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ADDENDUM NO. 4 SEPTEMBER 26, 2024

The contents of this Addendum alter and amend the drawings and specifications and take precedence over the related items therein. Bidders shall include the cost of all items in their Bids.

GENERAL INFORMATION

- 1. No local business licenses are required of contractors for this project.
- 2. Plumbing Unit Prices, Allowances and Bid Tables have been revised per requested clarification of sprinkler work. Plumbing bidders are advised to review updated specifications and download latest Bid Table.

CLARIFICATIONS:

- 1. There are currently Eight (8) semi-recessed fire extinguisher cabinets located across the two floors. Seven (7) of them are to be salvaged and reinstalled at new locations. The eighth is located in Multipurpose Room 116 and shall stay in situ. Two additional semi-recessed FEC's and associated extinguishers shall be installed in the 1st floor addition where identified. Assume existing extinguishers are to be salvaged and re-installed in FEC. If any are found to be expired or damaged, Owner shall replace.
- 2. Wall-mounted display brackets shall be provided AND installed by the Owner's IT vendor. GC shall be responsible for coordinating blocking requirements with Owner's vendor and installing the required blocking within the wall cavity.
- 3. Omission from Addendum 3: On Sheet A-101 issued as part of Addendum 3, window 'W05' was deleted from the scope but not called out in the Addendum notes. The window opening shall be infilled as noted on that drawing.

REQUESTS FOR INFORMATION:

- #40 Specification 01100, 1.4, A, 5, states the Information Technology Equipment will be furnished under a separate contract. Specification 27000, 1.6, A, 1, a, states the Contractor shall provide submittals for cabling, Patch panels and cross connect wire. Is the information Technology provided under a separate contract providing Data and Phone cables?
 - A: [REVISED RESPONSE] EC to provide all cabling (CAT 6, RG6, HDMI) and ends to cables to test terminations. Patch panels provided by EC. Basis of design shall be ICC model no. ICMPP04860 or approved equal. EC to provide sufficient quantity of patch panels to accommodate all cable runs specified. If IT vendor has not provided equipment rack for mounting, EC may temporarily mount in space. Punch-down terminations by EC for testing purposes. Revised drawings and specifications will be provided in next addendum.
- #54: If the scope of work is that the existing fire sprinkler system pipe and fittings are to remain in place and be reused, please confirm that the existing system design is adequate for the proposed building use. If it isn't adequate the system will need to be upgraded or replaced. If you want it upgraded you would have to provide the as-built drawings and the hydraulic calculations so we would be able to figure out what parts of the system would need to be upgraded.

A: [Updated response]

Fire protection general note # 2 on sheet FP-1 states the following: "THE INTENT OF FIRE PROTECTION DRAWINGS IS FOR APPROVAL PURPOSES ONLY AND TO AID THE FIRE PROTECTION CONTRACTOR IN SYSTEM LAYOUT AND MODIFICATIONS REQUIRED FOR BIDDING PURPOSES. THE DRAWINGS IDENTIFY BASIC ELEMENTS OF THE FIRE

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PROTECTION SYSTEM, AREAS OF COVERAGE AND DEVICE TYPES AND AREAS WHICH REQUIRE SPECIAL ATTENTION AND/OR DEVICES. THE SUCCESSFUL FIRE PROTECTION CONTRACTOR IS RESPONSIBLE FOR PROVIDING APPROVED AND COMPLETE PIPING LAYOUT DRAWINGS AND HYDRAULIC CALCULATIONS."

Demolition note #1 on sheet FP-1 states the following: "DISCONNECT AND REMOVE EXISTING SPRINKLERS WITHIN THE AREA OF DEMOLITION. IF BRANCH AND MAIN PIPING IS IN ADEQUATE CONDITION AND IS APPROPRIATELY SIZED IT MAY BE REUSED IN PLACE."

The drawings are a performance-based design only. Therefore, it is up to the contractor to determine if any existing branch or main piping can be re-used based on their hydraulic calculations, and piping layout drawings. The FP contractor shall visit to site to familiarize himself with the existing systems to determine what can be reused.

See also response to RFI #76.

- #60: There is a page in the specifications listing the Countertops, however, on item 2.1, part B, 1,2, &3 list the same material for both specs as QTZ-1. Please advise and clarify.
 - A: Items 1 & 2 in that section list the two accepted product options for QTZ-1.
- #61 Which version of the AIA A305 Qualification Form must be submitted the 1986 version or the 2020 version? If the 2020 version, please specify which exhibits are required.
 - A: 2020 version. Exhibits A thru D.
- #62 What exactly is to be uploaded in the "Additional Documents" tab on Pennbid, as it is marked "required," so something has to be be uploaded there in order to submit the bid.
 - A: Setting for that item has been changed from "Required." Bidders may use it to upload additional information as necessary.
- #63: Will there be any consideration for a bid date extension given another forthcoming addendum to address outstanding questions and the second round of site visits?
 - A: No extension is planned at this time.
- #64 Spec section 23 5533 Gas Fired Unit Heaters 1.6 denotes warranty period: "two years from substantial completion." The job denotes one year warranty. These units are only available from the manufacturer with one year warranty. Is the two year note accurate for this project?
 - A: Revise this warranty to be one year instead of two year.
- #65: Are we permitted to use PVC for above ground and below ground?
 - A: See specification section 221316 Section 3.11 Piping Schedule.
- #66: Is Pro Press acceptable for domestic installation?
 - A: Yes.
- #67: Is mega press acceptable for gas piping?
 - A: Yes.

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#68: Who is responsible for the permit costs?

- A: Owner is paying for Zoning, Land Development, General Trades, HVAC, Electric and/or Plumbing permit costs directly.
- #69: Who is GC or PC responsible for the following: Concrete opening: Pouring back concrete?
 - A: Each prime is responsible for its own cutting and patching. PC shall be responsible for slab cutting and patching for its work.
- #70: Spec 230502 SPECIAL HVAC REQUIREMENTS: Spec denotes the following:
 - "A. Provide an auxiliary drain pan below all equipment that is able to generate condensate. Drain pans shall be custom built to fit below unit and shall be constructed of 18 gauge sheet metal with welded ends as required to form a water-tight drain pan. Drain pan shall be a minimum of 1-½ inch deep. Drain pan shall be supported from the unit supports or shall be supported independently from the building structure.
 - B. Water sensor: Contractor shall provide a water sensor in the auxiliary drain pan that will shutdown the unit and sound an alarm if water is detected in the pan. Sensor shall be Model JMP series with 'L' mounting bracket as manufactured by Kele or EZ Trap Model EZT-226 with EZT113B or equal. Install in accordance with manufacturer's instructions."

