

READING REGIONAL AIRPORT (RDG)

MULTIPLE BUILDING RENOVATIONS

2501 Bernville Road Reading, PA 19605



HANGAR 407

HANGAR 520

FBO BUILDING &
HANGAR 1

DEMOLITION GENERAL NOTES

- PRIOR TO SUBMISSION OF BID EACH CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE EXTENT OF DEMOLITION WORK REQUIRED AND VERIFY THE EXISTING CONDITIONS AND MATERIALS TO BE DEMOLISHED. CONTRACTOR TO FIELD-VERIFY ROUTING OF ALL EXISTING CONCEALED UTILITIES PRIOR TO DEMOLITION.
- DEMOLITION CONTRACTOR IS TO PROVIDE FOR TEMPORARY LIGHTING AND POWER, HVAC, AND WATER FACILITIES DURING DEMOLITION. USE OF EXISTING MEP INFRASTRUCTURE IS PERMISSIBLE TO EXTENT POSSIBLE BASED ON THE DEPICTED SCOPE OF WORK
- THE DEMOLITION SHOWN AND INDICATED ON THE DEMOLITION DRAWINGS IS NOT A COMPLETE INDICATION OF THE DEMOLITION REQUIRED FOR THIS PROJECT. ALL MISCELLANEOUS DEMOLITION REQUIRED FOR THIS PHASE OF THE PROJECT, AND THE INTENT OF THE CONSTRUCTION DOCUMENTS, SHALL BE COMPLETED.
- BEFORE PROCEEDING WITH DEMOLITION OF ANY EXISTING CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT IT IS NOT SUPPORTING EXISTING CONSTRUCTION WHICH IS TO REMAIN. IF IN DOUBT, NOTIFY THE ARCHITECT BEFORE REMOVING THE MEMBERS.
- DEMOLISHING CONTRACTOR TO PROVIDE TEMPORARY BRACING, SHORING, OR OTHER PROTECTION AS REQUIRED UNTIL THE WORK IS COMPLETE.
- DEMOLITION IS TO BE DONE IN A MANNER WHICH WILL NOT DAMAGE EXISTING CONSTRUCTION TO REMAIN. PROVIDE TEMPORARY PROTECTION TO EXISTING FINISHES & MATERIALS AS REQUIRED.
- DEBRIS FROM DEMOLITION MUST NOT BE STORED IN A MANNER WHICH WILL OVERLOAD THE EXISTING CONSTRUCTION.
- THE SCOPE OF WORK INCLUDES THE LEGAL DISPOSAL, OFF SITE, OF ALL CONSTRUCTION/DEMOLITION DEBRIS. NO CONSTRUCTION DEBRIS OR TRASH IS TO BE PLACED IN THE PROPERTY OWNERS DUMPSTERS.
- ALL SOLID WALLS, PARTITIONS, AND FURRED AREAS WHICH ARE SHOWN AS BEING REMOVED SHALL INCLUDE DOORS, WINDOWS, FRAMES, FINISHES, SHELVEING, ETC. THAT ARE PART OF THOSE WALLS AND PARTITIONS.
- THE TENANT AND OR BUILDING OWNER RESERVES THE RIGHT TO HAVE THE CONTRACTOR TURN OVER ANY SALVAGED ITEMS OR MATERIALS
- PARTIAL REMOVAL OF EXISTING PARTITIONS OR FINISHES IS TO BE PERFORMED AS TO ALLOW FOR REFINISHING FOR NEW CONSTRUCTION. DEMOLITION OF CMU PARTITIONS THAT WILL REMAIN EXPOSED SHALL INCLUDE REMOVAL OF ENTIRE BLOCKS AS TO ALLOW FOR "TOOTHING" OF NEW MASONRY OR INSTALLATION OF BULLNOSE CMU'S.
- INFILL/PATCH OPENINGS WHERE INDICATED ON THE DRAWINGS WITH SIMILAR, COMPATIBLE MATERIALS AND METHODS SUCH AS TO ENSURE UNIFORM APPEARANCE AND PERFORMANCE.
- WHERE FINISHES ARE SCHEDULED FOR REMOVAL FROM SUBSTRATE SCHEDULED TO REMAIN: CLEAN AND PREPARE SUBSTRATE FOR NEW FINISHES TO CONDITION COMPLIANT WITH MANUFACTURER'S SPECIFICATIONS.
- SEE MECHANICAL, ELECTRICAL, PLUMBING AND ADDITIONAL DRAWINGS AS APPLICABLE FOR ADDITIONAL DEMOLITION INFORMATION AND SCOPES OF WORK.

GENERAL NOTES

- EACH PRIME CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK OR PURCHASING ANY MATERIALS. VERIFY LAYOUT IN RELATION TO PROPERTY LINES, BENCH MARKS, OR OTHER FIXED CONDITIONS AND REPORT DISCREPANCIES TO ARCHITECT IMMEDIATELY UPON DISCOVERY.
- NOTIFY ARCHITECT OF DISCREPANCIES REGARDING THE CONTRACT DOCUMENTS OR DESIGN INTENT IMMEDIATELY UPON DISCOVERY. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE WORK SITE IN A CLEAN AND ORDERLY MANNER AND ALLOW FOR SAFE USE OF PREMISES BY THE OWNER AND VISITORS.
- EACH PRIME CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SITE SAFETY, EROSION AND SEDIMENTATION CONTROL, AND COORDINATING WITH THE WORK OF OTHER TRADES.
- GENERAL CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE OWNER PRIOR TO PROCEEDING WITH THE WORK.
- ALL REFUSE SHALL BE THE RESPONSIBILITY OF EACH PRIME CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- SKILLED WORKERS: EACH PRIME CONTRACTOR SHALL PROVIDE WORKERS EXPERIENCED IN THE TRADES AND ACTIVITIES TO BE PERFORMED AND BE FAMILIAR WITH THE PRODUCTS, MATERIALS, AND FINISHES INVOLVED IN THE SCOPE OF WORK OF THIS PROJECT.
- EACH PRIME CONTRACTOR SHALL PATCH ALL DISTURBED AREAS TO MATCH EXISTING, AND REPAIR OR REPLACE ANY DAMAGE TO THE SITE CAUSED BY CONSTRUCTION.
- GENERAL CONTRACTOR SHALL PLAN THE SCHEDULE OF ACTIVITIES TO MAINTAIN THE SECURITY OF THE BUILDING THROUGHOUT THE CONSTRUCTION PROCESS. GENERAL CONTRACTOR SHALL LOCK AND SECURE PROJECT AREA AT THE END OF EACH WORK DAY.
- GENERAL CONTRACTOR TO ENSURE THAT ALL WORK AREAS, INCLUDING THOSE ON ROOFS, SHALL BE IN COMPLIANCE WITH OSHA STANDARDS AND REQUIREMENTS, INCLUDING ANY FLAGGING, TIE-OFFS, AND TEMPORARY BARRIERS.
- THE OWNER RESERVES THE RIGHT TO KEEP ANY ITEMS REMOVED AS SCHEDULED IN THE DOCUMENTS FOR REMOVAL.

PROJECT DIRECTORY

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PROJECT DRAWING LIST

GENERAL & CODE INFO	
A-001	GENERAL INFORMATION
A-002	CONTRACTOR STAGING AREAS
BASE BID	
A-101	FLOOR PLANS
A-102	SLAB REPAIR
A-103	ENLARGED TOILET ROOM PLANS
A-104	ENLARGED PLANS
A-105	SCHEDULES
A-106	REFLECTED CEILING PLAN
H-201	HVAC PLAN
P-001	PLUMBING NOTES AND SCHEDULES
P-101	PLUMBING PIPING PLAN
E-001	ELECTRICAL LEGEND AND NOTES
E-101	LIGHTING PLAN
E-201	POWER AND SYSTEMS PLAN
ALTERNATE BID NO. 1	
A-110	HANGER PLAN
ALTERNATE BID NO. 2	
A-120	EXISTING CONDITIONS
A-121	LOWER ROOF PLAN & DETAILS
A-122	UPPER ROOF PLAN
ALTERNATE BID NO. 3	
A-130	FLOOR PLAN
H-101	HVAC NEW WORK PLAN
H-101D	HVAC DEMOLITION PLAN



PROJECT #:
24-0022



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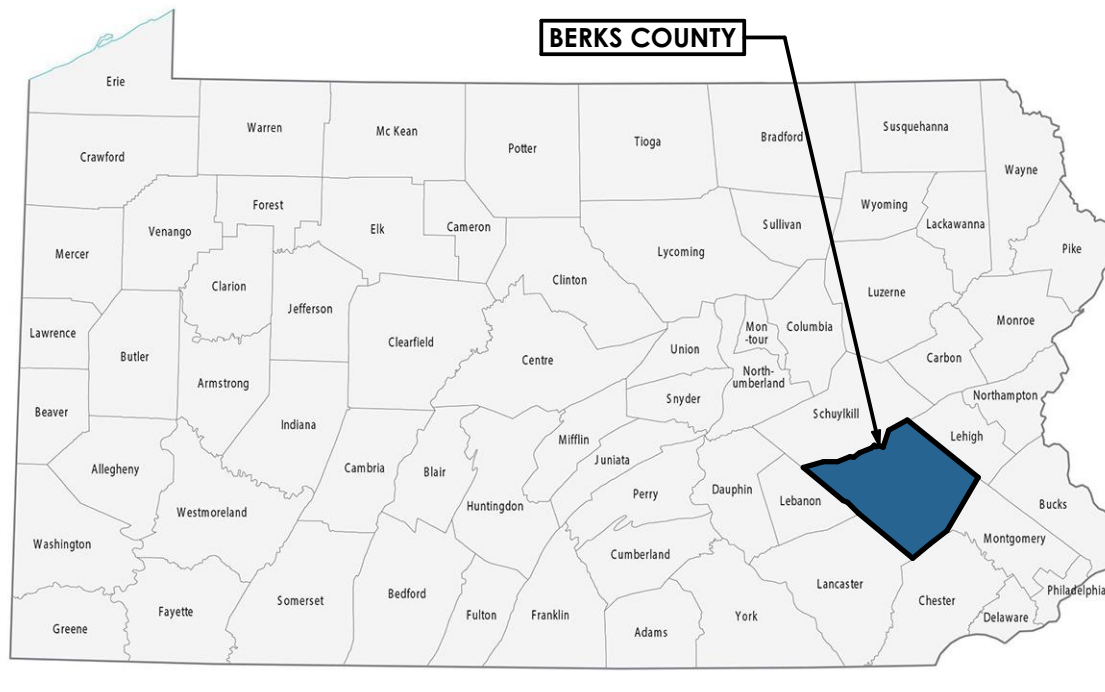
0" = 1" (1" LONG ON ORIGINAL DRAWING)

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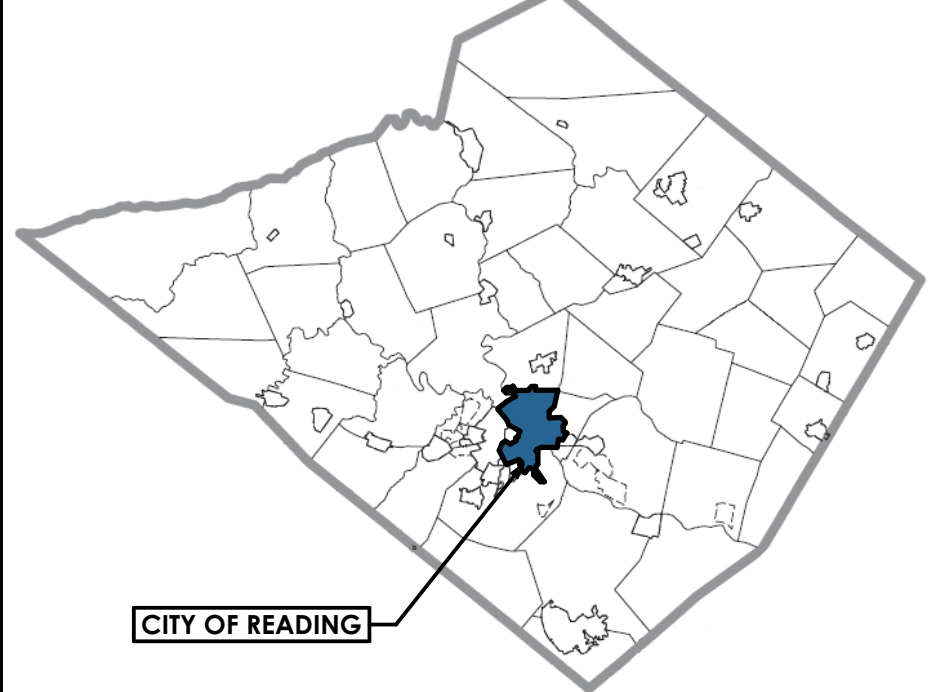
SHEET TITLE:
GENERAL INFORMATION

A-001

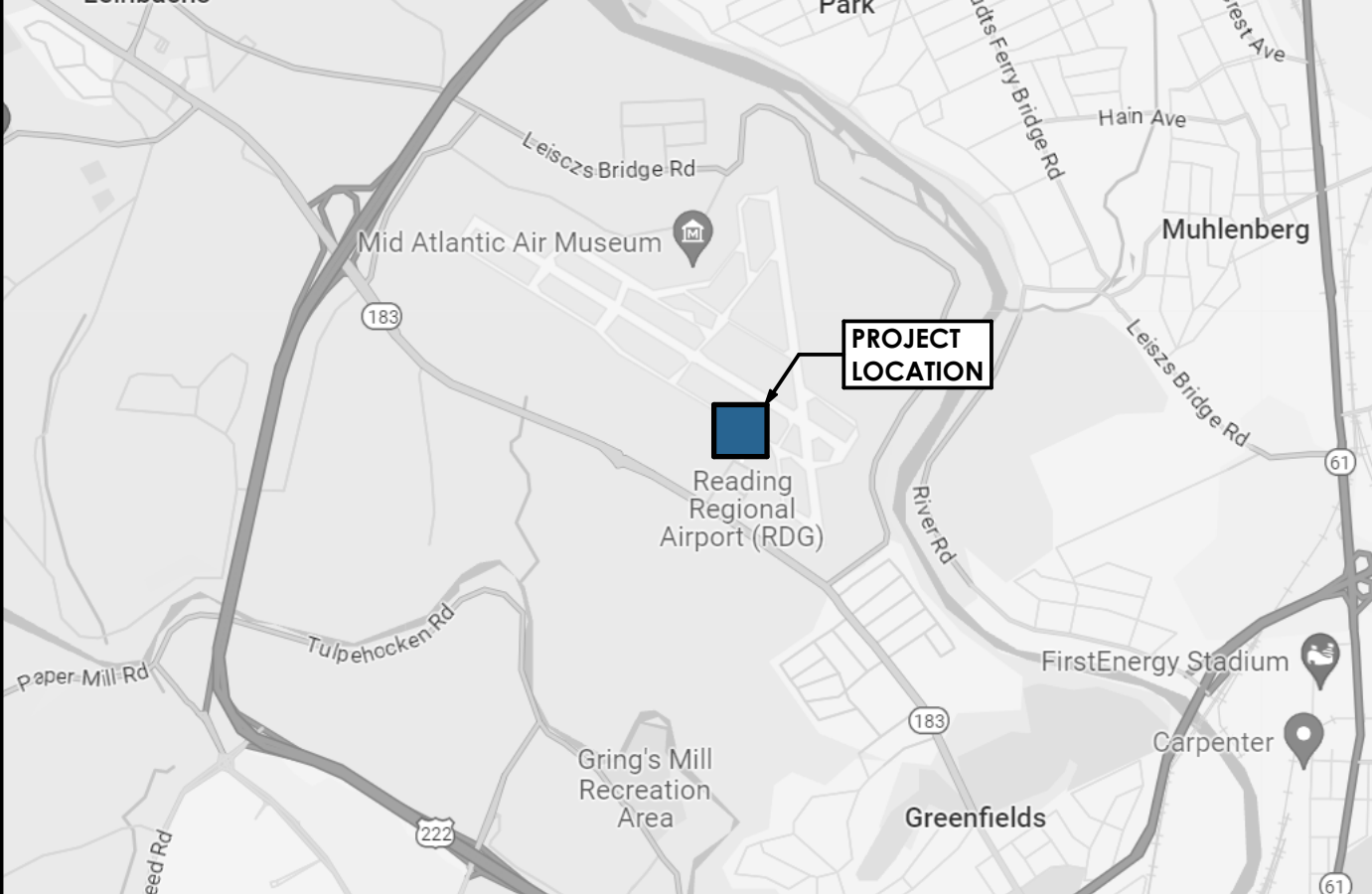
REGIONAL MAP



COUNTY MAP



SITE LOCATION



GRAPHIC SYMBOLS

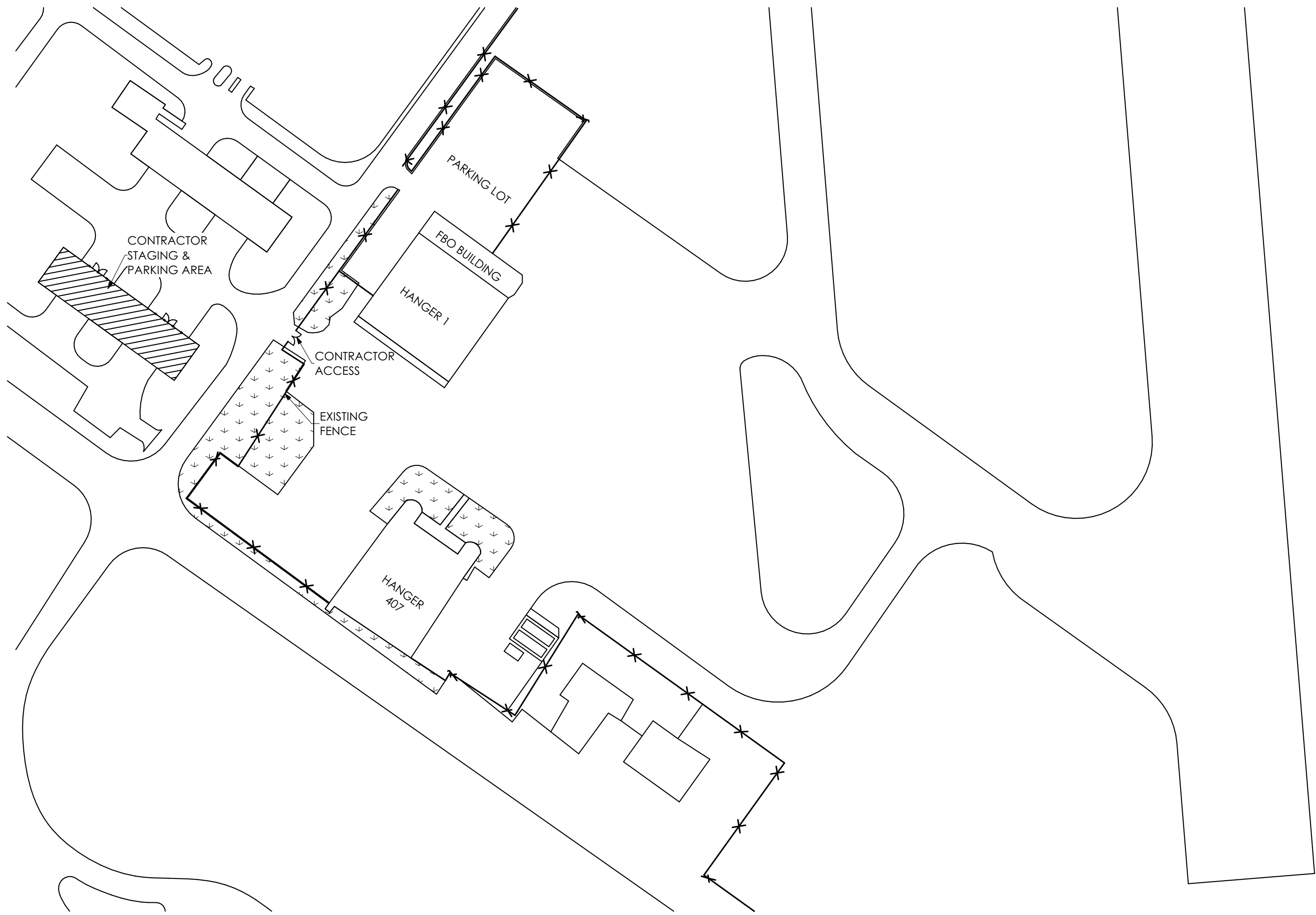
KEYNOTE IDENTIFIERS
KEYNOTE: SEE KEYNOTE LEGEND ON DRAWING'S LAYOUT
ALTERNATE KEYNOTE: SEE KEYNOTE LEGEND ON DRAWING'S LAYOUT
ROOM DESIGNATION
OFFICE: ROOM NAME, ROOM NUMBER
A-401: ENLARGED PLAN REFERENCE
DRAWING REVISION MARKER
CLOUD DENOTES CURRENT REVISION ISSUE
REVISION No.
PAST REVISION MARKER (REFERENCE ONLY)

