE'	VIS	SIONS			
	CON	Sι	ILTANT			
	(
		_				
STAC	CKHOUS	EĿ	SENSINGER INC.			
	LANDSCAP	E Al	RCHITECTURE			
	CIVIL E LANE	ENG D PL	INEERING ANNING			
	MUNICIP/ SU	al C Irve	CONSULTING EYING			
	330 REVE		BOULEVARD			
VOIC	E: (610) 777- www.stackh	8000 1005	FAX: (610) 796-2983			
тнія		Sainc				
DRAW ANY L	ING IS ON FILE IN THE IABILITY WHATSOEV OR LAST REVISI	OFFICE ER IS L ON TO	S OF STACKHOUSE BENSINGER INC MITED TO THE ORIGINAL DRAWING THE ORIGINAL DRAWING			
			COPYRIGHT 2022			
PR	OJECT	IN	FORMATION			
CLIENT		~	Ameli's s			
Wuh 955 Be	IENDERG erkshire Boule	G r vard	Wyomissing PA 19610			
PROJEC	CT:					
RMC Muhlen	C Welding	ј&Р рВе	Fabrication Building rks County Pennsylvania			
PLAN TI	TLE:	Λ				
		.~ ^I				
י ן	DEVELOPMENT &					
	LANDSCAPE					
PLAN S	TATUS:					
ISSUE D	DATE:	FI	NAL			
UPI / PR	Janu	Jar	y 19, 2022			
	66-531	8-1	4-34-9436			
		I-08	7DGN			
DRAWN	BY: DLG		PLAN NO.:			
CHECK	ED BY: SHB					
PLAN S	CALE: 1"=20'		C_2 1			
PROJEC	CT NUMBER:		SHEET 3 OF 6			









			SEAL
1	2/23/22	F	REVISED PER TWP. REVIEW
NO.	DATE		REVISION
	RE'	VIS	SIONS
	CON	SL	JLTANT
			\mathbf{S}
$\left \right $			
STAC	KHOUS	ĔĿ	SENSINGER INC.
	LANDSCAP CIVIL F	E Al	RCHITECTURE INFERING
	SL		EYING
	330 REVE SINKING 3	ERE SPRI	BOULEVARD ING, PA 19608
VOIC	E: (610) 777- www.stackh	8000 10US	FAX: (610) 796-2983 ebensinger.com
THIS	EIVIAIL: SS	THE OF	
ANY L	IABILITY WHATSOEV OR LAST REVISI	'ER IS L ON TO	IMITED TO THE ORIGINAL DRAWING THE ORIGINAL DRAWING
			COPYRIGHT 2022
PR	OJECT	IN	FORMATION
	enbera	Gre	eene Architects
955 Be	erkshire Boule	evard	Wyomissing PA 19610
PROJEC RMCT	ाः C Weldin a	ı & F	Fabrication Building
Muhlen	berg Townshi	p Be	rks County Pennsylvania
PLAN TI	TLE:		
	PR	OF	FILES
PLAN S	TATUS:	FI	NAL
ISSUE D	Janu	Jar	y 19, 2022
UPI / PR	OPERTY ID: 66-531	8-1	4-34-9436
FILE NA	ME: 2024	<u> </u>	7DGN
DRAWN	BY:	00	PLAN NO.:
CHECKE	DLG D BY:		
PLAN SO	SHB CALE:		_
N PROJEC	O SCALE		C-5.1
2	021-087		SHEET 5 OF 6







		THRUST B	LOCK DIM	ENSION S (DUCTILE	CHEDULE IRON PIF	– VERTICA PE)	AL ELBOWS	5(*)	
	1 1/2" - 6"	8"	12"	1 1/2" - 6"	8"	12"	1 1/2" - 6"	8"	12"
	11 1/4	11 1/4	11 1/4	22 1/2	22 1/2	22 1/2	45*	45'	45'
	12"	18"	36"	18"	36"	54"	36"	48"	54"
	18″	24"	36"	24"	36"	48"	36″	48"	54"
	18"	24″	24"	24"	24"	30"	24"	30″	48"
R	#4	#4	#6	<u>#4</u>	#∆	#6	#A	<u>#</u> 2	#6





2021-087

SHEET 6 OF 6

ILE	PRO	ГЕСТ	ION	PL	<u>AN</u>

TABLE 4.3						
FABRIC PR	OPERTIES FOR SILT FENCE					
FABRIC PROPERTY	MIN. ACCEPTABLE VALUE	TEST METHOD				
GRAB TENSILE STRENGTH (LB)	120	ASTM D 1682				
ELONGATION AT FAILURE (%)	20% MAX.	ASTM D 1682				
MULLEN BURST STRENGTH (PSI)	200	ASTM D 3786				
TRAPEZOIDAL TEAR STRENGTH (LB)	50					
PUNCTURE STRENGTH (LB)	40	ASTM D 751 (MODIFIED)				
SLURY FLOW RATE (GAL/MIN/SF)	0.3	ASTM D 5141				
EQUIVALENT OPENING SIZE	30	US STD. SIEVE CW-02215				
ULTRAVIOLET RADIATION STABILITY (%)	80	ASTM G-26				
STAKE						
JOINING	FENCE SECTION	<u>S</u>				

SITE CONSTRUCTION SEQUENCE NOTES

AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING. THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS. THE LANDOWNER. APPROPRIATE MUNICIPAL OFFICIALS, THE E & S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE OF THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING

- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM, INC. SHALL BE NOTIFIED AT 1-800-242-1776
- FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES. UPON THE INSTALLATION OR STABILIZATION OF ALL PERIMETER SEDIMENT CONTROL BMPS AND AT LEAST 3 DAYS PRIOR TO PROCEEDING WITH THE BULK EARTH DISTURBANCE ACTIVITIES. THE PERMITTEE OR CO-PERMITTEE SHALL PROVIDE NOTIFICATION TO THE DEPARTMENT OR AUTHORIZED CONSERVATION
- ALL FARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE DEVIATION FROM THIS SEQUENCE MUST BE APPROVED IN WRITING BY THE LOCAL CONSERVATION DISTRICT OR BY DEP PRIOR TO IMPLEMENTATION. EACH STEP OF THE SEQUENCE SHALL BE COMPLETED BEFORE PROCEEDING TO THE NEXT STEP, EXCEPT WHERE NOTED.
- SITE CONSTRUCTION SEQUENCE
- CONSTRUCT A ROCK CONSTRUCTION ENTRANCE AT THE DESIGNATED LOCATION OFF CORPORATE BLVD. ALL CONSTRUCTION VEHICLES, INCLUDING SUPPLIERS AND SUBCONTRACTORS, SHALL ENTER AND LEAVE THE SITE AT THIS DESIGNATED LOCATION ONLY.
- DELINEATE AND MARK THE LIMIT OF CONSTRUCTION AND WETLAND BOUNDARIES (I.E. SURVEY STAKES, POST AND ROPE, ORANGE CONSTRUCTION FENCE, ETC.). CORDON OFF THE SANITARY SEWER FACILITIES AND THE INFILTRATION BASIN FOOTPRINT AREA WITH ORANGE CONSTRUCTION FENCE.
- INSTALL COMPOST FILTER SOCKS AND INLET FILTERS AT THE DESIGNATED LOCATIONS. INSTALL THE CONCRETE WASH AREA CONCURRENTLY WITH COMPOST FILTER SOCK INSTALLATION, IF PRACTICABLE AT THIS STAGE.
- BULK EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE: A STRIP AND STOCKPILE TOPSOIL FROM THE PROJECT AREA INSTALL SILT FENCE DOWNSLOPE OF THE STOCKPILE AND IMMEDIATELY TEMPORARILY STABILIZE THE STOCKPILE. EXCESS TOPSOIL SHALL BE HAULED OFF-SITE TO A PERMITTED LOCATION. IF NECESSARY.
- B. ROUGH GRADE THE PROJECT AREA. IMMEDIATELY REPAIR THE COMPOST FILTER SOCKS IF DAMAGED DURING ROUGH GRADING OPERATIONS. IN ACCORDANCE WITH STABILIZATION STANDARDS, NOTE 1, CESSATION OF ACTIVITY FOR FOUR (4) DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION
- C. CONSTRUCT THE STORM SEWER AND INSTALL INLET FILTERS. D. CONSTRUCT THE UNDERGROUND UTILITY LINES. DAILY TRENCH EXCAVATION FOR UTILITY LINE CONSTRUCTION IS LIMITED TO THE LENGTH OF PIPE PLACEMENT AND TRENCH BACKFILL THAT CAN BE COMPLETED THE SAME DAY (EXCEPT FOR ELECTRIC AND TELECOMMUNICATIONS LINES).
- ASPHALT PAVING, CONCRETE AND GRAVEL CONSTRUCTION MAY PROCEED IMMEDIATELY AFTER REACHING FINAL SUBGRADE ELEVATION AND THE COMPLETION OF ANY UNDERLYING UTILITY LINES.
- . INSTALL SITE LANDSCAPING. LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE PCSM BMP CONSTRUCTION SEQUENCE ON DWG. NO. PCSM3.
- SPREAD TOPSOIL ON LAWN AREAS OR CONSTRUCT AMENDED SOIL/RESTORATION, WHERE SPECIFIED, IMMEDIATELY AFTER REACHING FINAL SUBGRADE ELEVATION. AND INSTALL THE SPECIFIED EROSION CONTROL BLANKET ON SLOPES 3H:1V OR STEEPER. IN ACCORDANCE WITH STABILIZATION STANDARDS NOTE 3, PERMANENT SEEDING AND MULCHING SHALL BE COMPLETED WHENEVER A MAXIMUM AREA OF 15.000 S.F. HAS REACHED FINAL GRADE.
- MAINTAIN PERIMETER SEDIMENT CONTROL BMPS UNTIL ALL UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED WITH ASPHALT PAVING CONCRETE GRAVEL OR MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER WITH A DENSITY CAPABLE OF RESISTING ACCELERATED EROSION AND SEDIMENTATION ONCE PERMANENT STABILIZATION IS ACHIEVED (PER STABILIZATION STANDARDS NOTE 2) REMOVE PERIMETER SEDIMENT CONTROL BMPS. AND DISPOSE OF OFF-SITE IN ACCORDANCE WITH CURRENT DEP REGULATIONS. PERMANENTLY STABILIZE ALL AREAS DISTURBED DURING REMOVAL OF THE SEDIMENT CONTROL BMPS.
- PROTECTION OF INFILTRATION BMP AREAS DURING CONSTRUCTION WHERE APPLICABLE, ORANGE CONSTRUCTION FENCE SHALL BE PLACED AROUND THE BMP FOOTPRINT AREA TO PREVENT DISTURBANCE BY CONSTRUCTION EQUIPMENT PRIOR TO CONSTRUCTION OF THE BMP.
- COMPACTION OF THE BMP AREA SHALL BE AVOIDED AND MINIMIZED DURING CONSTRUCTION. E&S BMPS SHALL BE INSTALLED AND MAINTAINED DURING AND AFTER CONSTRUCTION OF THE BMP TO PREVENT SEDIMENT FROM CLOGGING OR FILLING THE POST-CONSTRUCTION STORMWATER MANAGEMENT
- BMP OR STORAGE FACILITY WITH SEDIMENT. TO THE EXTENT PRACTICABLE POST-CONSTRUCTION STORMWATER MANAGEMENT BMPS SHALL BE CONSTRUCTED AFTER PERMANENT STABILIZATION HAS BEEN ACHIEVED ON ALL CONTRIBUTING DRAINAGE AREAS
- RECYCLING OR DISPOSAL OF WASTE MATERIALS
- ANTICIPATED CONSTRUCTION WASTES: BUILDING MATERIALS AND OTHER CONSTRUCTION SITE WASTES, INCLUDING BUT NOT LIMITED TO EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY. ADDITIONAL WASTE MATERIAL DUE TO DEMOLITION OF EXISTING IMPROVEMENTS IS SPECIFIED IN THE SITE CONSTRUCTION SEQUENCE. MEASURES SHOULD BE PLANNED AND IMPLEMENTED BY THE PERMITTEE OR CO-PERMITTEE FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL.
- CONSTRUCTION WASTE MATERIALS SHALL BE PROPERLY MANAGED PER NOTE 3 AND RECYCLED OR DISPOSED OF TO REDUCE POTENTIAL FOR POLLUTION TO SURFACE AND GROUND WATERS AS PER 25 PA. CODE § 102.4(B)(5)(XI). PROPER TRASH DISPOSAL, RECYCLING OF MATERIALS, PROPER MATERIALS HANDLING, AND SPILL PREVENTION AND CLEAN-UP REDUCE THE POTENTIAL FOR CONSTRUCTION SITE WASTES TO BE MOBILIZED BY STORMWATER RUNOFF AND CONVEYED TO SURFACE WATERS.
- ALL BUILDING MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED IN ACCORDANCE WITH DEP'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE CHAPTER 2604 (RELATING TO HAZARDOUS WASTE MANAGEMENT SYSTEM: GENERAL), CHAPTER 271 (RELATED TO MUNICIPAL WASTE MANAGEMENT SYSTEM - GENERAL PROVISIONS), AND CHAPTER 287 (RELATING 1 RESIDUAL WASTE MANAGEMENT SYSTEM - GENERAL PROVISIONS). NO BUILDING MATERIAL OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL.
- ALL APPLICABLE FEDERAL. STATE, AND LOCAL LAWS AND REGULATIONS MUST BE FOLLOWED IN THE USE. HANDLING, AND DISPOSAL OF POTENTIALLY HAZARDOUS MATERIALS. UNDER NO CIRCUMSTANCES MAY EROSION CONTROL BMPS BE USED FOR TEMPORARY STORAGE OF DEMOLITION MATERIALS OR CONSTRUCTION WASTES
- ALL SEDIMENT REMOVED FROM BMPS SHALL BE HANDLED IN THE MANNER DESCRIBED IN THESE NOTES. SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN LANDSCAPED OR OTHER APPROPRIATE AREAS WITHIN THE LIMIT OF DISTURBANCE AND OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, PLACED ON TOPSOIL STOCKPILES, OR HAULED OFF-SITE TO A PERMITTED CONSTRUCTION OR STORAGE SITE.
- CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED IN THESE NOTES. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS, GROUNDWATER SYSTEMS OR STORM SEWER SYSTEMS
- ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR DEP FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.

