

The contents of this Addendum alter and amend the drawings and specifications and take precedence over the related items therein. Bidders shall include the cost of all items in their Bids.

GENERAL INFORMATION

1. No local business licenses are required of contractors for this project.
2. Plumbing Unit Prices, Allowances and Bid Tables have been revised per requested clarification of sprinkler work. Plumbing bidders are advised to review updated specifications and download latest Bid Table.

CLARIFICATIONS:

1. There are currently Eight (8) semi-recessed fire extinguisher cabinets located across the two floors. Seven (7) of them are to be salvaged and reinstalled at new locations. The eighth is located in Multipurpose Room 116 and shall stay in situ. Two additional semi-recessed FEC's and associated extinguishers shall be installed in the 1st floor addition where identified. Assume existing extinguishers are to be salvaged and re-installed in FEC. If any are found to be expired or damaged, Owner shall replace.
2. Wall-mounted display brackets shall be provided AND installed by the Owner's IT vendor. GC shall be responsible for coordinating blocking requirements with Owner's vendor and installing the required blocking within the wall cavity.
3. Omission from Addendum 3: On Sheet A-101 issued as part of Addendum 3, window 'W05' was deleted from the scope but not called out in the Addendum notes. The window opening shall be infilled as noted on that drawing.

REQUESTS FOR INFORMATION:

#40 Specification 01100, 1.4, A, 5, states the Information Technology Equipment will be furnished under a separate contract. Specification 27000, 1.6, A, 1, a, states the Contractor shall provide submittals for cabling, Patch panels and cross connect wire. Is the information Technology provided under a separate contract providing Data and Phone cables?

A: **[REVISED RESPONSE] EC to provide all cabling (CAT 6, RG6, HDMI) and ends to cables to test terminations. Patch panels provided by EC. Basis of design shall be ICC model no. ICMPP04860 or approved equal. EC to provide sufficient quantity of patch panels to accommodate all cable runs specified. If IT vendor has not provided equipment rack for mounting, EC may temporarily mount in space. Punch-down terminations by EC for testing purposes. Revised drawings and specifications will be provided in next addendum.**

#54: If the scope of work is that the existing fire sprinkler system pipe and fittings are to remain in place and be reused, please confirm that the existing system design is adequate for the proposed building use. If it isn't adequate the system will need to be upgraded or replaced. If you want it upgraded you would have to provide the as-built drawings and the hydraulic calculations so we would be able to figure out what parts of the system would need to be upgraded.

A: *[Updated response]*

Fire protection general note # 2 on sheet FP-1 states the following: "THE INTENT OF FIRE PROTECTION DRAWINGS IS FOR APPROVAL PURPOSES ONLY AND TO AID THE FIRE PROTECTION CONTRACTOR IN SYSTEM LAYOUT AND MODIFICATIONS REQUIRED FOR BIDDING PURPOSES. THE DRAWINGS IDENTIFY BASIC ELEMENTS OF THE FIRE

PROTECTION SYSTEM, AREAS OF COVERAGE AND DEVICE TYPES AND AREAS WHICH REQUIRE SPECIAL ATTENTION AND/OR DEVICES. THE SUCCESSFUL FIRE PROTECTION CONTRACTOR IS RESPONSIBLE FOR PROVIDING APPROVED AND COMPLETE PIPING LAYOUT DRAWINGS AND HYDRAULIC CALCULATIONS."

Demolition note #1 on sheet FP-1 states the following: "DISCONNECT AND REMOVE EXISTING SPRINKLERS WITHIN THE AREA OF DEMOLITION. IF BRANCH AND MAIN PIPING IS IN ADEQUATE CONDITION AND IS APPROPRIATELY SIZED IT MAY BE REUSED IN PLACE."

The drawings are a performance-based design only. Therefore, it is up to the contractor to determine if any existing branch or main piping can be re-used based on their hydraulic calculations, and piping layout drawings. The FP contractor shall visit to site to familiarize himself with the existing systems to determine what can be reused.

See also response to RFI #76.

#60: *There is a page in the specifications listing the Countertops, however, on item 2.1, part B, 1,2, &3 list the same material for both specs as QTZ-1. Please advise and clarify.*

A: Items 1 & 2 in that section list the two accepted product options for QTZ-1.

#61: *Which version of the AIA A305 Qualification Form must be submitted - the 1986 version or the 2020 version? If the 2020 version, please specify which exhibits are required.*

A: 2020 version. Exhibits A thru D.

#62: *What exactly is to be uploaded in the "Additional Documents" tab on Pennbid, as it is marked "required," so something has to be be uploaded there in order to submit the bid.*

A: Setting for that item has been changed from "Required." Bidders may use it to upload additional information as necessary.

#63: *Will there be any consideration for a bid date extension given another forthcoming addendum to address outstanding questions and the second round of site visits?*

A: No extension is planned at this time.

#64: *Spec section 23 5533 Gas Fired Unit Heaters • 1.6 denotes warranty period: "two years from substantial completion." The job denotes one year warranty. These units are only available from the manufacturer with one year warranty. Is the two year note accurate for this project?*

A: Revise this warranty to be one year instead of two year.

#65: *Are we permitted to use PVC for above ground and below ground?*

A: See specification section 221316 Section 3.11 Piping Schedule.

#66: *Is Pro Press acceptable for domestic installation?*

A: Yes.

#67: *Is mega press acceptable for gas piping?*

A: Yes.

#68: Who is responsible for the permit costs?

A: Owner is paying for Zoning, Land Development, General Trades, HVAC, Electric and/or Plumbing permit costs directly.

#69: Who is GC or PC responsible for the following: Concrete opening; Pouring back concrete?

A: Each prime is responsible for its own cutting and patching. PC shall be responsible for slab cutting and patching for its work.

#70: Spec 230502 SPECIAL HVAC REQUIREMENTS: Spec denotes the following:

"A. Provide an auxiliary drain pan below all equipment that is able to generate condensate. Drain pans shall be custom built to fit below unit and shall be constructed of 18 gauge sheet metal with welded ends as required to form a water-tight drain pan. Drain pan shall be a minimum of 1-½ inch deep. Drain pan shall be supported from the unit supports or shall be supported independently from the building structure.

B. Water sensor: Contractor shall provide a water sensor in the auxiliary drain pan that will shutdown the unit and sound an alarm if water is detected in the pan. Sensor shall be Model JMP series with 'L' mounting bracket as manufactured by Kele or EZ Trap Model EZT-226 with EZT113B or equal. Install in accordance with manufacturer's instructions."

Are these notes applicable to this project and if so, which specific units need pans with alarm?
Suspect that it might not be possible on some and or most of the VRF units.

A: These notes are intended to apply to all air handling equipment other than wall mounted and ceiling cassette units.

#71: 238129 VARIABLE-REFRIGERANT-FLOW HVAC SYSTEMS: Spec denotes labor warranty for five years from date of substantial completion

Manufacturer does [not] typically offer five years labor warranty for your basis of design VRF system(s). Please advise if this is a valid requirement.

A: One-year warranty on all parts except compressor. Compressor to have Five-year warranty.

#72: ADDENDA #2 – HVAC Condensate • Addenda states that HVAC is responsible for condensate routing, design and installation. Q1 – Wouldn't it be most logical for Engineer to size and route the condensate piping to an appropriate location so that it is properly designed and that all bidders provide the same system?

A: Next addendum shall provide drawing with proposed condensate routing for bidding purposes.

#73: VRF System: • On drawing M-4 we see BC-1 & BC-2A: On drawing M-5 we see BC-2.

Q1 – These BC units are not scheduled but denoted on M-6. On M-6, branch controllers are identified as BC-1, BC-2 and BC-3. Please clarify.

Q2 – Assume that the branch controllers are to be installed where shown on the drawings?

Q3 – Please schedule the branch controllers and or identify how many ports are desired per each controller.

- A: "BC-1" is a main BC located in 134 Evidence Storage is denoted as "BC-1" on sheet M-6.
"BC-2A" is a sub BC located in 117 Mech/Electrical room and is denoted as "BC-2" on sheet M-6.
"BC-2" is a main BC located in 219 Storage and is denoted as "BC-3" on sheet M-6.

Drawings will be updated in next Addendum so the tags on the floor plan match what is shown on the VRF system diagram for clarity. No schedule is required as branch controller model numbers are listed on M-6 and required ports (used and unused) are shown on the diagram.

- #74: Only windows in rooms 204, 206, & 208 are shown in elevation with trim surrounding the windows (elevations 1&4/A401, 6/A402 & 5&6/A403). Do all new windows throughout the building receive the same trim?

- A: Windows (and doors) in rooms 204, 206 & 206 get full casing trim as part of full room trim package. All other windows to receive stools only as noted in Window Notes, item #6 on A-602. Stool trim shall be per keynote 6.20.22.

- #75: Drawing M-4 • There is (1) ECH-1 in vestibule #100 shown. There is no schedule for ECH units. Please provide data.

- A: *Drawings will be updated with schedule information in next Addendum.*

- #76: Please provide an accurate description of work that is required in regards to the fire sprinkler system installation. After reviewing the drawings and specifications it isn't clear as to whether the existing systems can remain in place and be reused or if the existing systems are to be removed in their entirety and new systems installed. This decision has to be made by the owner / engineer. This can't be left up to the bidding contractors to decide. Otherwise some contractors are going to bid reusing the existing even though it is in poor condition.

- A: *The existing system appears to be in adequate condition and can remain in place. It has passed inspection performed by Victory Fire Protection. **For bidding purposes, bidder may assume that flow is adequate for reconfiguration of and extension to existing system.***

Drawings will be updated to illustrate a more detailed scope of work that shall include the following general directives:

1. *Existing service, riser and main/branch piping shall remain.*
2. *Remove/Replace all takeoffs from branch piping to heads to accommodate new sprinkler layout.*
3. *Run a new dedicated main from existing riser to new building addition.*
4. *Modify existing sprinklers above the second floor ceiling protecting combustible construction as required to accommodate new construction.*
5. *No work is anticipated for the existing dry system serving the attic space.*
6. *Provide unit prices per foot for 1", 1-1/2", 2", 3" and 4" sprinkler piping. Unit prices shall be calculated to include all required hangers, supports and up to (2) 90 degree elbows with all required fitting and joints. Plumbing Bid Table and Unit Prices specification shall be updated with these unit prices.*
7. *Carry an allowance for 50' of each size based on Unit Prices. Bid form to be updated to include these unit prices. Allowances shall be included in the Plumbing Bid Table and Allowances specification section.*

- #78: 1) Please confirm that not all sign types on the Sign Type Schedule are applicable on pages A-003 & A-004.

2) Please provide details for sign types shown on plans not included on pages A-007, A-008, A-009 (Sign Types A.15, A.21, A.31, A.32, A.33, B.04, B.06, B.26, B.27, B.42, C.11, D.11, D.22).

3) Please identify the 3rd sign from left in the top row on page A-008.

4) Please confirm the sign type for the 4th sign from the left (top row) and the 3rd sign from the left (second row) as these two signs are different but have the same identifier.

5) Please confirm if the 4th sign from the left on the top row (Page A-008) is needed as there are no stairs that access more than three consecutive floors on this project.

6) Please clarify the note on page A-008 stating directory inserts are to be "laser engraved panels with department names, directional information and coordinated braille text" as directories are excluded from braille requirements and braille must be raised and not engraved.

A: 1) *Correct. Schedule is Architect's master signage schedule and includes sign types not provided in this project.*

2) *A.15 – Was to be type 'A.13', but see item #5 below.*

A.21 – Area of Refuge: Deleted from all locations.

A.31 – Elevator: Provide sign matching typical room identification sign and depicting Up/Down arrows above M/W/M figures in rounded square box iconography, "Elevator" text and braille.

A.32 – Elevator Floor Identifier (Jambs): This is provided by Elevator subcontractor.

B.04 – Building Directory: Revised w/ additional information on A-008.

B.06 – Occupant Load: Shown on A-008. Revised and tag corrected to read 'B.06.'

B.26 – Accessible Locker Room – Men: Shown on A-008

B.27 – Accessible Locker Room – Women: Shown on A-008

B.42 – Baby Changing Station: Deleted. Iconography integrated with 'B.24.'

C.11 – Fire Extinguisher: Deleted from plans. Will be integral to FEC's.

D.11 – No Smoking: Provide painted metal sign with general text

"No Smoking within 25 feet of this Entrance." Three additional locations on 1st floor added to scope.

D.22 – Emergency Shower Eyewash: Provide painted metal sign depicting emergency eyewash and shower iconography. Architect shall verify acceptance in submittal process.

3) *Erroneous: Removed from sheet.*

4) *A.15 and B.06 respectively.*

5) *Fair point. Sign type 'A.13' removed from project.*

6) *No braille required for Directory. Detail updated.*

#79: Can there be a revision for additional information and clarification regarding the Door Hardware Schedule and Specs. There is a series of items that do not reflect each other on the drawings vs. the specs. Also there is missing information regarding existing doors and electric devices that tie in together. We are receiving this information from a series of vendors making it hard to provide an accurate number.

A: *Updated drawings and specs included in this Addendum. GC is required to provide doors and frames prepped for hardware as applicable. For electrically controlled doors, it is the GC's responsibility to provide power wiring from all door/frame hardware to plenum space above doors. From there, it will be integrated with power supplies/controllers to be provided by the Owner's security vendor. EC shall provide backboxes and conduit from wall adjacent to door to plenum space. Security vendor shall provide access control device, wiring to plenum from box and beyond to controller. If any further information is required, please be specific in inquiry.*

#80: 1) Can the architect issue complete and detailed hardware sets with manufactures and item numbers? 2) There is quite a bit of reference to access control locks, Electrified Mortise locks, and 3 different key systems. Not a clear picture on the access credential type. 3) Is there an existing security vendor? 4) What are they using in the building? 5) What is the existing key system?

- A: 1) *Within Hardware Spec, acceptable manufacturers/brand umbrellas for hardware components are listed in section 2.3 or other product information headings as applicable. Performance criteria are indicated in the specifications for each product type. Bidders shall submit products by accepted manufacturers and that are compliant with project specifications.*
2) *Access control system is key card/fob/proximity based system (Alarm.com). In addition to the electronic access, a master key system will be required for all locks within the building (including lock cylinders integrated with other building security components (folding grille, mesh partitions, etc.)*
3) *Top Tech Integrators, Greg Sorg, 610.756.5009, sales@patoptech.com*
4) *Alarm.com is current access control system.*
5) *No master keying system currently in place.*

If further clarification is required, you may contact Greg Sorg directly.

#81: The plan and spec say both "sash" and "direct glaze" for the new windows. The roof access unit would have to be in sash. The rest can be direct glazed. The dormer windows would look slightly different if you mix them. How do you want these quoted?

- A: *All windows (including dormers) to be direct glaze except W43 which shall be an operable casement for rooftop access. W43 is not in public view, so it will not be impacted. See also Clarification #3 above regarding deletion of 'W05.'*

DRAWINGS:

A-001: Drawing index updated.

A-003: Signage updates per RFI #78 response.

A-004: Signage updates per RFI #78 response.

A-008: Signage updates per RFI #78 response.

A-601: Hardware sets for doors 119.2, 125.1, 125.3, 221.1 & ST1-2.1 updated.

