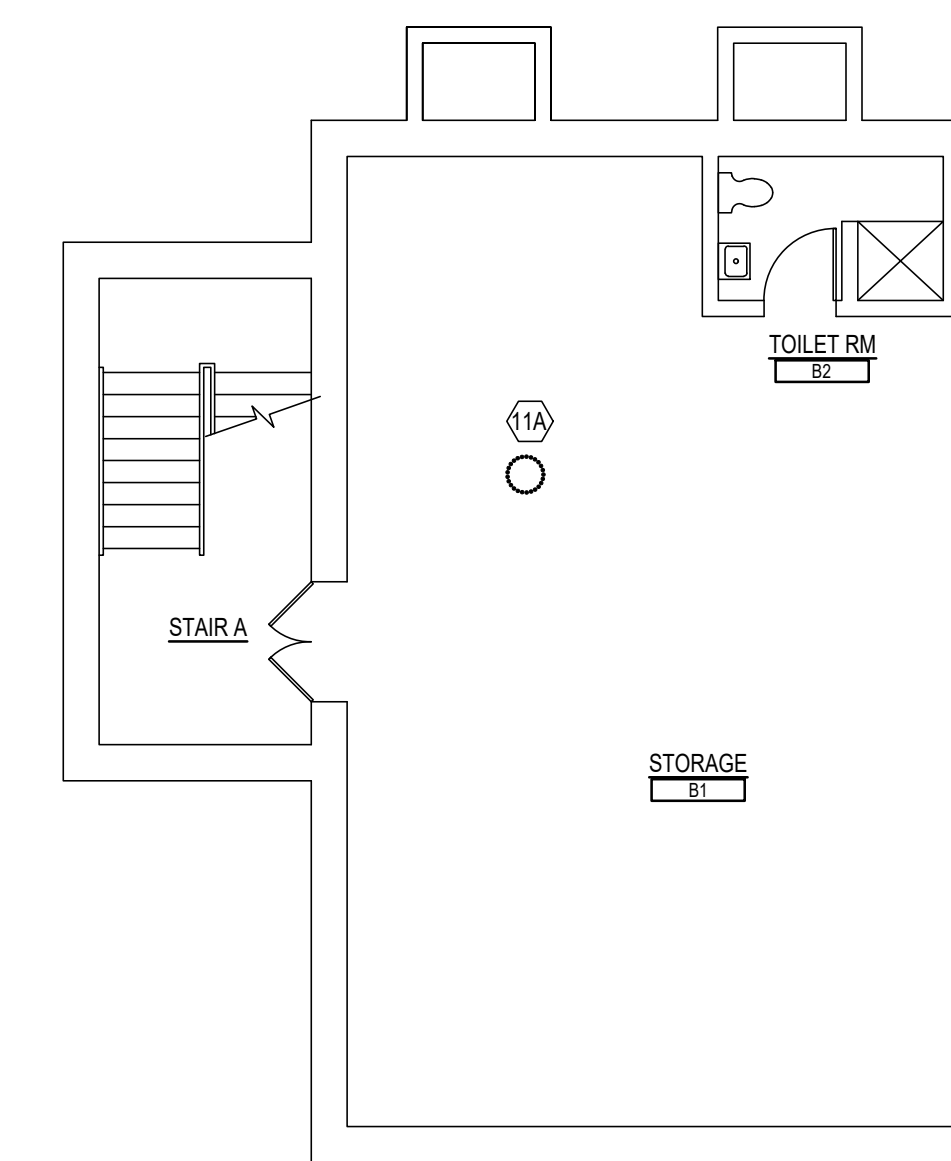
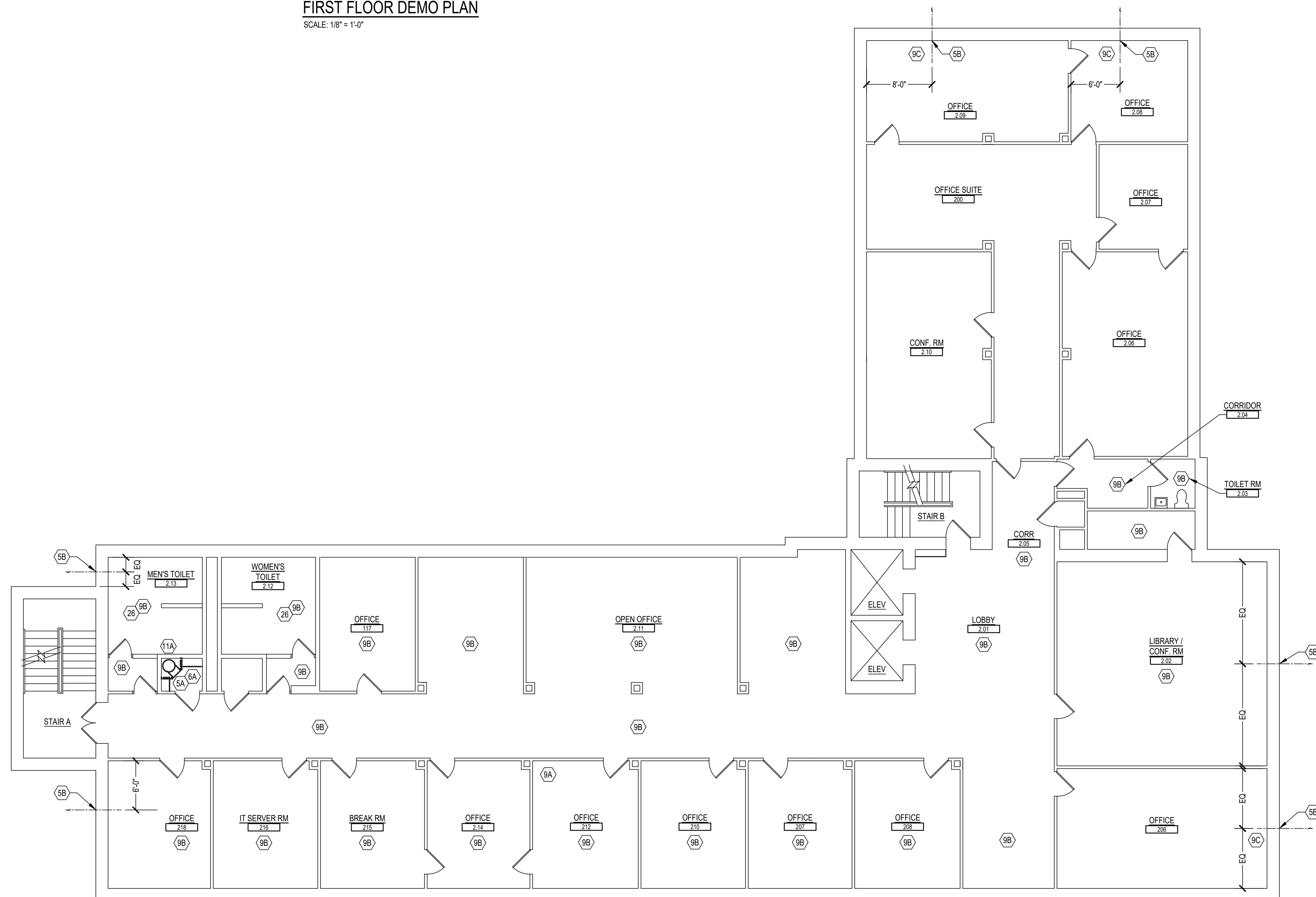


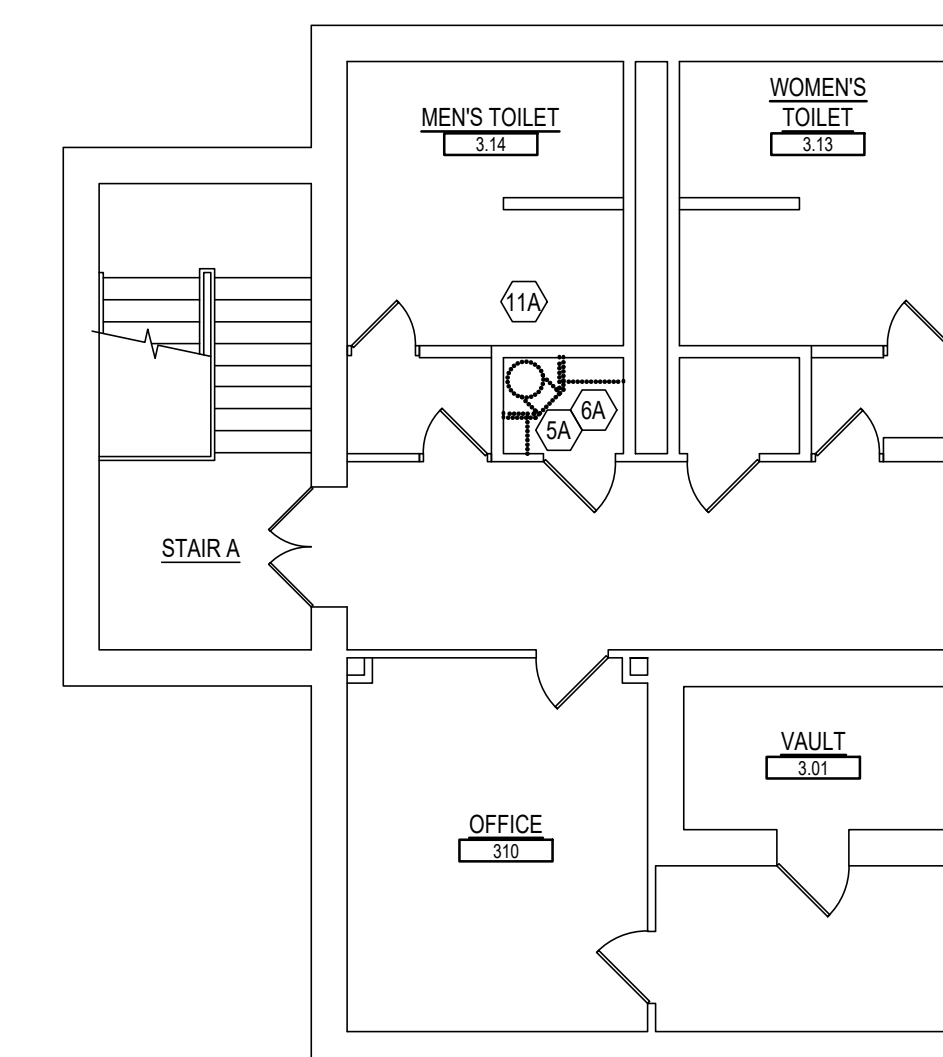
FIRST FLOOR DEMO PLAN
SCALE: 1/8" = 1'-0"



PARTIAL BASEMENT DEMO PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR DEMO PLAN
SCALE: 1/8" = 1'-0"



PARTIAL THIRD FLOOR DEMO PLAN
SCALE: 1/8" = 1'-0"

- DEMOLITION NOTES:**
- "G.C. SHALL COORDINATE DEMOLITION WITH ALL CONTRACTORS"
 "ALL DEMOLITION INDICATED ON THIS SHEET SHALL BE PERFORMED BY THE G.C. UNLESS OTHERWISE NOTED"
- (4A) REMOVE EXISTING GLAZED MASONRY WALL
 - (4B) REMOVE PORTION OF EXISTING WALL FOR NEW DOOR AND LINTEL
 - (5A) REMOVE EXISTING SHAFT WALL AND ALL ASSOCIATED COMPONENTS
 - (5B) REMOVE PORTION OF WALL FOR NEW LOUVER - COORD. WITH MECHANICAL FOR LOCATION AND ROUGH OPENING
 - (6A) REMOVE ALL EXISTING SHELVING IN CLOSET
 - (6B) REMOVE EXISTING WOOD SHELF AND STEEL BRACKET
 - (6A) REMOVE EXISTING DOOR(S), FRAME(S) AND HARDWARE
 - (6A) REMOVE PORTION OF EXISTING ACOUSTICAL TILE CEILING AS REQUIRED FOR NEW WALL PARTITIONS
 - (9B) REMOVE EXISTING CEILING SYSTEM AND ALL ASSOCIATED COMPONENTS
 - (9C) REMOVE PORTION OF EXISTING CEILING AS REQUIRED FOR BULKHEAD
 - (10A) REMOVE EXISTING TOILET STALLS AND ALL ASSOCIATED COMPONENTS
 - (10B) REMOVE ALL EXISTING TOILET ACCESSORIES. COORDINATE WITH OWNER FOR SALVAGE ITEMS
 - (11A) REMOVE EXISTING TRASH CHUTES AND ALL ASSOCIATED COMPONENTS
 - (22) P.C. DEMO. (REFER TO MEP DEMO. DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFO.)
 - (23) H.C. DEMO. (REFER TO MEP DEMO. DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFO.)
 - (26) E.C. DEMO. (REFER TO MEP DEMO. DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFO.)

- GENERAL DEMOLITION NOTES:**
- "G.C. SHALL COORDINATE DEMOLITION WITH ALL CONTRACTORS"
 "ALL DEMOLITION INDICATED ON THIS SHEET SHALL BE PERFORMED BY THE G.C. UNLESS OTHERWISE NOTED"
- A) DEMOLITION NOTED IS PROVIDED TO FURNISH AN UNDERSTANDING OF THE SCOPE OF WORK REQUIRED AND MAY NOT NECESSARILY BE INCLUSIVE OF ALL DEMOLITION REQUIRED FOR THE INCORPORATION OF NEW WORK. ALL DEMOLITION WORK REQUIRED TO ACCOMMODATE NEW CONSTRUCTION SHALL BE INCLUDED AS PART OF THE CONTRACT. CONTRACTOR SHALL REVIEW ALL CONSTRUCTION DOCUMENTS TO UNDERSTAND THE SCOPE OF DEMOLITION REQUIRED FOR NEW WORK. ALL DEMOLITION SHALL BE COORDINATED WITH ALL CONSTRUCTION DOCUMENTS. REFER TO MEP DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- B) ALL REMAINING SURFACES TO BE EXPOSED AFTER DEMOLITION SHALL BE PATCHED, REPAIRED AND REFINISHED TO MATCH EXISTING ADJACENT FINISH OR NEW CONDITIONS. ALL REMAINING SURFACES TO BE CONCEALED BY NEW WORK SHALL BE PREPARED AS REQUIRED TO RECEIVE NEW WORK. REFER TO SPECIFICATIONS AND PRODUCT REQUIREMENTS FOR SPECIFIC CUTTING AND PATCHING METHODS REQUIRED FOR DEMOLITION WORK.
- C) WHERE EQUIPMENT OR SYSTEMS ARE INDICATED FOR DEMOLITION, ALL PARTS AND ASSEMBLIES OF THE EQUIPMENT OR SYSTEMS SHALL BE REMOVED INCLUDING BLOCKING, SUPPORTS, HANGERS, ETC. REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION FOR MEP DEMOLITION.
- D) CONTRACTORS SHALL REVIEW ALL EXISTING CONDITIONS TO UNDERSTAND THE SCOPE OF THE WORK PRIOR TO SUBMITTING BIDS.
- E) ALL DEMOLITION SHALL BE COORDINATED WITH PROJECT PHASING AND SCHEDULE. THE PROGRESS OF THE WORK SHALL BE CAREFULLY COORDINATED TO ENSURE ALL EXISTING SYSTEMS REMAIN OPERABLE DURING WORK.
- F) LEGALLY DISPOSE OF ALL DEMOLITION DEBRIS OFF-SITE.
- G) CONTRACTOR SHALL PROTECT ALL EXISTING FINISHES, EQUIPMENT, ETC. TO REMAIN. ANY DAMAGE SHALL BE REPAIRED AND RESTORED AT NO COST TO THE OWNER.

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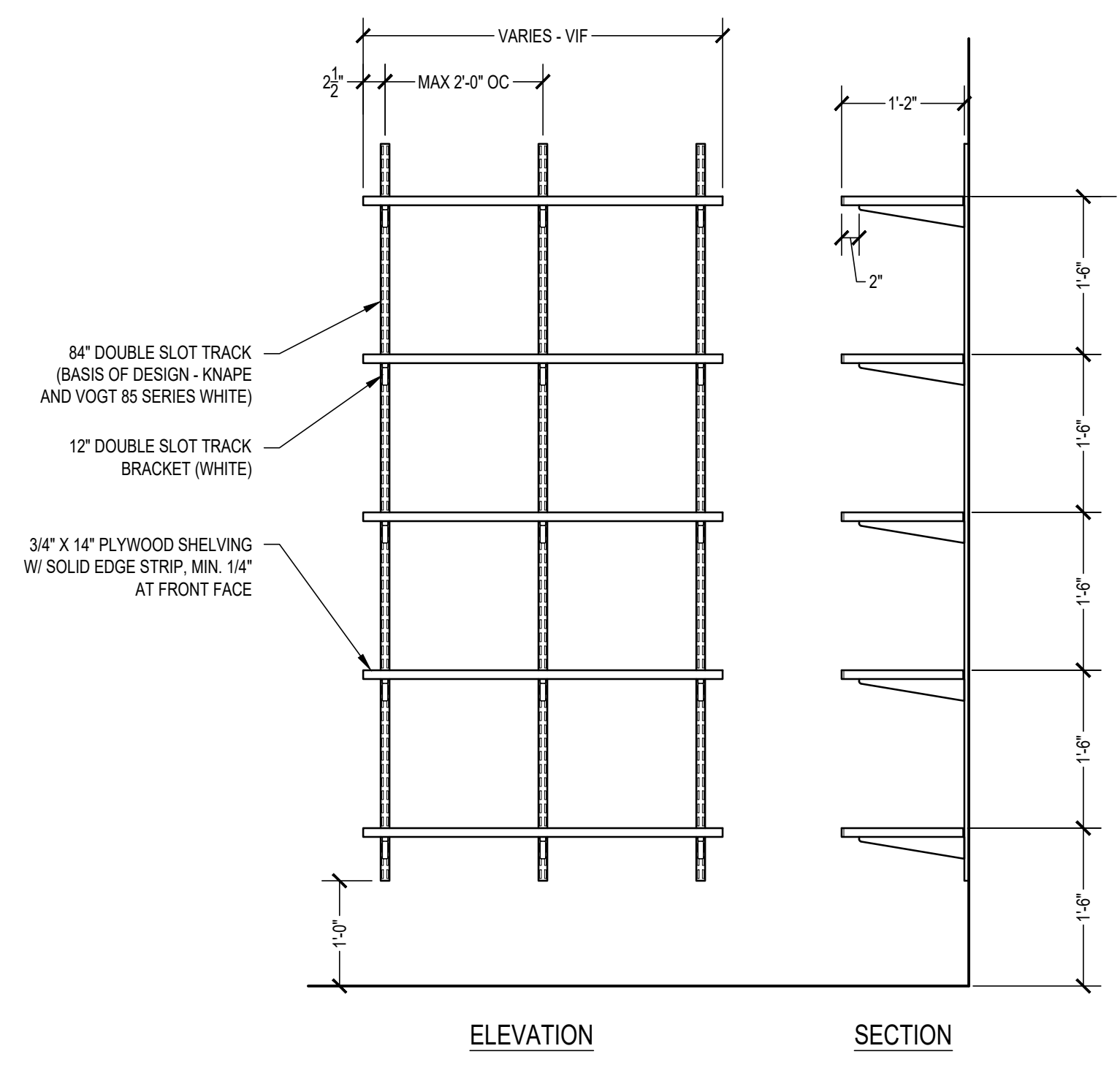
1ST & 2ND FLOOR HVAC AND ELECTRICAL UPGRADES AT THE ADMINISTRATION BUILDING FOR THE READING SCHOOL DISTRICT
 800 WASHINGTON STREET READING PA. 19601

DEMOLITION PLANS

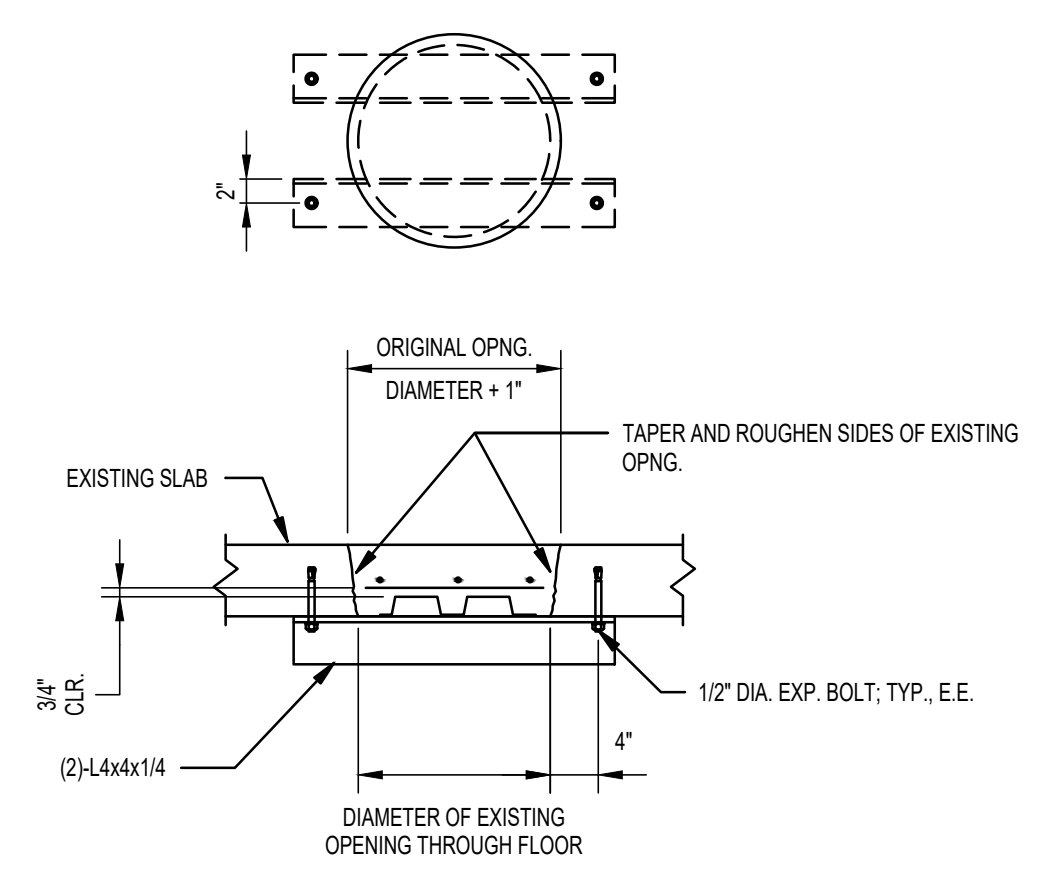
ALL DIMENSIONS and EXISTING CONDITIONS shall be CHECKED and VERIFIED by the CONTRACTOR at the SITE.

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CHECKED	PML
DATE	10-18-2021
SCALE	AS NOTED
JOB NO.	20-2767-2
SHEET	

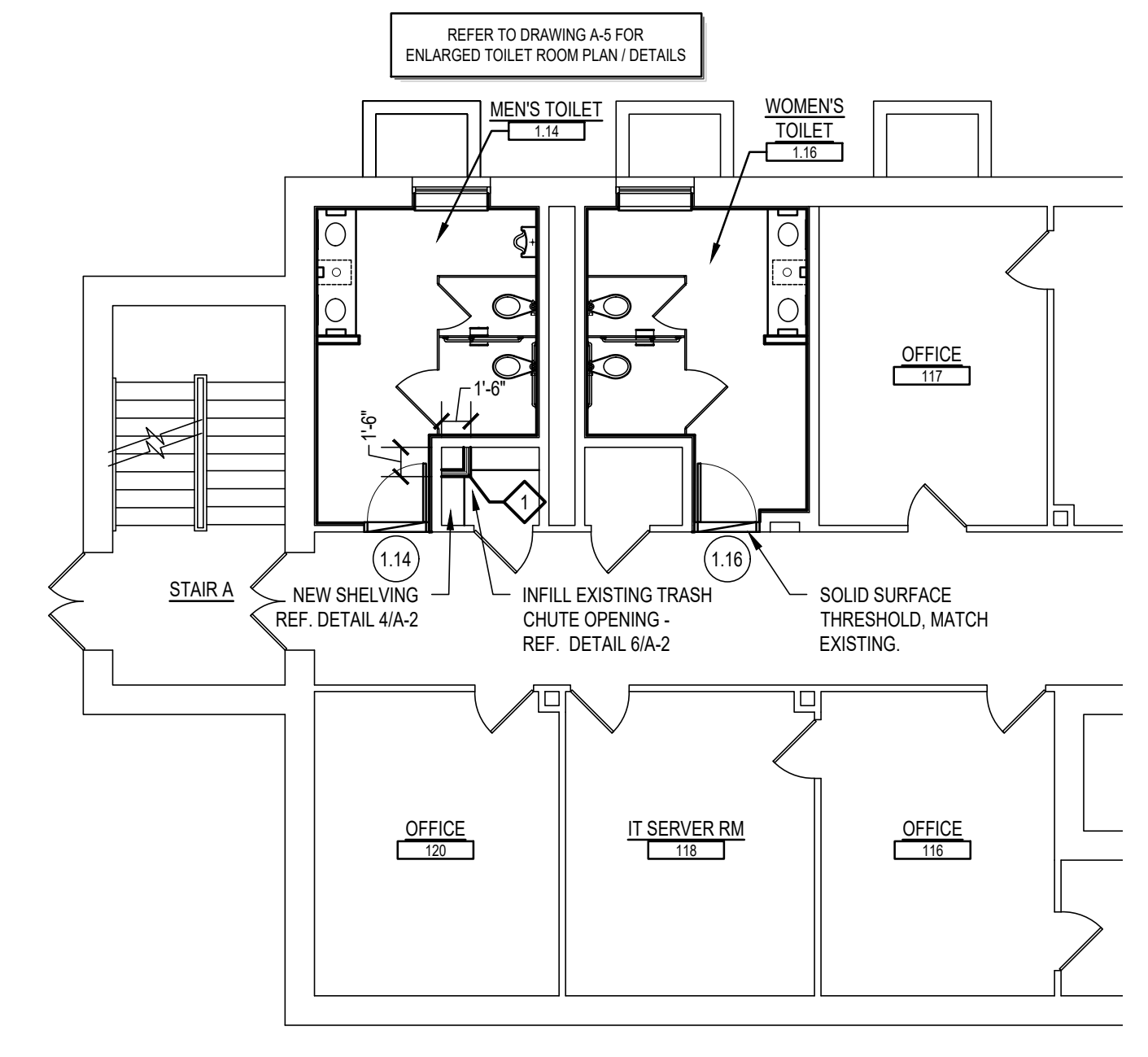
AEM ARCHITECTS INC.
 3705 PERKINMAN AVENUE, READING, PA. 19608-2785
 Phone: 610-779-3220 Fax: 610-779-9022 www.aem-arch.com



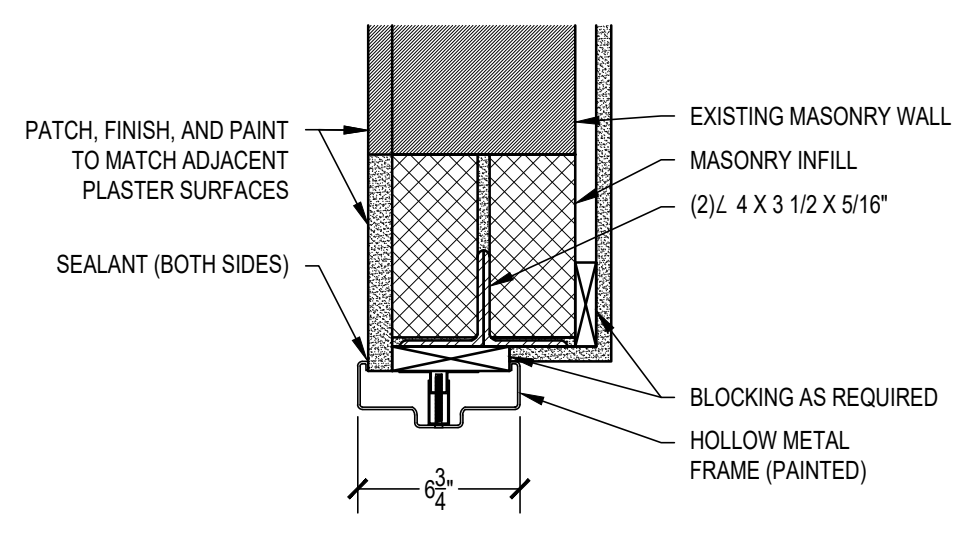
4 TYP SHELVING DETAILS
SCALE: 3/4\"/>



6 SLAB INFILL DETAILS
SCALE: 3/4\"/>



PARTIAL FIRST FLOOR PLAN
SCALE: 1/8\"/>



5 DOOR HEADER DETAIL
SCALE: 1-1/2\"/>

LINTEL SCHEDULE

UNLESS NOTED OTHERWISE PROVIDE ONE ANGLE FOR EACH 4\"/>

WALL OPENING TO 5'-0\"/>

5'-1\"/>

6'-1\"/>

LARGER THAN 8'-0\"/>

FOR 6\"/>

WALL OPENING TO 6'-0\"/>

6'-1\"/>

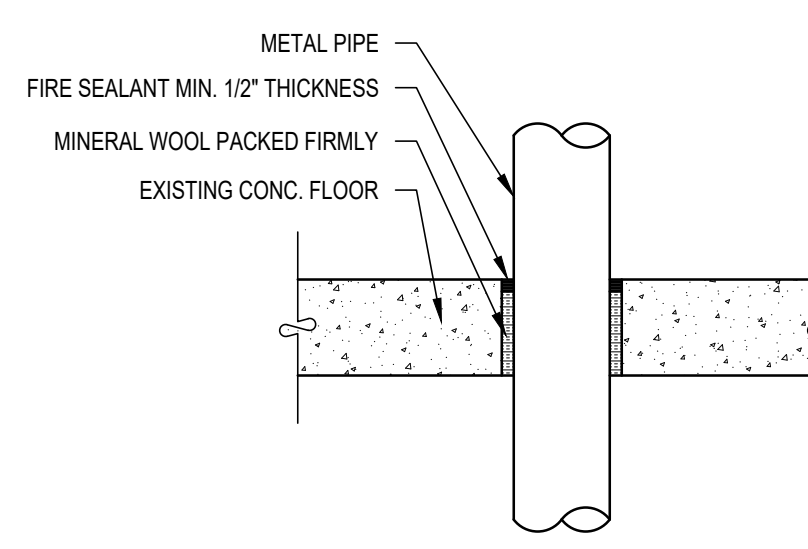
6'-1\"/>

1. PROVIDE MINIMUM 8\"/>

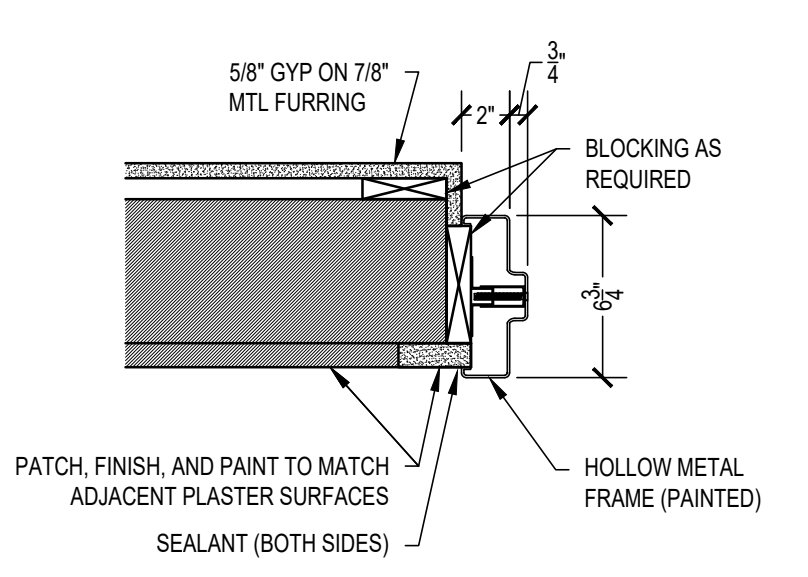
2. WHERE STEEL COL. EXISTS @ END, CONNECT LINTEL TO STL. COL.

3. FOR OPENINGS IN CONC. WALLS SEE TYP. DET.

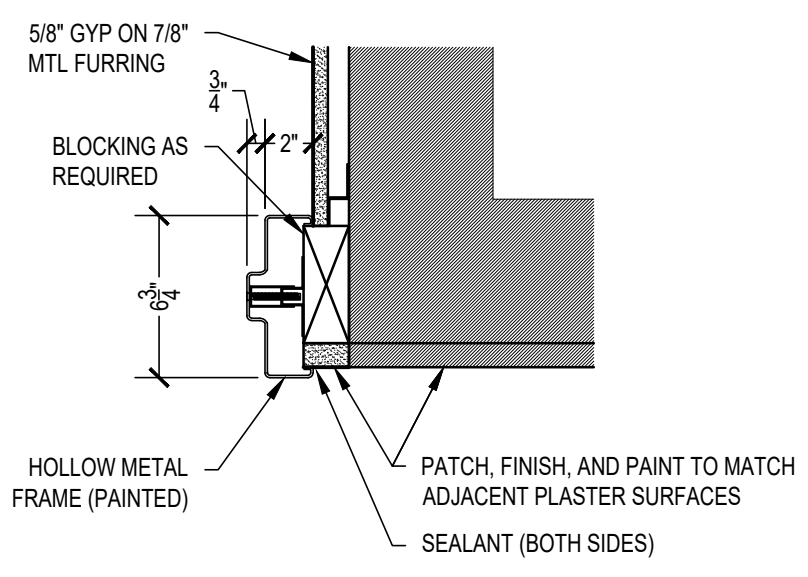
4. STEEL ASTM A36 / A36M



3 TYP THRU PENETRATION SEALING DETAIL
SCALE: 1-1/2\"/>



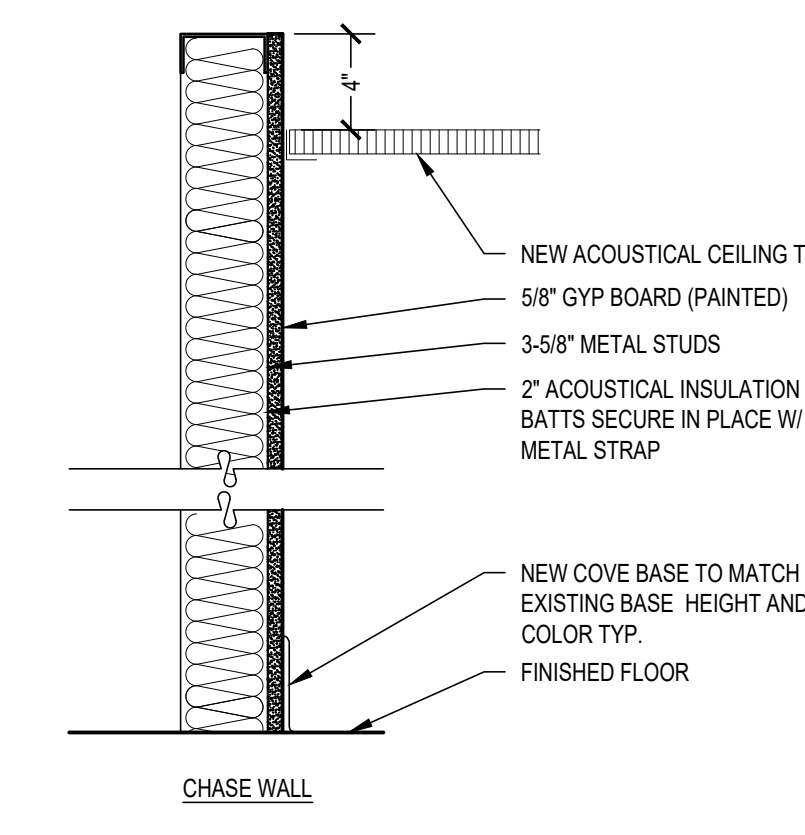
7 DOOR JAMB DETAIL
SCALE: 1-1/2\"/>



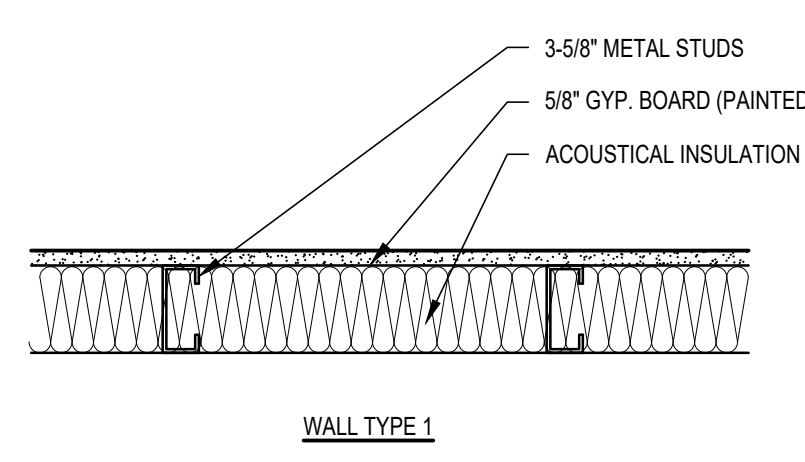
8 DOOR JAMB DETAIL
SCALE: 1-1/2\"/>

DOOR SCHEDULE																		
DOOR NUMBER	DOOR			SIZE			FRAME			REMARKS								
	TYPE	MATERIAL	GLASS	FINISH	WIDTH	HEIGHT	THICKNESS	TYPE	MATERIAL		GLASS	FINISH						
1.14	F	WD	I	FS	3'-0"	7'-0" (V.I.F.)	1-3/4"	HM-1	HM	I	P	7.8.9	S.P.T.	1	3/4"	1	1	1.14
1.16	F	WD	I	FS	3'-0"	7'-0" (V.I.F.)	1-3/4"	HM-1	HM	I	P	7.8.9	S.P.T.	1	3/4"	1	1	1.16

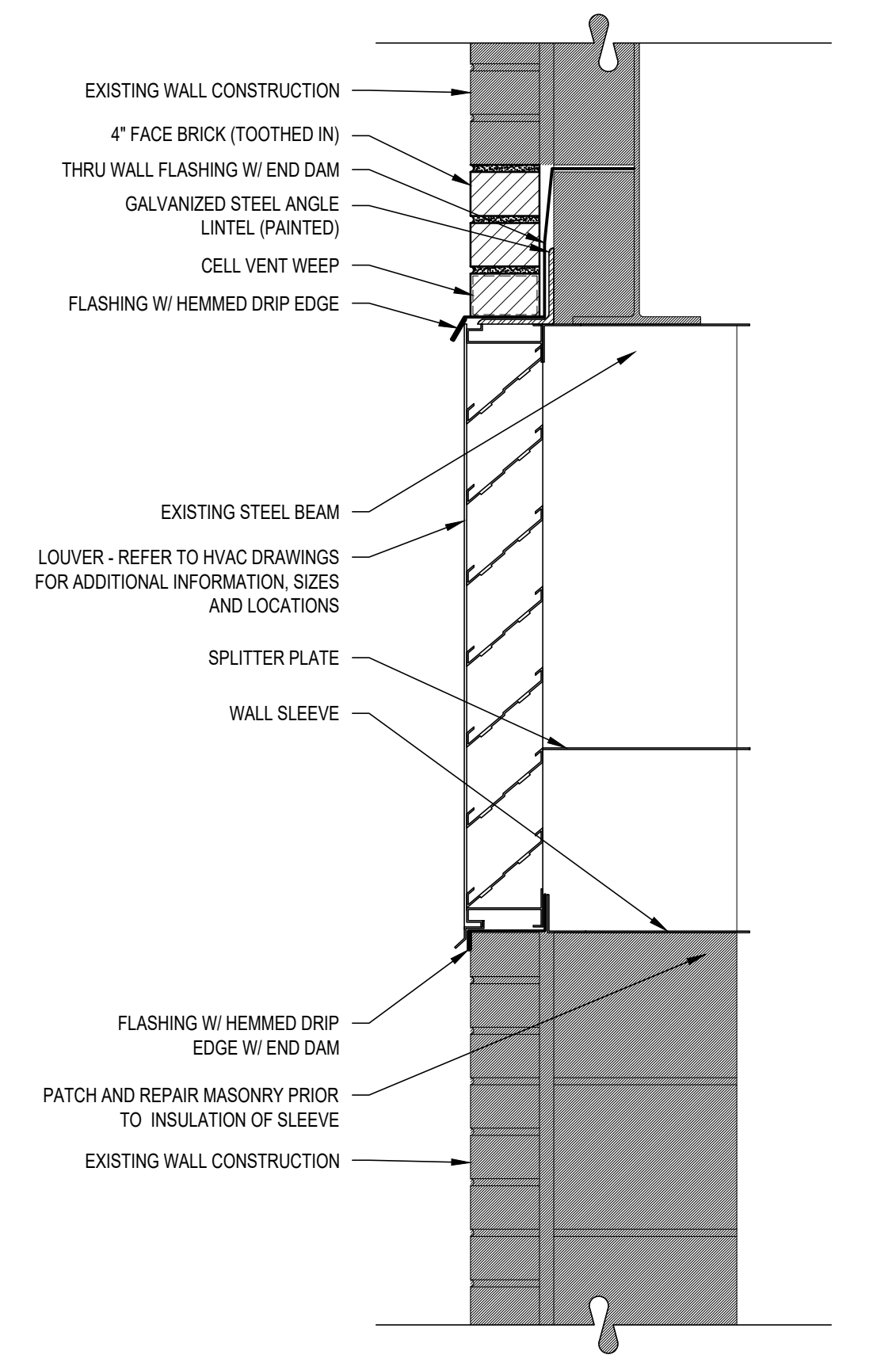
DOOR HARDWARE SCHEDULE											
SET	QTY	MFR	CAT NO.	FINISH	REMARKS						
SET 1											
HINGES	3	MCKINNEY	T443386	US32D							
CLOSER	1 EA	SARGENT	351 X TB W/ P10 ARM	EN							
PUSH PLATE	1	ROCKWOOD	NO. 70 RC	US32DMS	W/ TORX SECURITY FASTENERS						
FULL	3	ROCKWOOD	89F7	US32DMS	W/ TORX SECURITY FASTENERS						
WALL STOP	1 EA	ROCKWOOD	402	US32D	MOUNT ON SOLID BLOCKING						
KICK PLATE	1 EA	ROCKWOOD	K1050 (TEK)	US32D	6" X DR WIDTH						



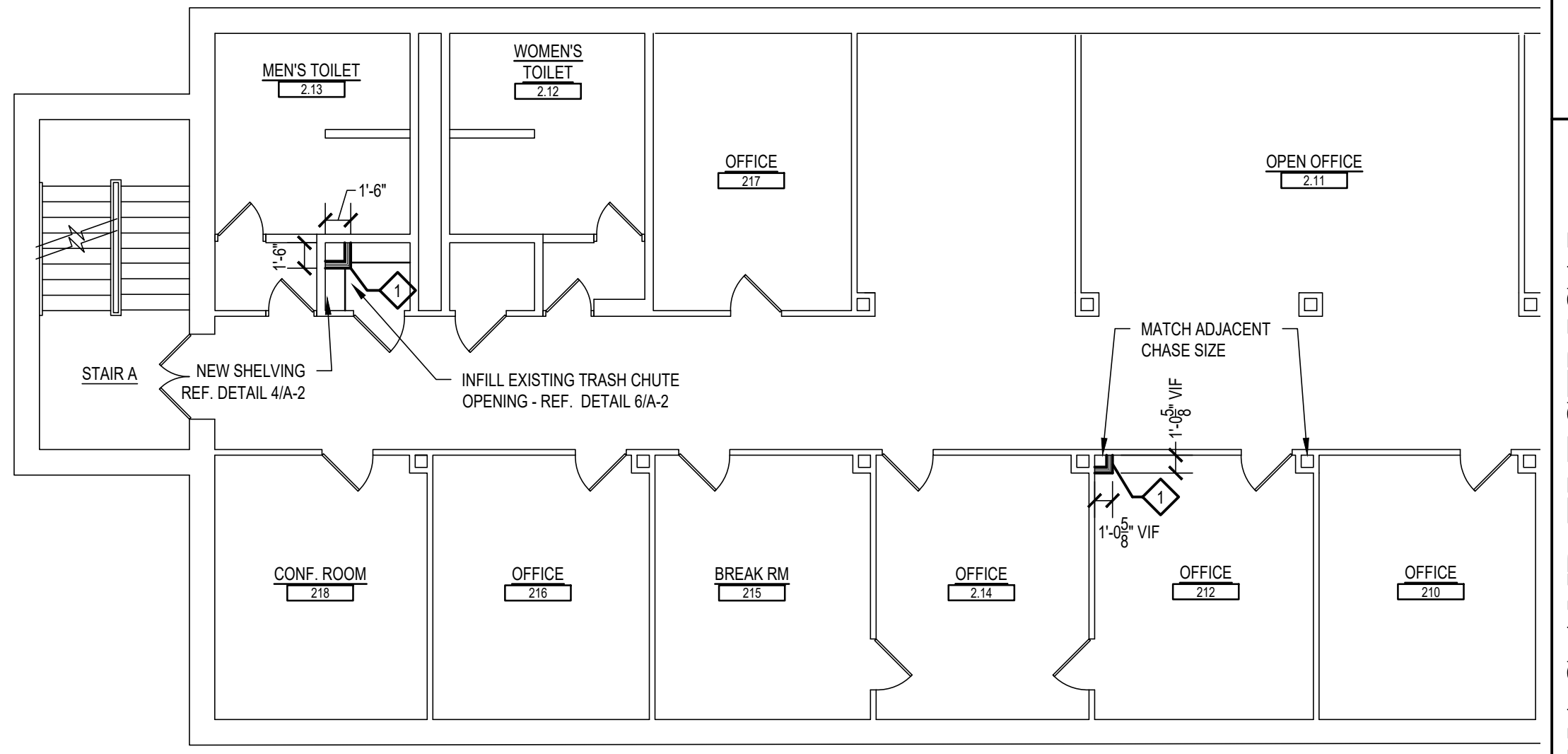
2 TYP WALL DETAILS AT CEILING
SCALE: 1-1/2\"/>