- STANDARD E&SC PLAN NOTES
- THE FOLLOWING STANDARD E&SC PLAN NOTES ARE TAKEN FROM THE EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL. ANY STANDARD E&SC NOTES NOT FOUND IN THIS SECTION ARE LOCATED IN THE CONSTRUCTION SEQUENCE NOTES, RECYCLING OR DISPOSAL OF MATERIALS, GRADING STANDARDS AND STABILIZATION STANDARDS AS APPLICABLE:
- 1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED. SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO MPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF HOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- 2 AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- 3. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAPS(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2H:1V OR FLATTER.
- 4. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE MPS TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL ONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF DEP. 5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL.
- FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING. 6 ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN OVER UNDISTURBED VEGETATED AREAS ALL PUMPING OF SEDIMENT-LADEN WATER SHALL BE
- THROUGH A DIRTBAG FILTRATION DEVICE OR EQUIVALENT SEDIMENT REMOVAL FACILITY. DISCHARGE POINTS SHOULD PROVIDE FOR MAXIMUM DISTANCE TO ACTIVE WATERWAYS. 7. VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM ANY SITE ACCESS POINTS NOT DESIGNATED AS CONSTRUCTION ENTRANCES WITHOUT PRIOR APPROVAL FROM THE
- CONSERVATION DISTRICT. 8. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEPT INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- 9. E&S BMPS SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT OR DEP.
- 10. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS. THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR A FINAL INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPS. 11. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY E&S BMPS MUST BE REMOVED OR
- CONVERTED TO PERMANENT POST-CONSTRUCTION STORMWATER MANAGEMENT BMPS. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPS MUST BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS SHOULD BE DONE ONLY DURING THE GERMINATING SEASON. 12. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL
- DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION. 13. FAILURE TO CORRECTLY INSTALL E&S BMPS, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPS MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR

GRADING STANDARDS

CRIMINAL PENALTIES FOR EACH VIOLATION.

- 1. AREAS TO BE FILLED SHOULD BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL 2. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING
- MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPS SPECIFIED IN THE CONSTRUCTION SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN
- 3. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED ALONG THE CONTOUR TO A MINIMUM DEPTH OF 3 TO 5 INCHES (6 TO 12 INCHES ON COMPACTED SOILS) PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSI OPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL
- 4. ALL EARTHEN FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- 5. ALL FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS. 6. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR
- MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTOR FILLS.
- 7. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- 8. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES. 9 SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHOULD BE HANDLED IN ACCORDANCE WITH
- STANDARDS AND SPECIFICATIONS FOR SUBSURFACE DRAINS OR OTHER APPROVED METHOD. 10. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED.

TOPSOIL APPLICATION STANDARDS

- I. GRADED AREAS SHOULD BE SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREAS AND TO PROVIDE A ROUGHENED SURFACE TO PREVENT TOPSOIL FROM SLIDING DOWN SLOPE 2 TOPSOIL SHOULD BE UNIFORMLY DISTRIBUTED ACROSS THE DISTURBED AREA TO A DEPTH OF 4 TO 8 INCHES
- MINIMUM -- 2 INCHES ON FILL OUTSI OPES. SPREADING SHOULD BE DONE IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL PREPARATION OR TILLAGE. IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOIL PLACEMENT SHOULD BE CORRECTED IN ORDER TO PREVENT FORMATION OF DEPRESSIONS UNLESS SUCH DEPRESSIONS ARE PART OF THE PCSM PLAN.
- 3. TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION. COMPACTED SOILS SHOULD BE SCARIFIED 6 TO 12 INCHES ALONG CONTOUR WHEREVER POSSIBLE PRIOR TO SEEDING.

LIMITATIONS OF PENNSYLVANIA SOILS PERTAINING TO EARTHMOVING PROJECTS (ABSENCE OF AN X DOES NOT MEAN "NO POTENTIAL LIMITATION".) NOTE: THIS IS NOT NECESSARILY AN ALL-INCLUSIVE LIST.

SOIL NAME	CUTBANKS CAVE	CORROSIVE TO CONCRETE/STEEL	ргоиентү	EASILY ERODIBLE	FLOODING	DEPTH TO SATURATED ZONE/ SEASONAL HIGH WATER TABLE	HYDRIC/ HYDRIC INCLUSIONS	LOW STRENGTH / LANDSLIDE PRONE	SLOW PERCOLATION	PIPING	POOR SOURCE OF TOPOSIL	FROST ACTION	SHRINK - SWELL	POTENTIAL SINKHOLE	PONDING	WETNESS
DUFFIELD	х	C/S		х			х	х	Х	х	х		х	х		х
HAZELTON	Х	С	Х	Х			Х	х	Х	Х	х	Х				

RESOLUTIONS TO LIMITATIONS OF PENNSYLVANIA SOILS PERTAINING TO EARTHMOVING PROJECTS NOTE: THIS IS NOT NECESSARILY AN ALL-INCLUSIVE LIST.

CUTBANKS CAVE

T IS IMPERATIVE THAT APPROPRIATE PRECAUTIONS BE TAKEN TO SAFEGUARD WORKERS DURING ALL NO EARTHEN BERMS ARE PROPOSED. THEREFORE, THIS LIMITATION IS NOT APPLICABLE TO THE PROJECT. TRENCHING AND EXCAVATION OPERATIONS. ALL APPLICABLE OSHA STANDARDS AND REGULATIONS MUST BE IMPLEMENTED AT ALL TIMES.

CORROSIVE TO CONCRETE\STEEL

SUITABLE PRECAUTIONS SHOULD BE TAKEN TO PROTECT ALL UNDERGROUND PIPES, CONDUITS, AND STORAGE TANKS.

DROUGHTY

EASILY ERODIBLE

SOIL EROSION CAN BE SIGNIFICANTLY REDUCED BY MAINTAINING EXISTING VEGETATION FOR AS LONG AS PRACTICABLE AND ONLY REMOVING EXISTING VEGETATION IMMEDIATELY PRIOR TO EARTH DISTURBANCE ACTIVITIES. SPECIAL ATTENTION SHOULD BE GIVEN TO MAINTAINING EXISTING VEGETATION IN AREAS HAVING HIGH EROSION POTENTIAL SUCH AS ERODIBLE SOILS, STEEP SLOPES, DRAINAGE COURSES, AND STREAMBANKS. LIMIT DURATION OF EXPOSURE OF UNVEGETATED AREAS, PARTICULARLY ON STEEPER SLOPES, BY BRINGING SMALLER SECTIONS OF UNVEGETATED AREAS TO FINISHED GRADE FOR PERMANENT STABILIZATION.

FLOODING

DEPTH TO SATURATED ZONE/ SEASONAL HIGH WATER TABLE

HYDRIC/HYDRIC INCLUSIONS

SINCE THE SITE IS DEVELOPED AND ALL EXISTING DRAINAGE WAYS ARE MAINTAINED, THERE ARE NO REGULATED

WETLANDS PRESENT ON THE SITE. LOW STRENGTH / LANDSLIDE PRONE

PRECAUTIONS SHOULD BE TAKEN TO PREVENT SLOPE FAILURES DUE TO IMPROPER CONSTRUCTION PRACTICES SUCH AS OVER-STEEPENING AND OVERLOADING OF SLOPES, REMOVAL OF LATERAL SUPPORT, AND FAILURE TO PREVENT SATURATION OF SLOPES. GRADING SHOULD COMPLY WITH THE STANDARDS CONTAINED IN THE E&S

PLAN NOTES. SLOW PERCOLATION

POOR SOURCE OF TOPSOIL

SOIL TESTS ARE STRONGLY RECOMMENDED TO DETERMINE THE PROPER APPLICATION OF SOIL AMENDMENTS TO PROMOTE THE GROWTH OF THE DESIRED VEGETATION. WHEREVER SOILS THAT ARE FAIR OR GOOD SOURCES OF TOPSOIL MAY EXIST ON A SITE, THEY SHOULD BE CAREFULLY PRESERVED AND STORED FOR LATER USE IN RESTORATION. THE FINAL DESIGN SHOULD ALSO ADDRESS THE PROPER MOISTURE CONTENT FOR THE PROPOSED VEGETATIVE COVER. FROST ACTION

N/A SHRINK – SWELL

SOIL/GEOTECHNICAL TESTS ARE STRONGLY RECOMMENDED TO DETERMINE THE POTENTIAL FOR EXPANSIVE SOILS, I.E. FINE AND/OR CLAY MATERIAL, AND TO AID IN THE FOUNDATION DESIGN. POTENTIAL SINKHOLE

MAINTAIN POSITIVE DRAINAGE IN GRADED AREAS TO PREVENT PONDING. PROVIDE WATERTIGHT COUPLINGS ON STORM SEWER PIPES.

IF A SINKHOLE IS ENCOUNTERED OR DEVELOPS DURING CONSTRUCTION, REPAIR THE SINKHOLE IMMEDIATELY IN ACCORDANCE WITH THE APPLICABLE CONSTRUCTION DETAIL IN CONJUNCTION WITH DIRECTION FROM A GEOLOGIST OR GEOTECHNICAL ENGINEER. PONDING

N/A

WETNESS

DO NOT USE WET SOIL FOR STRUCTURAL FILL.