A-602: Hardware set schedule updates and clarifications.

- REVISED hardware sets:
 - E04: Updated to include new latchset hardware and hinges.
 - M20: Function clarified.
 - M24: Function clarified.
 - M25: Function clarified.
 - M28: Function clarified.
 - M30: Function clarified.
 - M31: Function clarified.
 - M32: Exit device prep changed to Mortise.
 -
- ADDED: Set 'M33'
- DELETED: Sets 'S03' & 'S04'.

SPECIFICATIONS

1. **Section 012100 "Allowances":**
 - a. **INSERT** new paragraph 3.4.D:
"D. Allowance P-01: Lump Sum Allowance: Provide an aggregate allowance equivalent to the sum of 50'-0" of EACH SIZE of sprinkler piping per the Unit Prices "UP-08 through "UP-12."
2. **Section 012200 "Unit Prices":** Unit Prices "UP-08" through "UP-12" for additional sprinkler piping have been added to paragraph "3.4 List of Unit Prices – Plumbing and Fire Protection Work." Revised copy attached to this Addendum.
3. **Section 237433 "Dedicated Outdoor-Air Units":** Delete line 2.3.C.

REQUESTS FOR SUBSTITUTION:

- #1 Evidence Lockers:** Subject to compliance with the requirements of the project, specifications and specified design configurations, Fasco, Inc. is an acceptable manufacturer for the metal pass-thru Evidence Lockers.
- #2 Variable-Refrigerant Flow HVAC Systems:** Subject to compliance with the requirements of the project, specifications and specified design configurations, Carrier Global Corp. is an acceptable manufacturer.
- #3 Dedicated Outdoor-Air Units:** Subject to compliance with the requirements of the project, specifications and specified design configurations, Carrier Global Corp. is an acceptable manufacturer.

END.
MG ARCHITECTS, LTD.

SOG/lev
Attachments:

- Specification section 012200 "Unit Prices (Rev 2)."
- Updated Drawings:
 - A-001
 - A-003
 - A-004
 - A-008
 - A-601
 - A-602

SECTION 012200 - UNIT PRICES (Rev. 2)

PART 1 - GENERAL

1.1 SUMMARY

A. Section Includes:

1. Administrative and procedural requirements for unit prices.
2. Identification and description of unit prices for each contract.

B. Related Documents:

1. Document 004113 "Bid Form" for submission of Unit Price costs associated with each Prime Contract.

C. Related Sections:

1. Section 012600 "Contract Modification Procedures" for procedures regarding submitting and handling of Change Orders.
2. Section 012900 "Payment Procedures" for measurement and payment of unit price items.
3. Section 014000 "Quality Requirements" for general testing and inspecting requirements.

1.2 DEFINITIONS

- A. Unit Price:** An amount proposed by bidders, stated on the bid Form, as a price per unit of measure for materials, equipment, or services, or a portion of the Work ADDED TO or DEDUCTED FROM the Contract Sum by appropriate modification, if Work scope or estimated quantities of Work required by Contract Documents are increased or decreased.

1.3 PROCEDURES

- A.** Unit prices shall be a comprehensive cost including all necessary material, plus delivery costs, installation, insurance, applicable taxes, overhead, and profit.
- B.** Unit prices will be exercised if certain conditions are discovered or required during the Work, and if certain options are revised by the Owner.
- C.** Coordinate related systems and modify surrounding materials as required to complete the Work, including changes under each unit price.
- D.** Complete Unit Price listing shown on appropriate Form of Bid.
- E.** See individual Specification Sections for work that requires establishment of unit prices. Methods of measurement and payment for unit prices are specified in those Sections.
- F.** Owner reserves the right to take following actions regarding unit prices:
1. Accept any or all unit prices that Owner considers fair and reasonable.

2. Negotiate with acceptable low bidder to amount acceptable to both Owner and Contractor.
 3. Reject Contractor's measurement of work that involves use of established unit prices and to have work measured, at Owner's expense, by an independent surveyor acceptable to Contractor.
- G. It is specifically understood that unit prices, when accepted, are intended to cover quantities less than 10 percent in excess of Base Bid quantities. When unit price quantities exceed 10 percent, negotiated change order procedures will be enacted to cover that work.
- H. List of Unit Prices: A list of unit prices for each Prime Contract is included in PART 3 of this Section. Specification Sections referenced in the schedule contain requirements for materials described under each unit price.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 LIST OF UNIT PRICES - GENERAL CONSTRUCTION WORK

- A. Unit Price UG-01: Brick Masonry Repair/Repointing ~~without~~ Lift Equipment.
1. Description: For the repair of damaged or deteriorated existing brick masonry that does not require use of a lift or extensive scaffolding; approximately twelve feet or less above grade.
 2. Unit of Measurement: Square foot.
 3. Specification: Refer to Sections 040120.63 "Brick Masonry Repair" and 040120.64 "Brick Masonry Repointing."
- B. Unit Price UG-02: Lift Equipment for Brick Masonry Repair/Repointing
1. Description: Daily rate for rental of lift equipment needed for the repair of damaged or deteriorated existing brick masonry that requires the use of a lift or extensive scaffolding; approximately twelve feet or more above grade.
 2. Unit of Measurement: Per Day.
 3. Specification: Refer to Sections 040120.63 "Brick Masonry Repair" and 040120.64 "Brick Masonry Repointing."
- C. Unit Price UG-03: Cutting and Patching of Existing Concrete Floor Slab.
1. Description: Cutting of new or existing concrete floor slabs up to 6 inches thick, removal and excavation as required, and subsequent backfill, compaction, and patching of concrete in accordance with Division 01 Section "Cutting and Patching" not otherwise indicated in the Contract Documents.
 2. Unit of Measurement: Per Square foot of concrete removed.
 3. Specification: Refer to Sections 0300130 "Maintenance of Cast-In-Place Concrete" and 033000 "Cast-In-Place Concrete."

D. Unit Price UG-04: Floor Leveler.

1. Description: Provide additional cement-based underlayment, up to an entire room if needed, only for those floor areas identified by the Design Professional as an unforeseen condition and in need of additional substrate preparation, in excess of that already specified in the drawings, prior to installation of the finish flooring products. No additional compensation will be made for any substrate floor areas that were damaged because of the Contractor's improper demolition and original floor covering removal methods. The Contractor is responsible to keep records of their own quantities of underlayment and then reconcile them with those of the Design Professional prior to submitting a Contractor Change Request.
2. Unit of Measurement: Square foot.
3. Specification: Refer to Section 035413 "Gypsum Cement Underlayment."

E. Unit Price UG-05: Interior Panel Exit-Egress Signage.

1. Description: Provide and install an additional panel sign of Type 'A' or its variants at the requested location and required height to meet egress Code requirements.
2. Unit of Measurement: Each.
3. Specification: Refer to Section 101423.16 "Room-Identification Panel Signage."

F. Unit Price UG-06: Asphalt Replacement.

1. Description: Provide replacement of existing asphalt areas as directed by the Owner or Architect, and not those already indicated on the base bid documents. Proposed unit price cost shall include all necessary excavation, removal of spoils, geotech fabric, stone base, and asphalt base and wearing courses to the proper pavement profile, as shown in the contract documents for similar work.
2. Unit of Measurement: Square yard.
3. Specification: Refer to Section 321200 "Flexible Paving."

G. Unit Price UG-07: Concrete Sidewalk Replacement.

1. Description: Remove and replace existing sidewalk areas at the direction of the Owner or Architect. The work shall include the complete demolition, removal of spoils, subgrade preparation, stone base, welded wire reinforcing mats, and the placement and final finishing of the concrete material in depths, mix design, and strengths that are consistent with the base concrete specifications.
2. Unit of Measurement: Square foot.
3. Specification: Refer to Section 033000 "Cast In Place Concrete."

H. Unit Price UG-08: Concrete Curb Replacement.

1. Description: Remove and replace existing concrete curb areas at the direction of the Owner or Architect. The work shall include the complete demolition, removal and disposal of spoils, subgrade preparation, stone base, reinforcing, and the placement and final finishing of the concrete material in depths, mix design, and strengths that are consistent with the base concrete specifications.
2. Unit of Measurement: Lineal foot.
3. Specification: Refer to Section 033000 "Cast In Place Concrete."

3.2 LIST OF UNIT PRICES - HVAC WORK

A. Unit Price UH-1: Ductwork

1. Description: Furnish and install additional insulated ductwork including all required supports, hangers and insulation. Maximum size is 24x12.
2. Unit of Measurement: Pound.
3. Specification: Refer to section 233113 "Metal Ducts" and section 230700 "HVAC Insulation."

B. Unit Price UH-2: Access Doors

1. Description: Furnish and install additional insulated ductwork including all required supports, hangers and insulation. Unit size basis: 12" x 12".
2. Unit of Measurement: Each.
3. Specification: Refer to Section 083113 "Access Doors and Frames" and Section 233300 "Air Duct Accessories."

3.3 LIST OF UNIT PRICES - ELECTRICAL WORK

A. Unit Price UE-1: Duplex Receptacle.

1. Description: Provide and install an additional duplex receptacle to include backbox and faceplate.
2. Unit of Measurement: Each.
3. Specification: Refer to Section 262726 "Wiring Devices".

B. Unit Price UE-2: Data Receptacle.

1. Description: Provide and install an additional Category 6 data jack – to include backbox, faceplate, and 200 feet cable length – according to base data receptacle specification.
2. Unit of Measurement: Each.
3. Specification: Refer to Section 270528 "Pathways for Communication Systems."

C. Unit Price UE-3: Illuminated Exit Sign & Wiring.

1. Description: Provide and install an additional illuminated exit sign assembly – to include appropriate mounting equipment, 3/4 inch conduit/raceway with #12 conductors and #12 ground wire, all necessary wall penetration cutting and patching, terminations, and connections – according to base specification for similar work. Maximum distance is 35 feet. Connections to be made to closest emergency exit sign circuit.
2. Unit of Measurement: Each.
3. Specification: Refer to Section 265100 "Interior Lighting."

D. Unit Price UE-4: Fire Alarm Audible/Visual Device & Wiring.

1. Description: Provide and install an additional fire alarm A/V device assembly – to include A/V device, backbox, cabling, conduit, necessary wall penetration cutting and patching, terminations, connections to fire alarm system, programming, and additional power supplies required – according to base fire alarm specification for similar work. Maximum distance is 50 feet.

2. Unit of Measurement: Each.
 3. Specification: Refer to Section 284621.11 "Addressable Fire-Alarm Systems".
- E. Unit Price UE-5: 20A Wiring in Conduit.
1. Description: Provide and install wiring for additional 20A devices; 2#12 & 1#12G in 3/4" CND.
 2. Unit of Measurement: Lineal foot.
 3. Specification: Refer to Section 260519 "Low-Voltage Electrical Power Conductors and Cables."
- F. Unit Price UE-6: 20A Wiring in MC.
1. Description: Provide and install wiring for additional 20A devices; 2#12 & 1#12G in MC.
 2. Unit of Measurement: Lineal foot.
 3. Specification: Refer to Section 260519 "Low-Voltage Electrical Power Conductors and Cables."

3.4 LIST OF UNIT PRICES – PLUMBING AND FIRE PROTECTION WORK

- A. Unit Price UP-1: Ball Valve (1/2 inch dia.)
1. Description: Furnish and install 1/2 inch ball valve within plumbing line – to include all required accessories and tagging to align with similar work in base scope.
 2. Unit of Measurement: Each.
 3. Specification: Refer to Section 220523.12 "General Duty Valves for Plumbing Piping."
- B. Unit Price UP-2: Ball Valve (3/4 inch dia.)
1. Description: Furnish and install 3/4 inch ball valve within plumbing line – to include all required accessories and tagging to align with similar work in base scope.
 2. Unit of Measurement: Each.
 3. Specification: Refer to Section 220523.12 "General Duty Valves for Plumbing Piping."
- C. Unit Price UP-3: Ball Valve (1 inch dia.)
1. Description: Furnish and install 1 inch ball valve within plumbing line – to include all required accessories and tagging to align with similar work in base scope.
 2. Unit of Measurement: Each.
 3. Specification: Refer to Section 220523.12 "General Duty Valves for Plumbing Piping."
- D. Unit Price UP-4: Copper Piping (1/2 inch dia.)
1. Description: Furnish and install 1/2 inch copper piping – to include support hangers, insulation, labels, and tagging to align with similar work in base scope. Include (2) 90-degree elbows and all soldered joints.

2. Unit of Measurement: Lineal foot.
3. Specification: Refer to section 221116 "Domestic Water Piping", Section 220529 "Hangers and Supports for Plumbing Piping and Equipment", and Section 220719 "Plumbing Piping Insulation."

E. Unit Price UP-5: Copper Piping (3/4 inch dia.)

1. Description: Description: Furnish and install 3/4 inch copper piping – to include support hangers, insulation, labels, and tagging to align with similar work in base scope. Include (2) 90-degree elbows and all soldered joints.
2. Unit of Measurement: Lineal foot.
3. Specification: Refer to section 221116 "Domestic Water Piping", Section 220529 "Hangers and Supports for Plumbing Piping and Equipment", and Section 220719 "Plumbing Piping Insulation."

F. Unit Price UP-6: Copper Piping (1 inch dia.)

1. Description: Description: Furnish and install 1 inch copper piping – to include support hangers, insulation, labels, and tagging to align with similar work in base scope. Include (2) 90-degree elbows and all soldered joints.
2. Unit of Measurement: Lineal foot.
3. Specification: Refer to section 221116 "Domestic Water Piping", Section 220529 "Hangers and Supports for Plumbing Piping and Equipment", and Section 220719 "Plumbing Piping Insulation."

G. Unit Price UP-7: Concealed Pendant Sprinkler Head Assembly

1. Description: Furnish and install concealed pendant sprinkler head assembly – to include cover plate, flexible hose fitting and all required accessories and tagging to align with similar work in base scope.
2. Unit of Measurement: Each.
3. Specification: Refer to Section 211313 "Wet-Pipe Sprinkler System."

H. Unit Price UP-8: Additional Sprinkler Pipe

1. Description: Provide 1" diameter sprinkler piping. Unit price shall be calculated to include all required hangers, supports and up to (2) 90 degree elbows with all required fitting and joints.
2. Unit of Measurement: Lineal foot.
3. Specification: Refer to Section 211313 "Wet-Pipe Sprinkler System."

I. Unit Price UP-9: Additional Sprinkler Pipe

1. Description: Provide 1-1/2" diameter sprinkler piping. Unit price shall be calculated to include all required hangers, supports and up to (2) 90 degree elbows with all required fitting and joints.
2. Unit of Measurement: Lineal foot.
3. Specification: Refer to Section 211313 "Wet-Pipe Sprinkler System."

J. Unit Price UP-10: Additional Sprinkler Pipe

1. Description: Provide 2" diameter sprinkler piping. Unit price shall be calculated to include all required hangers, supports and up to (2) 90 degree

- elbows with all required fitting and joints.
- 2. Unit of Measurement: Lineal foot.
- 3. Specification: Refer to Section 211313 "Wet-Pipe Sprinkler System."