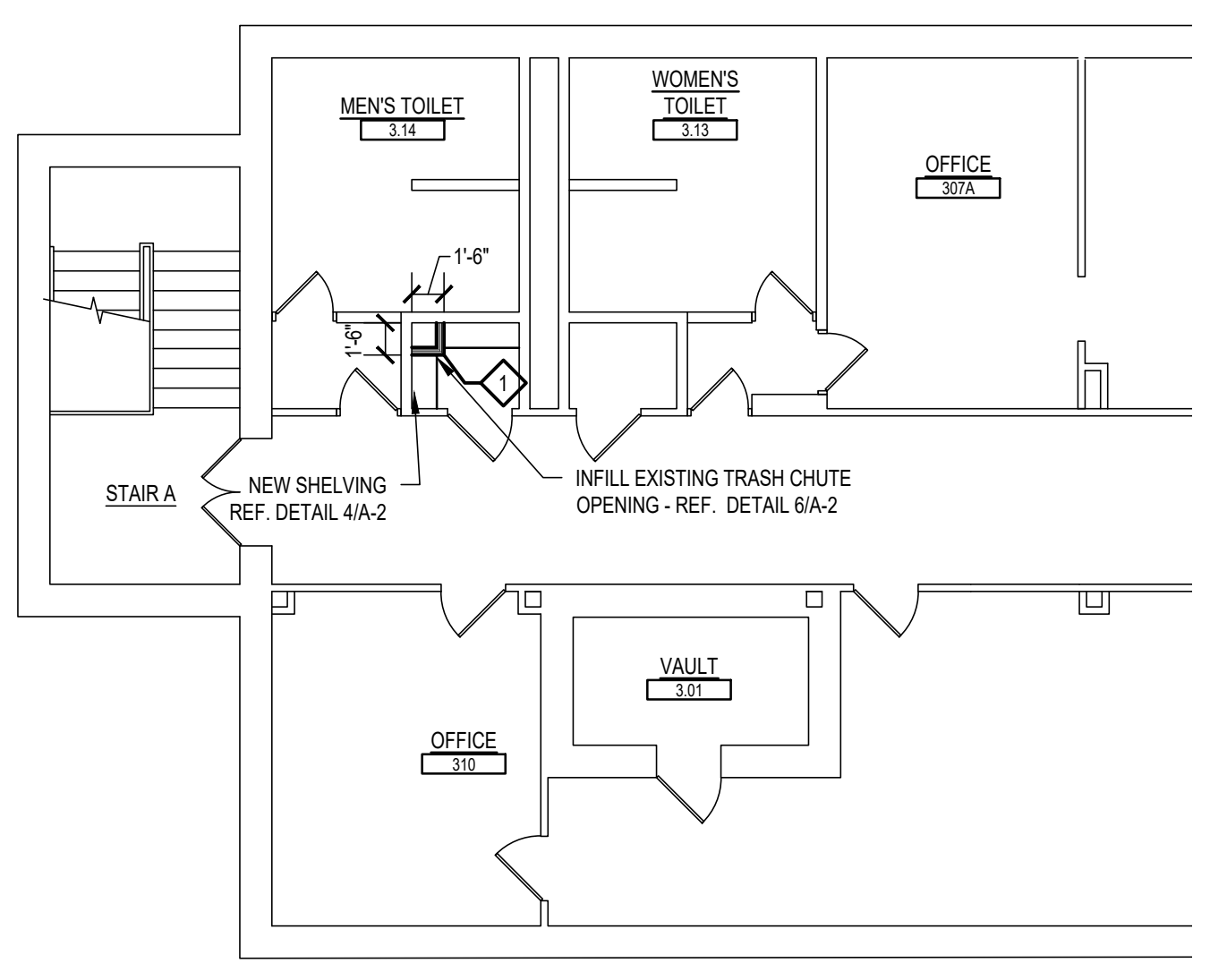
1 WALL TYPE DETAILS
SCALE: 1-1/2\"/>



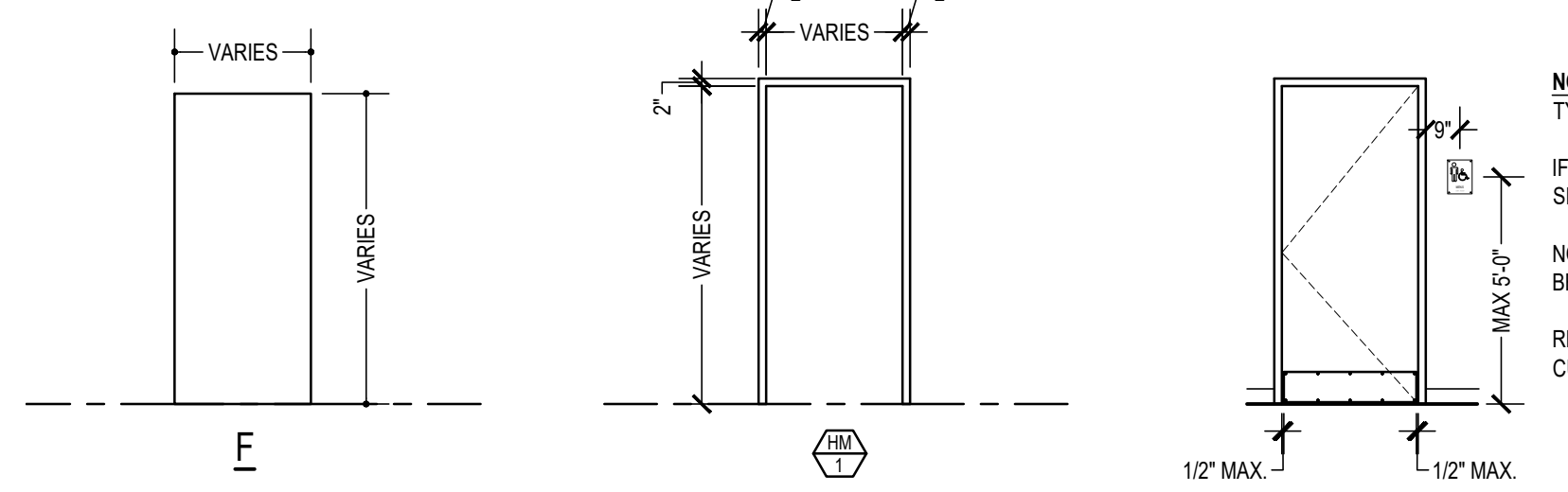
5 EXTERIOR WALL LOUVER INSTALLATION DETAIL
SCALE: 1-1/2\"/>



PARTIAL SECOND FLOOR PLAN
SCALE: 1/8\"/>



PARTIAL THIRD FLOOR PLAN
SCALE: 1/8\"/>



DOOR TYPES SCALE: 1/4\"/>

FRAME TYPES SCALE: 1/4\"/>

7 TACTILE SIGN LOCATION ELEVATION
SCALE: 1/4\"/>

SIGNAGE NOTES:

MINIMUM SIGN WIDTH SHALL BE AS INDICATED. ON SIGNS WHERE TEXT WILL REQUIRE A LONGER SIGN, SIGN LENGTH SHALL BE INCREASED IN ONE INCH INCREMENTS AS REQUIRED TO FIT TEXT.

WHERE A TACTILE SIGN IS PROVIDED AT A DOOR, THE SIGN SHALL BE MOUNTED ON THE LATCH SIDE, WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH TWO ACTIVE LEAVES, THE SIGN SHALL BE LOCATED ON THE INACTIVE LEAF. WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH TWO ACTIVE LEAVES, THE SIGN SHALL BE TO THE RIGHT OF THE RIGHT-HAND DOOR, WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE OF A SINGLE DOOR, OR TO THE RIGHT SIDE OF DOUBLE DOORS, SIGNS SHALL BE ON THE NEAREST ADJACENT WALL. SIGNS CONTAINING TACTILE CHARACTERS SHALL BE LOCATED SO THAT A CLEAR FLOOR AREA OF 18\"/>

EXCEPTION: SIGNS WITH TACTILE CHARACTERS SHALL BE PERMITTED ON THE PUSH SIDE OF DOORS WITH CLOSERS AND WITHOUT HOLD-OPEN DEVICES.

SIGN MANUFACTURER SHALL BE RESPONSIBLE TO ENSURE THAT BRAILLE TRANSLATION IS ACCURATE.

CONTRACTOR SHALL REVIEW SIGN LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION. ANY SIGN LOCATED WITHOUT PREVIOUS REVIEW WITH THE ARCHITECT SHALL BE MOVED AS DIRECTED BY THE ARCHITECT AT NO ADDITIONAL COST.

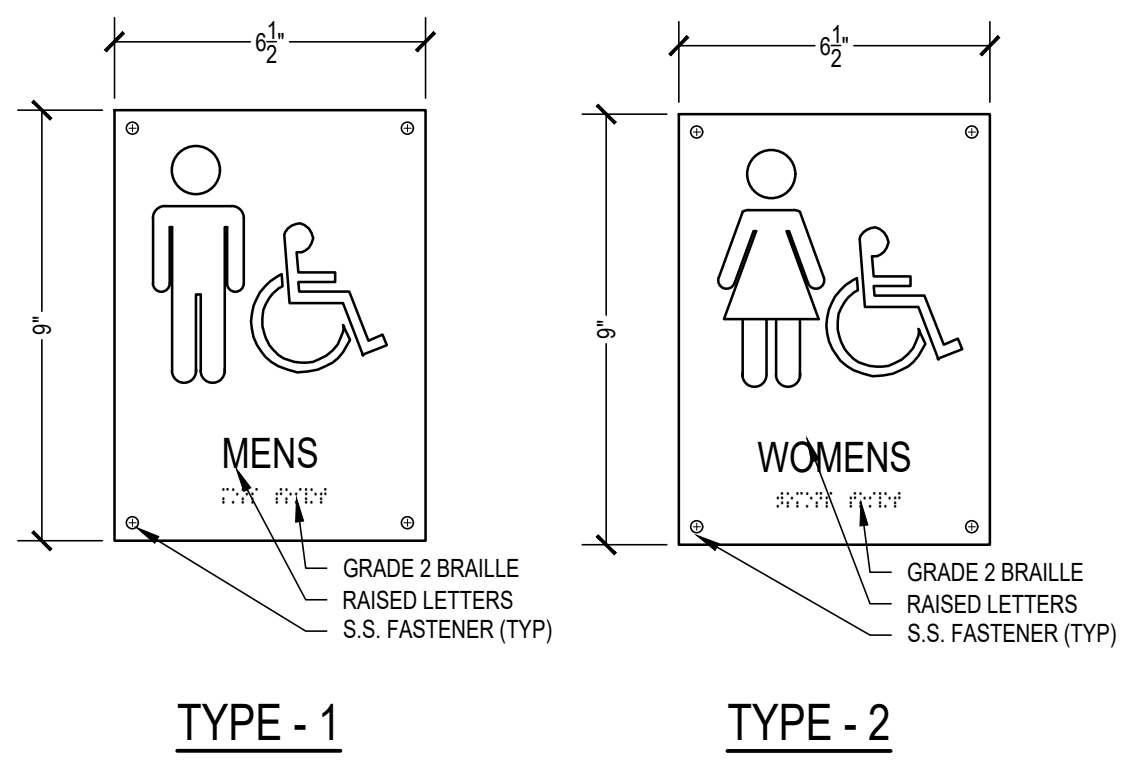
ALL EXTERIOR SIGNS SHALL BE FACTORY DRILLED TO ACCEPT STAINLESS STEEL PAN-HEAD TORX FASTENERS AS DESIGNED. THE HOLES SHALL BE POSITIONED SO AS NOT TO INTERFERE WITH ANY OF THE SIGN SYMBOLS OR TEXT AFTER THE SCREWS ARE INSTALLED.

THE INSTALLER SHALL VERIFY THE SUBSTRATE TO WHICH THE SIGN SHALL BE INSTALLED. SHIELDS SHALL USE FOR MASONRY INSTALLATION, TOGGLES FOR GYPSUM BOARD INSTALLATION.

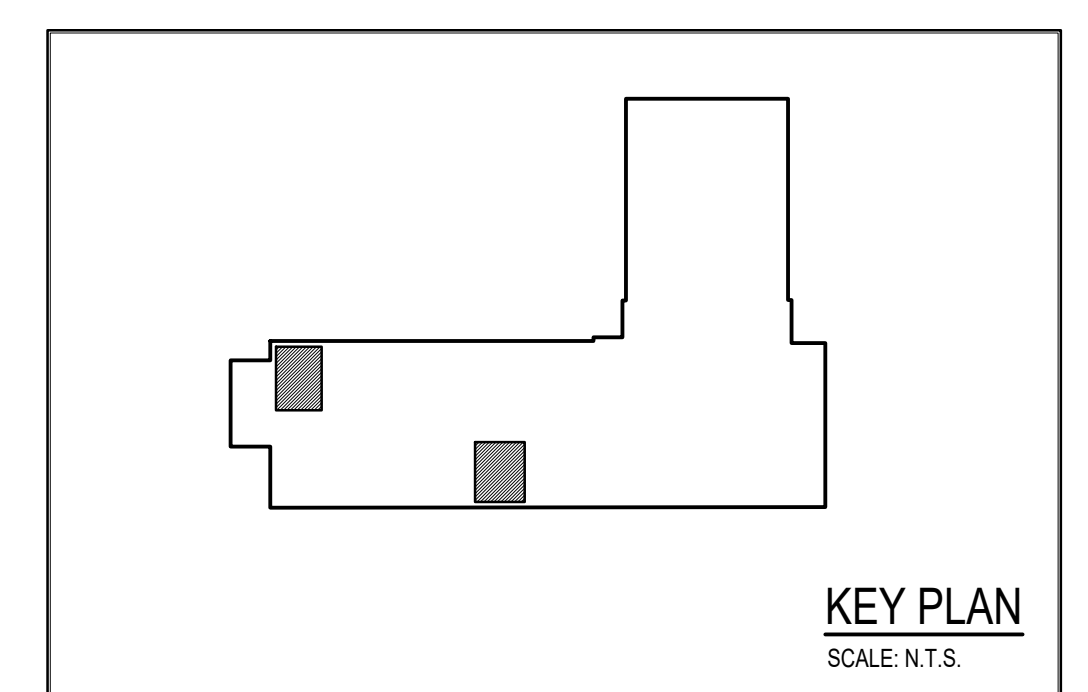
SIGNS UP TO 11\"/>

SIGNS FROM 12\"/>

ADDITIONAL 6\"/>



INTERIOR SIGN TYPES SCALE: 3\"/>



KEY PLAN SCALE: N.T.S.

AEI ARCHITECTS INC.
3705 PERKINUM AVENUE, READING, PA 19608-2785
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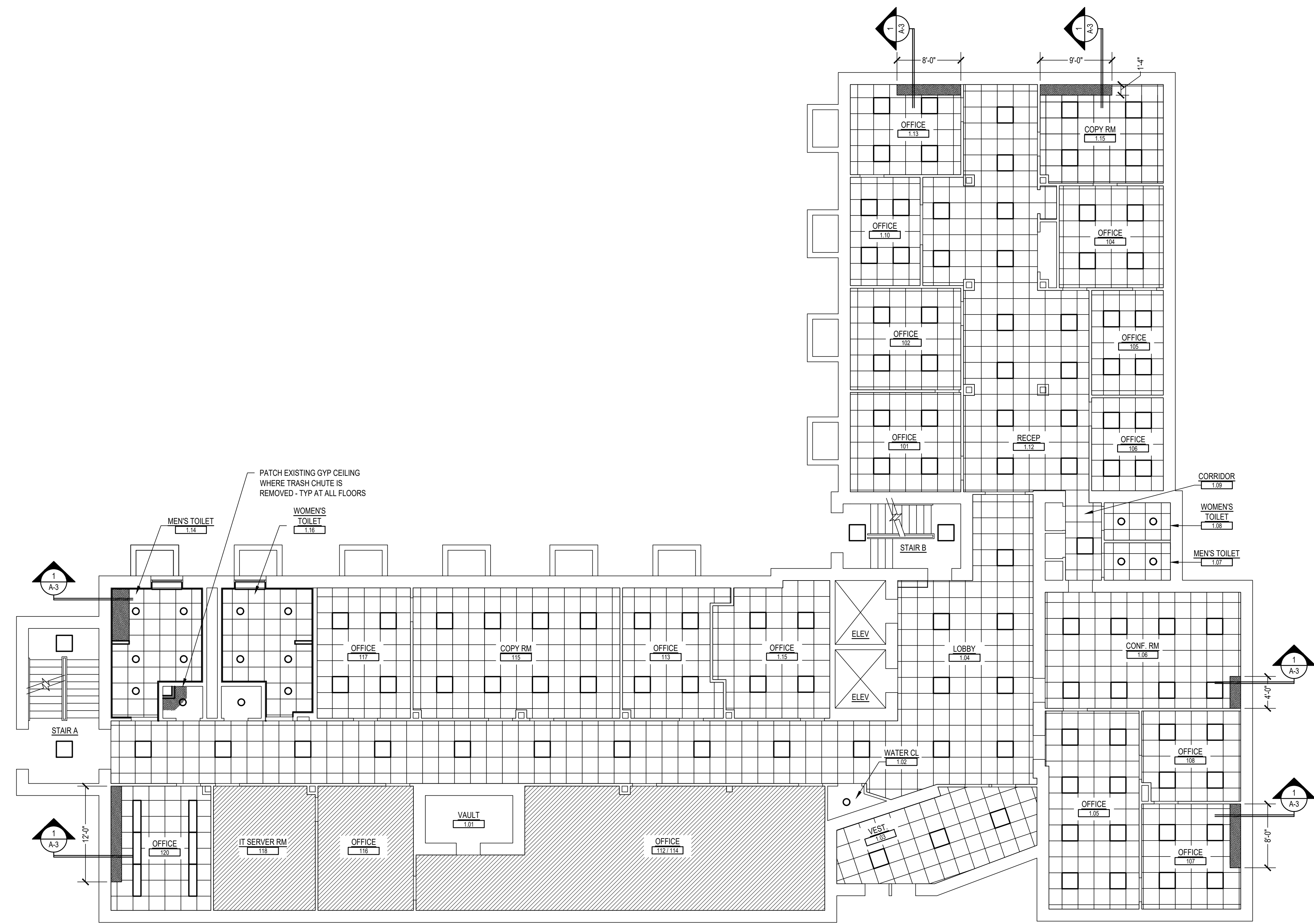
CONSOLIDATED ENGINEERS
1023 James Drive
Leopold, PA 19533
Tel: 610.916.1600 Fax: 610.916.0101
Internet: www.ceec.com

1ST & 2ND FLOOR HVAC AND ELECTRICAL UPGRADES AT THE ADMINISTRATION BUILDING FOR THE READING SCHOOL DISTRICT
800 WASHINGTON STREET READING PA. 19601

PARTIAL FLOOR PLANS

ALL DIMENSIONS AND EXISTING CONDITIONS shall be CHECKED and VERIFIED by the CONTRACTOR at the SITE.

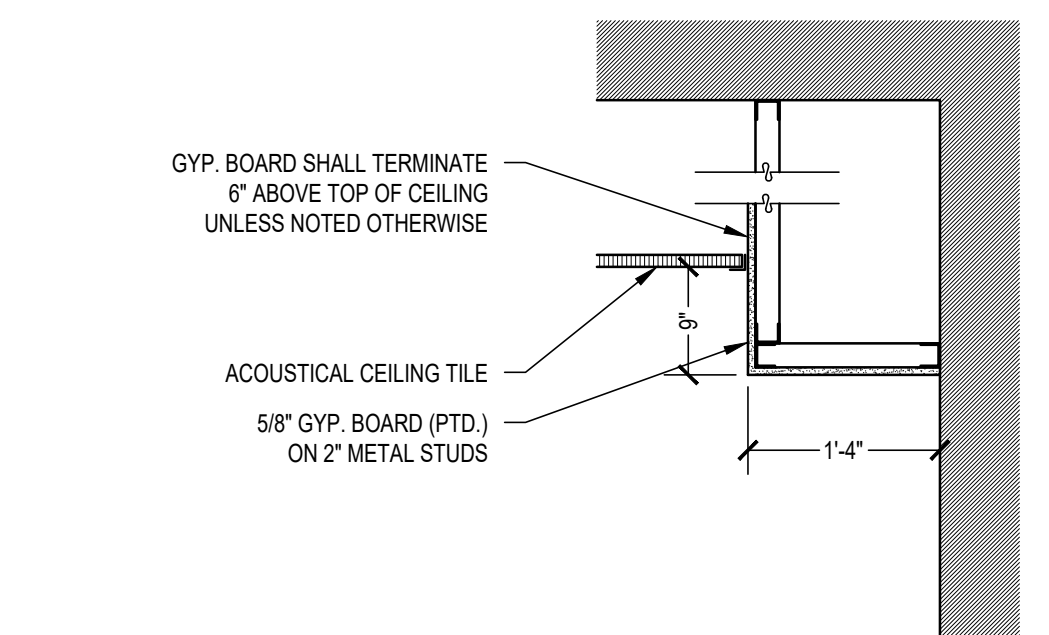
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CHECKED: PML
DATE: 10-18-2021
SCALE: AS NOTED
JOB NO.: 20-2767-2
SHEET: A-2



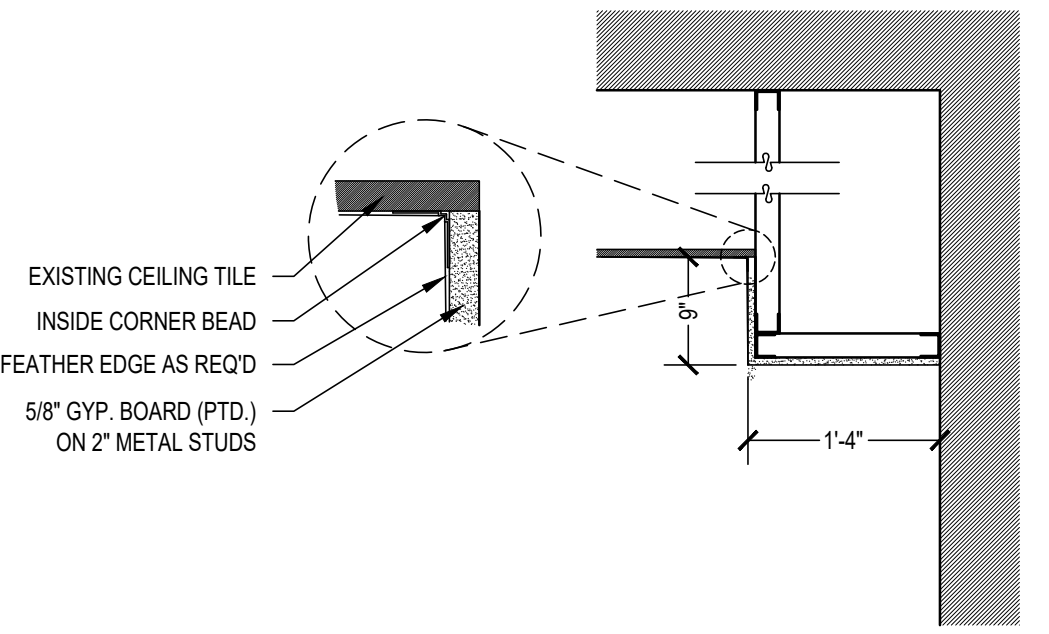
FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

CEILING TYPE LEGEND	
SYMBOL	DESCRIPTION
[Grid Pattern]	2' X 2' ACOUSTICAL CEILING TILE
[Solid Grey]	GYP CEILING
[Dotted]	EXPOSED STRUCTURE (PTD.)
[Hatched]	EXISTING CEILING TO REMAIN (PTD.)

NOTES:
 1. REPAIR (PROVIDE NEW CEILING TILE, GRID, SUPPORTS, ETC.) ALL EXISTING CEILINGS WHERE DEMOUNTABLE PARTITION IS REMOVED - REFER TO DEMO PLAN FOR LOCATION WHERE DEMOUNTABLE PARTITIONS ARE BEING DEMOLISHED
 2. CEILING LAYOUT SHALL BE ADJUSTED TO ACCOMMODATE LIGHTING LAYOUT TO BE PROVIDED BY EC DURING CONSTRUCTION



1 TYPICAL BULKHEAD DETAIL - AT NEW A.C.T.
SCALE: 3/4" = 1'-0"



2 TYPICAL BULKHEAD DETAIL - AT EXISTING GYP
SCALE: 3/4" = 1'-0"

REVISIONS	BY

CONSOLIDATED ENGINEERS
 1023 James Drive
 Leesport, PA 19533
 Tel: 610-916-1600 Fax: 610-916-6101
 Internet: www.ceec.com

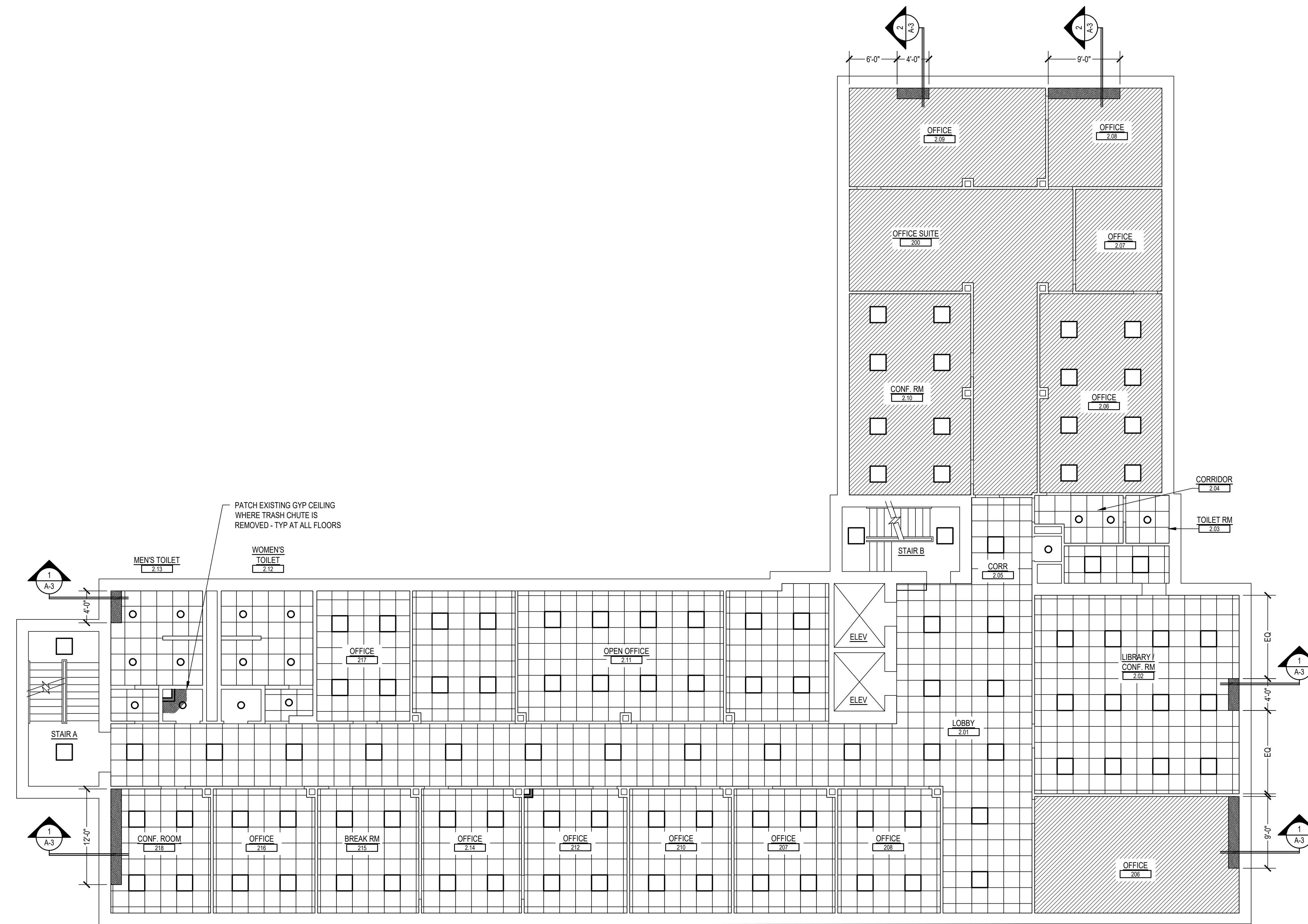
1ST & 2ND FLOOR HVAC AND ELECTRICAL UPGRADES AT THE ADMINISTRATION BUILDING FOR THE READING SCHOOL DISTRICT
 800 WASHINGTON STREET READING PA. 19601

FIRST FLOOR REFLECTED CEILING PLAN

ALL DIMENSIONS and EXISTING CONDITIONS shall be CHECKED and VERIFIED by the CONTRACTOR at the SITE.

DRAWN	KDN
CHECKED	PML
DATE	10-18-2021
SCALE	AS NOTED
JOB NO.	20-2767-2
SHEET	

A-3



SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

CEILING TYPE LEGEND	
SYMBOL	DESCRIPTION
	2 X 2' ACOUSTICAL CEILING TILE
	GYP CEILING
	EXPOSED STRUCTURE (PTD.)
	EXISTING CEILING TO REMAIN (PTD.)

NOTES:

- REPAIR (PROVIDE NEW CEILING TILE, GRID, SUPPORTS, ETC.) ALL EXISTING CEILINGS WHERE DEMOUNTABLE PARTITION IS REMOVED - REFER TO DEMO PLAN FOR LOCATION WHERE DEMOUNTABLE PARTITIONS ARE BEING DEMOLISHED.
- CEILING LAYOUT SHALL BE ADJUSTED TO ACCOMMODATE LIGHTING LAYOUT TO BE PROVIDED BY EC DURING CONSTRUCTION.

REVISIONS	BY

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Leopold, PA 15533
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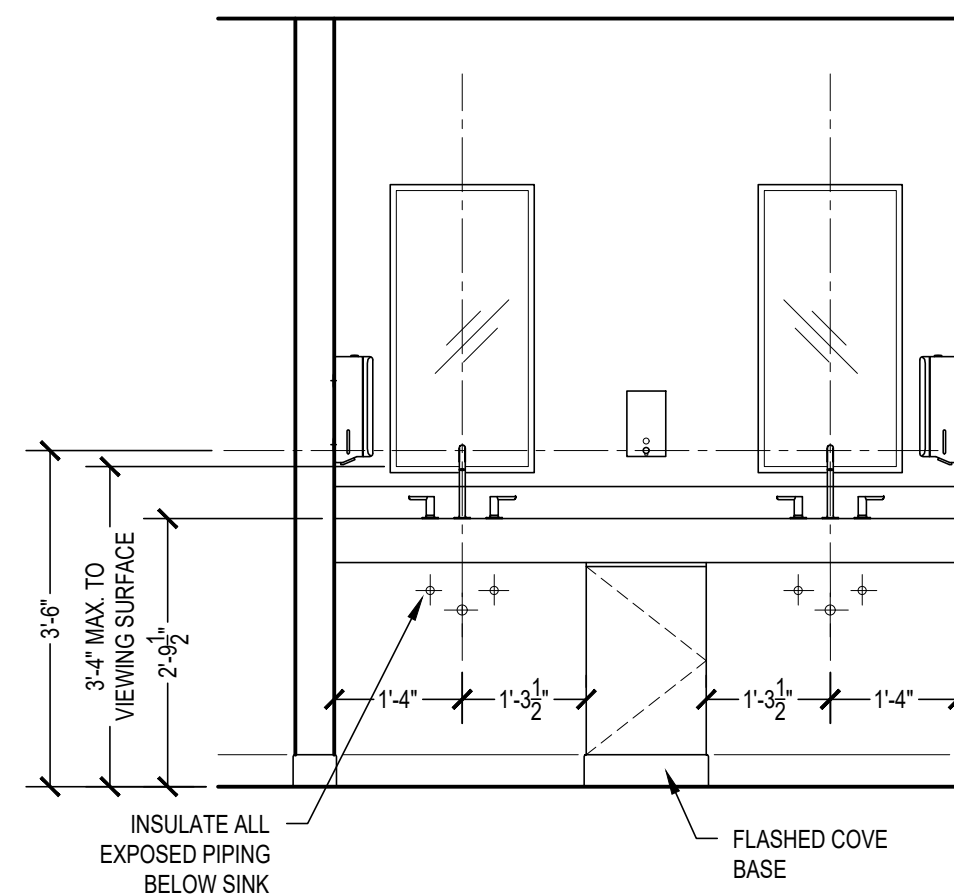
1ST & 2ND FLOOR HVAC AND ELECTRICAL
UPGRADES AT THE ADMINISTRATION BUILDING
FOR THE READING SCHOOL DISTRICT
800 WASHINGTON STREET READING PA. 19601

SECOND FLOOR
REFLECTED CEILING PLAN

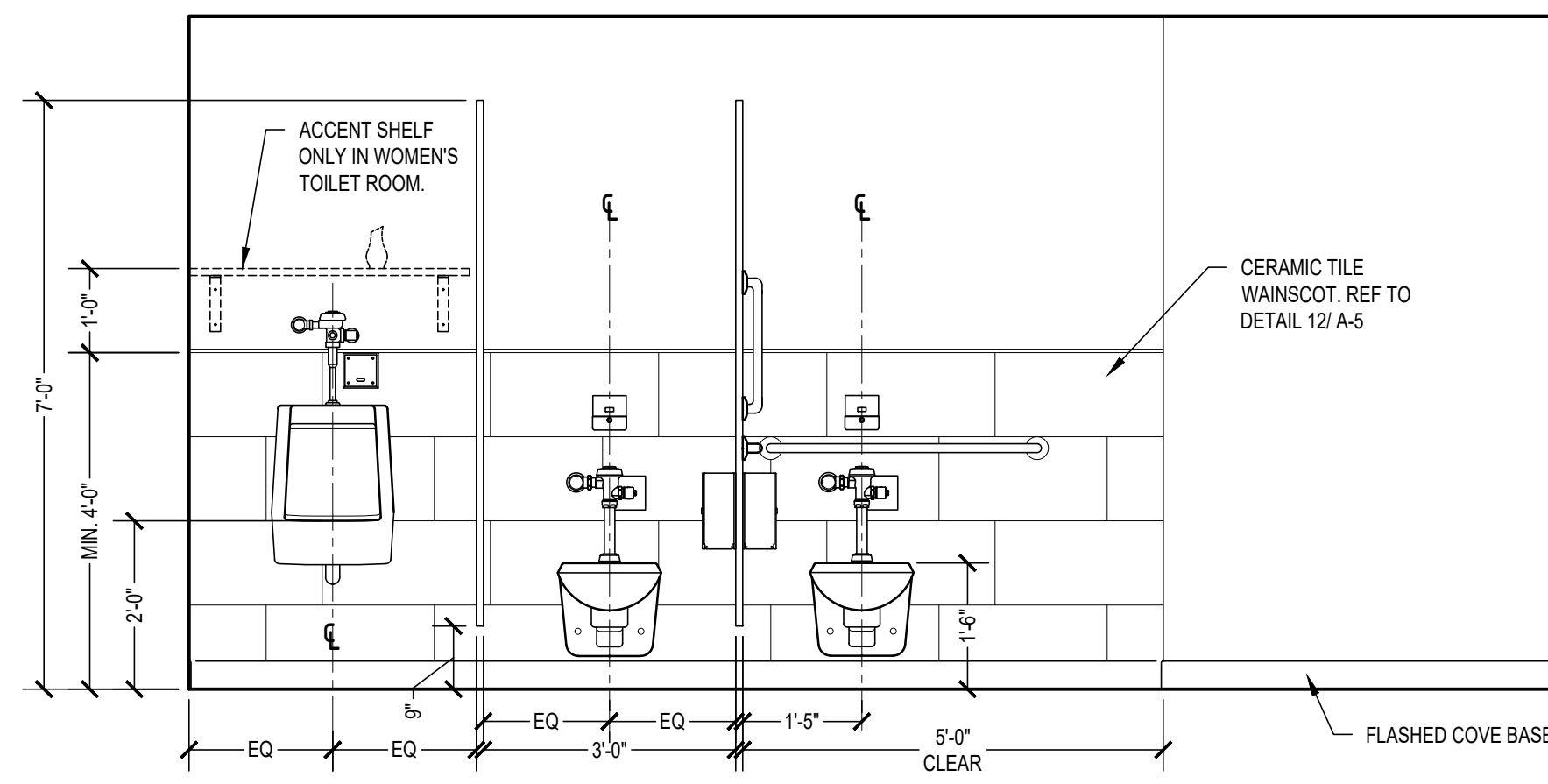
All DIMENSIONS and EXISTING CONDITIONS
shall be CHECKED and VERIFIED
by the CONTRACTOR at the SITE.

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CHECKED	PML
DATE	10-18-2021
SCALE	AS NOTED
JOB NO.	20-2767-2
SHEET	

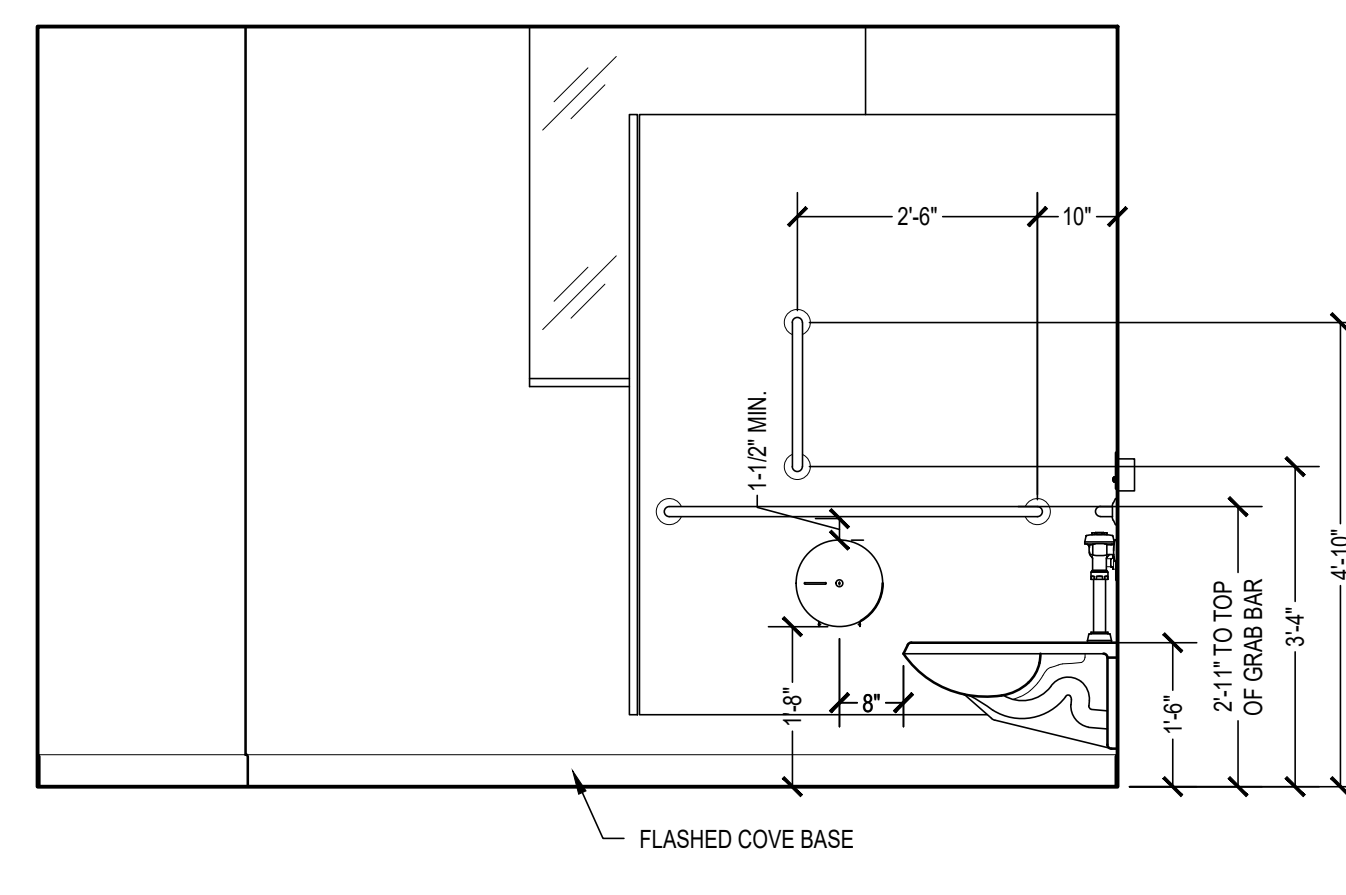
A-4



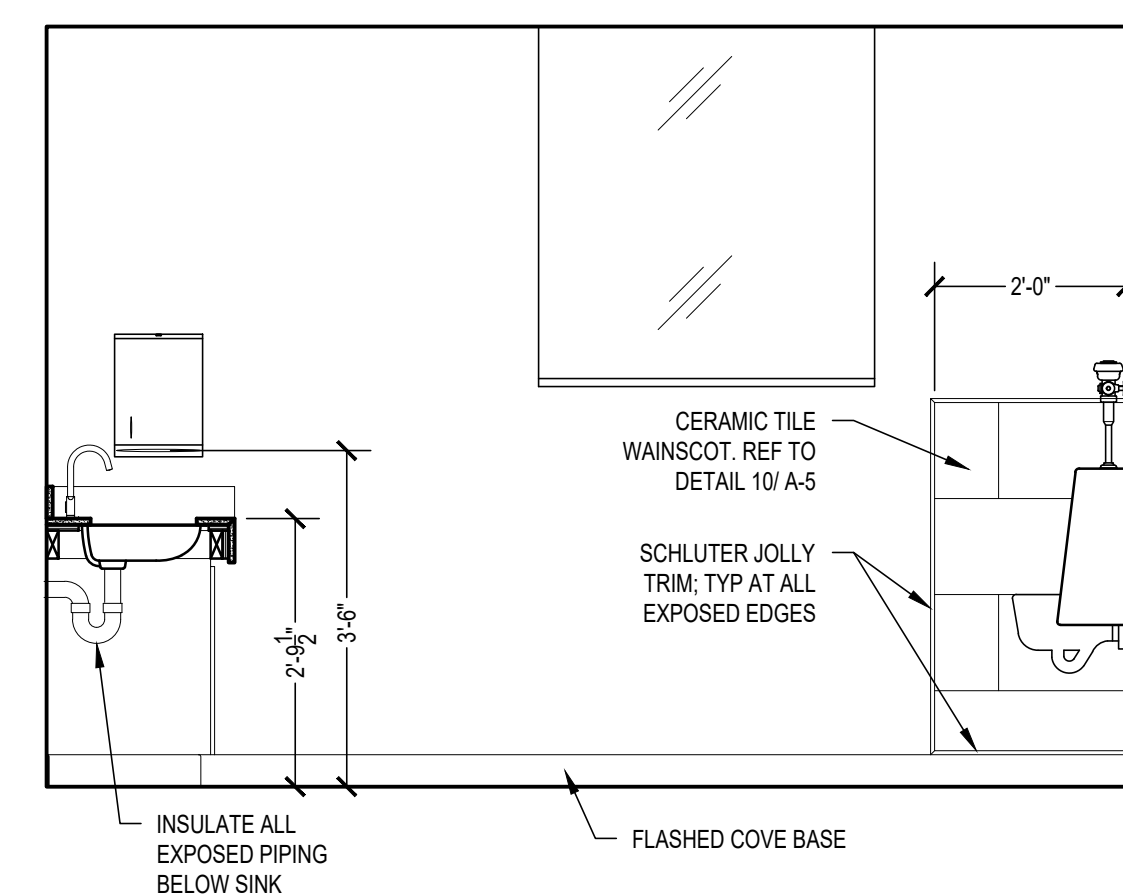
TOILET ROOM ELEVATION 1
SCALE: 1/2" = 1'-0"
ROOM NO: MEN 1.14
WOMEN'S 1.16 (OPPOSITE HAND)