TREAT WET SOILS WITH QUICKLIME OR HYDRATED LIME TO OBTAIN REQUIRED MOISTURE AND COMPACTION SPECIFICATIONS. IN CONSULTATION WITH THE DESIGN ENGINEER, WET SOILS MAY BE REMOVED AND REPLACED WITH A STONE BALLAST, WHERE APPROPRIATE

MAINTENANCE PROGRAM FOR E&S BMPS 1. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR

- MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED 2. A LOG SHOWING DATES THAT E&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- 3. MONITORING, INSPECTION, AND REPORTING REQUIREMENTS
- A. VISUAL INSPECTIONS THE PERMITTEE AND CO-PERMITTEE(S) MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED AND DOCUMENTED WEEKLY, AND WITHIN 24 HOURS AFTER EACH MEASURABLE STORMWATER EVENT THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL THE RECEIPT AND ACKNOWLEDGEMENT OF THE NOT BY DEP OR THE AUTHORIZED CONSERVATION DISTRICT. THE VISUAL SITE INSPECTIONS AND REPORTS SHALL BE COMPLETED ON A FORM DEVELOPED BY DEP. AND CONDUCTED BY QUALIFIED PERSONNEL TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL TO ASCERTAIN THAT F&S PCSM AND PPC BMPS ARE PROPERLY CONSTRUCTED AND MAINTAINED TO EFFECTIVELY MINIMIZE POLLUTION TO THE WATERS OF THIS COMMONWEALTH. A
- WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT AND INCLUDE AT A MINIMUM: 1. A SUMMARY OF SITE CONDITIONS, E&S AND PCSM BMPS, IMPLEMENTATION AND MAINTENANCE AND COMPLIANCE ACTIONS; AND
- 2. THE DATE, TIME, NAME AND SIGNATURE OF THE PERSON CONDUCTING THE INSPECTION. B. LICENSED PROFESSIONAL OVERSIGHT OF CRITICAL STAGES
- A LICENSED PROFESSIONAL OR A DESIGNEE SHALL BE PRESENT ONSITE AND BE RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN. THE CRITICAL STAGES MAY INCLUDE THE INSTALLATION OF UNDERGROUND TREATMENT OR STORAGE BMPS STRUCTURALLY ENGINEERED BMPS, OR OTHER BMPS AS DEEMED APPROPRIATE BY DEP OR THE AUTHORIZED CONSERVATION DISTRICT C. NONCOMPLIANCE REPORTING
- WHERE E&S, PCSM OR PPC BMPS ARE FOUND TO BE INOPERATIVE OR INEFFECTIVE DURING AN INSPECTION OR ANY OTHER TIME THE PERMITTEE BECOMES AWARE OF ANY INCIDENT CAUSING OR THREATENING POLLUTION AS DESCRIBED IN 25 PA. CODE § 91.33 (RELATING TO INCIDENTS CAUSING OR THREATENING POLLUTION), AS REQUIRED BY 25 PA. CODE § 92A.41(B) (RELATING TO CONDITIONS APPLICABLE TO ALL PERMITS), THE PERMITTEE AND CO-PERMITTEE(S) SHALL, WITHIN 24 HOURS, CONTACT DEP OR THE AUTHORIZED CONSERVATION DISTRICT. BY PHONE OR PERSONAL CONTACT FOLLOWED BY THE SUBMISSION OF A WRITTEN REPORT WITHIN FIVE (5) DAYS OF THE INITIAL CONTACT. NONCOMPLIANCE REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION:
- ANY CONDITION ON THE PROJECT SITE WHICH MAY ENDANGER PUBLIC HEALTH, SAFETY, OR THE ENVIRONMENT, OR INVOLVE INCIDENTS WHICH CAUSE OR THREATEN POLLUTION.
- . THE PERIOD OF NONCOMPLIANCE. INCLUDING EXACT DATES AND TIMES AND/OR ANTICIPATED TIME WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE: 3 STEPS BEING TAKEN TO REDUCE ELIMINATE AND PREVENT RECURRENCE OF THE NONCOMPLIANCE. AND

THE DATE OR SCHEDULE OF DATES. AND IDENTIFYING REMEDIES FOR CORRECTING NONCOMPLIANCE

- CONDITIONS. UPON REDUCTION LOSS OR FAILURE OF ANY BMP. THE PERMITTEE AND CO-PERMITTEE SHALL TAKE IMMEDIATE ACTION TO RESTORE, REPAIR, OR REPLACE THE BMP OR PROVIDE AN ALTERNATIVE METHOD OF TREATMENT. SUCH RESTORED BMP OR ALTERNATIVE TREATMENT SHALL BE AT LEAS AS EFFECTIVE AS THE ORIGINAL BMP WHEN PROPERLY INSTALLED. THESE ACTIONS SHOULD BE UNDERTAKEN TO ENSURE THAT THERE ARE NO POLLUTANTS OR POLLUTION DISCHARGED TO THE WATERS OF THE COMMONWEALTH. THIS REQUIREMENT IS APPLICABLE IN SITUATIONS WHERE THE BMP IS RENDERED INEFFECTIVE, WHETHER THE CAUSE OR SOURCE OF THE REDUCTION, LOSS OR FAILURE IS WITHIN OR BEYOND THE CONTROL OF THE PERMITTEE OR CO-PERMITTEE. D. SUPPLEMENTAL MONITORING
- DEP OR THE AUTHORIZED CONSERVATION DISTRICT MAY REQUIRE ADDITIONAL MONITORING WHERE AN INCREASED RISK OF POTENTIAL WATER POLLUTION IS PRESENT, OR WATER POLLUTION IS SUSPECTED TO BE OCCURRING FROM A CONSTRUCTION ACTIVITY SUBJECT TO THIS GENERAL PERMIT, OR FOR ANY REASON IN ACCORDANCE WITH 25 PA. CODE § 92A.61 (RELATING TO MONITORING). THE PERMITTEE OR CO-PERMITTEE SHALL COMMENCE SUCH MONITORING UPON NOTIFICATION FROM DEP OR THE AUTHORIZED CONSERVATION DISTRICT
- E. AVAILABILITY OF REPORTS EXCEPT FOR DATA DETERMINED TO BE CONFIDENTIAL UNDER SECTION 607 OF THE CLEAN STREAMS LAW ALL REPORTS AND OTHER INFORMATION PREPARED IN ACCORDANCE WITH THE TERMS OF THIS PERMIT SHALL BE AVAILABLE FOR PUBLIC INSPECTION AT THE APPROPRIATE DEP REGIONAL OFFICE OR AUTHORIZED CONSERVATION DISTRICT
- RECORD KEEPING A RETENTION OF RECORDS
- THE PERMITTEE AND CO-PERMITTEE(S) SHALL RETAIN RECORDS OF ALL MONITORING INFORMATION INCLUDING COPIES OF ALL MONITORING AND INSPECTION REPORTS REQUIRED BY THIS PERMIT. ALL MONITORING INFORMATION (INCLUDING SITE LOG BOOK, CALIBRATION AND MAINTENANCE RECORDS) ND RECORDS OF DATA USED TO COMPLETE THE NOI FOR THIS PERMIT, FOR A PERIOD OF THREE YEARS FROM THE DATE OF THE TERMINATION OF COVERAGE UNDER THIS PERMIT AS REQUIRED BY 25 PA. CODE § 92A.61(F)(2). THIS PERIOD OF RETENTION MUST BE EXTENDED DURING THE COURSE OF ANY UNRESOLVED COMPLIANCE, ENFORCEMENT, OR LITIGATION OR WHEN REQUESTED BY DEP OR THE AUTHORIZED CONSERVATION DISTRICT
- B. REPORTING OF MONITORING RESULTS VISUAL INSPECTION MONITORING RESULTS SHALL BE SUBMITTED TO DEP OR THE AUTHORIZED CONSERVATION DISTRICT UPON REQUEST.
- RESPONSIBLE PERSONS
- QUESTIONS AND COMMENTS CONCERNING THE IMPLEMENTATION OF THIS EROSION AND SEDIMENT CONTROL PLAN SHOULD BE ADDRESSED TO: **OWNER'S REPRESENTATIVE**
- ERIC KAHLER (ADMINISTRATIVE DIRECTOR OF THE READING MUHLENBERG CAREER AND TECHNOLOGY CENTER) 2615 WARREN ROAD READING, PA 19605
- 610-921-7300 EKAHLER@RMCTC.ORG
- PLAN PREPARER STACKHOUSE BENSINGER INC., PROJECT ENGINEERS
- 330 REVERE BOULEVARD SINKING SPRING, PA 19608
- (610) 777-8000 ATTENTION: MICHAEL D. HARTMAN, P.E. MHARTMAN@STSEINC.COM