Are these notes applicable to this project and if so, which specific units need pans with alarm? Suspect that it might not be possible on some and or most of the VRF units.

- A: These notes are intended to apply to all air handling equipment other than wall mounted and ceiling casette units.
- #71: 238129 VARIABLE-REFRIGERANT-FLOW HVAC SYSTEMS: Spec denotes labor warranty for five years from date of substantial completion
 - Manufacturer does [not] typically offer five years labor warranty for your basis of design VRF system(s). Please advise if this is a valid requirement.
 - A: One-year warranty on all parts except compressor. Compressor to have Five-year warranty.
- #72: ADDENDA #2 HVAC Condensate Addenda states that HVAC is responsible for condensate routing, design and installation. Q1 Wouldn't it be most logical for Engineer to size and route the condensate piping to an appropriate location so that it is properly designed and that all bidders provide the same system?
 - A: Next addendum shall provide drawing with proposed condensate routing for bidding purposes.
- #73: VRF System: On drawing M-4 we see BC-1 & BC-2A: On drawing M-5 we see BC-2.
 - Q1 These BC units are not scheduled but denoted on M-6. On M-6, branch controllers are identified as BC-1, BC-2 and BC-3. Please clarify.
 - Q2 Assume that the branch controllers are to be installed where shown on the drawings?
 - Q3 Please schedule the branch controllers and or identify how many ports are desired per each controller.

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A: "BC-1" is a main BC located in 134 Evidence Storage is denoted as "BC-1" on sheet M-6. "BC-2A" is a sub BC located in 117 Mech/Electrical room and is denoted as "BC-2" on sheet M-6. "BC-2" is a main BC located in 219 Storage and is denoted as "BC-3" on sheet M-6.

Drawings will be updated in next Addendum so the tags on the floor plan match what is shown on the VRF system diagram for clarity. No schedule is required as branch controller model numbers are listed on M-6 and required ports (used and unused) are shown on the diagram.

- #74: Only windows in rooms 204, 206, & 208 are shown in elevation with trim surrounding the windows (elevations 1&4/A401, 6/A402 & 5&6/A403). Do all new windows throughout the building receive the same trim?
 - A: Windows (and doors) in rooms 204, 206 & 206 get full casing trim as part of full room trim package. All other windows to receive stools only as noted in Window Notes, item #6 on A-602. Stool trim shall be per keynote 6.20.22.
- #75: Drawing M-4 There is (1) ECH-1 in vestibule #100 shown. There is no schedule for ECH units. Please provide data.
 - A: Drawings will be updated with schedule information in next Addendum.
- #76: Please provide an accurate description of work that is required in regards to the fire sprinkler system installation. After reviewing the drawings and specifications it isn't clear as to whether the existing systems can remain in place and be reused or if the existing systems are to be removed in their entirety and new systems installed. This decision has to be made by the owner / engineer. This can't be left up to the bidding contractors to decide. Otherwise some contractors are going to bid reusing the existing even though it is in poor condition.
 - A: The existing system appears to be in adequate condition and can remain in place. It has passed inspection performed by Victory Fire Protection. For bidding purposes, bidder may assume that flow is adequate for reconfiguration of and extension to existing system.

Drawings will be updated to illustrate a more detailed scope of work that shall include the following general directives:

- 1. Existing service, riser and main/branch piping shall remain.
- 2. Remove/Replace all takeoffs from branch piping to heads to accommodate new sprinkler layout.
- 3. Run a new dedicated main from existing riser to new building addition.
- 4. Modify existing sprinklers above the second floor ceiling protecting combustible construction as required to accommodate new construction.
- 5. No work is anticipated for the existing dry system serving the attic space.
- 6. Provide unit prices per foot for 1", 1-1/2", 2", 3" and 4" sprinkler piping. Unit prices shall be calculated to include all required hangers, supports and up to (2) 90 degree elbows with all required fitting and joints. Plumbing Bid Table and Unit Prices specification shall be updated with these unit prices.
- 7. Carry an allowance for 50' of each size based on Unit Prices. Bid form to be updated to include these unit prices. Allowances shall be included in the Plumbing Bid Table and Allowances specification section.
- #78: 1) Please confirm that not all sign types on the Sign Type Schedule are applicable on pages A-003 & A-004.
 - 2) Please provide details for sign types shown on plans not included on pages A-007, A-008, A-009 (Sign Types A.15, A.21, A.31, A.32, A.33, B.04, B.06, B.26, B.27, B.42, C.11, D.11, D.22).