K. Unit Price UP-11: Additional Sprinkler Pipe

- 1. Description: Provide 3" diameter sprinkler piping. Unit price shall be calculated to include all required hangers, supports and up to (2) 90 degree elbows with all required fitting and joints.
- 2. Unit of Measurement: Lineal foot.
- 3. Specification: Refer to Section 211313 "Wet-Pipe Sprinkler System."

L. Unit Price UP-12: Additional Sprinkler Pipe

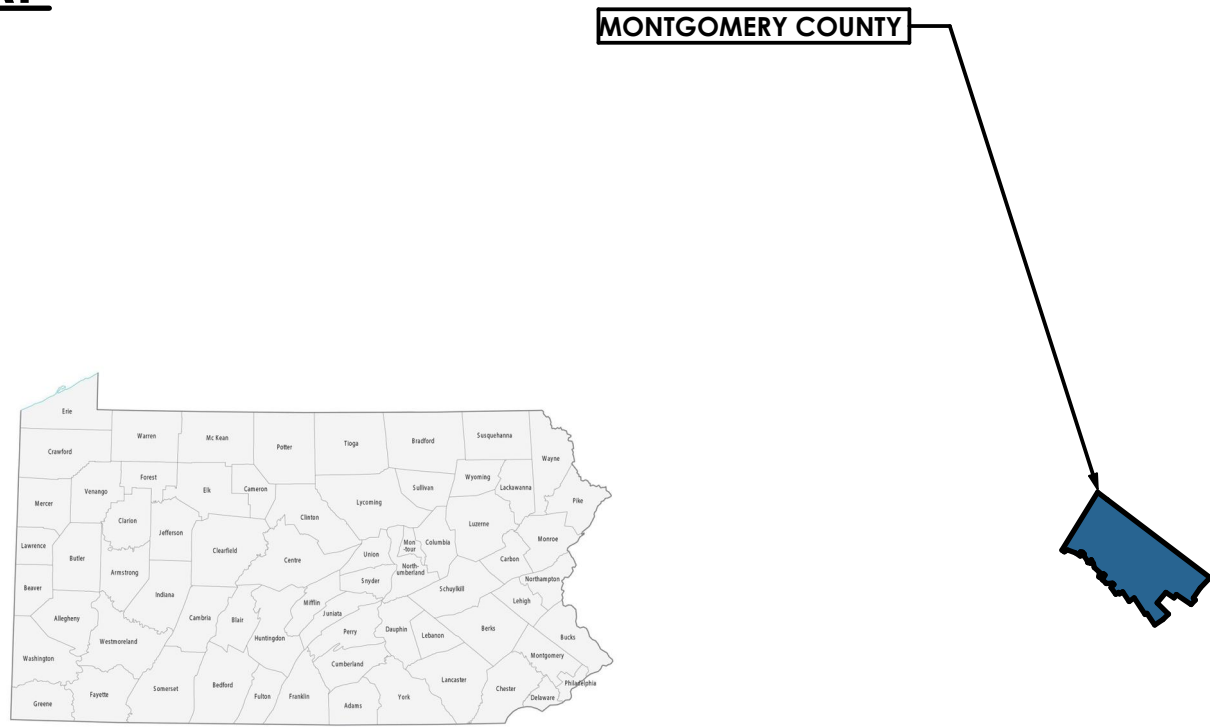
- 1. Description: Provide 4" diameter sprinkler piping. Unit price shall be calculated to include all required hangers, supports and up to (2) 90 degree elbows with all required fitting and joints.
- 2. Unit of Measurement: Lineal foot.
- 3. Specification: Refer to Section 211313 "Wet-Pipe Sprinkler System."

END OF SECTION

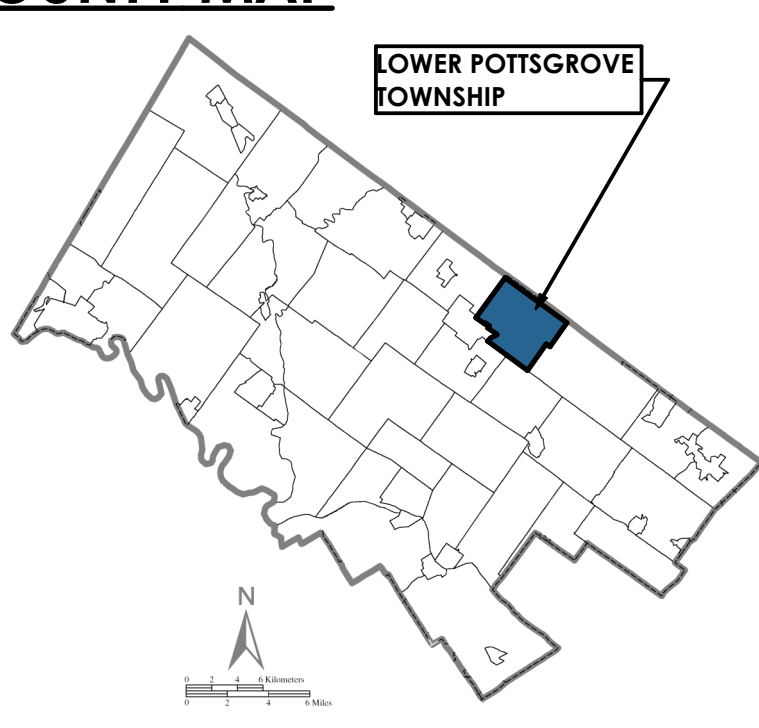
LOWER POTTS GROVE MUNICIPAL BUILDING & POLICE STATION



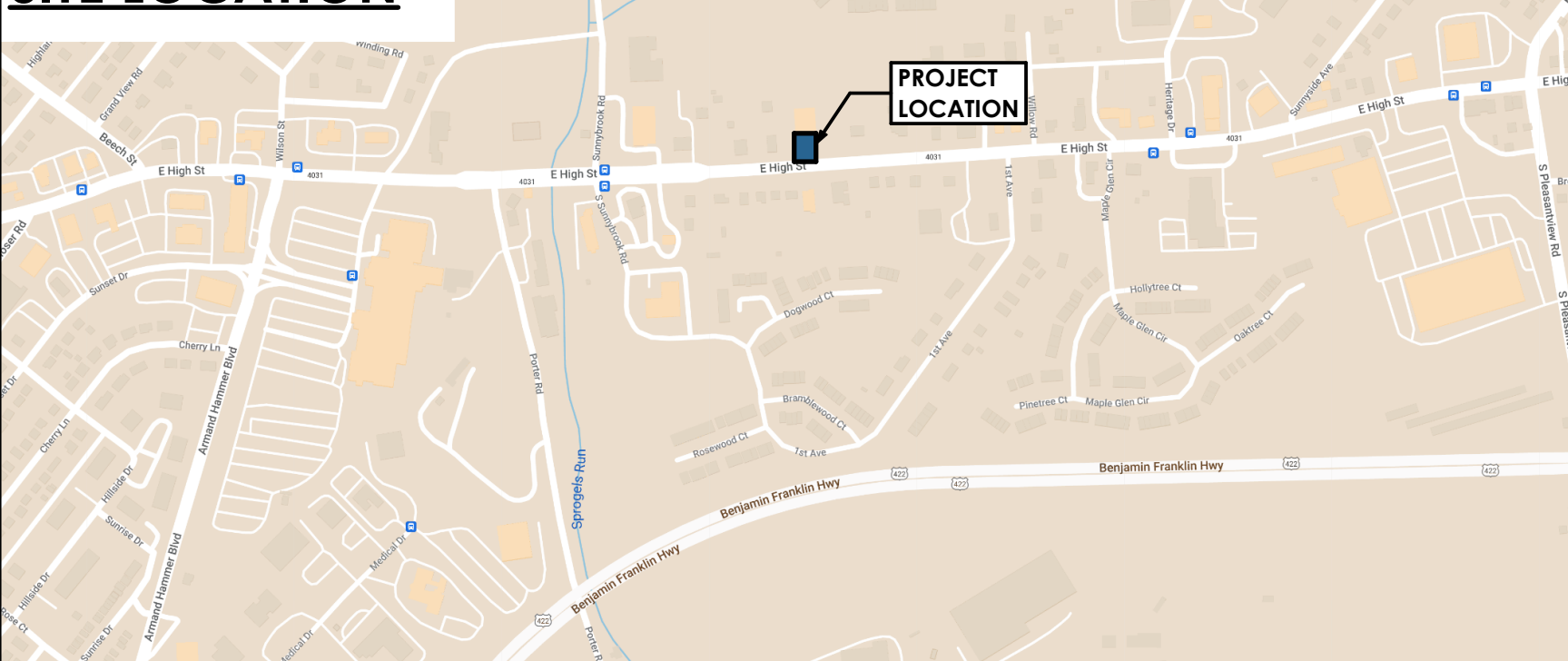
REGIONAL MAP



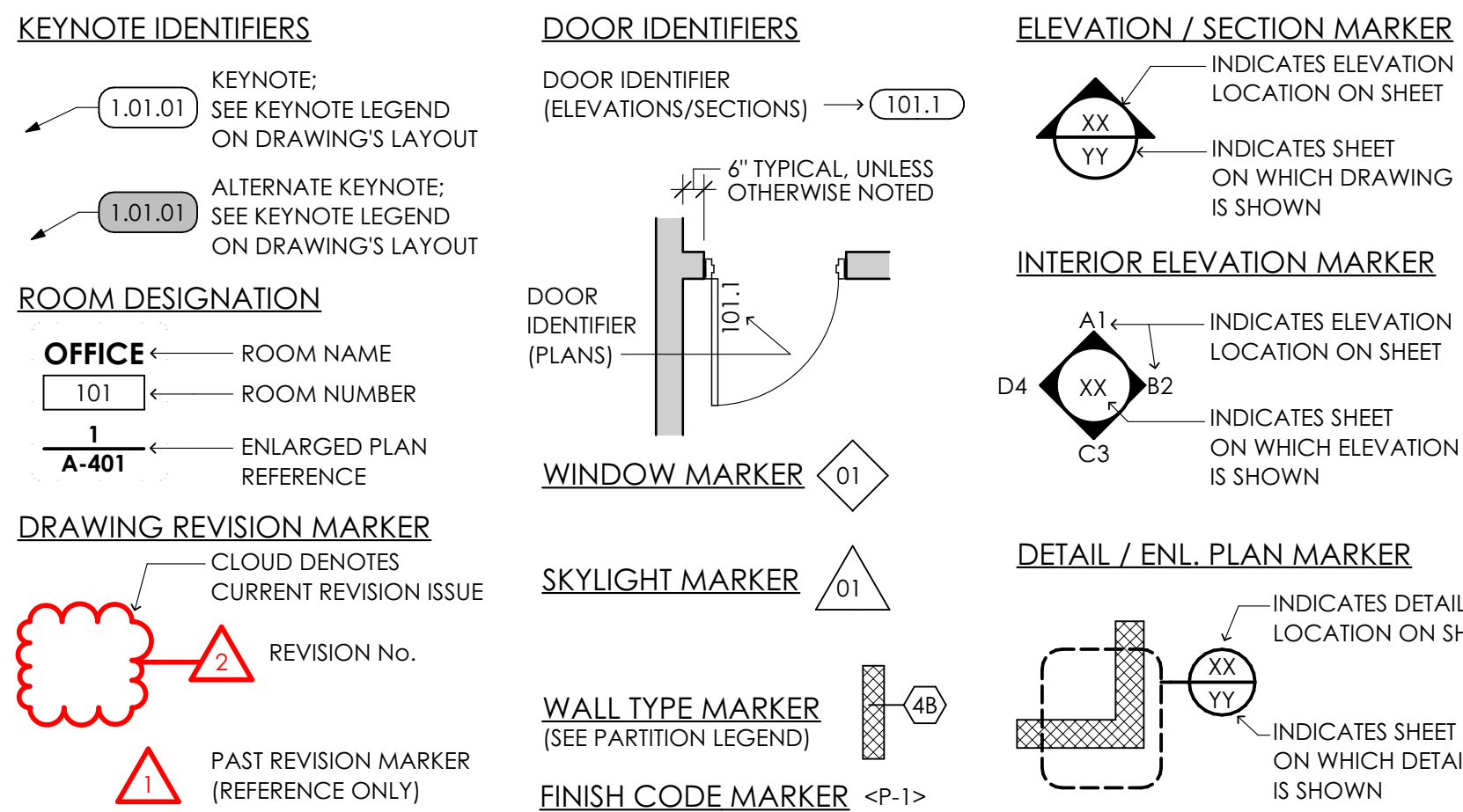
COUNTY MAP



SITE LOCATION



GRAPHIC SYMBOLS



ABBREVIATIONS



PROJECT DIRECTORY

OWNER
LOWER POTTS GROVE TOWNSHIP
2199 BUCHERT ROAD POTTSTOWN PA 19646
CONTACT: CHRISTOPHER CAGGIANO
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1268 PENN AVENUE WYOMISSING PA 19610
PHONE: 610.376.4927 FAX: 610.376.0720
CONTACT: SCOTT O. GRAHAM AIA, LEED AP BD+C, NCARB
EMAIL: ScotHG@MG-Architects.com

STRUCTURAL ENGINEER
DI GENOVA ASSOCIATES, INC.
1212 GERMANTOWN PIKE SUITE 5
PLYMOUTH MEETING, PA 19462
CONTACT: SAM DI GENOVA, PE
PHONE: 610-270-9511 X16 FAX: 610-270-9657
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MECHANICAL & ELECTRICAL ENGINEER
MARTARANO ENGINEERING, INC.
1105 BERKSHIRE BLVD. SUITE 140
WYOMISSING PA, 19610
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PHONE: 484-706-9779 FAX:
EMAIL: amartarano@martaranoengineering.com

CIVIL ENGINEER
MCCARTHY ENGINEERING ASSOCIATES, INC.
1011 N PARK RD., SUITE 100
WYOMISSING PA, 19610
CONTACT: JAMES MCCARTHY, PE
PHONE: 610.373.8001 FAX: 610.373.8077
EMAIL: jmccarthy@mccarthy-engineering.com

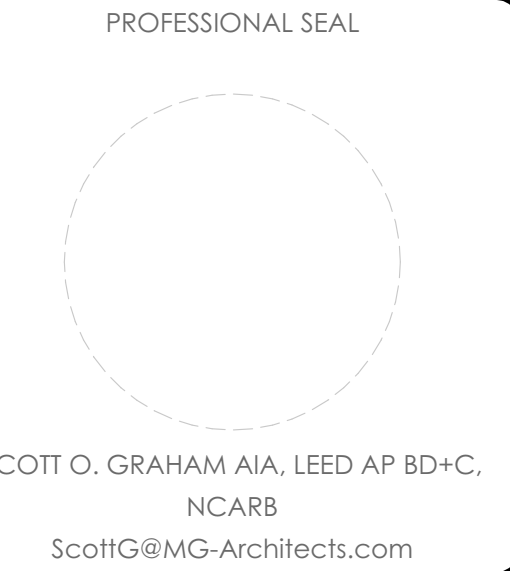
GENERAL NOTES

- EACH PRIME CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK OR PURCHASING ANY MATERIALS. VERIFY LAYOUT IN RELATION TO PROPERTY LINES, BENCH MARKS, OR OTHER FIXED CONDITIONS AND REPORT DISCREPANCIES TO ARCHITECT IMMEDIATELY UPON DISCOVERY.
- NOTIFY ARCHITECT OF DISCREPANCIES REGARDING THE CONTRACT DOCUMENTS OR DESIGN INTENT IMMEDIATELY UPON DISCOVERY. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE WORK SITE IN A CLEAN AND ORDERLY MANNER AND ALLOW FOR SAFE USE OF PREMISES BY THE OWNER AND VISITORS.
- EACH PRIME CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SITE SAFETY, EROSION AND SEDIMENTATION CONTROL, AND COORDINATING WITH THE WORK OF OTHER TRADES.
- GENERAL CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE OWNER PRIOR TO PROCEEDING WITH THE WORK.
- ALL REFUSE SHALL BE THE RESPONSIBILITY OF EACH PRIME CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- SKILLED WORKERS: EACH PRIME CONTRACTOR SHALL PROVIDE WORKERS EXPERIENCED IN THE TRADES AND ACTIVITIES TO BE PERFORMED AND BE FAMILIAR WITH THE PRODUCTS, MATERIALS, AND FINISHES INVOLVED IN THE SCOPE OF WORK OF THIS PROJECT.
- EACH PRIME CONTRACTOR SHALL PATCH ALL DISTURBED AREAS TO MATCH EXISTING, AND REPAIR OR REPLACE ANY DAMAGE TO THE SITE CAUSED BY CONSTRUCTION.
- GENERAL CONTRACTOR SHALL PLAN THE SCHEDULE OF ACTIVITIES TO MAINTAIN THE SECURITY OF THE BUILDING THROUGHOUT THE CONSTRUCTION PROCESS. GENERAL CONTRACTOR SHALL LOCK AND SECURE PROJECT AREA AT THE END OF EACH WORK DAY.
- GENERAL CONTRACTOR TO ENSURE THAT ALL WORK AREAS, INCLUDING THOSE ON ROOFS, SHALL BE IN COMPLIANCE WITH OSHA STANDARDS AND REQUIREMENTS, INCLUDING ANY FLAGGING, TIE-OFFS, AND TEMPORARY BARRIERS.
- THE OWNER RESERVES THE RIGHT TO KEEP ANY ITEMS REMOVED AS SCHEDULED IN THE DOCUMENTS FOR REMOVAL.