DOOR IDENTIFIERS
DOOR IDENTIFIER (ELEVATIONS/SECTIONS) 101.1
6" TYPICAL, UNLESS OTHERWISE NOTED
DOOR IDENTIFIER (PLANS)
WINDOW MARKER
01
SKYLIGHT MARKER
01
WALL TYPE MARKER
(SEE PARTITION LEGEND)
40

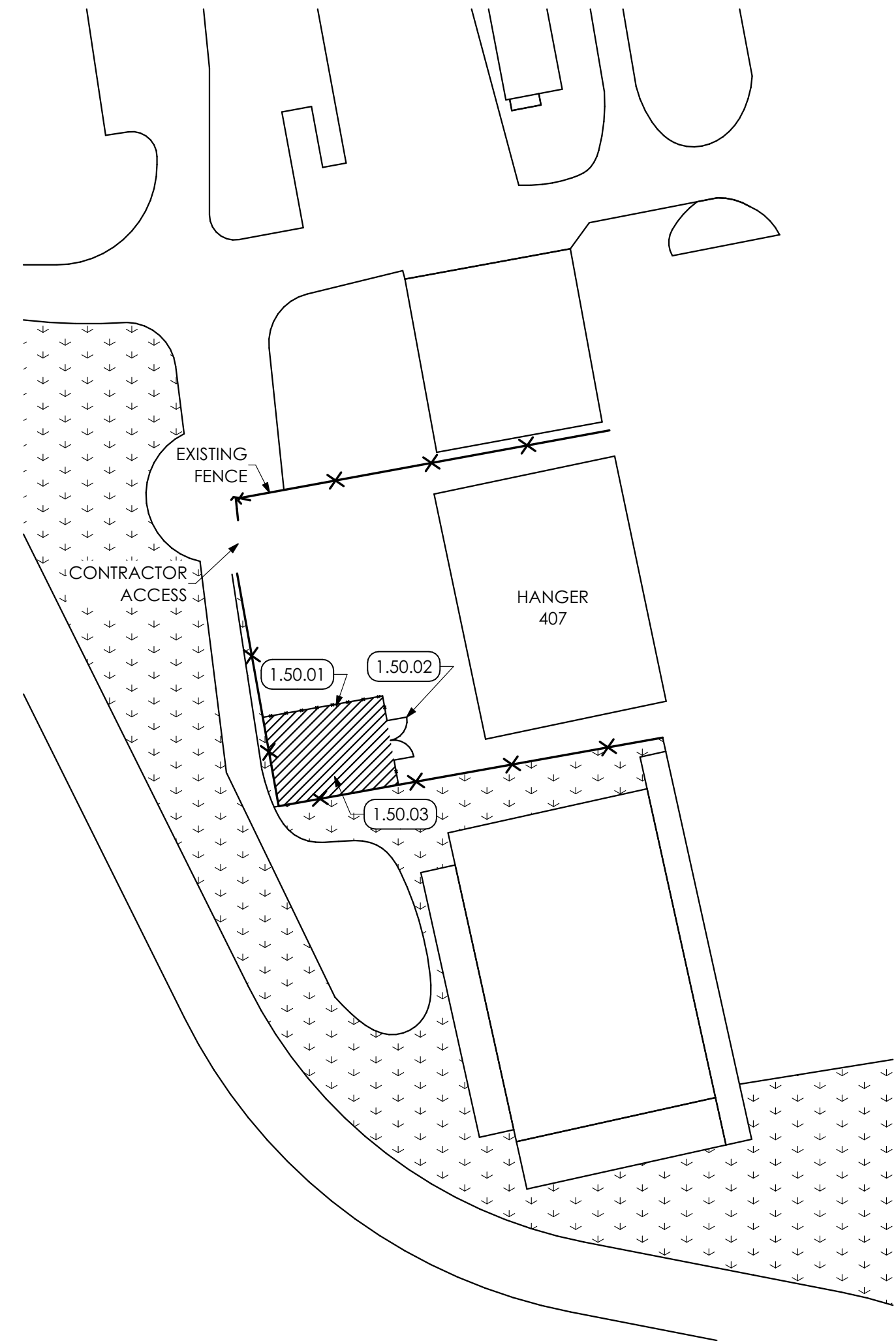
ELEVATION / SECTION MARKER
INDICATES ELEVATION LOCATION ON SHEET
INDICATES SHEET ON WHICH DRAWING IS SHOWN
INTERIOR ELEVATION MARKER
INDICATES ELEVATION LOCATION ON SHEET
INDICATES SHEET ON WHICH ELEVATION IS SHOWN
DETAIL / ENL. PLAN MARKER
INDICATES SHEET ON WHICH DETAIL IS SHOWN

ABBREVIATIONS

A.D. AREA DRAIN	DTL. DETAIL DOWN	HVAC. HEAT, VENTILATION, AIR-CONDITIONING	FR. PAIR PRESSURE TREATED	U.N.O. UNLESS NOTED OTHERWISE
ABV. ABOVE	DN. DRAWING	HORIZ. HORIZONTAL	P.L. PLASTIC LAMINATE	U.L. UNDERWRITERS
ADA. ACCESSIBLE / AMERICANS WITH DISABILITIES ACT	DEPT. DEPARTMENT	HT. HEIGHT	QTY. QUANTITY	LABORATORIES
ADJ. ADJUSTABLE	DBL. DOUBLE	INSUL. INSULATION / INSULATING	R. RISER	VEST. VESTIBULE
A.G.R. AREA OF REFUGE	DIM. DIMENSION	ID. INSIDE DIAMETER	R.W.C. RAIN WATER CONDUCTOR	V.C.T. VINYL COMPOSITION
ALUM. ALUMINUM	DR. DOOR	INCAND. INCANDESCENT	REF. REQUIRED	W/ WITH
ALT. ALTERNATE	EXST. EXISTING	JAN. JANITOR	REV. REVISED / REVISION	WD. WOOD
A.F.F. ABOVE FINISHED FLOOR	EQ. ELEVATOR	JOINT. JOINT	R.O. ROUGH OPENING	& AND
AC. ACOUSTIC / ACOUSTICAL	E.C. ELECTRICAL CONTRACTOR	LBS. POUNDS	REF. REQUIRED	# AT
A.F. ALUMINUM FACE	EL. ELEVATION	LAV. LAVATORY	REC. RECESSED	± PLUS OR MINUS
APPX. APPROXIMATE / APPROXIMATELY	ELEV. ELEVATION	LAM. LAMINATE	RAD. RADIUS	° DEGREE
ASBO. BOARD	ELEC. ELECTRIC / ELECTRICAL	LP. LOW POINT	S.S. STAINLESS STEEL	° ANGLE
B.L. BLOCK / BLOCKING	EXP. EXPANSION	MAX. MAXIMUM	ST. STEEL	□ CHANNEL
BLDG. BUILDING	EXT. EXTERIOR	MFR. MANUFACTURER / MANUFACTURED	SIM. SIMILAR	○ ROUND / DIAMETER
B.O. BOTTOM OF	FA. EACH	MTL. METAL	STL. STEEL	□ / C.L. CENTER LINE
B.O.S. BOTTOM OF STEEL	F.D. FLOOR DRAIN	MIN. MINIMUM	SQ. SQUARE	□ / FL. U-BAR
CAB. CABINET	F.E. FIRE EXTINGUISHER	MIR. MIRROR	SAN. SANITARY	L LEG-BAR
C.C. CENTER-TO-CENTER	FIN. FINISH / FINISHED	MTD. MOUNTED	SUSP. SUSPENDED	
CLOS. CLOSET	FLOOR. FLOOR	M.O. MASONRY OPENING	STD. STANDARD	
CMU. CONCRETE MASONRY UNIT	F.F. FACE OF	MISC. MISCELLANEOUS	SPEC. SPECIFICATION	
C.J. CONTROL JOINT	F.P. FILLER PANEL	MECH. MECHANICAL	TEL. TELEPHONE	
CONC. CONCRETE	FT. FEET / FOOT	N.C. NOT IN CONTRACT	T.O. TOP OF	
CORR. CORRIDOR	FL. FLOOR	N.T.S. NOT TO SCALE	T.O.P. TOP OF STEEL	
COL. COLUMN	FLUOR. FLUORESCENT	N.T.S. NOT TO SCALE	T.O.W. TOP OF WALL	
CONT. CONTINUING / CONTINUOUS	GYP. GYPSUM	O.C. ON CENTER	TOL. TOLERANCE	
CONTR. CONTRACTOR DIAMETER	GALV. GALVANIZED	O.D. OUTSIDE DIAMETER	TYP. TYPICAL	
	GA. GAUGE	OPP. OPPOSITE	THK. THICK	
	G.C. GENERAL CONTRACTOR	OPG. OPENING	TEMP. TEMPERED	
	HR. HOUR	P.C. PLUMBING CONTRACTOR	TEMPERED SAFETY GLASS	
	H.P. HIGH POINT	P.F. PANEL FACE		



1 CONTRACTOR STAGING PLAN 1
SCALE: 1" = 100'



2 CONTRACTOR STAGING PLAN 2
SCALE: 1" = 50'

KEYED NOTES

- 01 GENERAL CONSTRUCTION**
1.50 TEMPORARY FACILITIES AND CONTROLS
1.50.01 G.C. TO PROVIDE TEMPORARY 8'-0" HIGH CHAIN-LINK FENCE FOR PERIMETER OF STAGING AREA.
1.50.02 G.C. TO PROVIDE TWO (2) 8'-0" WIDE CHAIN-LINK FENCE GATES WITH PADLOCK.
1.50.03 EXISTING ASPHALT PARKING LOT. G.C. TO REPAIR ANY DAMAGE TO PARKING LOT PAVING CAUSED BY CONSTRUCTION ACTIVITIES WITHIN STAGING AREA OR ALONG ROUTE TO WORK AREA.

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SHEET SCALE
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SHEET TITLE:
CONTRACTOR STAGING AREAS

A-002



1. PARTITION KEY INDICATES MAJOR TYPES OF PARTITIONS ONLY. FOR ISOLATED CONDITIONS, SEE NOTES AND DETAILS.
2. SEAL ALL PIPE AND DUCT PENETRATIONS THRU WALLS AND PARTITIONS (FOR SMOKE, ACOUSTICAL, AND FIRE STOP) BY G.C.
3. DIMENSIONS NOTED DO NOT INCLUDE TILE, MORTAR OR VENEER PANELING.
4. IN FINISHED SPACES, ALL PIPES, CONDUITS, DUCTS, ETC. SHALL BE CONCEALED AND INSTALLED WITHIN PARTITIONS WHERE POSSIBLE. AT CONDITIONS WHERE VERTICAL RUNS OF DUCTS, PIPES, ETC. SHALL BE CONCEALED WITH GYPSUM BOARD AND CMU SURROUNDS, SEE MECH. AND ELEC. DRAWINGS FOR LIMITS.
5. PROVIDE WOOD BLOCKING AS REQUIRED IN METAL STUD PARTITIONS FOR ANCHORING ALL ACCESSORIES AND DEVICES SHOWN AND/OR SPECIFIED (I.E. ROBE HOOKS, SHELF STANDARDS, HAND DRYERS, GRAB BARS, ETC.). COORDINATE WITH ACCESSORY MANUFACTURERS RECOMMENDATIONS.

6. INTERIOR DIMENSIONS ARE TO THE FACE OF FRAMING.
7. PROVIDE FIRE STOPPING AT VOIDS BETWEEN TOP OF PARTITIONS AND UNDERSIDE OF DECK FLUTES.
8. PARTITIONS ABOVE OPENINGS SHALL BE THE SAME TYPE AS THE PARTITIONS BESIDE THE OPENING.
9. REFER TO SPECIFICATION SECTION 011200 FOR CUTTING AND PATCHING RESPONSIBILITIES
10. PROVIDE TILE BACKER BOARD IN AREAS SCHEDULED TO RECEIVE CERAMIC TILE. COORDINATE WITH ENLARGED PLANS AND ELEVATIONS ON SHEETS A-103 THRU A-104.

1. SEE SHEET A-001 FOR GENERAL DEMOLITION NOTES.
2. G.C. TO PROTECT ALL EXISTING FINISHES SHOWN TO REMAIN, INCLUDING BUT NOT LIMITED TO FLOORING AND WALLS. FLOOR IS TO BE PROTECTED FULLY FROM WALL TO WALL.
3. AT EXISTING PARTITIONS SHOWN TO BE REMOVED, REMOVE CARPET TILE BACK TO NEAREST SEAM. FOR LENGTH OF PARTITION BEING REMOVED.
4. SEE SHEET A-105 FOR DOOR AND PARTITION TYPES.
5. EXISTING DOOR FRAMES TO BE PREPARED AND PAINTED ((2) TWO COATS)

08	OPENINGS
8.36	SECTIONAL DOOR SPEC 083613
8.36.02	INSPECT AND REPAIR TO A LIKE NEW WORKING CONDITION (DOOR HATCHES).
09	FINISHES
9.30	CERAMIC TILING SPEC 093013
9.30.01	FLOOR TILE THROUGHOUT ROOM. PATCH AND REPAIR EXISTING CONCRETE SLAB TO PROVIDE SUBSTRATE SUITABLE FOR INSTALLATION. TENSILE THRESHOLD FOR WIDTH OF DOOR OPENING.
9.30.03	PERIMETER
9.65	RESILIENT FLOORING SPEC 096513
9.65.01	4" RUBBER BASE CONTINUOUS FOR PERIMETER OF ROOM.
9.65.02	CATCHER RUBBER BASE TO EXISTING BASE.
9.68	CARPENTRY SPEC 096800 / 035416
9.68.01	CARPENTRY THROUGHOUT ENTIRE ROOM.
9.68.02	CATCH CARPET FOR AREA SHOWN.
9.92	INTERIORS SPEC 099213
9.92.01	PREP. PRIME AND PAINT (2 COATS) ALL WALLS THROUGHOUT SPACE UNLESS NOTED OTHERWISE. PART PARTITION FROM FLOOR OR TOP OF EXISTING BASE. TO 6" ABOVE EXISTING CEILING OR TO UNDERSIDE OF DECK IN AREAS OF OPEN CEILING. IN AREA WITH EXISTING CEILING. PAINT TO UNDERSIDE OF EXISTING GRID. PREP AND PAINT (TWO (2) COATS) EXISTING WINDOW AND FRAME.
9.92.04	PREP AND PAINT (TWO (2) COATS) EXISTING WINDOW FRAME. DO NOT PAINT GLASS.
9.92.09	DO NOT PAINT EXISTING MURAL ALONG SIDE OF WALL.
10	SPECIALTIES
10.11	VISUAL DISPLAY UNITS
10.11.01	DISPLAY SCREEN WITH WALL MOUNT SUPPORT BY HANGER.
10.44	FIRE PROTECTION SPECIALTIES SPEC 104413 / 104416
10.44.02	PROVIDE NEW ADHERED FIRE EXTINGUISHER AND CABINET.
11	EQUIPMENT
11.40	FOOD SERVICE EQUIPMENT
11.40.02	REINSTALL EXISTING VENDING MACHINE.
11.40.06	REINSTALL EXISTING POPCORN MACHINE.
12	BURSHING
12.24	HORIZONTAL LOUVER BLINDS SPEC 122113
12.24.01	NEW HORIZONTAL WINDOW BLINDS.

EXISTING WALL TO REMAIN

EXISTING WALL TO BE REMOVED

EXISTING DOOR TO REMAIN

EXISTING WALL TO REMAIN

EXISTING DOOR TO BE REMOVED

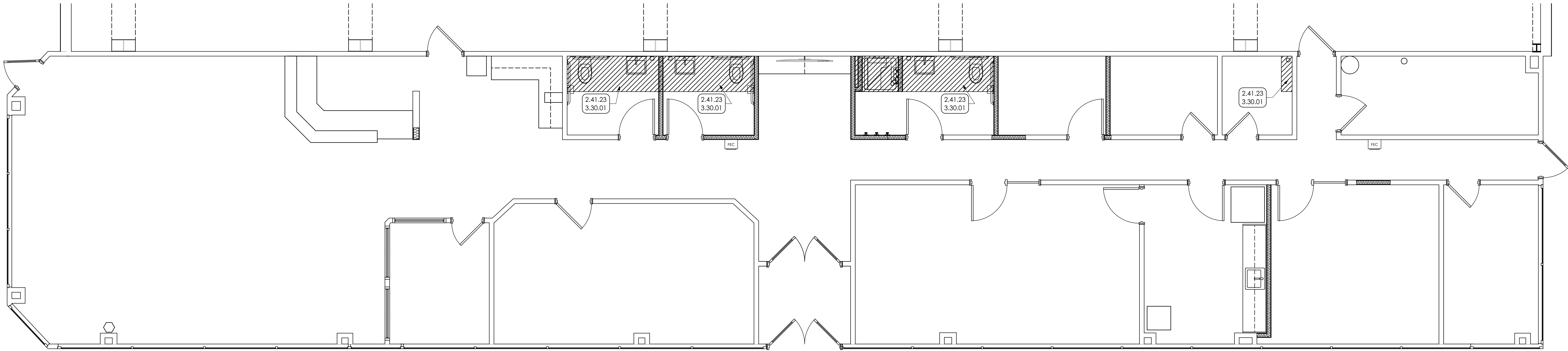
EXISTING WALL TO BE REMOVED

The diagrams illustrate four types of wall and door construction:

- EXISTING WALL TO REMAIN**: A solid line representing an existing wall.
- NEW WALL CONSTRUCTION**: A hatched line representing new wall construction.
- EXISTING DOOR TO REMAIN**: A door frame with a hatched interior, indicating it is to remain.
- EXISTING WALL TO REMAIN**: A solid line representing an existing wall.
- NEW DOOR**: A door frame with a solid interior, indicating it is new.
- DOOR ID: SEE DOOR SCHEDULE**: A label pointing to the door frame, indicating the door is identified in the door schedule.
- NEW WALL CONSTRUCTION**: A hatched line representing new wall construction.

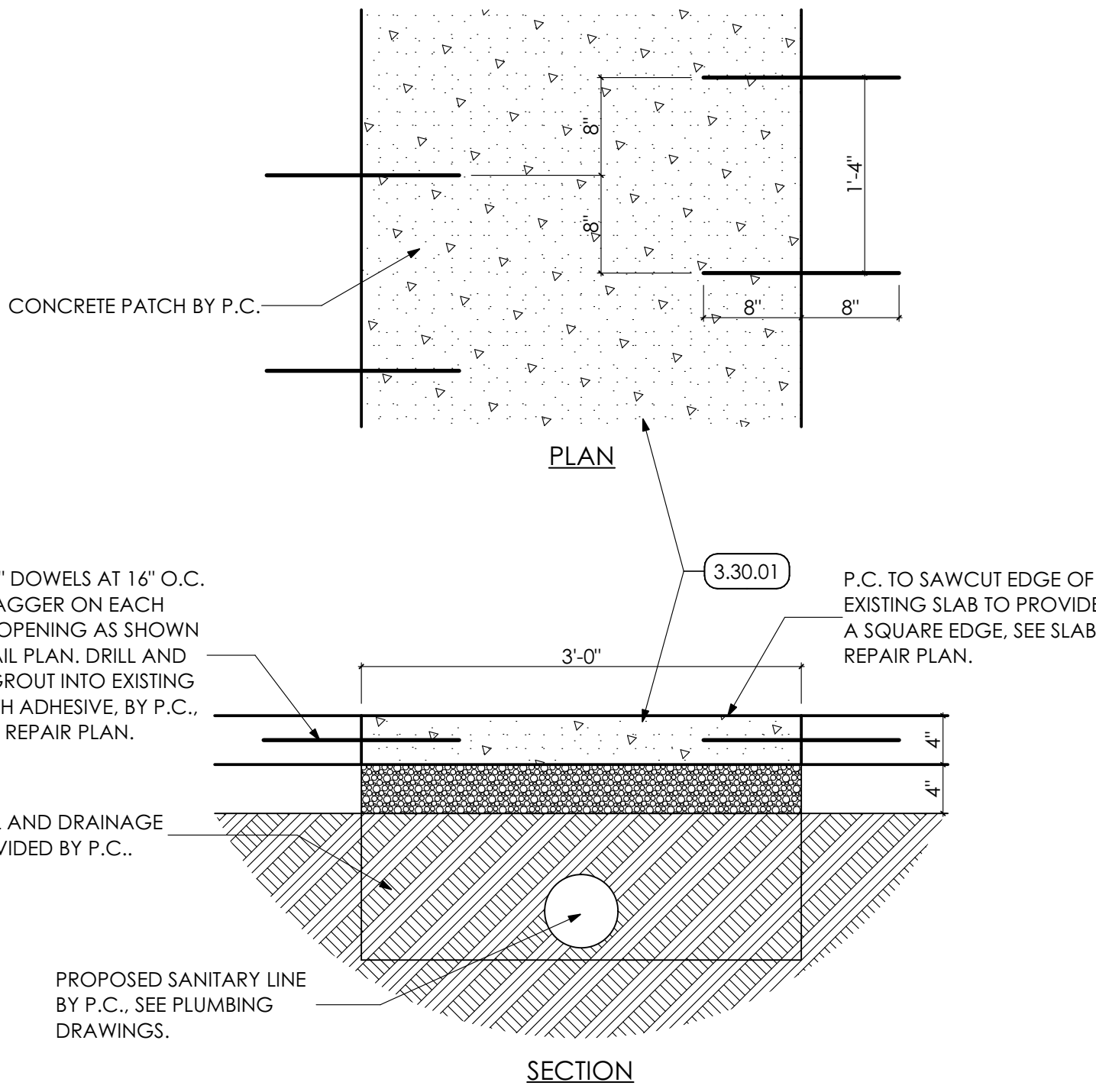
NOTE TO BIDDER
ALL WORK SHOWN ON THIS SHEET IS
PART OF BASE BID.