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- 3) Please identify the 3rd sign from left in the top row on page A-008.
- 4) Please confirm the sign type for the 4th sign from the left (top row) and the 3rd sign from the left (second row) as these two signs are different but have the same identifier.
- 5) Please confirm if the 4th sign from the left on the top row (Page A-008) is needed as there are no stairs that access more than three consecutive floors on this project.
- 6) Please clarify the note on page A-008 stating directory inserts are to be "laser engraved panels with department names, directional information and coordinated braille text" as directories are excluded from braille requirements and braille must be raised and not engraved.
- A: 1) Correct. Schedule is Architect's master signage schedule and includes sign types not provided in this project.
 - 2) A.15 Was to be type 'A.13', but see item #5 below.
 - A.21 Area of Refuge: Deleted from all locations.
 - A.31 Elevator: Provide sign matching typical room identification sign and depicting Up/Down arrows above M/W/M figures in rounded square box iconography, "Elevator" text and braille.
 - A.32 Elevator Floor Identifier (Jambs): This is provided by Elevator subcontractor.
 - B.04 Building Directory: Revised w/ additional information on A-008.
 - B.06 Occupant Load: Shown on A-008. Revised and tag corrected to read 'B.06.'
 - B.26 Accessible Locker Room Men: Shown on A-008
 - B.27 Accessible Locker Room Women: Shown on A-008
 - B.42 Baby Changing Station: Deleted. Iconography integrated with 'B.24.'
 - C.11 Fire Extinguisher: Deleted from plans. Will be integral to FEC's.
 - D.11 No Smoking: Provide painted metal sign with general text
 - "No Smoking within 25 feet of this Entrance." Three additional locations on 1st floor added to scope.
 - D.22 Emergency Shower Eyewash: Provide painted metal sign depicting emergency eyewash and shower iconography. Architect shall verify acceptance in submittal process.
 - 3) Erroneous: Removed from sheet.
 - 4) A.15 and B.06 respectively.
 - 5) Fair point. Sign type 'A.13' removed from project.
 - 6) No braille required for Directory. Detail updated.
- #79: Can there be a revision for additional information and clarification regarding the Door Hardware Schedule and Specs. There is a series of items that do not reflect each other on the drawings vs. the specs. Also there is missing information regarding existing doors and electric devices that tie in together. We are receiving this information from a series of vendors making it hard to provide an accurate number.
 - A: Updated drawings and specs included in this Addendum. GC is required to provide doors and frames prepped for hardware as applicable. For electrically controlled doors, it is the GC's responsibility to provide power wiring from all door/frame hardware to plenum space above doors. From there, it will be integrated with power supplies/controllers to be provided by the Owner's security vendor. EC shall provide backboxes and conduit from wall adjacent to door to plenum space. Security vendor shall provide access control device, wiring to plenum from box and beyond to controller. If any further information is required, please be specific in inquiry.

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- #80: 1) Can the architect issue complete and detailed hardware sets with manufactures and item numbers? 2) There is quite a bit of reference to access control locks, Electrified Mortise locks, and 3 different key systems. Not a clear picture on the access credential type. 3) Is there an existing security vendor? 4) What are they using in the building? 5)What is the existing key system?
 - A: 1) Within Hardware Spec, acceptable manufacturers/brand umbrellas for hardware components are listed in section 2.3 or other product information headings as applicable. Performance criteria are indicated in the specifications for each product type. Bidders shall submit products by accepted manufacturers and that are compliant with project specifications.
 - 2) Access control system is key card/fob/proximity based system (Alarm.com). In addition to the electronic access, a master key system will be required for all locks within the building (including lock cylinders integrated with other building security components (folding grille, mesh partitions, etc.)
 - 3) Top Tech Integrators, Greg Sorg, 610.756.5009, sales@patoptech.com
 - 4) Alarm.com is current access control system.
 - 5) No master keying system currently in place.

If further clarification is required, you may contact Greg Sorg directly.

- #81: The plan and spec say both "sash" and "direct glaze" for the new windows. The roof access unit would have to be in sash. The rest can be direct glazed. The dormer windows would look slightly different if you mix them. How do you want these quoted?
 - A: All windows (including dormers) to be direct glaze except W43 which shall be an operable casement for rooftop access. W43 is not in public view, so it will not be impacted. See also Clarification #3 above regarding deletion of 'W05.'

DRAWINGS:

A-001: Drawing index updated.

A-003: Signage updates per RFI #78 response.

A-004: Signage updates per RFI #78 response.

A-008: Signage updates per RFI #78 response.

A-601: Hardware sets for doors 119.2, 125.1, 125.3, 221.1 & ST1-2.1 updated.

A-602: Hardware set schedule updates and clarifications.

- REVISED hardware sets:
 - E04: Updated to include new latchset hardware and hinges.
 - M20: Function clarified.
 - M24: Function clarified.
 - M25: Function clarified.
 - M28: Function clarified.
 - M28: Function clarified.
 M30: Function clarified.
 - M31: Function clarified.
 - M32: Exit device prep changed to Mortise.

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- ADDED: Set 'M33'
- DELETED: Sets 'S03' & 'S04'.

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SPECIFICATIONS

- 1. Section 012100 "Allowances":
 - a. **INSERT** new paragraph 3.4.D:
 - "D. Allowance P-01: Lump Sum Allowance: Provide an aggregate allowance equivalent to the sum of 50'-0" of EACH SIZE of sprinkler piping per the Unit Prices "UP-08 through "UP-12."
- 2. **Section 012200 "Unit Prices":** Unit Prices "UP-08" through "UP-12" for additional sprinkler piping have been added to paragraph "3.4 List of Unit Prices Plumbing and Fire Protection Work." Revised copy attached to this Addendum.
- 3. Section 237433 "Dedicated Outdoor-Air Units": Delete line 2.3.C.

REQUESTS FOR SUBSTITUTION:

- **#1 Evidence Lockers:** Subject to compliance with the requirements of the project, specifications and specified design configurations, Fasco, Inc. is an acceptable manufacturer for the metal pass-thru Evidence Lockers.
- **Variable-Refrigerant Flow HVAC Systems:** Subject to compliance with the requirements of the project, specifications and specified design configurations, Carrier Global Corp. is an acceptable manufacturer.
- **Bedicated Outdoor-Air Units:** Subject to compliance with the requirements of the project, specifications and specified design configurations, Carrier Global Corp. is an acceptable manufacturer.

END.
MG ARCHITECTS, LTD.

SOG/lev Attachments:

- Specification section 012200 "Unit Prices (Rev 2)."
- Updated Drawings:
 - o A-001
 - o A-003
 - o A-004
 - o A-008
 - o A-601
 - o A-602

SECTION 012200 - UNIT PRICES (Rev. 2)

PART 1 - GENERAL

1.1 SUMMARY

A. Section Includes:

- 1. Administrative and procedural requirements for unit prices.
- 2. Identification and description of unit prices for each contract.

B. Related Documents:

 Document 004113 "Bid Form" for submission of Unit Price costs associated with each Prime Contract.

C. Related Sections:

- 1. Section 012600 "Contract Modification Procedures" for procedures regarding submitting and handling of Change Orders.
- Section 012900 "Payment Procedures" for measurement and payment of unit price items.
- 3. Section 014000 "Quality Requirements" for general testing and inspecting requirements.