PROJECT DRAWING LIST				
ID	NAME	CURRENT REVISION ID	LATEST ISSUE ID	LATEST ISSUE DATE
A-0 GENERAL & CODE INFO				
A-001	GENERAL INFORMATION	B02	B02	9/26/24
A-002	CODE SUMMARY	B00	B00	9/3/2024
A-003	FIRST FLOOR LIFE SAFETY PLANS	B01	B02	9/26/24
A-004	SECOND FLOOR LIFE SAFETY PLAN	B01	B02	9/26/24
A-005	ACCESSIBILITY AND CODE DETAILS	B00	B00	9/3/2024
A-006	ACCESSIBILITY AND CODE DETAILS	B00	B00	9/3/2024
A-007	SIGNAGE DETAILS	B00	B00	9/3/2024
A-008	SIGNAGE DETAILS	B01	B02	9/26/24
A-009	SIGNAGE DETAILS	B00	B00	9/3/2024
C CIVIL DRAWINGS				
C-001	SITE PLAN	B00	B00	9/3/2024
C-002	EXISTING CONDITIONS PLAN	B00	B00	9/3/2024
C-003	GRADING & DRAINAGE PLAN	B00	B00	9/3/2024
C-004	E&S CONTROL PLAN	B00	B00	9/3/2024
C-005	CONSTRUCTION DETAILS	B00	B00	9/3/2024
AS-1 ARCHITECTURAL SITE PLAN & DETAILS				
AS-101	SITE LOGISTICS PLAN	B01	B01	9/20/2024
AD-1 ARCHITECTURAL DEMOLITION & ABATEMENT PLANS				
AD-101	FIRST FLOOR DEMOLITION PLAN	B01	B01	9/20/2024
AD-102	SECOND FLOOR DEMOLITION PLAN	B01	B01	9/20/2024
A-1 PLANS				
A-101	FIRST FLOOR PLAN	B01	B01	9/20/2024
A-102	FIRST FLOOR PLAN	B01	B01	9/20/2024
A-103	SECOND FLOOR PLAN	B01	B01	9/20/2024
A-104	EXISTING ATTIC ROOF PLAN	B00	B00	9/3/2024
A-105	PROPOSED ADDITION ROOF PLAN	B00	B00	9/3/2024
A-106	FIRST FLOOR PARTITION PLAN	B01	B01	9/20/2024
A-107	FIRST FLOOR PARTITION PLAN	B00	B00	9/3/2024
A-108	SECOND FLOOR PARTITION PLAN	B00	B00	9/3/2024
A-2 ELEVATIONS				
A-201	DEMOLITION ELEVATIONS	B00	B00	9/3/2024
A-202	ELEVATIONS	B01	B01	9/20/2024
A-3 SECTIONS				
A-301	BUILDING SECTIONS	B01	B01	9/20/2024
A-302	WALL SECTIONS	B00	B00	9/3/2024
A-4 ENLARGED PLANS				
A-401	CONFERENCE ROOM INTERIOR ELEVATIONS	B00	B00	9/3/2024
A-402	MEETING ROOM/DAIS DETAILS AND INTERIOR ELEVATIONS	B00	B00	9/3/2024
A-403	CAUCUS ROOM DETAILS AND INTERIOR ELEVATIONS	B01	B01	9/20/2024
A-404	CASEWORK DETAILS	B00	B00	9/3/2024
A-405	CASEWORK DETAILS	B00	B00	9/3/2024
A-5 DETAILS				
A-501	PARTITION SCHEDULE, NOTES & DETAILS	B01	B01	9/20/2024
A-502	MASONRY DETAILS	B00	B00	9/3/2024
A-503	TILE ELEVATIONS AND DETAILS	B00	B00	9/3/2024
A-504	DETAILS	B00	B00	9/3/2024
A-505	DETAILS	B00	B00	9/3/2024
A-506	DETAILS	B00	B00	9/3/2024
A-6 SCHEDULES & DIAGRAMS				
A-601	DOOR SCHEDULE	B02	B02	9/26/24
A-602	DOOR HARDWARE AND WINDOW SCHED. AND DETAILS	B02	B02	9/26/24
A-7 FINISH PLANS				
A-701	FIRST FLOOR REFLECTED CEILING PLAN	B01	B01	9/20/2024
A-702	FIRST FLOOR REFLECTED CEILING PLAN	B01	B01	9/20/2024
A-703	SECOND FLOOR REFLECTED CEILING PLAN	B01	B01	9/20/2024
A-704	FIRST FLOOR FINISH PLAN	B00	B00	9/3/2024
A-705	FIRST FLOOR FINISH PLAN	B00	B00	9/3/2024
A-706	SECOND FLOOR FINISH PLAN	B00	B00	9/3/2024
A-707	FINISHES SCHEDULE	B00	B00	9/3/2024
S STRUCTURAL DRAWINGS				
S-100	GENERAL NOTES	B00	B00	9/3/2024
S-101	FIRST FLOOR PLAN	B01	B01	9/20/2024
S-102	FIRST FLOOR / FOUNDATION PLAN	B01	B01	9/20/2024
S-103	SECOND FLOOR FRAMING PLAN	B00	B00	9/3/2024
S-104	ROOF FRAMING PLAN	B00	B00	9/3/2024
S-105	ROOF FRAMING PLAN	B00	B00	9/3/2024
S-300	SECTIONS AND DETAILS	B00	B00	9/3/2024
S-301	SECTIONS AND DETAILS	B01	B01	9/20/2024
S-302	SECTIONS AND DETAILS	B01	B01	9/20/2024
M MECHANICAL DRAWINGS				
M-1	MECHANICAL LEGEND AND NOTES	B00	B00	9/3/2024
M-2	MECHANICAL FIRST FLOOR DEMOLITION	B00	B00	9/3/2024
M-3	MECHANICAL SECOND FLOOR DEMOLITION	B00	B00	9/3/2024
M-4	MECHANICAL FIRST FLOOR NEW WORK	B00	B00	9/3/2024
M-5	MECHANICAL SECOND FLOOR NEW WORK	B00	B00	9/3/2024
M-6	MECHANICAL VRF PIPING DIAGRAM	B00	B00	9/3/2024
M-7	MECHANICAL SCHEDULES	B00	B00	9/3/2024
M-8	MECHANICAL SCHEDULES	B00	B00	9/3/2024
M-9	MECHANICAL DETAILS	B00	B00	9/3/2024
E ELECTRICAL DRAWINGS				
E-1	ELECTRICAL LEGEND & ABBREVIATIONS	B00	B00	9/3/2024
E-2	ELECTRICAL FIRST FLOOR DEMOTOM	B00	B00	9/3/2024
E-3	ELECTRICAL SECOND FLOOR DEMOTOM	B00	B00	9/3/2024
E-4	ELECTRICAL FIRST FLOOR LIGHTING	B01	B01	9/20/2024
E-5	ELECTRICAL SECOND FLOOR LIGHTING	B01	B01	9/20/2024
E-6	ELECTRICAL FIRST FLOOR POWER & SIGNAL	B00	B00	9/3/2024
E-7	ELECTRICAL SECOND FLOOR POWER & SIGNAL	B01	B01	9/20/2024
E-8	ELECTRICAL FIRST FLOOR MECH POWER	B00	B00	9/3/2024
E-9	ELECTRICAL SECOND FLOOR MECH POWER	B00	B00	9/3/2024
E-10	ELECTRICAL FIRST FLOOR FIRE ALARM	B00	B00	9/3/2024
E-11	ELECTRICAL SECOND FLOOR FIRE ALARM	B00	B00	9/3/2024
E-12	ELECTRICAL LIGHTING SCHEDULE AND DETAILS	B01	B01	9/20/2024
E-13	ELECTRICAL PANEL SCHEDULES	B00	B00	9/3/2024
E-14	ELECTRICAL PANEL SCHEDULES	B00	B00	9/3/2024
E-15	ELECTRICAL SINGLE LINE DIAGRAM	B00	B00	9/3/2024
P PLUMBING DRAWINGS				
P-1	PLUMBING LEGEND AND NOTES	B00	B00	9/3/2024
P-2	PLUMBING FIRST FLOOR DEMOLITION	B00	B00	9/3/2024
P-3	PLUMBING SECOND FLOOR DEMOLITION	B00	B00	9/3/2024
P-4	PLUMBING FIRST FLOOR SANITARY & VENT	B00	B00	9/3/2024
P-5	PLUMBING SECOND FLOOR SANITARY & VENT	B00	B00	9/3/2024
P-6	PLUMBING FIRST FLOOR WATER & GAS	B00	B00	9/3/2024
P-7	PLUMBING SECOND FLOOR WATER & GAS	B00	B00	9/3/2024
P-8	PLUMBING SCHEDULES	B00	B00	9/3/2024
P-9	PLUMBING DETAILS	B00	B00	9/3/2024
FP FIRE PROTECTION DRAWINGS				
FP-1	FIRE PROTECTION FIRST FLOOR DEMOLITION	B00	B00	9/3/2024
FP-2	FIRE PROTECTION SECOND FLOOR DEMOLITION	B00	B00	9/3/2024
FP-3	FIRE PROTECTION FIRST FLOOR NEW WORK	B00	B00	9/3/2024
FP-4	FIRE PROTECTION SECOND FLOOR NEW WORK	B00	B00	9/3/2024



PROJECT #:
23-0047.0



LOWER POTTS GROVE TWP
contact: CHRISTOPHER CAGGIANO
2199 BUCHERT ROAD
POTTSTOWN, PA 19646
610-310-1759
ccaggiano1@gmail.com

LOWER POTTS GROVE TWP
LOWER POTTS GROVE MUNICIPAL
BUILDING & POLICE STATION
1963 E HIGH ST. POTTSTOWN, PA 19646

CONSTRUCTION DOCUMENTS REVISION HISTORY		
ID	DESCRIPTION	DATE
B01	ISSUED FOR BID/PERMIT	9/3/2024
B01	ADDENDUM 3 REVISIONS	9/20/2024
B02	ADDENDUM 4 REVISIONS	9/26/24

PROJ. MGR.: GRACE CAI, AIA
@-MAIL: GRACECAI@MG-ARCHITECTS.COM
DRAWN BY: JNS, JMS
CLIENT PROJ #:



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SHEET TITLE:
GENERAL INFORMATION

A-001



23-0047.0_Lower Potsgrove Municipal Bldg_DD | BIMcloud: MGA-DATA - BIMcloud Basic for Archicad 27/23-0047.0_Lower Potsgrove Municipal Bldg_DD | 9/26/2024 | 4:50 PM



LIFE SAFETY LEGEND

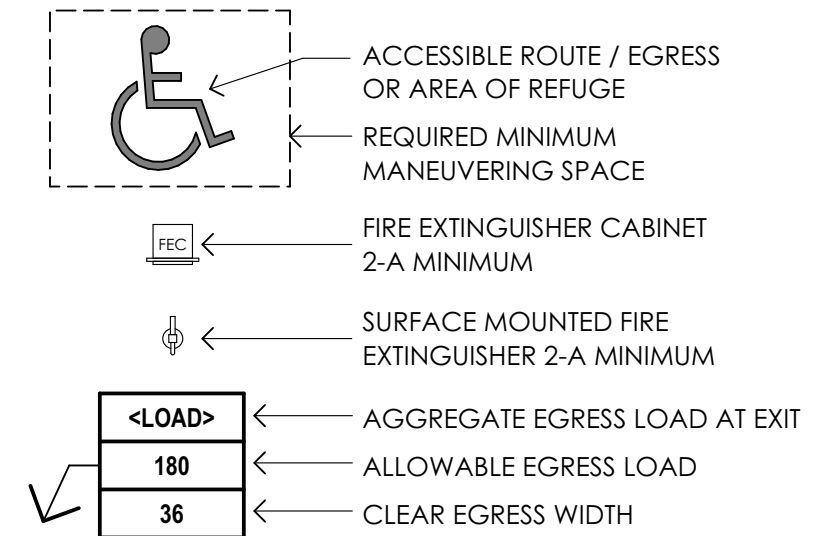
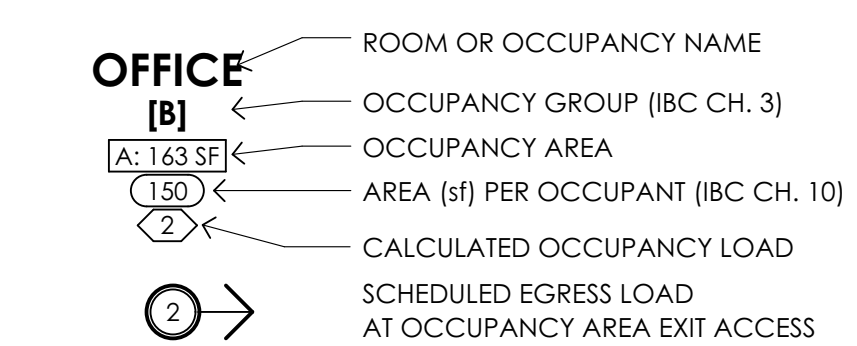
COMMON PATH OF TRAVEL DISTANCE