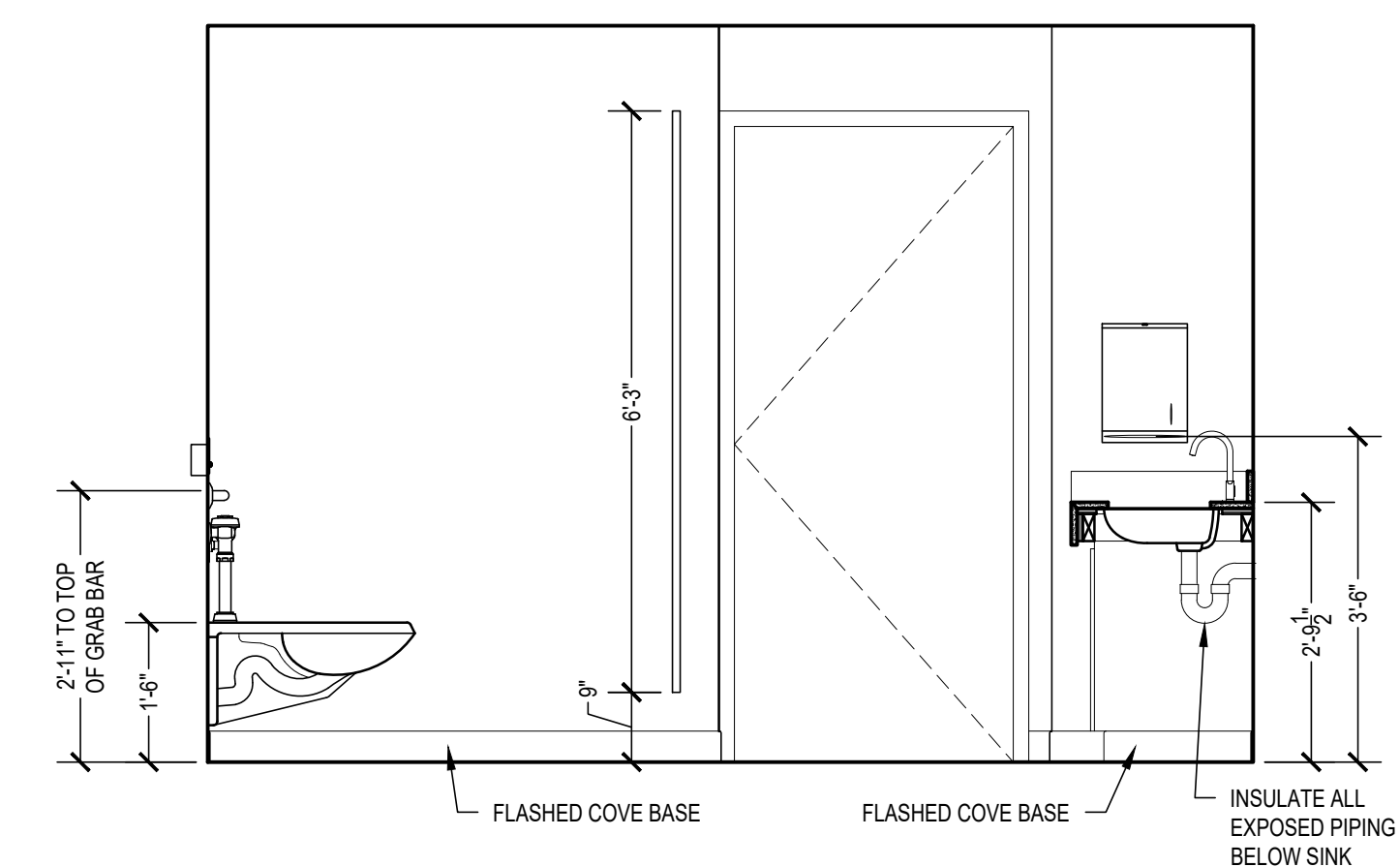
TOILET ROOM ELEVATION 2
SCALE: 1/4" = 1'-0"
ROOM NO: MEN 1.14
WOMEN'S 1.16 (OPPOSITE HAND)



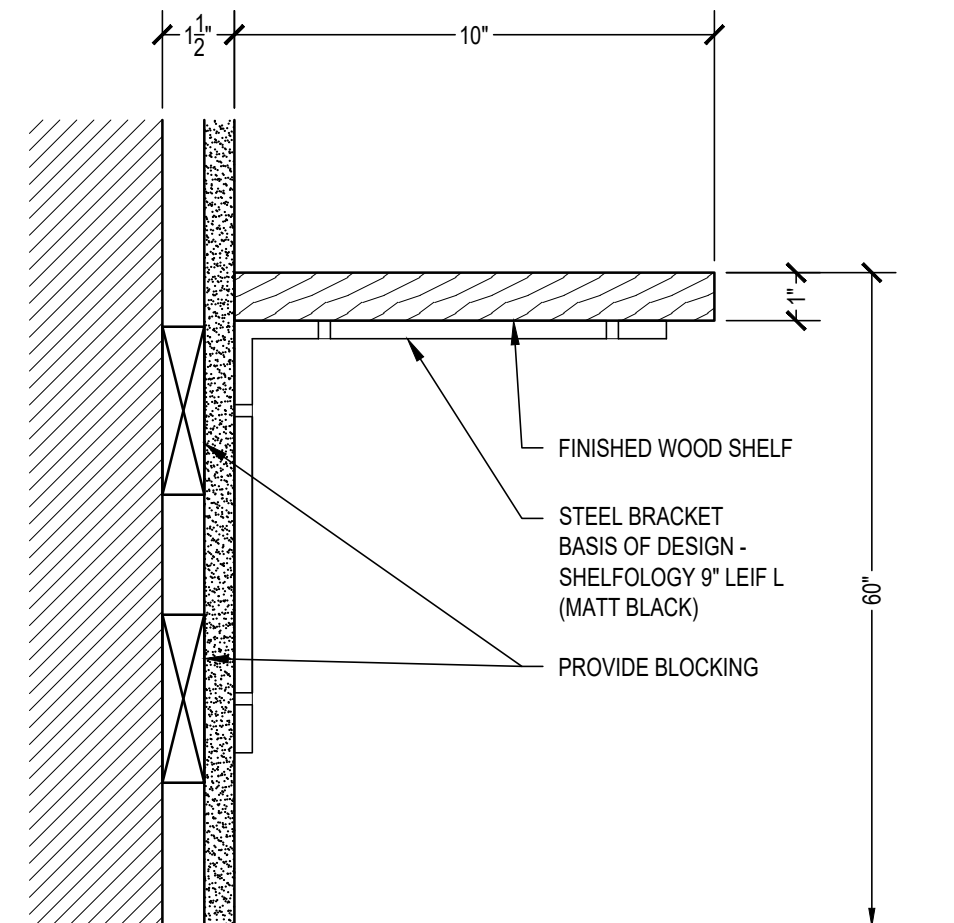
TYPICAL TOILET ELEVATION 3
SCALE: 1/2" = 1'-0"
ROOM NO: MEN 1.14
WOMEN'S 1.16 (OPPOSITE HAND)



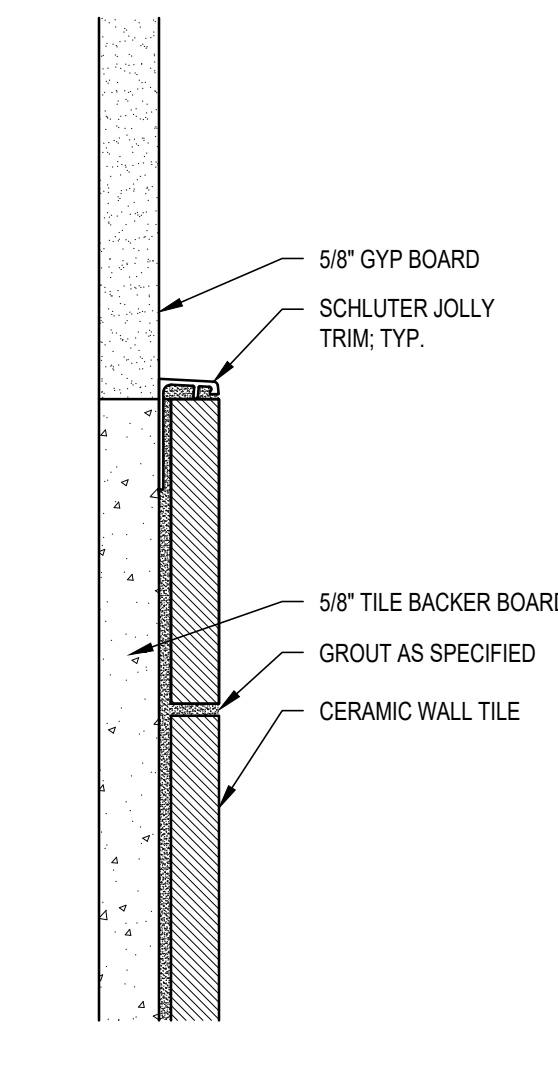
TYPICAL TOILET ELEVATION 4
SCALE: 1/2" = 1'-0"
ROOM NO: MEN 1.14



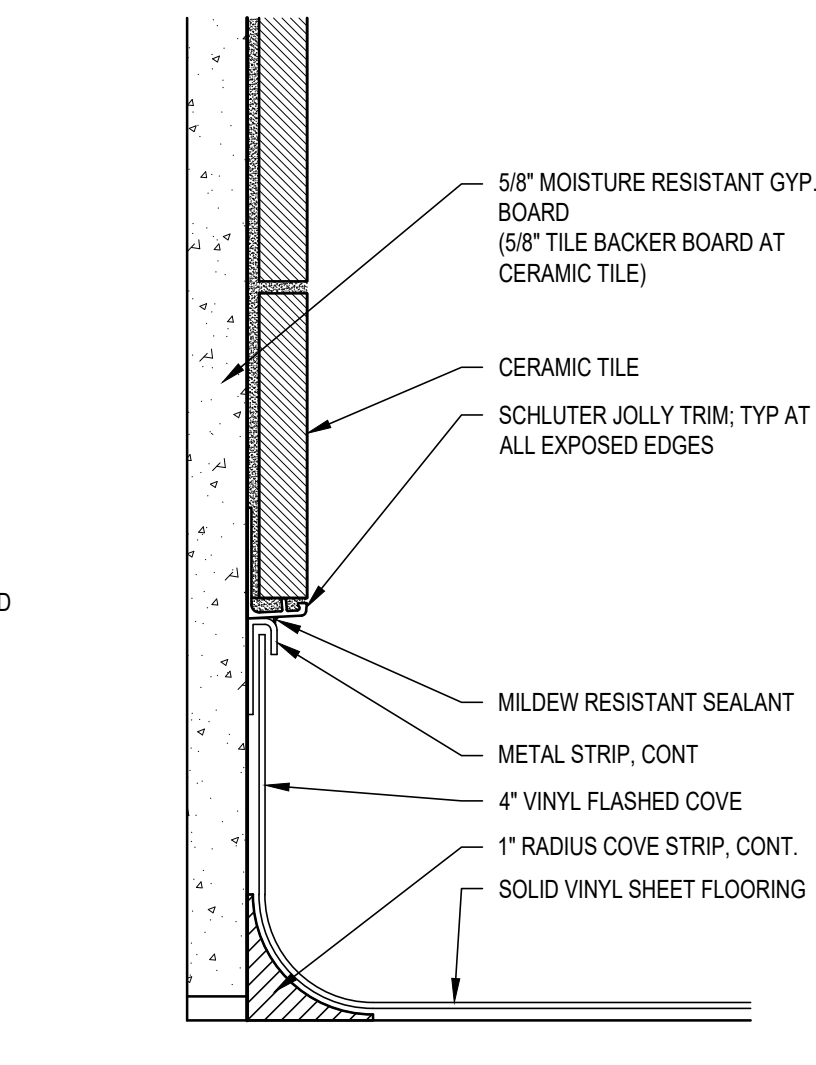
TYPICAL TOILET ELEVATION 5
SCALE: 1/2" = 1'-0"
ROOM NO: MEN 1.14
WOMEN'S 1.16 (OPPOSITE HAND)



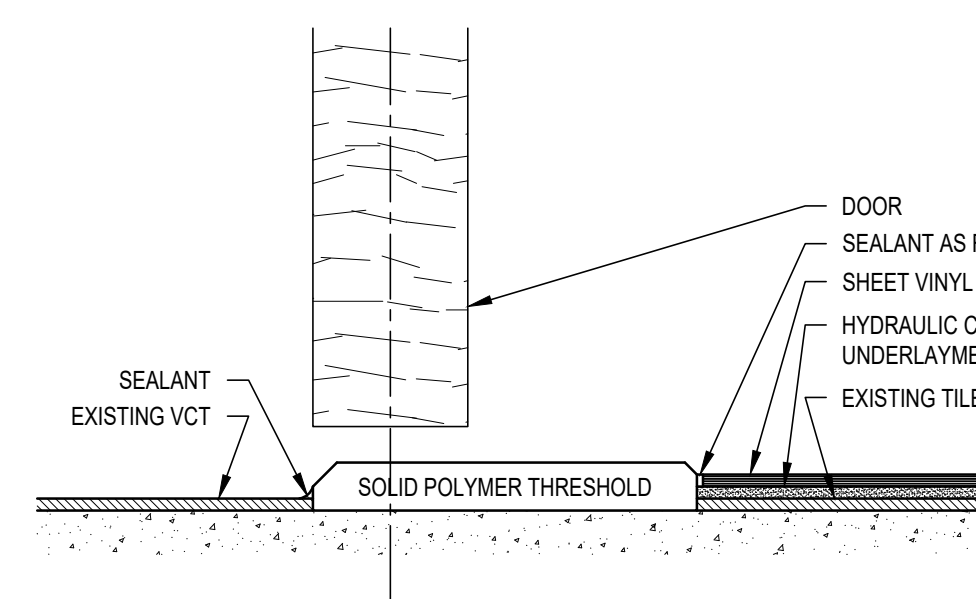
11 SHELF DETAIL
SCALE: 3/4" = 1'-0"



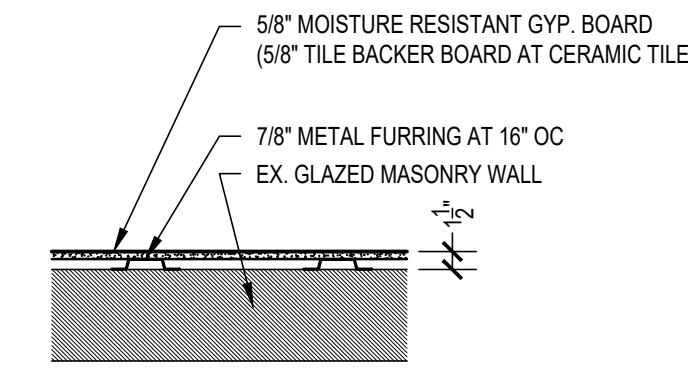
12 WALL TILE TRIM
SCALE: 6/8" = 1'-0"



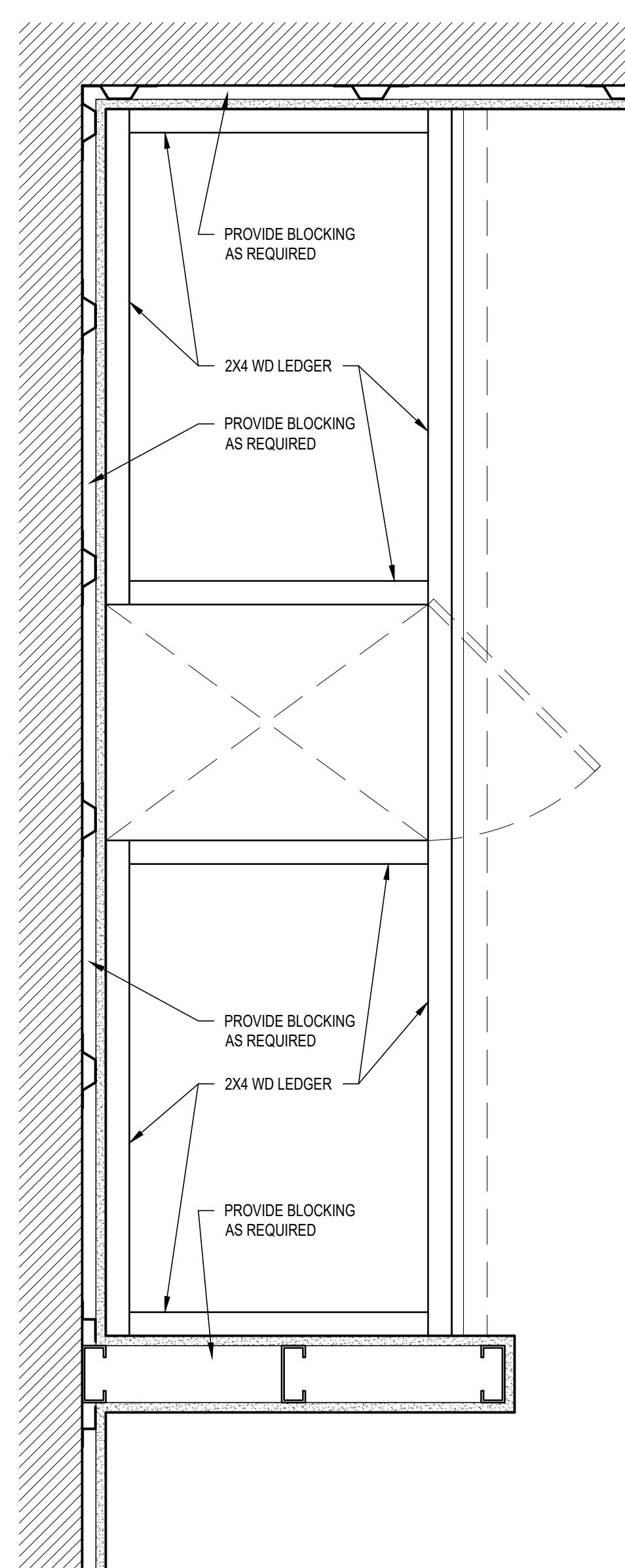
13 TYP. VINYL FLASHED COVE DETAIL
SCALE: 3/4" = 1'-0"



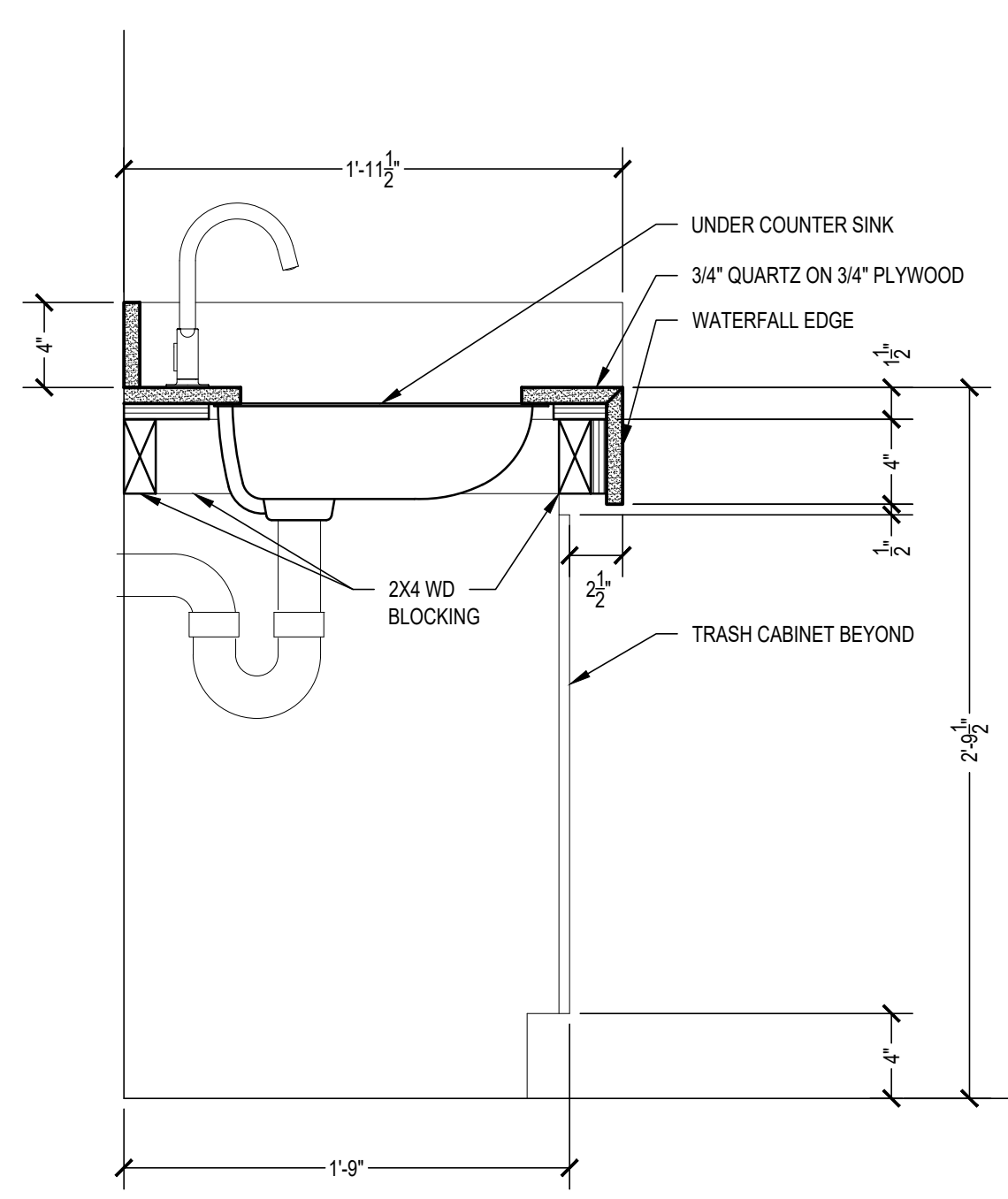
9 TYP VCT TO SHEET VINYL TRANSITION
SCALE: 6/8" = 1'-0"



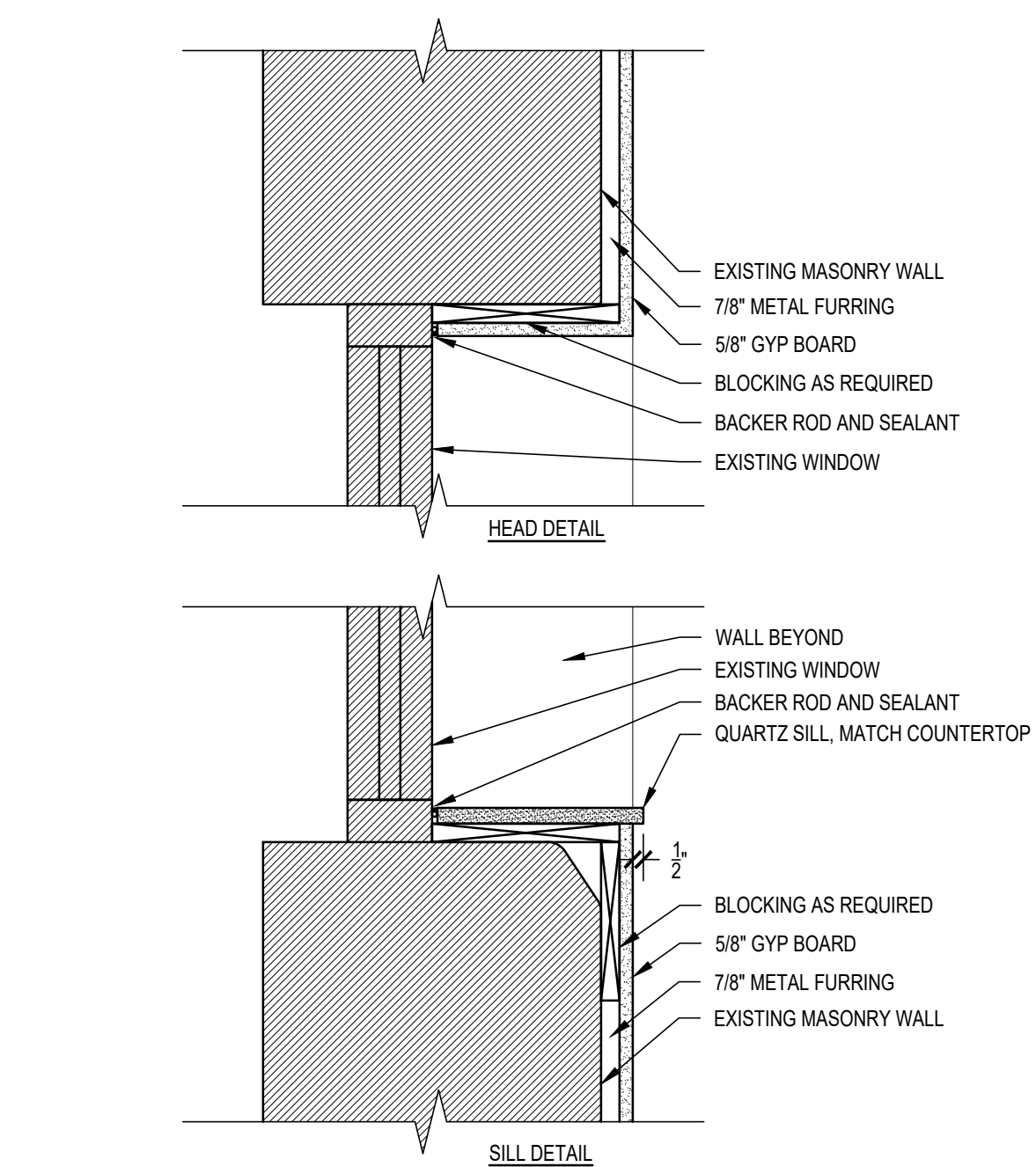
8 WALL TYPE DETAILS
SCALE: 3/4" = 1'-0"



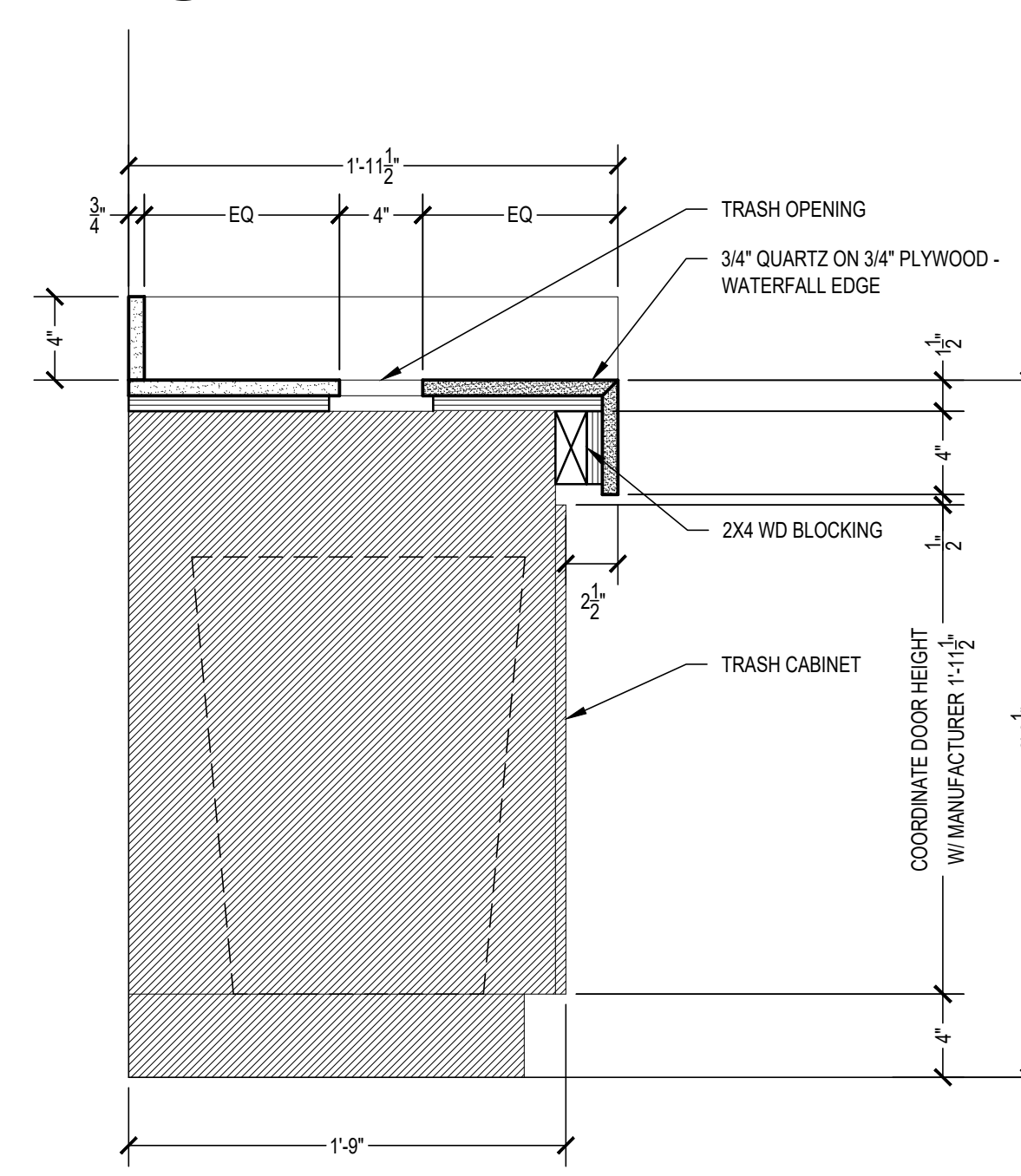
6 COUNTER FRAMING PLAN DETAIL
SCALE: 1-1/2" = 1'-0"



7 CASEWORK SECTION DETAIL
SCALE: 1-1/2" = 1'-0"



10 FRAMING DETAIL AT WINDOW OPENING
SCALE: 1-1/2" = 1'-0"



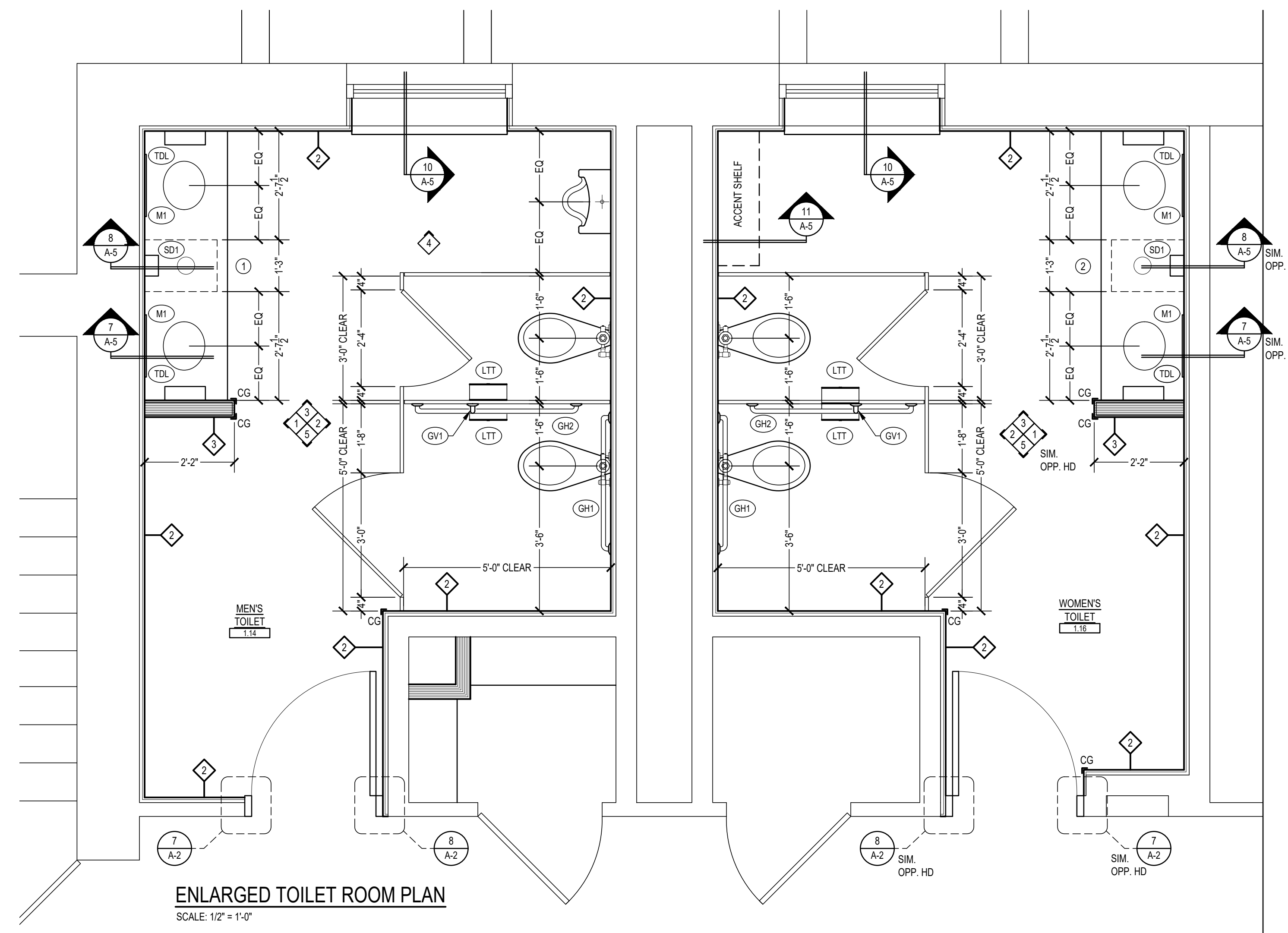
8 CASEWORK SECTION DETAIL
SCALE: 1-1/2" = 1'-0"

TOILET ACCESSORY SCHEDULE					
TAG	SYMBOL	MFR.	MFR. NO.	ITEM DESCRIPTION	MOUNTING HEIGHT
GH1	←	BRADLEY	832-001	GRAB BAR - HORIZONTAL LENGTH 38"	2'-11" A.F.F. TO TOP OF GRAB BAR
GH2	←	BRADLEY	832-001	GRAB BAR - HORIZONTAL LENGTH 48"	2'-11" A.F.F. TO TOP OF GRAB BAR
GV1	▼	BRADLEY	832-001	GRAB BAR - VERTICAL 18" MIN. LENGTH	3'-4" A.F.F. TO BOTTOM OF BAR AND 3'-4" TO THE CENTERLINE OF THE BAR FROM REAR WALL
MI	—	BRADLEY	780-1836	MIRROR WITH ANGLE FRAME 18" X 36"	3'-4" A.F.F. TO BOTTOM EDGE OF VIEWING SURFACE
TDL	□	-	-	PAPER TOWEL DISPENSER - (BY OWNER)	3'-4" A.F.F. TO TOP OF DISPENSER OPENING
SD1	▽	-	-	SOAP DISPENSER - (BY OWNER)	3'-8" A.F.F. TO DISPENSING PUMP
LT1	□	-	-	TOILET TISSUE DISPENSER - (BY OWNER)	2'-8" A.F.F. TO BOTTOM OF DISPENSER 1'-8" A.F.F. (ADA)

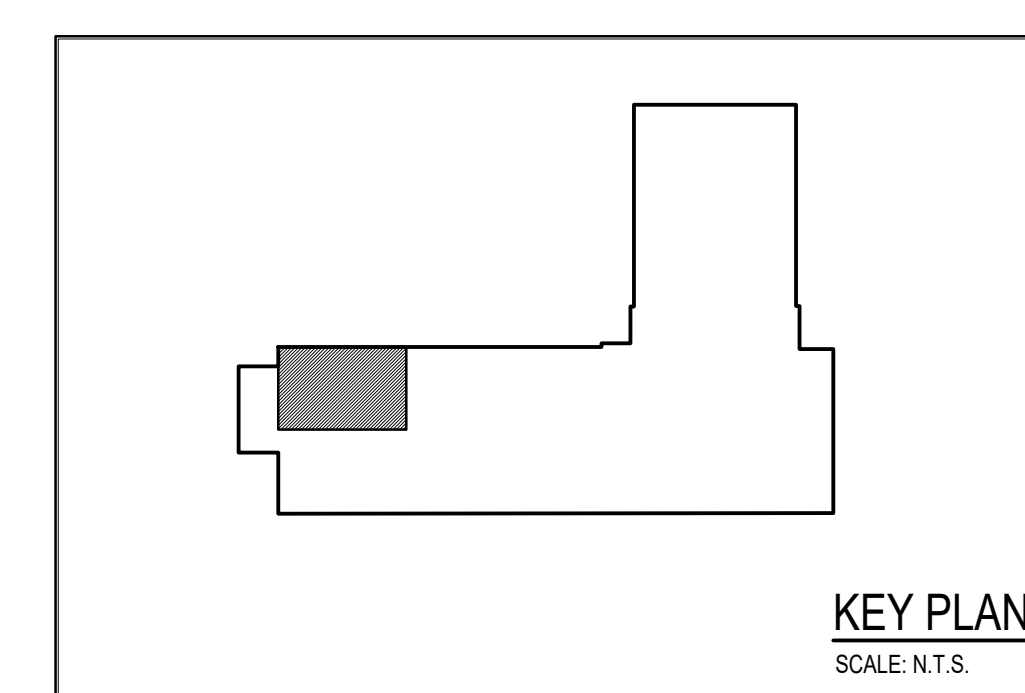
NOTES:
1. MOUNTING HEIGHTS LISTED IN THIS ACCESSORY SCHEDULE REFER SPECIFICALLY TO THE BRADLEY ACCESSORIES LISTED. IF AN ACCEPTABLE MANUFACTURER'S PRODUCT IS PROVIDED, G.C. SHALL REVIEW MOUNTING HEIGHT WITH MANUFACTURER PRIOR TO INSTALLATION.
2. G.C. TO PROVIDE BLOCKING AS REQUIRED FOR PROPER INSTALLATION OF ALL TOILET ACCESSORIES INCLUDING THOSE PROVIDED BY THE OWNER AND COORDINATE WITH ARCHITECT & OWNER FOR FINAL LOCATIONS.
3. OWNER TO PROVIDE THE FOLLOWING TOILET ACCESSORIES: PAPER TOWEL DISPENSER, SOAP DISPENSER AND TOILET TISSUE DISPENSER FOR THE CONTRACTOR TO INSTALL.
4. G.C. SHALL VERIFY THAT ALL MOUNTING HEIGHTS COMPLY WITH THE REQUIREMENTS OF ANSI A117.1 2009. G.C. SHALL COORDINATE WITH OTHER PRIME CONTRACTORS FOR MOUNTING HEIGHTS OF BATHROOM ACCESSORIES AND ALSO MEET ANSI A117.1 2009, PRIOR TO INSTALLATION OF FIXTURES AND ACCESSORIES.

PLASTIC LAMINATE CASEWORK SCHEDULE					
TAG	MFR. NO.	DESCRIPTION	SIZE	MFR.	NOTES
(01)	10116	TRASH BASE CABINET	15 32 21	SAF	RIGHT DOOR HINGE, SPECIFY DOOR HEIGHT PER SECTION DETAIL
(02)	10117	TRASH BASE CABINET	15 32 21	SAF	LEFT DOOR HINGE, SPECIFY DOOR HEIGHT PER SECTION DETAIL

NOTE: BASIS OF DESIGN FOR TRASH STORAGE IS BY STEVENS ADVANTAGE FURNISHINGS



ENLARGED TOILET ROOM PLAN
SCALE: 1/2" = 1'-0"



KEY PLAN
SCALE: N.T.S.



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1ST & 2ND FLOOR HVAC AND ELECTRICAL UPGRADES AT THE ADMINISTRATION BUILDING FOR THE READING SCHOOL DISTRICT
800 WASHINGTON STREET READING PA. 19601

ENLARGED TOILET ROOM PLAN AND DETAILS

DRAWN	KDN
CHECKED	PML
DATE	10-18-2021
SCALE	AS NOTED
JOB NO.	20-2767-2
SHEET	

A-5

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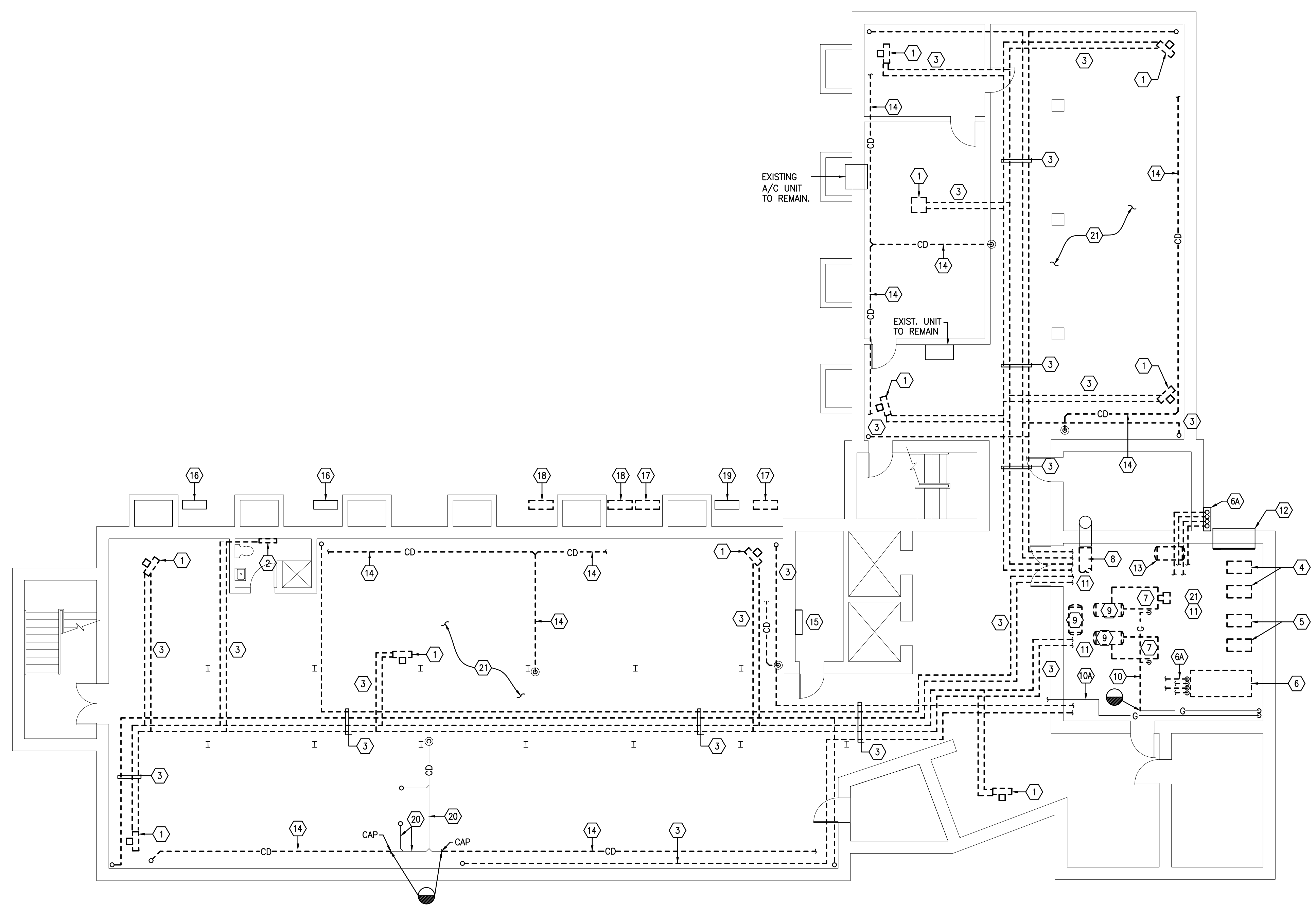
GENERAL DEMOLITION NOTES:

1. THE HVAC CONTRACTOR SHALL COORDINATE THE SALVAGE AND DISPOSAL OF ALL EQUIPMENT AND MATERIAL WITH THE OWNER. THE HVAC CONTRACTOR SHALL RETURN TO THE OWNER ANY ITEMS NOTED OR NOT NOTED, ON THE DRAWINGS, AT THE OWNERS REQUEST. ALL REMAINING EQUIPMENT AND MATERIAL SHALL BE DISPOSED OF BY THE HVAC CONTRACTOR.
2. THE HVAC CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS AS REQUIRED TO ACCOMMODATE PROJECT PHASING.
3. REFER TO PROJECT PHASING DRAWING(S) AND SCHEDULE. PROVIDE ALL LABOR AND MATERIAL NECESSARY TO ACCOMMODATE PROJECT PHASING.
4. ALL PATCHING & REPAIRING OF SURFACES AND HOLES LEFT OPEN DUE TO DEMOLITION OR REMOVAL OF EXISTING PIPING & EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE HVAC CONTRACTOR. PATCH EXISTING CONSTRUCTION AS REQUIRED TO MATCH ADJACENT SURFACES OR TO RECEIVE NEW FINISHES AS SCHEDULED UNLESS OTHERWISE INDICATED ON THE ARCHITECTURAL DRAWING.
5. THE HVAC CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING, PATCHING, EXCAVATION AND BACKFILLING REQUIRED TO COMPLETE ALL INDICATED WORK, UNLESS OTHERWISE NOTED.
6. ALL EXISTING PIPING AND EQUIPMENT SHOWN MUST BE VERIFIED IN THE FIELD. ANY HVAC EQUIPMENT NOT SHOWN SHALL BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO REMOVAL.
7. REMOVE ALL EXISTING CONCRETE EQUIPMENT PADS LOCATED BENEATH ALL DEMOLISHED EQUIPMENT, UNLESS OTHERWISE NOTED.
8. REMOVE ALL EXISTING ABANDON PNEUMATIC ATC PANELS, TUBING, FITTINGS AND SUPPORTS AS PHASING PERMITS. NO ABANDONED PNEUMATIC ATC TUBING OR COMPONENTS SHALL REMAIN AT PROJECT COMPLETION.
9. HVAC CONTRACTOR MUST COORDINATE ROOF MOUNTED EQUIPMENT REMOVAL WITH G.C. IF HVAC CONTRACTOR CHOOSES TO REMOVE ROOF MOUNTED EQUIPMENT PRIOR TO ROOFING CONTRACTOR BEING READY TO PATCH ROOF, HVAC CONTRACTOR MUST TEMPORARILY COVER REMAINING ROOF CURB WEATHER TIGHT.
10. PRIOR TO REMOVAL OF ANY EXISTING HVAC EQUIPMENT THAT CONTAINS REFRIGERANT THE HVAC CONTRACTOR SHALL REMOVE AND RECOVER THE ENTIRE CONTENT OF THE REFRIGERANT AND ALL ASSOCIATED OIL IN THE EXISTING EQUIPMENT. ALL REFRIGERANT/OIL RECOVERY EQUIPMENT IS REQUIRED TO BE CERTIFIED BY AN EPA-APPROVED TESTING ORGANIZATION TO ASSURE THAT THE EQUIPMENT MEETS EPA STANDARDS BASED ON THE TESTING METHOD ESTABLISHED BY ARIH STANDARD 740. REMOVAL OF ALL CFC AND HCFC REFRIGERANTS MUST CONFORM TO THE REQUIREMENTS OF THE ENVIRONMENTAL PROTECTION AGENCY. ALL WORK IS TO BE PERFORMED BY AN EPA CERTIFIED TECHNICIAN.
11. HVAC CONTRACTOR WILL BE RESPONSIBLE TO REMOVE AND REPLACE ALL EXISTING CEILING SYSTEMS THAT ARE NOT NOTED TO BE REMOVED BY THE G.C. ON THE ARCHITECTURAL DRAWINGS AND ELECTRICAL DRAWINGS IN ALL AREAS WHERE REQUIRED HVAC WORK IS INDICATED. HVAC SHALL REMOVE AND REPLACE TILE AND GRID AS REQUIRED FOR NEW INSTALLATION.
12. THE H.C. IS RESPONSIBLE TO COMPLETELY DRAIN THE EXISTING HYDRONIC SYSTEM. THE H.C. MUST REMOVE AND REPLACE CEILING GRID AND TILE, CUT AND CAP PIPING, REMOVE AND REPLACE SHELVING AS NECESSARY TO DRAIN PIPING SYSTEM IN ACCORDANCE WITH THE PROJECT PHASES.