A-101



- KEYED NOTES**
- 02 DEMOLITION**
2.41 SELECTIVE DEMOLITION | SPEC 024119
2.41.23 CAREFULLY CUT EXISTING CONCRETE SLAB AND EXCAVATE FOR NEW PLUMBING LINES, BY P.C. COORDINATE WITH PLUMBING DRAWINGS.
- 03 CONCRETE**
3.30 CAST-IN-PLACE CONCRETE
3.30.01 P.C. SHALL PROVIDE BACKFILL 4" DRAINAGE FILL AND 4" CONCRETE TO PATCH EXCAVATED AREAS. CONCRETE TO FINISH FLUSH WITH ADJACENT EXISTING SURFACE.

1 SLAB REPAIR PLAN
SCALE: 1/4" = 1'-0"



2 SLAB REPAIR DETAIL
SCALE: 1" = 1'-0"

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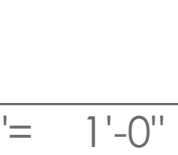
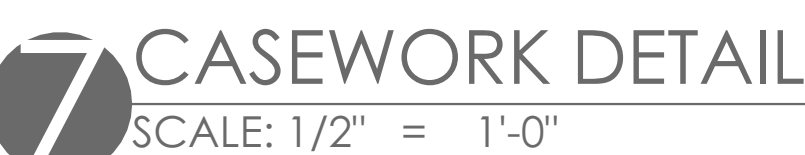
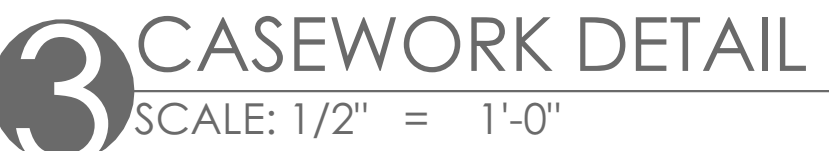
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SHEET SCALE
0 1
BAR IS ONE (1) INCH LONG ON ORIGINAL DRAWING

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SHEET TITLE:
SLAB REPAIR

A-102



02 **DEMOLITION**
2.01 **EXISTING CONDITIONS**
2.01.03 EXISTING WALL TO REMAIN.
2.01.12 EXISTING TV TO REMAIN.

03 **METALS**
5.50 **FABRICATIONS**
5.50.02 1"X6" GALV. STEEL. CONTERTOP SUPPORT, FABRICATE FRAME 2" WIDE 14ga. STEEL CHANNELS AND SECURELY BOLT 3 LOCATIONS EACH SUPPORT TO STUDS OR BLOCKING IN WALL. PROVIDE 1"X6" TO FABRICATE COORDINATE FINAL DIMENSIONS W/ LAVATORY COUNTER FABRICATOR AND IN-FIELD CONDITIONS. SUPPORT FRAME TO CONFORM TO ANSI 117.1 MINIMUM REQUIRED HEIGHTS.
5.50.03 20ga. CONTINUOUS ALUMINUM J-CHANNEL ATTACHED TO UNDER COUNTER STUDS TO ACCEPT 1" X 6" COVER PANEL. PROVIDE UNDER COUNTER SUPPORT BASE OF DESIGN: ADV. VENDOR BRACKET BY A&M HARDWARE INC.
5.50.04 PROVIDE EQUIVALENT UNDER COUNTER SUPPORT BRACKETS.

06 **WOODS, PLASTICS AND COMPOSITES**
6.10 **ROUGH CARPENTRY | SPEC 061003**
6.10.02 ROUGH 2X WOOD BLOCKING AS REQUIRED.
6.10.03 PROVIDE 2X WOOD BLOCKING IN PARTITION FOR MONITOR MOUNTING BRACKET.
6.10.04 3X4 W/WOOD.

09 **FINISHES**
9.22 **NON-STRUCTURAL METAL FRAMING | SPEC 092216**
9.22.01 3/8" METAL STUD SOFFIT FRAMING @ 16" O.C.
9.22.02 2"X6" METAL STUD FRAMING @ 16" O.C.
9.22.03 3/8" NON-STRUCTURAL METAL STUD FRAMING @ 16" O.C.
9.29 **GYPSUM BOARD | SPEC 092900**
9.29.01 5/8" GYPSUM BOARD.

9.25 **RESILIENT FLOORING | SPEC 095613**
9.45.01 4" RUBBER BASE CONTINUOUS FOR PERIMETER OF ROOM.
9.92 **INTERIOR PAINTING | SPEC 091213**
9.92.05 2 COATS OF PAINT (TWO (2) COATS) ENTIRE WALL UNLESS OTHERWISE SPECIFIED.

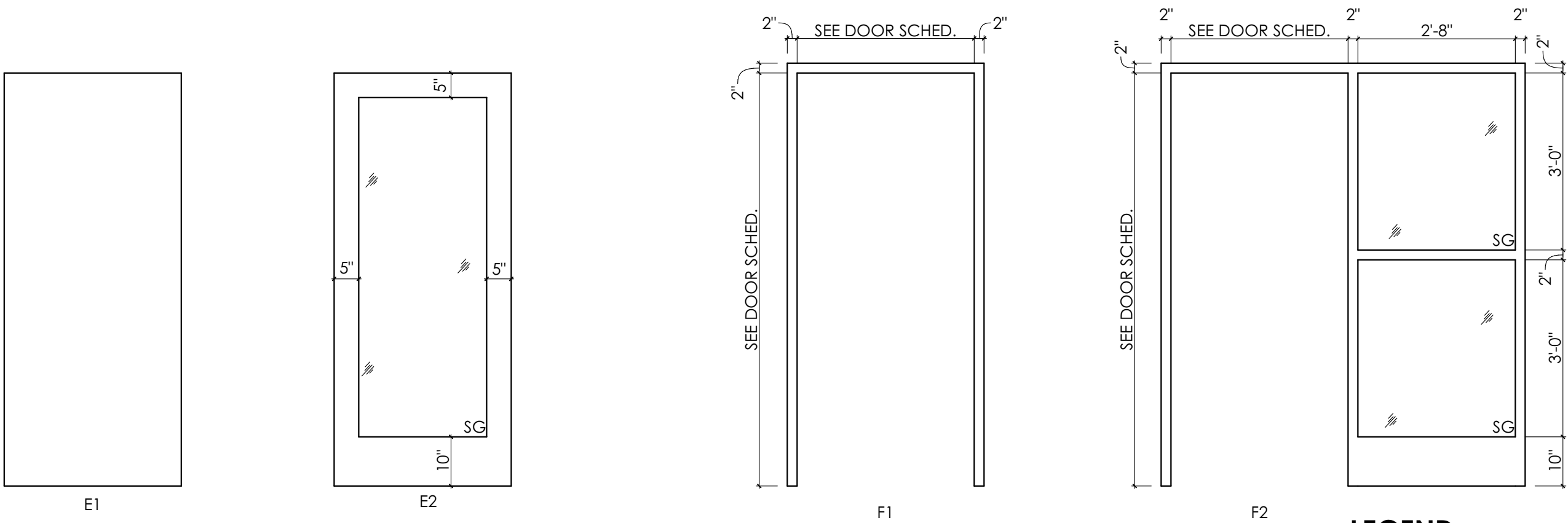
10 **SPECIALTIES**
10.11 **VISUAL DISPLAY UNITS**
10.11.01 15"X15"X15" WITH WALL MOUNT SUPPORT BY OWNER.

11 **EQUIPMENT**
11.41 **FOOD SERVICE EQUIPMENT**
11.40.01 REFRIGERATOR (I.N.C.)
11.40.03 MICROWAVE OVEN
11.40.04 COUNTER (OWN BY OWNER).
11.40.05 COUNTER (OWN BY OWNER).

12 **FURNISHINGS**
12.32 **MANUFACTURED CASEWORK | SPEC 123216**
12.32.01 PREMANUFACTURED PLASTIC LAMINATE BASE CABINET W/ ADJUSTABLE SHELF.
12.32.02 FINISHED END PANEL.
12.32.03 UNDER COUNTER SHELVING.
12.32.04 CASEWORK UNDER COUNTER FRAMING.
12.32.06 1" FILLER PANEL.
12.32.07 PREMANUFACTURED PLASTIC LAMINATE WALL CABINET W/ ADJUSTABLE SHELF.
12.32.08 PREMANUFACTURED PLASTIC LAMINATE DISPLAY CABINET W/ ADJUSTABLE SHELF AND GLASS DOOR.

13 **COUNTERTOPS | SPEC 123666.1**
13.36.01 SOLID SURFACE COUNTERTOP W/ 4" BACKSPLASH.
13.36.02 SOLID SURFACE COUNTERTOP W/ 4" BACKSPLASH.
13.36.03 SOLID SURFACE WALL CAP.
13.36.04 1 1/4" H. X 1" THICK SOLID SURFACE PANEL ATTACHED TO FACE OF COUNTER AND UNDER COUNTER STUDS AND BRACKETS.
13.36.10 ALUMINUM J-CHANNEL PROVIDE CONTINUOUS PANEL ALONG UNDERSIDE OF EACH CORNER. PROVIDE STAINLESS STEEL SECURITY FASTENERS AND WASHERS AT EACH CORNER.

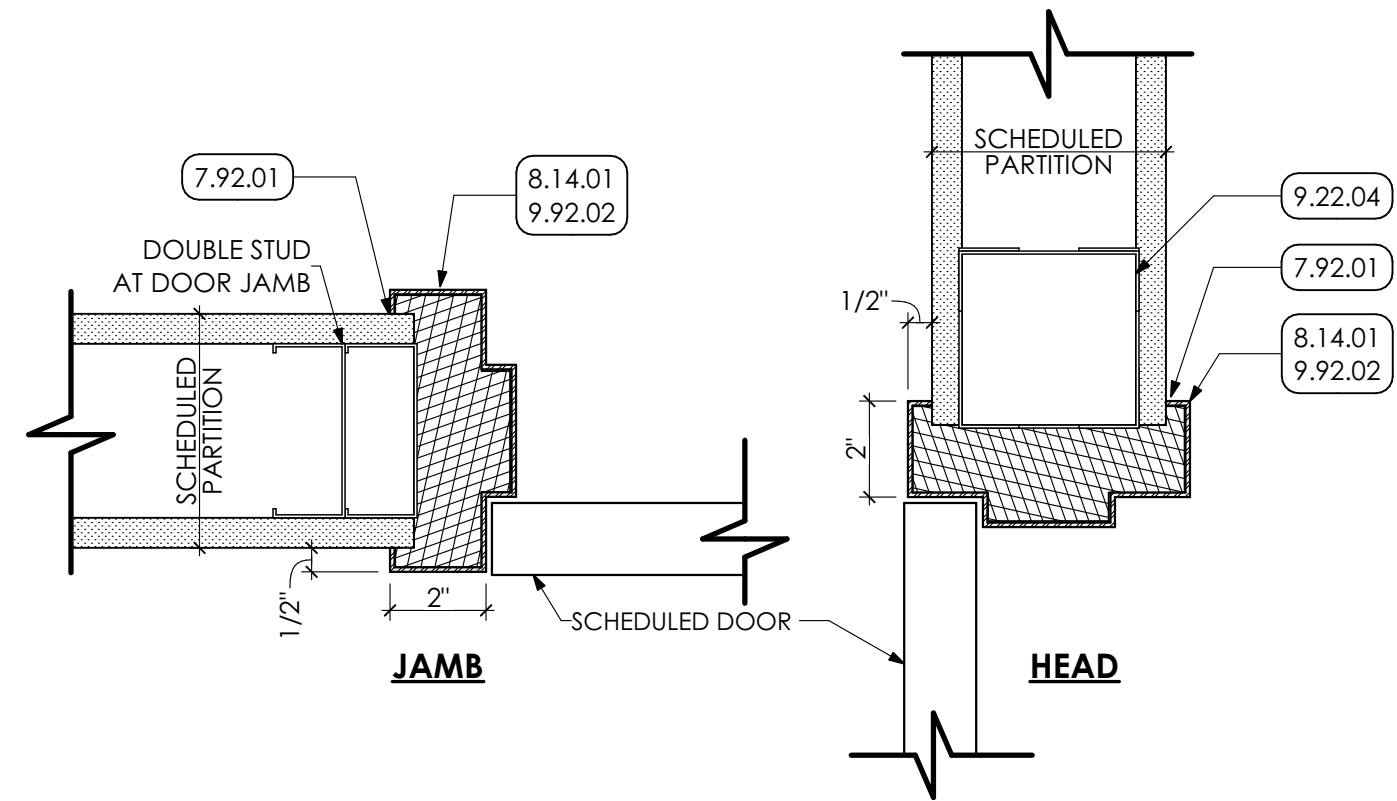
22 **PLUMBING**
22.42 **COMMERCIAL PLUMBING FIXTURES**
22.42.01 HAND WASH ADA COMPLIANT UNDERMOUNT STAINLESS STEEL SINK AND FAUCET BY P.O. OF THE PROVIDER.



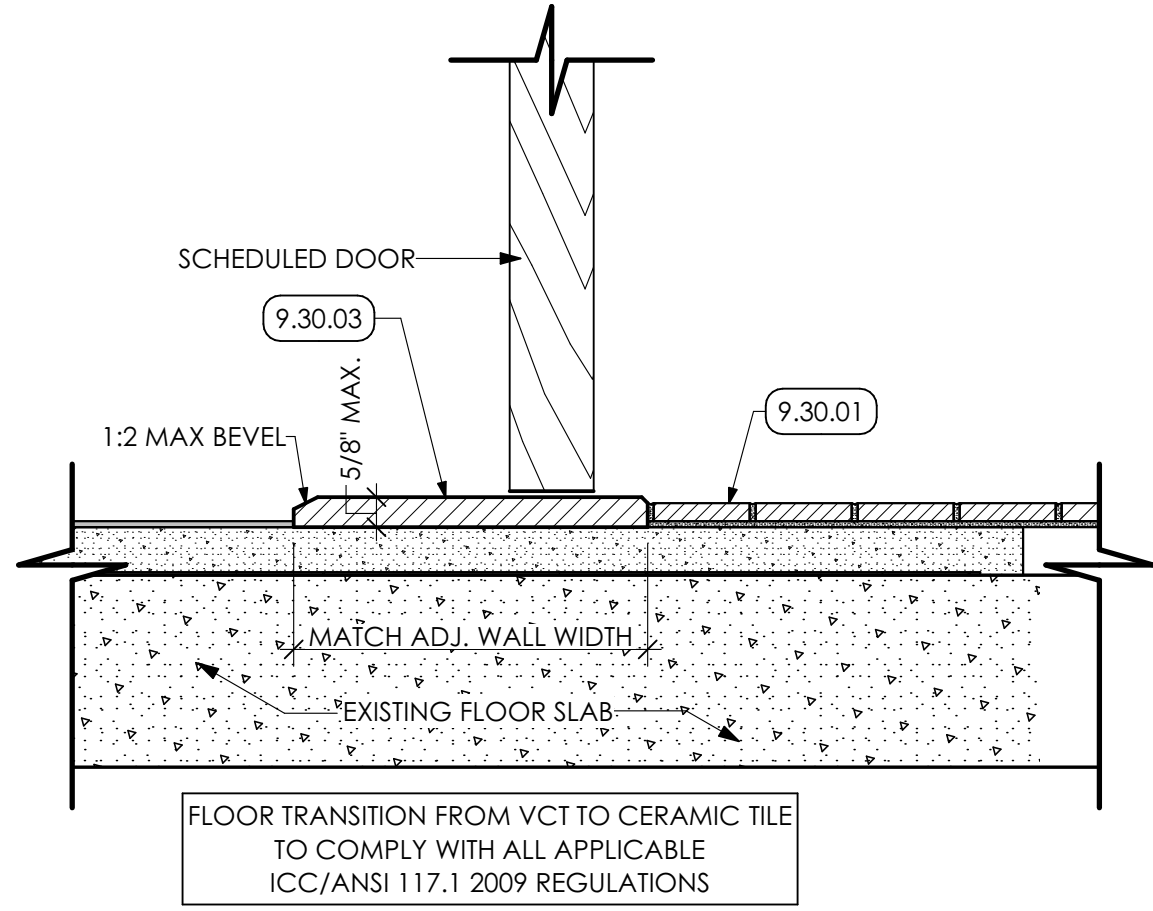
1 DOOR PANEL | SPEC. 081416
SCALE: 1/2" = 1'-0"