PRIMARY EGRESS PATH

POINT OF ACCESS TO MULTIPLE EXITS

EXIT ACCESS TRAVEL DISTANCE

SECONDARY EGRESS PATH



 SMOKE PARTITION
 30 MIN. FIRE-RATED
 60 MIN. FIRE-RATED

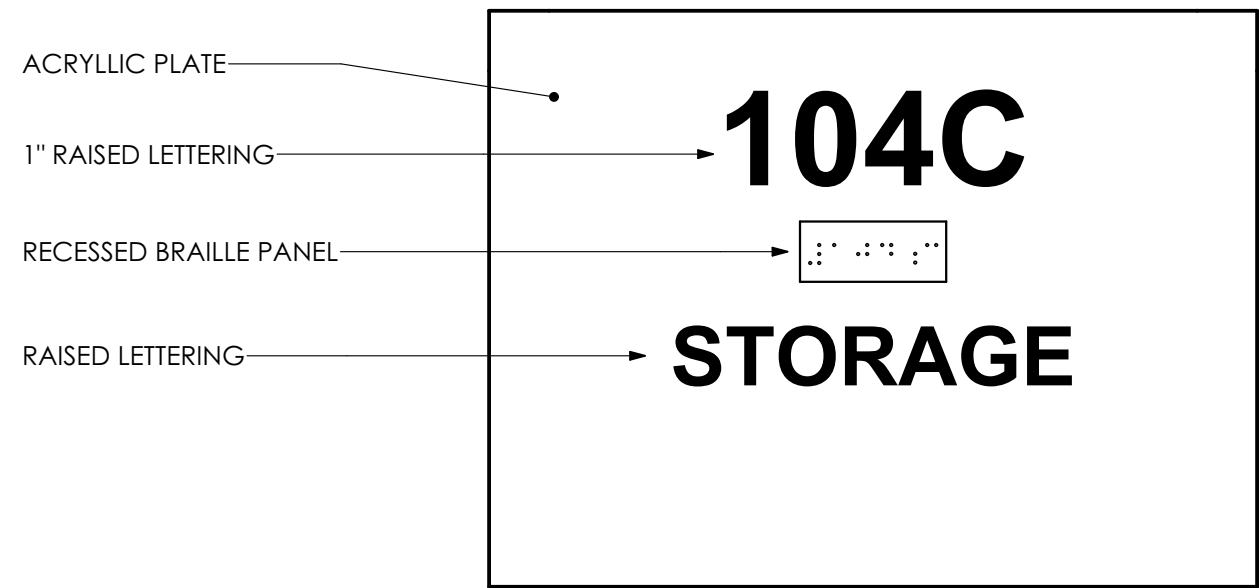
1. SIGN TYPES C-11 AND C-12 REMOVED. THESE WILL BE INTEGRAL TO THE FIRE EXTINGUISHER CABINETS.
2. SIGNS A.13 & A.15 REMOVED FROM ALL LOCATIONS.

[illegible]

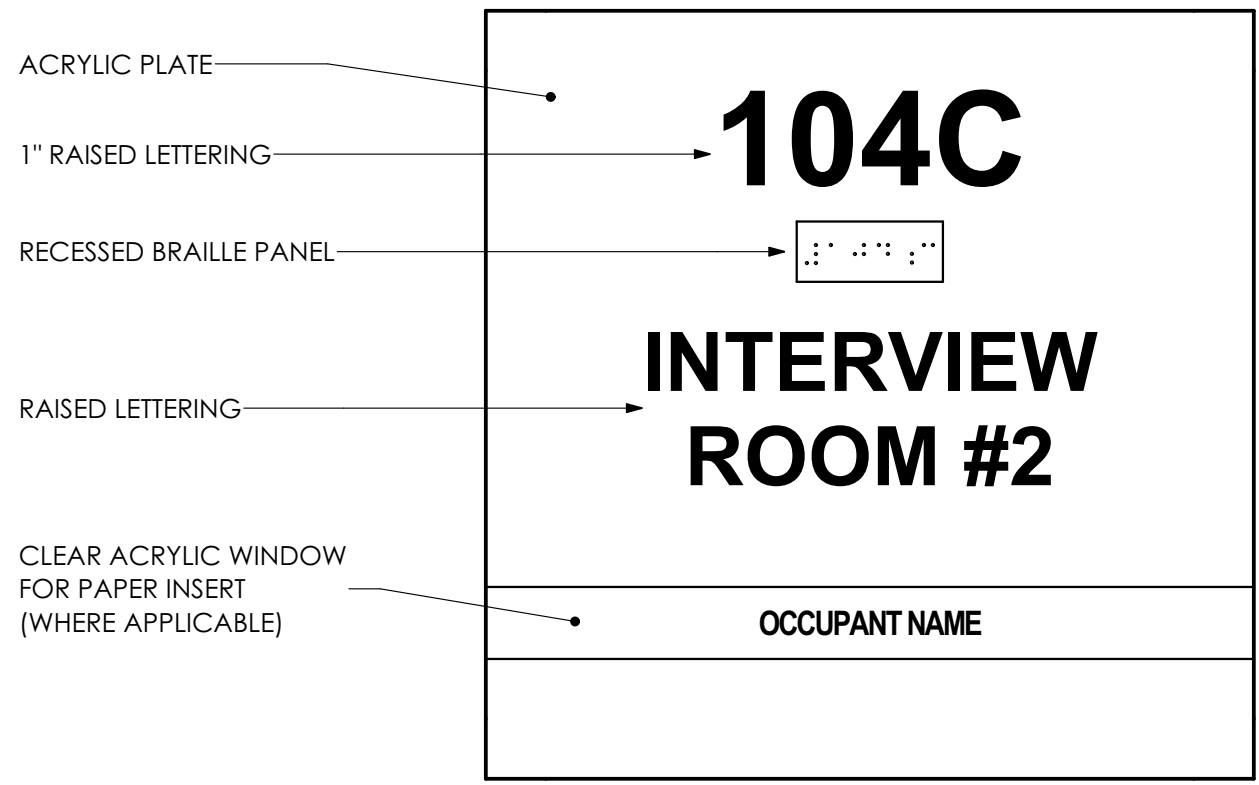
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SECOND FLOOR LIFE SAFETY PLAN

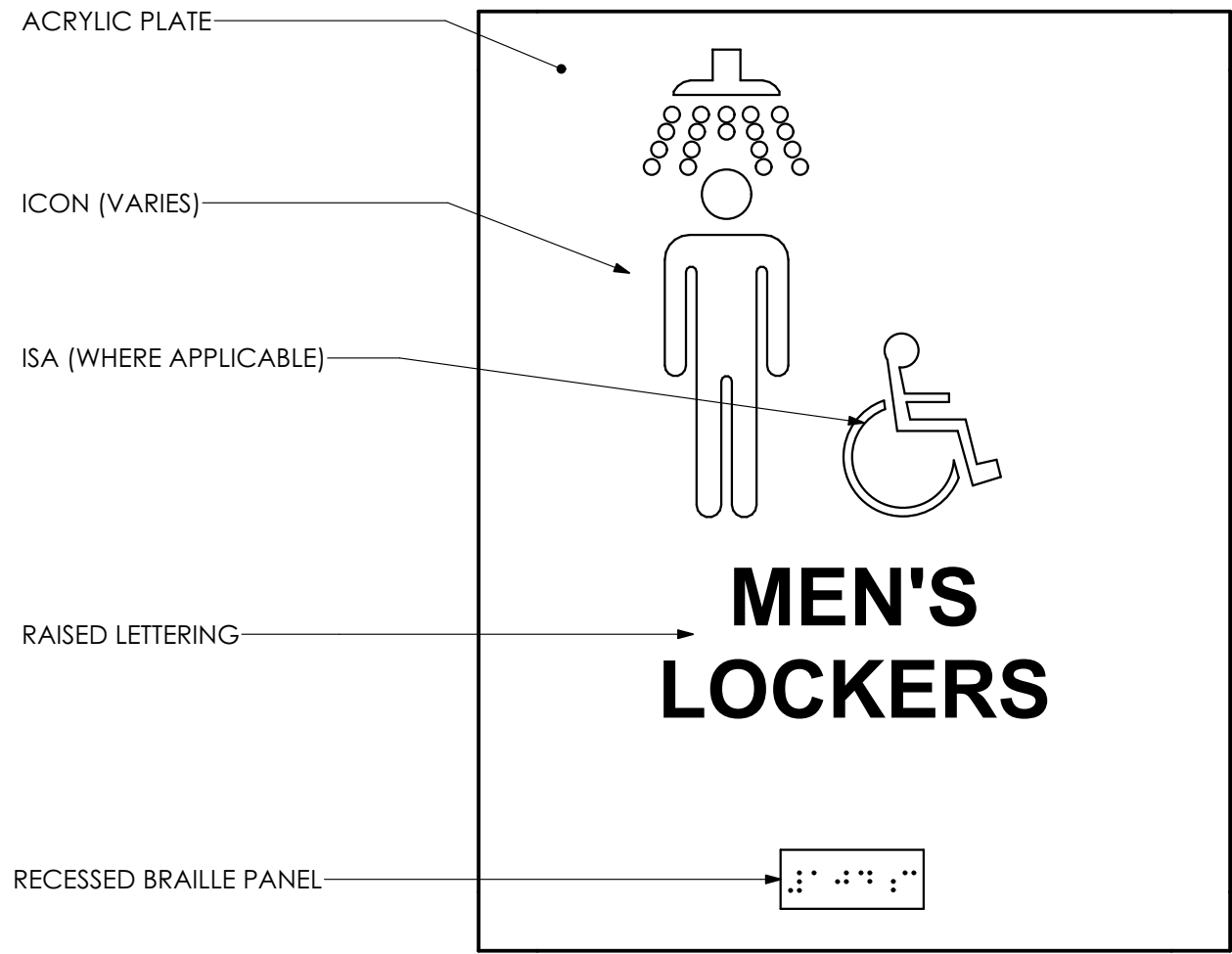
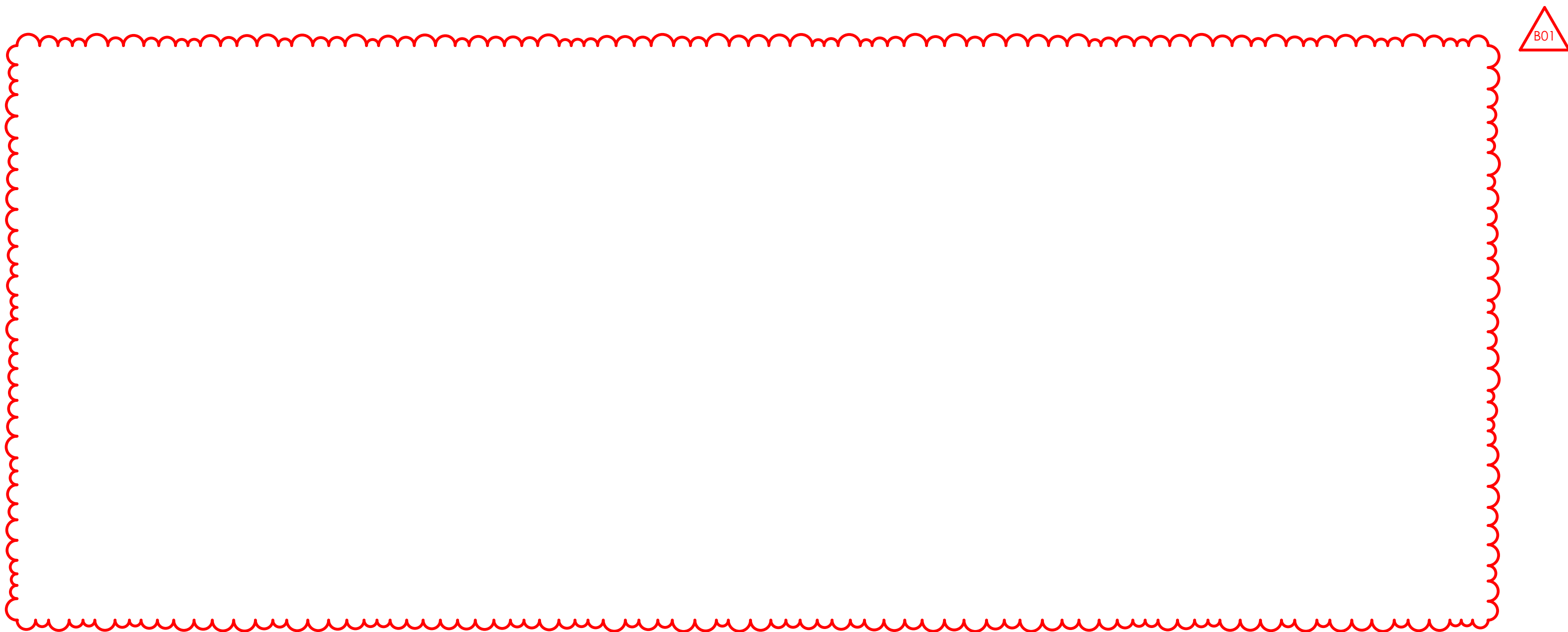
A-004