KEYED DRAWING NOTES:

- 1 REMOVE EXISTING HYDRONIC UNIT HEATER, REMOVE ASSOCIATED HANGERS AND APPURTENANCES. REMOVE ASSOCIATED THERMOSTAT, CONTROL DEVICES AND CONTROL WIRING.
- 2 REMOVE EXISTING CONVECTOR. REMOVE ASSOCIATED HANGERS AND APPURTENANCES. REMOVE ASSOCIATED THERMOSTAT, CONTROL DEVICES AND CONTROL WIRING.
- 3 REMOVE EXISTING HYDRONIC PIPING IN ITS ENTIRETY. REMOVE ALL ASSOCIATED HANGERS AND SUPPORTS.
- 4 REMOVE EXISTING BASE MOUNTED HEATING PUMPS IN THEIR ENTIRETY. COMPLETELY REMOVE EXISTING CONCRETE PAD.
- 5 REMOVE EXISTING BASE MOUNTED CHILLED WATER PUMPS IN THEIR ENTIRETY. COMPLETELY REMOVE CONCRETE PAD.
- 6 REMOVE EXISTING CHILLER IN ITS ENTIRETY. REMOVE ALL ASSOCIATED CHILLED WATER PIPING, REFRIGERANT PIPING, VALVES AND APPURTENANCES. PRIOR TO THE REMOVAL OF THE CHILLER THE CONTRACTOR SHALL EVACUATE AND DISPOSE OF REFRIGERANT IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS. REMOVE EXISTING CHILLED WATER DOMESTIC FILL PIPING AND APPURTENANCES. CAP DOMESTIC PIPING AT THE MAIN. COMPLETELY REMOVE EXISTING CONCRETE PAD.
- 6A REMOVE EXISTING REFRIGERANT PIPING FROM CHILLER CONNECTION TO OUTDOOR CONDENSERS LOCATED ON THE ROOF. COMPLETELY REMOVE ALL HANGERS AND SUPPORTS. EVACUATE AND DISPOSE OF REFRIGERANT IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS. REMOVE EXTERIOR STAINLESS STEEL SHROUD.
- 7 REMOVE EXISTING HEATING HOT WATER BOILER IN ITS ENTIRETY. REMOVE FLUE, HYDRONIC PIPING, GAS PIPING, ABANDONED FUEL OIL PIPING, AND ALL ASSOCIATED VALVES, HANGERS AND APPURTENANCES. SAW CUT ABANDONED FUEL OIL PIPING FLUSH WITH SLAB. REMOVE EXISTING HEATING WATER DOMESTIC FILL PIPING AND APPURTENANCES. CAP DOMESTIC PIPING AT THE MAIN. EXISTING CONCRETE PAD TO REMAIN.
- 8 REMOVE EXISTING BOILER FLUE UP TO PINTS INDICATED. CAP FLUE AT THE BOILER ROOM WALL.
- 9 REMOVE EXISTING EXPANSION TANKS, (4) FOUR. REMOVE ALL ASSOCIATED PIPING, HANGERS AND SUPPORTS.
- 10 REMOVE EXISTING NATURAL GAS PIPING FROM METER CONNECTION TO BOILERS. REMOVE ALL ASSOCIATED HANGERS AND SUPPORTS.
- 10A EXISTING GAS PIPING TO THE EMERGENCY GENERATOR SHALL REMAIN.
- 11 REMOVE ALL EXISTING CHILLED WATER PIPING, HOT WATER PIPING, VALVES, FITTINGS, HANGERS, SUPPORTS, AND APPURTENANCES LOCATED IN THE BOILER ROOM.
- 12 EXISTING COMBUSTION AIR LOUVER AND DUCT SLEEVE TO REMAIN. PROVIDE 18 GAUGE INSULATED PANEL OVER OPENING. INSULATION TO BE 1" CLOSED CELL ELASTOMERIC.
- 13 REMOVE EXISTING AIR COMPRESSOR, DRYER, DEVICES AND AIR PIPING IN ITS ENTIRETY.
- 14 REMOVE EXISTING CONDENSATE DRAIN PIPING IN ITS ENTIRETY. COMPLETELY REMOVE ALL ASSOCIATED HANGERS AND SUPPORTS.
- 15 EXISTING INDOOR EVAPORATOR SERVING ELEVATOR EQUIPMENT ROOM SHALL REMAIN.
- 16 EXISTING CONDENSING UNIT SERVING IT 118 SHALL REMAIN.
- 17 REMOVE EXISTING CONDENSING UNIT SERVING OFFICE 112/114. REMOVE ALL ASSOCIATED REFRIGERANT PIPING IN ITS ENTIRETY. EVACUATE AND DISPOSE OF REFRIGERANT IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- 18 REMOVE EXISTING CONDENSING UNIT SERVING COPY ROOM 115. REMOVE ALL ASSOCIATED REFRIGERANT PIPING IN ITS ENTIRETY. EVACUATE AND DISPOSE OF REFRIGERANT IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- 19 EXISTING CONDENSING UNIT SERVING ELEVATOR EQUIPMENT ROOM SHALL REMAIN.
- 20 EXISTING CONDENSATE DRAIN FROM DATA ROOM TO REMAIN.
- 21 PROVIDE TEMPORARY HEAT FOR BASEMENT IF NEW HEATING SYSTEM IS NOT INSTALLED AND OPERATIONAL BY OCTOBER 2021.

THE DEMOLITION WORK INDICATED IS INTENDED TO ASSIST THE CONTRACTOR AND GIVE GENERAL INFORMATION. THE CONTRACTOR SHALL BE REQUIRED TO VISIT THE PROJECT SITE PRIOR TO BIDDING TO FULLY ACQUANT HIMSELF WITH THE EXTENT OF ALL DEMOLITION WORK WHICH IS NECESSARY TO COMPLETE THE ALTERATIONS AND NEW CONSTRUCTION AS DESCRIBED IN THE CONTRACT DOCUMENTS. ALL DEMOLITION WORK REQUIRED SHALL BE INCLUDED IN THE CONTRACT PRICE WHETHER INDICATED ON THE DRAWING OR NOT. THE CONTRACTOR WILL NOT BE ENTITLED TO ANY CLAIMS FOR ADDITIONAL COMPENSATION RELATED TO REQUIRED DEMOLITION.



BASEMENT FLOOR PLAN - HVAC DEMOLITION
SCALE: 1/8"=1'-0"

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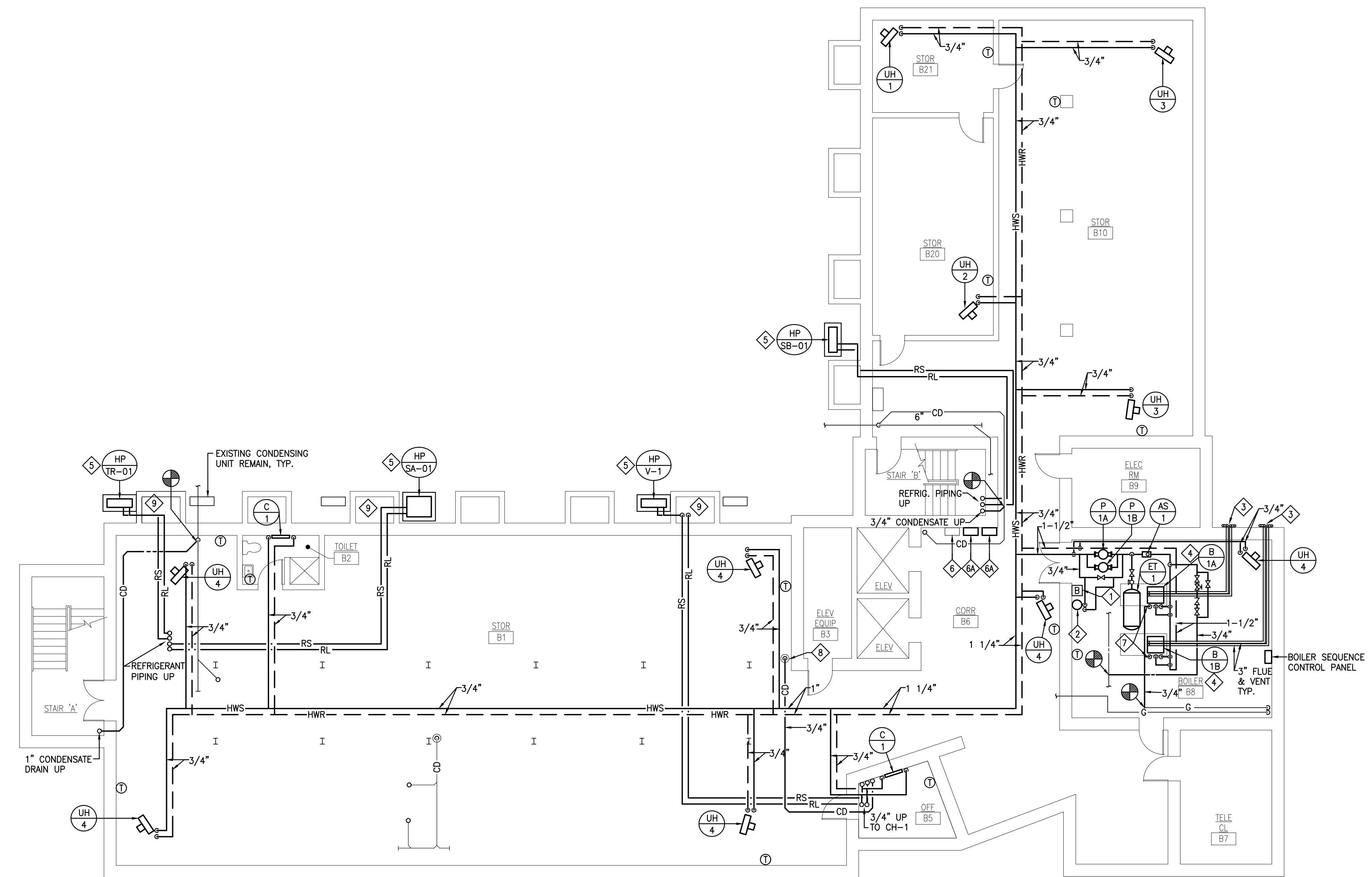
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 800 WASHINGTON STREET READING PA. 19601

BASEMENT FLOOR PLAN - HVAC DEMOLITION

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DATE	10-18-2021
SCALE	AS NOTED
JOB NO.	2767-2
SHEET	

H-1

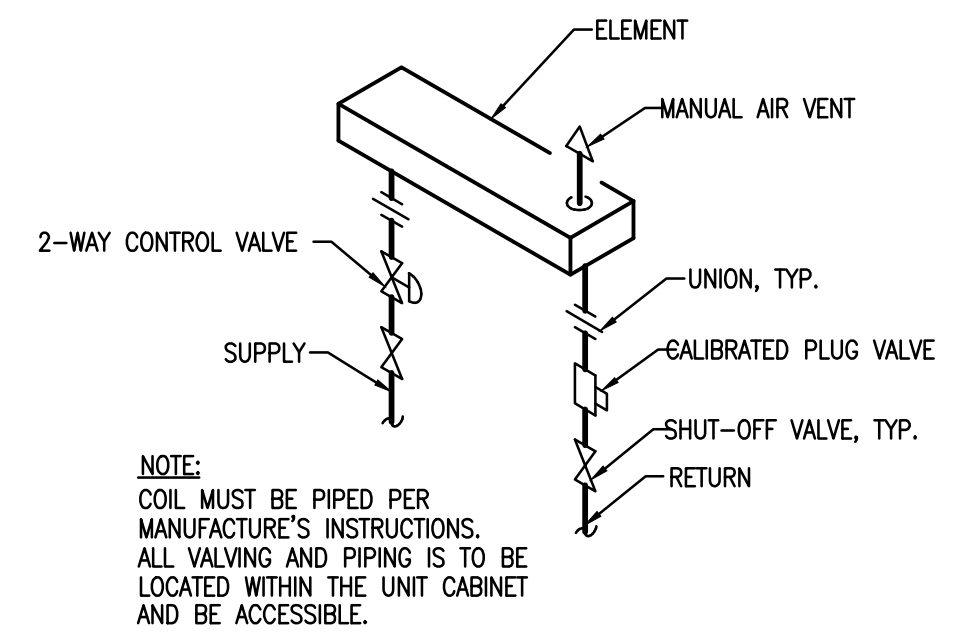
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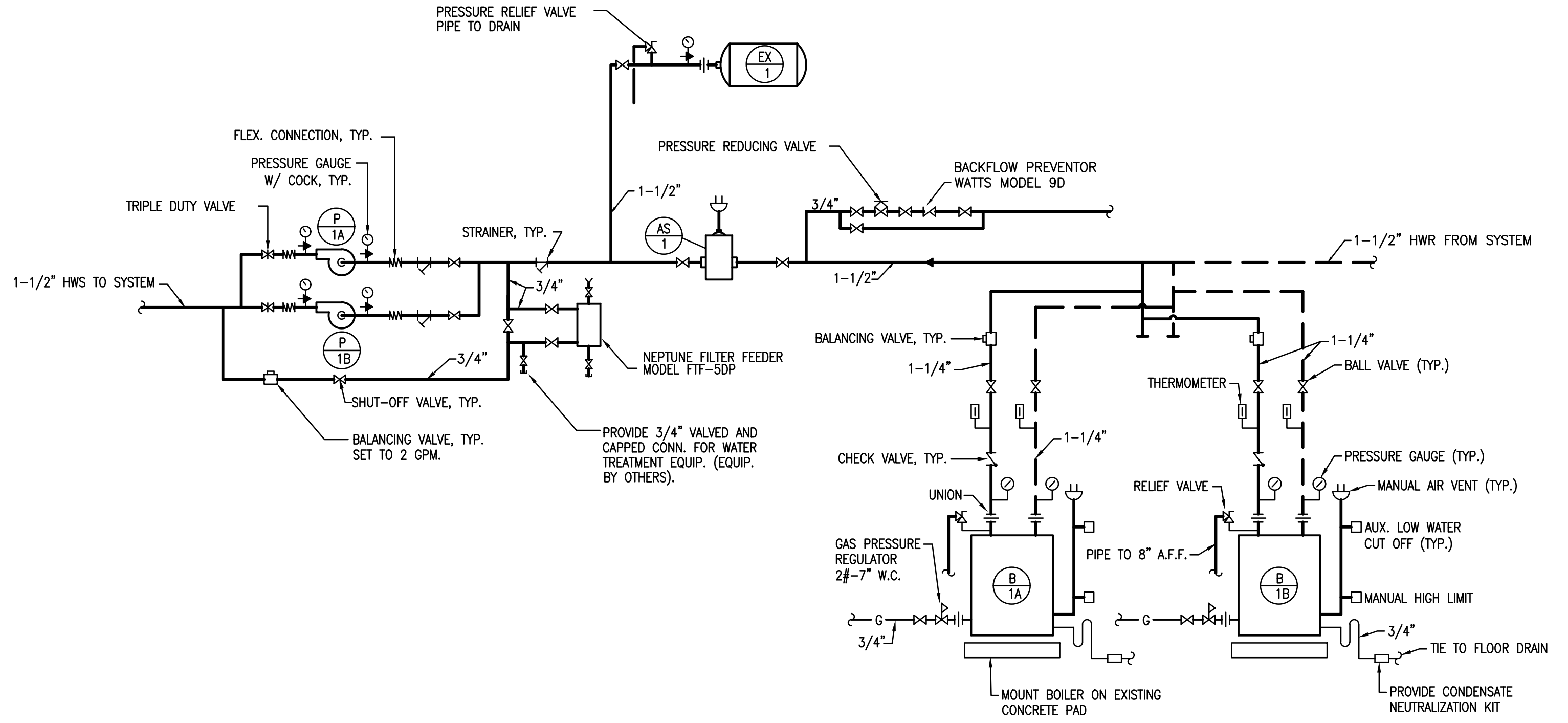
BASEMENT FLOOR PLAN - HVAC
SCALE: 1/8"=1'-0"

KEYED DRAWING NOTES:

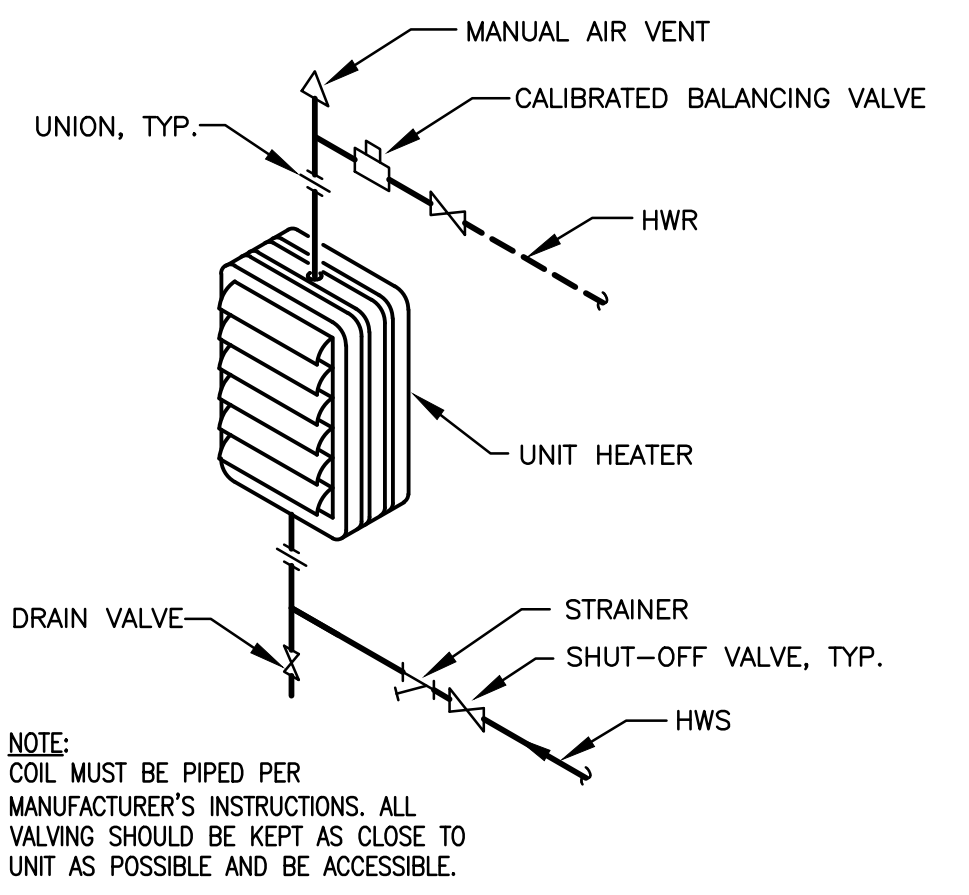
- ◇ PROVIDE BOILER SAFETY SHUT OFF SWITCH. COMPLETE WIRING TO SHUT DOWN BOILERS WHEN SWITCHED OFF. PROVIDE RED LABELED SWITCH PLATE COVER.
- ◇ PROVIDE FILTER FEEDER.
- ◇ RUN 3" CPVC FLUE AND VENT THROUGH THE EXISTING COVER. RISE UP AND TERMINATE WITH DOUBLE 90'S. TERMINATE 33" +/- ABOVE EXTERIOR GRADE. PROVIDE 18 GAUGE PANEL. INSTALLED COMPLETELY OVER LOWER OPENING. INSTALLATION TO BE 1" CLOSED CELL ELASTOMERIC SEAL TO FLUE AND VENT PENETRATIONS.
- ◇ MOUNT ON EXISTING BOILER PAD.
- ◇ MOUNT UNIT ON PRE-MANUFACTURED EQUIPMENT PAD.
- ◇ EXISTING VRF CONTROL PANEL TO REMAIN.
- ◇ NEW VRF PANEL & NEW BAS PANEL.
- ◇ PROVIDE GAS CONNECTION TO BOILERS. PROVIDE DIRT LEG, UNION, SHUT-OFF VALVE AND GAS REGULATOR (2 P81G-7" W.C.)
- ◇ PIPE 3/4" CONDENSATE PIPING TO EXISTING WASTE RECEPTOR.
- ◇ INSTALL REFRIGERATION PIPING THROUGH EXISTING WINDOW PANEL. REMOVE SECTION OF GLASS AND INSTALL 1/2" PLYWOOD WITH ALUMINUM SHEET ON BOTH SIDES. SEAL THE PENETRATIONS.



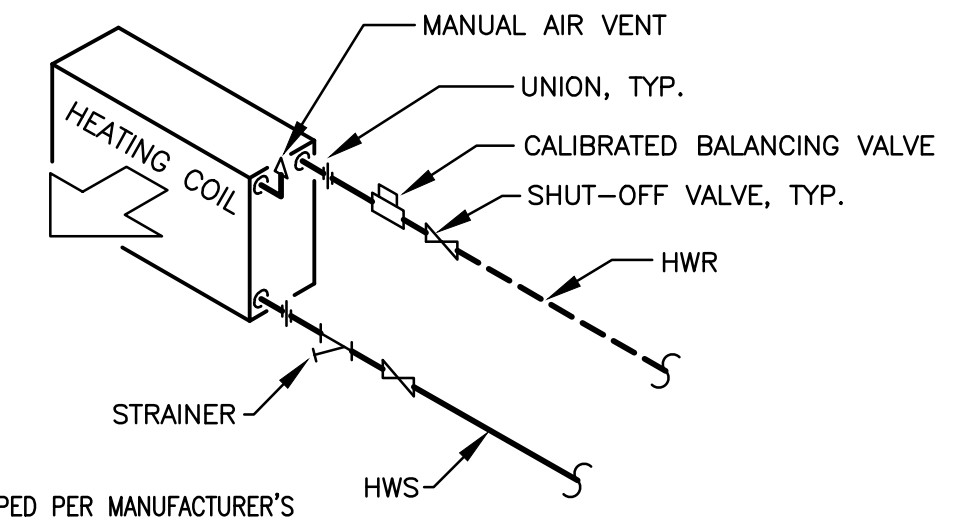
CONVECTOR PIPING DETAIL
NO SCALE



HEATING SYSTEM SCHEMATIC
NO SCALE



UNIT HEATER PIPING DETAIL
NO SCALE



CABINET HEATER PIPING DETAIL
NO SCALE

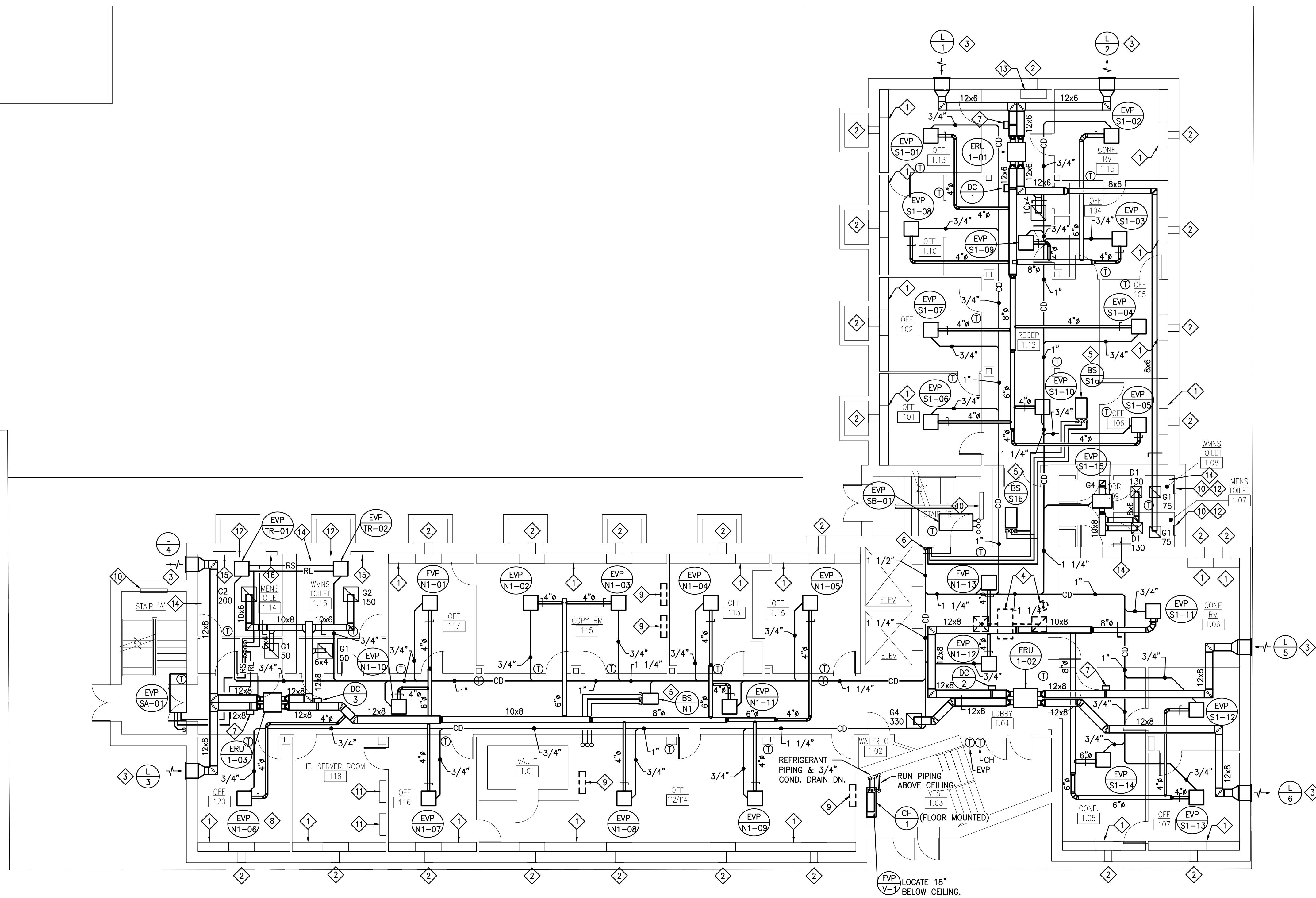
**1st & 2nd FLOOR HVAC AND ELECTRICAL UPGRADES
AT THE ADMINISTRATION BUILDING FOR THE
READING SCHOOL DISTRICT**
800 WASHINGTON STREET READING PA. 19601

**BASEMENT FLOOR PLAN
- HVAC**

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DATE	10-18-2021
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H-2

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FIRST FLOOR PLAN - HVAC
SCALE: 1/8"=1'-0"

GENERAL DRAWING NOTES:

1. PROVIDE FLEXIBLE DUCT CONNECTION AT EACH DUCT CONNECTIONS TO INDOOR (EVP) UNITS, AND ALL CONNECTIONS TO ERU'S.
2. H.C. RESPONSIBLE TO REMOVE ANY ACCESSIBLE HYDRONIC PIPING.

KEYED DRAWING NOTES:

1. EXISTING UNIT VENTILATOR AND SHELVING TO BE ABANDONED IN PLACE.
2. EXISTING OUTDOOR INTAKE TO REMAIN. PROVIDE 18 GAUGE INSULATED PANEL OVER OPENING. INSULATION TO BE 1" CLOSED-CELL ELASTOMERIC CAULK ALL EDGES.
3. LOUVER TO BE FURNISHED BY H.C. AND INSTALLED BY G.C. SEE DETAIL ON DWG A-2.
4. REMOVE EXISTING AIR UNIT, RELATED DUCTWORK AND PIPING IN ITS ENTIRETY. CAP PIPING AT THE EXISTING RISER. REMOVE EXISTING THERMOSTAT AND CONTROL WIRING.
5. REFRIGERANT BRANCH SELECTOR UNIT LOCATE ABOVE THE CEILING. SUPPORT FROM STRUCTURE AND PROVIDE ALL MANUFACTURERS RECOMMENDED CLEARANCES. RUN REFRIGERANT PIPING (HG, LIQUID AND SUCTION) FROM CONDENSING UNIT ABOVE TO BRANCH SELECTOR UNIT, AND RUN LIQUID AND SUCTION FROM BRANCH SELECTOR UNIT TO THE INDIVIDUAL INDOOR EVAPORATOR UNITS. REFER TO PIPING DIAGRAM ON DRAWING H-9.
6. CONNECT CONDENSATE PIPING INTO THE EXISTING 3" CONDENSATE PIPE RISER.
7. HC TO INSTALL ELECTRIC DUCT HEATER. DUCT HEATER TO BE FURNISHED BY UNIT MANUFACTURER.
8. CONTRACTOR SHALL REMOVE AND REPLACE EXISTING CEILING TILE AND GRID AS NECESSARY TO COMPLETE INSTALLATION.
9. REMOVE EXISTING DUCTLESS SPLIT SYSTEM EVAPORATOR, REFRIGERANT PIPING, CONDENSATE DRAIN CONTROLS AND ALL APPURTENANCES IN ITS ENTIRETY. RECLAIM REFRIGERANT AND PROPERLY DISPOSE.
10. EXISTING CONVECTOR/CABINET HEATER TO BE ABANDONED.
11. EXISTING SPLIT SYSTEM EVAPORATOR TO REMAIN.
12. PROVIDE TEMPORARY HEAT IN TOILET ROOM IF NEW SYSTEM IS NOT UP AND OPERATIONAL AS OF OCTOBER 2021.
13. REMOVE EXISTING CONVECTOR/CABINET HEATER. REMOVE ALL ASSOCIATED CONTROLS AND PIPING. PATCH WALL TO MATCH SURROUNDING FINISHES INCLUDING PAINTING.
14. REMOVE ALL EXISTING EXHAUST DUCTWORK AND GRILLES IN THEIR ENTIRETY UP TO ROOF.
15. REMOVE EXISTING RECESSED CONVECTOR IN ITS ENTIRETY. REMOVE ALL RELATED PIPING.
16. REMOVE EXISTING RECESSED PNEUMATIC CONTROL BOX AND ALL RELATED CONTROLLERS AND TUBING.

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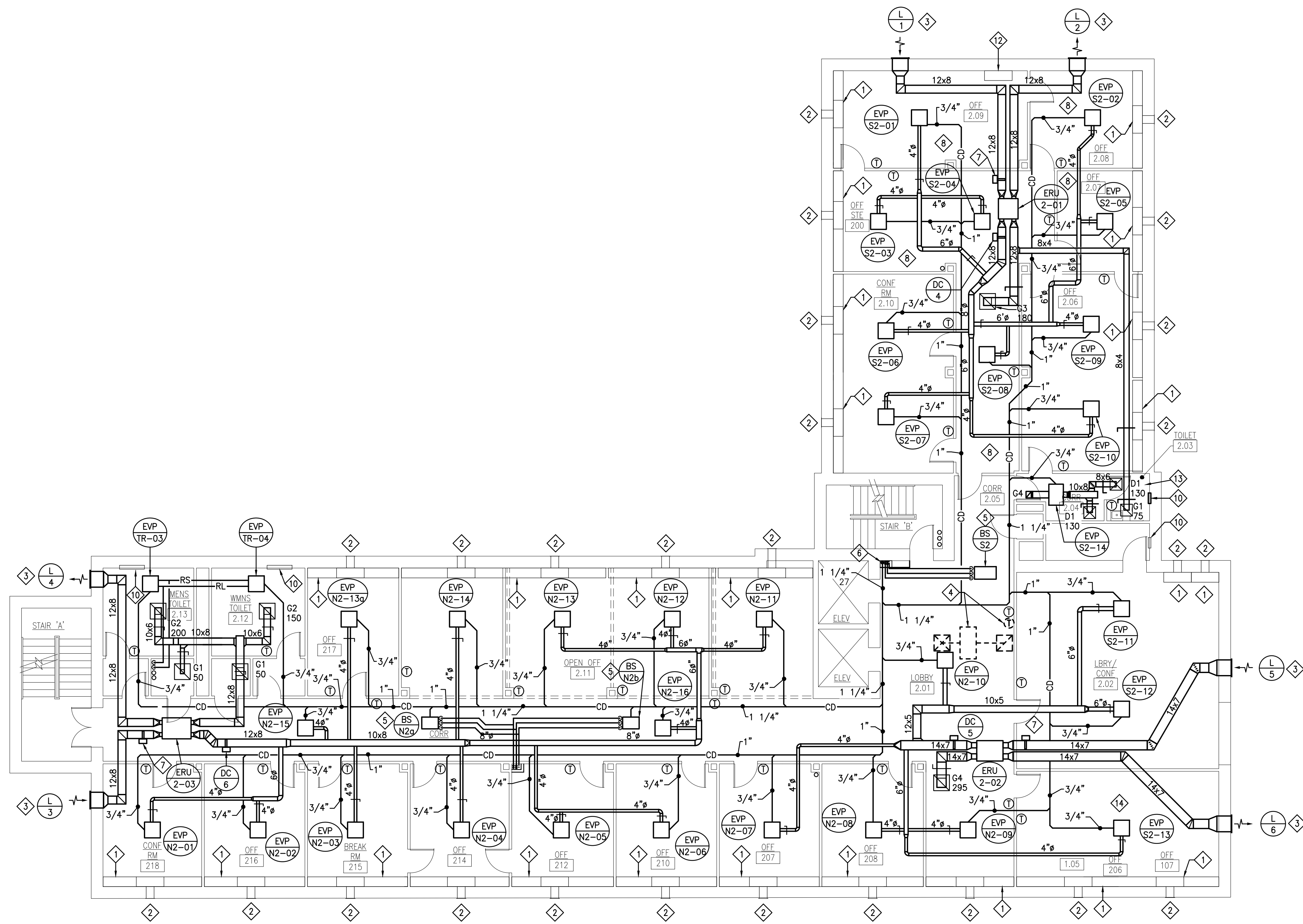
1st & 2nd FLOOR HVAC AND ELECTRICAL UPGRADES
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FIRST FLOOR PLAN
- HVAC

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H-3

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SECOND FLOOR PLAN - HVAC
SCALE: 1/8"=1'-0"

GENERAL DRAWING NOTES:

1. PROVIDE FLEXIBLE DUCT CONNECTION AT EACH DUCT CONNECTIONS TO INDOOR (EVP) UNITS, AND ALL CONNECTIONS TO ERU'S.
2. H.C. RESPONSIBLE TO REMOVE ANY ACCESSIBLE HYDRONIC PIPING.

KEYED DRAWING NOTES:

- ⬠ EXISTING UNIT VENTILATOR AND SHELVING TO BE ABANDONED IN PLACE.
- ⬠ EXISTING OUTDOOR INTAKE TO REMAIN. PROVIDE 18 GAUGE INSULATED PANEL OVER OPENING. INSULATION TO BE 1" CLOSED-CELL ELASTOMERIC. CAULK ALL EDGES.
- ⬠ LOUVER TO BE FURNISHED BY H.C. AND INSTALLED BY G.C. SEE DETAIL ON DWG A-2.
- ⬠ REMOVE EXISTING AIR UNIT, RELATED DUCTWORK AND PIPING IN ITS ENTIRETY. CAP PIPING AT THE EXISTING RISER. REMOVE EXISTING THERMOSTAT AND CONTROL WIRING.
- ⬠ REFRIGERANT BRANCH SELECTOR UNIT LOCATE ABOVE THE CEILING. SUPPORT FROM STRUCTURE AND PROVIDE ALL MANUFACTURERS RECOMMENDED CLEARANCES. RUN REFRIGERANT PIPING (HG, LIQUID AND SUCTION) FROM CONDENSING UNIT ABOVE TO BRANCH SELECTOR UNIT, AND RUN LIQUID AND SUCTION FROM BRANCH SELECTOR UNIT TO THE INDIVIDUAL INDOOR EVAPORATOR UNITS. REFER TO PIPING DIAGRAM ON DRAWING H-8.
- ⬠ CONNECT CONDENSATE PIPING INTO THE EXISTING 3" CONDENSATE PIPE RISER.
- ⬠ HC TO INSTALL ELECTRIC DUCT HEATER. DUCT HEATER TO BE FURNISHED BY UNIT MANUFACTURER.
- ⬠ CONTRACTOR SHALL REMOVE AND REPLACE EXISTING CEILING TILE AND GRID AS NECESSARY TO COMPLETE INSTALLATION.
- ⬠ NOT USED.
- ⬠ EXISTING CONNECTOR/CABINET HEATER TO BE ABANDONED.
- ⬠ NOT USED.
- ⬠ REMOVE EXISTING CONNECTOR/CABINET HEATER. REMOVE ALL ASSOCIATED CONTROLS AND PIPING. PATCH WALL TO MATCH SURROUNDING FINISHES INCLUDING PAINTING.
- ⬠ REMOVE ALL EXISTING EXHAUST DUCTWORK AND GRILLES IN THEIR ENTIRETY UP TO ROOF.
- ⬠ EXISTING CEILING GRID TO REMAIN. COORDINATE INSTALLATION OF EWP-S2-13 WITH EXISTING CEILING GRID.

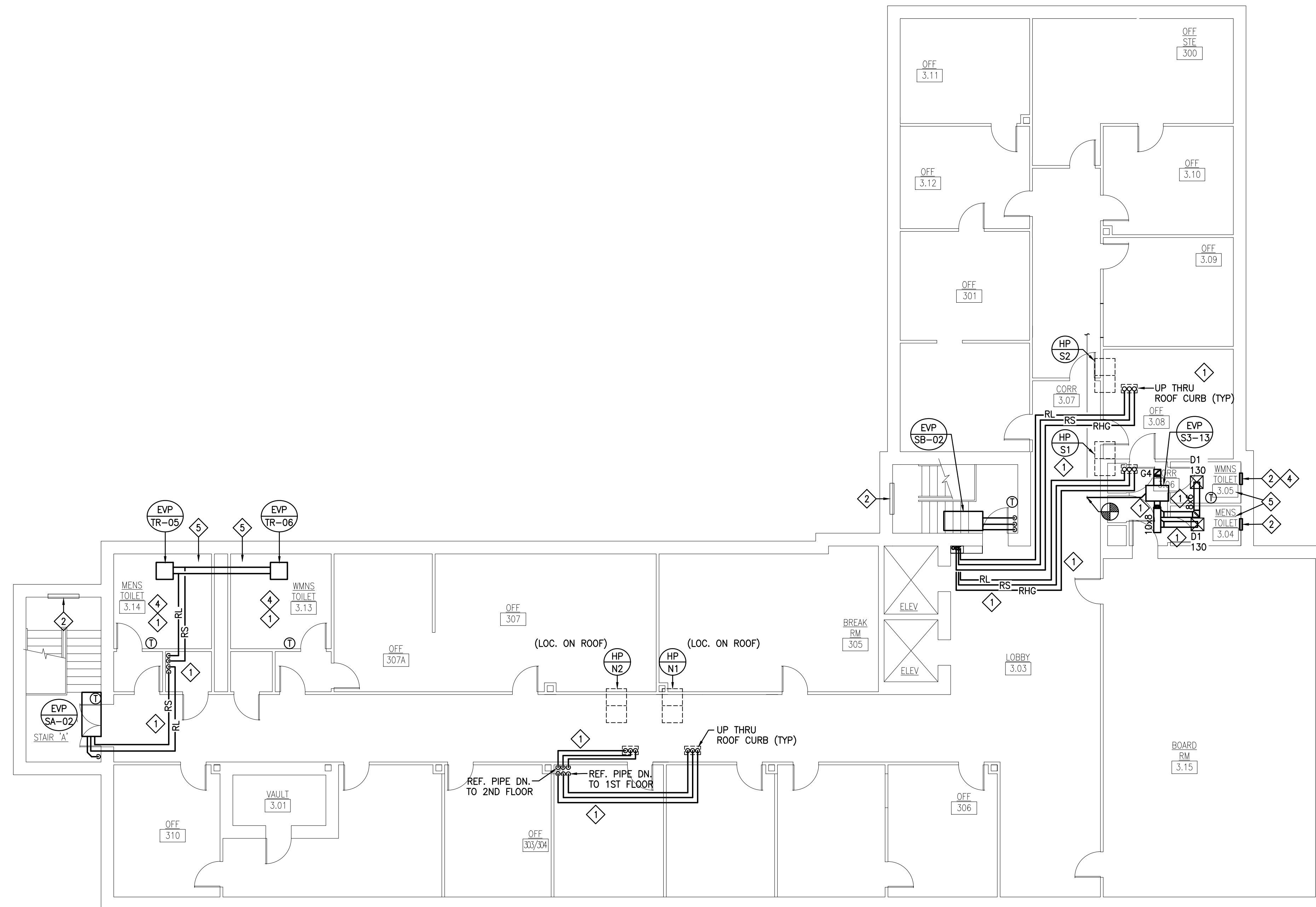
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SECOND FLOOR PLAN
- HVAC

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H-4



THIRD FLOOR PLAN - HVAC
SCALE: 1/8"=1'-0"

KEYED DRAWING NOTES:

- ◆ CONTRACTOR SHALL REMOVE AND REPLACE EXISTING CEILING TILE AND GRID AS NECESSARY TO COMPLETE INSTALLATION.
- ◆ EXISTING CONVECTOR CABINET HEATER TO BE ABANDONED.
- ◆ REMOVE EXISTING CONVECTOR/CABINET HEATER. REMOVE ALL ASSOCIATED CONTROLS AND PIPING. PATCH WALL TO MATCH SURROUNDING FINISHES INCLUDING PAINTING.
- ◆ PROVIDE TEMPORARY HEAT IN TOILET ROOM IF NEW SYSTEM IS NOT UP AND OPERATIONAL AS OF OCTOBER 2021.
- ◆ REMOVE ALL EXISTING EXHAUST DUCTWORK IN ITS ENTIRETY UP TO ROOF.

GENERAL NOTES:

1. THE BAS (JC) SUBCONTRACTOR MUST PROVIDE CONTROL AND ALARM NOTIFICATION FOR (3) THREE ELECTRIC DUCT HEATERS FOR THE EXISTING ERU'S ON THIS FLOOR.