1.2 DEFINITIONS

A. Unit Price: An amount proposed by bidders, stated on the bid Form, as a price per unit of measure for materials, equipment, or services, or a portion of the Work ADDED TO or DEDUCTED FROM the Contract Sum by appropriate modification, if Work scope or estimated quantities of Work required by Contract Documents are increased or decreased.

1.3 PROCEDURES

- A. Unit prices shall be a comprehensive cost including all necessary material, plus delivery costs, installation, insurance, applicable taxes, overhead, and profit.
- B. Unit prices will be exercised if certain conditions are discovered or required during the Work, and if certain options are revised by the Owner.
- C. Coordinate related systems and modify surrounding materials as required to complete the Work, including changes under each unit price.
- D. Complete Unit Price listing shown on appropriate Form of Bid.
- E. See individual Specification Sections for work that requires establishment of unit prices. Methods of measurement and payment for unit prices are specified in those Sections.
- F. Owner reserves the right to take following actions regarding unit prices:
 - 1. Accept any or all unit prices that Owner considers fair and reasonable.

- Negotiate with acceptable low bidder to amount acceptable to both Owner and Contractor.
- 3. Reject Contractor's measurement of work that involves use of established unit prices and to have work measured, at Owner's expense, by an independent surveyor acceptable to Contractor.
- G. It is specifically understood that unit prices, when accepted, are intended to cover quantities less than 10 percent in excess of Base Bid quantities. When unit price quantities exceed 10 percent, negotiated change order procedures will be enacted to cover that work.
- H. List of Unit Prices: A list of unit prices for each Prime Contract is included in PART 3 of this Section. Specification Sections referenced in the schedule contain requirements for materials described under each unit price.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 LIST OF UNIT PRICES - GENERAL CONSTRUCTION WORK

- A. Unit Price UG-01: Brick Masonry Repair/Repointing without Lift Equipment.
 - 1. Description: For the repair of damaged or deteriorated existing brick masonry that does not require use of a lift or extensive scaffolding; approximately twelve feet or less above grade.
 - 2. Unit of Measurement: Square foot.
 - 3. Specification: Refer to Sections 040120.63 "Brick Masonry Repair" and 040120.64 "Brick Masonry Repointing."
- B. Unit Price UG-02: Lift Equipment for Brick Masonry Repair/Repointing
 - Description: Daily rate for rental of lift equipment needed for the repair of damaged or deteriorated existing brick masonry that requires the use of a lift or extensive scaffolding; approximately twelve feet or more above grade.
 - Unit of Measurement: Per Day.
 - 3. Specification: Refer to Sections 040120.63 "Brick Masonry Repair" and 040120.64 "Brick Masonry Repointing."
- C. Unit Price UG-03: Cutting and Patching of Existing Concrete Floor Slab.
 - Description: Cutting of new or existing concrete floor slabs up to 6 inches thick, removal and excavation as required, and subsequent backfill, compaction, and patching of concrete in accordance with Division 01 Section "Cutting and Patching" not otherwise indicated in the Contract Documents.
 - 2. Unit of Measurement: Per Square foot of concrete removed.
 - 3. Specification: Refer to Sections 0300130 "Maintenance of Cast-In-Place Concrete" and 033000 "Cast-In-Place Concrete."

- D. Unit Price UG-04: Floor Leveler.
 - Description: Provide additional cement-based underlayment, up to an entire room if needed, only for those floor areas identified by the Design Professional as an unforeseen condition and in need of additional substrate preparation, in excess of that already specified in the drawings, prior to installation of the finish flooring products. No additional compensation will be made for any substrate floor areas that were damaged because of the Contractor's improper demolition and original floor covering removal methods. The Contractor is responsible to keep records of their own quantities of underlayment and then reconcile them with those of the Design Professional prior to submitting a Contractor Change Request.
 - 2. Unit of Measurement: Square foot.
 - 3. Specification: Refer to Section 035413 "Gypsum Cement Underlayment."
- E. Unit Price UG-05: Interior Panel Exit-Egress Signage.
 - 1. Description: Provide and install an additional panel sign of Type 'A' or its variants at the requested location and required height to meet egress Code requirements.
 - 2. Unit of Measurement: Each.
 - 3. Specification: Refer to Section 101423.16 "Room-Identification Panel Signage."
- F. Unit Price UG-06: Asphalt Replacement.
 - 1. Description: Provide replacement of existing asphalt areas as directed by the Owner or Architect, and not those already indicated on the base bid documents. Proposed unit price cost shall include all necessary excavation, removal of spoils, geotech fabric, stone base, and asphalt base and wearing courses to the proper pavement profile, as shown in the contract documents for similar work.
 - 2. Unit of Measurement: Square yard.
 - 3. Specification: Refer to Section 321200 "Flexible Paving."
- G. Unit Price UG-07: Concrete Sidewalk Replacement.
 - Description: Remove and replace existing sidewalk areas at the direction of the Owner or Architect. The work shall include the complete demolition, removal of spoils, subgrade preparation, stone base, welded wire reinforcing mats, and the placement and final finishing of the concrete material in depths, mix design, and strengths that are consistent with the base concrete specifications.
 - 2. Unit of Measurement: Square foot.
 - 3. Specification: Refer to Section 033000 "Cast In Place Concrete."
- H. Unit Price UG-08: Concrete Curb Replacement.
 - Description: Remove and replace existing concrete curb areas at the direction of the Owner or Architect. The work shall include the complete demolition, removal and disposal of spoils, subgrade preparation, stone base, reinforcing, and the placement and final finishing of the concrete material in depths, mix design, and strengths that are consistent with the base concrete specifications.
 - 2. Unit of Measurement: Lineal foot.
 - 3. Specification: Refer to Section 033000 "Cast In Place Concrete."

3.2 LIST OF UNIT PRICES - HVAC WORK

A. Unit Price UH-1: Ductwork

- 1. Description: Furnish and install additional insulated ductwork including all required supports, hangers and insulation. Maximum size is 24x12.
- 2. Unit of Measurement: Pound.
- 3. Specification: Refer to section 233113 "Metal Ducts" and section 230700 "HVAC Insulation."

B. Unit Price UH-2: Access Doors

- 1. Description: Furnish and install additional insulated ductwork including all required supports, hangers and insulation. Unit size basis: 12" x 12".
- 2. Unit of Measurement: Each.
- 3. Specification: Refer to Section 083113 "Access Doors and Frames" and Section 233300 "Air Duct Accessories."