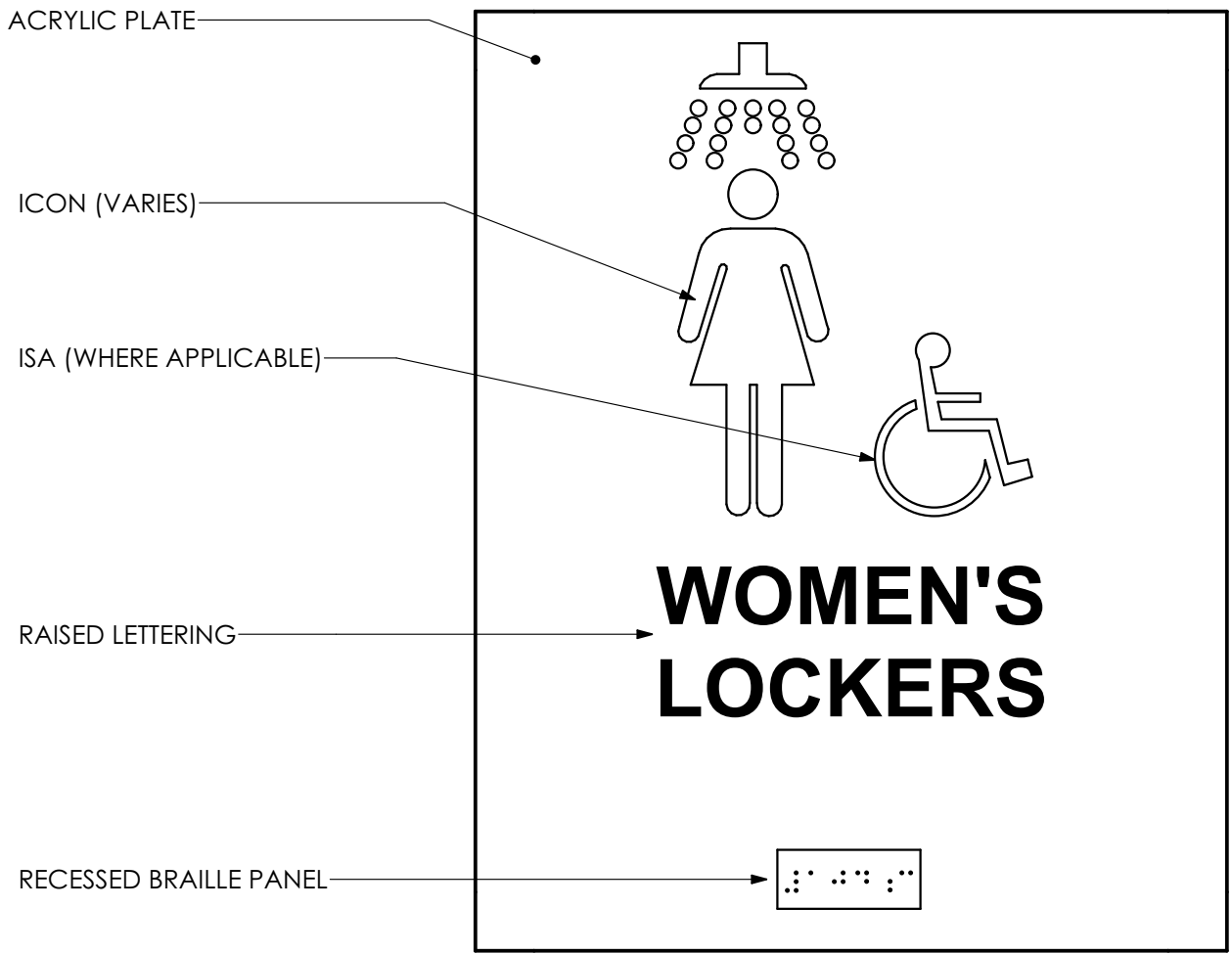
TYPE B.12



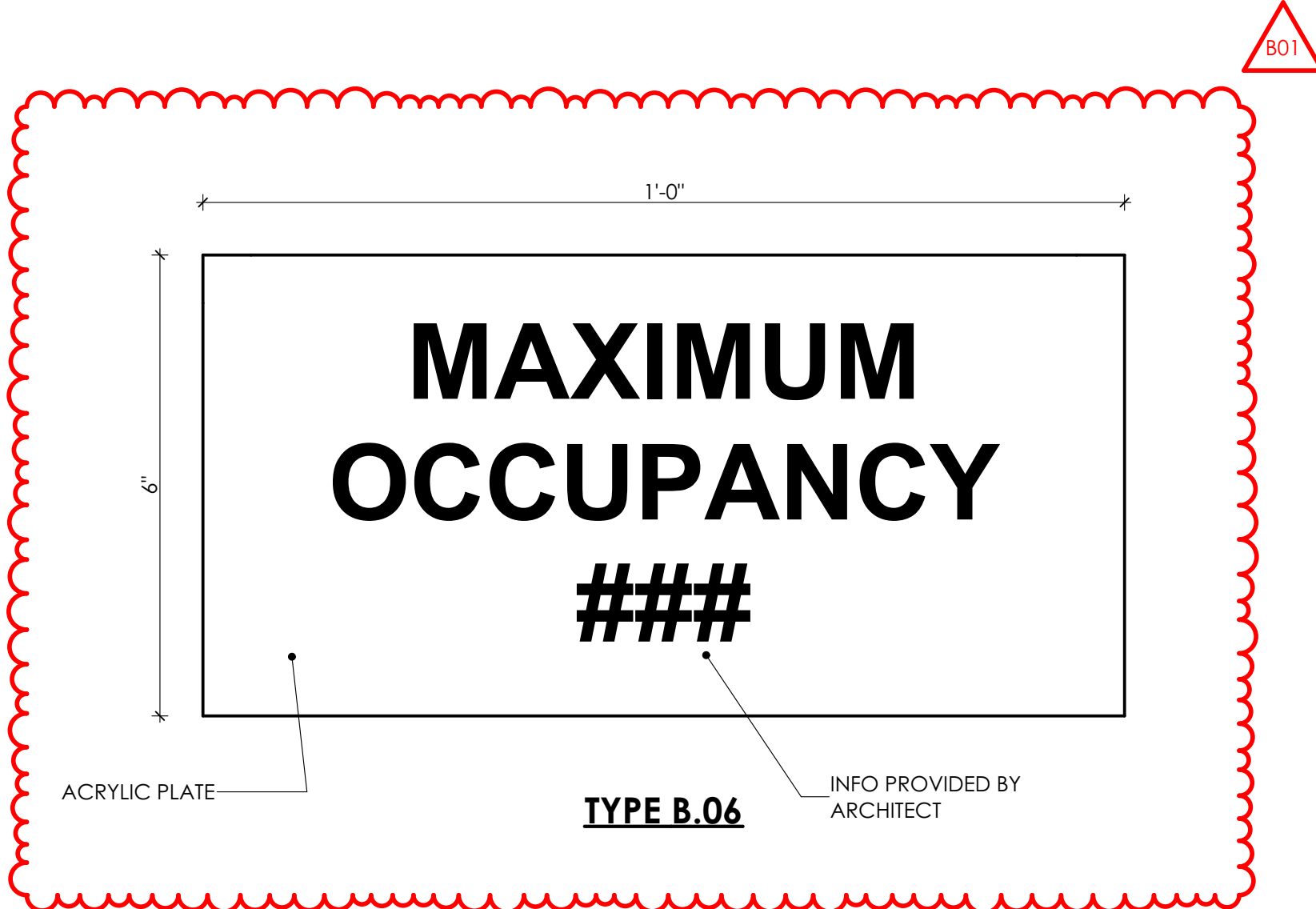
TYPE B.13



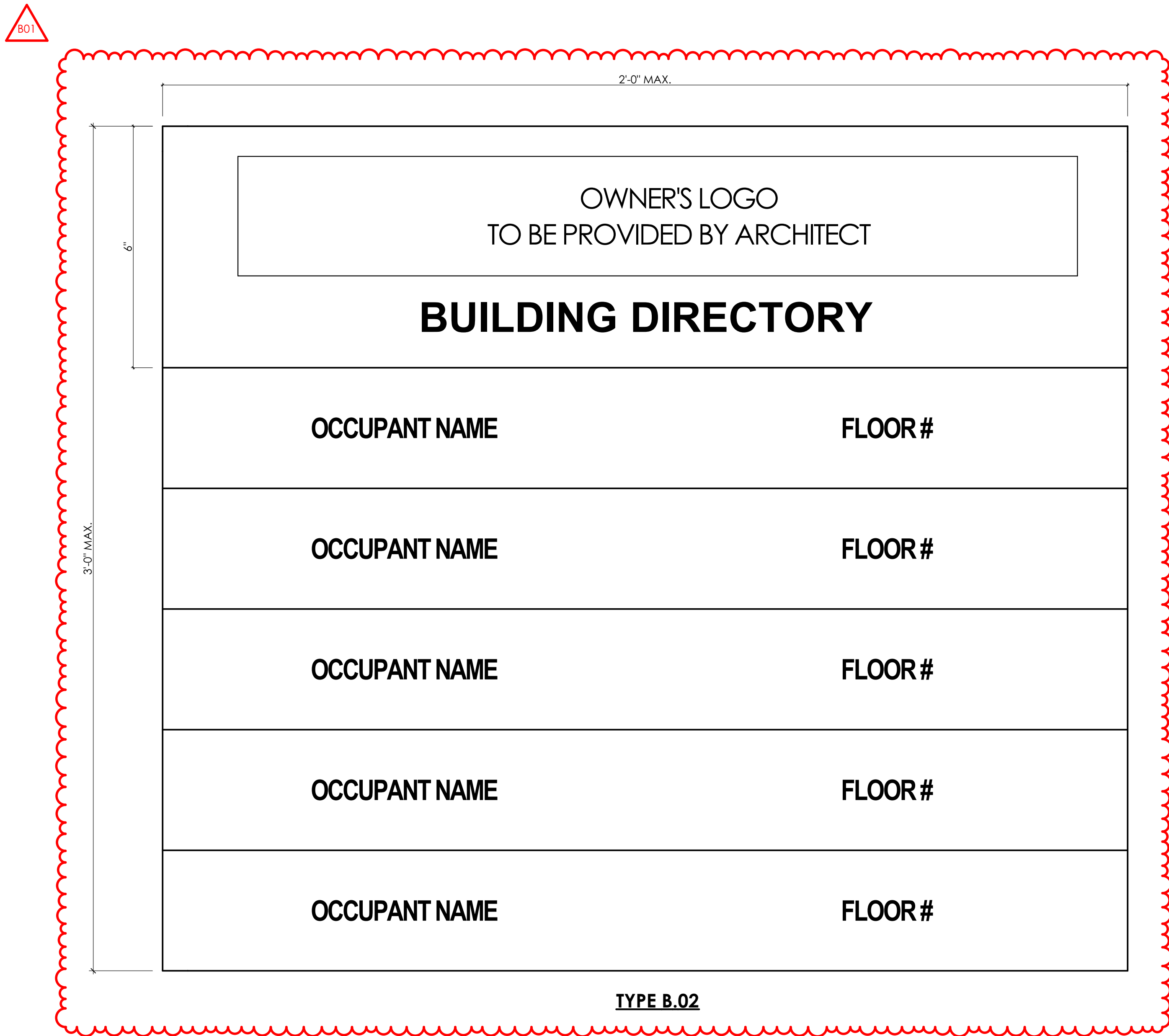
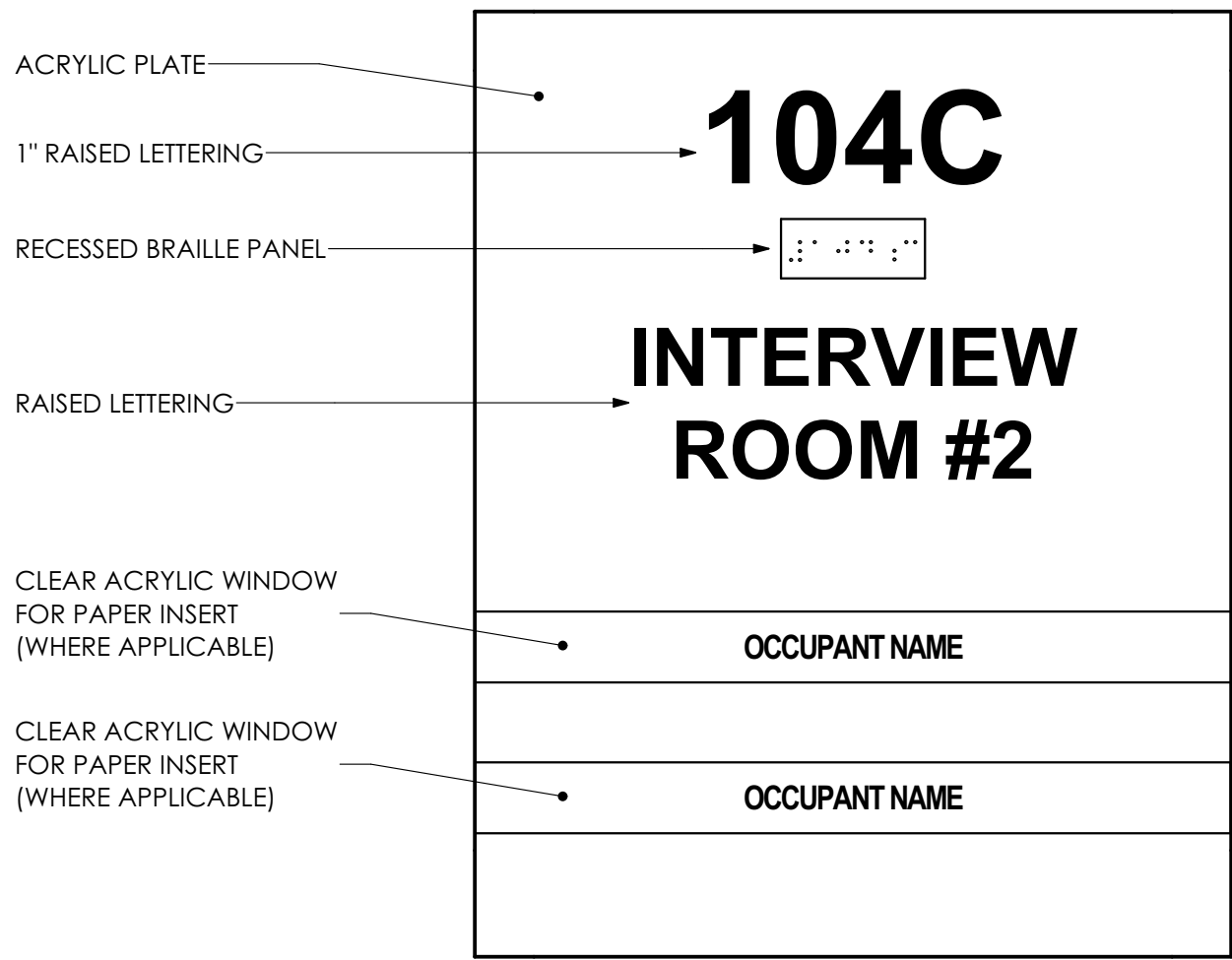
TYPE B.27