2 DOOR FRAME | SPEC. 081113
SCALE: 1/2" = 1'-0"

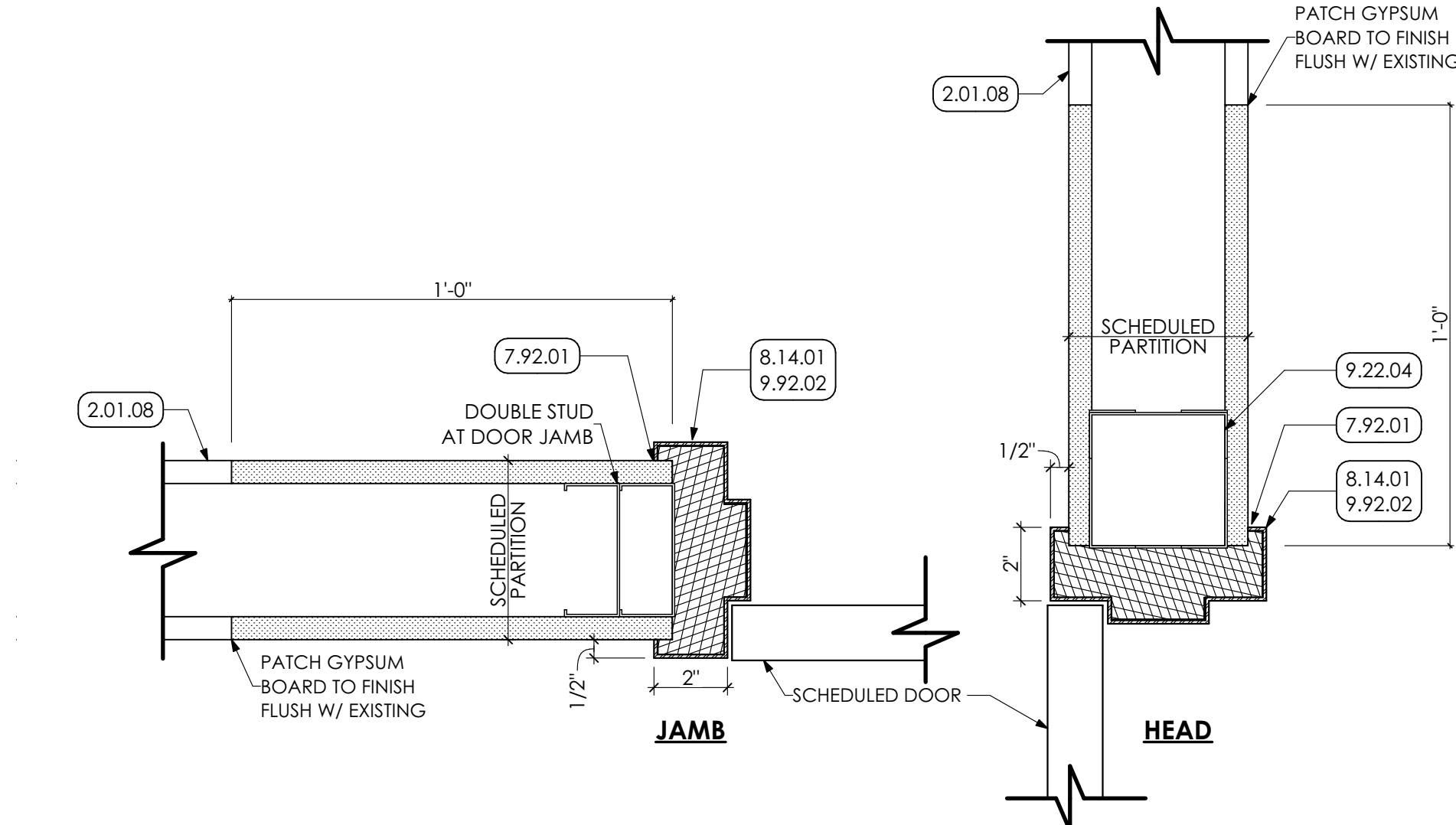
LEGEND
SG SAFETY GLAZING



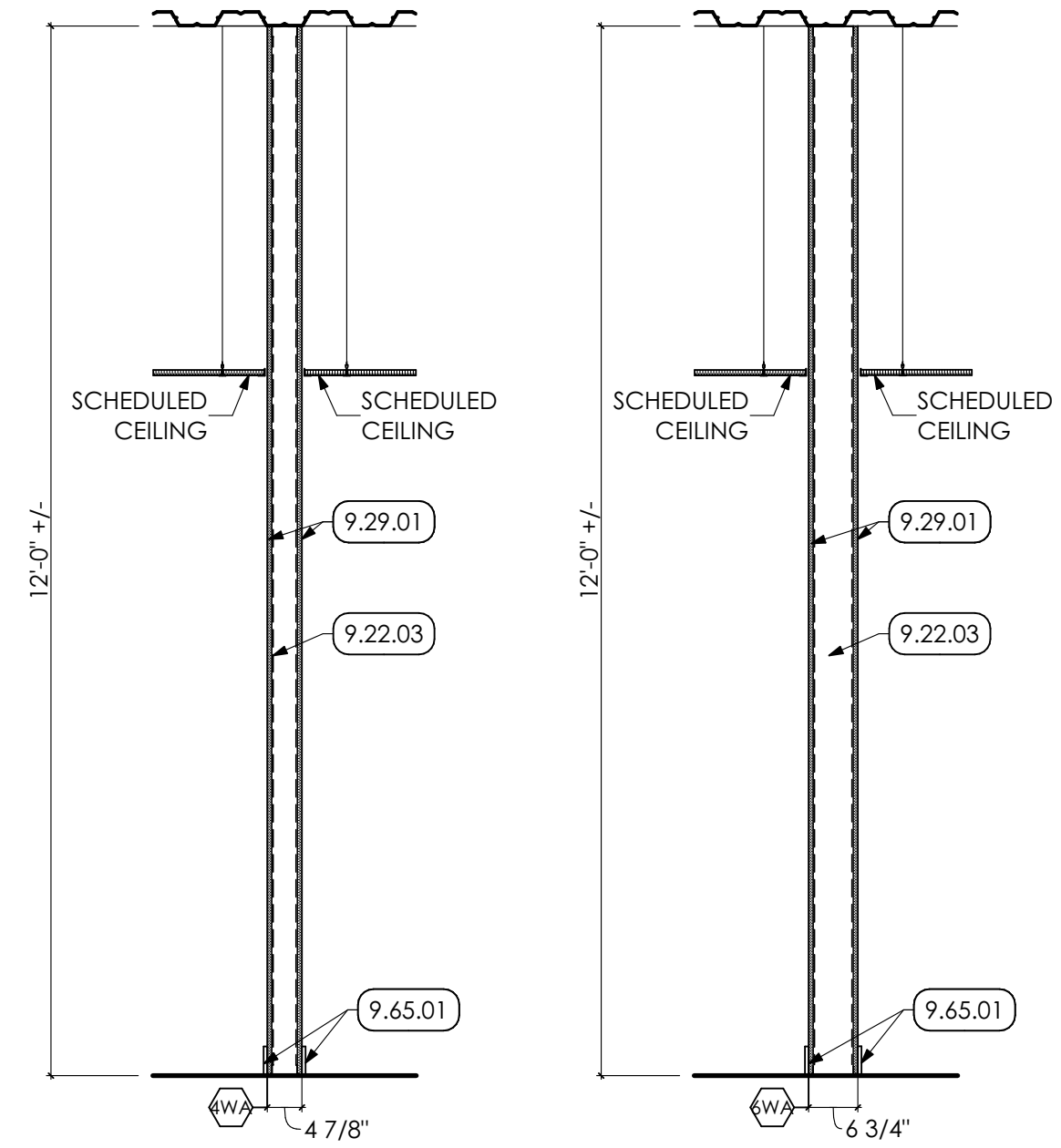
3 DOOR HEAD AND JAMB
SCALE: 3" = 1'-0"



4 THRESHOLD DETAIL
SCALE: 3" = 1'-0"



5 EXISTING DOOR HEAR AND FRAME
SCALE: 3" = 1'-0"



7 PARTITION TYPE DETAIL
SCALE: 1/2" = 1'-0"

DOOR AND FRAME SCHEDULE												
ID	ROOM NAME	PANEL				FRAME				HARDWARE		NOTES
		EL	MATL	W	HT	THK	EL	MATL	DETAIL	SET NO	FIRE RTG.	
105.1	TOILET ROOM	E1	WD	3'-0"	7'-0"	1 3/4"	F1	HM	A-601	A-601	1	
106.1	TOILET ROOM	E1	WD	3'-0"	7'-0"	1 3/4"	F1	HM	A-601	A-601	1	
107.1	PILOTS TOILET	E1	WD	3'-0"	7'-0"	1 3/4"	F1	HM	A-601	A-601	1	
108.1	PILOTS OFFICE	E1	WD	3'-0"	7'-0"	1 3/4"	F1	HM	A-601	A-601	2	
113.1	CONFERENCE ROOM	E2	WD/GLASS	3'-0"	7'-0"	1 3/4"	F2	HM	A-601	A-601	2	
114.1	BREAK RM.	E1	WD	3'-0"	7'-0"	1 3/4"	F1	HM	A-601	A-601	4	
115.1	EXIST PILOT LOUNGE	E2	WD/GLASS	3'-0"	7'-0"	1 3/4"	F2	HM	A-601	A-601	4	
115.2	EXIST PILOT LOUNGE	E1	WD	3'-0"	7'-0"	1 3/4"	F1	HM	A-601	A-601	3	

DOOR SCHEDULE LEGEND

HM - HOLLOW METAL
WD - WOOD

HARDWARE SETS | SPEC. 087100

SET NO. 1 1 1/2" PAIR HINGES; CLOSER; DOOR STOP, SILENCERS, PRIVACY HARDWARE
SET NO. 2 1 1/2" PAIR HINGES; DOOR STOP, SILENCERS, PASSAGE HARDWARE
SET NO. 3 1 1/2" PAIR HINGES; CLOSER; DOOR STOP, SILENCERS, PUSH/PULL PLATE
SET NO. 4 1 1/2" PAIR HINGES; SILENCERS, PASSAGE HARDWARE

KEYED NOTES

02 DEMOLITION
2.01 EXISTING GYPSUM BOARD TO REMAIN.
07 THERMAL AND MOISTURE PROTECTION
7.92 JOINT SEALANTS | SPEC 079200
7.92.01 CONTINUOUS SEALANT AROUND FRAME, BOTH SIDES.
08 OPENINGS
8.14 FLUSH WOOD DOORS | SPEC 081416
8.14.01 1 3/4" SOLID CORE WOOD DOOR.
09 FINISHES
9.22 NON-STRUCTURAL METAL FRAMING | SPEC 092216
9.22.03 3 5/8" NON-STRUCTURAL METAL STUD FRAMING @ 16" O.C.
9.22.04 METAL STUD BOX HEADER
9.29 GYPSUM BOARD | SPEC 092900
9.29.01 5/8" GYPSUM BOARD.
9.30 CERAMIC TILING | SPEC 093013
9.30.01 FLOOR TILE THROUGHOUT ROOM; PATCH AND REPAIR EXISTING CONCRETE SLAB TO PROVIDE A SUBSTRATE SUITABLE FOR INSTALLATION.
9.30.03 STONE THRESHOLD FOR WIDTH OF DOOR OPENING.
9.65 RESILIENT FLOORING | SPEC 096513
9.65.01 4" RUBBER BASE CONTINUOUS FOR PERIMETER OF ROOM.
9.92 INTERIOR PAINTING | SPEC 099123
9.92.02 PREP AND PAINT (TWO (2) COATS) ENTIRE DOOR AND FRAME.

GENERAL DOOR NOTES

- ALL METAL THRESHOLDS SHALL BE SET IN A BED OF SEALANT.
- PROVIDE SEALANT AT PERIMETER OF DOOR FRAMES.
- UNLESS OTHERWISE NOTED ALL DOOR FRAMES SHALL BE PREFINISHED, REFER TO SPECIFICATIONS.
- UNLESS NOTED "R.O." (ROUGH OPENING), DIMENSIONS REPRESENT UNIT SIZES. SEE SCHEDULE FOR DOOR TYPES AND HEIGHTS.
- SEE SCHEDULE FOR GLASS TYPES.



PROJECT #:
24-0022

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ISSUED REVISION HISTORY		
ID	DESCRIPTION	DATE
A	BID	7/25/24

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SHEET SCALE
0 1
BAR IS ONE (1) INCH LONG ON ORIGINAL DRAWING

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FBO BUILDING

SHEET TITLE:

SCHEDULES

A-105

NOTE TO BIDDER
ALL WORK SHOWN ON THIS SHEET IS
PART OF BASE BID.

Architectural floor plan of a building wing, showing a grid system and various rooms. The plan includes a central corridor and several rooms of varying sizes. Key features include:

- Grid System:** Labeled with room numbers and dimensions, such as 9.29.02, 9.51.01, and 2.01.10.
- Notes:**
 - "G.C. TO REINSTALL EXISTING CEILING TILE AND GRID W/ AREA SHOWN" pointing to a specific area.
 - "SEE SHEET A-110 FOR CONTINUATION" at the top.
- Structural Elements:** Walls, doors, and windows are indicated by lines and symbols.
- Room Numbers and Dimensions:** Various rooms are labeled with numbers and dimensions, such as 9.29.02, 9.51.01, and 2.01.10.

02.01	DEMOLITION
2.02	EXISTING CONDITIONS
2.01.10	EXISTING CEILING TO REMAIN.
2.02.01	FINISH
2.02.22	NON-STRUCTURAL METAL FRAMING
	SPEC 092216
2.02.20.3	3 5/8" NON-STRUCTURAL METAL STUD FRAMING @ 16"
2.02.20.2	GYPSON BOARD SPEC 092900
2.02.20.1	5/8" GYPSON BOARD BULKHEAD OR SOFFIT.
2.02.20.0	5/8" METAL RESISTANT GYPSON BOARD.
2.02.01.1	ACOUSTIC CEILINGS SPEC095113
2.02.01.0	ACOUSTIC CEILING TO 6" ABOVE ACACUSTIC CEILING AND SUSPENSION GRID THROUGHOUT SPACE.
2.02.01.0	REMOVE EXISTING AC TILE PROFILES AND PROVIDE NEW
2.02.01.0	ACOUSTIC CEILING
2.02.01.0	INTERIOR PAINTING SPEC 091213
2.02.01.0	PREP, PRIME AND PAINT (TWO (2) COATS) GYP BOARD WITH MOLT RESISTANT PAINT.
2.02.01.0	PREP, PRIME AND PAINT (TWO (2) COATS) BULKHEAD/ SOFFIT UNLESS NOTED OTHERWISE.
2.02.01.0	PAINT BULKHEAD/ SOFFIT FROM BOTTOM OF EXISTING SOFFIT TO 6" ABOVE ACACUSTIC CEILING OR TO UNDERSIDE OF GRID IN AREAS OF OPEN CEILING. IN AREA WITH EXISTING CEILING, PAINT TO UNDERSIDE OF EXISTING GRID.



ESTABLISHED 1920

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[illegible]

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DRAWN BY: RMM
CLIENT PROJ #: -

0  1
VERIFY SCALE
BAR IS ONE (1) INCH LONG ON ORIGINAL DRAWING

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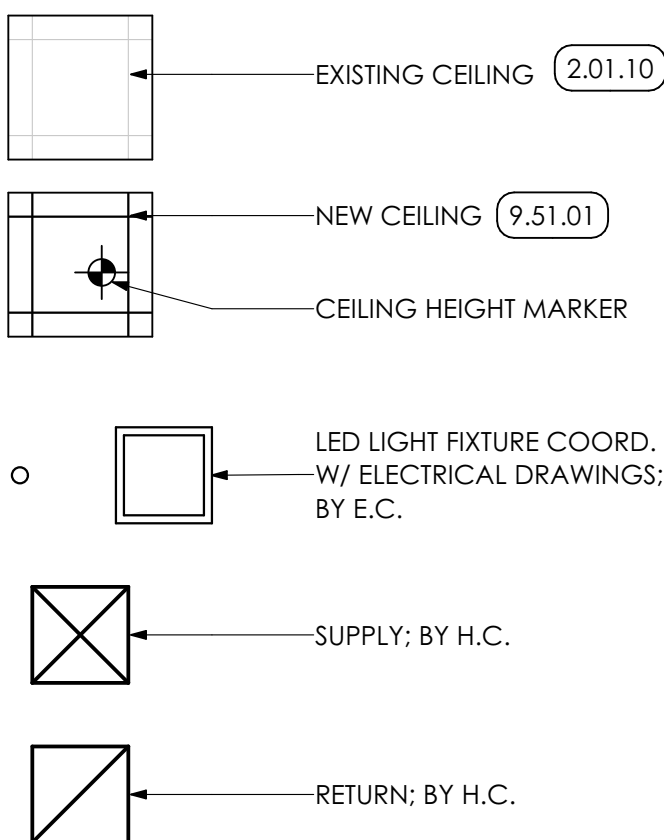
FBO BUILDING

REFLECTED
CEILING PLAN

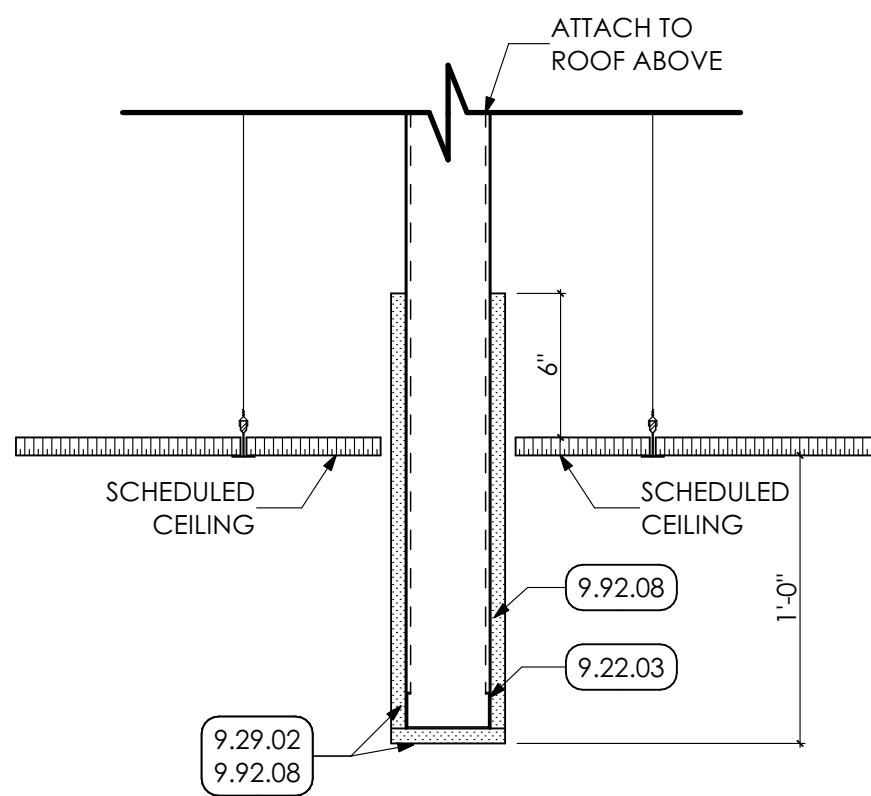
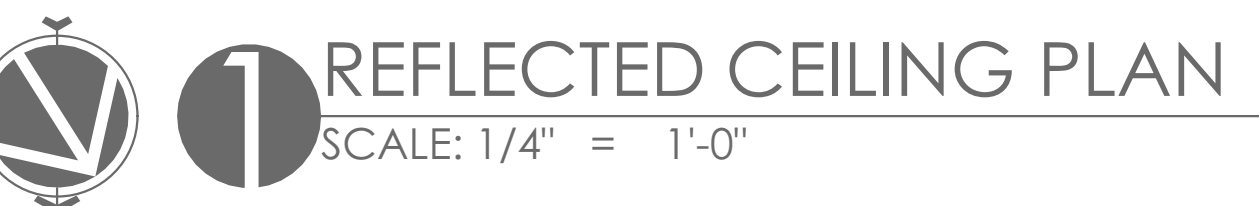
A-106

1. FIXTURES SHALL BE CENTERED IN SOFFITS AND CEILING GRIDS UNLESS NOTED OTHERWISE. COORDINATE WITH ENGINEERING DRAWINGS.
2. WHERE THERE IS A DISCREPANCY BETWEEN THE REFLECTED CEILING PLAN AND FIRE PROTECTION, FIRE ALARM, AND/OR LIGHTING PLANS, THE ENGINEERING PLANS SHALL TAKE PRECEDENCE. EXCEPT IF LIGHTING LAYOUTS SHOWN ARE IMPACTED, IN THAT CASE CONSULT THE ARCHITECT.
3. SUSPENDED ACOUSTICAL CEILING PANELS ARE TO BE 6'-0" A.F.F. UNLESS NOTED OTHERWISE.
4. SOFFITS AND BULKHEADS ARE TO BE 8'-0" HIGH, UNLESS NOTED OTHERWISE.