3.3 LIST OF UNIT PRICES - ELECTRICAL WORK

- A. Unit Price UE-1: Duplex Receptacle.
 - 1. Description: Provide and install an additional duplex receptacle to include backbox and faceplate.
 - 2. Unit of Measurement: Each.
 - 3. Specification: Refer to Section 262726 "Wiring Devices".
- B. Unit Price UE-2: Data Receptacle.
 - 1. Description: Provide and install an additional Category 6 data jack to include backbox, faceplate, and 200 feet cable length according to base data receptacle specification.
 - 2. Unit of Measurement: Each.
 - 3. Specification: Refer to Section 270528 "Pathways for Communication Systems."
- C. Unit Price UE-3: Illuminated Exit Sign & Wiring.
 - 1. Description: Provide and install an additional illuminated exit sign assembly to include appropriate mounting equipment, 3/4 inch conduit/raceway with #12 conductors and #12 ground wire, all necessary wall penetration cutting and patching, terminations, and connections according to base specification for similar work. Maximum distance is 35 feet. Connections to be made to closest emergency exit sign circuit.
 - 2. Unit of Measurement: Each.
 - 3. Specification: Refer to Section 265100 "Interior Lighting."
- D. Unit Price UE-4: Fire Alarm Audible/Visual Device & Wiring.
 - Description: Provide and install an additional fire alarm A/V device assembly to include A/V device, backbox, cabling, conduit, necessary wall penetration cutting and patching, terminations, connections to fire alarm system, programming, and additional power supplies required – according to base fire alarm specification for similar work. Maximum distance is 50 feet.

- 2. Unit of Measurement: Each.
- 3. Specification: Refer to Section 284621.11 "Addressable Fire-Alarm Systems".
- E. Unit Price UE-5: 20A Wiring in Conduit.
 - Description: Provide and install wiring for additional 20A devices; 2#12 & 1#12G in 3/4" CND.
 - 2. Unit of Measurement: Lineal foot.
 - 3. Specification: Refer to Section 260519 "Low-Voltage Electrical Power Conductors and Cables."
- F. Unit Price UE-6: 20A Wiring in MC.
 - Description: Provide and install wiring for additional 20A devices; 2#12 & 1#12G in MC.
 - Unit of Measurement: Lineal foot.
 - Specification: Refer to Section 260519 "Low-Voltage Electrical Power Conductors and Cables."

3.4 LIST OF UNIT PRICES – PLUMBING AND FIRE PROTECTION WORK

- A. Unit Price UP-1: Ball Valve (1/2 inch dia.)
 - 1. Description: Furnish and install 1/2 inch ball valve within plumbing line to include all required accessories and tagging to align with similar work in base scope.
 - 2. Unit of Measurement: Each.
 - 3. Specification: Refer to Section 220523.12 "General Duty Valves for Plumbing Piping."
- B. Unit Price UP-2: Ball Valve (3/4 inch dia.)
 - 1. Description: Furnish and install 3/4 inch ball valve within plumbing line to include all required accessories and tagging to align with similar work in base scope.
 - 2. Unit of Measurement: Each.
 - Specification: Refer to Section 220523.12 "General Duty Valves for Plumbing Piping."
- C. Unit Price UP-3: Ball Valve (1 inch dia.)
 - 1. Description: Furnish and install 1 inch ball valve within plumbing line to include all required accessories and tagging to align with similar work in base scope.
 - 2. Unit of Measurement: Each.
 - Specification: Refer to Section 220523.12 "General Duty Valves for Plumbing Piping."
- D. Unit Price UP-4: Copper Piping (1/2 inch dia.)
 - 1. Description: Furnish and install 1/2 inch copper piping to include support hangers, insulation, labels, and tagging to align with similar work in base scope. Include (2) 90-degree elbows and all soldered joints.

- 2. Unit of Measurement: Lineal foot.
- Specification: Refer to section 221116 "Domestic Water Piping", Section 220529
 "Hangers and Supports for Plumbing Piping and Equipment", and Section 220719
 "Plumbing Piping Insulation."

E. Unit Price UP-5: Copper Piping (3/4 inch dia.)

- 1. Description: Description: Furnish and install 3/4 inch copper piping to include support hangers, insulation, labels, and tagging to align with similar work in base scope. Include (2) 90-degree elbows and all soldered joints.
- 2. Unit of Measurement: Lineal foot.
- 3. Specification: Refer to section 221116 "Domestic Water Piping", Section 220529 "Hangers and Supports for Plumbing Piping and Equipment", and Section 220719 "Plumbing Piping Insulation."

F. Unit Price UP-6: Copper Piping (1 inch dia.)

- 1. Description: Description: Furnish and install 1 inch copper piping to include support hangers, insulation, labels, and tagging to align with similar work in base scope. Include (2) 90-degree elbows and all soldered joints.
- 2. Unit of Measurement: Lineal foot.
- Specification: Refer to section 221116 "Domestic Water Piping", Section 220529
 "Hangers and Supports for Plumbing Piping and Equipment", and Section 220719
 "Plumbing Piping Insulation."

G. Unit Price UP-7: Concealed Pendant Sprinkler Head Assembly

- 1. Description: Furnish and install concealed pendant sprinkler head assembly to include cover plate, flexible hose fitting and all required accessories and tagging to align with similar work in base scope.
- 2. Unit of Measurement: Each.
- 3. Specification: Refer to Section 211313 "Wet-Pipe Sprinkler System."

H. Unit Price UP-8: Additional Sprinkler Pipe

- Description: Provide 1" diameter sprinkler piping. Unit price shall be calculated to include all required hangers, supports and up to (2) 90 degree elbows with all required fitting and joints.
- 2. Unit of Measurement: Lineal foot.
- 3. Specification: Refer to Section 211313 "Wet-Pipe Sprinkler System."

I. Unit Price UP-9: Additional Sprinkler Pipe

- Description: Provide 1-1/2" diameter sprinkler piping. Unit price shall be calculated to include all required hangers, supports and up to (2) 90 degree elbows with all required fitting and joints.
- 2. Unit of Measurement: Lineal foot.
- 3. Specification: Refer to Section 211313 "Wet-Pipe Sprinkler System."