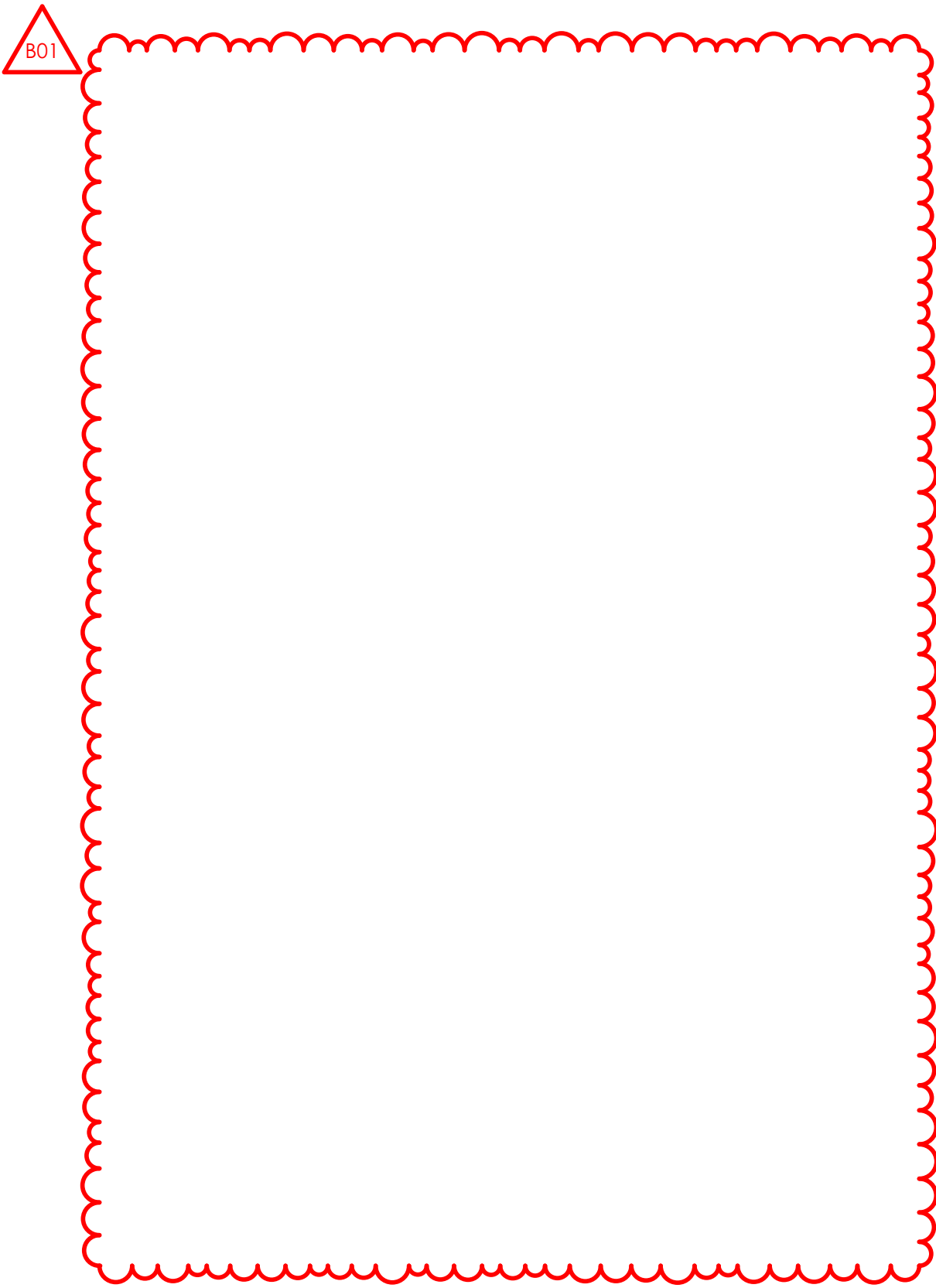
TYPE B.26



TYPE B.14



TYPE B.02



SIGNAGE NOTES:

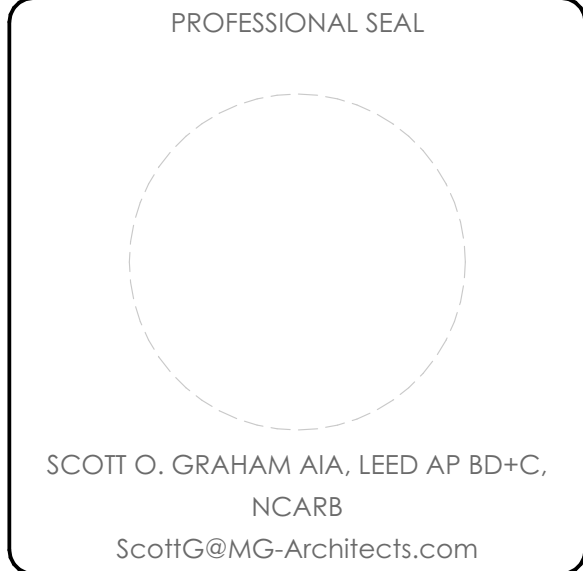
- SEE SPECIFICATION SECTIONS 101423 PANEL SIGNAGE & 101423.16 ROOM IDENTIFICATION SIGNAGE.
- COLORS AND FONTS TO BE SELECTED FROM MANUFACTURER'S FULL NON-CUSTOM COLOR SELECTION. SEE SPECIFICATIONS.
- CHARACTERS AND SYMBOLS TO MEET REQUIREMENTS OF ICC A117.1 AND SHALL BE RAISED.
- VECTOR-BASED GRAPHIC FOR OWNER'S LOGO (IF SPECIFIED) SHALL BE FURNISHED TO SIGN FABRICATOR. FINAL DESIGN SHALL BE COORDINATED WITH SIGNAGE FABRICATOR.
- SEE SPECIFICATION 012100 "ALLOWANCES" FOR SIGNAGE TYPES TO BE INCLUDED IN ALLOWANCE.
- ALL SIGNAGE SHALL BE PLACED IN COMPLIANCE WITH DIRECTION OF AUTHORITY HAVING JURISDICTION AND/OR ICC A117.1
- SIGN WIDTHS SHALL NOT BE LESS THAN 6 INCHES. SIGN HEIGHT SHALL BE AS REQUIRED TO COMPLY WITH APPLICABLE CODE STANDARDS FOR LETTERING, CHARACTER AND BRAILLE HEIGHTS. FINAL SIZING TO BE APPROVED BY ARCHITECT.

BUILDING DIRECTORY SIGN (TYPE B.02)

- PROVIDE ALUMINUM-FRAMED DIRECTORY SIGN WITH LOGO/TEXT HEADER (TO BE PROVIDED BY ARCHITECT).
- PROVIDE UP TO EIGHT REMOVABLE, ENGRAVED PANELS WITH DEPARTMENT NAMES & DIRECTIONAL INFORMATION.
- FINAL DESIGN AND COLOR TO BE SELECTED BY ARCHITECT.



PROJECT #:
23-0047.0



LOWER POTTS GROVE TWP
contact: CHRISTOPHER CAGGIANO
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CONSTRUCTION DOCUMENTS REVISION HISTORY		
ID	DESCRIPTION	DATE
B00	ISSUED FOR BID/PERMIT	9/3/2024
B01	ADDENDUM 4 REVISIONS	9/26/24

PROJ. MGR.: GRACE CAI, AIA
E-MAIL: GRACECAI@MG-ARCHITECTS.COM
DRAWN BY: JNS, JMS
CLIENT PROJ #:
SHEET SCALE
0 1
BAR IS ONE (1) INCH LONG ON ORIGINAL DRAWING

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SHEET TITLE:
SIGNAGE DETAILS