VEGETATIVE STABILIZATION STANDARDS

- 1. TEMPORARY VEGETATIVE STABILIZATION A. ALL DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY HAS OR WILL CEASE FOR MORE THAN FOUR (4) DAYS SHALL BE IMMEDIATELY TEMPORARY STABILIZED. B. AREAS THAT WILL BE SUBJECT TO EARTHMOVING WITHIN 12 MONTHS MAY BE STABILIZED WITH
- TEMPORARY SEED MIXTURES, PREDOMINANTLY ANNUAL GRASSES, ALL OTHERS SHOULD BE STABILIZED WITH PERMANENT SEED MIXTURES -- PREDOMINANTLY PERENNIAL GRASSES. C. WHEN FINAL GRADE IS ACHIEVED DURING NON-GERMINATING MONTHS, THE AREA SHOULD BE MULCHED UNTIL THE BEGINNING OF THE NEXT PLANTING SEASON. HOWEVER, THE AREA WILL NOT BE CONSIDERED
- STABILIZED UNTIL A MINIMUM UNIFORM 70% VEGETATIVE COVER OF EROSION RESISTANT PERENNIAL SPECIES HAS BEEN ACHIEVED. CRITICAL AREAS -- ERODIBLE SOILS, WITHIN 50 FEET OF A SURFACE WATER, ETC. -- SHOULD BE BLANKETED.
- D. BEFORE SEEDING. APPLY LIME AND FERTILIZER IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS AND WORK IN WHERE POSSIBLE E. FOR BEST RESULTS, TEMPORARY SEED MIXES SHOULD BE CHOSEN BASED ON THE PROPER MIX FOR THE
- TIME OF THE YEAR. D. ALL SEED SHALL BE LABELED AND DATED IN ACCORDANCE WITH U.S.D.A. RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT, AND BLUE TAG CERTIFIED SEED SHALL BE SUPPLIED WHEREVER
- POSSIBLE. E. IMMEDIATELY AFTER SEEDING, APPLY MULCH IN ACCORDANCE WITH SECTION 3.
- F. ALL AREAS STABILIZED WITH TEMPORARY MULCHING ONLY SHALL BE LIMED, FERTILIZED AND PERMANENTLY SEEDED AND MULCHED IMMEDIATELY AT THE START OF THE NEW GROWING SEASON. 2. PERMANENT VEGETATIVE STABILIZATION
- A. AS DISTURBED AREAS WITHIN A PROJECT APPROACH FINAL GRADE, PREPARATIONS SHOULD BE MADE FOR SEEDING AND MULCHING TO BEGIN (I.E. ANTICIPATE THE COMPLETION DATE AND SCHEDULE THE SEEDER), IN NO CASE SHOULD AN AREA EXCEEDING 15,000 SOUARE FEET, WHICH IS TO BE STABILIZED BY VEGETATION. REACH FINAL GRADE WITHOUT BEING SEEDED AND MULCHED. WAITING UNTIL EARTHMOVING IS COMPLETED BEFORE MAKING PREPARATIONS FOR SEEDING AND MULCHING IS NOT ACCEPTABLE
- B BEFORE THE SEEDING REGINS TOPSOIL SHOULD BE APPLIED IN ACCORDANCE WITH THE TOPSOIL APPLICATION STANDARDS AND ANY REQUIRED SOIL AMENDMENTS WORKED INTO THE SOIL TO A DEPTH OF 4 TO 6 INCHES. IF COMPOST IS TO BE ADDED TO THE TOPSOIL, IT SHOULD BE WORKED INTO THE SOIL WITH THE OTHER SOIL AMENDMENTS UNLESS IT IS BEING APPLIED AS AN EROSION CONTROL BMP. C. SOD MAY BE INSTALLED IN LIEU OF TOPSOIL AND SEEDING AT THE OWNER'S DISCRETION. SOD SHALL BE
- INSTALLED PER THE SPECIFICATIONS ON PAGES 148 AND 277-279 IN THE "EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL, TECHNICAL GUIDANCE 363-2134-008, MARCH 2012." D. AFTER SPREADING AND RAKING THE TOPSOIL, SPREAD AND WORK AGRICULTURAL GRADE LIMESTONE
- INTO THE TOPSOIL TO A DEPTH OF 3" TO 4" AT THE RATE SPECIFIED IN THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS OR AT A RATE ESTABLISHED BY REPRESENTATIVE SOIL TESTS (MINIMUM 1 TEST PER 20 ACRES). E. IMMEDIATELY BEFORE SEEDING, FERTILIZER SHALL BE SPREAD AND WORKED INTO THE TOPSOIL TO A
- DEPTH OF 1" AT THE RATE SPECIFIED IN THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS OR AT A RATE ESTABLISHED BY REPRESENTATIVE SOIL TESTS (MINIMUM 1 TEST PER 20 ACRES) SMOOTH AND FIRM SEED BED WITH CULTIPACKER OR SIMILAR EQUIPMENT PRIOR TO SEEDING APPLY SEED UNIFORMLY BY BROADCASTING, DRILLING OR HYDROSEEDER. COVER SEEDS WITH 1/4" OF TOPSOIL WITH SUITABLE FOUIPMENT F. FOR BEST RESULTS. PERMANENT SEED MIXES SHOULD BE CHOSEN BASED ON THE PROPER MIX FOR THE
- TYPE OF SLOPE. G ALL SEED USED SHALL BE LABELED IN ACCORDANCE WITH U.S.D.A. RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT IN FEFECT AT THE TIME OF PURCHASE. INERT MATTER SHALL NOT EXCEED 15% AND BI UE TAG CERTIFIED SEED SHALL BE SUPPLIED WHEREVER POSSIBLE. SEEDING SHALL BE DONE DURING PERIODS FROM MARCH 15 TO OCTOBER 15, UNLESS OTHERWISE DIRECTED, AND GRASS SEED SHALL NOT BE PLANTED AFTER A HEAVY RAIN OR WATERING
- B. MULCHING A AFTER TEMPORARY OR PERMANENT SEEDING MULCH SHALL BE IMMEDIATELY PLACED ANCHORED AND MAINTAINED ON THE SEEDED AREAS UNTIL A MINIMUM UNIFORM 70% VEGETATIVE COVER HAS BEEN ACHIEVED. B MULCH MATERIAL SHALL BE FREE FROM FOREIGN MATERIAL COARSE STEMS MOLD SUBSTANCES TOXIC
- TO PLANT GROWTH, AND MATURE SEED BEARING STALKS OR ROOTS OF PROHIBITED AND NOXIOUS WEEDS, AS DEFINED BY LAW. GRASS HAY AND CEREAL STRAW ARE PREFERRED MULCHES AND SHOULD BE APPLIED TO PRODUCE A LOOSE LAYER .75 TO 1 INCH DEEP. D. STRAW OR HAY SHOULD NOT BE CHOPPED OR FINELY BROKEN DURING APPLICATION. LONG STRAWS AND STEMS ARE MORE READILY ANCHORED IN PLACE AND AFFORD SEEDLING PLANTS MORE PROTECTION THAN DOES CHOPPED STRAW OR HAY
- E MULCH SHALL BE APPLIED AT THE RATE SPECIFIED IN THE TEMPORARY AND PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS. MULCH SHALL BE KEPT MOIST BY WATERING TO PREVENT BLOWING
- AWAY, AND SHALL BE CRIMPED INTO THE SOIL ON SLOPES FLATTER THAN 3H:1V. F IF MULCH IS USED AS AN ALTERNATIVE TO EROSION CONTROL BLANKET ON SLOPES 3H1V OR STEEPER. IT SHALL BE HELD IN PLACE BY ONE OF THE FOLLOWING METHODS: • SYNTHETIC BINDERS SUCH AS CURASOL, DCA-70, PETROSET, TERRA-TACK, OR APPROVED EQUAL APPLIED AS RECOMMENDED BY THE MANUFACTURER.
- NETTING MADE OF LIGHTWEIGHT BIODEGRADABLE PAPER, PLASTIC OR COTTON PLACED OVER MULCH AND ANCHORED PER MANUFACTURER'S SPECIFICATIONS. 4. HYDROSEEDING
- A WHEREVER SEED AND MULCH IS APPLIED BY HYDROSEEDING METHODS. THE SEED AND MULCH SHOULD BE APPLIED IN SEPARATE APPLICATIONS WITH THE SEED BEING APPLIED FIRST AND THE MULCH SPRAYED ON TOP OF THE SEED
- B. LIME. FERTILIZE AND SEED IN ACCORDANCE WITH THE TEMPORARY AND PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS IF FERTILIZER IS COMBINED WITH INOCULANT THE MIXTURE SHALL NOT REMAIN IN A SI URBY FOR MORE THAN HALF AN HOUR TO AN HOUR. IF INOCULANT REMAINS IN THE TANK FOR MORE THAN 1 HOUR. ADD NEW SUPPLY OF INOCULANT. USE FIVE (5) TIMES THE RATE OF INOCULANT RECOMMENDED ON THE PACKAGE WHEN SEEDING WITH A HYDROSEEDER. C. IMMEDIATELY AFTER HYDROSEEDING, APPLY HAY OR STRAW MULCH IN ACCORDANCE WITH SECTION 3.
- D. HYDROSEEDING SHALL BE DONE DURING PERIODS FROM MARCH 15 THROUGH OCTOBER 15, UNLESS OTHERWISE DIRECTED. AND SHALL NOT BE DONE AFTER A HEAVY RAIN OR WATERING. 5. EAST COAST EROSION CONTROL BLANKETS
- THE FOLLOWING EROSION CONTROL BLANKETS AND CHANNEL LINERS MANUFACTURED BY EAST COAST EROSION BLANKET SHALL BE INSTALLED WHERE SPECIFIED TO PROVIDE SLOPE OR CHANNEL PROTECTION: ECS-1, ECS-1B AND ECS-1D STRAW BLANKET (LIGHT DUTY)
- ECS-2, ECS-2B AND ECS-2D STRAW BLANKET (HEAVY DUTY THE BLANKETS AND CHANNEL LINERS SHALL BE INSTALLED ON SOIL AREAS PREPARED AND SEEDED AS OUTLINED IN SECTIONS 1 OR 2. AND THE BLANKET/LINER SHALL BE IN FULL CONTACT WITH THE UNDERLYING SOIL SPECIFIC INSTALLATION PROCEDURES AND STAPLE PATTERNS FOR VARIOUS APPLICATIONS SHALL BE
- IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. 6. NORTH AMERICAN GREEN EROSION CONTROL BLANKETS THE FOLLOWING EROSION CONTROL BLANKETS AND CHANNEL LINERS MANUFACTURED BY NORTH AMERICAN GREEN, INC. SHALL BE INSTALLED WHERE SPECIFIED TO PROVIDE SLOPE OR CHANNEL PROTECTION:
- S75 AND S75 BN STRAW BLANKET (LIGHT DUTY) S150 AND S150 BN STRAW BLANKET (HEAVY DUTY
- THE BLANKETS AND CHANNEL LINERS SHALL BE INSTALLED ON SOIL AREAS PREPARED AND SEEDED AS OUTLINED IN SECTIONS 1 OR 2, AND THE BLANKET/LINER SHALL BE IN FULL CONTACT WITH THE UNDERLYING SOIL. SPECIFIC INSTALLATION PROCEDURES AND STAPLE PATTERNS FOR VARIOUS APPLICATIONS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- STABILIZATION STANDARDS

INSTALLATION.

- 1. UPON TEMPORARY CESSATION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY WHERE A CESSATION OF EARTH DISTURBANCE ACTIVITIES EXCEEDS 4 DAYS, THE OPERATOR SHALL IMMEDIATELY STABILIZE ALL DISTURBED AREAS PENDING FUTURE EARTH DISTURBANCE ACTIVITIES. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION
- SPECIFICATIONS. 2. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR
- OTHER MOVEMENTS. 3. AS DISTURBED AREAS APPROACH FINAL GRADE, PREPARATIONS SHOULD BE MADE FOR SEEDING AND MULCHING TO BEGIN (I.E. ANTICIPATE THE COMPLETION DATE AND SCHEDULE THE SEEDER). AT NO TIME SHALL AN AREA EXCEEDING 15.000 SQUARE FEET. WHICH IS TO BE STABILIZED BY VEGETATION. REACH FINAL GRADE WITHOUT BEING SEEDED AND MULCHED. WAITING UNTIL EARTHMOVING IS COMPLETED BEFORE MAKING PREPARATIONS FOR SEEDING AND MULCHING IS NOT ACCEPTABLE. 4. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE.
- CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER. OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS. SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN 5. SEDIMENT BASINS, SWALES AND SOIL STOCKPILES SHALL BE IMMEDIATELY STABILIZED
- 6. HAY OR STRAW MULCH MUST BE APPLIED AT RATES OF AT LEAST 3.0 TONS PER ACRE. STRAW AND HAY MULCH SHOULD BE ANCHORED IMMEDIATELY AFTER APPLICATION TO PREVENT BEING WINDBLOWN A TRACTOR-DRAWN IMPLEMENT MAY BE USED TO "CRIMP" THE STRAW OR HAY INTO THE SOIL. THIS METHOD IS LIMITED TO SLOPES LESS THAN 3H:1V. THE MACHINERY SHOULD BE OPERATED ON THE CONTOUR. (NOTE: CRIMPING OF HAY OR STRAW BY RUNNING OVER IT WITH TRACKED MACHINERY IS NOT RECOMMENDED. 7. EROSION CONTROL BLANKETS SHALL BE INSTALLED ON ALL DISTURBED SLOPES 3H:1V OR STEEPER. ON ALL
- DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN DRAWINGS. EROSION CONTROL BLANKET IS NOT REQUIRED ON EXPOSED ROCK SLOPES. 8. ALTERNATE EROSION CONTROL BLANKETS (MATERIALS AND INSTALLATION SPECIFICATIONS) MUST BE APPROVED BY STACKHOUSE BENSINGER INC. AND THE LOCAL CONSERVATION DISTRICT PRIOR TO

TEMPORARY AND PERMANEN	VEGETATIVE STABILIZATION SPEC
*THESE SPECIFICATIONS ARE INTENDED TO REP AND SEDIMENT POLLUTION CONTROL PROGRAM	RESENT STANDARD E&S WORKSHEET #21 FROM THE "ERC MANUAL, TECHNICAL GUIDANCE 363-2134-008, MARCH 2012.
TEMPORARY SEEDING	
SEED SPECIES:	
FROM MARCH 15 THROUGH AUGUST 15:	SEEDING RATE PLS, LBS/ACRE
ANNUAL RYEGRASS OR	40
SPRING OATS	96
FROM AUGUST 16 THROUGH OCTOBER 15:	10
	40
FROM OCTOBER 15 THROUGH MARCH 15:	100
WINTER RYE	168
FERTILIZER TYPE:	
LIMING BATE	1 TON/ACRE (NOT REQUIRED FOR STOCKPILES)
MULCH TYPE:	GRASS HAY OR CEREAL STRAW
MULCHING RATE:	3 TONS/ACRE
PERMANENT SEEDING FOR SLOPES FLATTER TH	AN 3H:1V
TOPSOIL PLACEMENT DEPTH:	4-6 INCHES
NURSE CROP:	JEEDING RATE PLD, LOD/AURE
SPRING OATS (SPRING), OR	64
ANNUAL RYEGRASS (SPRING OR FALL), OR	10
WINTER WHEAT (FALL), OR	90
WINTER RYE (FALL)	56
AND	
TALL FESCUE, OR	60
FINE FESCUE, OR	35
KENTUCKY BLUEGRASS, PLUS	25
REDTOP, OR	3
PERENNIAL RYEGRASS	15
OR	
TALL FESCUE, PLUS	40
FINE FESCUE	10
FERTILIZER TYPE	10-20-20
FERTILIZER APPLICATION RATE:	1.000 LBS/ACRE OR AS PER SOIL TEST
LIMING RATE:	6 TONS/ACRE OR AS PER SOIL TEST
MULCH TYPE:	GRASS HAY OR CEREAL STRAW
MULCHING RATE:	3 TONS/ACRE
ANCHOR MATERIAL:	N/A
SEEDING SEASON DATES.	AUGUST 15 THROUGH OCTOBER 15 (FALL)
PERMANENT SEEDING FOR SLOPES 3H:1V OR STE	<u>EPER</u>
TOPSOIL PLACEMENT DEPTH:	4-6 INCHES (2 INCHES ON FILL OUTSLOPES)
SEED SPECIES:	SEEDING RATE PLS, LBS/ACRE
NURSE CROP:	·
SPRING OATS (SPRING), OR	64
ANNUAL RYEGRASS (SPRING OR FALL), OR	10
WINTER WHEAT (FALL), OR WINTER RYE (FALL)	90 56
AND	
	e
BIRDSFOOT TREFOIL, PLUS TALL FESCUE	б 30
OR	
FLATPEA PLUS	20
	20

1,000 LBS/ACRE OR AS PER SOIL TEST 6 TONS/ACRE OR AS PER SOIL TEST EROSION CONTROL BLANKET (SEE PLAN) STEEL STAPLE "D" STAPLE PATTERN (SEE DETAIL)

MARCH 15 THROUGH JUNE 1 (SPRING) OR

AUGUST 15 THROUGH OCTOBER 15 (FALL)

PERENNIAL RYEGRASS

FERTILIZER APPLICATION RATE:

RATE OF ANCHOR MATERIAL APPL.