PLAN LEGEND

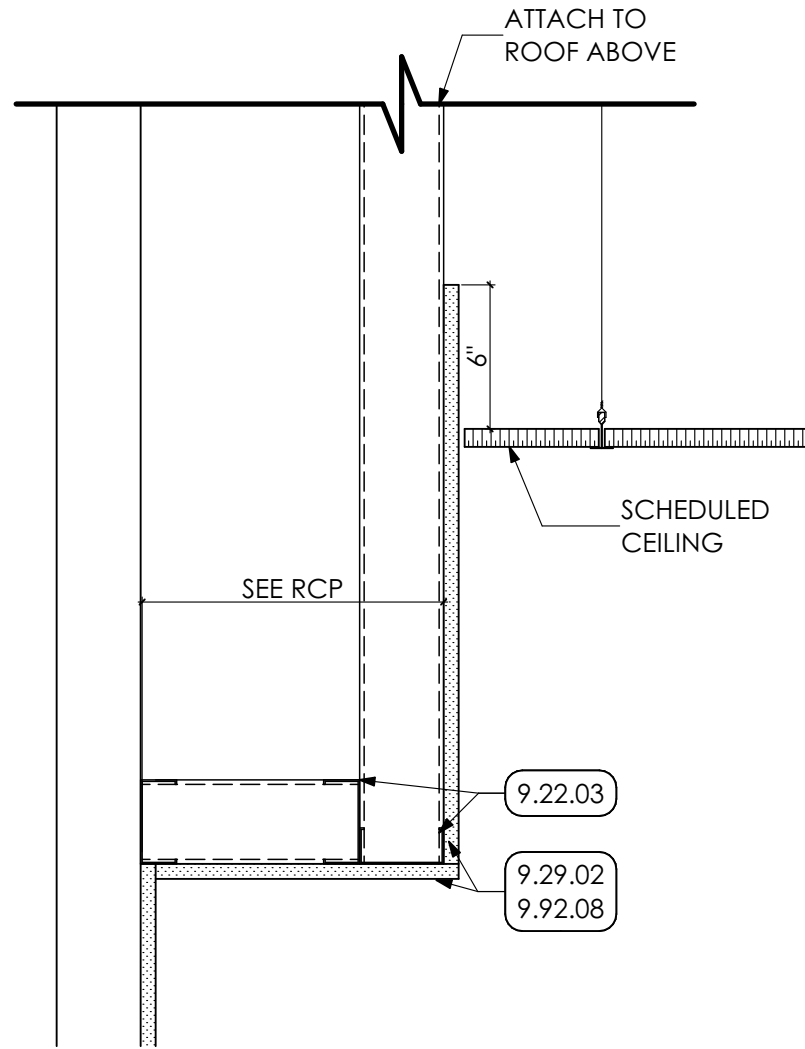


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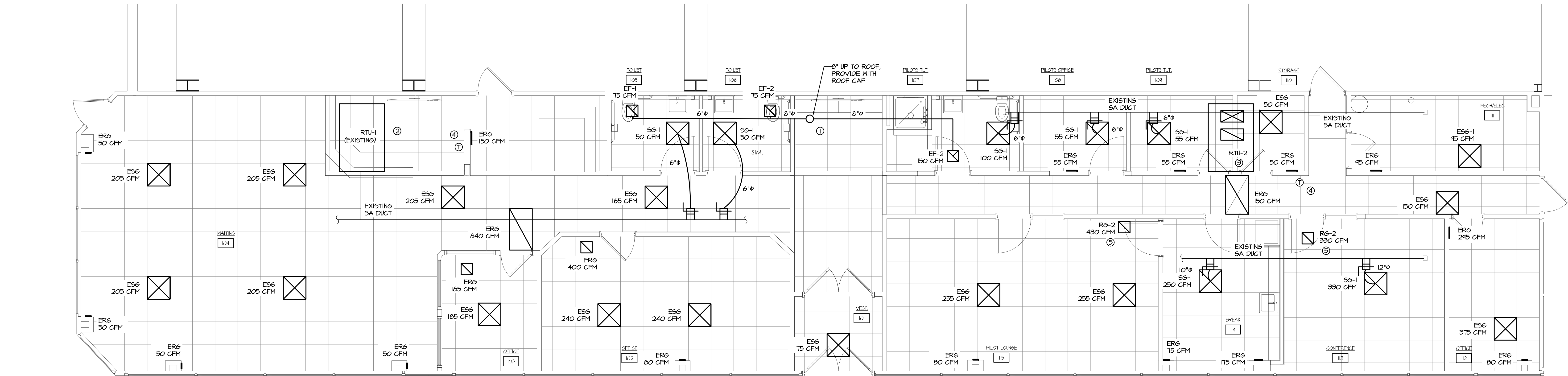
2 BULKHEAD DETAIL

SCALE: 1 1/2" = 1'-0"



3 SOFFIT DETAIL

SCALE: 1 1/2"= 1'-0"



GENERAL NOTES:

1. PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL EXISTING ROOF PENETRATIONS, ROOFTOP EQUIPMENT, DUCTWORK, AND DIFFUSERS/GRILLES. CONTRACTOR SHALL ENSURE THAT ALL EXISTING EQUIPMENT SHALL BE SUITABLE FOR REUSE.
2. ANY AND ALL NECESSARY MODIFICATIONS TO THE SPRINKLER SYSTEM SHALL BE COORDINATED WITH THE READING REGIONAL AIRPORT AND THEIR SELECTED CONTRACTOR.
3. CONTRACTOR SHALL RETAIN AND REUSE ALL EXISTING DUCTWORK, DIFFUSERS, ETC. UNLESS OTHERWISE SPECIFIED ON THIS DWG.

DRAWING NOTES:

1. CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING EXHAUST FAN ROOF OPENINGS. CONTRACTOR SHALL EXHAUST FANS THROUGH EXISTING ROOF OPENINGS.
2. CONTRACTOR SHALL RE-BALANCE EXISTING ROOFTOP UNIT AND ASSOCIATED DIFFUSERS/GRILLES TO CFM VALUES SHOWN ON THIS DWG.
3. CONTRACTOR SHALL DISCONNECT EXISTING ROOFTOP UNIT AND INSTALL NEW ROOFTOP UNIT ON EXISTING ROOF CURB. CONTRACTOR SHALL CONNECT EXISTING DUCTWORK TO NEW ROOFTOP UNIT. CONTRACTOR SHALL RE-BALANCE ROOFTOP UNIT AND ASSOCIATED DIFFUSERS/GRILLES TO THE VALUES SHOWN ON THIS DWG. CONTRACTOR SHALL VERIFY EXISTING NATURAL GAS PIPING AND EXTEND AND CONNECT EXISTING NATURAL GAS PIPING TO NEW ROOFTOP UNIT.
4. CONTRACTOR SHALL REUSE/RELOCATE EXISTING THERMOSTAT. CONTRACTOR SHALL COORDINATE THERMOSTAT LOCATION WITH OWNER.
5. CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING RETURN DUCT. CONTRACTOR SHALL EXTEND AND CONNECT NEW RETURN GRILLE TO NEAREST EXISTING RETURN DUCT.

MECHANICAL NOTES:

1. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS REQUIRED TO FABRICATE, INSTALL, AND PLACE IN WORKING ORDER ALL SYSTEMS SHOWN ON DRAWINGS. CONTRACTOR SHALL PROVIDE COMPLETE AND OPERATIONAL SYSTEMS. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE AND PROFESSIONAL MANNER CONSISTENT WITH ALL APPLICABLE INDUSTRY STANDARDS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH 2018 INTERNATIONAL MECHANICAL CODE (2018 IMC) AND THE REQUIREMENTS OF THE LOCAL AUTHORITY HAVING JURISDICTION. CONTRACTOR SHALL BE RESPONSIBLE TO APPLY FOR AND PROCURE ALL REQUIRED PERMITS, CERTIFICATES AND AGENCY APPROVALS.
3. DRAWINGS INDICATE THE GENERAL LOCATION AND ARRANGEMENT OF THE NEW CONSTRUCTION. SO FAR AS PRACTICAL, INSTALL NEW WORK AS INDICATED. CONTRACTOR SHALL BE RESPONSIBLE TO THOROUGHLY INVESTIGATE AND VERIFY ALL FIELD CONDITIONS AND ALL OTHER NEW SYSTEMS INSTALLED PRIOR TO FABRICATION AND INSTALLATION OF NEW SYSTEMS.
4. UNLESS OTHERWISE NOTED, EQUIPMENT AND MATERIALS OF CONSTRUCTION AS SCHEDULED AND SHOWN ON THE DRAWINGS CONSTITUTE A STANDARD OF QUALITY AND CONTRACTOR BASIS OF CONTRACT BID. AT THE CONTRACTOR'S DISCRETION EQUIVALENT PRODUCT SUBSTITUTIONS MAY BE SUBMITTED TO THE OWNER FOR APPROVAL. WRITTEN APPROVAL AND ACCEPTANCE BY THE OWNER OF AN EQUIVALENT PRODUCT SUBSTITUTION SHALL NOT HOWEVER RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF PROVIDING COMPLETE AND OPERATIONAL SYSTEMS. THIS CONTRACTOR SHALL AT NO ADDITIONAL COST TO THE CONTRACT, BE RESPONSIBLE FOR ANY AND ALL MODIFICATIONS AND/OR ADDITIONAL CONSTRUCTION REQUIRED TO ACCOMMODATE INSTALLATION AND OPERATION OF ANY SUBSTITUTE PRODUCT.
5. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL MAJOR MANUFACTURED ITEMS REQUIRED ON THIS PROJECT. ELECTRONIC COPIES SHALL BE SUBMITTED, PURCHASE OR INSTALLATION OF EQUIPMENT OR SYSTEMS COMPONENTS WITHOUT PRIOR WRITTEN APPROVALS IS FORBIDDEN. APPROVAL OF SHOP DRAWINGS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF PROVIDING COMPLETE OPERATIONAL SYSTEMS.
6. CONTRACTOR SHALL INFORM THE ENGINEER OF ANY QUESTIONS OR DISCREPANCIES PRIOR TO PURCHASE, FABRICATION, AND/OR INSTALLATION OF ANY MATERIAL.
7. ALL EQUIPMENT PROVIDED UNDER THIS CONTRACTOR SHALL BE INSTALLED IN STRICT COMPLIANCE WITH THE MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.
8. CONTRACTOR SHALL FURNISH AND INSTALL ALL STRUCTURAL STEEL, SUPPORTS, BRACES, HANGERS, ETC. REQUIRED FOR HIS CONTRACT UNLESS OTHERWISE NOTED. CONTRACTOR SHALL COORDINATE ALL EQUIPMENT SUPPORT LOCATIONS AND INSTALLATION WITH ROOFING AND STRUCTURAL CONTRACTORS.
9. CONTRACTOR SHALL PROVIDE ALL LABOR, DEVICES, WIRE, CONDUIT, ETC. REQUIRED FOR CONTROL INSTALLATION. REQUIRED ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC.
10. CONTRACTOR SHALL LEAVE THE WORK IN PROPER WORKING ORDER AND SHALL, WITHOUT ADDITIONAL CHARGE, REPLACE ANY WORK, MATERIALS, OR EQUIPMENT FURNISHED AND INSTALLED BY HIM UNDER HIS CONTRACT WHICH DEVELOPS DEFECTS, EXCEPT FROM ORDINARY WEAR AND TEAR WITHIN ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.
11. CONTRACTOR SHALL PROVIDE TESTING, ADJUSTING, AND BALANCING, INCLUDING A WRITTEN REPORT TO THE OWNER FOR APPROVAL FOR SYSTEMS INSTALLED. TEST SHALL BE PERFORMED TO ASCERTAIN WHETHER SYSTEM AND EQUIPMENT INSTALLED COMPLY TO THE EQUIPMENT SPECIFICATION AND ARE IN PROPER WORKING ORDER. BALANCE ALL BRANCHES, DUCTWORK, SUPPLY AIR DIFFUSERS, RETURN AIR REGISTERS, AND EXHAUST REGISTERS, ETC. TO QUANTITIES SHOWN ON THE PLANS. ALL DEVICES SHALL BE BALANCED TO WITHIN 5% OF QUANTITIES SHOWN (WORK SHALL BE PERFORMED BY A FIRM CERTIFIED BY THE NATIONAL ENVIRONMENTAL BALANCING BUREAU OR THE ASSOCIATED AIR BALANCE COUNCIL.)
12. AT THE COMPLETION OF CONSTRUCTION CONTRACTOR SHALL BE PROVIDE COMPLETE AND ACCURATE "AS CONSTRUCTED DOCUMENTATION" FOR ALL SYSTEMS INSTALLED UNDER THIS CONTRACT. PROVIDE COMPUTER DISK TO THE ARCHITECT CONTAINING AUTOCAD DRAWINGS FILE. CONTRACTOR SHALL ALSO PROVIDE ONE COMPLETE SET OF OPERATING AND MAINTENANCE INSTRUCTIONS IN AN ELECTRONIC FORMAT. CONTRACTOR SHALL INSTRUCT THE OWNER OR HIS AGENT WITH REGARD TO THE PROPER USE OF THE SYSTEM UNTIL SUCH INSTRUCTION IS COMPLETE TO THE OWNER'S SATISFACTION.

MECHANICAL LEGEND:

	DUCT SIZE
	DUCT SECTION, RETURN AIR
	DUCT SECTION, SUPPLY AIR
	VOLUME DAMPER
	TRANSITION
	TURNING VANES
	FLEXIBLE CONNECTION
	EXISTING ITEM
	NEW ITEM
	CONNECTION TO EXISTING
	SUPPLY AIR DIFFUSER
	RETURN AIR GRILLE
	CUBIC FEET PER MINUTE
	EXHAUST FAN
	ROOFTOP FAN
	THERMOSTAT

PACKAGED ROOFTOP UNIT SCHEDULE (GAS HEAT/DX COOLING)

TAG	MANUFACTURER	MODEL	AREA SERVED	CFM		SUPPLY FAN			DX COOLING						GAS HEAT				FILTER	ELECTRICAL CHARACTERISTICS			OPERATING WEIGHT (LB)	NOTES	
				SA	OA	HP	TSP INCH	ESP INCH	MEH (TOT)	MEH (SENS)	EAT		LAT		REFRIG (TYP)	MEH (IN)	MEH (OUT)	AIR		VOLT/PH/VZ	MCA	MOCP			
											DB	WB	DB	WB				EAT							LAT
RTU-1	CARRIER	EXISTING	LEFT SIDE OF BLDG	1945	215	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
RTU-2	JOHNSON CONTROLS	ZEO6OH0AIGSACA2B4	RIGHT SIDE OF BLDG	1675	285	1.0	1.02	0.91	54.5	44.9	75.9	62.5	52.7	51.8	R-410A	100.0	74.0	59.9	100.7	MERV 8	230V/60	40.9	60	147	1 THROUGH 6

1. PROVIDE UNIT MOUNTED NON-FUSED DISCONNECT SWITCH.
2. PROVIDE FULLY MODULATING ENTHALPY ECONOMIZER.
3. PROVIDE RETURN AIR SMOKE DETECTOR WIRED TO SHUT DOWN UNIT IF COMBUSTION PRODUCTS ARE SENSED.
4. PROVIDE WITH STAINLESS STEEL IAQ COIL DRAIN PAN.
5. PROVIDE W/CONDENSATE PAN FLOAT SWITCH WIRED TO SHUT DOWN UNIT IF DRAIN PAN FLOOD LEVEL BECOMES TOO HIGH.
6. PROVIDE WALL MOUNTED 7 DAY/WEEK, 4 PROGRAM/DAY, OCCUPIED/UNOCCUPIED, HEATING/COOLING/ DEHUMIDIFICATION THERMOSTATS.

MATERIALS OF CONSTRUCTION:

DUCTWORK:

EXHAUST DUCTWORK: HOT DIPPED GALVANIZED SHEET METAL, ASTM-A-525, FABRICATE AND INSTALL IN ACCORDANCE WITH THE LATEST EDITION OF THE SHAGNA HVAC DUCT CONSTRUCTION STANDARDS - METAL AND FLEXIBLE; SHAGNA APPROVED JOINTS, SEAMS AND REINFORCING FOR 18" N/G.

SUPPLY, RETURN, AND OUTSIDE AIR DUCTWORK: HOT DIPPED GALVANIZED SHEET METAL, ASTM-A-525, FABRICATE AND INSTALL IN ACCORDANCE WITH THE LATEST EDITION OF THE SHAGNA HVAC DUCT CONSTRUCTION STANDARDS - METAL AND FLEXIBLE; SHAGNA APPROVED JOINTS, SEAMS AND REINFORCING FOR 18" N/G. DUCTWORK SHALL BE INSULATED WITH FLEXIBLE FIBERGLASS BLANKET, 3" THICK 1-1/2" P.C.F. DENSITY WITH A MINIMUM R VALUE OF 6.0. PROVIDE WITH ALL PURPOSE JACKET AND VAPOR RETARDER.

FLEXIBLE DUCTWORK: POLYESTER LAMINATED STEEL WIRE INNER CORE, R-6 LOW DENSITY FIBERGLASS BLANKET INSULATION WITH REINFORCED POLYESTER OUTER JACKET AND VAPOR BARRIER, UL STD. 181 APPROVED, CLASS 1 CONNECTOR. FLEXIBLE DUCTWORK SHALL BE LIMITED TO 6'-0" IN LENGTH.

VOLUME DAMPERS: SHALL BE MULTI-BLADE TYPE, CONSTRUCTED OF ASTM-A-525 HOT DIPPED GALVANIZED SHEET METAL. FABRICATE DAMPERS IN ACCORDANCE WITH THE LATEST EDITION OF THE SHAGNA HVAC DUCT CONSTRUCTION STANDARDS - METAL AND FLEXIBLE.

DUCTWORK SEALANT: ALL DUCTWORK SEAMS AND JOINTS SHALL BE SEALED WITH A NON-HARDENING, NON-MIGRATING SEALANT, 5% MAXIMUM ALLOWABLE DUCT SYSTEM LEAKAGE. SEALANT SHALL BE CLEAR IN COLOR.

DUCTWORK SUPPORT MATERIALS: GALVANIZED STEEL FASTENERS, ANCHORS, RODS, STRAPS, AND TRIM.

PIPING:

AIR CONDITIONING CONDENSATE DRAINS: SCHEDULE 40 PVC PIPE, ASTM D2665 WITH SOCKET FITTINGS AND SOLVENT CEMENTED JOINTS.

REFRIGERANT LIQUID AND SUCTION PIPING: HARD OR SOFT COPPER TUBE, ASTM B280, TYPE ACR, WITH WROUGHT COPPER FITTINGS, ASME B16.22, AND AS18 SILVER BRAZED JOINTS WITH GLASS BAG-FILLER. INSULATE PIPING WITH 3/4" THICK BY 6.0 P.C.F. DENSITY CLOSED CELL FLEXIBLE TUBULAR INSULATION.

NATURAL GAS PIPING:

2" AND SMALLER: BLACK STEEL PIPE, ASTM A53, TYPE S, GRADE B, SCHEDULE 40. FITTINGS: MALLEABLE IRON THREADED FITTINGS, ASME B16.3, CLASS 150, ASME B1.201 THREADS.

2-1/2" AND LARGER PIPE: BLACK STEEL PIPE, ASTM A53, TYPE E, GRADE B, SCHEDULE 40. FITTINGS: WROUGHT STEEL BUTT WELD FITTINGS, ASME B16.9, STANDARD WEIGHT, AND D10.12 WELDED JOINTS.

EXHAUST FAN SCHEDULE

TAG	TYPE	MOUNTING	CFM	ESP*	DRIVE	FAN MOTOR RPM/WATTS	VOLTAGE	BASIS OF DESIGN		NOTES	
								MANUFACTURER	MODEL		
EF-1	EXHAUST	CEILING	75	0.25	DIRECT	1113	4.6	115/60/1	PANASONIC	FV-OS1VKS2	1,2
EF-2	EXHAUST	CEILING	75	0.25	DIRECT	1113	4.6	115/60/1	PANASONIC	FV-OS1VKS2	1,2
EF-3	EXHAUST	CEILING	150	0.25	DIRECT	1075	4.5	115/60/1	COOK	6C-148	1,2

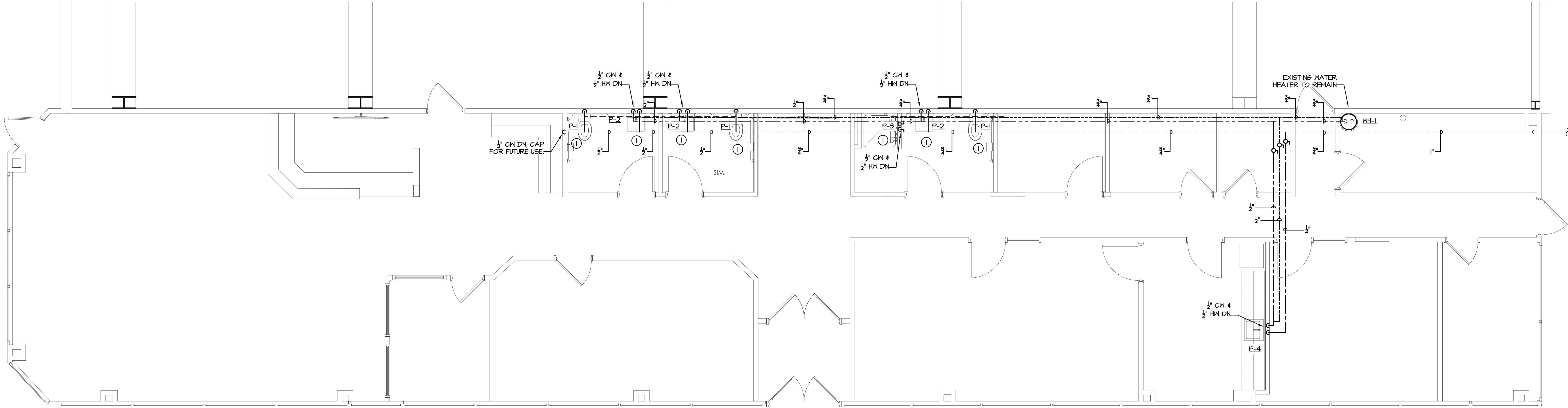
- NOTES:
1. FAN SHALL BE INTERLOCKED WITH LIGHT SWITCH SUCH THAT WHEN LIGHT IS TURNED ON, FAN SHALL BE TURNED ON.
2. PROVIDE FAN WITH TIME DELAY.