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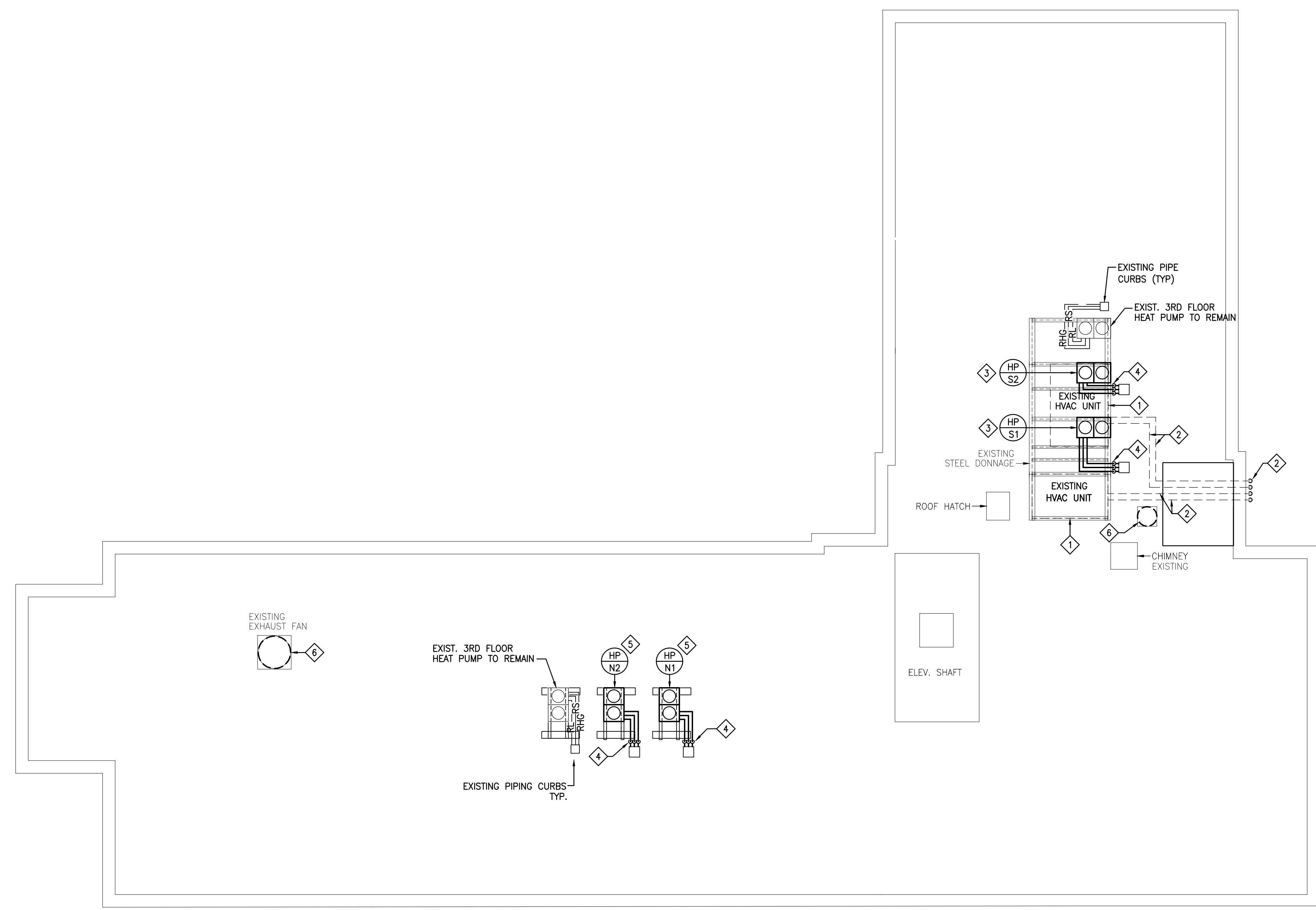
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THIRD FLOOR PLAN
- HVAC

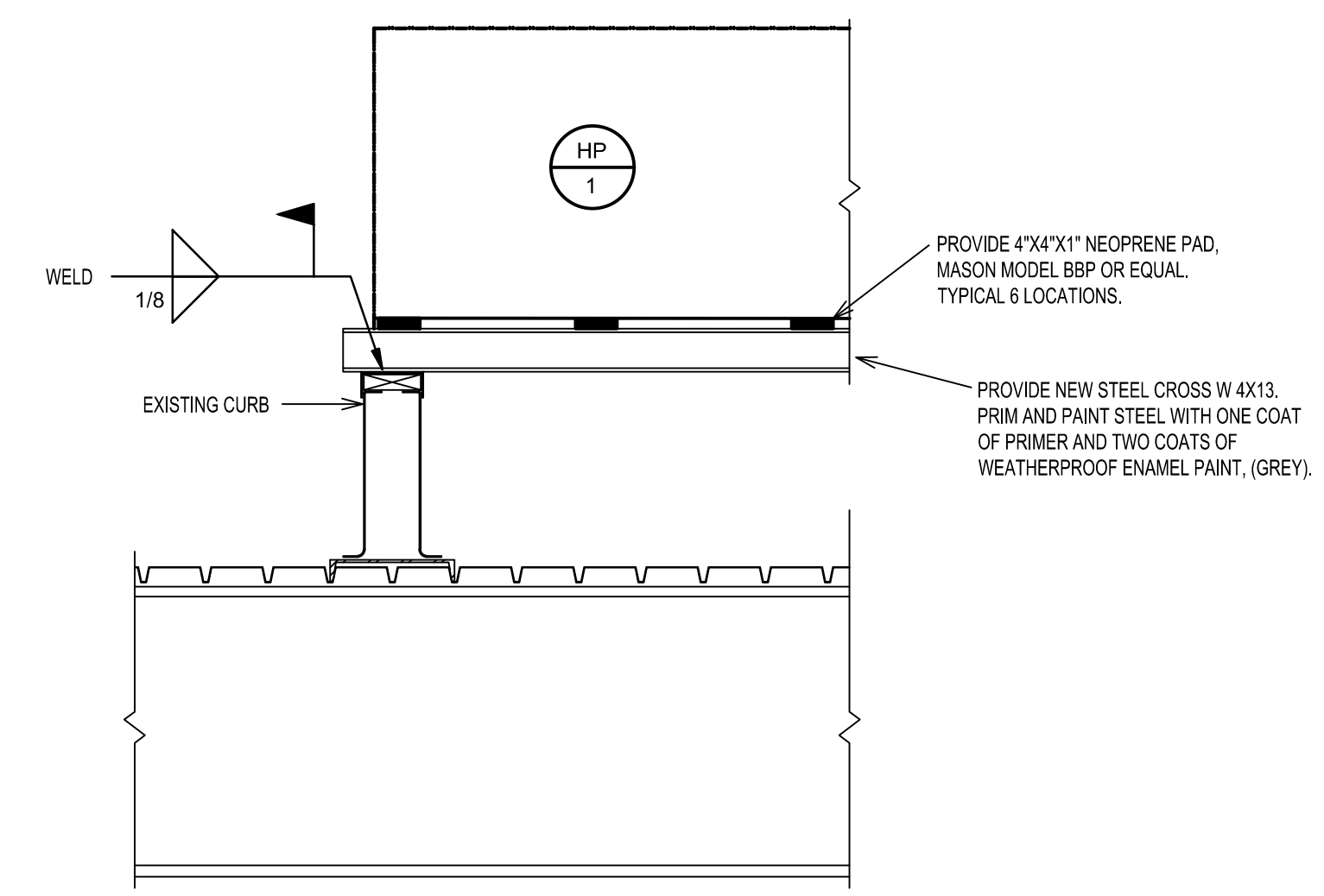
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SCALE	AS NOTED
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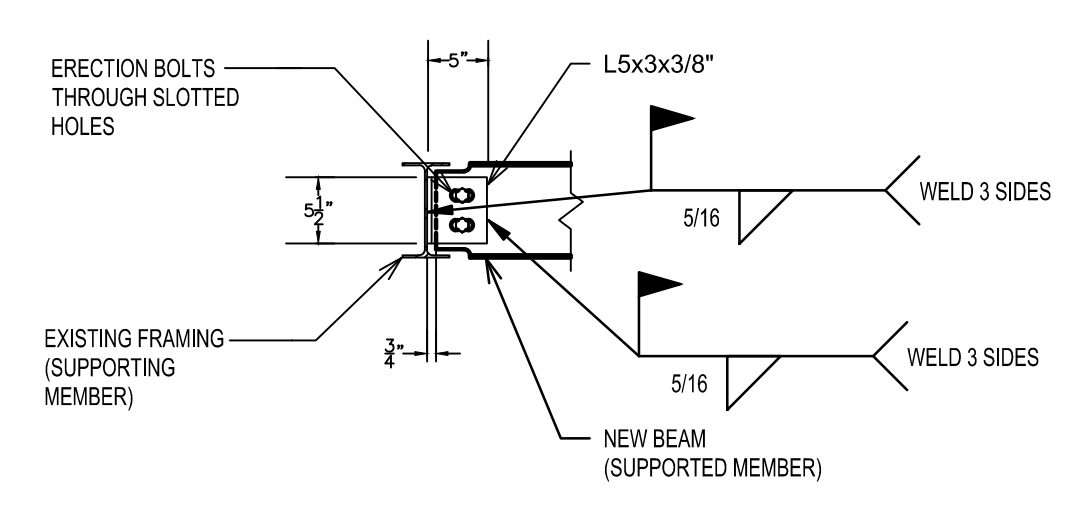
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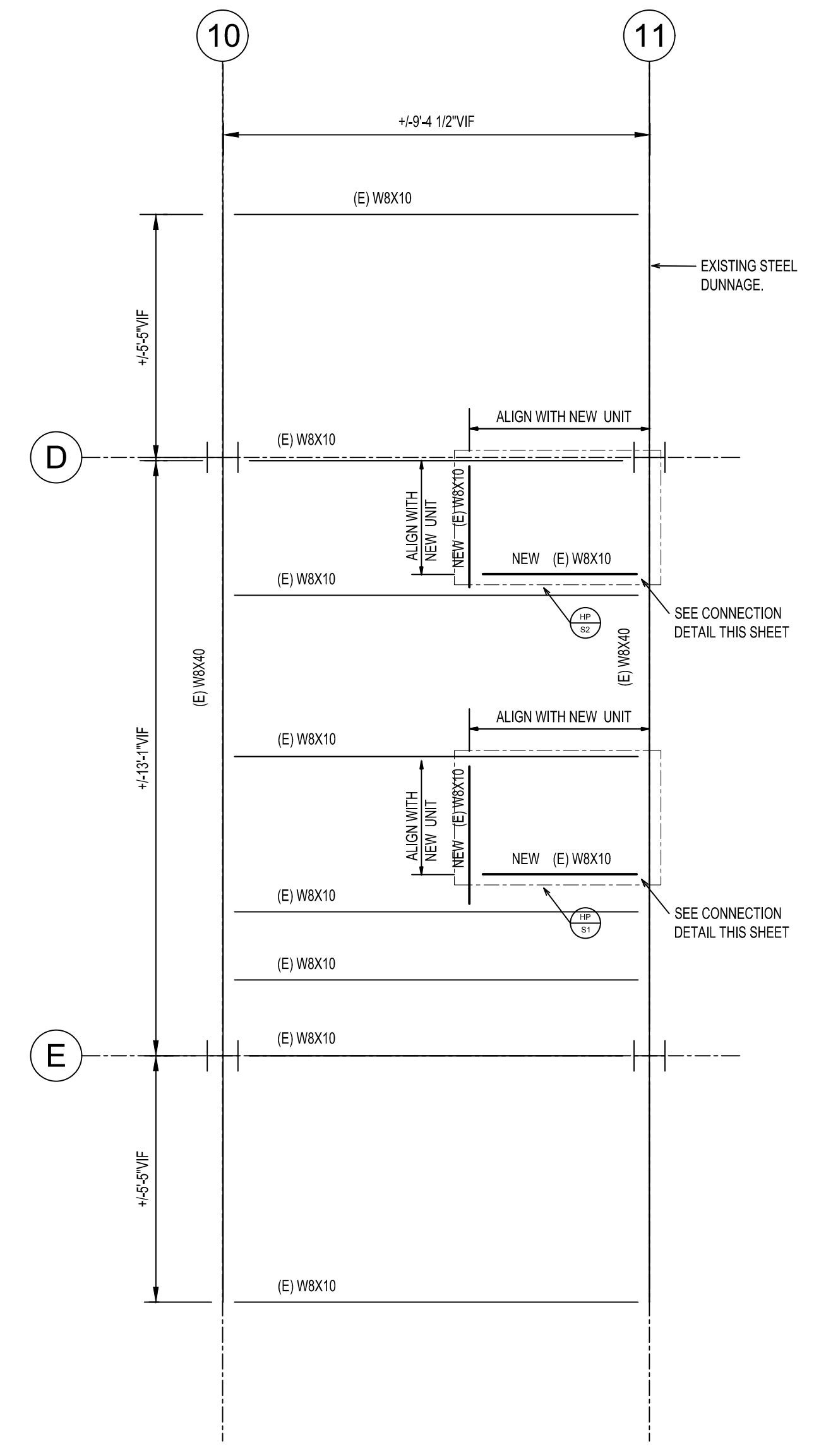
ROOF PLAN - HVAC
SCALE: 1/8"=1'-0"



DETAIL "A"
SCALE: 3/4"=1'-0"



CONNECTION DETAIL
NOT TO SCALE



DETAIL "B"
SCALE: 3/8"=1'-0"

NOTE: PREP, PRIME AND PAINT ALL NEW STEEL AND EXISTING STEEL DUNNAGE IN ITS ENTIRETY. PAINT WITH ONE COAT OF PRIMER AND TWO COATS OF WEATHERPROOF ENAMEL PAINT, (GREY).

STEEL NOTES

- A. STRUCTURAL STEEL**
- STRUCTURAL STEEL CONSTRUCTION HAS BEEN DESIGNED IN ACCORDANCE WITH A.I.S.C. 360-10, "STEEL CONSTRUCTION MANUAL."
 - STRUCTURAL STEEL SHAPES, PLATES, ETC., SHALL CONFORM TO THE FOLLOWING ASTM DESIGNATIONS, U.N.O.
CHANNELS, TEES, ANGLES, BARS, PLATES, ASTM A36
WBX10 AND SMALLER BEAMS
 - CONNECTION BOLTS SHALL CONFORM TO ASTM A325. USE BEARING TYPE BOLTS WITH THREAD ALLOWED ACROSS THE SHEAR PLANE (TYPE N) AT TYPICAL BEAM SHEAR CONNECTIONS, U.N.O. USE TYPE "SC" BOLTS WITH EITHER DIRECT TENSION INDICATOR OR LOAD INDICATOR WASHERS AT ALL BOLTED SLIP CRITICAL CONNECTIONS.
 - STEEL BEAM CONNECTIONS NOT DETAILED ON THE DRAWINGS SHALL BE DESIGNED BY THE STRUCTURAL STEEL FABRICATOR. BEAM CONNECTIONS SHALL DEVELOP THE END REACTIONS GIVEN ON THE DRAWINGS. WHERE END REACTIONS ARE NOT SPECIFIED, THE BEAM CONNECTION SHALL DEVELOP 50% OF THE BEAM'S WEB ALLOWABLE SHEAR CAPACITY. A MINIMUM CONNECTION CAPACITY OF 12 KIPS SHALL BE PROVIDED FOR ALL BEAMS, UNLESS NOTED OTHERWISE BY SPECIFIED REACTION. THE STRUCTURAL STEEL FABRICATOR SHALL PROVIDE CERTIFICATION BY A PROFESSIONAL ENGINEER, REGISTERED IN THE STATE OF THE PROJECT, THAT THE CONNECTION DESIGN IS IN ACCORDANCE WITH ALL APPLICABLE CODES AND SPECIFICATIONS.
 - FOR ALL HIGH STRENGTH BOLTS, HARDENED WASHERS SHALL BE PROVIDED.
 - GALVANIZING OF STEEL MEMBERS SHALL CONFORM TO ASTM A123. GALVANIZE ALL STEEL PERMANENTLY EXPOSED TO WEATHER.
 - STEEL BEAMS SHALL BE ERCTED WITH NATURAL CAMBER UP.
 - STRUCTURAL STEEL MEMBERS SHALL NOT BE SPICED OR HAVE PENETRATIONS UNLESS INDICATED ON THE STRUCTURAL CONTRACT DOCUMENTS OR AS REVIEWED BY THE STRUCTURAL ENGINEER.

A. WELDING

- WELDED CONSTRUCTION SHALL CONFORM TO THE AMERICAN WELDING SOCIETY "STRUCTURAL WELDING CODE" D1.1, AWS D1.3-SHEET STEEL, AND AWS D1.4 "REINFORCING STEEL WELDING CODE".
- ELECTRODES FOR FIELD AND SHOP WELDS OF STRUCTURAL STEEL SHALL BE E70XX, U.N.O.
- WHEN WELDS ARE NOT CALLED-OUT ON DRAWINGS, THEY ARE MINIMUM SIZE CONTINUOUS FILLET WELDS IN ACCORDANCE WITH AWS D1.1. FILLET WELDS NOT SPECIFIED AS TO LENGTH SHALL BE CONTINUOUS.
- UNLESS NOTED OTHERWISE ON THE DRAWINGS, ALL GROOVE WELDS SHALL BE FULL PENETRATION.
- PROVIDE FILLET WELDS AT ALL CONTACT JOINTS BETWEEN STEEL MEMBERS SUFFICIENT TO DEVELOP THE ALLOWABLE TENSILE STRENGTH OF THE SMALLER MEMBER AT THE JOINT UNLESS DETAILED OTHERWISE ON THE DRAWINGS.

KEYED DRAWING NOTES:

- REMOVE EXISTING AIR COOLED CONDENSER IN ITS ENTIRETY. RECLAIM THE EXISTING REFRIGERANT AND PROPERLY DISPOSE OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- REMOVE EXISTING REFRIGERANT PIPING IN ITS ENTIRETY. REMOVE FROM EXISTING AIR COOLED CONDENSER ALONG ROOF AND DOWN THE BUILDING TO THE CHILLER LOCATED IN THE BASEMENT MECHANICAL ROOM. REMOVE ALL SUPPORTS, CLAMPS AND ACCESSORIES.
- PROVIDE HP UNIT ON EXISTING STEEL DUNNAGE. PROVIDE STEEL BEAMS AND ATTACH TO EXISTING STEEL DUNNAGE. SEE DETAIL "B" ON THIS SHEET. PROVIDE 1" THICK NEOPRENE VIBRATION PAD, 6 LOCATIONS PER UNIT, PADS TO BE MASON INDUSTRIES MODEL BBP OR EQUAL.
- PROVIDE REFRIGERANT LINES FROM NEW HP UNIT THROUGH ROOF CURB (EXISTING). SEAL ALL PIPE PENETRATIONS. PROVIDE CURB CAP WITH PIPING & TABS PROVIDE ROOF PIPING SUPPORTS EVERY 4'-0". PIPE SUPPORTS TO BE CODY PYRAMID ST STUT-BASE SUPPORT RP550H6HD, OR EQUAL.
- PROVIDE HP UNIT ON NEW STEEL BEAMS. PROVIDE 4" STEEL BEAMS AND INSTALL PERPENDICULAR TO EXISTING ROOF CURBS. MOUNT UNIT ON STEEL. PROVIDE 1" THICK NEOPRENE VIBRATION PAD, TYPICAL 6 LOCATIONS PER UNIT. SEE DETAIL "A" THIS SHEET.
- REMOVE EXISTING EXHAUST FAN. PROVIDE 16 GAUGE WEATHER TIGHT CAP OVER THE EXISTING CURB WITH 1" CLOSED-CELL ELASTOMERIC INSULATION. REMOVE ALL RELATED EXHAUST DUCTWORK DOWN THROUGH 3RD FLOOR.

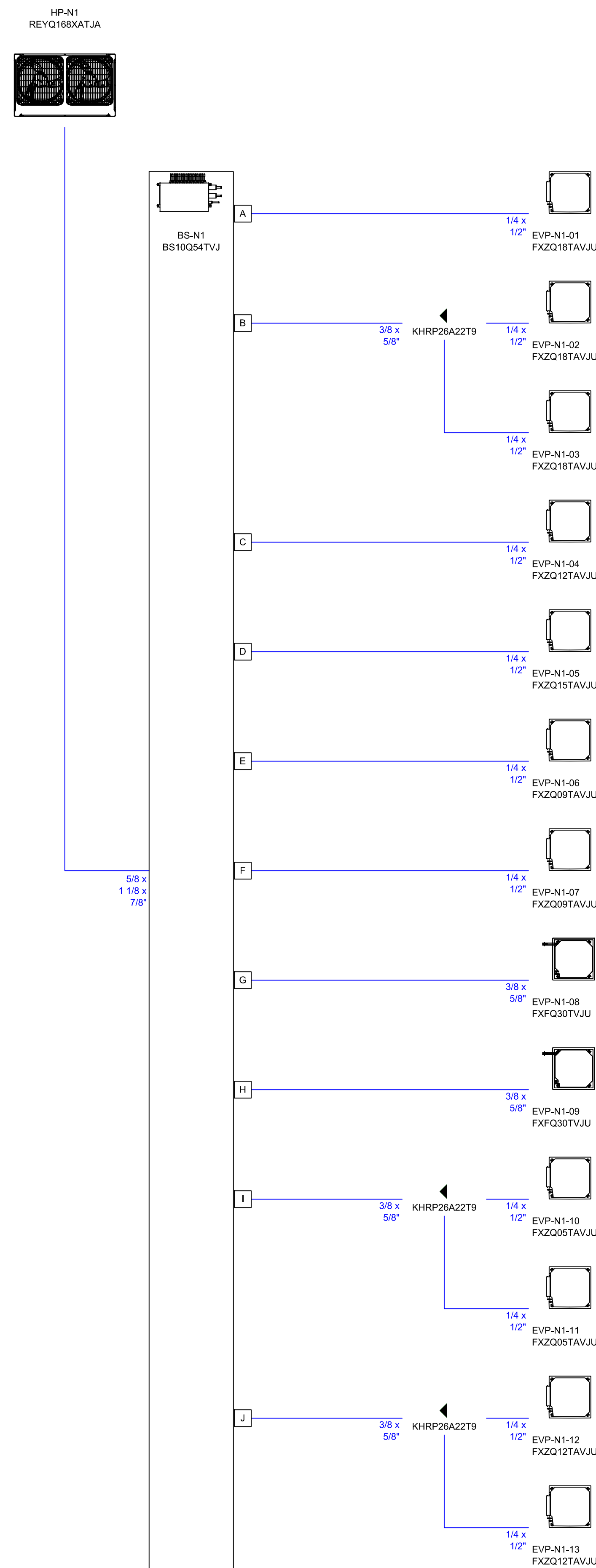
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ROOF PLAN - HVAC

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SHEET	

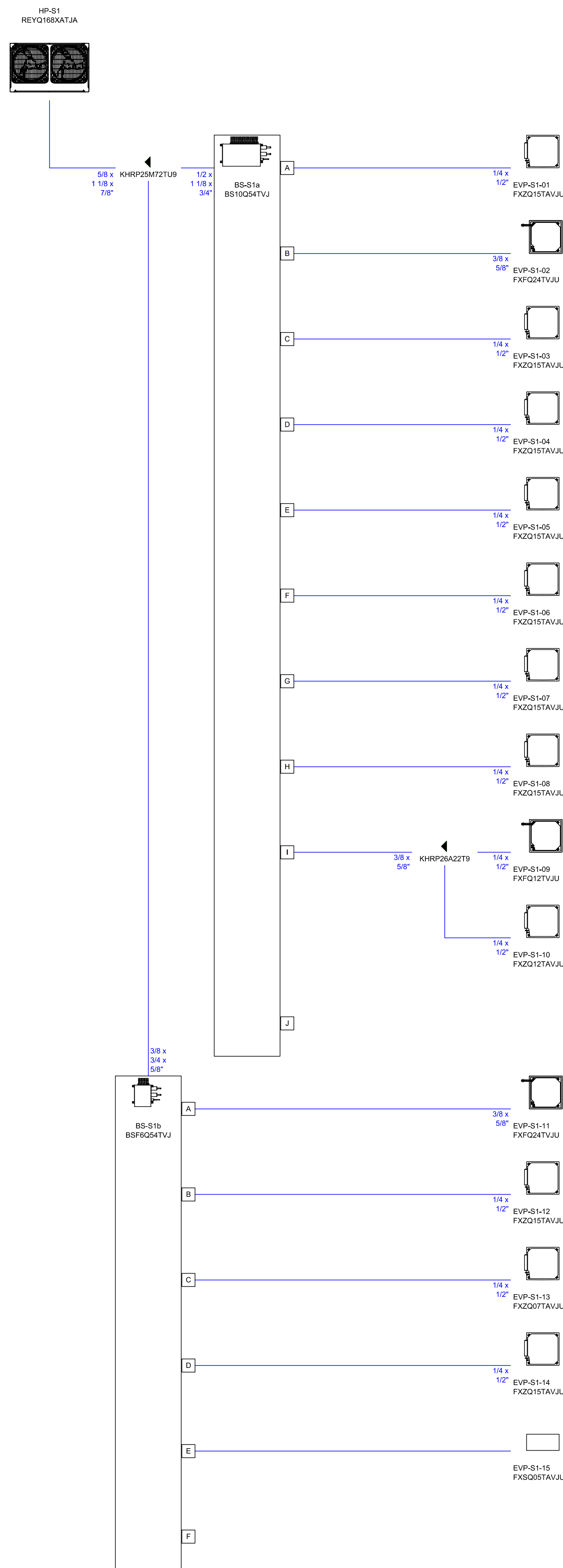
H-6



1ST FLOOR - NORTH REFRIGERANT PIPING SCHEMATIC
NOT TO SCALE

NOTE: MANUFACTURE SHALL PROVIDE AN INSTALLATION PIPING DIAGRAM WITH FINAL REFRIGERANT PIPE SIZES, CONTRACTOR SHALL SUBMIT PIPING DIAGRAM FOR ENGINEERS APPROVAL. EACH MANUFACTURES PIPING METHODS MAY DIFFER THE CONTRACTOR MUST INCLUDE IN THE BID ANY PIPING MODIFICATION REQUIRED BETWEEN ALTERNATE MANUFACTURES.

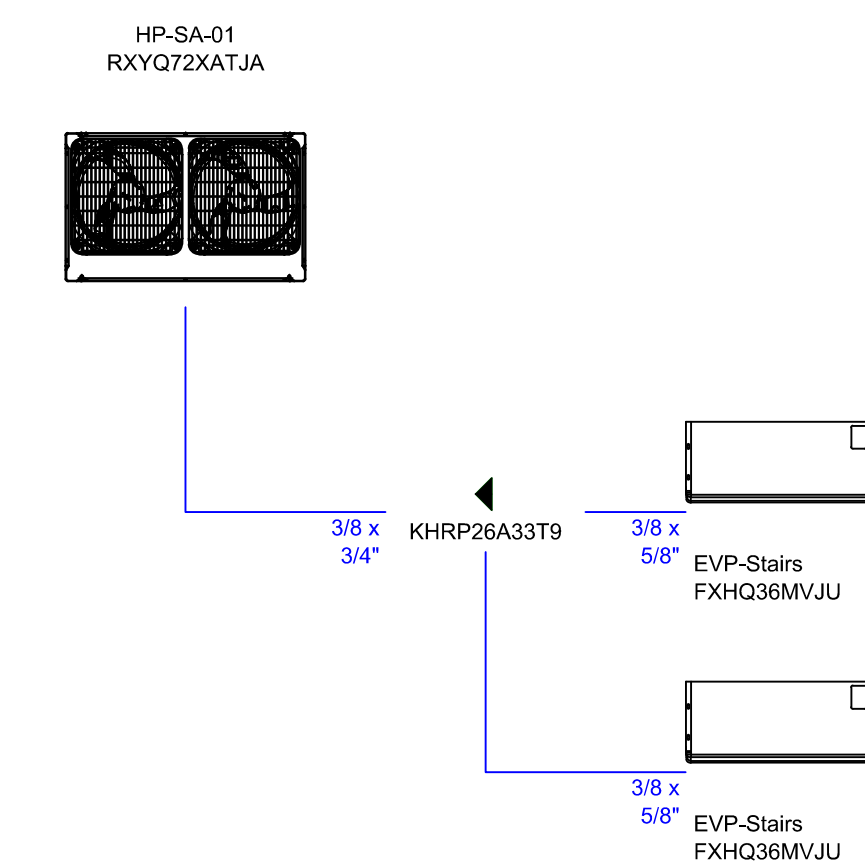
PROVIDE REFRIGERANT ISOLATION VALVE AT ALL PIPE CONNECTION IN AND OUT OF DISTRIBUTION BOX.



1ST FLOOR - SOUTH REFRIGERANT PIPING SCHEMATIC
NOT TO SCALE

NOTE: MANUFACTURE SHALL PROVIDE AN INSTALLATION PIPING DIAGRAM WITH FINAL REFRIGERANT PIPE SIZES, CONTRACTOR SHALL SUBMIT PIPING DIAGRAM FOR ENGINEERS APPROVAL. EACH MANUFACTURES PIPING METHODS MAY DIFFER THE CONTRACTOR MUST INCLUDE IN THE BID ANY PIPING MODIFICATION REQUIRED BETWEEN ALTERNATE MANUFACTURES.

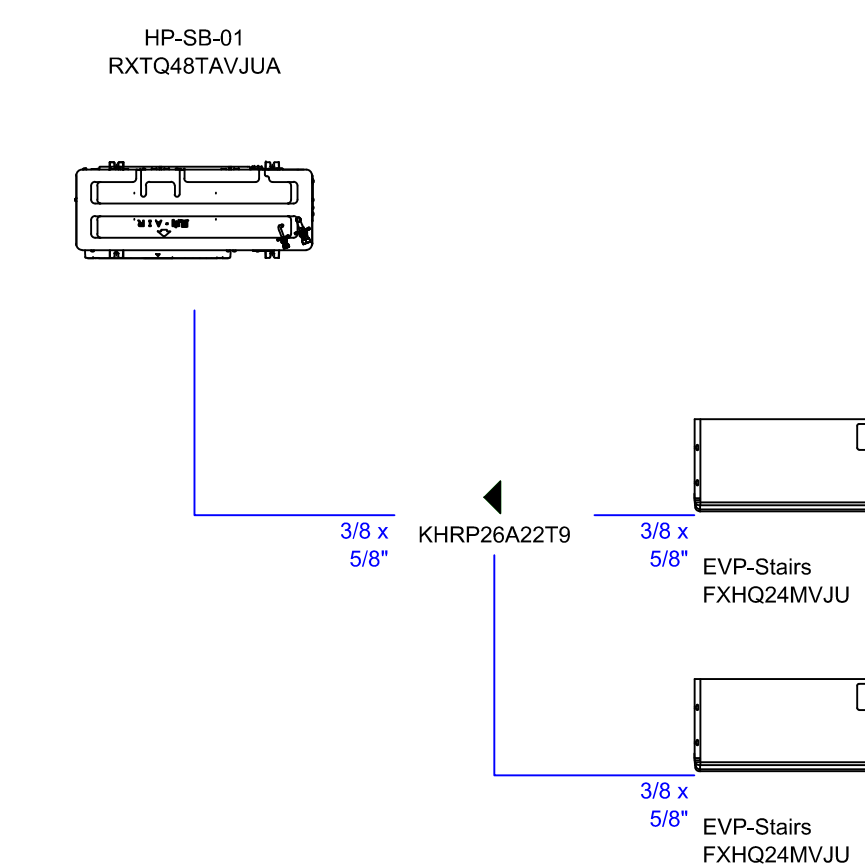
PROVIDE REFRIGERANT ISOLATION VALVE AT ALL PIPE CONNECTION IN AND OUT OF DISTRIBUTION BOX.



STAIRS A - REFRIGERANT PIPING SCHEMATIC
NOT TO SCALE

NOTE: MANUFACTURE SHALL PROVIDE AN INSTALLATION PIPING DIAGRAM WITH FINAL REFRIGERANT PIPE SIZES, CONTRACTOR SHALL SUBMIT PIPING DIAGRAM FOR ENGINEERS APPROVAL. EACH MANUFACTURES PIPING METHODS MAY DIFFER THE CONTRACTOR MUST INCLUDE IN THE BID ANY PIPING MODIFICATION REQUIRED BETWEEN ALTERNATE MANUFACTURES.

PROVIDE REFRIGERANT ISOLATION VALVE AT ALL PIPE CONNECTION IN AND OUT OF DISTRIBUTION BOX.



STAIRS B - REFRIGERANT PIPING SCHEMATIC
NOT TO SCALE

NOTE: MANUFACTURE SHALL PROVIDE AN INSTALLATION PIPING DIAGRAM WITH FINAL REFRIGERANT PIPE SIZES, CONTRACTOR SHALL SUBMIT PIPING DIAGRAM FOR ENGINEERS APPROVAL. EACH MANUFACTURES PIPING METHODS MAY DIFFER THE CONTRACTOR MUST INCLUDE IN THE BID ANY PIPING MODIFICATION REQUIRED BETWEEN ALTERNATE MANUFACTURES.

PROVIDE REFRIGERANT ISOLATION VALVE AT ALL PIPE CONNECTION IN AND OUT OF DISTRIBUTION BOX.

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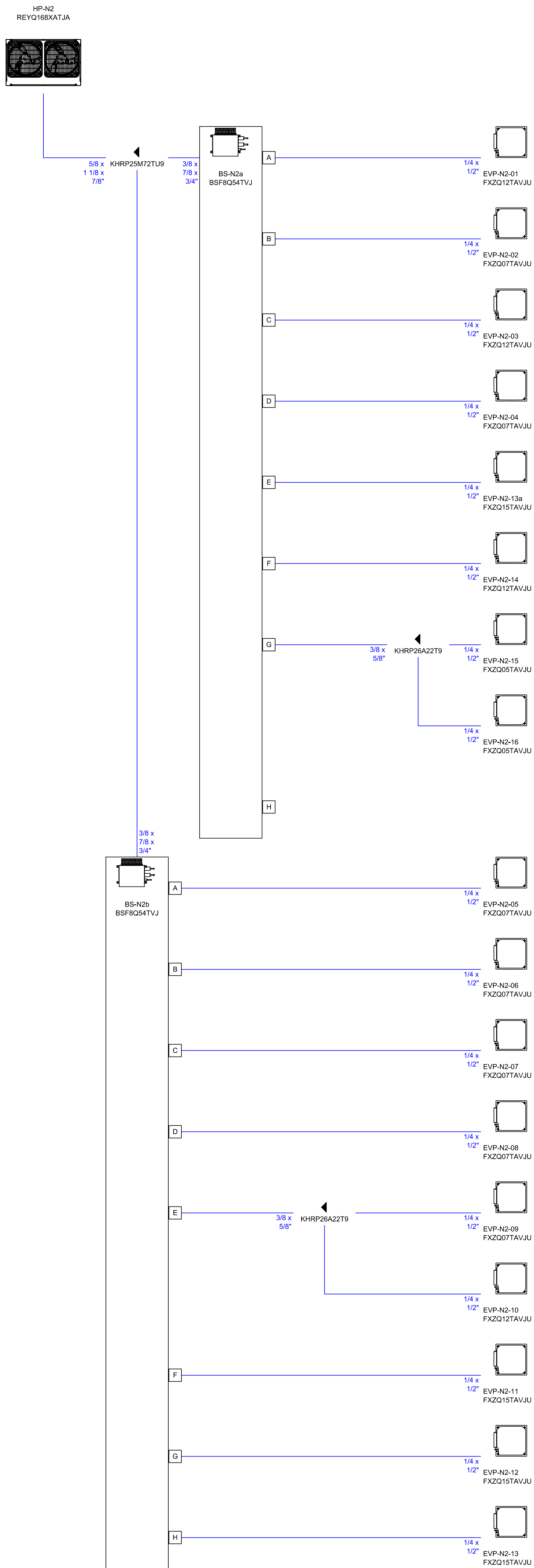
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**HVAC PIPING RISER
DIAGRAMS**

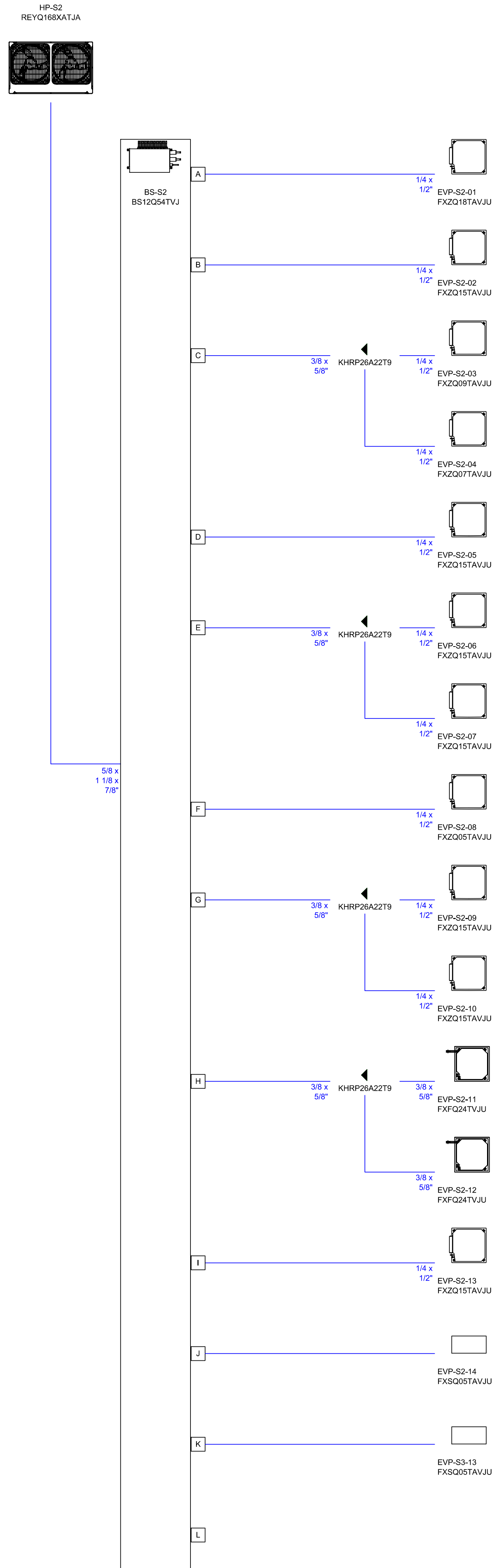
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H-9



2ND FLOOR - NORTH REFRIGERANT PIPING SCHEMATIC

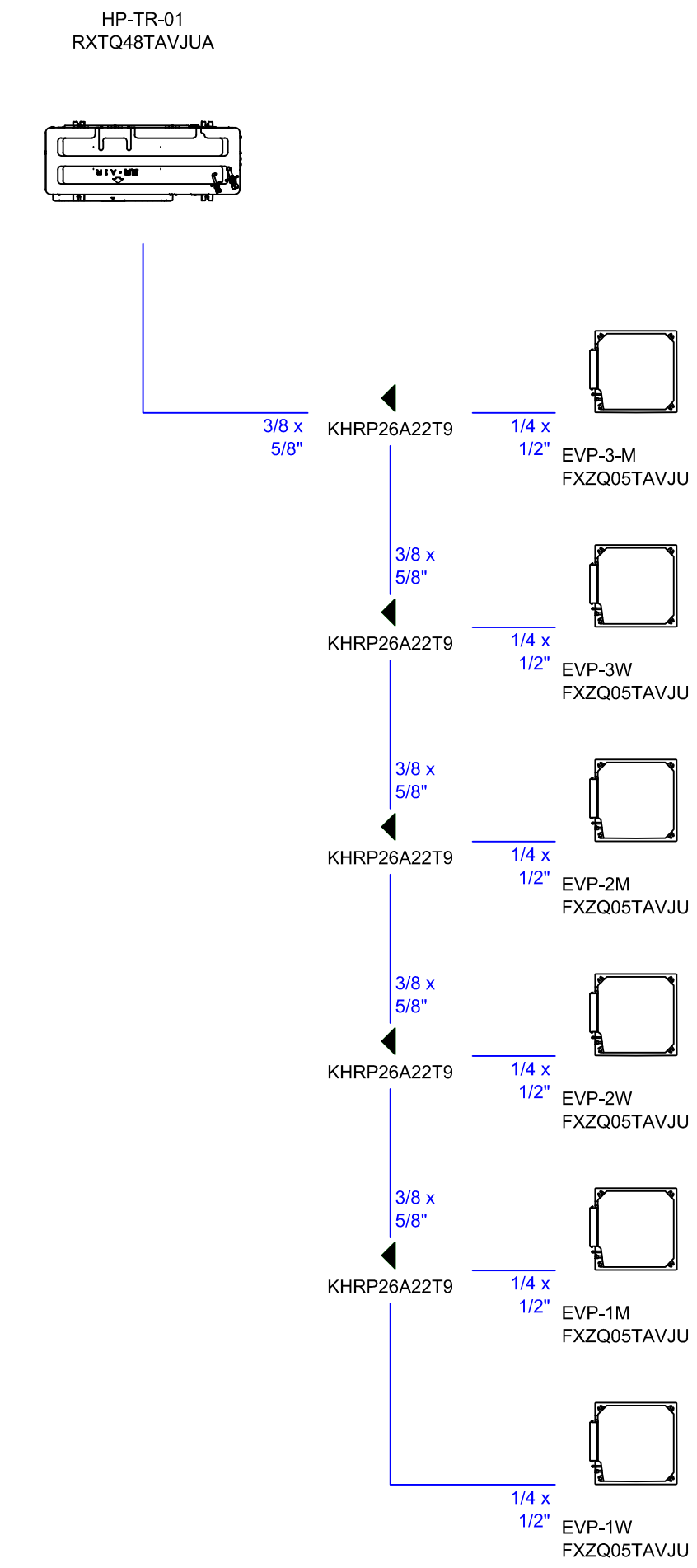
NOTE: MANUFACTURE SHALL PROVIDE AN INSTALLATION PIPING DIAGRAM WITH FINAL REFRIGERANT PIPE SIZES, CONTRACTOR SHALL SUBMIT PIPING DIAGRAM FOR ENGINEERS APPROVAL. EACH MANUFACTURES PIPING METHODS MAY DIFFER THE CONTRACTOR MUST INCLUDE IN THE BID ANY PIPING MODIFICATION REQUIRED BETWEEN ALTERNATE MANUFACTURES.
PROVIDE REFRIGERANT ISOLATION VALVE AT ALL PIPE CONNECTION IN AND OUT OF DISTRIBUTION BOX.



2ND FLOOR - SOUTH REFRIGERANT PIPING SCHEMATIC

NOT TO SCALE

NOTE: MANUFACTURE SHALL PROVIDE AN INSTALLATION PIPING DIAGRAM WITH FINAL REFRIGERANT PIPE SIZES, CONTRACTOR SHALL SUBMIT PIPING DIAGRAM FOR ENGINEERS APPROVAL. EACH MANUFACTURES PIPING METHODS MAY DIFFER THE CONTRACTOR MUST INCLUDE IN THE BID ANY PIPING MODIFICATION REQUIRED BETWEEN ALTERNATE MANUFACTURES.
PROVIDE REFRIGERANT ISOLATION VALVE AT ALL PIPE CONNECTION IN AND OUT OF DISTRIBUTION BOX.




BATHROOMS - REFRIGERANT PIPING SCHEMATIC

NOT TO SCALE

NOTE: MANUFACTURE SHALL PROVIDE AN INSTALLATION PIPING DIAGRAM WITH FINAL REFRIGERANT PIPE SIZES, CONTRACTOR SHALL SUBMIT PIPING DIAGRAM FOR ENGINEERS APPROVAL. EACH MANUFACTURES PIPING METHODS MAY DIFFER THE CONTRACTOR MUST INCLUDE IN THE BID ANY PIPING MODIFICATION REQUIRED BETWEEN ALTERNATE MANUFACTURES.
PROVIDE REFRIGERANT ISOLATION VALVE AT ALL PIPE CONNECTION IN AND OUT OF DISTRIBUTION BOX.