FERTILIZER TYPE:

IMING RATE

MULCH TYPE:

MULCHING RATE

ANCHOR MATERIAL

ANCHORING METHOD.

SEEDING SEASON DATES:

- 1. ALTERNATE PERMANENT SEEDING MIXTURES MAY BE PROVIDED IN ACCORDANCE WITH THE SEED MIXTURES FOR SITE CONDITIONS SPECIFIED IN TABLE 11.5 OF THE "EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL, TECHNICAL GUIDANCE 363-2134-008, MARCH 2012." SEEDING RATES ARE STATED AS POUNDS PER ACRE (LB/A) OF PURE LIVE SEED (PLS). PLS IS THE PRODUCT
- OF THE PERCENTAGE OF PURE SEED TIMES THE PERCENTAGE OF GERMINATION DIVIDED BY 100 (E.G. [85% PURE SEED 72% GERMINATION] - 100 = 61% PLS). SEED SHOULD NOT BE USED LATER THAN ONE YEAR AFTER THE TEST DATE THAT APPEARS ON THE LABEL. USE OF SEED OLDER THAN ONE YEAR COULD RESULT IN LESS THAN SATISFACTORY VEGETATIVE COVERAGE AND THE NEED TO RE-SEED THE DISTURBED AREA.

PCSM REQUIREMENTS

1 A LICENSED PROFESSIONAL OR A DESIGNEE SHALL BE PRESENT ONSITE AND BE RESPONSIBLE DURING CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN. THE CRITICAL STAGES MAY INCLUDE THE INSTALLATION OF UNDERGROUND TREATMENT OR STORAGE BMPS. STRUCTURALLY ENGINEERED BMPS. OR OTHER BMPS AS DEEMED APPROPRIATE BY THE DEPARTMENT OR THE CONSERVATION DISTRICT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE DESIGN ENGINEER IN ACCORDANCE WITH THE SUMMARY OF PCSM BMP CONSTRUCTION INSPECTIONS" LOCATED ON THIS PLAN AND THE PCSM PLAN. 2. THE PCSM PLAN, INSPECTION REPORTS, AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE DEPARTMENT OR THE CONSERVATION DISTRICT.

PCSM LONG TERM OPERATIONS AND MAINTENANCE REQUIREMENTS

THE PERMITTEE OR CO-PERMITTEE SHALL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMPS UNLESS A DIFFERENT PERSON IS IDENTIFIED IN THE NOTICE OF TERMINATION AND HAS AGREED TO LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMPS. 2. A PERMITTEE OR CO-PERMITTEE THAT FAILS TO TRANSFER LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP OR OTHERWISE FAILS TO COMPLY WITH THIS REQUIREMENT SHALL REMAIN JOINTLY AND SEVERALLY RESPONSIBLE WITH THE LANDOWNER FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPS LOCATED ON THE PROPERTY.

GEOLOGIC FORMATIONS/SOIL CONDITIONS THAT MAY HAVE THE POTENTIAL TO CAUSE POLLUTION

- NATURAL OCCURRING GEOLOGIC FORMATIONS OR SOIL CONDITIONS THAT MAY HAVE THE POTENTIAL TO CAUSE POLLUTION DURING EARTH DISTURBANCE ACTIVITIES AND THE BMPS IMPLEMENTED IN ORDER TO AVOID OR MINIMIZE POTENTIAL POLLUTION AND ITS IMPACTS FROM SUCH FORMATIONS • THERE ARE NO GEOLOGIC FORMATIONS OR SOIL CONDITIONS WITHIN THE PROJECT AREA OR SCOPE
- POTENTIAL THERMAL IMPACTS TO SURFACE WATERS

OF EARTH DISTURBANCE THAT HAVE THE POTENTIAL TO CAUSE POLLUTION.

POTENTIAL THERMAL IMPACTS TO SURFACE WATERS OF THE COMMONWEALTH INCLUDE THE FOLLOWING ACTIVITIES

- 1. EXPOSURE OF STORMWATER TO SURFACES, SPECIFICALLY PAVEMENT AND ROOFTOPS, WITH ELEVATED TEMPERATURES PRIOR TO REACHING SURFACE WATERS. A. DURING CONSTRUCTION, BMPS AND/OR CONSTRUCTION PRACTICES TO BE IMPLEMENTED IN THE POST-CONSTRUCTION CONDITION AS STATED IN 1.B. TO AVOID. MINIMIZE OR MITIGATE THE POTENTIAL TO CAUSE POLLUTION FROM THERMAL IMPACTS CANNOT BE IMMEDIATELY CONSTRUCTED DUE TO THE NEED TO ACHIEVE PERMANENT STABILIZATION OF UPSLOPE AREAS PRIOR TO THE CONSTRUCTION OF SAID BMPS. THEREFORE, IMPACTS ARE MINIMIZED BY STAGING THE CONSTRUCTION OF SURFACES WITH
- ELEVATED TEMPERATURES, I.E. PAVEMENTS AND ROOFTOPS, TOWARDS THE END OF THE CONSTRUCTION PERIOD TO MINIMIZE THE POTENTIAL THERMAL IMPACTS. IN THE POST-CONSTRUCTION CONDITION. THE BMPS AND/OR CONSTRUCTION PRACTICES IMPLEMENTED TO AVOID, MINIMIZE OR MITIGATE THE POTENTIAL TO CAUSE POLLUTION FROM THERMAL IMPACTS ARE AS FOLLOWS:
- THE 2-YEAR/24-HOUR RUNOFF VOLUME CONTRIBUTING TO THE INFILTRATION BASIN, WHICH CONTAINS THE MAJORITY OF HIGH TEMPERATURE PAVEMENT AND ROOFTOP RUNOFF. WILL BE COMPLETELY REMOVED (INFILTRATED) BY THE INFILTRATION BASIN. PAVEMENT RUNOFF THAT BYPASSES THE BASIN WILL FLOW OVER VEGETATED SURFACES. MITIGATING THE POTENTIAL OF THESE AREAS TO CAUSE POLLUTION FROM THERMAL IMPACTS. THEREFORE, THE POTENTIAL TO CAUSE POLLUTION FROM THERMAL IMPACTS TO SURFACE WATERS HAS BEEN MINIMIZED OR AVOIDED TO THE EXTENT PRACTICABI F
- ADDITIONALLY, SHADE TREES ARE PROVIDED ON THE PERIPHERY OF THE SECTION OF THE NEW ACCESS DRIVE TO ESTABLISH A PARTIAL CANOPY OVER THESE AREAS THAT WOULD OTHERWISE BE EXPOSED TO THE SUN, AND WITHIN THE INFILTRATION BASIN TO ASSIST IN THE REMOVAL OF RUNOFF VOLUME VIA EVAPOTRANSPIRATION. HOWEVER, AS PREVIOUSLY STATED, THE INFILTRATION BASIN REMOVES (INFILTRATES) 100% OF THE CONTRIBUTING RUNOFF VOLUME FOR ALL STORMS UP TO AND INCLUDING THE 2-YEAR/24-HOUR STORM.

	0541
	SEAL
NO. DATE	REVISION
REVIS	IONS
CONSU	LTANT
	$\langle \mathbf{s} \rangle$
	Y)
STACKHOUSE B	ENSINGER INC
CIVIL ENGI	NEERING
LAND PLA MUNICIPAL C	ANNING ONSULTING
SINKING SPRIN	NG, PA 19608
www.stackhouse	bensinger.com
THIS IS A COPY AND NOT THE ORIG	GINAL DRAWING. THE ORIGINAL
ANY LIABILITY WHATSOEVER IS LIM OR LAST REVISION TO TH	11TED TO THE ORIGINAL DRAWING HE ORIGINAL DRAWING
	COPYRIGHT 2022
PROJECT INF	ORMATION
	one Architecte
955 Berkshire Boulevard	Wyomissing PA 19610
PROJECT:	
RMCTC Welding & F Muhlenberg Township Ber	abrication Building ks County Pennsvlvania
PLAN TITLE:	
E & SC PLA	AN NOTES
PLAN STATUS:	
ISSUE DATE: Fahruar	v 23 2022
UPI / PROPERTY ID:	, 20, 2022
66-5318-14 FILE NAME:	+-34-9436
2021-087 DRAWN BY:	DGN PLAN NO.:
NO SCALE	C-ESC3
2021-087	SHEET 3 OF 3

COUNTY CONSERVATION DISTRICT STAMP

PHASING LEGEND

4525_RMCTC WeldingBldg_Final CD | BIMcloud: MG-Architects-v22 - BIMcloud Basic for ARCHICAD 22/4525_RMCTC WeldingBldg_Final CD | 5/16/2022 | 2:22 PM

	1.50 1.50.01 1.50.02	GENERAL CONSTRUCTION G.C. TO PROVIDE TEMPORARY 8'-0" LINK FENCE AS SHOWN. G.C. TO PROVIDE TWO (2) 8'-0" WIDE FENCE GATES WITH PADLOCK
	02 2.01 2.01.21	DEMOLITION EXISTING CONDITIONS EXISTING MANHOLE TO REMAIN; CC WITH CIVIL DRAWINGS.
	03 3.30 3.30.05	CONCRETE CAST-IN-PLACE CONCRETE SPEC 032000/033000 CAST-IN-PLACE CONCRETE PAD BY
	0.00.00	COORDINATE SIZE AND LOCATION MECHANICAL AND STRUCTURAL DR.
	22	PLUMBING BY P.C. WORK DESCRIBED IN THESE KEYNOTE RESPONSIBILITY OF THE P.C. UNLESS N OTHERWISE. COORDINATE WITH PLU DRAWINGS
	22.01.01	UNDERGROUND CONCRETE VAULT / CLEANOUT MANHOLE, BY G.C. ALL I BACKFILL, AND SEEDING BY G.C. G. VAULT ON 6" MIN. 2A COARSE AGG TO PROVIDE FINAL CONNECTIONS.
(22.01.02 22.01.03 22.01.04 22.01.06 22.01.12	FORCED SANITARY SEWER LATERAL. GAS SERVICE LINE. DOMESTIC WATER SERVICE LINE. SEWER EJECTOR. UNDERGROUND PLUMBING
	26	ELECTRICAL BY E.C.
	26.01	WORK DESCRIBED IN THESE KEYNOTE RESPONSIBILITY OF THE E.C. UNLESS N OTHERWISE. COORDINATE WITH ELEC DRAWINGS. GENERAL WORK DESCRIBED IN THESE KEYNOTE
		RESPONSIBILITY OF THE E.C. UNLESS NOTHERWISE. COORDINATE WITH ELEC
	26.01.01 26.01.02	RESPONSIBILITY OF THE E.C. UNLESS N OTHERWISE. COORDINATE WITH ELEC DRAWINGS. QUAZITE BOX.
	26.01.01 26.01.02 32 32.12 32.12.01 32.13 32.13.01 32.92 32.92.02	RESPONSIBILITY OF THE E.C. UNLESS NOTHERWISE. COORDINATE WITH ELECTORAWINGS. QUAZITE BOX. EXTERIOR IMPROVEMENTS ASPHALT PAVING SPEC 321216 ASPHALT PAVING OVER DRAINAGE COORDINATE WITH CIVIL DRAWING CONCRETE PAVING SPEC 321313, 4" CONCRETE SIDEWALK ON 4" DRAI TURF AND GRASSES SPEC 329200 SEEDING, BY GC.

" HIGH CHAIN-E CHAIN-LINK

OORDINATE

YH.C. I WITH RAWINGS.

tes is the NOTED UMBING AND EXCAVATION, .C. TO SET GREGATE. PC

DTES IS THE NOTED ECTRICAL

tes is the NOTED CTRICAL

FILL; 3/321373 INAGE FILL.

NOTE: FIELD LEVEL MICRO-TEXTURE 41 POINTS PER SQUARE INCH DETAIL-1

SITE PLAN LEGEND

Asphalt paving / patching (32.12.01)

Asphalt paving / patching (32.12.01)

Asphalt paving / patching (32.13.01)

Asphalt paving (32.92.02)

Area of seeding (32.92.02)

Area of seeding (32.92.02)

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

C

<t

GENERAL SHEET NOTES

1.	COORDINATE EXTENT OF WORK WITH CIVIL AND MER
	DRAWINGS.

- 2. SEE CIVIL DRAWINGS FOR PLANTING SPECIFICATIONS.
- 3. SEE CIVIL DRAWINGS FOR PAVING AND SIDEWALK DETAILS.