J. Unit Price UP-10: Additional Sprinkler Pipe

1. Description: Provide 2" diameter sprinkler piping. Unit price shall be calculated to include all required hangers, supports and up to (2) 90 degree

elbows with all required fitting and joints.

- 2. Unit of Measurement: Lineal foot.
- 3. Specification: Refer to Section 211313 "Wet-Pipe Sprinkler System."

K. Unit Price UP-11: Additional Sprinkler Pipe

- 1. Description: Provide 3" diameter sprinkler piping. Unit price shall be calculated to include all required hangers, supports and up to (2) 90 degree elbows with all required fitting and joints.
- 2. Unit of Measurement: Lineal foot.
- 3. Specification: Refer to Section 211313 "Wet-Pipe Sprinkler System."

L. Unit Price UP-12: Additional Sprinkler Pipe

- 1. Description: Provide 4" diameter sprinkler piping. Unit price shall be calculated to include all required hangers, supports and up to (2) 90 degree elbows with all required fitting and joints.
- 2. Unit of Measurement: Lineal foot.
- 3. Specification: Refer to Section 211313 "Wet-Pipe Sprinkler System."

END OF SECTION

LOWER POTTSGROVE MUNICIPAL BUILDING & POLICE STATION



REGIONAL MAP COUNTY MAP SITE LOCATION MONTGOMERY COUNTY LOWER POTTSGROVE **GRAPHIC SYMBOLS ABBREVIATIONS** AREA DRAIN HEAT, VENTILATION, AIR- PR **UNLESS NOTED DOOR IDENTIFIERS KEYNOTE IDENTIFIERS ELEVATION / SECTION MARKER** PRESSURE TREATED CONDITIONING — INDICATES ELEVATION ACCESSIBLE / AMERICANS DWG. DRAWING PLASTIC LAMINATE LOCATION ON SHEET WITH DISABILITIES ACT LABORATORIES (ELEVATIONS/SECTIONS) \longrightarrow 101.1 -(1.01.01) see keynote legend ADJUSTABLE DOUBLE INSULATION / INSULATING R VESTIBULE ON DRAWING'S LAYOUT AREA OF REFUGE DIMENSION INSIDE DIAMETER R.W.C. RAIN WATER CONDUCTOR V.C.T. INDICATES SHEET – 6" TYPICAL, UNLESS DOOR INCAND. **INCANDESCENT** REINF. REINFORCING / REINFORCED COMPOSITION ALUMINUM ON WHICH DRAWING ALTERNATE KEYNOTE; ** OTHERWISE NOTED ALTERNATE **EXISTING** IS SHOWN -(1.01.01) SEE KEYNOTE LEGEND ABOVE FINISHED FLOOR JOINT ROUGH OPENING ELECTRICAL CONTRACTOR LBS. ACOUSTIC / ACOUSTICAL E.C. REVISED / REVISION WATER CLOSE ON DRAWING'S LAYOUT **INTERIOR ELEVATION MARKER** ALUMINUM FACE FI FVATION LAVATORY RFFI FCTFD WOOD APPROXIMATE / **ELEVATOR** LAMINATE RECESSED DOOR AND **ROOM DESIGNATION** APPROXIMATELY ELECTRIC / ELEC LOW POINT — INDICATES ELEVATION IDENTIFIER AS SELECTED BY OWNER STAINLESS STEE PLUS OR MINUS **EXPANSION** MAXIMUM **OFFICE**← ROOM NAME LOCATION ON SHEET (PLANS) EXTERIOR MANUFACTURER — ROOM NUMBER BLOCK / BLOCKING MANUFACTURED SIMILAR ANGLE - INDICATES SHEET FLOOR DRAIN METAL CHANNEL BUILDING STEEL - ENLARGED PLAN ON WHICH ELEVATION BOTTOM OF FIRE EXTINGUISHER MINIMUM NUMBER BOTTOM OF STEEL WINDOW MARKER (01) FIRE EXTINGUISHER SANITARY MIRRORED SQUARE REFERENCE IS SHOWN SUSPENDED ROUND / CENTER-TO-CENTER MASONRY OPENING FINISH / FINISHED DIAMFTER DRAWING REVISION MARKER STANDARD CEILING MISCELLANEOUS **SPECIFICATION** CENTER LINE DETAIL / ENL. PLAN MARKER — CLOUD DENOTES SKYLIGHT MARKER /01 FACE OF **MECHANICAL** TELEPHONE PLATE CURRENT REVISION ISSUE CONSTRUCTION MANAGER F.P./FP FILLER PANEL **NOT IN CONTRACT** TOP OF U-BAR -INDICATES DETAIL CONCRETE MASONRY UNIT FT. FEET / FOOT TOP OF STEEL LEG-BAR LOCATION ON SHEET TOP OF WALL T.O.W. **FLUORESCENT** NOT TO SCALE CONTROL JOINT REVISION No. CONCRETE GYPSUM ON CENTER CORRIDOR GALVANIZED OUTSIDE DIAMETER TYPICAL WALL TYPE MARKER COLUMN THICK GAUGE OPPOSITE -INDICATES SHEET (SEE PARTITION LEGEND) CONTINUE / CONTINUOUS G.C. GENERAL CONTRACTOR OPG. **TEMPERED** PAST REVISION MARKER ON WHICH DETAIL CONTRACTOR CONTR. HOUR HR. PLUMBING CONTRACTOR T.S.G. TEMPERED SAFETY (REFERENCE ONLY) FINISH CODE MARKER <P-1> HIGH POINT PANEL FACE 23-0047.0_Lower Pottsgrove Municipal Bldg_DD | BIMcloud: MGA-DATA - BIMcloud Basic for Archicad 27/23-0047.0_Lower Pottsgrove Municipal Bldg_DD | 9/26/2024 | 4:50 PM

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CIVIL ENGINEER McCarthy engineering associates, inc. 1011 N PARK RD., SUITE 100

WYOMISSING PA, 19610 CONTACT: JAMES McCARTHY, PE PHONE: 610.373.8001 FAX: 610.373.8077 EMAIL: jmccarthy@mccarthy-engineering.com

GENERAL NOTES

EACH PRIME CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK OR PURCHASING ANY MATERIALS. VERIFY LAYOUT IN RELATION TO PROPERTY LINES, BENCH MARKS, OR OTHER FIXED CONDITIONS AND REPORT DISCREPANCIES TO ARCHITECT IMMEDIATELY UPON DISCOVERY.