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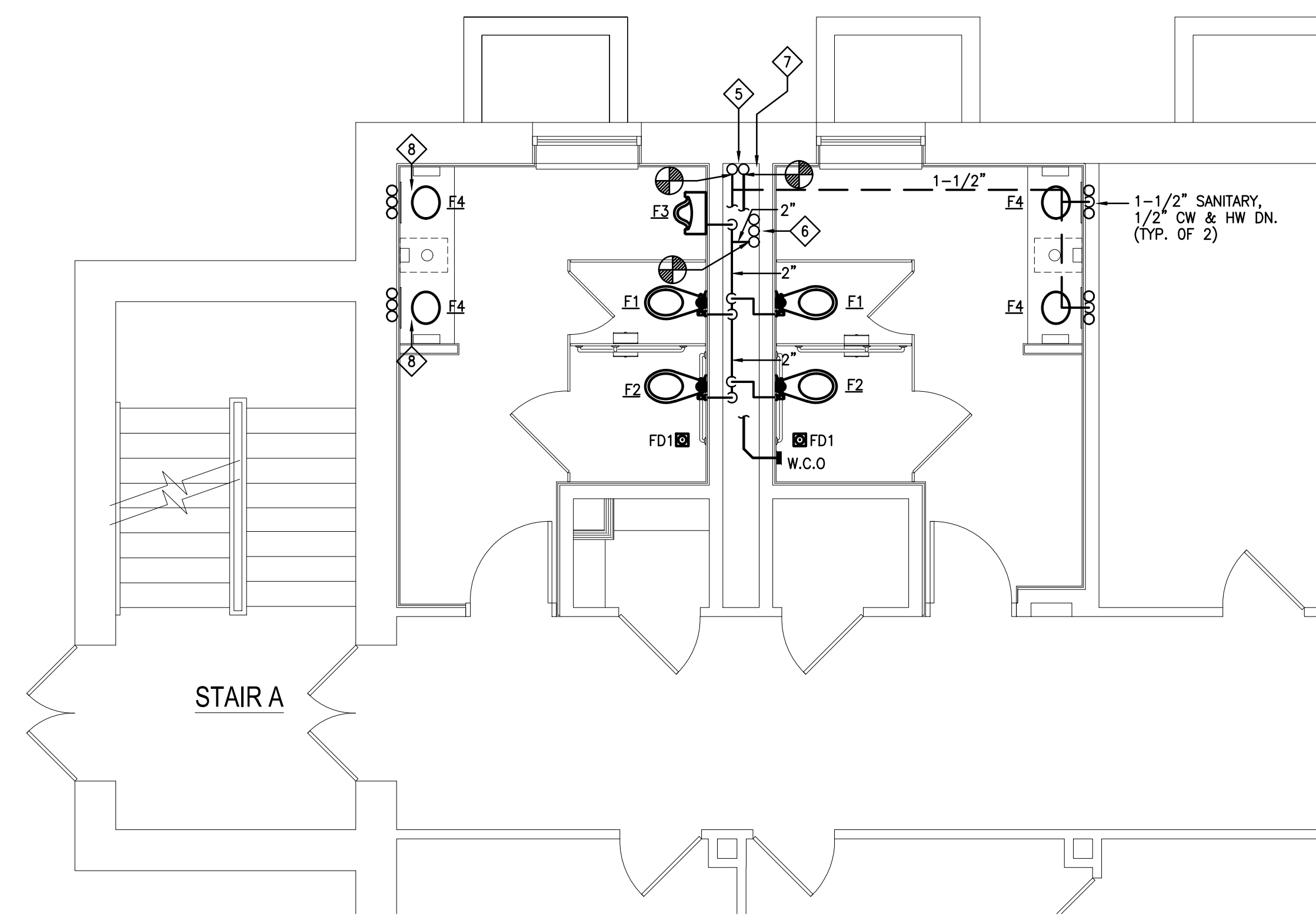
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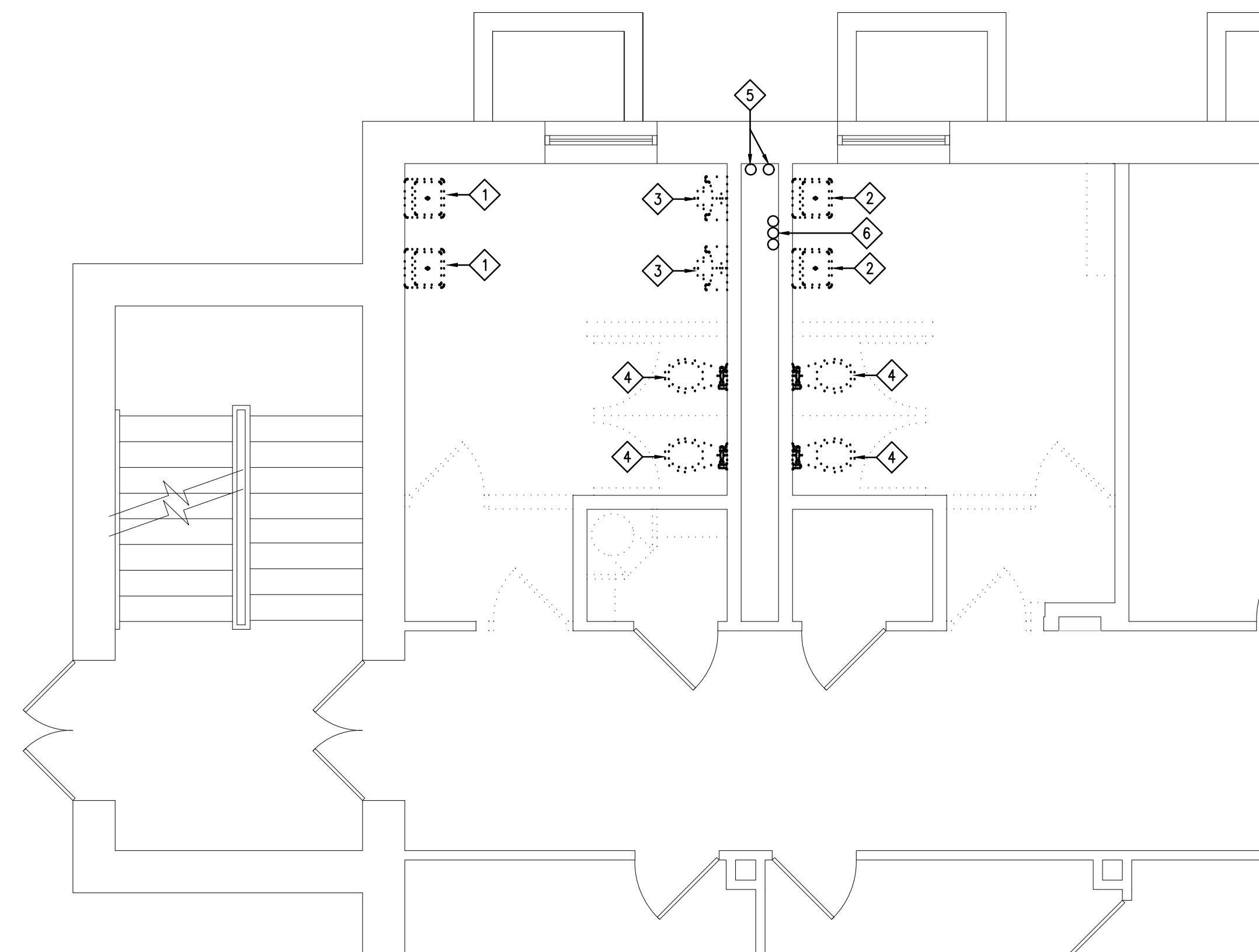
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HVAC PIPING RISER
DIAGRAMS

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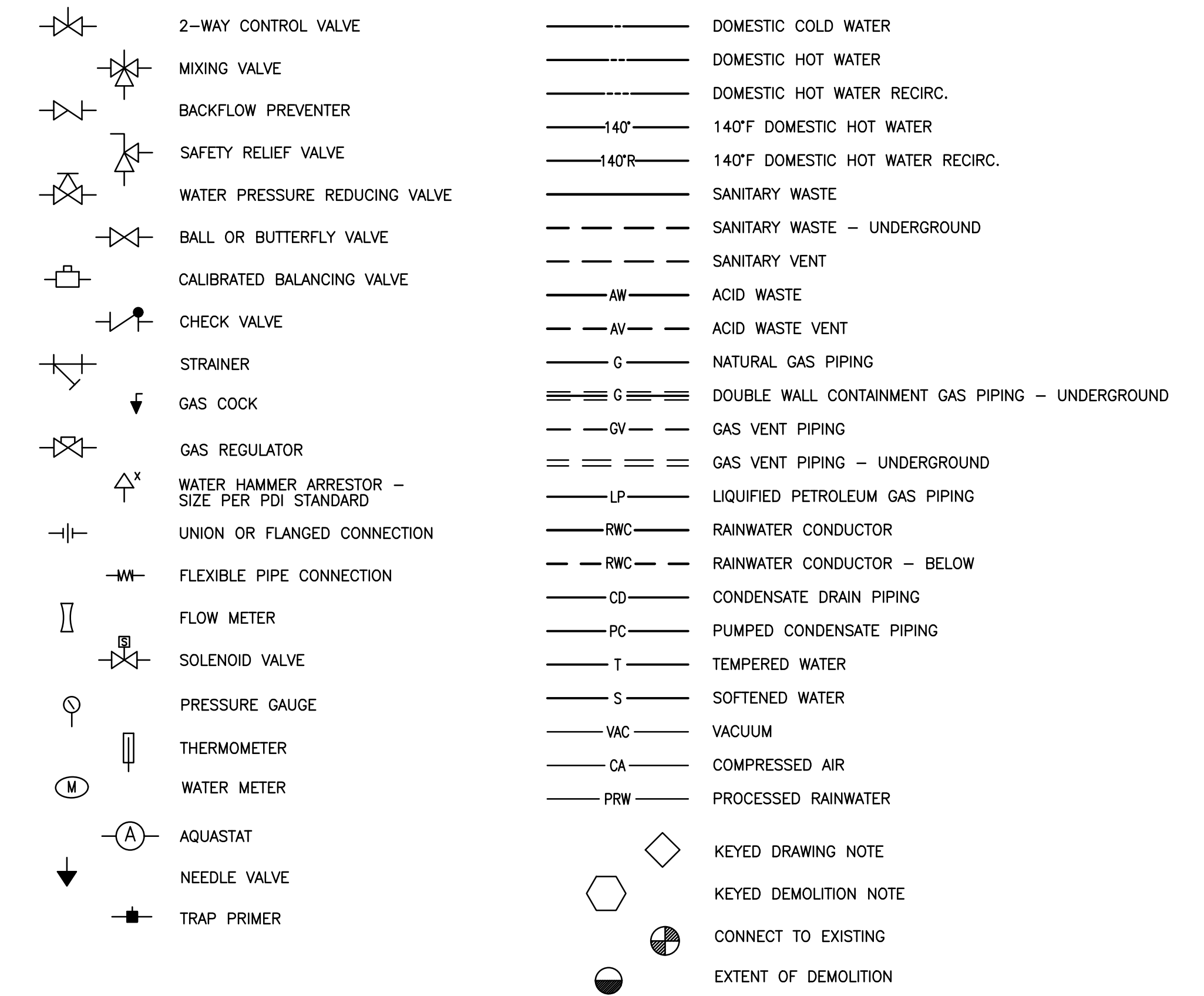
PARTIAL FIRST FLOOR PLAN - PLUMBING
SCALE: 1/4"=1'-0"



PARTIAL FIRST FLOOR PLAN - PLUMBING DEMO
SCALE: 1/4"=1'-0"

PLUMBING LEGEND

(ALL SYMBOLS MAY NOT APPLY TO THIS PROJECT)



ABBREVIATIONS

ABV	ABOVE	FCO	FLOOR CLEAN OUT
APPROX	APPROXIMATELY	FD	FLOOR DRAIN
ARCH	ARCHITECTURAL	FLR	FLOOR
AVTR	ACID VENT THRU ROOF	GC	GENERAL CONTRACTOR
BLW	BELOW	HW	HOT WATER
BLDG	BUILDING	HC	HEATING CONTRACTOR
CD	CONDENSATE DRAIN	INV	INVERT
CLG	CEILING	LAV	LAVATORY
CO	CLEAN OUT	MH	MAN HOLE
COND	CONDENSATE	PC	PLUMBING CONTRACTOR
CONN	CONNECT	REQ'D	REQUIRED
CW	COLD WATER	RWC	RAIN WATER CONDUCTOR
DN	DOWN	SAN	SANITARY
DWG	DRAWING	SH	SHOWER
EC	ELECTRICAL CONTRACTOR	TYP	TYPICAL
E1	ELEVATION	UR	URINAL
EQUIP	EQUIPMENT	V	VENT
EXIST	EXISTING	VTR	VENT THRU ROOF
EXP	EXPANSION	WC	WATER CLOSET
		WCO	WALL CLEAN OUT

KEYED DRAWING NOTES:

- 1 REMOVE THE EXISTING WALL MOUNTED LAVATORY AND WALL HANGER. REMOVE THE EXISTING SANITARY AND WATER PIPING INTO THE EXISTING WALL.
- 2 REMOVE THE EXISTING WALL MOUNTED LAVATORY AND WALL CARRIER. REMOVE THE EXISTING SANITARY, VENT AND WATER PIPING TO THE EXISTING PIPE RISERS IN THE CHASE.
- 3 REMOVE THE EXISTING WALL URINAL AND WALL CARRIER. REMOVE THE EXISTING SANITARY, VENT AND WATER PIPING TO THE EXISTING PIPE RISERS IN THE CHASE.
- 4 REMOVE THE EXISTING WALL MOUNTED WATER CLOSET AND WALL CARRIER. REMOVE THE EXISTING SANITARY, VENT AND WATER PIPING TO THE EXISTING PIPE RISERS IN THE CHASE.
- 5 EXISTING SANITARY AND VENT RISERS TO REMAIN.
- 6 EXISTING DOMESTIC WATER RISERS TO REMAIN.
- 7 EXTEND NEW SANITARY AND VENT FROM EXISTING RISERS. SEE RISER DIAGRAM THIS SHEET.
- 8 EXTEND EXISTING DOMESTIC CW, HW AND SANITARY FROM INSIDE EXISTING WALL TO NEW FIXTURE.
- 9 CUT AND PATCH CEILING AS REQUIRED FOR NEW INSTALLATION. PROVIDE SURFACE RESTORATION.

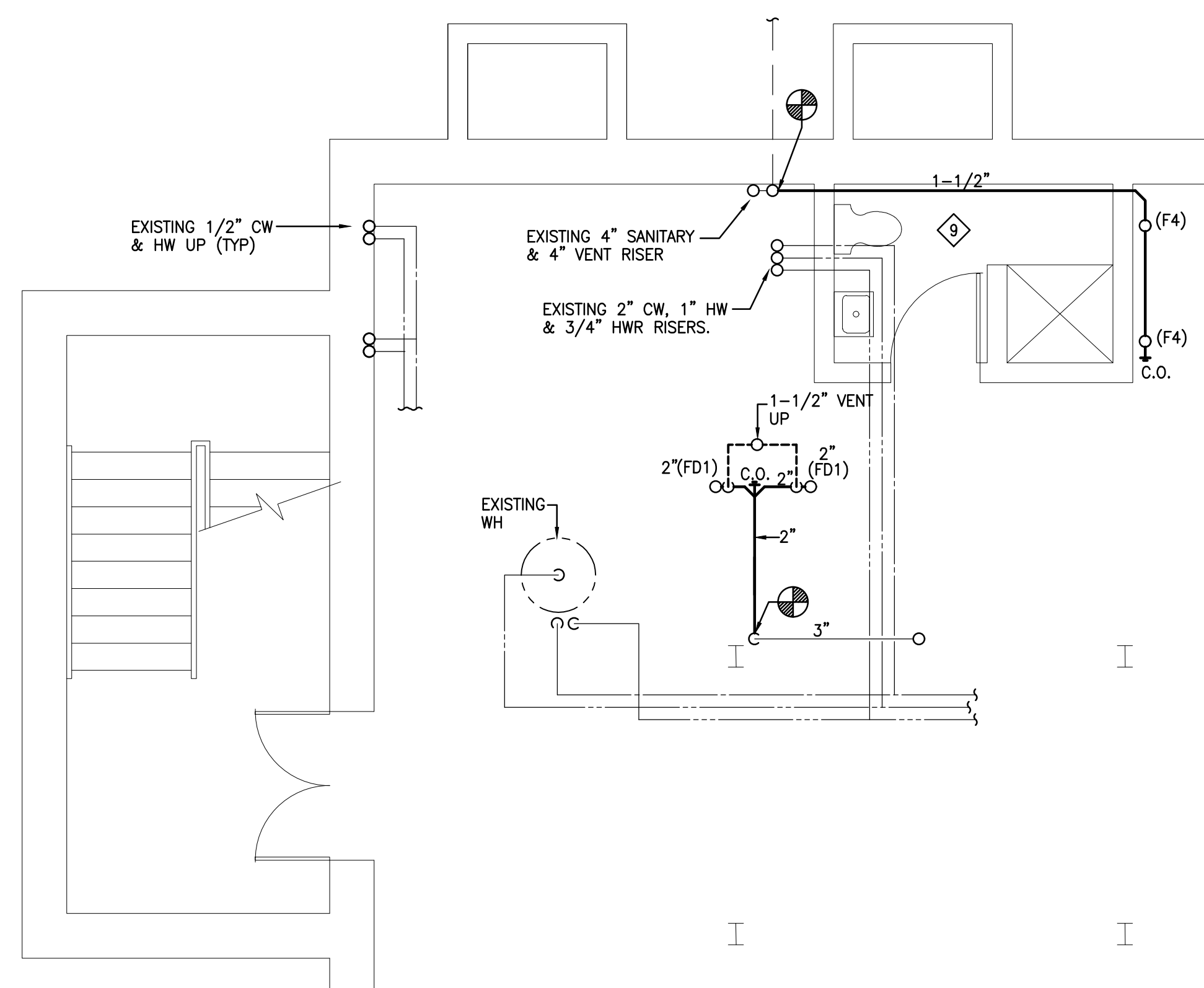
FLOOR DRAINS

FLOOR DRAIN TYPE DESIGNATIONS AND SIZES ARE INDICATED ON DRAWINGS.
FD1: CAST-IRON BODY, FLASHING COLLAR, NICKEL BRONZE ADJUSTABLE STRAINER WITH SECURED GRATE AND BOTTOM OUTLET. J.R. SMITH MODEL 2005-A OR 2005-B. VERIFY GRATE TYPE WITH FLOOR TYPES FOR EACH LOCATION. USE TYPE A FOR SEAMLESS AREAS AND TYPE B FOR TILED AREAS. PROVIDE MECHANICAL QUAD TRAP SEAL. J.R. SMITH MODEL 2692-02.

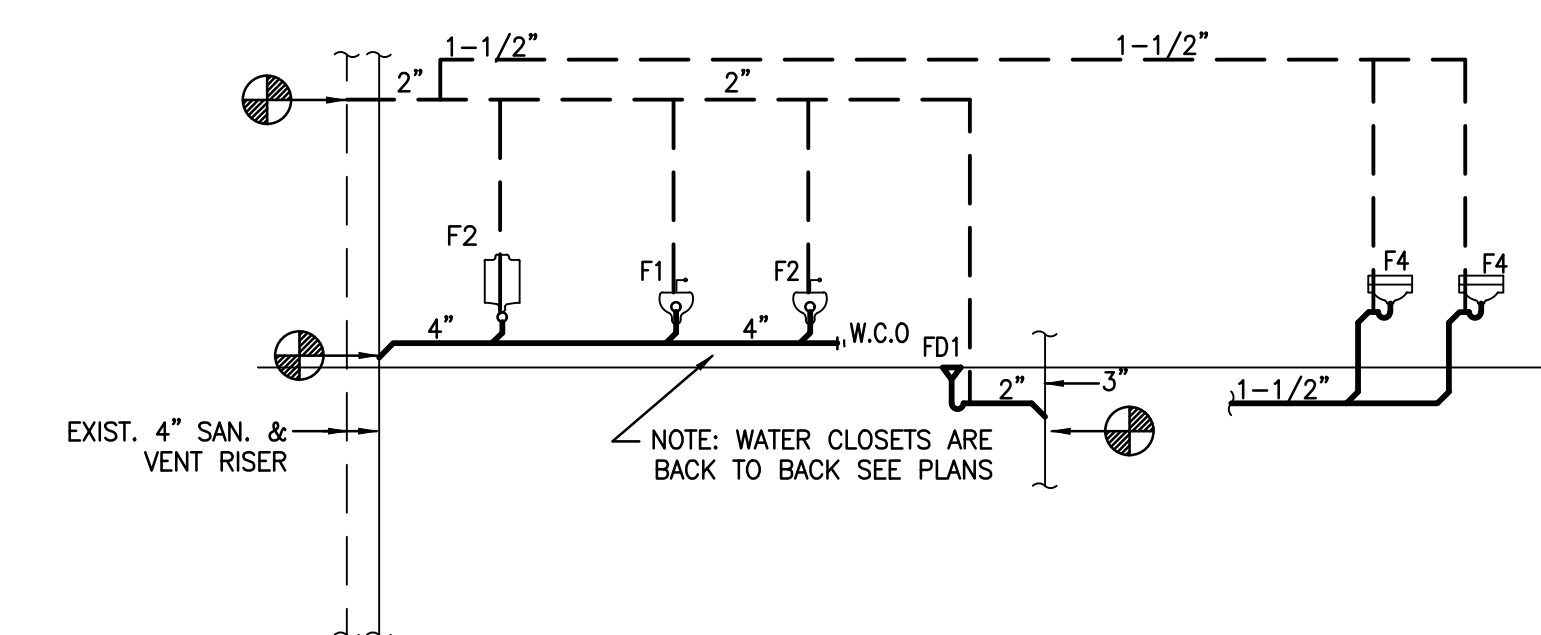
PLUMBING FIXTURE SCHEDULE

SYMBOL	FIXTURE	C.W.	H.W.	SAN.	VENT	TRAP	MOUNTING	RIM HEIGHT	REMARKS
F1	WATER CLOSET	1"	-	4"	2"	-	WALL	15"	-
F2	WATER CLOSET - (ADA)	1"	-	4"	2"	-	WALL	17"	-
F3	URINAL-(ADA)	1"	-	2"	1-1/2"	2"	WALL	17"	-
F4	LAVATORY - (ADA)	1/2"	1/2"	1-1/2"	1-1/4"	1-1/4" X 1-1/2"	WALL	SEE ARCH	-

NOTE : ALL SANITARY PIPING LOCATED BELOW GRADE SHALL BE MINIMUM 2" DIAMETER



PARTIAL BASEMENT FLOOR PLAN - PLUMBING
SCALE: 1/4"=1'-0"



WASTE & VENT PIPING RISER DIAGRAM
NO SCALE

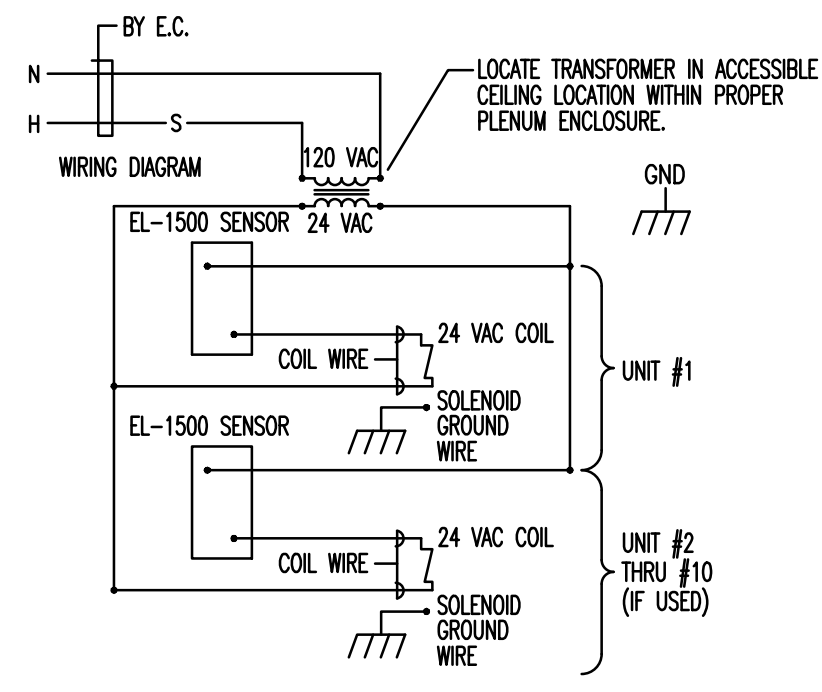
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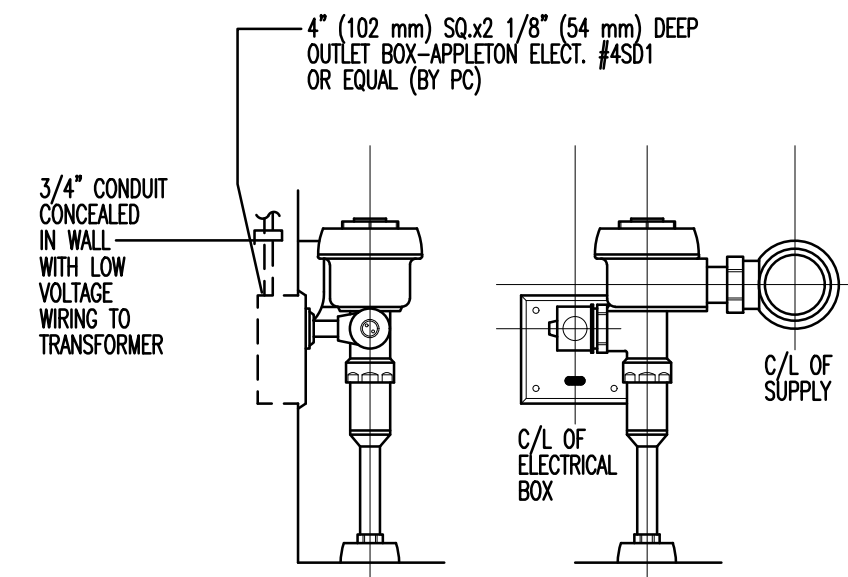
1ST FLOOR & BASEMENT PLUMBING FLOOR PLANS, SCHEDULES AND DETAILS

DRAWN	FB
CHECKED	AM
DATE	10-18-2021
SCALE	AS NOTED
JOB NO.	2767-2
SHEET	



ONE TRANSFORMER SERVES UP TO TEN (10) WATER CLOSET/URINAL FLUSHMETERS. PROVIDE NUMBER OF TRANSFORMERS REQUIRED ACCORDINGLY.

THIS DETAIL IS BASED ON SLOAN VALVE COMPANY. OTHER MANUFACTURERS MAY VARY. VERIFY ALL REQUIREMENTS WITH MANUFACTURER BEFORE ROUGH-IN.



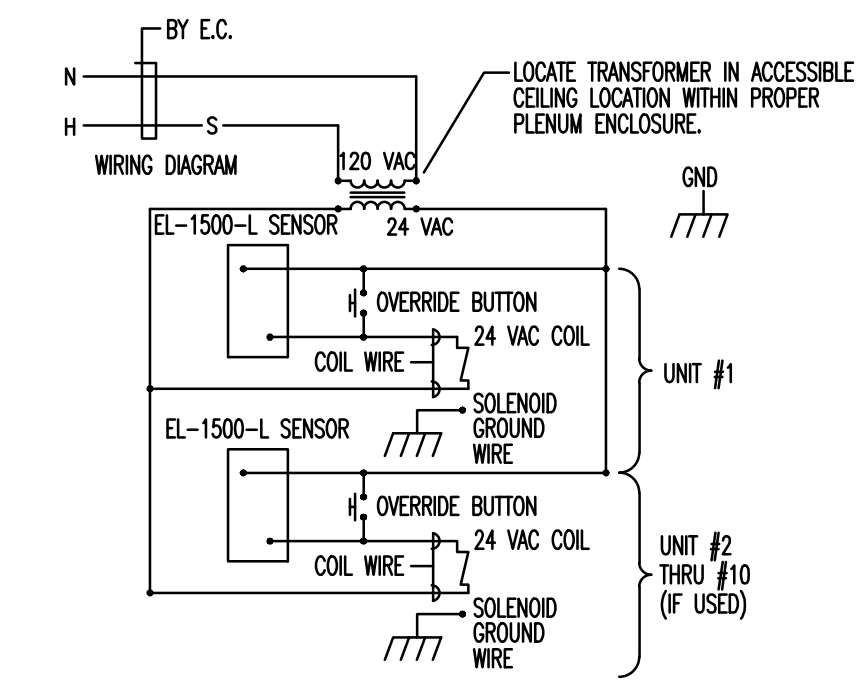
POSITION OF SENSOR BOX CAN BE RAISED OR LOWERED 1" (25 mm) IF IN CONFLICT WITH HANDICAP GRAB BARS.

1. PROVIDE A TRANSFORMER FOR EACH URINAL LOCATED IN ALL TOILET ROOMS WHERE ONLY ONE URINAL IS PROVIDED.
2. IN TOILET ROOMS WITH MORE THAN ONE URINAL PROVIDE THE REQUIRED NUMBER OF TRANSFORMERS. REFER TO PLANS FOR THIS INFORMATION.

ALL WORK INDICATED ABOVE SHALL BE PROVIDED BY P.C. EXCLUDING 120V POWER CONNECTION TO TRANSFORMER.

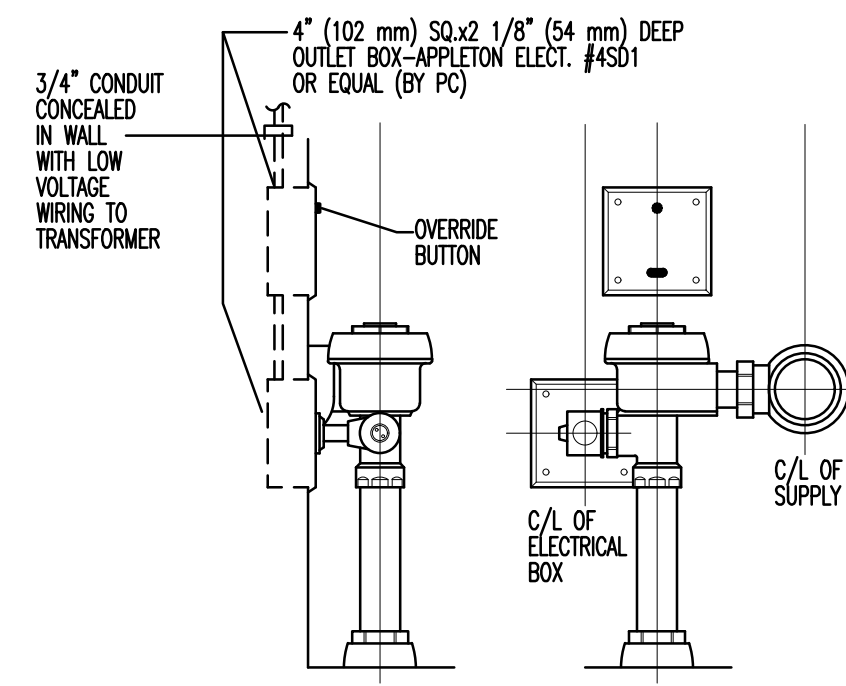
SENSOR OPERATED URINAL FLUSH METER DETAIL

NO SCALE:



ONE TRANSFORMER SERVES UP TO TEN (10) WATER CLOSET/URINAL FLUSHMETERS. PROVIDE NUMBER OF TRANSFORMERS REQUIRED.

THIS DETAIL IS BASED ON SLOAN VALVE COMPANY. OTHER MANUFACTURERS MAY VARY. VERIFY ALL REQUIREMENTS WITH MANUFACTURER BEFORE ROUGH-IN.



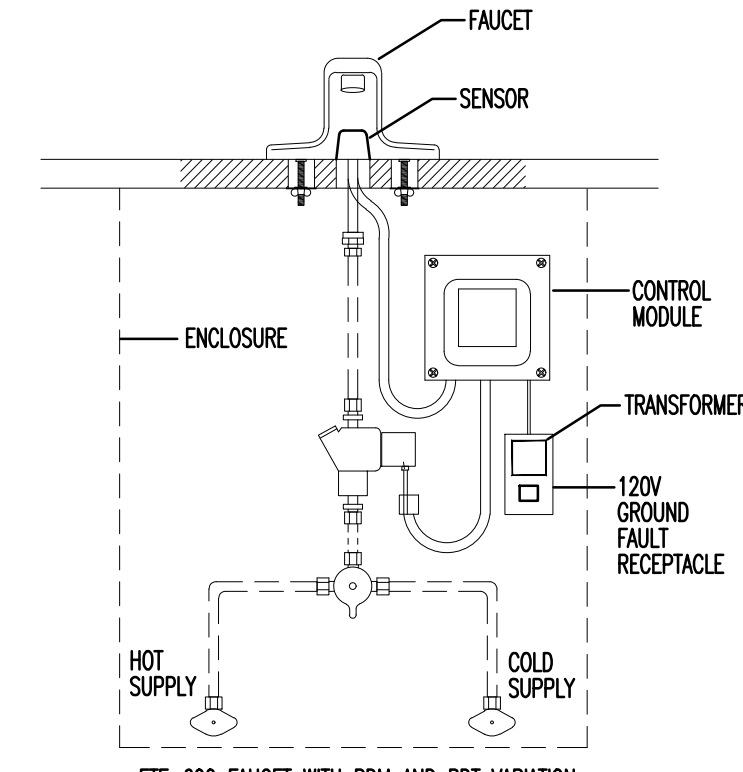
POSITION OF SENSOR BOX CAN BE RAISED OR LOWERED 1" (25 mm) IF IN CONFLICT WITH HANDICAP GRAB BARS.

1. PROVIDE A TRANSFORMER FOR EACH WATER CLOSET LOCATED IN ALL TOILET ROOMS WHERE ONLY ONE WATER CLOSET IS PROVIDED.
2. IN TOILET ROOMS WITH MORE THAN ONE WATER CLOSET PROVIDE THE REQUIRED NUMBER OF TRANSFORMERS. REFER TO PLANS FOR THIS INFORMATION.

ALL WORK INDICATED ABOVE SHALL BE PROVIDED BY P.C. EXCLUDING 120V POWER CONNECTION TO TRANSFORMER.

SENSOR OPERATED WATER CLOSET FLUSH METER DETAIL

NO SCALE:



ETF-600 FAUCET WITH BOM AND BBT VARIATION WIRING VALVES FOR HOT AND COLD WATER SUPPLY

MAX. DISTANCE CONTROL MODULE MAY BE INSTALLED FROM SPOUT WITH STANDARD CABLE: 12" (305 mm)

PROVIDE SLOAN OPTISHIELD LAVATORY PROTECTIVE ENCLOSURE TO CONCEAL VALVES, PIPING AND WIRING. SLOAN MODEL NO. ETF-529.

THIS DETAIL IS BASED ON SLOAN VALVE COMPANY. OTHER MANUFACTURERS MAY VARY. VERIFY ALL REQUIREMENTS WITH MANUFACTURER BEFORE ROUGH-IN. ALL WORK INDICATED ABOVE SHALL BE PROVIDED BY P.C. EXCLUDING 120V GROUND FAULT RECEPTACLE.

REFER TO PIPING SCHEMATIC DIAGRAMS FOR CHECK VALVE LOCATIONS.

SENSOR OPERATED LAVATORY FAUCET DETAIL

SCALE: NONE

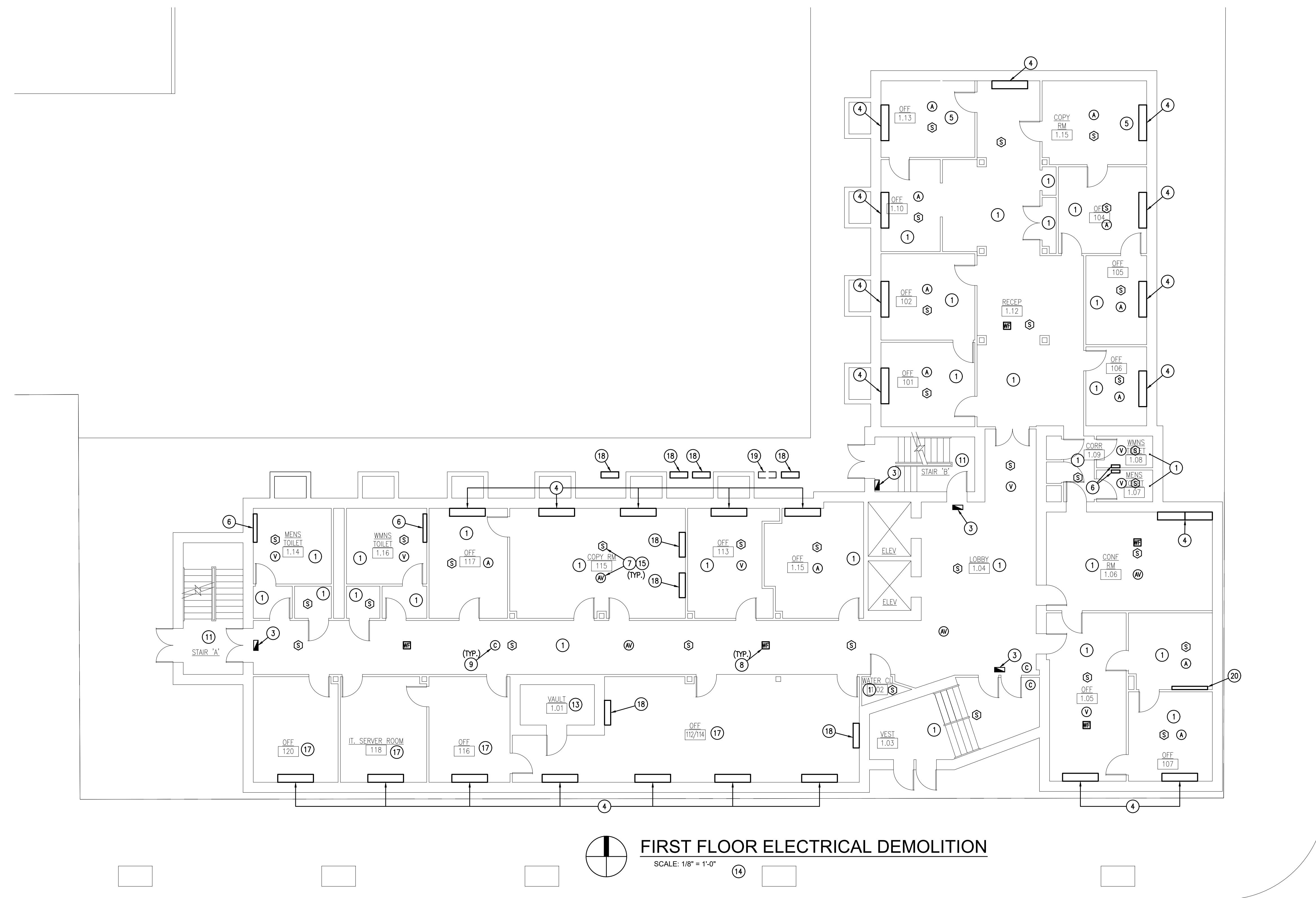
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SENSOR OPERATED FIXTURE
DETAILS - HARD WIRED -
ALTERNATE BID

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FIRST FLOOR ELECTRICAL DEMOLITION
SCALE: 1/8" = 1'-0"

DRAWING NOTES:

- DISCONNECT AND REMOVE EXISTING LIGHTS AND ASSOCIATED CONTROLS / SWITCHING; EXISTING WIRING TO BE REMOVED. SEE NEW WORK PLAN FOR NEW LIGHTS, CONTROLS / SWITCHING AND WIRING.
- EXISTING CEILING TO REMAIN. EXISTING ROOM LIGHT FIXTURES TO REMAIN. REMOVE EXISTING SWITCHES / CONTROLS. EXISTING WIRING TO BE REMOVED. SEE NEW WORK PLAN FOR NEW CONTROLS / SWITCHES AND WIRING.
- DISCONNECT AND REMOVE EXISTING EXIT SIGN. REMOVE EXISTING RECESSED BOX AND PATCH EXISTING OPENING. PAINT WALL TO MATCH EXISTING WALL SURFACE.
- DISCONNECT EXISTING UNIT VENTILATOR (WHEN PHASING PERMITS) AND REMOVE ALL ASSOCIATED ELECTRICAL EQUIPMENT / DEVICES. REMOVE WIRING BACK TO SOURCE. ABANDONING WIRING IN PLACE IS NOT ACCEPTABLE. REMOVE EXIST. WIRING.
- EXISTING CEILING TO REMAIN AND MODIFIED TO INSTALL NEW BULKHEAD FOR EXTERIOR WALL LOUVER. EXISTING LIGHT FIXTURES TO REMAIN. EXISTING LUTRON SWITCHES. POWER PACK ABOVE CEILING AND FIXTURE WIRING TO REMAIN.
- DISCONNECT AND REMOVE EXISTING ABOVE MIRROR LIGHT FIXTURE. REMOVE WIRING. PATCH OPENINGS IN WALL AND PAINT TO MATCH ADJACENT SURFACES.
- TEMPORARY SUPPORT EXISTING FIRE ALARM DEVICE TO REMOVE EXISTING CEILING. REINSTALL IN NEW CEILING.
- TEMPORARY SUPPORT EXISTING WIFI DEVICE TO REMOVE EXISTING CEILING. REINSTALL IN NEW CEILING.
- TEMPORARY SUPPORT EXISTING CCTV CAMERA TO REMOVE EXISTING CEILING. REINSTALL IN NEW CEILING. CONTRACTOR SHALL BE RESPONSIBLE TO RE-ARM CAMERA AND HAVE OWNER SIGN OFF THAT CAMERA IS LOCATED AND AIMED TO SUIT.
- EXISTING CEILING MOUNTED PROJECTOR AND DEVICES TO BE TEMPORARY SUPPORTED TO ALLOW EXISTING CEILING TO BE REMOVED. REINSTALL IN NEW CEILING.
- DISCONNECT AND REMOVE RECESSED STAIR LIGHT FIXTURES. EXISTING STAIR LANDING CEILING TO REMAIN. PROVIDE NEW SURFACE LIGHT FIXTURE. PATCH / PAINT CEILING TO MATCH EXISTING. REMOVE WIRING AND PROVIDE NEW NORMAL EMERGENCY LIGHT FIXTURE AND WIRING AS SHOWN ON NEW WORK PLAN.
- DISCONNECT AND REMOVE EXISTING EMERGENCY ONLY LIGHT AND ALL ASSOCIATED WIRING. PROVIDE NEW CEILING TILE.
- REFER TO NEW WORK PLAN FOR WORK IN VAULT.
- ELECTRICAL DEMOLITION ITEMS ARE SHOWN TO HELP THE E.C. WITH PRICING OF ELECTRICAL DEMOLITION REQUIRED FOR THE PROJECT. THE E.C. IS RESPONSIBLE TO VISIT THE PROJECT SITE AND REVIEW ALL THE 'A' AND 'Y' SERIES DRAWINGS FOR DEMOLITION REQUIRED FOR THE PROJECT.
- EXISTING FIRE ALARM SYSTEM MUST REMAIN ACTIVE THROUGHOUT PROJECT TO MEET CITY OF READING FIRE MARSHAL REQUIREMENTS. FIRE ALARM SYSTEM MUST BE TESTED AND REPROGRAMMED AT PROJECTS COMPLETION. INCLUDE ALL COST IN BID TO REPROGRAM F.A. SYSTEM.
- RELOCATE ALL EXISTING WIRING DEVICES TO ALLOW SECTION OF WALL TO BE REMOVED.
- EXISTING CEILING AND LIGHTS TO REMAIN. EXISTING WIRING/CONTROLS TO REMAIN. EXISTING SWITCHING/CONTROLS TO BE REPLACED WITH LUTRON SWITCHES OCC. SENSOR POWER PACK. PROVIDE LOW VOLTAGE WIRING REQU. RIG. EXISTING FIRE ALARM DEVICES TO REMAIN.
- DISCONNECT EXISTING SPLIT SYSTEM INSIDE EVAPORATOR AND ASSOCIATED OUTSIDE CONDENSING UNIT. REMOVE ALL ASSOCIATED ELECTRICAL EQUIPMENT. REMOVE ALL CONDUIT AND WIRING BACK TO SOURCE.
- EXISTING OUTDOOR CONDENSING UNIT TO REMAIN.
- DISCONNECT AND REMOVE EXISTING ELECTRIC HEATER. REMOVE CONDUIT AND WIRING BACK TO SOURCE.

PROJECT GENERAL DEMOLITION NOTES: (APPLY TO ALL SHEETS)

- THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE EXISTING FACILITY AND ALL CONTRACT DRAWINGS TO DETERMINE THE EXTENT OF THE ELECTRICAL DEMOLITION WORK. THE CONTRACTOR SHALL COORDINATE THE DEMOLITION WITH ALL TRADES. ELECTRICAL DEMOLITION SHALL INCLUDE ALL WORK AS OUTLINED BELOW. COORDINATE ALL DEMOLITION WITH CONSTRUCTION SCHEDULE. THE CONTRACTOR IS RESPONSIBLE FOR VISITING THE JOB SITE PRIOR TO BIDDING THE PROJECT TO FULLY UNDERSTAND THE EXTENT OF ELECTRICAL DEMOLITION REQUIRED. THERE WILL BE NO CHANGE ORDERS FOR ELECTRICAL DEMOLITION WORK. AFTER RECEIPT OF BIDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL OF THE HVAC DRAWINGS FOR THE EQUIPMENT BEING REMOVED. ALL EXISTING HVAC EQUIPMENT ON THOSE DRAWINGS INDICATED TO BE REMOVED SHALL BE ELECTRICALLY DISCONNECTED BY THE ELECTRICAL CONTRACTOR. ALL EXISTING HVAC EQUIPMENT SHOWN ON THOSE DRAWINGS TO REMAIN, SHALL REMAIN ELECTRICALLY CONNECTED UNLESS NOTED OTHERWISE ON THE ELECTRICAL DRAWINGS.
- REMOVE ALL EXISTING CONDUIT AND WIRING BEING ABANDONED.
- RELOCATE OR EXTEND EXISTING CIRCUITS NOT BEING ABANDONED, AS REQUIRED ON A PERMANENT BASIS TO ACCOMMODATE NEW WORK AND MAINTAIN CIRCUIT INTEGRITY.
- CONTRACTOR SHALL PATCH WALLS, FLOORS, CEILING, ETC. TO MATCH ADJACENT SURFACES WHERE EXISTING EQUIPMENT IS BEING REMOVED. PATCHING SHALL BE PROVIDED FOR ALL OPENINGS, INCLUDING, BUT NOT LIMITED TO OPENINGS FOR CONDUITS, BOXES, ANCHORS, ETC. PATCHING SHALL INCLUDE FINAL FINISH/ PAINTING. IN LIEU OF PATCHING, CONTRACTOR MAY USE BLANK WALL PLATES FOR STANDARD SIZE SINGLE AND MULTI-BANG DEVICE BOXES (I.E. SWITCH AND RECEPTACLE BOXES). COVER PLATES SHALL MATCH OTHER DEVICE PLATES IN THE AREA IN BOTH MATERIAL AND FINISH. CONTRACTOR SHALL REMOVE ALL RECESSED BOXES FOR LARGER NON-STANDARD SIZE BOXES AND PATCH SURFACES.
- THE OWNER SHALL HAVE FIRST CHOICE OF ANY EXISTING EQUIPMENT OR MATERIALS BEING REMOVED. THE CONTRACTOR SHALL DELIVER ITEMS TO BE SALVAGED BY THE OWNER TO DESIGNATED STORAGE AREA ON THE JOB SITE. ALL EQUIPMENT AND MATERIALS REJECTED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR. CONTRACTOR SHALL REMOVE THESE ITEMS FROM THE SITE AND PROPERLY DISPOSE OF THEM.
- THE CONTRACTOR SHALL DISCONNECT AND REMOVE ALL EXISTING LIGHTING FIXTURES AND ASSOCIATED WIRING IN AREAS WHERE NEW FIXTURES ARE SHOWN OR OTHERWISE NOTED.
- WHERE DEMOLISHED ITEMS REVEAL UNDEVELOPED CONSTRUCTION, INTERRUPTED FINISHES, ATTACHMENT HOLES AND OTHER CONDITIONS THAT DO NOT MATCH EXISTING ADJACENT FINISH CONSTRUCTION, PATCH TO MATCH EXISTING ADJACENT FINISHES.