KEYED NOTES

2 01 01.01 01.02 01.12 01.22 41 41.23	DEMOLITION EXISTING CONDITIONS EXISTING INLET TO REMAIN; COVER V DRAWINGS EXISTING ASPHALT PARKING LOT. EXISTING WIRE MESH FENCE TO REMA EXISTING ASPHALT DRIVEWAY. SELECTIVE DEMOLITION SPEC 0241 DISCONNECT AND REMOVE EXISTING FIXTURE AND POLE IN ITS ENTIRETY, BY
3 30 30.05 30.12	CONCRETE CAST-IN-PLACE CONCRETE SPEC 032000/033000 CAST-IN-PLACE CONCRETE PAD BY H COORDINATE SIZE AND LOCATION V MECHANICAL AND STRUCTURAL DRA CONCRETE DUCT SUPPORT FOUNDAT COORDINATE WITH STRUCTURAL DRA COORDINATE LOCATIONS WITH MEC DRAWINGS.
5 12 12.12 50 50.01 50.07	METALS STRUCTURAL STEEL FRAMING SPEC 051200/099600 STEEL DUCTWORK SUPPORT. COORD STRUCTURAL DRAWINGS. METAL FABRICATIONS SPEC 05500 CONCRETE FILLED METAL PIPE BOLLA INDICATED ON PLAN. METAL DOWNSPOUT BOOT, BY G.C.
7 62 62.05 62.06	THERMAL AND MOISTURE PRO SHEET METAL FLASHING/TRIM SPEC 3"x4" PREFINISHED METAL DOWNSPO 3" x 4" PREFINISHED METAL RAINWATE CONDUCTOR ANCHORED TO FACE
2 2.01.06 2.01.11 2.01.18	PLUMBING BY P.C. WORK DESCRIBED IN THESE KEYNOTE RESPONSIBILITY OF THE P.C. UNLESS N OTHERWISE. COORDINATE WITH PLUM DRAWINGS. SEWER EJECTOR. PVC STORM WATER SERVICE LINE. SE SIZE. SEWER EJECTOR CONTROL PANEL. C WITH PLUMBING DRAWINGS.
3 3.01.02 3.01.03	HVAC BY H.C. WORK DESCRIBED IN THESE KEYNOTE RESPONSIBILITY OF THE H.C. UNLESS N OTHERWISE. COORDINATE WITH MEC DRAWINGS. SCHEDULED DUCTWORK. COORDINA HVAC DRAWINGS. FUME EXTRACTOR.
2 2.12.01 2.12.02 2.12.03 2.12.03 2.13.01 2.13.01 2.17.01 2.17.01	EXTERIOR IMPROVEMENTS ASPHALT PAVING SPEC 321216 ASPHALT PAVING OVER DRAINAGE F COORDINATE WITH CIVIL DRAWINGS SEAL NEW ASPHALT PAVING TO EXIST FOR FULL WIDTH OF DRIVEWAY. HEAVY DUTY ASPHALT PAVING OVER FILL; COORDINATE WITH CIVIL DRAW CONCRETE PAVING SPEC 321313/ 4" CONCRETE SIDEWALK ON 4" DRAIN TACTILE WARNING SURFACING SP DETECTABLE WARNING TILES FOR WITH WALKWAY. SITE FURNISHINGS SPEC 323300
2.33.01 2.92 2.92.02 2.92.04 2.92.05	PRECAST CONCRETE BOLLARD, TYPE ON PLAN. TURF AND GRASSES SPEC 329200 SEEDING, BY GC. #4 WASHED RIVER STONE AROUND N PAD. WEED BARRIER.

WITH CIVIL

MAIN. 1119 IG LIGHT 3Y EC.

H.C. WITH RAWINGS. ATION; RAWINGS. ECHANICAL

DINATE WITH

ROTECTION EC 076200 OUT. ITER E OF BUILDING.

es is the Noted Jmbing

EE PLAN FOR

ES IS THE NOTED CHANICAL

FILL; S. STING PAVING R DRAINAGE VINGS.

8/321373 Ninage Fill. PEC 321726 Vidth of

E INDICATED

MECHANICAL

FOUNDATION NOTES:

- 1. FOUNDATION SOIL BEARING PRESSURE 3000 PSF. (ASSUMED, TO BE FIELD VERIFIED)
- 2. FOUNDATIONS SHALL BE PLACED ON VIRGIN SOIL OR STRUCTURAL FILL AT ELEVATIONS INDICATED ON DRAWINGS.
- 3. ALL STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY OF 95% OF THE MAXIMUM MODIFIED PROCTOR DENSITY AS DEFINED BY ASTM D-1557.
- 4. THE SOILS ENGINEER SHALL APPROVE ALL BEARING STRATA PRIOR TO PLACEMENT OF CONCRETE FOOTINGS.
- 5. NO GEOTECHNICAL REPORT AVAILABLE AT TIME OF DESIGN. 3000 PSF ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. CONTRACTOR IS TO VERIFY SOIL BEARING PRESSURE AND INFORM ENGINEER IF ACTUAL CONDITIONS DO NOT MEET OR EXCEED ASSUMED VALUE. CONTRACTOR TO COORDINATE GEOTECHNICAL REQUIREMENTS WITH PROJECT DRAWINGS INCLUDING ANY AND ALL REQUIRED SUBSURFACE SOIL PREPARATION, MODIFICATIONS, IMPROVEMENTS OR REPLACEMENTS.

CONCRETE NOTES:

MATERIALS: CONCRETE SLAB ON GRADE ALL OTHER CONCRETE REINFORCING STEEL

WELDED WIRE FABRIC

- 4000 PSI @ 28 DAYS 3000 PSI @ 28 DAYS ASTM A615, GRADE 60 ASTM A185
- 2. REINFORCED CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE ACI 318, LATEST EDITION.
- 3. HORIZONTAL REINFORCING BARS IN WALLS AND FOOTINGS SHALL BE
- CONTINUOUS AROUND CORNERS. 4. REINFORCING BARS SHALL BE LAPPED WITH A MINIMUM OF 36 BAR
- DIAMETERS AT SPLICES AND WELDED WIRE FABRIC SHALL BE LAPPED A MINIMUM OF 6 INCHES UNLESS NOTED OTHERWISE ON DRAWINGS.
- 5. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT: CONCRETE CAST AGAINST EARTH & PERMANENTLY EXPOSED 3" CONCRETE EXPOSED TO EARTH OR WEATHER #5 & SMALLER #6 & LARGER CONCRETE NOT EXPOSED TO WEATHER OR GROUND SLABS AND JOISTS
 - BEAMS AND WALLS COLUMNS AND PILASTERS SLABS ON GRADE 2" MAX. (TOP)
- 6. MINIMUM EMBEDMENT LENGTH SHALL BE 24 BAR DIAMETERS UNLESS OTHERWISE NOTED.
- 7. ALL CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR-ENTRAINED 4%-6%. 8. ALL REINFORCING SHALL BE SUPPORTED ON REINF. CHAIRS OR CONCRETE
- 9. ALL REINFORCING SHALL BE TIED AND SET IN PLACE PRIOR TO PLACING CONC.
- 10. CONCRETE SHALL NOT BE PLACED ON WET OR FROZEN SUBSTRATE.
- 11. CONCRETE SHALL BE PLACED ONLY AFTER INSPECTION AND APPROVAL OF SUBSTRATE FORM WORK, REINFORCING, AND EMBEDMENTS BY TOWNSHIP ENGINEER OR FIELD REPRESENTATIVE.
- 12. CONCRETE SHALL BE TESTED AT A MINIMUM FOR COMPRESSIVE STRENGTH, SLUMP AND AIR ENTRAINMENT FOR EACH DAY'S PLACEMENT AND FOR EACH FIFTY (50) CUBIC YARDS PLACED DURING A DAY
- 13. ALL REINF. DETAILS SHALL CONFORM TO THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI 315) UNLESS DETAILED ON THE STRUCTURAL DRAWINGS

MASONRY NOTES:

MASONRY UNITS.

1. MATERIALS:

CONCRETE MASONRY UNITS	ASTM C90 GRADE N
	(MIN. COMP. STRENGTH = 1900 PSI)
MORTAR	ASTM C270 TYPE M OR S
	(MIN. COMP. STRENGTH = 2500 PSI)
GROUT	ASTM C476
	(MIN. COMP. STRENGTH = 3000 PSI)

2. MASONRY CONSTRUCTION SHALL CONFORM TO "BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES" AND "SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF LOAD-BEARING CONCRETE MASONRY" AS PUBLISHED BY THE NATIONAL CONCRETE MASONRY ASSOCIATION.

- 3. ALL MASONRY BEARING BENEATH STEEL COLUMN, BEAM AND LINTEL SUPPORTS SHALL HAVE THREE COURSES OF CMU FILLED WITH CONCRETE GROUT OR SHALL BE 100% SOLID CMU, UNLESS NOTED OTHERWISE.
- 4. ALL HORIZONTAL WALL REINFORCING SHALL BE TRUSS TYPE, GALVANIZED REINFORCING SPACED AT 16" O.C. VERTICALLY. AT ALL CORNERS AND INTERSECTIONS HORIZONTAL WALL REINFORCING SHALL BE FULLY LAPPED WITH TRUSS TYPE, GALVANIZED CORNERS AND TEES.
- 5. PROVIDE MASONRY ANCHORS AT 1'-4'' O.C. MAXIMUM,SET ON COURSING AND WELD TO ALL BEAMS AND COLUMNS ABUTTING OR EMBEDDED IN MASONRY.
- 6. PROVIDE WALL CONTROL JOINTS @ 30'-0" MAX O.C., WITHIN 10'-0" OF ALL CORNERS, AND ON ONE SIDE OF ALL LARGE OPENINGS. COORD. LOCATION WITH ARCH. ELEVATIONS. FILL WITH BACKER ROD AND SEALENT PER ARCH'L SPECS. STRUCTURAL STEEL NOTES:

1. MATERIALS:

BEAMS LINTELS AND ANGLES	ASTM A992, ASTM A36	GRADE 50
TUBE/HSS STEEL	ASTM A-500,	GRADE B
PIPE COLUMN	ASTM A53,	GRADE B
ANCHOR BOLTS	ASTM A307	
HIGH-STRENGTH BOLTS	ASTM A325	
WELDING ELECTRODES	ASTM A233,	CLASS E70

- 2. BEAM-TO-BEAM AND BEAM-TO-COLUMN CONNECTIONS SHALL BE AISC STANDARD FULL DEPTH DOUBLE ANGLE CONNECTIONS. WHERE REACTIONS EXCEED MINIMUM CONDITIONS, THE APPROPRIATE CONNECTION SHALL BE DETERMINED BY FABRICATOR (CONTRACTOR).
- 3. ALL MAJOR CONNECTIONS SHALL BE HIGH-STRENGTH FRICTION BOLTS OR WELDS OF EQUAL STRENGTH. ANCHOR BOLTS SHALL BE UNFINISHED BOLTS.
- 4. ALL COLUMNS TO BE PROVIDED WITH $\frac{3}{4}$ " THICK CAP PLATES, AS REQ'D. PROVIDE $\frac{1}{4}$ " CLOSURE PLATES FOR ALL HSS MEMBERS (I.E. NO "OPEN ENDS").
- 5. STEEL WORK SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISC SPECIFICATIONS.
- 6. ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY USING E70XX ELECTRODES.
- 7. SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO ANY FABRICATION AND ORDERING. SHOP AND ERECTION DRAWINGS MUST SHOW ALL SHOP AND FIELD WELDS.
- 8. STEEL JOISTS SHALL BE DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE STEEL JOIST INSTITUTE. THE CHORDS AND WEB MEMBERS OF THE STEEL JOISTS SHALL BE MADE OF HOT-ROLLED HIGH STRENGTH STEEL HAVING A
- 9. STEEL JOISTS SHALL BE ERECTED IN ACCORDANCE WITH THE STEEL JOIST INSTITUTE TECHNICAL DIGEST NO. 9, "HANDLING AND ERECTION OF STEEL JOISTS AND JOIST GIRDERS."
- 10. PROVIDE MASONRY ANCHORS AT 1'-4" o.c. MAXIMUM, SET ON COURSING AND WELD TO ALL BEAMS AND COLUMNS ABUTTING OR EMBEDDED IN MASONRY.
- 11. ALL STEEL TO RECEIVE ONE COAT OF SHOP PRIMER, FINAL FINISH TO BE COORDINATED WITH OWNER, U.N.O., ALL NEW EXPOSED STEEL, STAIRS, GRATING, GUARDRAIL, CONNECTIONS, ETC. TO BE GALVANIZED, G60 COATING MINIMUM.
- 12. FOR ALL ARCH'L EXPOSED STEEL (HANGERS, PLATES, ETC.) REMOVE ALL BURRS, ETC. AND GROUND ALL WELDS SMOOTH.