DIFFUSER/GRILLE SCHEDULE

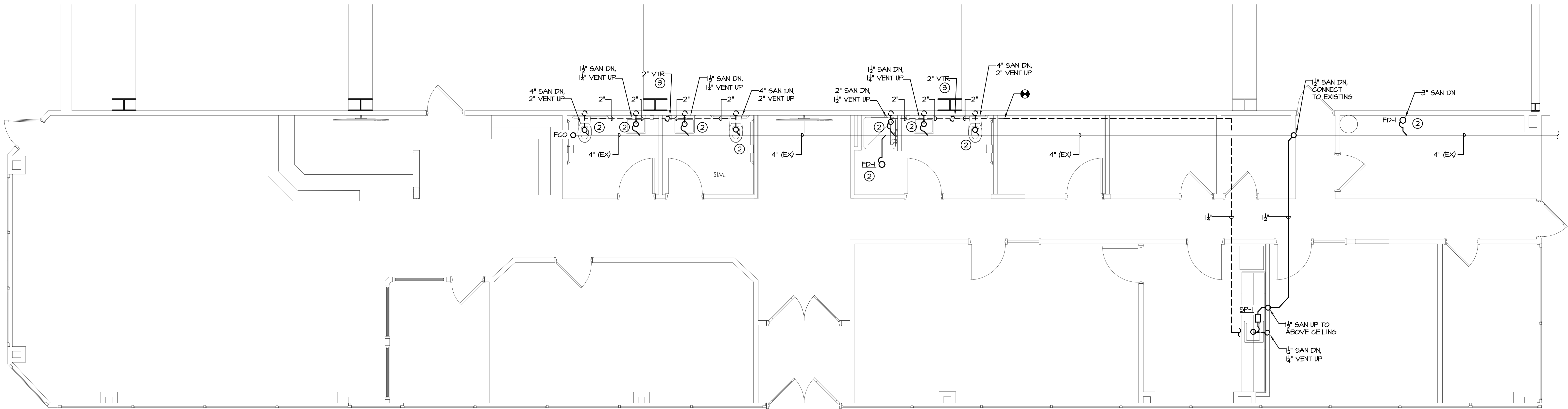
TAG	SIZE	BORDER	MANUFACTURER	MODEL	NOTES
SD-1	24X24	LAY IN	TITUS	TH5	1
RG-1	12X12	LAY IN	TITUS	50F	1
RG-2	24X48	LAY IN	TITUS	50F	1
ESG	EXISTING				
ERG	EXISTING				

- NOTES:
1. FINISH AS SELECTED BY ARCHITECT/OWNER.

REVISION HISTORY		
ID	DESCRIPTION	DATE
A	BID	7/25/24



1 DOMESTIC WATER PIPING PLAN
SCALE: 1/4"=1'-0"



2 SANITARY/VENT PIPING PLAN
SCALE: 1/4"=1'-0"

GENERAL NOTES:

- CONTRACTOR SHALL SCOPE EXISTING SANITARY LINE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL FIELD VERIFY SIZE AND LOCATION OF EXISTING SANITARY AND VENT LINES.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF EXISTING HOT AND COLD WATER LINES PRIOR TO STARTING CONSTRUCTION.

DRAWING NOTES:

- CONTRACTOR SHALL FIELD VERIFY LOCATION OF NEAREST EXISTING HOT AND COLD WATER LINES. CONTRACTOR SHALL EXTEND AND CONNECT NEW FIXTURE TO EXISTING HOT AND COLD WATER LINES AS SHOWN.
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF NEAREST EXISTING SANITARY LINE. CONTRACTOR SHALL EXTEND AND CONNECT NEW FIXTURE TO EXISTING SANITARY AND VENT LINES AS SHOWN.
- CONTRACTOR SHALL LOCATE EXISTING ROOF PENETRATIONS FOR ROOF VENTS. CONTRACTOR SHALL RETAIN EXISTING ROOF PENETRATIONS AND EXISTING VENTS TO ROOF.

ISSUED REVISION HISTORY		
ID	DESCRIPTION	DATE
A	BID	7/25/24

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0 1
1/4" = 1'-0"
BAR & ONE (1) INCH LONG ON ORIGINAL DRAWING

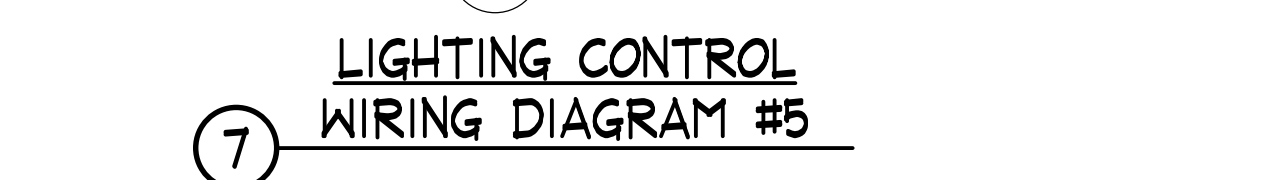
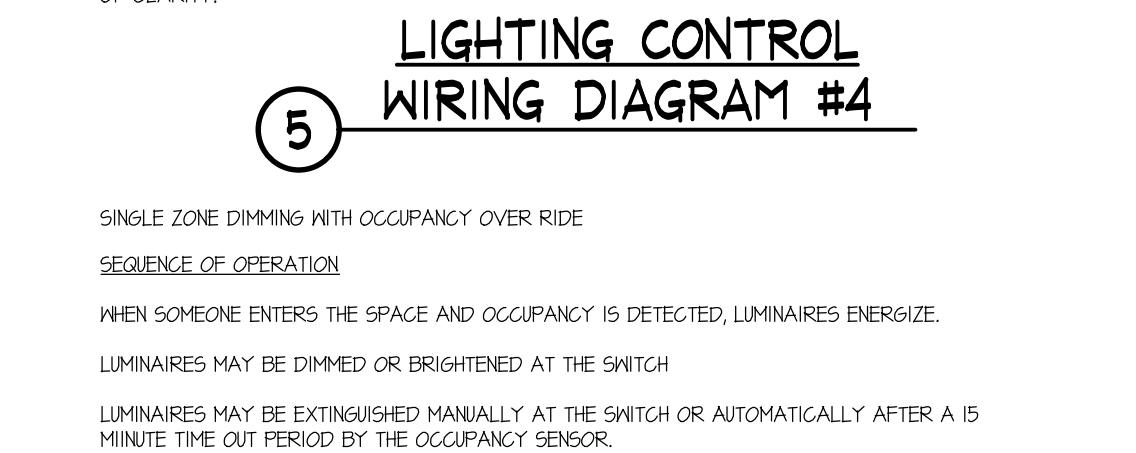
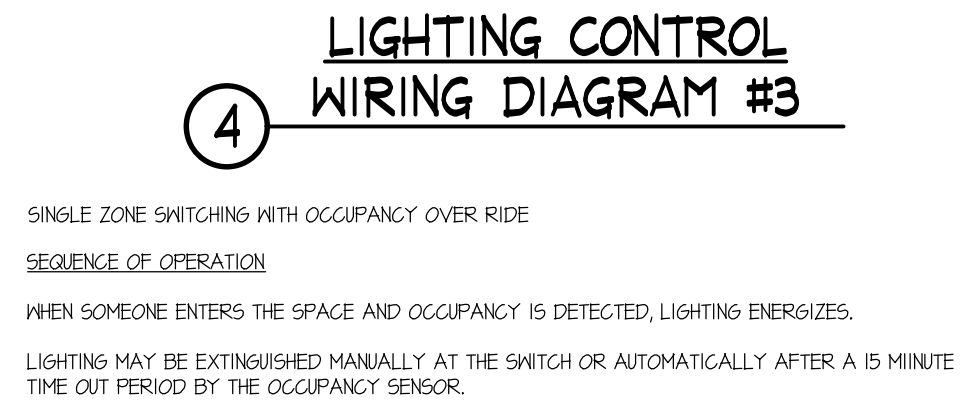
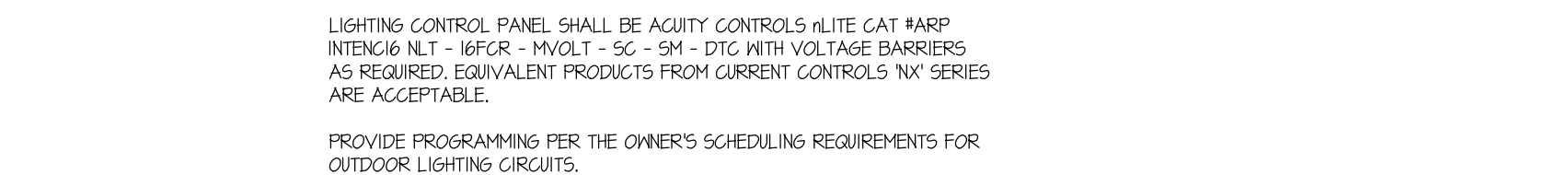
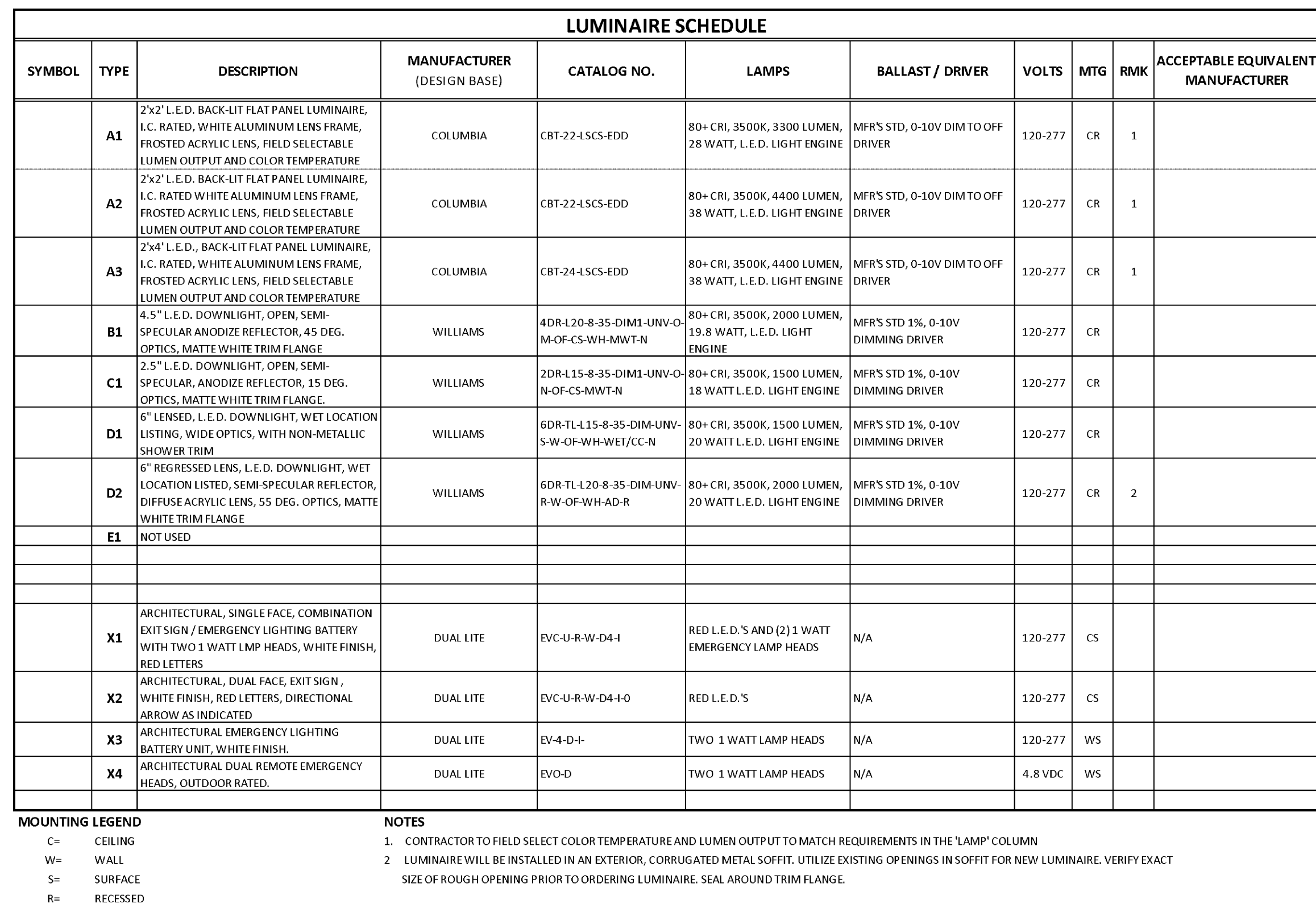
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FBO BUILDING & HANGAR 1

SHEET TITLE:

PLUMBING
PIPING PLAN

P-101

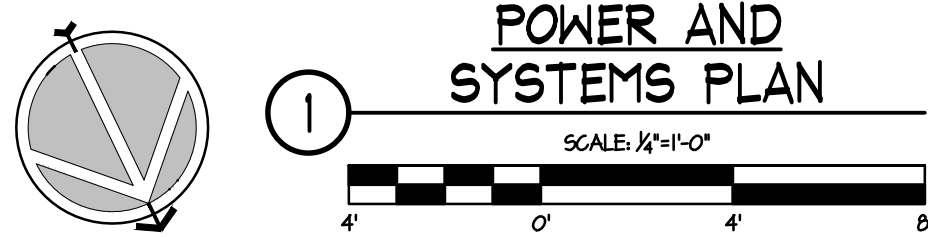
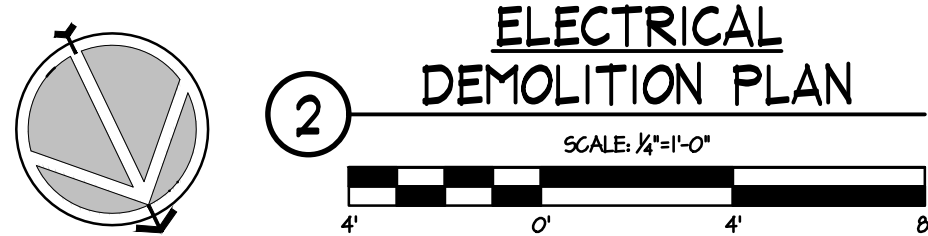


SEQUENCE OF OPERATION

WHEN SOMEONE ENTERS THE SPACE AND OCCUPANCY IS DETECTED, LUMINAIRES ENERGIZE.

LUMINAIRES MAY BE DIMMED OR BRIGHTENED AT THE SWITCH

LUMINAIRES MAY BE EXTINGUISHED MANUALLY AT THE SWITCH OR AUTOMATICALLY AFTER A 15 MINUTE TIME OUT PERIOD BY THE OCCUPANCY SENSOR.

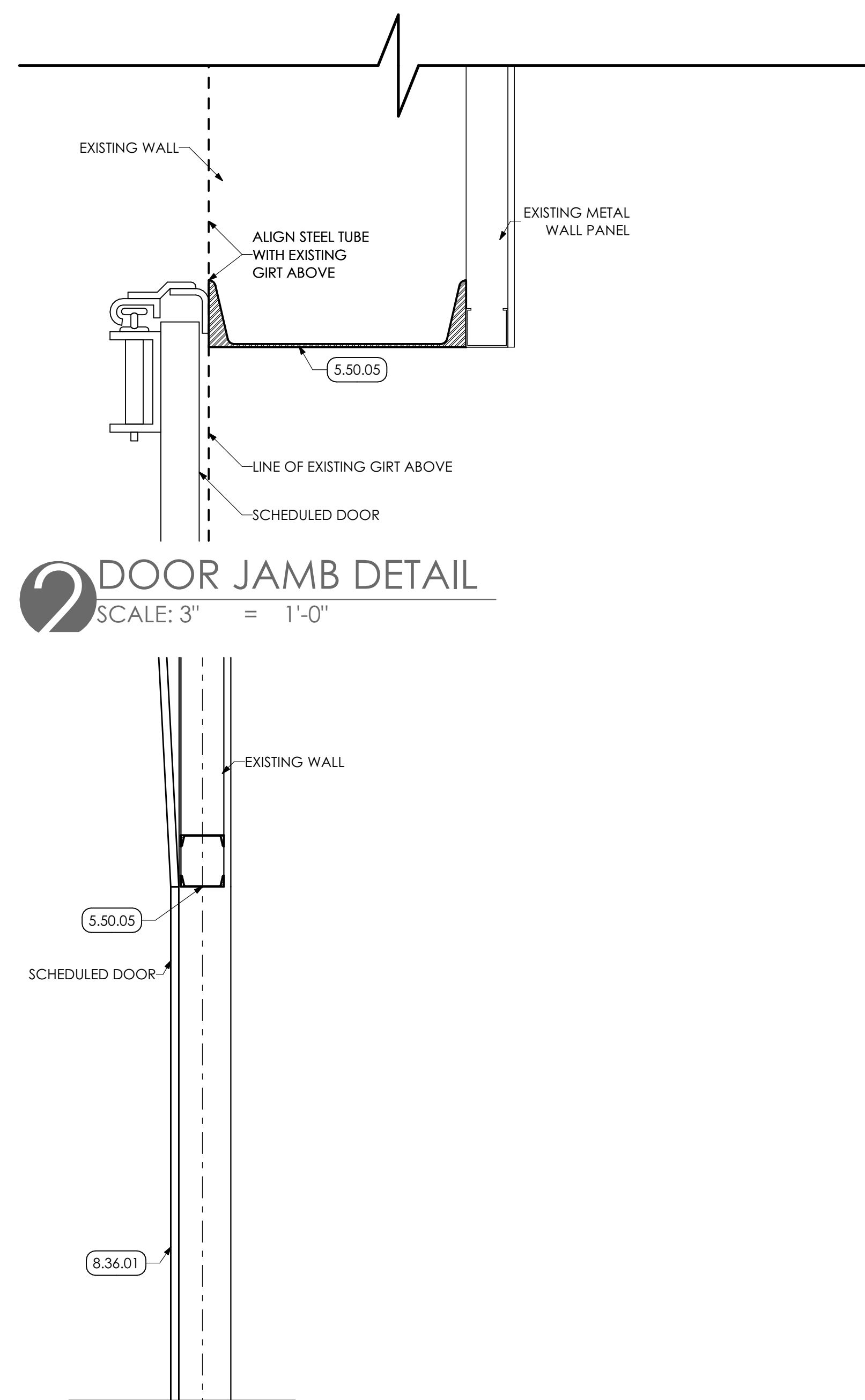


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MULTIPLE BUILDING RENOVATIONS

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E-201



2 DOOR JAMB DETAIL

SCALE: 3" = 1'-0"

3 DOOR HEAD DETAIL

SCALE: 1/2" = 1'-0"