- NOTIFY ARCHITECT OF DISCREPANCIES REGARDING THE CONTRACT DOCUMENTS OR DESIGN INTENT IMMEDIATELY UPON DISCOVERY. CONTRACTOR SHALI BE RESPONSIBLE TO OBTAIN CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK OR RELATED WORK
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE WORK SITE IN A CLEAN AND ORDERLY MANNER AND ALLOW FOR SAFE USE OF PREMISES BY THE OWNER AND VISITORS.
- 4. EACH PRIME CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, SITE SAFETY, EROSION AND SEDIMENTATION CONTROL AND COORDINATING WITH THE WORK OF OTHER TRADES.
- GENERAL CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE OWNER PRIOR TO PROCEEDING WITH THE WORK.
- 6. ALL REFUSE SHALL BE THE RESPONSIBILITY OF EACH PRIME CONTRACTOR AND SHALL BE PROPERLY DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- SKILLED WORKERS: EACH PRIME CONTRACTOR SHALL PROVIDE WORKERS EXPERIENCED IN THE TRADES AND ACTIVITIES TO BE PERFORMED AND BE FAMILIAR WITH THE PRODUCTS, MATERIALS, AND FINISHES INVOLVED IN THE SCOPE OF WORK OF THIS PROJECT.
- EACH PRIME CONTRACTOR SHALL PATCH ALL DISTURBED AREAS TO MATCH EXISTING, AND REPAIR OR REPLACE ANY DAMAGE TO THE SITE CAUSED BY CONSTRUCTION.
- GENERAL CONTRACTOR SHALL PLAN THE SCHEDULE OF ACTIVITIES TO MAINTAIN THE SECURITY OF THE BUILDING THROUGHOUT THE CONSTRUCTION PROCESS. GENERAL CONTRACTOR SHALL LOCK AND SECURE PROJECT AREA AT THE END OF EACH WORK
- 10. GENERAL CONTRACTOR TO ENSURE THAT ALL WORK AREAS, INCLUDING THOSE ON ROOFS, SHALL BE IN COMPLIANCE WITH OSHA STANDARDS AND REQUIREMENTS, INCLUDING ANY FLAGGING, TIE-OFFS, AND TEMPORARY BARRIERS.
- 11. THE OWNER RESERVES THE RIGHT TO KEEP ANY ITEMS REMOVED AS SCHEDULED IN THE DOCUMENTS FOR REMOVAL.

LATEST ISSUE	
DATE	
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9/3/2024	ARCHITECTS
9/3/2024	/(()
9/26/24	ARCHITECTURAL DESIGN

PROJECT DRAWING LIST

NAME

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SECOND FLOOR LIFE SAFETY PLAN

ACCESSIBILITY AND CODE DETAILS

ACCESSIBILITY AND CODE DETAILS

CODE SUMMARY

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SIGNAGE DETAILS

SIGNAGE DETAILS

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C-004 E&S CONTROL PLAN

AS-1 ARCHITECTURAL SITE PLAN & DETAILS

AS-101 SITE LOGISTICS PLAN

C-005 CONSTRUCTION DETAILS

GRADING & DRAINAGE PLAN

AD-1 ARCHITECTURAL DEMOLITION & ABATEMENT PLANS

AD-102 SECOND FLOOR DEMOLITION PLAN

AD-101 FIRST FLOOR DEMOLITION PLAN

FIRST FLOOR PLAN

A-201 DEMOLITION ELEVATIONS

BUILDING SECTIONS

WALL SECTIONS

ELEVATIONS

A-405 CASEWORK DETAILS

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A-707 FINISHES SCHEDULE

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M MECHANICAL DRAWINGS

E ELECTRICAL DRAWINGS

P PLUMBING DRAWINGS

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A-701 FIRST FLOOR REFLECTED CEILING PLAN

A-702 FIRST FLOOR REFLECTED CEILING PLAN

FIRST FLOOR FINISH PLAN

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MECHANICAL FIRST FLOOR DEMOLITION

MECHANICAL FIRST FLOOR NEW WORK

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E-12 ELECTRICAL LIGHTING SCHEDULE AND DETAILS B01

ELECTRICAL SECOND FLOOR POWER &

ELECTRICAL FIRST FLOOR MECH POWER

MECHANICAL SCHEDULES

MECHANICAL SCHEDULES

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E-4 ELECTRICAL FIRST FLOOR LIGHTING E-5 ELECTRICAL SECOND FLOOR LIGHTING

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E-14 ELECTRICAL PANEL SCHEDULES

P-1 PLUMBING LEGEND AND NOTES

P-8 PLUMBING SCHEDULES

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FP FIRE PROTECTION DRAWINGS

E-15 ELECTRICAL SINGLE LINE DIAGRAM

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P-7 PLUMBING SECOND FLOOR WATER & GAS

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SECOND FLOOR PLAN

EXISTING ATTIC ROOF PLAN

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FIRST FLOOR PARTITION PLAN

PROPOSED ADDITION ROOF PLAN

SECOND FLOOR PARTITION PLAN

CONFERENCE ROOM INTERIOR ELEVATIONS

CAUCUS ROOM DETAILS AND INTERIOR

PARTITION SCHEDULE, NOTES & DETAILS

DOOR HARDWARE AND WINDOW SCHED

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CURRENT LATEST ISSUE LATEST

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CODE ANALYSIS HISTORIC PRESERVATION