MINIMUM YIELD STRENGTH OF 50 KSI.

- 13. LOOSE LINTELS TO BE $\angle 6 \times 6 \times 3$ (GALV,). U.N.O, 8" MIN. BRG. EA. END. IF NOT SPECIFICALLY SHOWN, PROVIDE FOR ALL OPENINGS SUPPORTING BRICK, 6'-0" WIDE OR LESS, COORD. W/ ARCH'L & MECH'L DWGS.
- 14. STEEL STAIRS WILL BE A "DELEGATED DESIGN" AND SHALL BE DESIGNED/DETAILED BY CONTRACTOR. SUBMIT SHOP DWG'S & CALCULATIONS (SIGNED/SEALED BY PA REGISTERED P.E.) FOR REVIEW AND APPROVAL.

STEEL ROOF DECK NOTES:

- 1. DECK SHALL BE GALVANIZED BY UNITED STEEL DECK OR EQUAL WITH RESPECT TO LOAD CARRYING CAPACITY, DEFLECTION, AND U.L. LABEL. SUBMIT DATA TO STRUCTURAL ENGINEER.
- 2. DECK SHALL BE 20 GA. MINIMUM, TYPE-B.
- RECOMMENDATIONS.
- 4. ALL BEAMS TO HAVE %" PUDDLE WELDS AT 12" O.C. (MAX). FASTEN SIDE LAPS WITH 1/2" SEAM WELDS OR #10 SELF TAPPING SCREWS AT 30" O.C. (MAX). HEADED STUDS SHALL BE INSTALLED BY WELDING THROUGH THE METAL DECK. REMOVE FERRULES FROM THE DECK BEFORE CONCRETE IS PLACED.
- 5. INSTALLATION TO BE 3 SPAN CONTINUOUS.
- 6. PROVIDE 6" WIDE, 20 GA. BUTT STRIP PLATE (TACK IN PLACE) AT ALL DECK "BUTT" CONDITIONS OR CHANGE IN DECK DIRECTION, WHERE REQUIRED.
- STEEL FLOOR DECK NOTES:
- 1. DECK SHALL BE GALVANIZED BY UNITED STEEL DECK OR EQUAL WITH RESPECT TO LOAD CARRYING CAPACITY, DEFLECTION, AND U.L. LABEL. SUBMIT DATA TO STRUCTURAL ENGINEER.
- 2. DECK SHALL BE COMPOSITE 20 GA. MINIMUM. 3. DECK INSTALLATION TO BE IN STRICT ACCORDANCE WITH MANUFACTURER'S
- RECOMMENDATIONS. 4. ALL BEAMS TO HAVE %" PUDDLE WELDS AT 12" O.C. (MAX). FASTEN SIDE LAPS WITH 1%" SEAM WELDS OR #10 SELF TAPPING SCREWS AT 30" O.C. (MAX). HEADED STUDS SHALL BE INSTALLED BY WELDING THROUGH THE METAL DECK. REMOVE FERRULES FROM THE DECK BEFORE CONCRETE IS PLACED.
- 5. INSTALLATION TO BE 3 SPAN CONTINUOUS.
- PRE-ENGINEERED STEEL ROOF TRUSS NOTES:
- STATE OF THE PROJECT AND SHALL BE SOLELY RESPONSIBLE FOR SAME.
- DEVELOP CONNECTIONS FOR STRESS,
- DURING ERECTION UNTIL DECK IS RIGIDLY IN PLACE. DO NOT APPLY ANY TEMPORARY CONCENTRATED LOADS TO UN-BRACED OR UN-DECKED ROOF AREAS.
- ARCH'L DWGS FOR DETAILED STEEL TRUSS PROFILE, HSS GENERAL SIZING, ETC. 5. TRUSS DESIGN LOADS:
- TC LL = 30 PSF TC DL = 20 PSF
- 6. COORDINATE ALL DIMENSIONS, SLOPES, ROOF TRUSS LAYOUTS, ETC. WITH ARCH. DWGS. 7. SEE ARCH'L DWG'S FOR ALL ROOF TRUSS PROFILES.

3. DECK INSTALLATION TO BE IN STRICT ACCORDANCE WITH MANUFACTURER'S

1. CONTRACTOR SHALL SUBMIT DESIGN CALCULATIONS AND SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION. DRAWINGS SHALL BE COMPLETE IN ALL DETAILS, INCLUDING ALL BRACING LOCATIONS AND BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE

2. TRUSS SUBCONTRACTOR SHALL FURNISH STEEL PLATES, CONNECTIONS, ETC. AND FULLY

3. ROOF CONSTRUCTION SHALL BE TEMPORARILY BRACED PER TRUSS MANUF. RECOMMENDATIONS

4. ALL STEEL TRUSSES TO BE DESIGNED/CONSTRUCTED USING HSS MEMBERS, AS REQ'D. SEE

MASONRY PIER SCHEDULE				
Mk	SIZE	VERT. REINF.	HORIZ. REINF.	REMARKS
MP1	16"x16"	(4)-#6's VERT.	4's @ 16" O.C.	SEE 9/S-300
MP2	8"x16"	(2)-#5's VERT.	4's @ 16" O.C.	SEE 9/S-300

FOOTING SCHEDULE f'c=3000 PSI / ASSUMED Fb=3000 PSF				
FOOTING #	SIZE	REINFORCING		REMARKS
Mk	AxBxt	SHORT WAY	LONG WAY	
FT3	3'-0"x3'-0"x1'-0"	(4)-#5's S.W.	(4)-#5's L.W.	
FT3.5	3'-6"x3'-6"x1'-0"	(5)-#5's S.W.	(5)-#5's L.W.	
FT4.5	4'-6"x4'-6"x1'-4"	(6)-#5's S.W.	(6)-#5's L.W.	
FT5	5'-0"x5'-0"x1'-4"	(6)-#5's S.W.	(6)-#5's L.W.	
FT6	6'-0"x6'-0"x1'-4"	(7)-#6's S.W.	(7)-#6's L.W.	

DESIGN DATA (IBC 2018) ROOF LOAD <u>_30</u>LBS/FT² LIVE LOAD (SNOW) <u>20</u>LBS/FT² DEAD LOAD BUILDING CATEGORY ROOF SNOW LOAD (DRIFTING SNOW IN ADDITION TO UNIFORM LOAD WHERE APPLICABLE) Pg = 30 LBS./FT.² $Pf = 25 LBS./FT.^{2}$ Ce = 1.0|s| = 1.0Ct = 1.0BASIC DESIGN WIND LOAD V = 100lw= 1.0 EXPOSURE B INTERNAL PRESSURE COEFFICIENT = 0.18 COMPONENTS AND CLADDING SHALL BE DESIGNED FOR: + <u>18</u> LBS./FT.² – <u>18</u> LBS./FT.² ALLOWABLE SOIL BEARING COLUMNS <u>_3000 LBS./FT.</u> <u>_3000 LBS./FT.</u> WALLS EARTHQUAKE DESIGN DATA SEISMIC USE GROUP SEISMIC DESIGN CATEGORY 0.265 SDS = 0.093 Sd1 = SITE CLASS $I_{e} = EQUIVALENT LATERAL FORCE PROCEDURE$

FOUNDATION PLAN S-101 SCALE: 1/8" = 1'-0"

NOTES:

- 1. BOTTOM OF EXT. FOOTING TO BE -3'-8" BELOW FINISHED FLOOR 0'-0"UNLESS NOTED OTHERWISE NOTED THUS (-).
- 2. COORDINATE BOTTOM OF FOOTING ELEV. SHOWN ABOVE WITH CIVIL/GRADING PLANS. SEE 3/S-300 FOR STEPPED FOOTING DETAIL.
- (3) COORDINATE FOUNDATION WALL/CONCRETE HOLD DOWNS WITH DOOR LOCATIONS SHOWN ON ARCHITECTURAL DRAWINGS (SEE 6/S-300).
- 4. FINISH FLOOR ELEVATION AS NOTED ON PLAN.
- 5. COORDINATE EXTENT AND LOCATION OF SIDE WALKS AND EXIT STEP-OFF PADS WITH ARCH AND CIVIL DRAWINGS.
- 6. TYP. TOP OF LEVELING PLATE ELEVATION TO BE (-7") BELOW FINISH FLOOR FOR ALL COLUMNS. U.N.O.
- 7. SOIL BEARING CAPACITY 3000 PSF ASSUMED TO BE FIELD VERIFIED
- PRIOR TO CONSTRUCTION. 8. REFER TO ARCHITECTURAL FLOOR PLANS FOR ADDITIONAL DIMENSIONS AND FOR COORDINATING LOCATIONS OF COLUMNS, BEARING WALLS AND SHEAR WALLS.

SEE ARCH. DWG'S FOR EXTENT AND LOCATION OF PERIMETER UNDER-SLAB RIGID INSULATION.

- (10) EXTERIOR CONC. EQUIP. PAD, SEE DETAIL 9/S-300.
- (11) ELEVATED DUCTWORK SUPPORT, SEE DETAIL 11/S-300.
- (12) ELEVATED DUCTWORK SUPPORT, SEE DETAIL 12/S-300.
- (13) SHIPS LADDER AND PLATFORM, SEE 2/S-304.

(2) HEADER/HIGH WINDOW PLAN SCALE: 1/8" = 1'-0"

HEADER & LINTEL SCHEDULE			LE	
MARK	MATERIAL	REMARKS	REMARKS	
(H1)	PRE−CAST CONC. HEADER + ∠6x4x¾ (GALV.)	BOLTED TO CMU W/ ½" DIA. EXP. BOLTS @ 12" O.C.	SEE DTL. 1/S-301	
(H2)	PRE−CAST CONC. HEADER + ∠6x6x¾ (GALV.)	LOOSE LINTEL, 8" BRG. EA. END	SEE DTL. 1/S-301	
(H3)	₩8x24 ₩/ ¾ BOTT. ₧		SEE DTL. 2/S-301	
(H4)	W16x26 W/ ⅔ BOTT. 문		SEE DTL. 2/S-301	
(H5)	₩8x21 ₩/ ¾ BOTT. ᡛ		SEE DTL. 2/S-301	
(H6)	HSS8x8x⅔	(GALV.)	SEE DTL. 2/S-301	

(1		R()()]	F	F
	5-200	\mathcal{I}	SCA	LE	: 1/	′8''=	=1
			<u>N0</u>	TES:			
			1	PI AI	ROV		N F

	DETAIL 9/
3	LINE UP C
4	1½"—22ga
5.	NET UPLIF
\bigcirc	

FRAMING PLAN

FRAMED ROOF OPENING FOR ALL RTU LOC'S AND PENETRATIONS, SEE DETAIL 8/S-301

(2) PROVIDE JOIST REINF. FOR ALL RTU LOCATION, SEE

/S-301 ONE SIDE OF UNIT OVER JOIST/BEAM.

GALV. ROOF DECK

IFT= 20PSF

6 EXTEND HOIST BEAM INTO CMU WALL AND PROVIDE BEAM BRG. POCKET SEE DETAIL 10/S-301.

(7) ELEVATED DUCTWORK SUPPORT, SEE DET. 11/S-300. (8) ELEVATED DUCTWORK SUPPORT, SEE DET. 12/S-300.