(E) C10 STEEL GIRT

ATTACH (N) C10 JAMBS TO GIRT W/ L3X3X1/4" CONN. ANGLE

(N) C10 STEEL HEADER

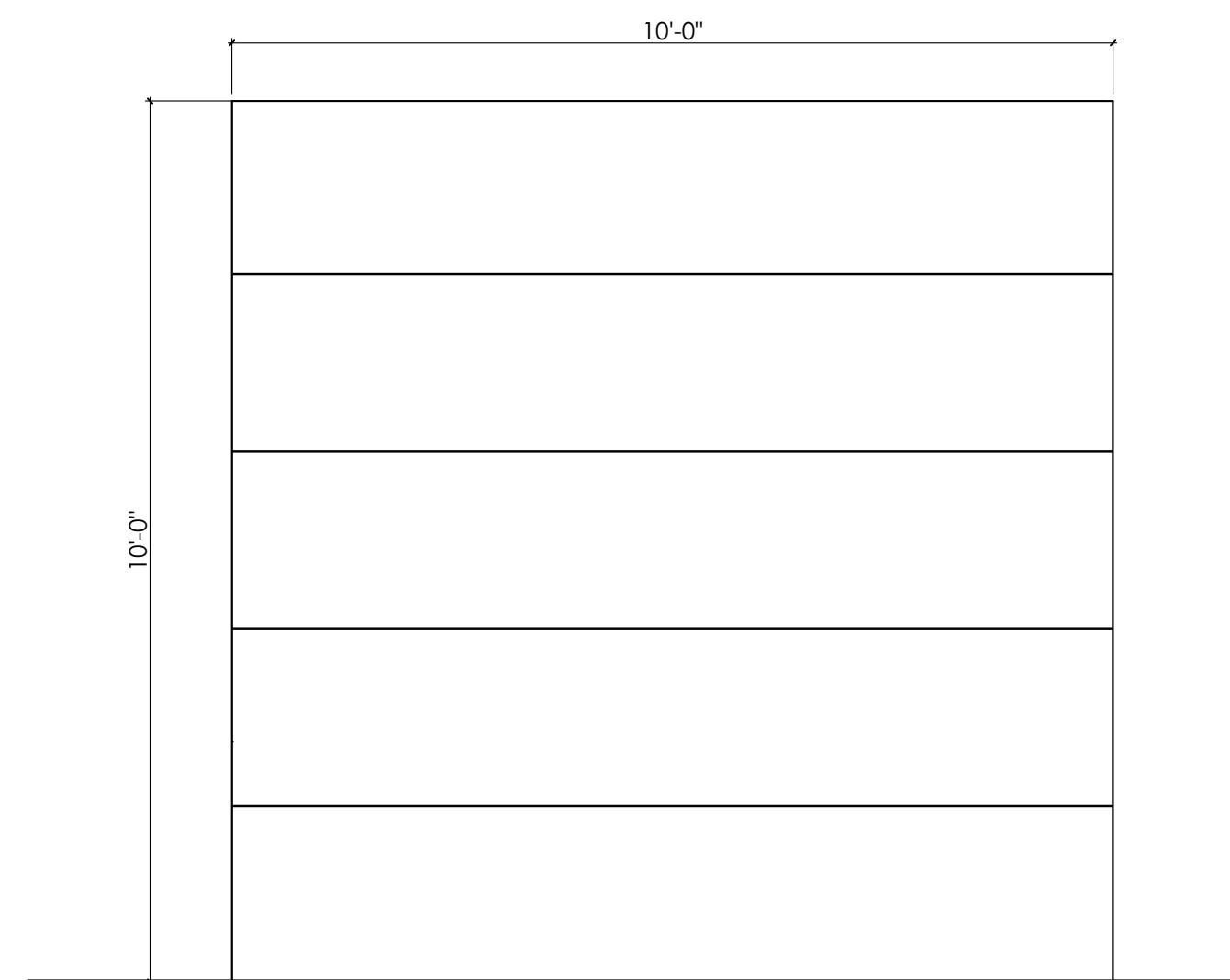
ATTACH (N) C10 JAMBS TO GIRT W/ L3X3X1/4" CONN. ANGLE

CUT EXIST. WALL PANEL REQUIRED FOR NEW OPENING

NEW 10'-0" (W) X 10'-0" (H) OPENING

(N) C10X15.3 JAMB PTD. ATTACHED TO FLOOR W/ L3X3X1/4" W/ 1/2" DIAMETER, AND ATTACHED TO EXISTING CONCRETE

4 LOADING DOCK ELEVATION



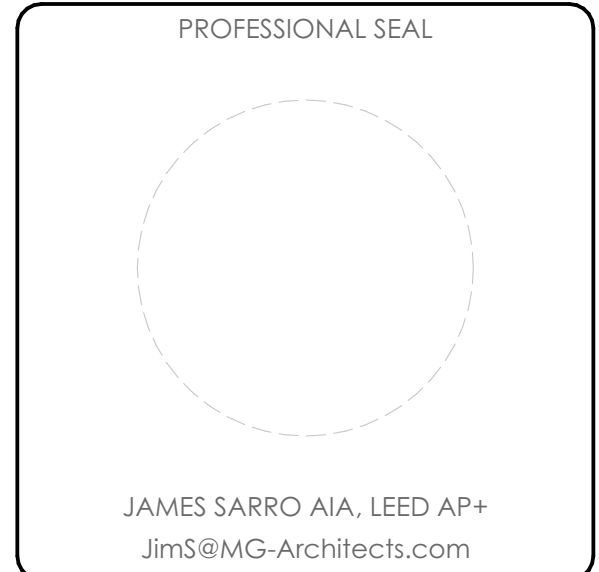
5 OVERHEAD DOOR DETAIL

SCALE: 1/2" = 1'-0"

- ## KEYED NOTES
- | | |
|--------------|--|
| 05 | METALS |
| 5.50 | METAL FABRICATIONS |
| 5.50.05 | NEW C10 X1/3 FRAME, PREF AND PAINT. |
| 08 | OPENINGS |
| 8.36 | SECTIONAL DOOR SPEC 083613 |
| 8.36.01 | NEW 10' X 10' OVERHEAD DOOR WITH OPENING. |
| 09 | FINISHES |
| 9.92 | INTERIOR PAINTING SPEC 091213 |
| 9.92.02 | PREF AND PAINT (TWO COATS) ENTIRE DOOR AND FRAME. |
| 9.92.03 | PREF AND PAINT (TWO COATS) ENTIRE LENGTH OF BOTTOM FLANGE OF SECTIONAL DOOR, SETTY YELLOW. |
| 9.92.06 | DO NOT PAINT KALWAL WINDOWS ALONG THIS SIDE. |
| 9.92.10 | PAINT AND PAINT (TWO COATS) ENTIRE CONCRETE FLOOR SURFACE WITH EPOXY PAINT. |
| 9.92.11 | PREF AND PAINT (TWO COATS) ENTIRE WALL SURFACE FROM FLOOR TO BASE OF ROOF STRUCTURE, INCLUDING COLUMNS WITH EPOXY PAINT. |
| 9.92.12 | PAINT AND PAINT (TWO COATS) ENTIRE ROOF STRUCTURE, INCLUDING BEAMS AND PURLINS, WITH EPOXY PAINT. |
| 9.96 | EXTERIOR PAINTING SPEC 099660 |
| 9.96.01 | PREF AND PAINT (TWO COATS) ENTIRE DOOR AND FRAME. |
| 9.96.02 | PREF AND PAINT (TWO COATS) ENTIRE HANGER DOOR AND FRAME. |
| 10 | SPECIALTIES |
| 10.44 | FIRE PROTECTION SPECIALTIES SPEC 104413/104416 |
| 10.44.01 | PROVIDE NEW ADHERED FIRE EXTINGUISHER SIGN ON FACE OF COLUMN. |



PROJECT #:
24-0022



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CLIENT PROJ #: -
 0 1 VERIFY SCALE BAR IS ONE (1) INCH LONG ON ORIGINAL DRAWING

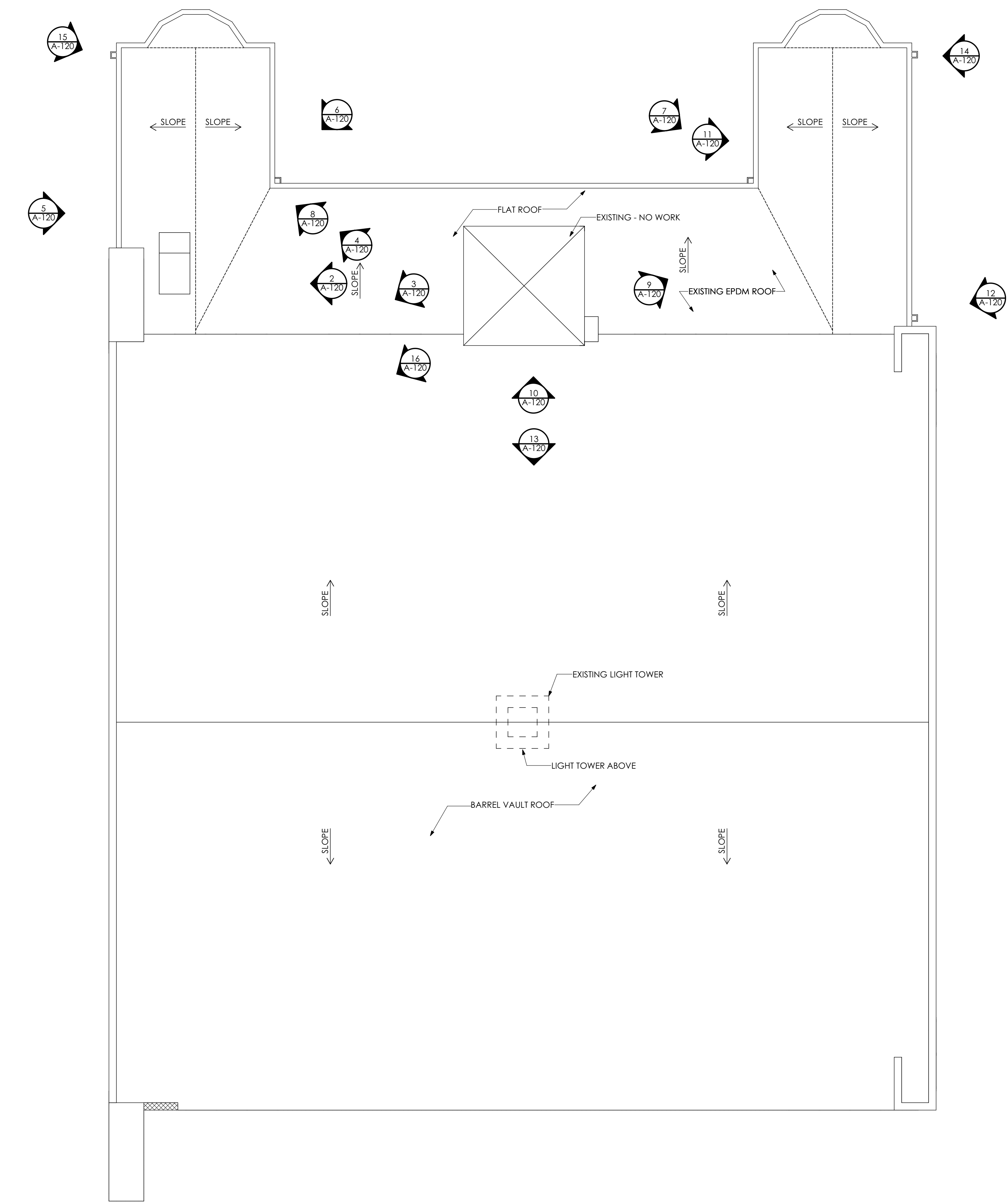
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HANGER 1

HANGER PLAN

A-110

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1 PHOTO KEY PLAN
SCALE: 1/8" = 1'-0"



2 PHOTO



3 PHOTO



4 PHOTO



5 PHOTO



6 PHOTO



7 PHOTO



8 PHOTO



9 PHOTO



10 PHOTO



11 PHOTO



12 PHOTO



13 PHOTO



14 PHOTO



15 PHOTO



16 PHOTO

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SHEET SCALE
0" = 1" (1" INCH LONG ON ORIGINAL DRAWING)

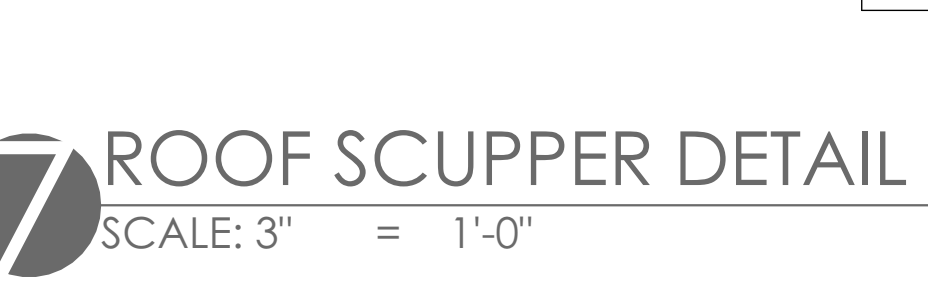
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HANGAR 520

SHEET TITLE:
**EXISTING
CONDITION
PHOTOS**

A-120

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02 DEMOLITION
2.01 EXISTING CONDITIONS
 2.01.01 EXISTING DOWNSPOUT TO REMAIN.
 2.01.02 EXISTING OVERFLOW ROOF DRAIN TO REMAIN.
 2.01.03 EXISTING WALL TO REMAIN.
 2.01.04 EXISTING ROOF DECK TO REMAIN.
 2.01.05 EXISTING HVAC EQUIPMENT TO REMAIN.
 2.01.06 EXISTING PIPE TO REMAIN.
2.41 SELECTIVE DEMOLITION [SPEC 024119]
 2.41.01 REMOVE EXISTING EPDM ROOFING, FLASHING, AND INSULATION DOWN TO EXISTING CONCRETE DECK.
 2.41.02 REMOVE EXISTING ROOF SURFACE, INCLUDING ALL PARAPET WALLS.
 2.41.02 CAREFULLY REMOVE MOTORIZED OWL.
 2.41.03 REMOVE EXISTING 1/2" COVER BOARD TO EXIST ROOF AREA.
 2.41.05 REMOVE TAPPERED INSULATION OVER ENTIRE ROOF AREA.
 2.41.06 REMOVE 1/2" COVER BOARD OVER ENTIRE ROOF AREA.
 2.41.07 REMOVE EXISTING INSULATION AND DOWNSPOUT.
 2.41.08 REMOVE METAL COPING.
06 WOODS, PLASTICS AND COMPOSITES
6.10 CELLULOSE ROUGH CARPENTRY [SPEC 061053]
 6.10.01 1/4" PLYWOOD SHEATHING.
 6.10.02 1/2" INSUL NEW 2x4 PRESERVATIVE TREATED WOOD STUDS.
07 THERMAL AND MOISTURE PROTECTION
7.53 NEW ELASTOMERIC ROOFING [SPEC 075322]
 7.53.02 TAPPERED INSULATION OVER ENTIRE ROOF AREA, SEE TAPPERED INSULATION PLAN FOR THICKNESS.
 7.53.03 1/2" COVER BOARD OVER ENTIRE ROOF AREA.
 7.53.04 WEATHER STRIP AND FLASHING.
 7.53.05 FIBER ROOFING CANT.
7.72 ROOF ACCESSORIES [SPEC 077233, 077253]
 7.72.05 METAL DOWNSPOUT.
 7.72.07 METAL FLASHING W/IDRIP EDGE BY G.C.
7.92 JOINT SEALS [SPEC 079201]
 7.92.01 CONTINUOUS SEALANT.

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BAR IS ONE (1) INCH LONG ON ORIGINAL DRAWING

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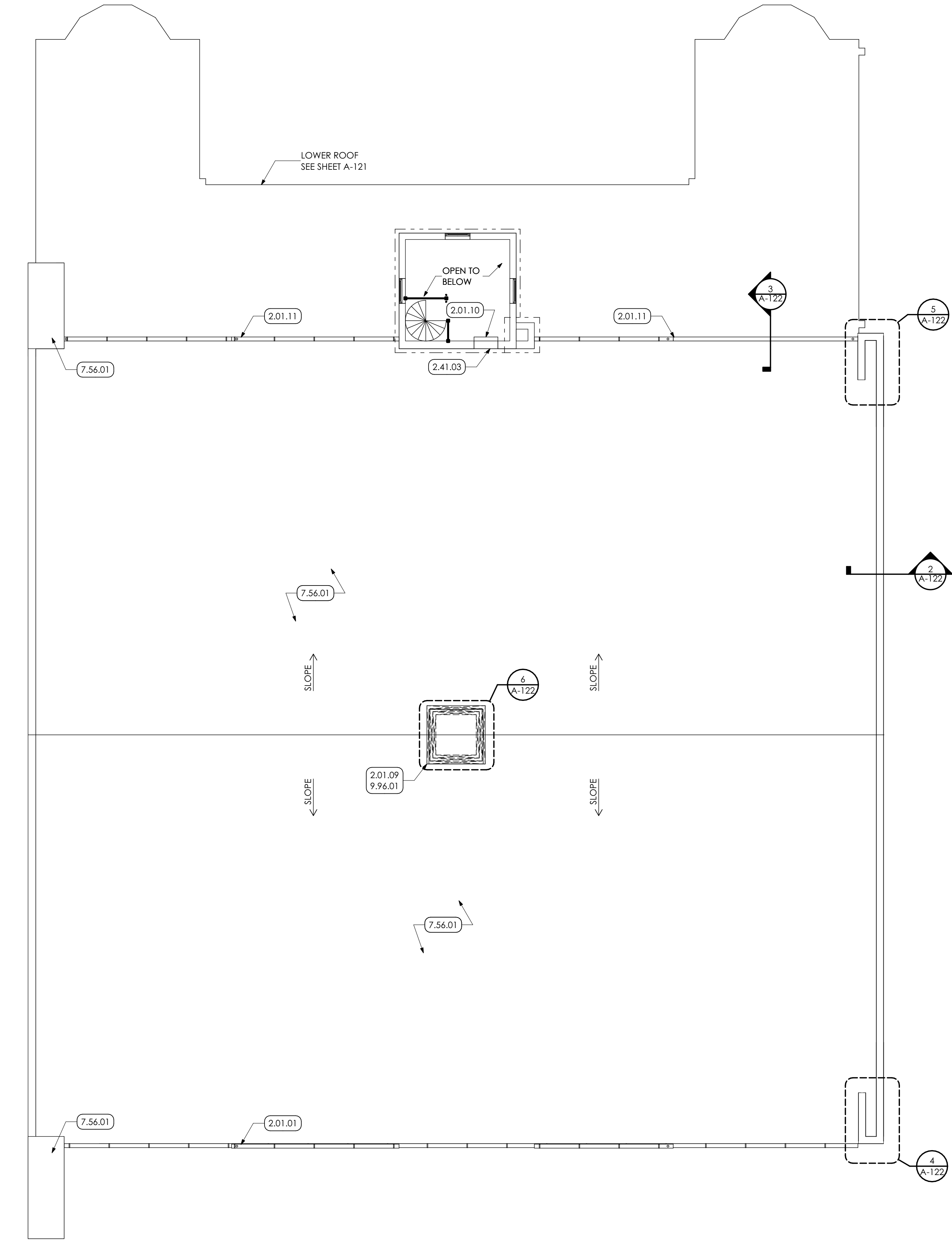
HANGAR 520

SHEET TITLE:

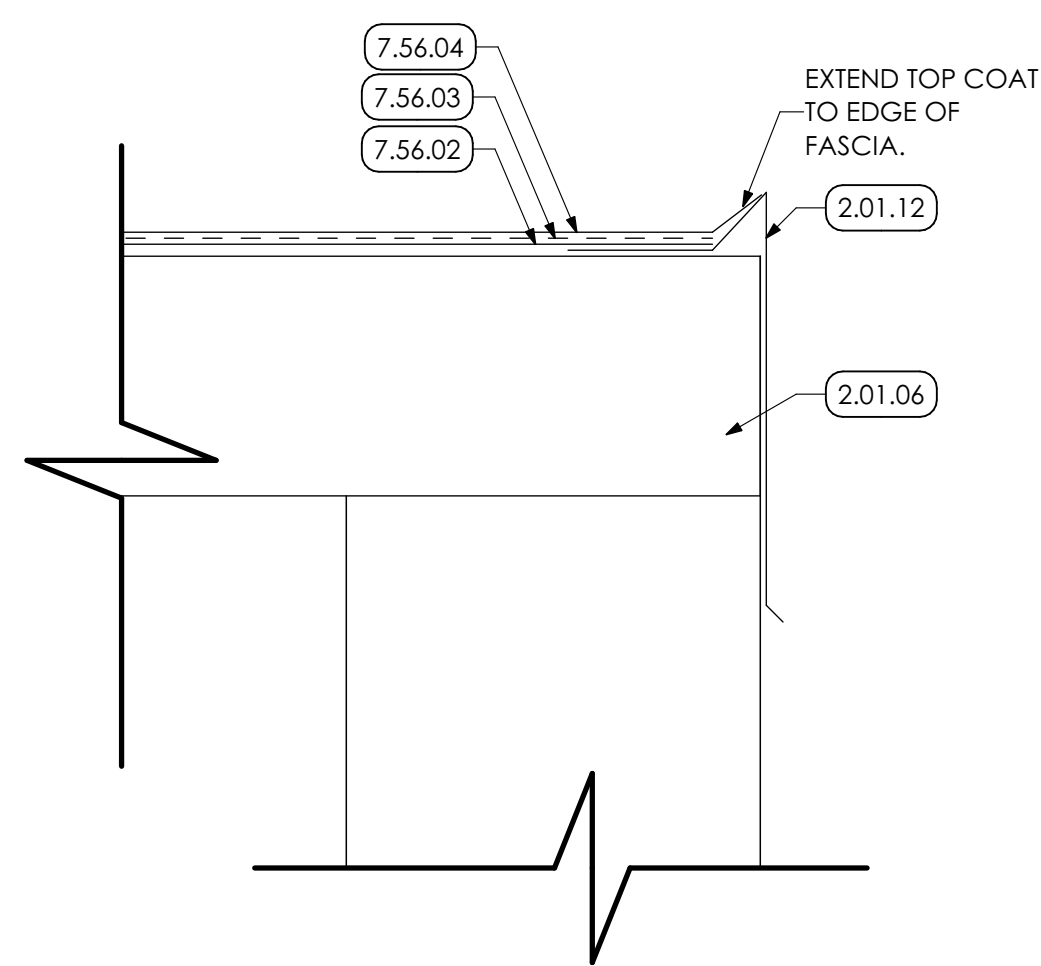
LOWER ROOF
PLAN & DETAILS

A-121

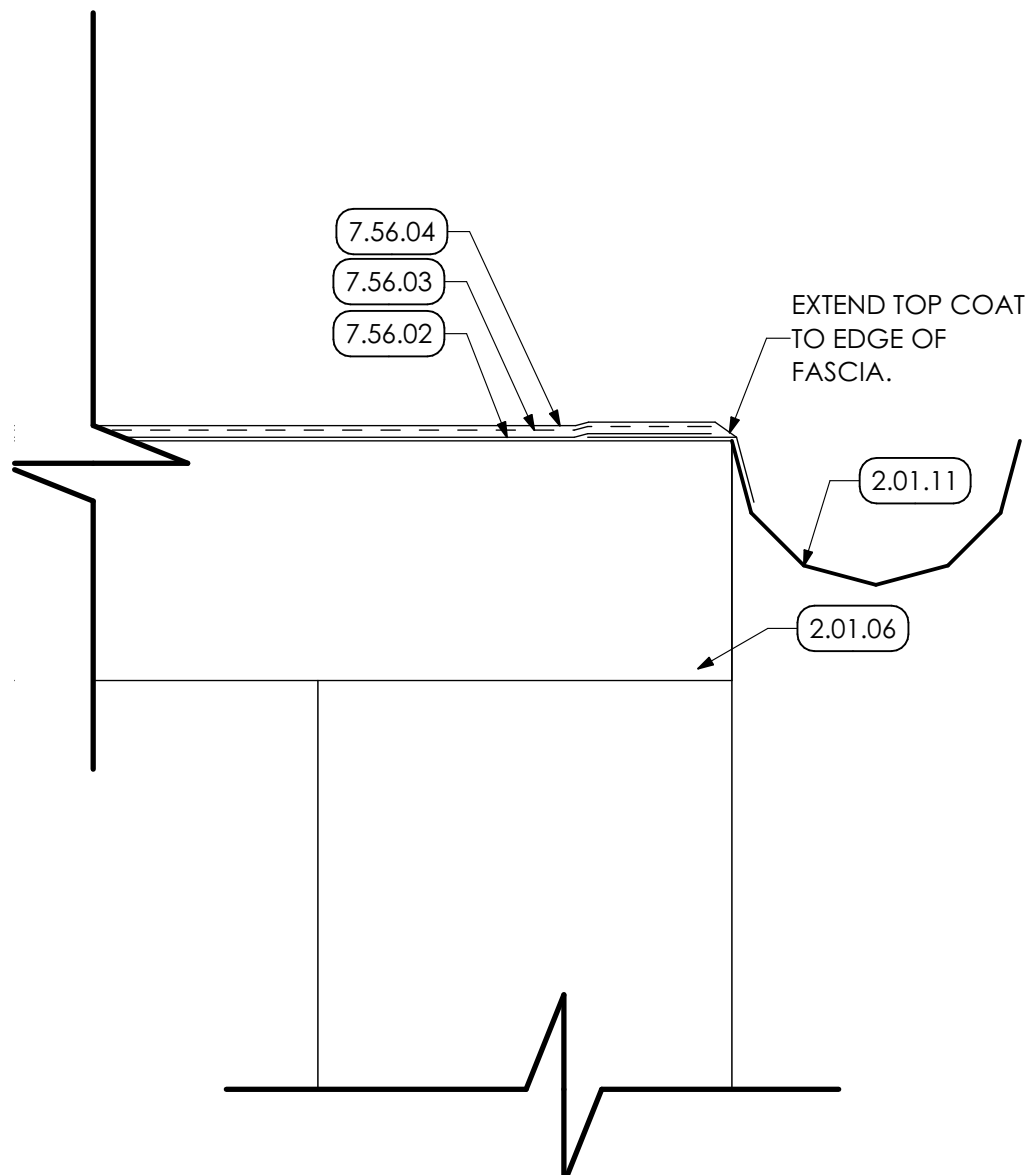
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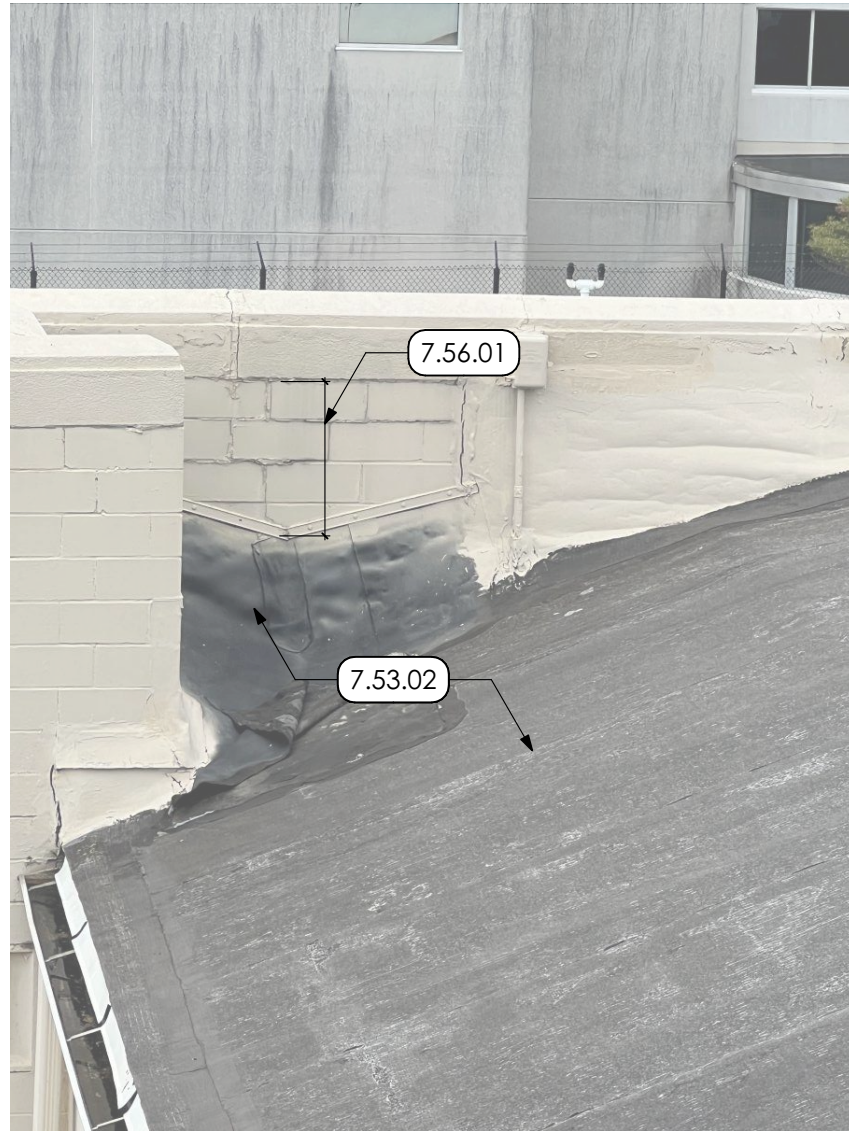
1 UPPER ROOF PLAN
SCALE: 1/8" = 1'-0"



2 ROOF EDGE DETAIL
SCALE: 3" = 1'-0"



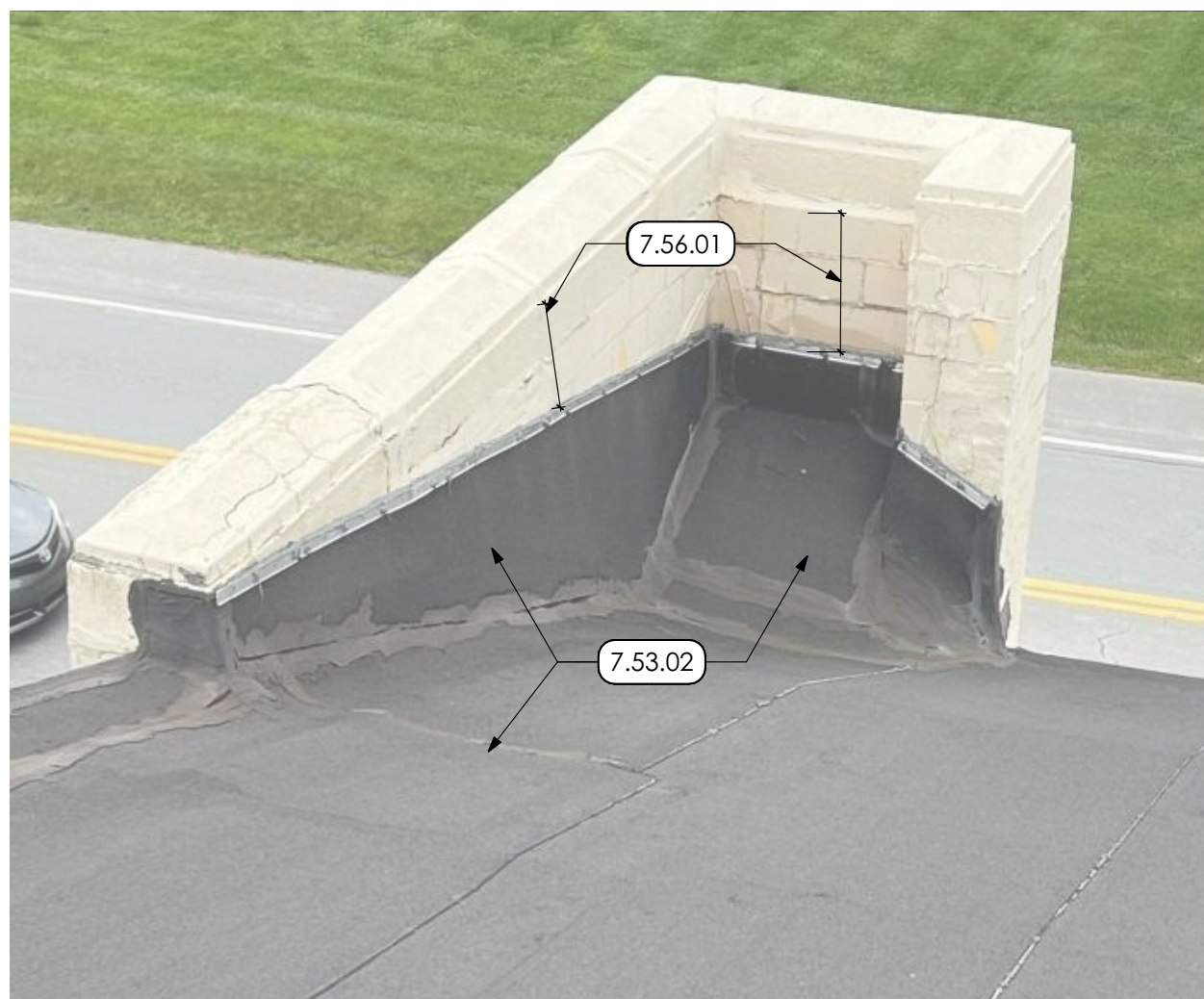
3 ROOF EDGE DETAIL
SCALE: 3" = 1'-0"



4 PHOTO
SCALE: 1" = 5'



5 PHOTO
SCALE: 1" = 5'



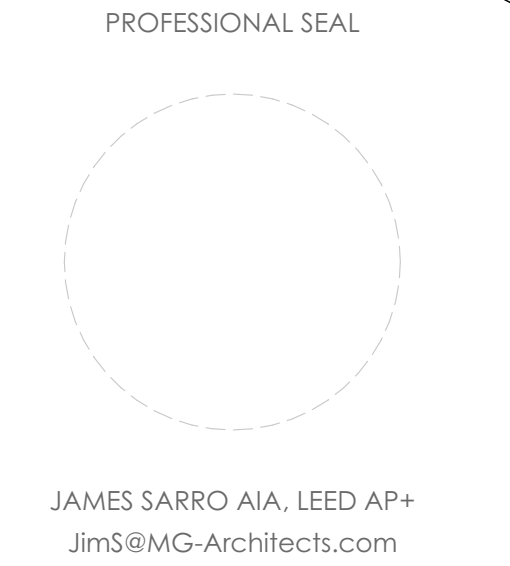
6 PHOTO
SCALE: 1" = 5'

KEYED NOTES

- 02 DEMOLITION**
2.01 EXISTING CONDITIONS
2.01.01 EXISTING DOWNSPOUT TO REMAIN
2.01.06 EXISTING ROOF DECK TO REMAIN
2.01.09 EXISTING SPOTLIGHT STRUCTURE TO REMAIN
2.01.10 EXISTING LADDER TO REMAIN
2.01.11 EXISTING GUTTER TO REMAIN
2.01.12 EXISTING METAL FASCIA TO REMAIN
2.41 SELECTIVE DEMOLITION | SPEC 024119
2.41.03 REMOVE EXISTING PLYWOOD ENCLOSURE AND PROVIDE NEW INSULATED ACCESS PANEL
07 THERMAL AND MOISTURE PROTECTION
7.53 NEW ELASTOMERIC ROOFING | SPEC 075323
7.53.02 TAPERED INSULATION OVER ENTIRE ROOF AREA. SEE TAPERED INSULATION PLAN FOR THICKNESS
7.56 FLUID APPLIED ROOFING | SPEC 075600
7.56.01 ELASTOMERIC COATING SYSTEM ON REINFORCED MEMBRANE ROOF COATING SYSTEM OVER ENTIRE ROOF SYSTEM
7.56.02 ELASTOMERIC BASE COAT
7.56.03 ELASTOMERIC REINFORCING COAT
7.56.04 ELASTOMERIC FINAL COAT
09 FINISHES
9.96 HIGH PERFORMANCE COATINGS | SPEC 099600
9.96.01 PREP AND PAINT (TWO (2) COATS) ENTIRE EXISTING SPOTLIGHT STRUCTURE



PROJECT #:
24-0022



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SHEET SCALE
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BAR IS ONE (1) INCH LONG ON ORIGINAL DRAWING

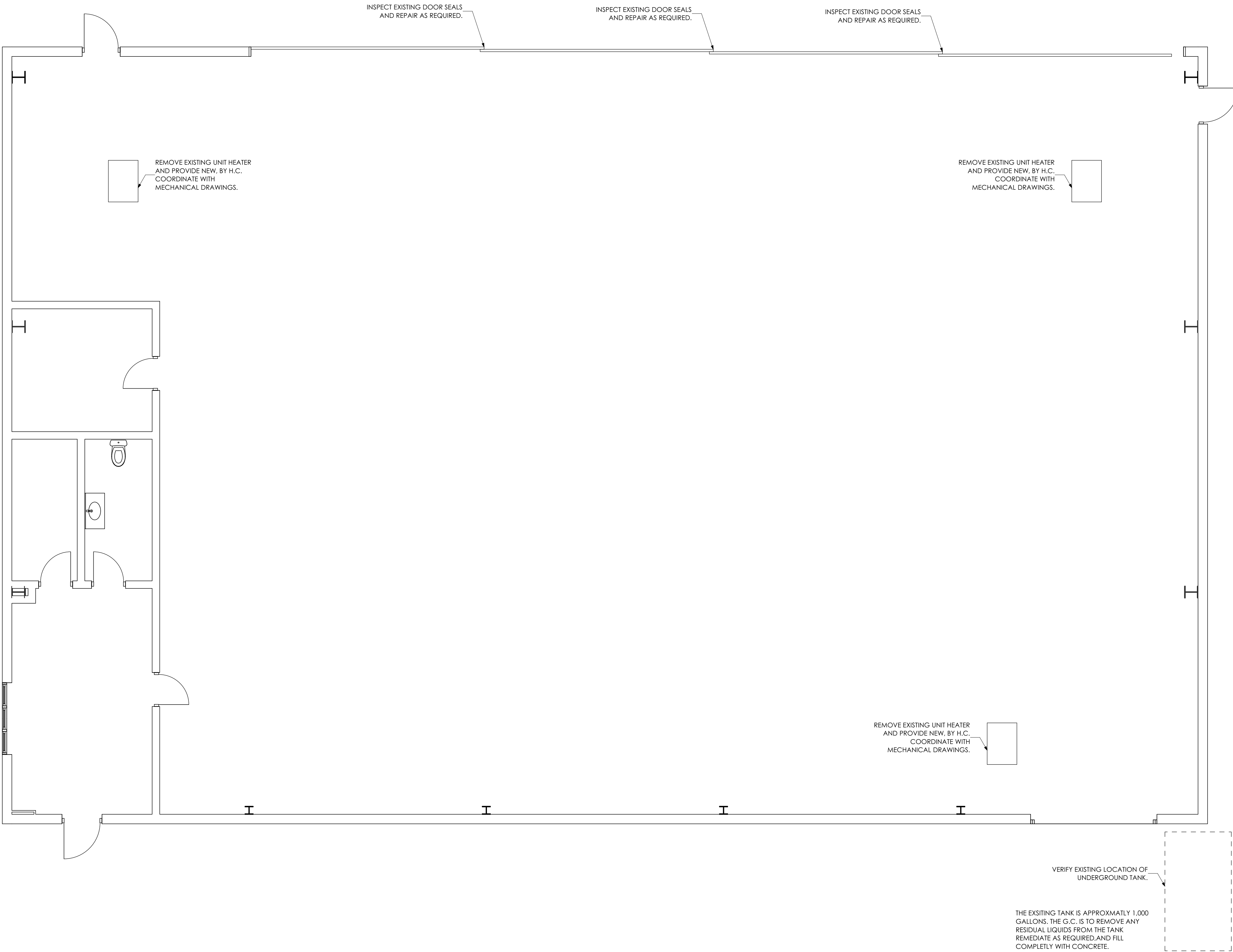
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HANGAR 520

SHEET TITLE:
UPPER ROOF
PLAN

A-122

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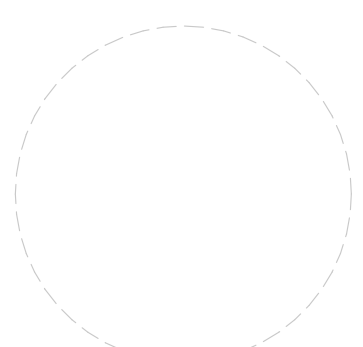
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PROJECT #:
24-0022

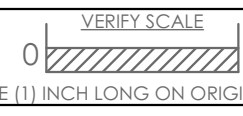
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REVISION HISTORY

ID	DESCRIPTION	DATE
A	BID	7/25/24

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SHEET SCALE

BAR IS ONE (1) INCH LONG ON ORIGINAL DRAWING

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HANGAR 407

SHEET TITLE:
FLOOR PLAN

A-130



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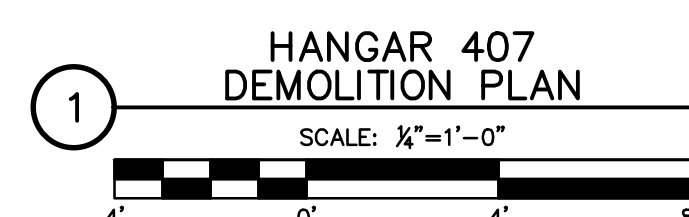
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H-101D



- ① CONTRACTOR SHALL REMOVE EXISTING OIL FIRED UNIT HEATER AND ASSOCIATED ACCESSORIES. CONTRACTOR REMOVE EXISTING FLUE, AND RETAIN EXISTING ROOF OPENING.
- ② CONTRACTOR SHALL REMOVE EXISTING OIL BURNER.
- ③ CONTRACTOR SHALL FIELD LOCATE AND REMOVE ALL EXISTING OIL PIPING UP TO WHERE IT ENTERS THE BUILDING. CONTRACTOR SHALL CAP PIPING WHERE IT ENTERS THE BUILDING.

- (A) DISCONNECT POWER FROM OIL TRANSFER PUMP. REMOVE AND DISPOSE OF DISCONNECT SWITCH, BRANCH CIRCUIT CONDUIT AND WIRE EXISTING TO EXISTING ELECTRICAL PANEL.
- (B) DISCONNECT POWER FROM EXISTING OIL FIRED UNIT HEATER. REMOVE AND DISPOSE OF DISCONNECT SWITCH. RETAIN EXISTING BRANCH CIRCUIT WIRING FOR CONNECTION TO NEW GAS FIRED UNIT HEATER.
- (C) CONTRACTOR SHALL FIELD LOCATE AND REMOVE ALL EXISTING OIL PIPING UP TO WHERE IT ENTERS THE BUILDING. CONTRACTOR SHALL CAP PIPING WHERE IT ENTERS THE BUILDING.