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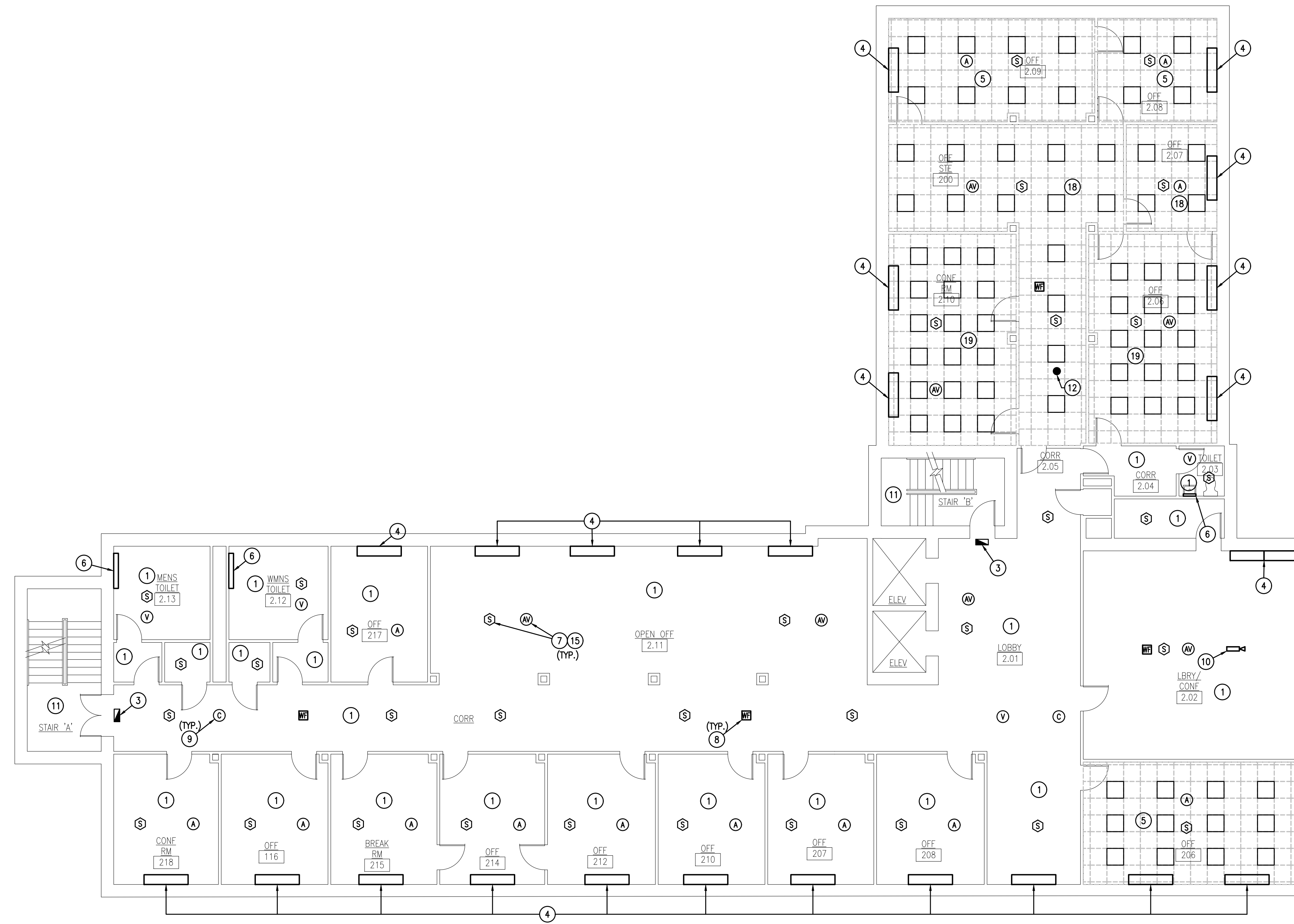
CONSOLIDATED ENGINEERS
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**1st & 2nd FLOOR HVAC AND ELECTRICAL UPGRADES
AT THE ADMINISTRATION BUILDING FOR THE
READING SCHOOL DISTRICT**
800 WASHINGTON STREET READING PA. 19601

**FIRST FLOOR PLAN
ELECTRICAL DEMOLITION**

DRAWN	RY
CHECKED	JS
DATE	10-18-2021
SCALE	AS NOTED
JOB NO.	2767-2
SHEET	

ED-1



SECOND FLOOR PLAN ELECTRICAL DEMOLITION
SCALE: 1/8" = 1'-0" 14

DRAWING NOTES:

1. DISCONNECT AND REMOVE EXISTING LIGHTS AND ASSOCIATED CONTROLS / SWITCHING. EXISTING WIRING TO BE REMOVED. SEE NEW WORK PLAN FOR NEW LIGHTS, CONTROLS / SWITCHING AND WIRING.
2. EXISTING CEILING TO REMAIN. EXISTING ROOM LIGHT FIXTURES TO REMAIN. EXISTING LUTRON DEVICES TO REMAIN. WIRING TO REMAIN.
3. DISCONNECT AND REMOVE EXISTING EXIT SIGN. REMOVE EXISTING RECESSED BOX AND PATCH EXISTING OPENING. PAINT WALL TO MATCH EXISTING WALL SURFACE.
4. DISCONNECT EXISTING UNIT VENTILATOR (WHEN PHASING PERMITS) AND REMOVE ALL ASSOCIATED ELECTRICAL EQUIPMENT / DEVICES. REMOVE WIRING BACK TO SOURCE.
5. EXISTING CEILING TO REMAIN AND MODIFIED TO INSTALL NEW BULKHEAD FOR EXTERIOR WALL LOUVER. EXISTING LIGHT FIXTURES TO REMAIN. EXISTING LUTRON DEVICES, WIRING AND CONTROLS/SWITCHES TO REMAIN. CONNECT LTG. TO NEW CIRCUIT.
6. DISCONNECT AND REMOVE EXISTING ABOVE MIRROR LIGHT FIXTURE. REMOVE WIRING. PATCH OPENINGS IN WALL AND PAINT TO MATCH ADJACENT SURFACES.
7. TEMPORARY SUPPORT EXISTING FIRE ALARM DEVICE TO REMOVE EXISTING CEILING. REINSTALL IN NEW CEILING.
8. TEMPORARY SUPPORT EXISTING WIFI DEVICE TO REMOVE EXISTING CEILING. REINSTALL IN NEW CEILING.
9. TEMPORARY SUPPORT EXISTING CCTV CAMERA TO REMOVE EXISTING CEILING. REINSTALL IN NEW CEILING. CONTRACTOR SHALL BE RESPONSIBLE TO RE-AIM CAMERA AND HAVE OWNER SIGN OFF THAT CAMERA IS LOCKED AND AIMED TO SUIT.
10. EXISTING CEILING MOUNTED PROJECTOR AND DEVICES TO BE TEMPORARILY SUPPORTED TO ALLOW EXISTING CEILING TO BE REMOVED. REINSTALL IN NEW CEILING.
11. DISCONNECT AND REMOVE RECESSED STAIR LIGHT FIXTURES. EXISTING STAIR LANDING CEILING TO REMAIN. PROVIDE NEW SURFACE LIGHT FIXTURE. PATCH / PAINT CEILING TO MATCH EXISTING. REMOVE WIRING AND PROVIDE NEW NORMAL EMERGENCY LIGHT FIXTURE AND WIRING AS SHOWN ON NEW WORK PLAN.
12. DISCONNECT AND REMOVE EXISTING EMERGENCY ONLY LIGHT AND ALL ASSOCIATED WIRING. PROVIDE NEW CEILING TILE.
13. RELOCATE EXISTING DATA OUTLET TO ADJACENT WALL TO ALLOW NEW CHASE TO BE INSTALLED.
14. ELECTRICAL DEMOLITION ITEMS ARE SHOWN TO HELP THE E.C. WITH PRICING OF ELECTRICAL DEMOLITION REQUIRED FOR THE PROJECT. THE E.C. IS RESPONSIBLE TO VISIT THE PROJECT SITE AND REVIEW ALL THE 'A' AND 'H' SERIES DRAWINGS FOR DEMOLITION REQUIRED FOR THE PROJECT.
15. EXISTING FIRE ALARM SYSTEM MUST REMAIN ACTIVE THROUGHOUT PROJECT TO MEET CITY OF READING FIRE MARSHAL REQUIREMENTS. FIRE ALARM SYSTEM MUST BE TESTED AND REPROGRAMMED AT PROJECTS COMPLETION. INCLUDE ALL COST IN BID TO REPROGRAM F.A. SYSTEM.
16. RELOCATE ALL EXISTING WIRING DEVICES TO ALLOW SECTION OF WALL TO BE REMOVED.
17. EXISTING CEILING AND LIGHTS TO REMAIN. EXISTING WIRING TO REMAIN. EXISTING SWITCHING/CONTROLS TO REMAIN. EXISTING FIRE ALARM DEVICES TO REMAIN.
18. EXISTING CEILING TO REMAIN. LIGHT FIXTURES TO REMAIN. EXISTING LUTRON DEVICES, WIRING AND CONTROLS/SWITCHES TO REMAIN. MODIFY EXISING POWER WIRING TO CONNECT TO NELO LTG. CIRCUIT.
19. EXISTING CEILING TO REMAIN. RELOCATE LIGHT FIXTURES AS SHOWN ON DWG E-2. MODIFY WIRING AS REQUIRED.

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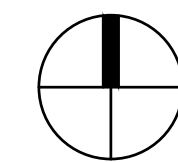
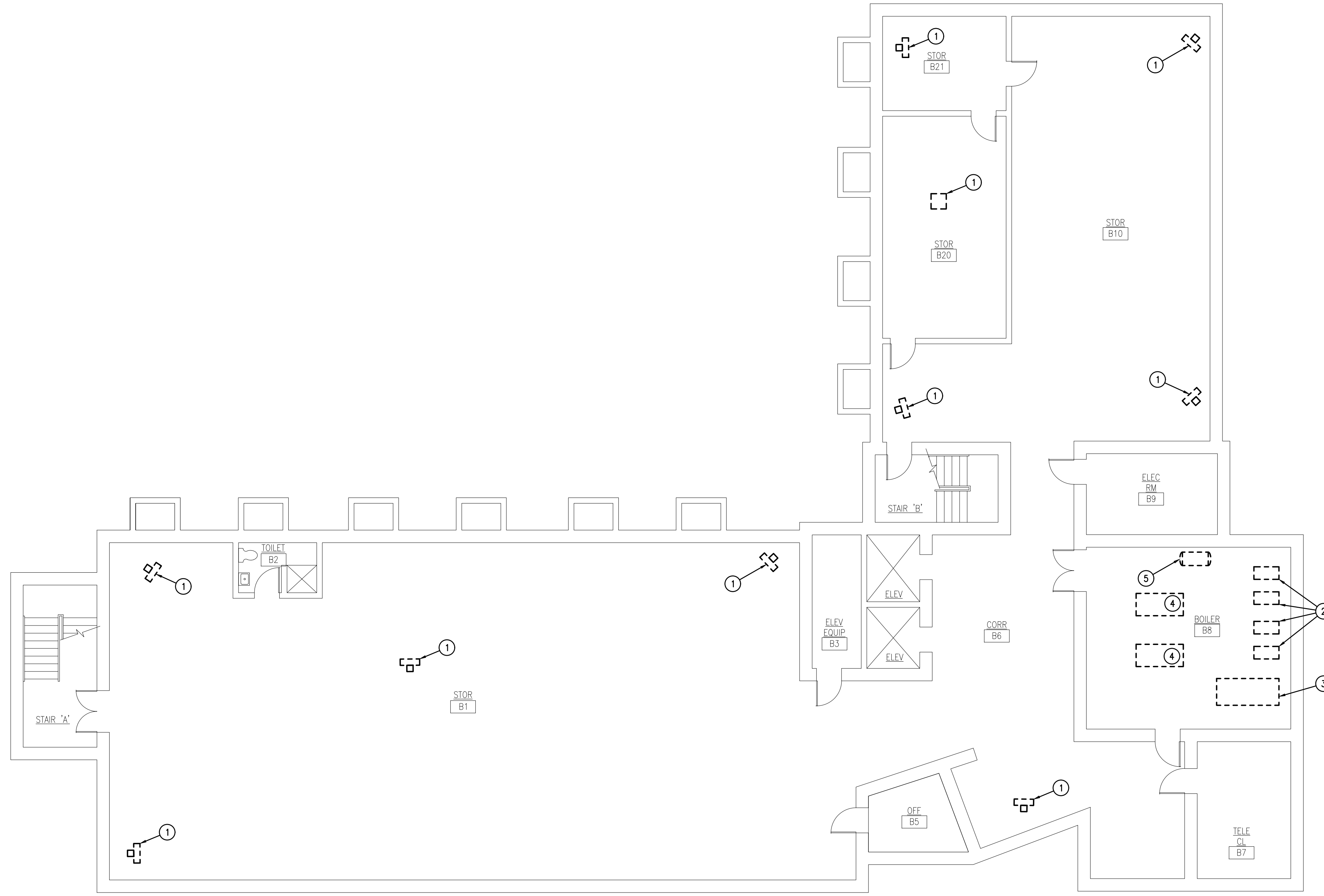
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**SECOND FLOOR PLAN
ELECTRICAL DEMOLITION**

DRAWN RK
CHECKED JS
DATE 10-18-2021
SCALE AS NOTED
JOB NO. 2767-2
SHEET

ED-2



BASEMENT FLOOR PLAN ELECTRICAL DEMOLITION


SCALE: 1/8" = 1'-0"

DRAWING NOTES:

1. DISCONNECT EXISTING HEATER FOR REMOVAL. REMOVE ALL ELECTRICAL EQUIPMENT AND ASSOCIATED CONDUIT AND WIRING BACK TO SOURCE.
2. DISCONNECT EXISTING PUMP FOR REMOVAL. REMOVE ALL ASSOCIATED ELECTRICAL EQUIPMENT AND CONDUIT AND WIRING BACK TO SOURCE.
3. DISCONNECT AND REMOVE EXISTING CHILLER FOR REMOVAL. REMOVE ASSOCIATED ELECTRICAL EQUIPMENT. REMOVE CONDUIT AND WIRING BACK TO MAIN SWITCH BOARD. LABEL CIRCUIT BREAKER "SPARE"
4. DISCONNECT EXISTING BOILER FOR REMOVAL. REMOVE ALL ASSOCIATED ELECTRICAL EQUIPMENT. REMOVE ALL CONDUIT AND WIRING BACK TO SOURCE.
5. DISCONNECT EXISTING AIR COMPRESSOR AND DRYER FOR REMOVAL. REMOVE ALL ELECTRICAL EQUIPMENT AND CONDUIT AND WIRING BACK TO SOURCE.

REVISIONS	BY

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**BASEMENT FLOOR PLAN
 ELECTRICAL DEMOLITION**

DRAWN RK
CHECKED JS
DATE 10-18-2021
SCALE AS NOTED
JOB NO. 2767-2
SHEET

ED-3

REVISIONS	BY

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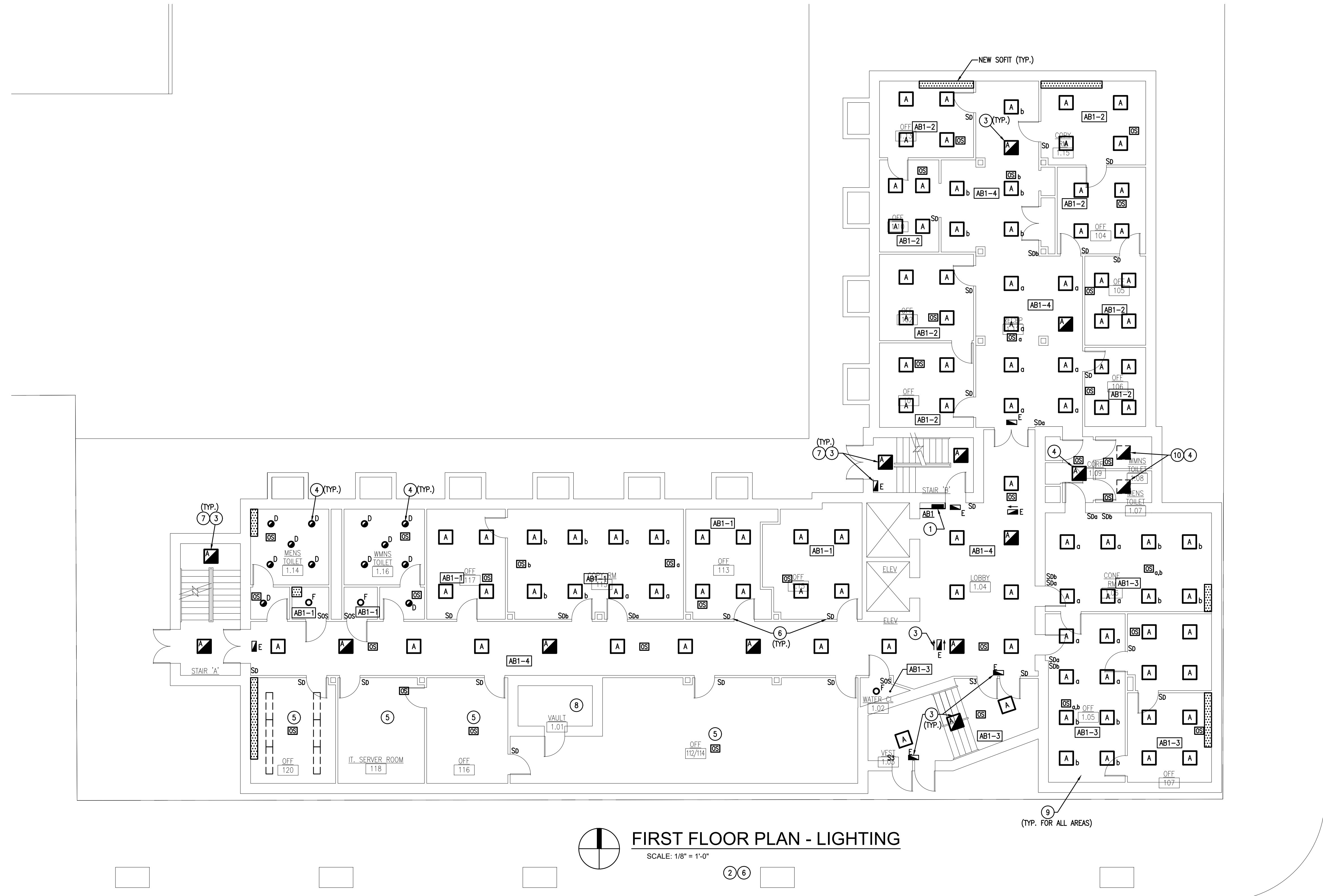


1st & 2nd FLOOR HVAC AND ELECTRICAL UPGRADES
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FIRST FLOOR PLAN -
 LIGHTING

DRAWN	RK
CHECKED	JS
DATE	10-18-2021
SCALE	AS NOTED
JOB NO.	2767-2
SHEET	

E-1



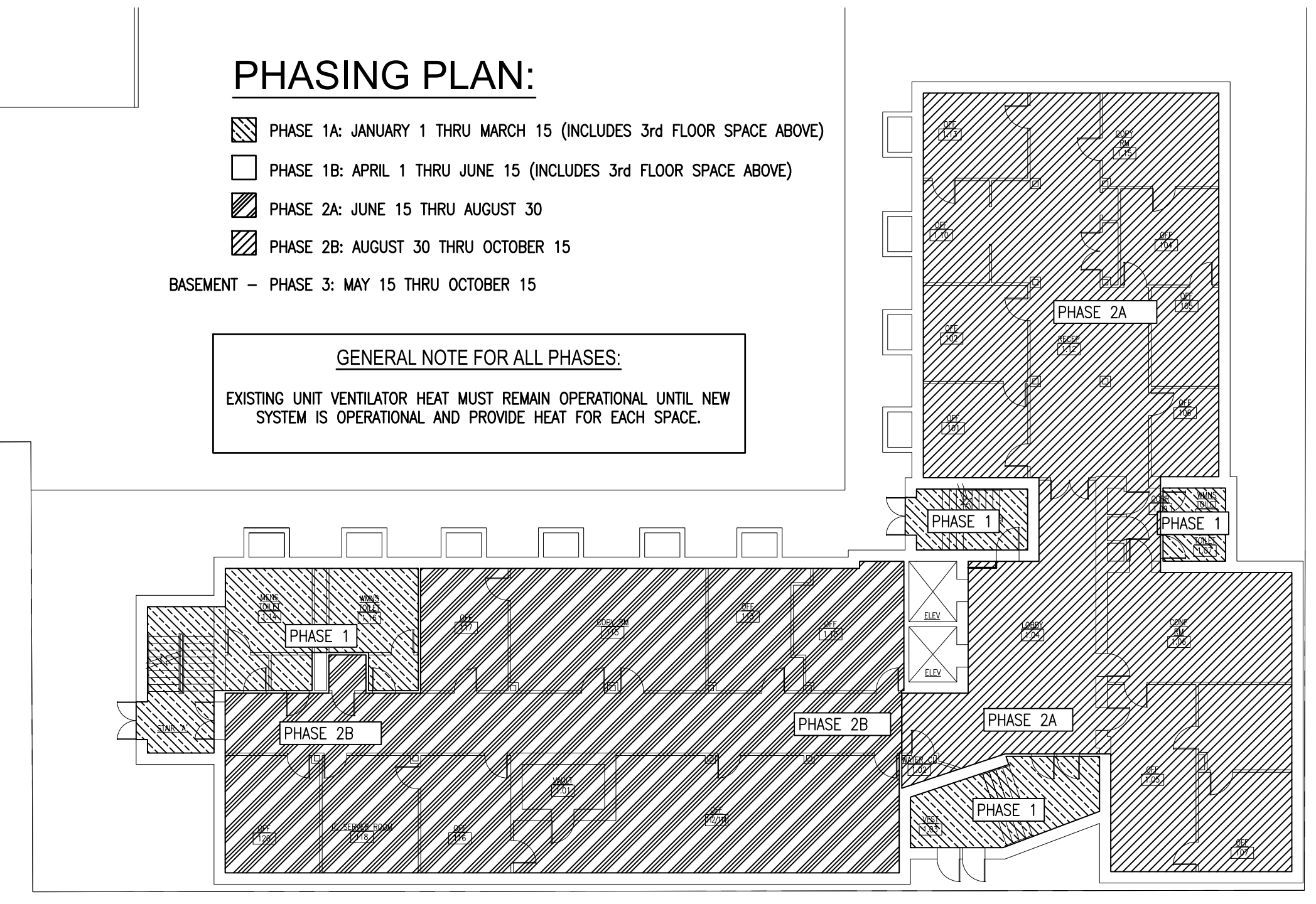
DRAWING NOTES:

- REFER TO PROJECT GENERAL NOTE #3 FOR SPARE CONDUITS FROM PANEL. SEE DWG. E-4 FOR GENERAL NOTES.
- REFER TO ALL PROJECT GENERAL ELECTRICAL NOTES ON DRAWING E-4 FOR ADDITIONAL INFO./REQUIREMENTS.
- STAIR TOWER, DESIGNATED CORRIDOR LIGHTS AND EXIT SIGNS SHALL BE CIRCUITED TOGETHER ON 24/7 CIRCUIT. RUN 2 #10 & #10G TO EXISTING N/E PANEL IN BASEMENT MAIN ELECTRICAL ROOM. CONNECT TO SPARE 1P-20A FUSED/CB. LABEL "1st FLOOR" CORRIDOR / STAIR LTS.
- LIGHT FIXTURE CONNECTED TO CORRIDOR N/E CIRCUIT CONTROLLED BY OCCUPANCY SENSOR.
- EXISTING LIGHTING TO REMAIN. PROVIDE NEW WIRELESS OCCUPANCY SENSOR, POWER PACK, POWER AND LOW VOLTAGE WIRING AND PICO REMOTE AT DOOR(S) SHOWN.
- ALL SWITCHES TO BE MOUNTED 46" AFF.
- SURFACE MOUNTED LIGHT FIXTURE COORDINATE EXACT LOCATION OF FIXTURE WITH HVAC EQUIPMENT IN STAIR PRIOR TO ROUGH-IN. PATCH AND PAINT DRYWALL TO MATCH EXISTING.
- EXISTING VAULT LGT TO REMAIN. CONNECT EXISTING LGT. TO NEW ADJACENT ROOM LGT. CIRCUIT.
- PROVIDE LUTRON WIRELESS POWER PACK ABOVE CEILING AS REQUIRED. PROVIDE ALL POWER AND LOW VOLTAGE WIRING.
- EXISTING LIGHT FIXTURE SALVAGE FROM PHASE 1 (SECOND FLOOR) PROVIDE NEW OCCUPANCY SENSOR. NO SWITCH REQUIRED.

PHASING PLAN:

- PHASE 1A: JANUARY 1 THRU MARCH 15 (INCLUDES 3rd FLOOR SPACE ABOVE)
 - PHASE 1B: APRIL 1 THRU JUNE 15 (INCLUDES 3rd FLOOR SPACE ABOVE)
 - PHASE 2A: JUNE 15 THRU AUGUST 30
 - PHASE 2B: AUGUST 30 THRU OCTOBER 15
- BASEMENT - PHASE 3: MAY 15 THRU OCTOBER 15

GENERAL NOTE FOR ALL PHASES:
 EXISTING UNIT VENTILATOR HEAT MUST REMAIN OPERATIONAL UNTIL NEW SYSTEM IS OPERATIONAL AND PROVIDE HEAT FOR EACH SPACE.



LIGHTING FIXTURE SCHEDULE							THE APPROVED SUBSTITUTES ARE APPROVED AS MANUFACTURERS ONLY. FIXTURES MUST MEET DRAWING AND SPECIFICATION REQUIREMENTS.	
TYPE	MANUFACTURER	CATALOG NUMBER	WATTS	VOLTS	MOUNTING	APPROVED SUBSTITUTES	REMARKS	
A	ATLAS LIGHTING	FAELP-22-40-LED-U-NOTE 1	40	UNV.	RECESSED	NOTE 4	FIELD ADJUST LUMEN / COLOR (NOTE 3)	
B	NOT USED	-	-	-	-	-	-	
D	ELITE	HH4-1500L-DM10-35K-90-WD	20	MVOLT	RECESSED	LIGHTOLIER GOTHAM	PROVIDE CTLG.# HH44-501-CLWH TRIM	
E	LITHONIA	TLE1R	1	MVOLT	UNIVERSAL	DAYBRITE	NOTE 2	
E1	LITHONIA	TLE2R	1	MVOLT	UNIVERSAL	DAYBRITE	NOTE 2	
F	KENALL	H89FL-PP-MW-12L35K	12	MVOLT	UNIVERSAL	LITHONIA	PROGRESS	

LIGHTING FIXTURE SCHEDULE NOTES:

- PROVIDE SURFACE MOUNT KIT FOR STAIR TOWER LIGHT FIXTURES.
- SUBMIT 10-DAY PRIOR SUBMITAL BEFORE BIDDING FOR APPROVAL.
- SET FIELD ADJUSTABLE LUMENS TO 4000, COLOR TO 3500K.
- OWNERS PREFERRED FIXTURE TO MATCH EXISTING LIGHT FIXTURES. NOT TO BE SUBSTITUTED.
- SET FIELD ADJUSTABLE LUMENS TO 4500, COLOR TO 3500K.



SECOND FLOOR PLAN - LIGHTING
SCALE: 1/8" = 1'-0" (2/8)

DRAWING NOTES:

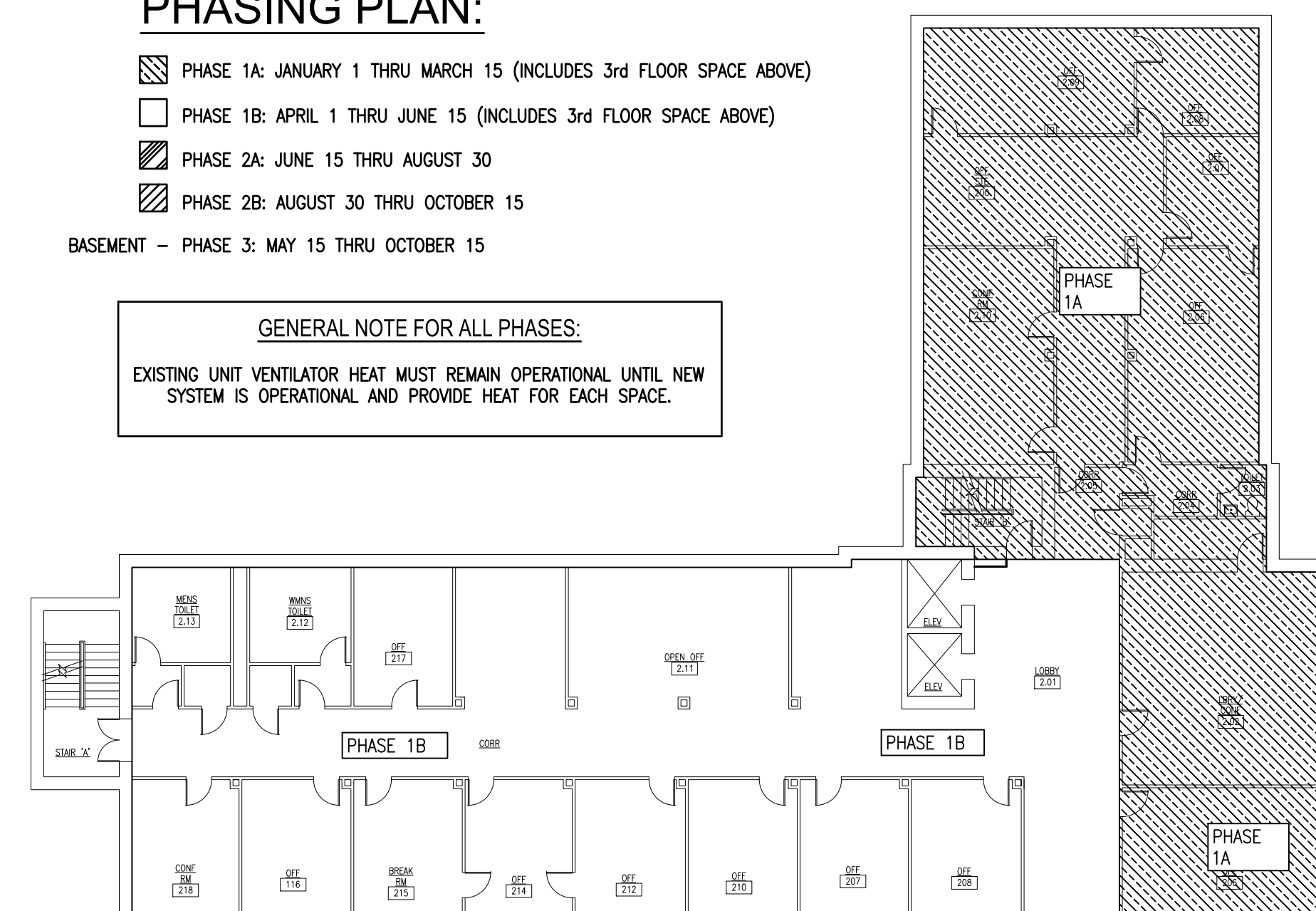
1. REFER TO PROJECT GENERAL NOTE #3 FOR SPARE CONDUITS FROM PANEL. SEE DWG. E-4 FOR GENERAL NOTES.
2. REFER TO ALL PROJECT GENERAL ELECTRICAL NOTES ON DRAWING E-4 FOR ADDITIONAL INFO/REQUIREMENTS.
3. STAIR TOWER, DESIGNATED CORRIDOR LIGHTS AND EXIT SIGNS SHALL BE CIRCUITED TOGETHER ON 24/7 CIRCUIT. RUN 2 #10 & #10G TO EXISTING N/E PANEL IN BASEMENT MAIN ELECTRICAL ROOM. CONNECT TO SPACE 1P-20A FUSED/CB. LABEL "3RD FLOOR" CORRIDOR / STAIR LITS.
4. LIGHT FIXTURE CONNECTED TO CORRIDOR N/E CIRCUIT CONTROLLED BY OCCUPANCY SENSOR.
5. EXISTING LIGHTING TO REMAIN. PROVIDE NEW WIRELESS OCCUPANCY SENSOR, POWER PACK, POWER AND LOW VOLTAGE WIRING AND PICO REMOTE AT DOOR.
6. ALL SWITCHES TO BE MOUNTED 46" AFF.
7. SURFACE MOUNTED LIGHT FIXTURE COORDINATE EXACT LOCATION OF FIXTURE WITH HVAC EQUIPMENT IN STAIR PRIOR TO ROUGH-IN. PATCH AND PAINT DRYWALL TO MATCH EXISTING.
8. EXISTING CEILING GRID TO REMAIN AND LIGHT FIXTURES TO REMAIN. EXISTING LUTRON DEVICES TO REMAIN. MODIFY POWER AND LOW VOLTAGE WIRING AS REQUIRED. PROVIDE NEW WIRELESS OCCUPANCY SENSOR. CONNECT TO NEW LTG CIRCUIT.
9. EXISTING CEILING TO REMAIN. RELOCATE LIGHT FIXTURES AS SHOWN. EXISTING LUTRON WIRELESS DEVICES TO REMAIN. MODIFY POWER AND LOW VOLTAGE WIRING AS REQUIRED. PROVIDE NEW LUTRON WIRELESS OCC. SENSOR. CONNECT TO NEW LTG CIRCUIT.
10. EXISTING LIGHT FIXTURE SALVAGED AND REUSED. PROVIDE NEW OCCUPANCY SENSOR. PROVIDE NEW PICO REMOTE DIMMER WHERE SHOWN.
11. MODIFY EXISTING CEILING TO INSTALL NEW SOFFIT.

PHASING PLAN:

- PHASE 1A: JANUARY 1 THRU MARCH 15 (INCLUDES 3rd FLOOR SPACE ABOVE)
- PHASE 1B: APRIL 1 THRU JUNE 15 (INCLUDES 3rd FLOOR SPACE ABOVE)
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- BASEMENT - PHASE 3: MAY 15 THRU OCTOBER 15

GENERAL NOTE FOR ALL PHASES:

EXISTING UNIT VENTILATOR HEAT MUST REMAIN OPERATIONAL UNTIL NEW SYSTEM IS OPERATIONAL AND PROVIDE HEAT FOR EACH SPACE.



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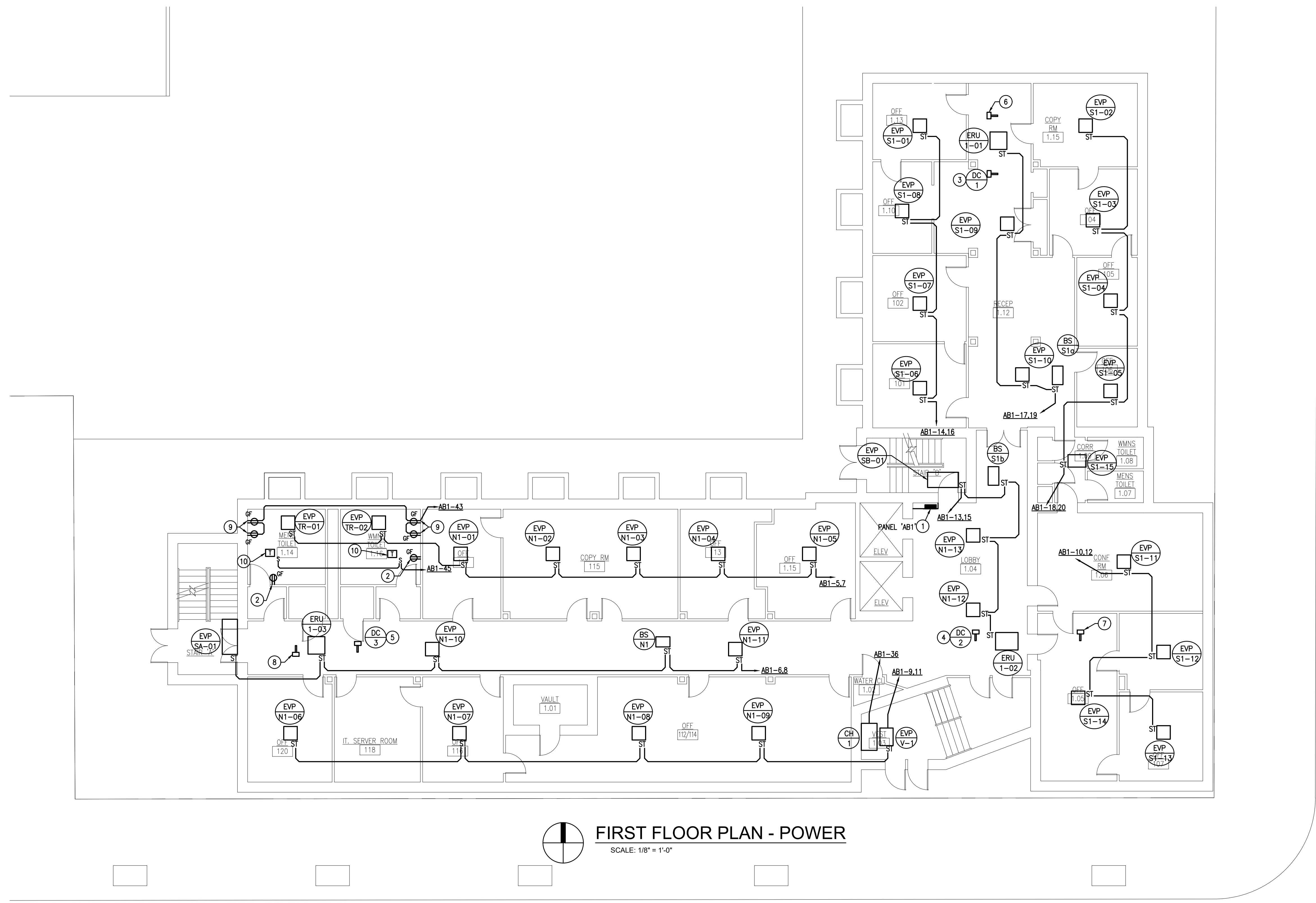
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**SECOND FLOOR PLAN -
LIGHTING**

DRAWN	RY
CHECKED	JS
DATE	10-18-2021
SCALE	AS NOTED
JOB NO.	2767-2
SHEET	

E-2



FIRST FLOOR PLAN - POWER
SCALE: 1/8" = 1'-0"

① DRAWING NOTES:

1. NEW PANEL 'AB1'. COORDINATE LOCATION IN NEW WALL WITH EXISTING 4" FEEDER CONDUIT TO AB3 AND CONDENSATE PIPING.
2. DISCONNECT AND REMOVE EXISTING RECP. PROVIDE BOX EXTENDER TO ALLOW NEW WALL FINISH. PROVIDE NEW GF RECP. AND CONNECT TO EXIST. CIRCUIT.
3. PROVIDE 3P-30A NEMA 1 NFDS. LOCATE TO MEET N.E.C. CLEARANCE REQUIREMENTS. CIRCUIT AB1-21,23,25 3#12/#12GRD.
4. PROVIDE 3P-30A NEMA 1 NFDS. LOCATE TO MEET N.E.C. CLEARANCE REQUIREMENTS. CIRCUIT AB1-22,24,26 3#12/#12GRD.
5. PROVIDE 3P-30A NEMA 1 NFDS. LOCATE TO MEET N.E.C. CLEARANCE REQUIREMENTS. CIRCUIT AB1-27,29,31 3#12/#12GRD.
6. PROVIDE 2P-30A NEMA 1 NFDS. LOCATE TO MEET N.E.C. CLEARANCE REQUIREMENTS. CIRCUIT AB1-28,30 2#12/#12GRD.
7. PROVIDE 2P-30A NEMA 1 NFDS. LOCATE TO MEET N.E.C. CLEARANCE REQUIREMENTS. CIRCUIT AB1-32,34 2#12/#12GRD.
8. PROVIDE 2P-30A NEMA 1 NFDS. LOCATE TO MEET N.E.C. CLEARANCE REQUIREMENTS. CIRCUIT AB1-33,35 2#12/#12GRD.
9. RECEPTACLE MOUNTED INSIDE SINK ENCLOSURE FOR AUTOMATIC FAUCET REFER TO DETAIL ON DWG P-2. (ALTERNATE BID E1 ONLY.)
10. LOW VOLTAGE TRANSFORMER FOR FLUSH VALVES LOCATED ABOVE CEILING. TRANSFORMER BY P.C. REFER TO DETAIL ON DWG P-2 FOR ADDITIONAL INFO. (ALT. BID E1 ONLY.)

SQUARE D NQ		WITH GRD. BAR & 100% RATED NEUTRAL		AC RATING 22,000				
PANEL	AB1	MAINS	400 MLD	3	4			
VOLTS	120/208	MOUNTING	FLUSH	WIRES	POLES			
				LOCATION	1ST FLOOR			
REMARKS AND LOCATION	LOAD	EKR	CKT	CKT	EKR	LOAD	REMARKS AND LOCATION	
1ST FLOOR LTS. NORTHWEST	800	20	1	2	20	1280	1ST FLOOR LTS NORTH	
1ST FLOOR LTS. SOUTH	1040	3		4	1120		1ST FLOOR CORRIDOR LTS	
EVP-TR-01,02	N1:01,02,03,04,05	666	15	5	8	1435	EVP-N1:10,11 SA-01, ERU-1-03, BS-N-1.	
EVP-N1-06,07,08,09	V-1	874	15	9	10	15	374	EVP-S1:11,12,13,14
ERU-1-02, EVP-N1:12,13 SB-01	BS-S1b	1394	15	13	14	15	333	EVP-S1:01,06,07,08
ERU-1-01, EVP-S1:09,10 BS-S1a		686	15	17	18	15	562	EVP-S1:02,03,04,05,15
DUCT HTR. DC-1		3000	20	21	22	20	4500	DUCT HTR. DC-2
DUCT HTR. DC-3		4500	20	27	28	15	1000	DUCT HTR. DC (ERU 1-01)
DUCT HTR. DC (ERU 1-03)		2000	15	33	32	15	1000	DUCT HTR. DC (ERU 1-02)
SPARE			20	37	36	20	66	CH-1
TOIL. RM. SINKS		600	20	43	42	15	1000	SPARE
TOIL. RM. FLUSH VALVES		400	20	45	44	20		SPARE
BLANK SPACE				47	48			BLANK SPACE
				49	50			
				51	52			
				53	54			
				55	56			
				57	58			
				59	60			

GF - PROVIDE CIRCUIT BREAKER WITH GROUND FAULT INTERRUPTER
 ▲ - REMOVE AND REPLACE EXISTING CIRCUIT BREAKER WITH NEW, SIZE AND TYPE INDICATED
 ● - EXISTING CIRCUIT/BREAKER TO REMAIN.

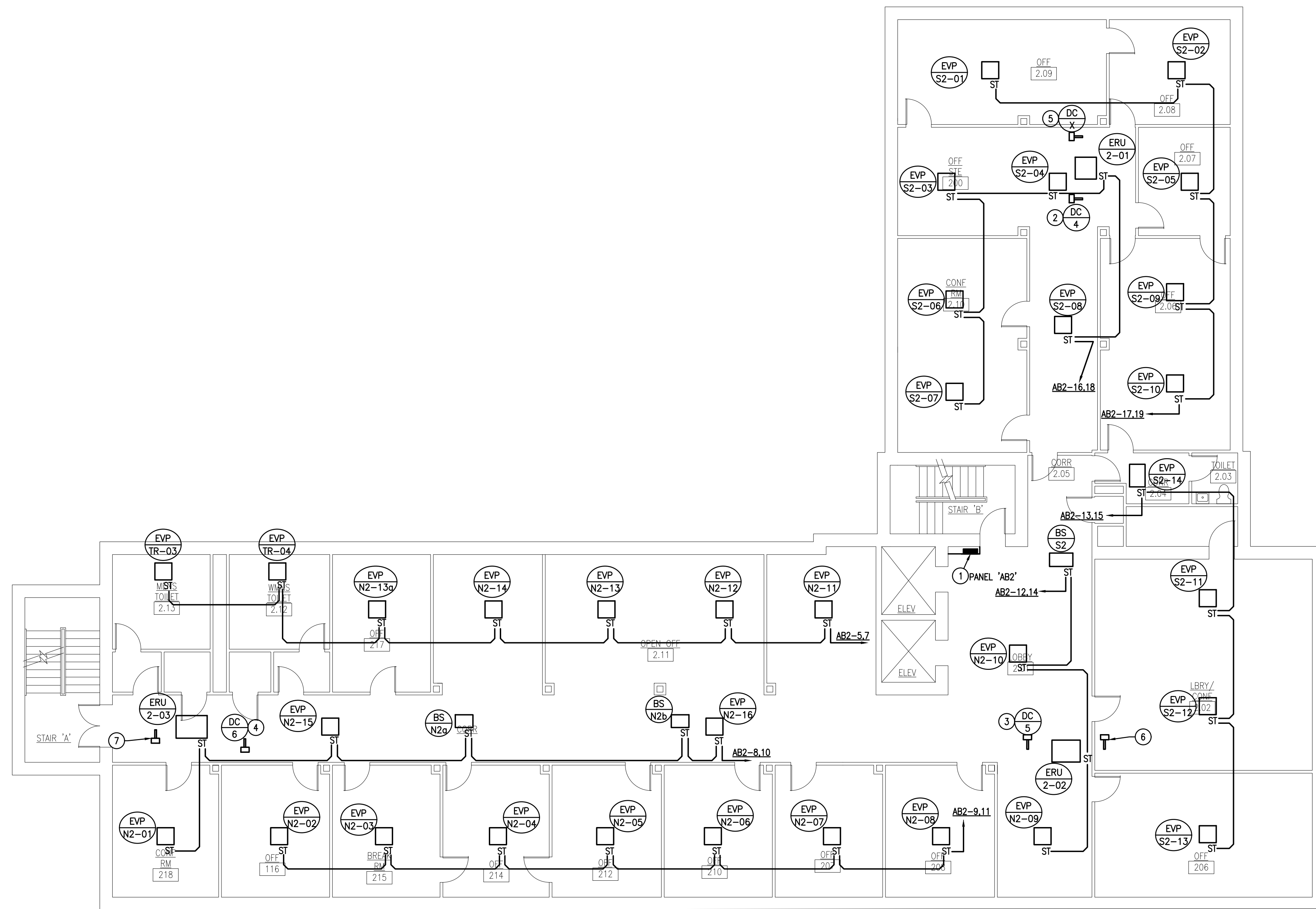
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FIRST FLOOR PLAN - POWER

DRAWN	RY
CHECKED	JS
DATE	10-18-2021
SCALE	AS NOTED
JOB NO.	2767-2
SHEET	



SECOND FLOOR PLAN - POWER
SCALE: 1/8" = 1'-0"

DRAWING NOTES:

1. NEW PANEL AB2 COORDINATE LOCATION OF EXISTING FEEDER TO PANEL AB3, CONDENSATE PIPING AND REFRIGERANT PIPING.
2. PROVIDE 3P-30A NEMA 1 NFDS. LOCATE TO MEET N.E.C. CLEARANCE REQUIREMENTS. CIRCUIT AB2-20,22,24 3#12/#12GRD.
3. PROVIDE 3P-30A NEMA 1 NFDS. LOCATE TO MEET N.E.C. CLEARANCE REQUIREMENTS. CIRCUIT AB2-21,23,25 3#12/#12GRD.
4. PROVIDE 3P-30A NEMA 1 NFDS. LOCATE TO MEET N.E.C. CLEARANCE REQUIREMENTS. CIRCUIT AB2-26,28,30 3#12/#12GRD.
5. PROVIDE 2P-30A NEMA 1 NFDS. LOCATE TO MEET N.E.C. CLEARANCE REQUIREMENTS. CIRCUIT AB2-27,29 2#12/#12GRD.
6. PROVIDE 2P-30A NEMA 1 NFDS. LOCATE TO MEET N.E.C. CLEARANCE REQUIREMENTS. CIRCUIT AB2-31,33 2#12/#12GRD.
7. PROVIDE 2P-30A NEMA 1 NFDS. LOCATE TO MEET N.E.C. CLEARANCE REQUIREMENTS. CIRCUIT AB1-32,34 2#12/#12GRD.