LEGEND:

— • •	FIXED BOTTOM CHORD EXTENSION OF JOIST
	-LOOSE BOTTOM CHORD EXTENSION OF JOIST
+ ►	-DENOTES MOMENT CONNECTION (SEE 6/S3.1)
*	DENOTES TOP CHORD EXTENSION
[XX'-XX"]	DENOTES BOT. OF STEEL
(XX'-XX")	DENOTES T.O. STEEL
(S)	DENOTES SLOPED BEAM
(C)	CAMBER

² MEZZANINE FRAMING PLAN S-200 SCALE: 1/8"=1'-0"

NOTES:

- 1. T.O. MEZZ ELEV. = 9'-0", T.O.S ELEV. = 8'-8".
- 2 MEZZ SLAB = 4" TOTAL THICKNESS NORMAL WEIGHT CONC. w/ 6x6xW2.9xW2.9 WWF. ON $1-\frac{1}{2}$ "-20GA. COMP. FLOOR DÉCK.
- (N) PRE-CAST/CONC. HEADER, SEE 1/S-301.
- (4) PROVIDE BM BRG POCKET IN (N) CMU WALL, SEE 10/S-301.
- 5. MEZZANINE LIVE LOAD = 100PSF
- 6. PROVIDE %" ANGLE OR BENT PLATE POUR STOP ALL AROUND DECK EDGE (OR FOR ANY FLOOR OPENINGS), TYP.

 11
 SECTION @ HOIST BEAM

 Scale: 3/4"=1'-0"

 NOTES:

 1.
 12KSP1 JOISTS TO BE DESIGNED FOR UNIFORM LOAD (MIN. 120pif D.L. + 180pif L.L.) + MOVING 2,000lbs LIVE LOAD.

 2.
 12KSP2 JOISTS TO BE DESIGNED SAME AS ABOVE + SNOW DRIFT LOADING AS APPLICABLE.

NOTES:

1. 18KSP1 JOISTS TO BE DESIGNED FOR UNIFORM LOAD (MIN. 120plf D.L. + 180plf L.L.) + 2,000lbs CONCENTRATED LIVE LOAD.

1 S-302 SCALE: 3/4"=1'-0" NOTE:

1. ALL EXTERIOR STEEL, COLUMNS, TRUSSES, ETC. TO BE GALVANIZED.

2 S-304 SCALE: 1/2"=1'-0"

FLOOR PLAN LEGEND

FD FLOOR DRAIN (22.01.07) CO FLOOR CLEANOUT (22.01.09) CJ FLOOR SLAB CONTROL JOINT COORDINATE w/ STRUCTURAL DRAWINGS

GENERAL SHEET NOTES 1. SEE SHEET A-601 FOR SCHEDULES.

2. SEE SHEET A-603 FOR PARTITION TYPES.

<u>KEYED NOTES</u> CONCRETE 03

3.30	CAST-IN-PLACE CONCRETE SPEC
3.30.01	CAST-IN-PLACE CONCRETE SLAB ON ST DRAINAGE FILL OVER 10 MIL. VAPOR BASEAL SLAB. COORDINATE WITH STRUCTU
3.30.06	CAST-IN-PLACE CONCRETE SLAB ON ST DRAINAGE FILL. COORDINATE WITH STR DRAWINGS. PROVIDE CONTROL JOINTS
3.30.11	PREP AND SEAL COAT OF ENTIRE SURFA EXPOSED CONCRETE SLAB.
05 5.12	METALS STRUCTURAL STEEL FRAMING SPEC 051200/099600
5.12.01	STEEL COLUMN. COORDINATE WITH STR DRAWINGS.
5.12.07	6" x 6" STEEL COLUMN. COORDINATE W STRUCTURAL DRAWINGS.
5.50 5.50.01	METAL FABRICATIONS SPEC 055000 CONCRETE FILLED METAL PIPE BOLLARD
5.50.03	GALVANIZED METAL LADDER ANCHORI
5.50.04	METAL SHIPS LADDER w/ 1-1/2" WELDED HANDRAILS AND BAR GRATING TREADS
06 6.10 6.10.08	WOODS, PLASTICS AND COMP ROUGH CARPENTRY SPEC 061000 3/4" PLYWOOD SHEATHING.
09 9.92 9.92.01	FINISHES INTERIOR PAINTING SPEC 099123 PREP AND PAINT (PRIMER AND TWO (2) ALL WALLS IN ROOM, UNLESS SPECIFIC NOTED OTHERWISE. PAINT ENTIRE WALL, INCLUDING EXPOSED CONDUIT, FROM A'' ABOVE NEW CEILING GRID OR TO UN
9.92.03	OF ROOF DECK IN AREAS OF OPEN CEI PREP AND PAINT (PRIMER AND TWO (2) STEEL COLUMN FROM FLOOR TO UNDER
9.96 9.96.02	ROOF ABOVE. HIGH-PERFORMANCE COATINGS SPE PREP AND PAINT (PRIMER AND TWO (2) ALL EXPOSED STRUCTURE AND ROOF DE INCLUDING ALL ANCHORS AND COND HIGH PERFORMANCE COATING.
10 10.44 10.44.01	SPECIALTIES FIRE PROTECTION SPECIALTIES SPEC 1 FIRE EXTINGUISHER AND MOUNTING BRA
11 11.10 11.10.01	EQUIPMENT EQUIPMENT STEEL ELECTRIC CHAIN HOIST WITH QUIC MANUAL TROLLEY, 2,000 POUND CAPAG (BASIS OF DESIGN: VESTIL MODEL ECH-2 VESTIL MODEL QIT-2).
21 21.01.01	FIRE SUPPRESSION FIRE SUPPRESSION EQUIPMENT, BY P.C. COORDINATE WITH PLUMBING DRAWIN
22	PLUMBING BY P.C. WORK DESCRIBED IN THESE KEYNOTES IS RESPONSIBILITY OF THE P.C. UNLESS NOT OTHERWISE. COORDINATE WITH PLUMBI
22.01.07 22.01.08	DRAWINGS. FLOOR DRAIN. RAINWATER CONDUCTOR. SEE PLUMBIN
22.01.09	DRAWINGS FOR SIZE. FLOOR CLEANOUT.
22.01.13 22.01.14 22.45 22.45.01	WATER HEATER. WALL HYDRANT. EMERGENCY PLUMBING FIXTURES EMERGENCY EYEWASH STATION.
26	ELECTRICAL BY E.C.
26.01	WORK DESCRIBED IN THESE KEYNOTES IS RESPONSIBILITY OF THE E.C. UNLESS NOT OTHERWISE. COORDINATE WITH ELECTR DRAWINGS. GENERAL WORK DESCRIBED IN THESE KEYNOTES IS
	RESPONSIBILITY OF THE E.C. UNLESS NOT OTHERWISE. COORDINATE WITH ELECTR
26.01.03	DRAWINGS. ELECTRIC PANELS BY E.C. COORDINATE
26.01.04	ELECTRICAL DRAWINGS. TRANSFORMER BY E.C. COORDINATE W
26.01.05	DATA RACK. INTERCOM/CLOCK CABINET.
26.01.07	
28	ELECTRONIC SAFETY AND SECU

28.01. BY OWNER AND INSTALLED BY E.C. 28.01.02 INTERCOM STATION PROVIDED BY OWNER AND INSTALLED BY E.C.

FLOOR PLAN LEGEND

FD	FLOOR DRAIN (22.01.07)
CO	FLOOR CLEANOUT (22.01.09)
CJ	FLOOR SLAB CONTROL JOINT COORDINATE w/ STRUCTURAL DRAWINGS

GENERAL SHEET NOTES

1. SEE SHEET A-003, CODE SUMMARY AND LIFE SAFETY PLAN, FOR ADDITIONAL SCOPES OF WORK.

- 2. SEE SHEET A-601 FOR SCHEDULES.
- 3. SEE MEP DRAWINGS FOR ADDITIONAL SCOPES OF WORK AND COORDINATION.

4. SEE STRUCTURAL DRAWINGS FOR STEEL SIZES.

EQUIPMENT PLAN NOTES

- 1. THIS EQUIPMENT PLAN IS BEING PROVIDED FOR REFERENCE ONLY. VERIFY FINAL EQUIPMENT LAYOUT WITH OWNER. 2. UNLESS NOTED OTHERWISE, ALL EQUIPMENT SHOWN ON
- THIS PLAN TO BE PROVIDED BY OWNER.
- 3. EC/HC/PC TO PROVIDE FINAL CONNECTIONS BETWEEN EQUIPMENT AND INFRASTRUCTURE. COORDINATE WITH MEP DRAWINGS.
- 4. G.C. TO RELOCATE EXISTING EQUIPMENT FROM CURRENT LOCATION TO WHERE SHOWN, COORDINATE RELOCATION AND LOCATIONS WITH SCHOOL.
- G.C. TO PROTECT ALL EXISTING FINISHES ALONG ROUTES INSIDE SCHOOL USED TO RELOCATE EQUIPMENT, PROTECTION INCLUDES, BUT IS NOT LIMITED TO, FLOORS, doors, and walls.

STONE 3ARRIER. URAL STONE RUCTURAL s at 5'-0'' ACE OF

IRUCTURAL WITH

RD, TYPE RED TO D TUBE

POSITES

COATS) : WALLS

I FLOOR TO INDERSIDE EILINGS. COATS) ERSIDE OF

PEC 099600 COATS) DECK, DUIT WITH

104416 RACKET

JICK INSTALL ACITY. -20-1 PH /

NGS.

,s the Jted ING

ING

IS THE DTED RICAL

IS THE DTED RICAL E WITH VITH

URITY ROVIDED

4525_RMCTC WeldingBldg_Final CD | BIMcloud: MG-Architects-v22 - BIMcloud Basic for ARCHICAD 22/4525_RMCTC WeldingBldg_Final CD | 5/16/2022 | 2:22 PM

 $\bigcirc \mathsf{ROOFPLAN}_{\mathsf{SCALE: 1/8''}} = 1'-0''$

1 A-304

KEYED NOTES				
05 5.50 5.50.03 5.52 5.52.07	METALS METAL FABRICATIONS SPEC 055000 GALVANIZED METAL LADDER ANCHO FACE OF WALL STRUCTURE. PIPE AND TUBE RAILINGS SPEC 0552 GALVANIZED 42" HT. SURFACE MOUNT PROTECTION RAILING. ANCHOR TO FA MASONRY WALL; SEE DETAIL.			
07 7.41	THERMAL AND MOISTURE PRO STANDING SEAM METAL ROOF PANEL			
7.41.01 7.41.07	074113.16 STANDING SEAM METAL ROOF PANEL MANUFACTURER STANDARD METAL F/			
7.53 7.53.01	EPDM ROOFING MEMBRANE OVER EN			
7.53.02	AREA. 1/2" GLASS-MAT GYPSUM COVER BO/			
7.53.03	ENTIRE ROOF AREA. TWO (2) LAYERS OF 3" POLY-ISO INSUL TOTAL THICKNESS) OVER ENTIRE ROOF STAGGER INSULATION LAYER JOINTS			
7.53.05	30" x 30" FLEXIBLE WALKWAYS. TYPICA ON PLAN, AROUND ALL ROOFTOP ME UNITS, AND TOP AND BOTTOM OF ALL			
7.53.06	TAPERED RIGID INSULATION/CRICKET. BE SLOPED AT 1/2"/FT. MINIMUM TO PI POSITIVE FLOW TO ROOF DRAIN.			
7.62 7.62.04 7.62.05	SHEET METAL FLASHING/TRIM SPEC 6"x6" PREFINISHED METAL BOX GUTTER 3"x4" PREFINISHED METAL DOWNSPOU			
7.72.04	METAL ROOF EDGE FASCIA.			
7.72.05 7.73 7.73.01	METAL ROOF EDGE PARAPET COPING SNOWGUARDS SPEC 077353 RAIL TYPE, SEAM MOUNTED SNOWGU			
10	SPECIALTIES			
10.73 10.73.01	AWNINGS SPEC 107313 PREMANUFACTURED WALL MOUNTED AWNING.			
22	PLUMBING BY P.C. WORK DESCRIBED IN THESE KEYNOTES RESPONSIBILITY OF THE P.C. UNLESS NO OTHERWISE. COORDINATE WITH PLUM			
22.01.05	ROOF DRAIN. COORDINATE WITH PLU			
22.01.15	DRAWINGS. EMERGENCY OVERFLOW PIPE. PROJE FINISH ROOF. COORDINATE WITH PLU DRAWINGS.			
23	HVAC BY H.C. WORK DESCRIBED IN THESE KEYNOTES RESPONSIBILITY OF THE H.C. UNLESS NO OTHERWISE. COORDINATE WITH MECH DRAWINGS.			
23.01.01	ROOFTOP UNIT.			

<u>ROOF PLAN LEGEND</u>

- FOR CURBS.