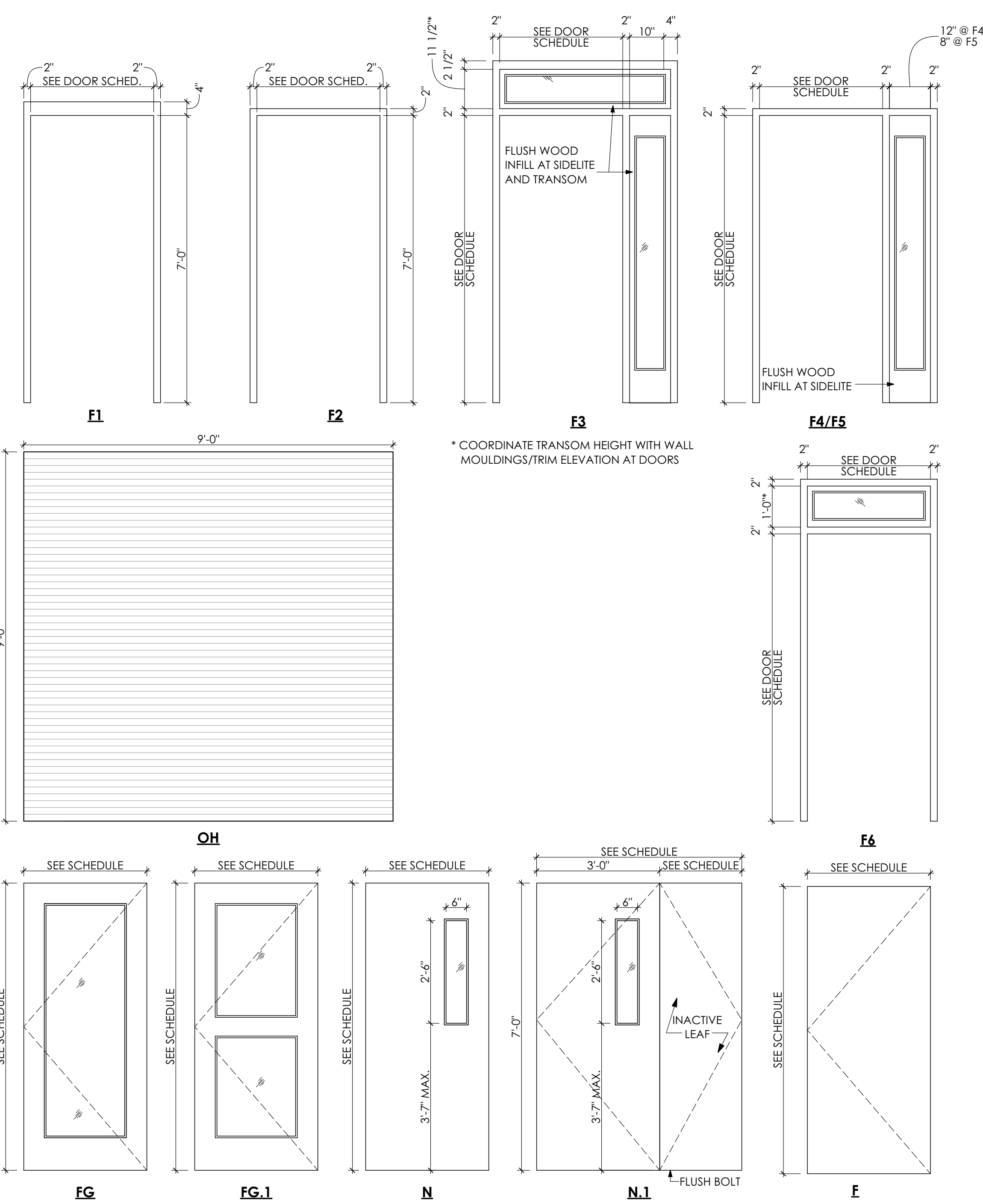
A-008

DOOR SCHEDULE																		
DOOR NUMBER	ROOM NAME	FIRE-SMOKE RESISTANCE RATING	OPENING WIDTH	OPENING HEIGHT	HANDING	FRAME DATA			DOOR DATA				THRESHOLD/ SADDLE	SET NO.	HEAD	JAMB	SILL	REMARKS
						ELEVATION	MATERIAL	GLAZING	ELEVATION	THICKNESS	MATERIAL	GLAZING						
---	---	---	3'-4"	2'-7 25/64"	---	---	---	---	---	1 37/64"	---	---	---	---	---	---	---	---
100.1	VEST	-	6'-0"	6'-8"	EXIST	EXISTING	EXISTING	-	FG	2 1/4"	ALUM	SG-P	-	E02	-	-	-	DOOR LEAFS TO BE RE-ALIGNED; REPAINT. REMOVE EXTERIOR PULL HANDLE FROM LEFT LEAF AND PROVIDE STAINLESS STEEL PLUGS/COVERS
100.2	VEST	-	6'-0"	6'-8"	EXIST	EXISTING	EXISTING	-	FG	2 1/4"	ALUM	-	-	E01	-	-	-	DOOR LEAFS TO BE RE-ALIGNED; REPAINT. REMOVE EXTERIOR PULL HANDLE FROM LEFT LEAF AND PROVIDE STAINLESS STEEL PLUGS/COVERS
102.1	EXIST T.R.	-	3'-0"	7'-0"	RH	F2	HM	-	F	1 3/4"	WD	-	TRANSITION STRIP: ALUM.	M11	3/A-601	3/A-601	-	UNDERCUT DOOR 3/4"
103.1	RECEPT	-	3'-0"	7'-0"	LH	F2	HM	-	N	1 3/4"	WD-B	B.3	TRANSITION STRIP: ALUM.	M26	2/A-601	2/A-601	-	BALLISTIC-RESISTANT DOOR: UL LVL. 3
105.1	T.R.	-	3'-0"	7'-0"	RH	F2	HM	-	F	1 3/4"	WD	-	TRANSITION STRIP: ALUM.	M21	3/A-601	3/A-601	-	UNDERCUT DOOR 3/4"
106.1	HALL	-	3'-0"	7'-0"	RHR	F2	HM	-	F	1 3/4"	WD	-	-	M01	3/A-601	3/A-601	-	-
106.2	HALL	-	3'-0"	7'-0"	RHR	EXISTING	EXISTING	-	F	2"	STL-INSUL	-	THRESHOLD: STAINLESS STEEL	M14	-	-	-	NEW DOOR IN EXISTING FRAME; REFURBISH FRAME AS REQ'D.
106.3	HALL	-	3'-0"	7'-0"	LHR	-	HM	-	F	1 3/4"	EXISTING	-	-	E03	-	-	-	VIF: MODIFY EX. DOOR AS REQ'D.; STAIN TO MATCH TYP.
107.1	SOFT INT	-	3'-0"	7'-0"	LH	F2	HM	-	N	1 3/4"	WD	T	-	M09	3/A-601	3/A-601	-	-
108.1	LIEUT	-	3'-0"	7'-0"	RH	F4	HM	T	FG	1 3/4"	WD	T	TRANSITION STRIP: RUBBER	M08	3/A-601	3/A-601	-	-
108.2	LIEUT	-	2'-4"	7'-0"	RHR	F2	HM	-	F	1 3/4"	WD	-	-	S01	3/A-601	3/A-601	-	-
109.1	DETECTIVES	-	3'-0"	7'-0"	LH	F4	HM	T	FG	1 3/4"	WD	T	TRANSITION STRIP: RUBBER	M08	3/A-601	3/A-601	-	-
111.1	DETECTIVE SGT	-	3'-0"	7'-0"	LH	F4	HM	T	FG	1 3/4"	WD	T	TRANSITION STRIP: RUBBER	M08	3/A-601	3/A-601	-	-
111.2	DETECTIVE SGT	-	3'-0"	7'-0"	LHR	F2	HM	-	F	1 3/4"	WD	-	-	S01	3/A-601	3/A-601	-	-
112.1	CHIEF	-	3'-0"	7'-0"	RH	F4	HM	T	FG	1 3/4"	WD	T	TRANSITION STRIP: RUBBER	M08	3/A-601	3/A-601	-	-
112.2	CHIEF	-	3'-0"	7'-0"	RHR	F2	HM	-	F	1 3/4"	WD	-	-	S01	3/A-601	3/A-601	-	-
113.1	HALL	-	3'-0"	7'-0"	RH	F2	HM	-	N	1 3/4"	WD	T	-	M19	3/A-601	3/A-601	-	NEW DOOR AND FRAME IN EXISTING R.O.
114.1	TRAINING ROOM	-	3'-0"	7'-0"	LH	F2	HM	-	FG	1 3/4"	WD	T	-	M09	3/A-601	3/A-601	-	-
114.2	TRAINING ROOM	-	3'-0"	7'-0"	LHR	F2	HM	-	F	1 3/4"	WD	-	-	S01	3/A-601	3/A-601	-	-
114.3	TRAINING ROOM	-	4'-0"	7'-0"	LRA	-	EXISTING	-	-	1 3/4"	EXISTING	-	-	E06	-	-	-	VIF: MODIFY EX. DOOR AS REQ'D.; STAIN TO MATCH TYP.
114.4	TRAINING ROOM	-	4'-0"	7'-0"	LRA	-	EXISTING	-	-	1 3/4"	EXISTING	-	-	E06	-	-	-	VIF: MODIFY EX. DOOR AS REQ'D.; STAIN TO MATCH TYP.
114.5	TRAINING ROOM	-	3'-0"	7'-0"	LHR	EXISTING	EXISTING	-	F	2"	STL-INSUL	-	THRESHOLD: STAINLESS STEEL	M14	-	-	-	NEW DOOR IN EXISTING FRAME; REFURBISH FRAME AS REQ'D.
117.1	MECH / ELECT. ROOM	-	3'-0"	7'-0"	RH	-	EXISTING	-	-	1 3/4"	EXISTING	-	-	E04	-	-	-	VIF: MODIFY EX. DOOR AS REQ'D.; STAIN TO MATCH TYP.
118.1	PATROL SGTS	-	3'-0"	7'-0"	RH	F2	HM	-	FG	1 3/4"	WD	T	-	M08	3/A-601	3/A-601	-	-
118.2	PATROL SGTS	-	3'-0"	7'-0"	LH	F2	HM	-	FG	1 3/4"	WD	T	-	M08	3/A-601	3/A-601	-	-
119.1	WOMEN'S LOCKER ROOM	-	3'-0"	7'-0"	LH	F2	HM	-	F	1 3/4"	WD	-	TRANSITION STRIP: ALUM.	G02	3/A-601	3/A-601	-	-
119.2	WOMEN'S LOCKER ROOM	-	2'-4"	7'-0"	RHR	-	HM	-	-	1 3/4"	WD	-	TRANSITION STRIP: ALUM.	S01	-	-	-	-
121.1	MEN'S LOCKER ROOM	-	3'-0"	7'-0"	LH	F2	HM	-	F	1 3/4"	WD	-	TRANSITION STRIP: ALUM.	G02	3/A-601	3/A-601	-	-
121.2	MEN'S LOCKER ROOM	-	2'-8"	7'-0"	RHR	F1	HM	-	F	1 3/4"	WD	-	-	S01	2/A-601	2/A-601	-	-
122.1	FILE STORAGE	-	3'-0"	7'-0"	RH	F1	HM	-	N	1 3/4"	WD	T	-	M10	2/A-601	2/A-601	-	-
123.1	HALL	-	3'-0"	7'-0"	F1	HM	-	F	1 3/4"	WD	-	-	M01	2/A-601	2/A-601	-	-	
125.1	PROCESSING	-	3'-0"	7'-0"	RH	F1	HM	-	N	1 3/4"	STL	T	-	M03	2/A-601	2/A-601	-	-
125.1	PROCESSING	-	3'-0"	7'-0"	RHR	F1	HM	-	F	1 3/4"	STL	-	-	M03	2/A-601	2/A-601	-	-
125.2	PROCESSING	-	2'-8"	7'-0"	RHR	F1	HM	-	F	1 3/4"	STL	-	-	M01	2/A-601	2/A-601	-	-
125.3	PROCESSING	-	3'-0"	7'-0"	LH	F1	HM	-	F	1 3/4"	WD-B	-	-	M33	2/A-601	2/A-601	-	-
125.4	PROCESSING	-	3'-0"	7'-0"	RHR	F1	HM	-	N	1 3/4"	STL	T	-	M05	2/A-601	2/A-601	-	BALLISTIC-RESISTANT DOOR: UL LVL. 3
125.5	PROCESSING	-	3'-0"	7'-0"	LH	F1	HM	-	N	1 3/4"	STL	-	-	M20	2/A-601	2/A-601	-	-
125.6	PROCESSING	-	3'-0"	7'-0"	RHR	F1	HM	-	F	1 3/4"	STL	-	-	M04	2/A-601	2/A-601	-	-
125.7	PROCESSING	-	3'-0"	7'-0"	LHR	F1	HM	-	N	1 3/4"	STL	T	-	M20	2/A-601	2/A-601	-	UNDERCUT DOOR 3/4"
131.1	EVIDENCE PROCESSING	-	3'-0"	7'-0"	RHR	F1	HM	-	FG.1	1 3/4"	STL	T	TRANSITION STRIP: ALUM.	M16	2/A-601	2/A-601	-	-
132.2	VEST	-	3'-0"	7'-0"	RHR	F1	HM: INSUL	-	FG.1	2"	STL-INSUL	ISG.1-R	THRESHOLD: STAINLESS STEEL	M15	TBD	TBD	4/A-504	-
133.1	ARMORY	-	3'-0"	7'-0"	LH	F1	HM	-	N	1 3/4"	STL	T	-	M24	2/A-601	2/A-601	-	-
134.1	EVIDENCE STORAGE	-	3'-0"	7'-0"	LH	F1	HM	-	N	1 3/4"	STL	T	-	M24	2/A-601	2/A-601	-	-
135.1	STORAGE	-	3'-0"	7'-0"	RH	F1	HM	-	N	1 3/4"	STL	T	TRANSITION STRIP: ALUM.	M29	2/A-601	2/A-601	-	-
137.1	SALLY PORT	-	3'-0"	7'-0"	RHR	F1	HM	-	N	1 3/4"	STL	T	TRANSITION STRIP: ALUM.	M28	2/A-601	2/A-601	-	-
137.2	SALLY PORT	-	3'-0"	7'-0"	RHR	F1	HM: INSUL	-	FG.1	2"	STL-INSUL	ISG.1-R	THRESHOLD: STAINLESS STEEL	M06	TBD	TBD	4/A-504	-
137.3	SALLY PORT	-	9'-0"	9'-0"	OH-COIL	-	-	-	OH	1 3/4"	STL-INSUL	-	-	G01	TBD	TBD	TBD	-
137.4	SALLY PORT	-	9'-0"	9'-0"	OH-COIL	-	-	-	OH	1 3/4"	STL-INSUL	-	-	G01	TBD	TBD	TBD	-
137.5	SALLY PORT	-	5'-0"	7'-0"	RHRA	F1	HM	-	N.1	1 3/4"	STL	T	TRANSITION STRIP: ALUM.	M30	2/A-601	2/A-601	-	-
201.1	LOBBY	-	3'-0"	7'-0"	RHR	F6	HM	T	FG	1 3/4"	WD	T	TRANSITION STRIP: ALUM.	M07	4/A-601	4/A-601	-	-
202.1	SMALL MEETING	-	3'-0"	7'-0"	RH	-	EXISTING	-	-	1 3/4"	EXISTING	-	-	M12	-	-	-	VIF: MODIFY EX. DOOR AS REQ'D.; STAIN TO MATCH TYP.
203.1	MEN'S T.R.	-	3'-0"	7'-0"	RH	F2	HM	-	F	1 3/4"	WD	-	TRANSITION STRIP: ALUM.	M23	3/A-601	3/A-601	-	-
204.1	CONFERENCE ROOM	-	3'-0"	7'-0"	RH	F3	HM	T	FG	1 3/4"	WD	T	TRANSITION STRIP: ALUM.	M07	4/A-601	4/A-601	-	-
205.1	HALL	-	3'-0"	7'-0"	LHR	F6	HM	T	FG	1 3/4"	WD	T	TRANSITION STRIP: ALUM.	M07	4/A-601	4/A-601	-	-
205.1	STORAGE	-	3'-0"	7'-0"	RH	F2	HM	-	N	1 3/4"	WD	T	-	M22	3/A-601	3/A-601	-	-
205.2	HALL	-	3'-0"	7'-0"	RHR	F3	HM	SG-P	FG	1 3/4"	WD	SG-P	TRANSITION STRIP: ALUM.	M07	4/A-601	4/A-601	-	-
205.3	HALL	-	3'-0"	7'-0"	RH	F2	HM	-	F	1 3/4"	WD	-	-	M18	3/A-601	3/A-601	-	-
205.4	HALL	-	3'-0"	7'-0"	RHR	F2	HM	-	N	1 3/4"	WD	T	-	M25	3/A-601	3/A-601	-	-
208.1	CAUCUS	-	3'-0"	6'-8"	RHR	F2	HM	-	WP	1 3/4"	WD	SG-P	-	M02	4/A-601	4/A-601	-	WOOD TRIMS ON BOTH SIDES OF DOOR FRAME
209.1	CUSTODIAL	-	3'-0"	7'-0"	RH	F2	HM	-	F	1 3/4"	WD	-	TRANSITION STRIP: ALUM.	M22	3/A-601	3/A-601	-	-
213.1	ADA T.R.	-	3'-0"	7'-0"	LH	F2	HM	-	F	1 3/4"	WD	-	TRANSITION STRIP: ALUM.	M21	3/A-601	3/A-601	-	UNDERCUT DOOR 3/4"
214.1	FINANCE DIRECTOR	-	3'-0"	7'-0"	LH	F5	HM	T	FG	1 3/4"	WD	T	-	M08	3/A-601	3/A-601	-	-
215.1	ADA T.R.	-	3'-0"	7'-0"	RH	F2	HM	-	F	1 3/4"	WD	-	TRANSITION STRIP: ALUM.	M21	3/A-601	3/A-601	-	UNDERCUT DOOR 3/4"
216.1	ASSISTANT TOWNSHIP MANAGER	-	3'-0"	7'-0"	LH	F4	HM	T	FG	1 3/4"	WD	T	-	M08	3/A-601	3/A-601	-	-
218.1	TOWNSHIP MANAGER	-	3'-0"	7'-0"	RH	F4	HM	T	FG	1 3/4"	WD	T	-	M08	3/A-601	3/A-601	-	-
219.1	STORAGE	-	3'-0"	7'-0"	RH	F2	HM	-	F	1 3/4"	WD	-	-	M22	3/A-601	3/A-601	-	-
220.1	CODE	-	3'-0"	7'-0"	RH	F4	HM	T	FG	1 3/4"	WD	T	-	M08	3/A-601	3/A-601	-	-
221.1	ELEC./MAINT.	-	3'-0"	7'-0"	RH	F2	HM	-	F	1 3/4"	WD	-	-	M22	3/A-601	3/A-601	-	-
222.1	ASSISTANT CODE	-	3'-0"	7'-0"	LH	F4	HM	T	FG	1 3/4"	WD	T	-	M08	3/A-601	3/A-601	-	-
222.1	WOMEN'S T.R.	-	3'-0"	7'-0"	LH	F2	HM	-	F	1 3/4"	WD	-	TRANSITION STRIP: ALUM.	M23	3/A-601	3/A-601	-	-
224.1	EMERG MANAG COORD	-	3'-0"	7'-0"	RH	F3	HM	T	FG	1 3/4"	WD	T	-	M08	3/A-601	3/A-601	-	-
225.1	IT ROOM	-	3'-0"	7'-0"	LH	-	EXISTING	-	-	1 3/4"	EXISTING	-	-	E05	-	-	-	VIF: MODIFY EX. DOOR & FRAME AS REQ'D.; STAIN TO MATCH TYP.
226.1	FIRE MARSHALL	-	3'-0"	7'-0"	LH	F4	HM	T	FG	1 3/4"	WD	T	-	M08	3/A-601	3/A-601	-	-
227.1	OPEN OFFICE	-	3'-0"	7'-0"	LHR	F4	HM	T	FG	1 3/4"	WD	T	-	M08	3/A-601	3/A-601	-	-
2																		

1 DOOR SCHEDULE

DOOR AND HARDWARE NOTES

- EXISTING DOORS INDICATED TO REMAIN (TYPICALLY DEPICTED SWINGING OPEN TO 45 DEGREES) REQUIRE MODIFICATION OR REFURBISHMENT INCLUDING NEW HARDWARE. SUCH REFURBISHMENT SHALL BE AS FOLLOWS:
 - CLEAN, PATCH AND RE-PAINT EXISTING FRAMES (2 COATS) PER FINISHES SCHEDULE.
 - INSTALL PATCH PLATES AS REQUIRED TO MODIFY FRAME:
 - WHERE APPLICABLE, INSTALL WIRING FOR NEW ELECTRONIC HARDWARE AND MODIFY FOR POSITION SWITCHES.
- EXISTING FRAMES (INCLUDING THOSE SCHEDULED TO RECEIVE NEW DOORS):
 - CLEAN, PATCH AND RE-PAINT EXISTING FRAMES (2 COATS) PER FINISHES SCHEDULE.
 - INSTALL PATCH PLATES AS REQUIRED TO MODIFY FRAME:
 - WHERE APPLICABLE, INSTALL WIRING FOR NEW ELECTRONIC HARDWARE AND MODIFY FOR POSITION SWITCHES.
- EXISTING FLUSH WOOD DOORS:
 - REMOVE ALL HARDWARE AND ACCESSORIES.
 - SAND, PATCH & STAIN WOOD FINISH TO MATCH NEW TYPICAL STAIN AND CLEAR COAT FINISH.
 - MODIFY DOOR AS REQUIRED FOR NEW HARDWARE.
 - INSTALL ALL NEW HARDWARE AND ACCESSORIES NOTED IN HARDWARE SCHEDULE.
- ACCESS CONTROL AND ELECTRONIC HARDWARE:
 - SEE ACCESS CONTROL NARRATIVE IN SPEC SECTION 011200 "MULTIPLE CONTRACT SUMMARY" FOR ASSIGNMENT AND COORDINATION OF WORK FOR DOOR ACCESS CONTROLS.
- FAIL-SAFE AND FAIL-SECURE DESIGNATIONS ARE NOTED IN THE HARDWARE SCHEDULE. IN THE EVENT OF A POWER OUTAGE OR EMERGENCY ALARM CONDITION, DOOR HARDWARE DESIGNATED TO "FAIL-SAFE," DOORS SHALL PROVIDE FREE OPERATION IN EITHER DIRECTION; DOOR HARDWARE DESIGNATED TO "FAIL-SECURE" IS INTENDED TO PREVENT INGRESS FURTHER INTO BUILDING INTERIORS OR FREE CIRCULATION BETWEEN FLOORS WHERE NORMALLY RESTRICTED BY ACCESS CONTROL HARDWARE. "FAIL-SECURE" DOORS SHALL NOT PREVENT EGRESS FROM INTERIOR SPACES OUTWARD UNLESS NOTED AS "BOTH SIDES". IF FURTHER DIRECTION IS REQUIRED, CONSULT THE ARCHITECT FOR DIRECTION.
- DOOR HANDINGS NOTED IN SCHEDULE SHALL BE INTERPRETED IN CONJUNCTION WITH DEPICTIONS OF THE DOOR SWINGS ON THE FLOOR PLAN.
- CONTRACTOR TO VERIFY ALL EXISTING DOOR CONSTRUCTION SCHEDULED TO REMAIN.
- COAT HOOKS: PROVIDE ONE HOOK AT ALL "OFFICE" DOORS WITH ELEVATION TYPE 'F' OR 'N' OR VARIATIONS THEREOF.
- EXTERIOR HANDLES: ALL DOUBLE-LEAF DOORS OPENING INTO VESTIBULES OR TO THE EXTERIOR OF THE BUILDING TO HAVE EXTERIOR HANDLES ON ONE SIDE ONLY, TYPICALLY THE RIGHT-HAND LEAF ON THE PULL SIDE.



1



4



3

5

04 MASONRY

- 09

6 WINDOW SCHEDULE

- 8.

PROJECT #:

23-0047.C

PROFESSIONAL SEA



contact: CHRISTOPHER CAGGIANO

7/

PROJ. MGR.: GRACE CAI, AIA

A diagram labeled "VERIFY SCALE" showing a horizontal line segment from 0 to 1. The area between 0 and 1 is shaded with diagonal lines.

SHEET TITLE:
DOOR

A-602