PROJECT GENERAL ELECTRICAL NOTES: (APPLY TO ALL SHEETS)

1. THE CONTRACTOR SHALL PROVIDE ALL CIRCUITS (FEEDER AND BRANCH) WITH AN EQUIPMENT GROUND CONDUCTOR SIZED IN ACCORDANCE WITH N.E.C. TABLE 250-122.
2. CONDUIT SLEEVES MUST BE PROVIDED FOR ALL LOW VOLTAGE WIRING RUN IN OR THROUGH WALLS. IN ROOMS WITHOUT CEILINGS, LOW VOLTAGE WIRING MUST BE RUN IN CONDUIT. NO EXPOSED LOW VOLTAGE WIRING WILL BE PERMITTED.
3. THE CONTRACTOR SHALL PROVIDE SPARE CONDUITS FROM RECESSED PANELBOARDS TO ACCESSIBLE CEILING SPACES. PROVIDE ONE, ONE-INCH CONDUIT FOR EVERY TWO SPARE POLES IN PANEL.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY MISCELLANEOUS STEEL REQUIRED FOR MOUNTING ELECTRICAL EQUIPMENT. THE CONTRACTOR IS RESPONSIBLE TO SIZE STEEL AND INSTALL PROPERLY FOR THE LOAD INTENDED.
5. EACH TRADE CONTRACTOR MUST FAMILIARIZE HIMSELF WITH THE AVAILABLE SPACE IN THE CONCEALED AREAS OF THE STRUCTURE. HE MUST COORDINATE ALL THE WORK TO BE DONE AND EQUIPMENT TO BE INSTALLED IN ADVANCE AND PRIOR TO INSTALLING ANY SYSTEM OR PORTION THEREOF. ANY CONTRACTOR WHO FAILS TO COMPLY SHALL BEAR ALL COSTS OF EACH TRADE FOR DISCONNECTING, REMOVING AND REINSTALLING SYSTEM, EQUIPMENT OR PORTIONS THEREOF.
6. THE SPACE ABOVE ALL CEILINGS WILL BE USED AS A RELIEF AIR PLENUM. LOW VOLTAGE WIRING FOR OTHER SYSTEMS MUST BE AN APPROVED AIR PLENUM CABLE, OR RUN IN CONDUIT.
7. ALL LOW VOLTAGE WIRING, NOT INSTALLED IN CONDUIT, ABOVE CEILINGS MUST BE RUN PERPENDICULAR AND/OR PARALLEL TO BUILDING STEEL. ALL CABLES MUST BE NEATLY TRAINED AND WIRE TIED TO THE BUILDING STEEL, OR INSTALLED ON J-HOOKS, BRIDLE RINGS OR IN CABLE TRAY WITH 25% SPARE CAPACITY. CABLES THAT ARE SIMPLY DRAPED THROUGH STEEL, OR RUN AT ODD ANGLES WILL HAVE TO BE REMOVED AND REINSTALLED.
8. IN EXISTING CONSTRUCTION, ALL CONDUIT AND WIRING RUN TO FINISHED SPACES (I.E., CORRIDORS, OFFICES, STORAGE ROOMS, TOILET ROOMS, ETC.) MUST BE CONCEALED. CONDUIT MAY BE RUN EXPOSED IN UNFINISHED AREAS (I.E., CRAWL SPACES, MECHANICAL EQUIPMENT ROOMS, ETC.). NO SURFACE RACEWAY MAY BE USED UNLESS SHOWN ON DRAWINGS OR APPROVED BY ENGINEER IN WRITING. WHERE WALLS ARE SOLIDLY FILLED (I.E. WITH GROUT) THE CONTRACTOR SHALL PROVIDE SIMILAR TO WIREMOLD V700 SERIES METALLIC RACEWAY AT NO ADDITIONAL COST TO THE OWNER. FINAL ROUTING SHALL BE APPROVED BY ENGINEER. FINISH SELECTED BY ENGINEER FROM COMPLETE LIST OF STANDARD FINISHES. REFER TO SPECIFICATIONS TO DETERMINE WHERE MC CABLE MAY BE USED.
9. THE CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING AND PATCHING OF EXISTING SURFACES THAT IS REQUIRED FOR HIS WORK. PATCHING SHALL INCLUDE FINAL FINISH / PAINTING.
10. THE CONTRACTOR SHALL COORDINATE ALL DEVICES ASSOCIATED WITH MECHANICAL EQUIPMENT INDICATED TO HAVE POWER CONNECTIONS WITH CONTRACTOR PROVIDING EQUIPMENT PRIOR TO ORDERING DEVICES AND ROUGH-INS. THE CONTRACTOR SHALL REQUEST SHOP DRAWINGS FOR ALL EQUIPMENT REQUIRING POWER BEFORE ROUGH-IN.
11. FOR WORK REQUIRED WITHIN AREAS OF THE BUILDING WHERE NO GENERAL TRADES WORK IS REQUIRED, THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING ALL CEILING TILES, INCLUDING INSULATION FOUND ABOVE THE CEILING TO PERFORM HIS WORK. IT IS THE RESPONSIBILITY OF THIS CONTRACTOR TO NOTIFY THE OWNER/ENGINEER IN WRITING WITH DATED PHOTOGRAPHIC EVIDENCE OF ANY DAMAGED CEILING TILES PRIOR TO REMOVAL. OTHERWISE, THIS CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGED CEILING TILES WITHIN THE AREA OF WORK.
12. UNLESS NOTED OTHERWISE, THE CONTRACTOR SHALL PROVIDE FINAL POWER CONNECTIONS TO ALL POWERED EQUIPMENT FURNISHED BY OTHER CONTRACTORS AND THE OWNER, INCLUDING, BUT NOT LIMITED TO AIR HANDLING EQUIPMENT, HEATING EQUIPMENT, COOLING EQUIPMENT, PUMPS.
13. UNLESS NOTED OTHERWISE, LIGHT SWITCHES INDICATED IN ROOMS SHALL CONTROL THE LIGHTING WITHIN THAT ROOM. WHERE MULTIPLE SWITCHES ARE INDICATED, REFER TO THE ASSOCIATED DRAWING NOTES AND/OR SUB-LETTER DESIGNATION FOR THE LIGHTING TO BE CONTROLLED BY EACH SWITCH.
14. CONTRACTOR SHALL PROVIDE ALL CITY OF READING PERMITS REQUIRED. CONTRACTOR SHALL COST IN BID.
15. ALL ROOFING WORK (CUTTING, PATCHING, SEALING) SHALL BE PERFORMED BY READING SCHOOL DISTRICT CONTRACTOR TO MAINTAIN EXISTING ROOF WARRANTY, ANY COST SHALL BE INCLUDED IN BID.
16. THE GENERAL, ELECTRICAL AND HVAC CONTRACTOR SHALL PROVIDE AN ONSITE MEETING WITH THE ENGINEER TO COORDINATE ALL CHASE SIZES AND LOCATIONS. COORDINATION OF CONDUIT AND PIPING WITHIN CHASE SHALL BE SIGNED OFF ON. FUTURE CONDUIT AND PIPE WITHIN CHASE MUST BE CONSIDERED PRIOR TO BUILDING CHASES.

SQUARE D NQ		SINGLE ENCLOSURE		AIC RATING		22,000			
WITH GRD. BAR & 100% RATED NEUTRAL	PANEL	AB2	MAINS	400A MLO	φ 3	WIRES	4	POLES	60
VOLTS	120/208	MOUNTING	FLUSH	LOCATION	2ND FLOOR				
REMARKS AND LOCATION	LOAD	BKR	CKT	CKT	BKR	LOAD	REMARKS AND LOCATION		
2ND FLOOR LTS. NORTHWEST	700	20	1	2	20	1280	2ND FLOOR LTS NORTH		
2ND FLOOR LTS. SOUTHWEST	1120	1	3	4	1	880	2ND FLOOR CORRIDOR LTS.		
EVP-TR-03,04 N2-13a,14,13,12,11	562	15	5	6	1		LTS. LIB./ OFFICE		
EVP-N2-02,03,04,05,06,07,08	458	15	9	8	15	1435	ERU-2-03 EVP-N2-01,15,16 BS-N2a,N2b		
EVP-S2-11,12,13,14	541	15	13	10	2	1165	ERU-2-02. EVP-N2-09,10. BS-S2		
EVP-S2-01,02,05,09,10	458	15	17	12	15	686	ERU-2-01 EVP-S2-01,03,04,06,07,08		
DUCT HTR. DC-5	4000	20	21	14	2	3000	DUCT HTR. DC-4		
DUCT HTR. DC (ERU 2-01)	1000	15	27	16	15	4500	DUCT HTR. DC-6		
DUCT HTR. DC (ERU 2-02)	1000	15	31	18	2	1000	DUCT HTR. DC (ERU 2-03)		
SPARE	-	20	35	20	20	1000	SPARE		
SPARE	-	20	41	22	3	1000	SPARE		
SPARE	-	20	43	24	3	1000	SPARE		
SPARE	-	20	45	26	20	1000	SPARE		
SPARE	-	20	47	28	20	1000	SPARE		
BLANK SPACE	-	-	49	30	3	1000	BLANK SPACE		
	-	-	51	32	15	1000			
	-	-	53	34	2	1000			
	-	-	55	36	15	1000			
	-	-	57	38	2	1000			
	-	-	59	40	15	1000			
	-	-		42	2	1000			
	-	-		44	20	1000			
	-	-		46	20	1000			
	-	-		48	20	1000			
	-	-		50	-	1000			
	-	-		52	-	1000			
	-	-		54	-	1000			
	-	-		56	-	1000			
	-	-		58	-	1000			
	-	-		60	-	1000			

GF - PROVIDE CIRCUIT BREAKER WITH GROUND FAULT CIRCUIT INTERRUPTER

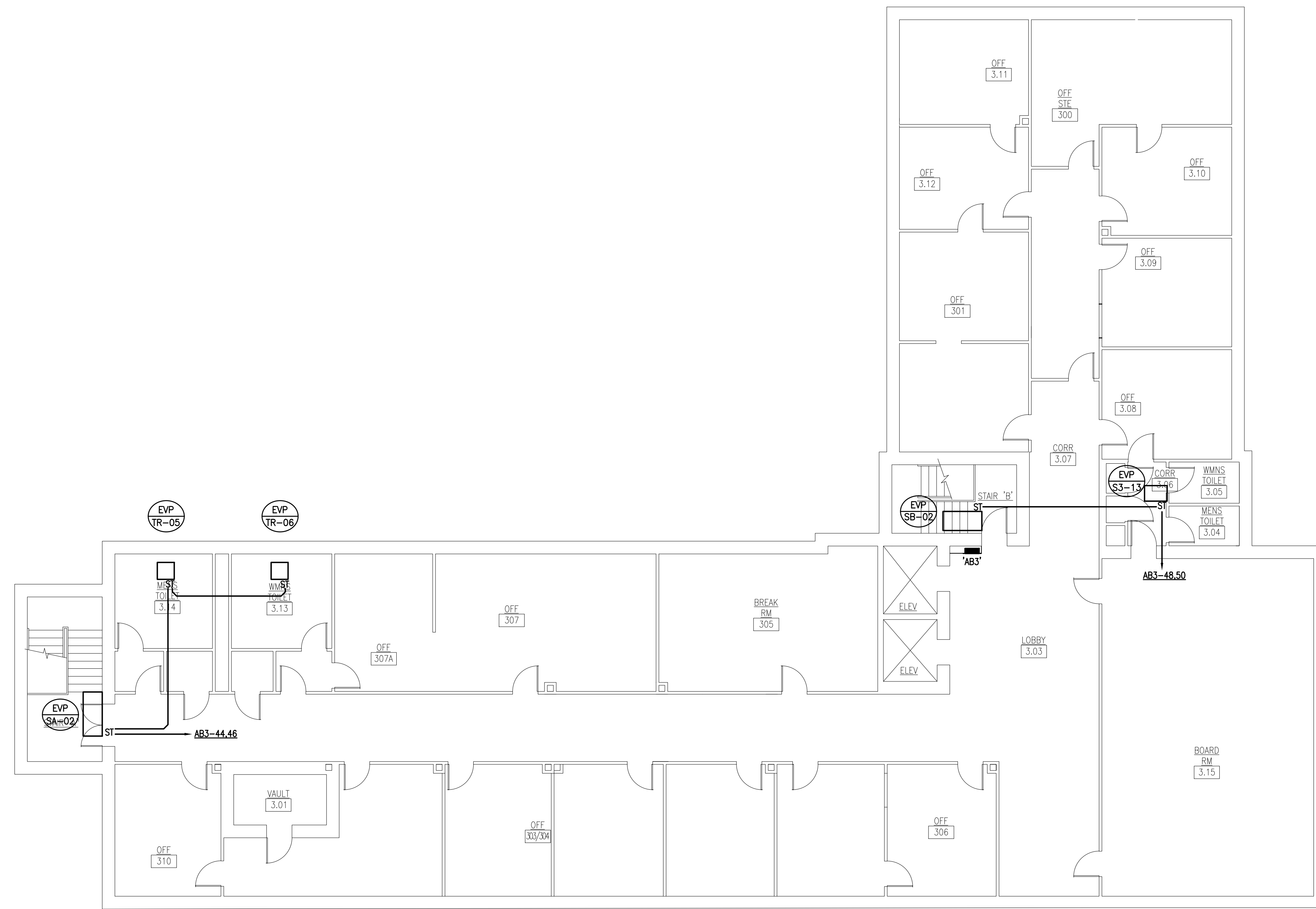
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Reading School District
800 WASHINGTON STREET READING PA. 19601

SECOND FLOOR PLAN - POWER

DRAWN	RY
CHECKED	JS
DATE	10-18-2021
SCALE	AS NOTED
JOB NO.	2767-2
SHEET	



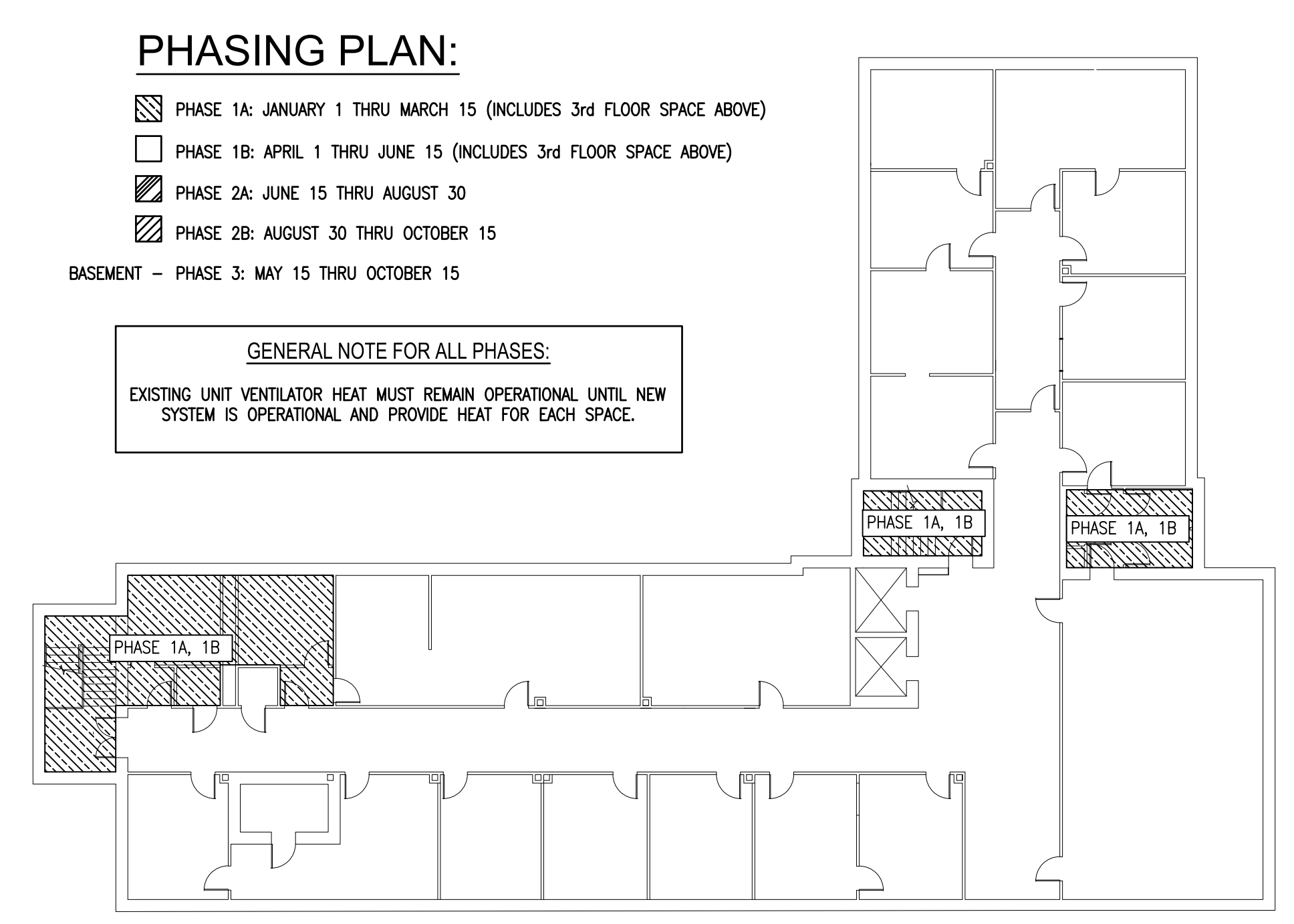
THIRD FLOOR PLAN - POWER
SCALE: 1/8" = 1'-0"

EXISTING SQUARE D NO. PANEL

WITH GRD. BAR & 100% RATED NEUTRAL	400A MLO		# 3	A/C RATING	22,000
PANEL AB3	MAINS			WIRES	4
VOLTS 120/208	MOUNTING	RECESSED	LOCATION	POLES	84

REMARKS AND LOCATION	LOAD	BKR	CKT	CKT	BKR	LOAD	REMARKS AND LOCATION
3RD FLOOR LTS. NORTHWEST	870	20	1	2	20	468	BOARD ROOM LIGHTS
3RD FLOOR LTS. SOUTHWEST	1200	20	3	4	20	1104	3RD FLOOR LTS. NORTH
CORRIDOR LIGHTS	553	20	5	6	20	360	ROOF RECPT'S
HP-1	15330	70	7	8	70	15050	HP-2
DUCT HTR. DC-1	4000	20	13	14	20	5000	DUCT HTR. DC-2
DUCT HTR. DC-3	5000	20	19	20	15	335	ERU-1, S09, S010
EVP S01, S02, S03, S04	335	15	25	24	15	335	EVP S05, S06, S07, S08
EVP S011, S012 (BOARD ROOM)	625	15	29	28	15	410	EVP N01, N02, N03, N04, N05
ERU-2, EVP N13	915	15	33	32	15	410	EVP N06, N07, N08, N09, N010
DUCT HTR. DC(SOUTH)	1000	15	37	36	15	410	ERU-3, EVP NH, N12
DUCT HTR. DC(NORTHWEST)	2000	15	41	40	15	2000	DUCT HTR. DC(NORTH)
REFRIG.	-	20	45	44	15	-	
REFRIG.	-	20	47	46	15	-	
MICROWAVE	-	49	50	48	15	-	
MICROWAVE	-	51	51	49	15	-	
RECPT'S BREAK RM	-	53	52	50	20	-	SPARE
COUNTER RECPT.	-	55	53	51	20	-	SPARE
COUNTER RECPT.	-	57	54	52	20	-	SPARE
SODA MACHINE	-	59	55	53	-	-	SPARE
SPARE	-	61	56	54	-	-	SPARE
SPARE	-	63	57	55	-	-	SPARE
SPARE	-	65	58	56	-	-	SPARE
SPARE	-	67	59	57	-	-	SPARE
EVP-SAO2, EVP-TR05, TR06	15	69	60	58	15	-	EVP
	70	71	61	59	15	-	
HPN1	15330	70	73	62	15	15330	HPS1
	3	75	63	61	15	15330	HPS2
	77	76	64	62	15	-	BREAK ROOM RANGE
	79	77	65	63	15	-	
	81	78	66	64	15	-	
	83	79	67	65	15	-	
	84	80	68	66	15	-	
	85	81	69	67	15	-	
	86	82	70	68	15	-	
	87	83	71	69	15	-	
	88	84	72	70	15	-	
	89	85	73	71	15	-	
	90	86	74	72	15	-	
	91	87	75	73	15	-	
	92	88	76	74	15	-	
	93	89	77	75	15	-	
	94	90	78	76	15	-	
	95	91	79	77	15	-	
	96	92	80	78	15	-	
	97	93	81	79	15	-	
	98	94	82	80	15	-	
	99	95	83	81	15	-	
	100	96	84	82	15	-	

GF - PROVIDE CIRCUIT BREAKER WITH GROUND FAULT CIRCUIT INTERRUPTER
 ▲ - REMOVE AND REPLACE EXISTING CIRCUIT BREAKER WITH NEW SIZE AND TYPE INDICATED
 ● - PROVIDE NEW CIRCUIT BREAKER



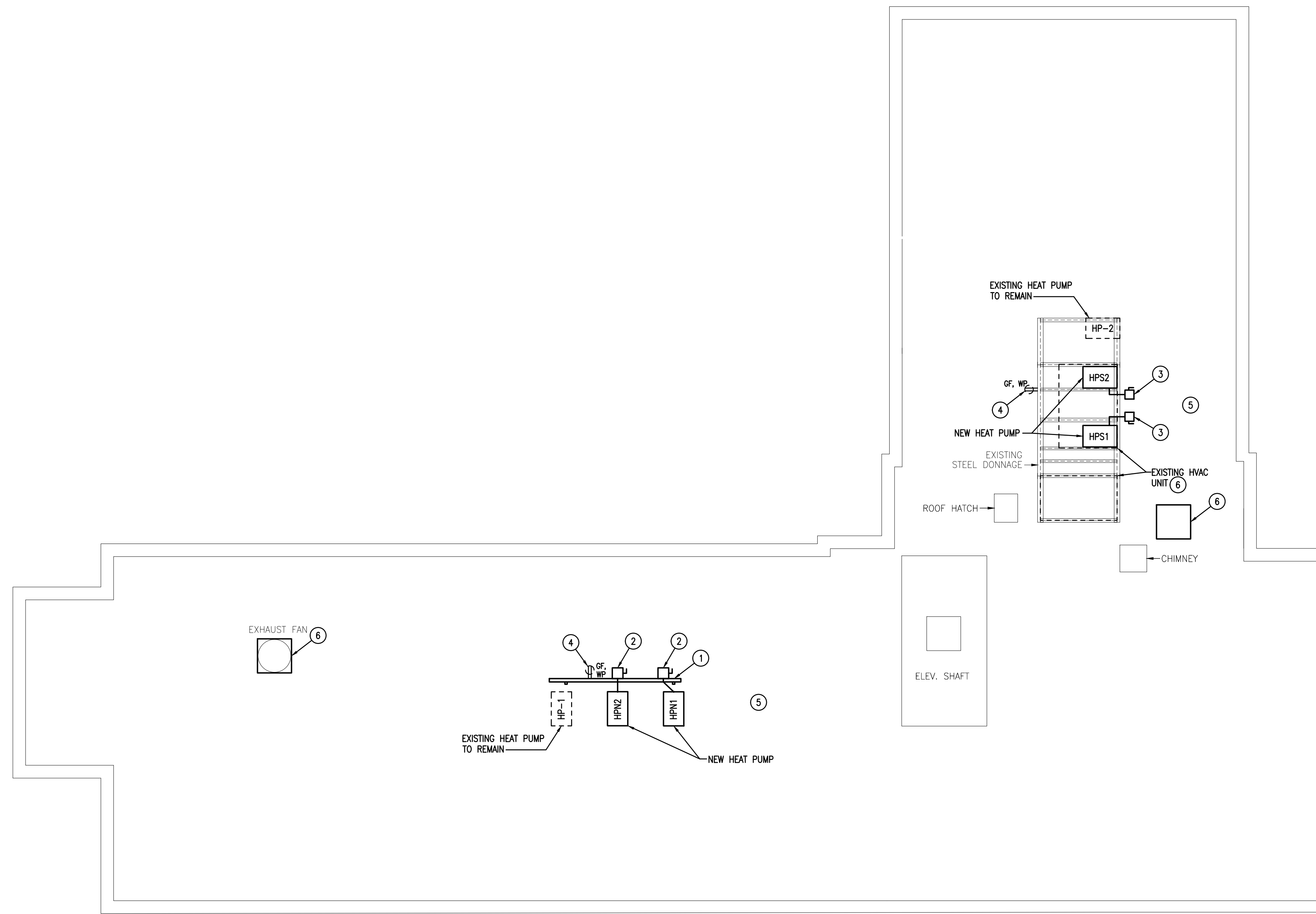
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800 WASHINGTON STREET READING PA. 19601

THIRD FLOOR PLAN - POWER

DRAWN	RY
CHECKED	JS
DATE	10-18-2021
SCALE	AS NOTED
JOB NO.	2767-2
SHEET	



ROOF PLAN - POWER
SCALE: 1/8" = 1'-0"

① DRAWING NOTES:

1. PROVIDE MISCELLANEOUS STEEL TO MOUNT HEAT PUMP DISCONNECT SWITCHES ON.
2. PROVIDE 3P-100A NEMA 3R NFDS MOUNTED TO MISCELLANEOUS STEEL. RUN CIRCUIT VIA ROOF PITCH POCKET AND ABOVE THIRD FLOOR CEILING TO PANEL 'AB3'. CIRCUIT AB3-75,75,77 & AB3-79,81,83 3#4W/#GRD. 1" C EACH. LABEL PANEL SCHEDULE HPN1 & HPN2 RESPECTIVELY.
3. PROVIDE 3P-100A NEMA 3R NFDS MOUNTED TO MISCELLANEOUS STEEL. RUN CIRCUIT VIA ROOF PITCH POCKET AND ABOVE THIRD FLOOR CEILING TO PANEL 'AB3'. CIRCUIT AB3-70,72,74 & AB3-76,78,80 3#4W/#GRD. 1" C EACH. LABEL PANEL SCHEDULE HPS1 & HPS2 RESPECTIVELY.
4. EXISTING GROUND FAULT, WEATHERPROOF (WHILE IN USE) RECEPTACLE TO REMAIN.
5. ALL ROOF WORK (CUTTING, PATCHING, SEALING) SHALL BE PERFORMED BY READING SCHOOL DISTRICT ROOFING CONTRACTORS TO MAINTAIN EXISTING ROOF WARRANTY. ANY COST SHALL BE INCLUDED IN BID.
6. DISCONNECT EXISTING HVAC UNIT. REMOVE EXISTING CONDUIT & WIRING BACK TO SOURCE. REMOVE ALL ASSOCIATED ELECTRICAL EQUIPMENT.

GENERAL NOTES:

1. ALL EXTERIOR CONDUIT SHALL BE RIGID GALVANIZED STEEL WITH LIQUID TIGHT CONDUIT CONNECTIONS FINAL 2'-0".
2. ALL INTERIOR CONDUIT SHALL BE EMT.

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ROOF PLAN - POWER

DRAWN BY
CHECKED JS
DATE 10-18-2021
SCALE AS NOTED
JOB NO. 2767-2
SHEET

ELECTRICAL LEGEND

(REFER TO SPECIFICATIONS FOR MORE INFORMATION)
NOTE: DIMENSIONS ARE TO CENTER OF DEVICE, UNO.

LIGHTING FIXTURES

(REFER TO LIGHTING FIXTURE SCHEDULE FOR DESCRIPTION AND TYPE)

SYMBOL	DESCRIPTION
	LED LIGHTING FIXTURE.
	LIGHTING FIXTURE - NORMAL AND EMERGENCY POWER.
	LED LIGHTING FIXTURE
	EXIT LIGHTING FIXTURE - NORMAL AND EMERGENCY POWER - ARROW(S) INDICATE DIRECTIONAL MARKERS.
	PHANTOM SYMBOL INDICATES EXISTING ITEM OR AS NOTED ON DRAWINGS.

SWITCHES

SYMBOL	DESCRIPTION
S	SINGLE POLE SWITCH - 20 AMP - MOUNT 46" AFF.
S3	THREE WAY LIGHT SWITCH - 20 AMP - MOUNT 46" AFF.
S4	FOUR WAY LIGHT SWITCH - 20 AMP - MOUNT 46" AFF.
Sk	KEY OPERATED LIGHT SWITCH - 20 AMP - MOUNT 46" AFF.
Ss/Ss	SUB-LETTERS INDICATE INDIVIDUAL BALLAST WIRING - MOUNT 46" AFF.
Sr	LIGHT SWITCH WITH PILOT LIGHT - 20 AMP - SIMILAR TO P&S PS20AC2-RPL SERIES - MOUNT 46" AFF.
Sr	WIRELESS DIMMER LIGHT SWITCH - LUTRON PICO REMOTE - CAT NO. PUZ-3BRL-GWH-LO1 - PROVIDE WITH POWER PACK ABOVE CEILING TO COMMUNICATE WITH WIRELESS OCCUPANCY SENSORS. PROVIDE REQUIRE POWER AND LOW VOLTAGE WIRING - POWERPACK SHALL BE LUTRON CAT NO. RAJS-6T-DV-B.
Sos	OCCUPANCY SENSING WALL SWITCH - SEE SPECIFICATIONS - MOUNT 46" AFF.
	CEILING OCCUPANCY SENSOR - LUTRON WIRELESS OCCUPANCY SENSOR - CAT NO. LRF2-OCR2B-P-WH

RECEPTACLES

SYMBOL	DESCRIPTION
	DUPLEX RECEPTACLE - 20 AMP - 120 VOLT 18" AFF.
	GROUND FAULT RECEPTACLE - INDIVIDUAL TYPE - 18" ABOVE FINISHED FLOOR.
	DUPLEX RECEPTACLE (WITH "WR" LABEL) WITH WEATHER PROOF COVER - FLUSH - 18" AFF.

EQUIPMENT

SYMBOL	DESCRIPTION
	JUNCTION BOX - PROVIDE FINAL CONNECTION TO EQUIPMENT.
	MOTOR - SIZE AND TYPE AS INDICATED - BY OTHERS. PROVIDE FINAL CONNECTIONS.
	MOTOR CONTROLLER - BY OTHERS. PROVIDE FINAL CONNECTIONS.
	PANELBOARD.
	EXISTING PANELBOARD.
Sr	THERMAL SWITCH MANUAL STARTER WITH THERMAL PROTECTION AND HAND/AUTO SWITCH TO ALLOW STARTER CONTROL FROM REMOTE SOURCE. HAND/AUTO SWITCH ONLY REQUIRED FOR RE-CIRCULATING PUMPS. SQUARE D CLASS 2510 SERIES WITH HANDLE GUARD/LOCK OFF ATTACHMENT MOUNT ON OR ADJACENT TO EQUIPMENT.
	NON-FUSED DISCONNECT SWITCH - SIZE AND TYPE INDICATED.
	FUSED DISCONNECT SWITCH - SIZE AND TYPE INDICATED (PROVIDE FUSES AS PER EQUIPMENT MANUFACTURERS REQUIREMENTS).
	COMBINATION STARTER/DISCONNECT SWITCH - SIZE 1 U.N.O. - PROVIDED BY E.C. - 60" TO HANDLE.
	VARIABLE FREQUENCY DRIVE - FURNISHED BY OTHERS. INSTALL DRIVE AND PROVIDE FINAL CONNECTIONS.
	EXHAUST FAN - ROOF MOUNTED - PROVIDED BY OTHERS. PROVIDE FINAL CONNECTIONS.

COMMUNICATION SYSTEMS

SYMBOL	DESCRIPTION
	SOUND SYSTEM SPEAKER - CEILING MOUNTED (PAGING SYSTEM).

FIRE ALARM SYSTEM

SYMBOL	DESCRIPTION
	FIRE ALARM AUDIO UNIT - (FLUSH CEILING).
	FIRE ALARM VISUAL UNIT (FLUSH CEILING)
	COMBINATION FIRE ALARM AUDIO/ VISUAL UNIT CEILING MOUNT.
	SMOKE DETECTOR.

WIRING

SYMBOL	DESCRIPTION
	HOMERUN TO APPLICABLE PANEL - WIRING SHALL BE 2#12 AWG WITH SEPARATE GROUND WIRE IN 3/4" CONDUIT UNLESS OTHERWISE NOTED.
	WIRING - CONCEALED AS SPECIFIED OR AS OTHERWISE NOTED.
	NORMAL/ EMERGENCY LIGHTING CIRCUIT.
	INDICATES DRAWING NOTE NUMBER.

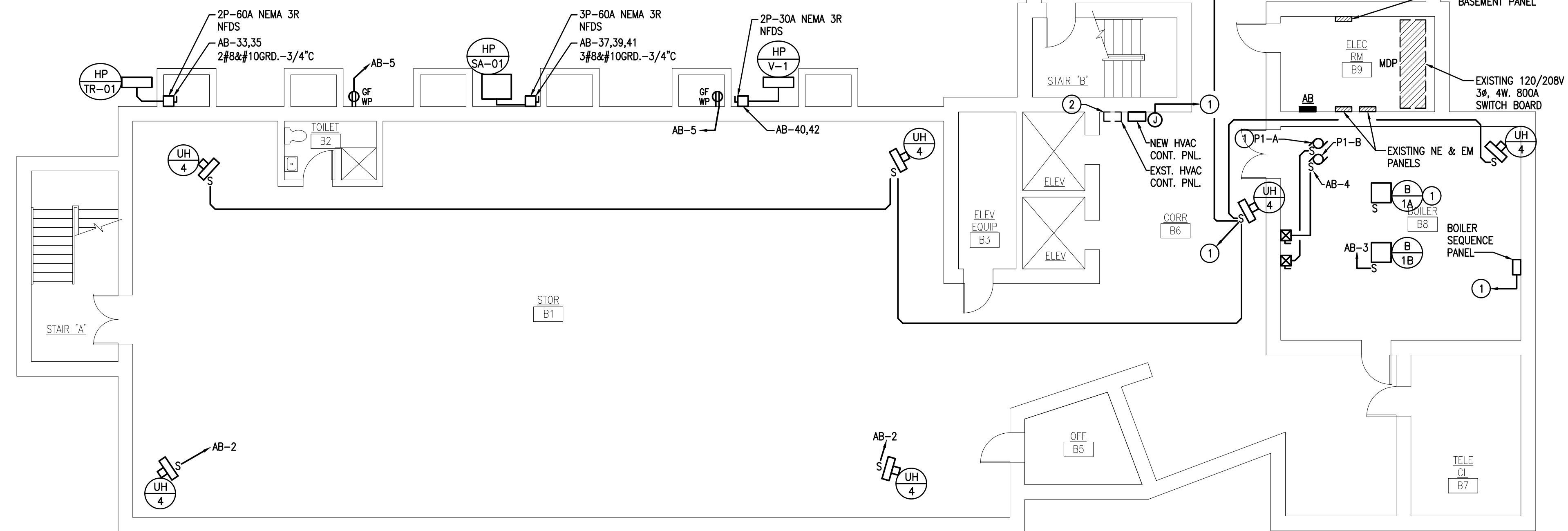
ABBREVIATIONS

SYMBOL	DESCRIPTION
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
CU	CONDENSING UNIT - BY OTHERS. PROVIDE FINAL CONNECTIONS.
EF	EXHAUST FAN - BY OTHERS. PROVIDE FINAL CONNECTIONS.
NFDS	NON FUSED DISCONNECT SWITCH
FDS	FUSED DISCONNECT SWITCH

SQUARE D NO

PANEL	AB	MAINS	225 M.L.O.	#	3	WIRES	4	AIC RATING	22,000
VOLTS	120/208	MOUNTING	SURFACE	LOCATION	POLES	42	BASEMENT ELEC. RM.		
REMARKS AND LOCATION	LOAD	BKR	CKT	CKT	BKR	LOAD	REMARKS AND LOCATION		
UNIT HEATER BSMT. NORTH	400	20	1	2	20	400	UNIT HTRS. SOUTH BSMT.		
BOILER B-1B	400	20	3	4	20	100	PUMP P-1B		
EXTERIOR RECPT'S	540		5	6			SPARE		
SPARE			7	8			SPARE		
SPARE			9	10			SPARE		
SPARE			11	12			SPARE		
BLANK SPACE			13	14			BLANK SPACE		
BLANK SPACE			15	16			BLANK SPACE		
BLANK SPACE			17	18			BLANK SPACE		
BLANK SPACE			19	20			BLANK SPACE		
BLANK SPACE			21	22			BLANK SPACE		
BLANK SPACE			23	24			BLANK SPACE		
BLANK SPACE			25	26			BLANK SPACE		
BLANK SPACE			27	28			BLANK SPACE		
BLANK SPACE			29	30			BLANK SPACE		
BLANK SPACE			31	32			BLANK SPACE		
HP-TR-01		35	33	34	1		BLANK SPACE		
		2	35	36	35				
HP-SA-01		35	37	38	2				
		3	39	40	20				
		3	41	42	2				

- GF - PROVIDE CIRCUIT BREAKER WITH GROUND FAULT CIRCUIT INTERRUPTER
- ▲ - REMOVE AND REPLACE EXISTING CIRCUIT BREAKER WITH NEW SIZE AND TYPE INDICATED
- - EXISTING CIRCUIT/BREAKER TO REMAIN.



BASEMENT FLOOR PLAN - POWER
SCALE: 1/8" = 1'-0"

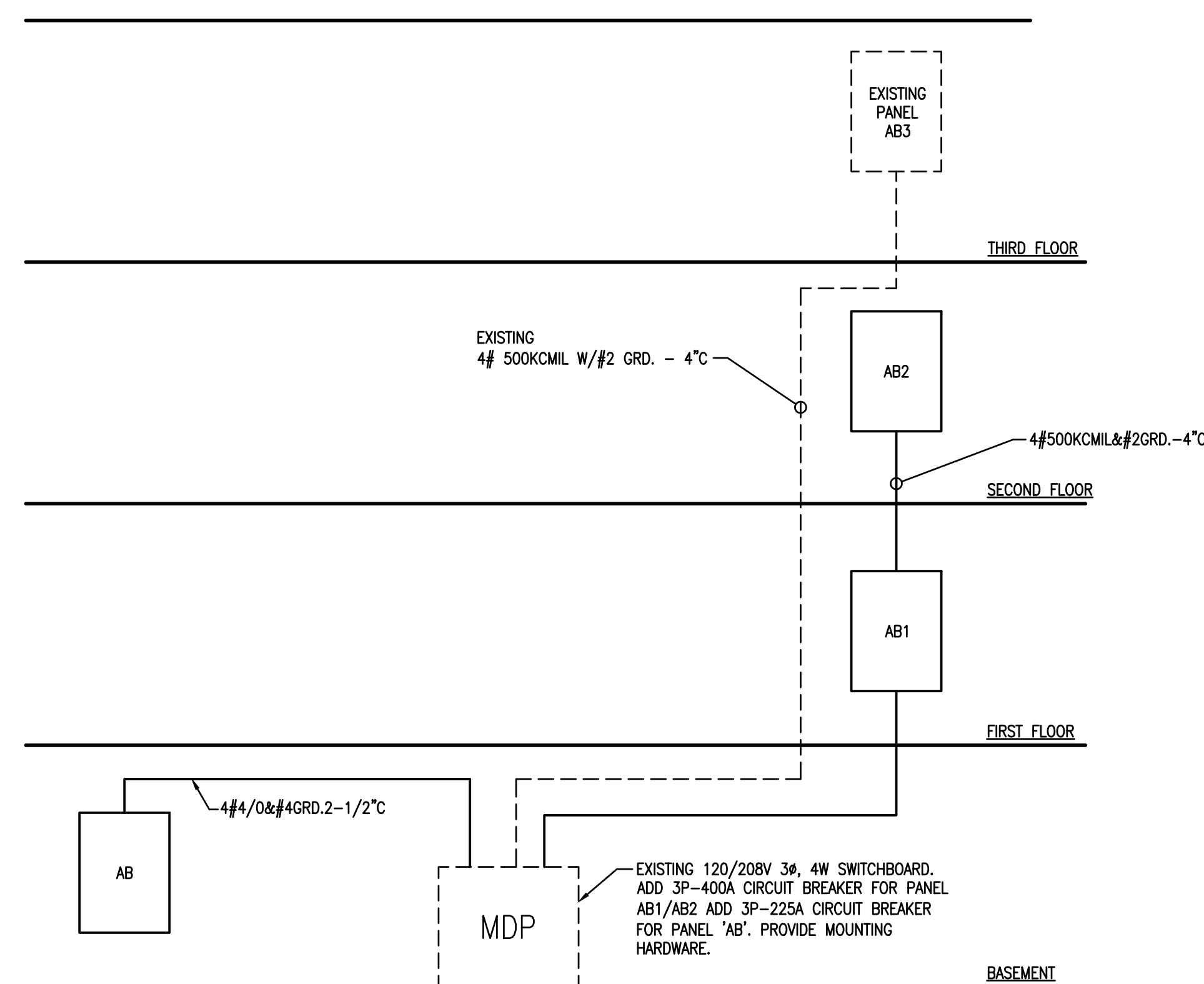
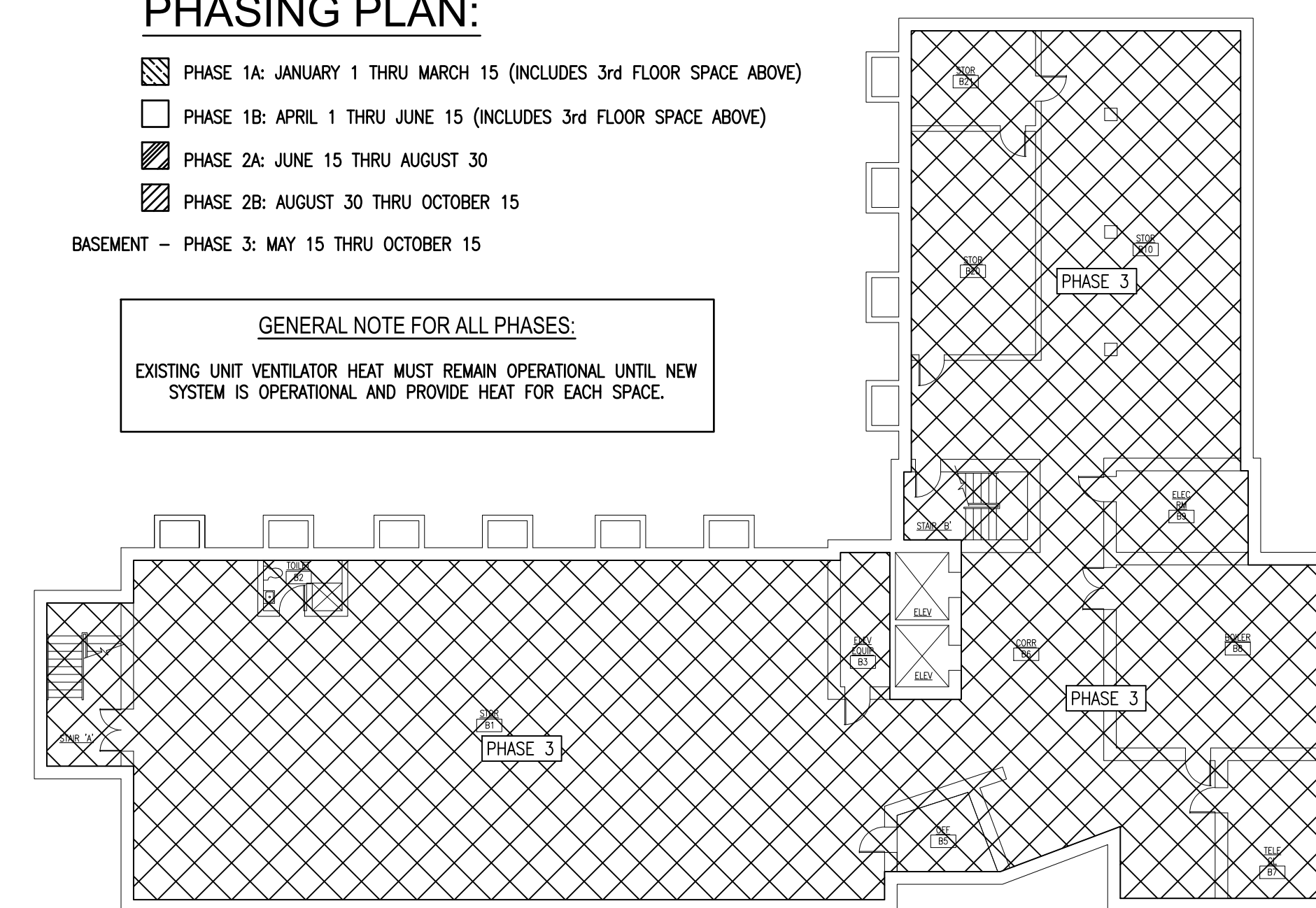
DRAWING NOTES:

- RUN 2#12GRD.-3/4" TO EXISTING PANEL 'LS' CONNECT TO SPARE 20A-1P FUSE.
- CONNECT EXISTING HVAC PANEL TO NEW N/E ADJUSTMENT CIRCUIT.

PHASING PLAN:

- PHASE 1A: JANUARY 1 THRU MARCH 15 (INCLUDES 3rd FLOOR SPACE ABOVE)
- PHASE 1B: APRIL 1 THRU JUNE 15 (INCLUDES 3rd FLOOR SPACE ABOVE)
- PHASE 2A: JUNE 15 THRU AUGUST 30
- PHASE 2B: AUGUST 30 THRU OCTOBER 15
- BASEMENT - PHASE 3: MAY 15 THRU OCTOBER 15

GENERAL NOTE FOR ALL PHASES:
EXISTING UNIT VENTILATOR HEAT MUST REMAIN OPERATIONAL UNTIL NEW SYSTEM IS OPERATIONAL AND PROVIDE HEAT FOR EACH SPACE.



POWER RISER DIAGRAM
SCALE: NOT TO SCALE

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BASEMENT FLOOR PLAN - POWER

DRAWN	RK
CHECKED	JS
DATE	10-18-2021
SCALE	AS NOTED
JOB NO.	2767-2
SHEET	E-7

E-7