WYOMISSING, PA 19610 610.376.4927 www.MG-Architects.com

PROJECT #: 23-0047.0

PROFESSIONAL SEAL

SCOTT O. GRAHAM AIA, LEED AP BD+C. ScottG@MG-Architects.com

OWER POTTSGROVE TW 2199 BUCHERT ROAD

POTTSTOWN, PA 19646 610-310-1759 ccaggiano1@gmail.com

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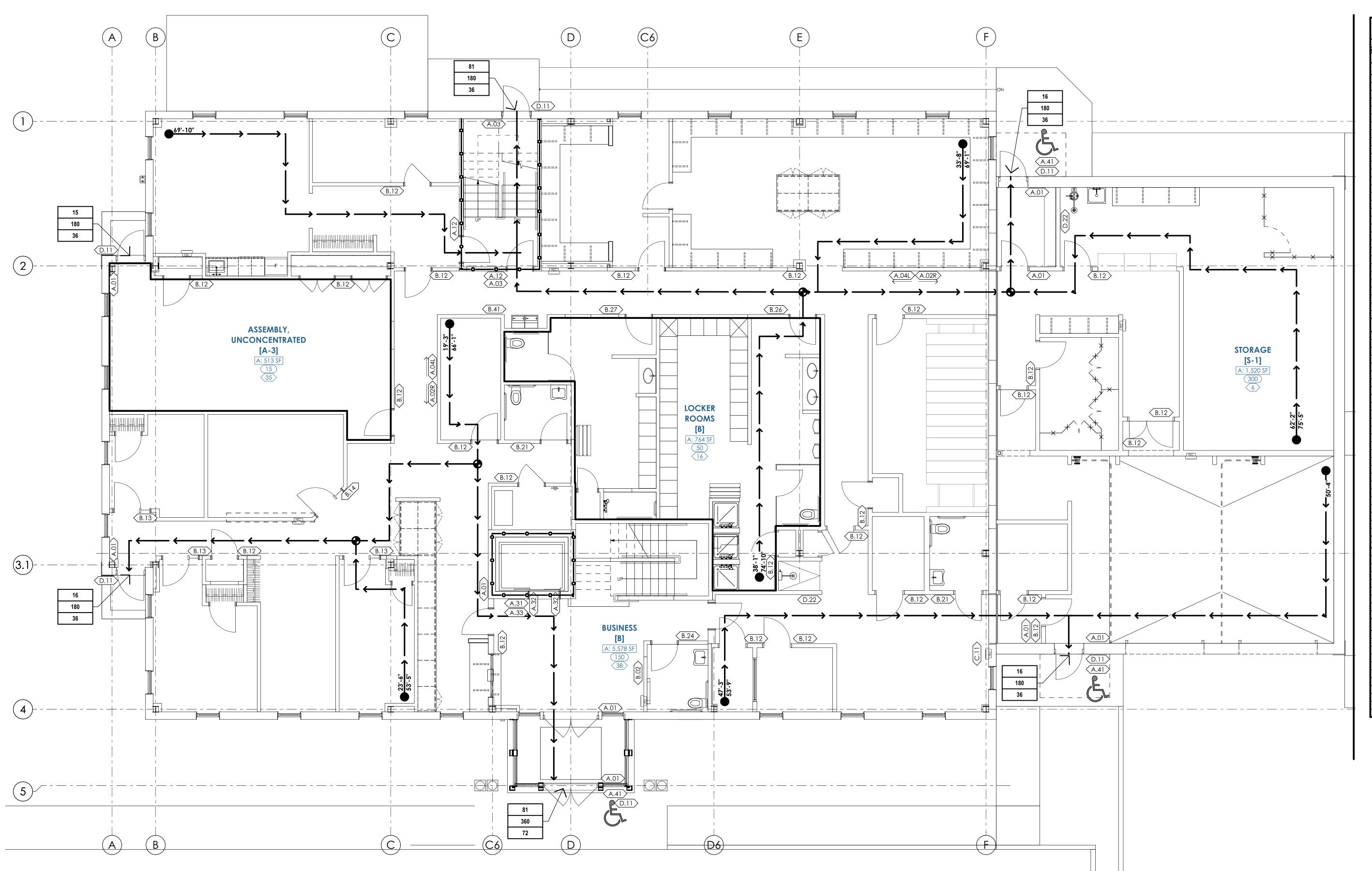
	CONSTRUCTION DOCUMENTS REVISION HISTORY									
ID	DESCRIPTION	DATE								
B00	ISSUED FOR BID/PERMIT	9/3/2024								
B01	ADDENDUM 3 REVISIONS	9/20/202								
B02	ADDENDUM 4 REVISIONS	9/26/24								
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SHEET TITLE:

GENERAL INFORMATION



FIRST FLOOR LIFE SAFETY PLAN

SCALE: 3/16" = 1'-0"

23-0047.0_Lower Pottsgrove Municipal Bldg_DD | BIMcloud: MGA-DATA - BIMcloud Basic for Archicad 27/23-0047.0_Lower Pottsgrove Municipal Bldg_DD | 9/26/2024 | 4:50 PM

APPLICABLE CODES: IBC 2018, IFC 2018, ICC A117.1 - 2017, ADA 2010, OSHA STD. 1910 SIGN TYPE SIGN DESCRIPTION CODE REFERENCE TACTILE TEXT & PICTOGRAMS													
SIGN TYPE ID				PICTOGRAMS									
A - LIFE	SAFETY & EGRESS												
A.01	ACCESSIBLE EXIT	IFC 1013.4	YES	ISA									
A.02L	ACC. EXIT ACCESS, DIRECTIONAL, LEFT	IFC 1013.5	YES	ISA, LEFT ARROW									
A.02R	ACC. EXIT ACCESS, DIRECTIONAL, RIGHT	IFC 1013.6	YES	ISA, RIGHT ARROW									
A.02B	ACC. EXIT ACCESS, DIRECTIONAL, BOTH	IFC 1013.7	YES	ISA, R/L ARROW									
A.03	NON-ACCESSIBLE EXIT	IFC 1009.10	YES	NON-ISA									
A.04L	NON-ACC. EXIT, DIRECTIONAL, LEFT	IFC 1009.10	YES	NON-ISA, LEFT ARROV									
A.04R	NON-ACC. EXIT, DIRECTIONAL, RIGHT	IFC 1009.10	YES	NON-ISA, RIGHT ARRO									
A.04B	NON-ACC. EXIT, DIRECTIONAL, BOTH	IFC 1009.10	YES	NON-ISA									
A.05	NOT AN EXIT	11 € 1007.10	YES	110111071									
A.06	DELAYED EMERGENCY EXIT	IBC 1010.1.9.8.1.6	NO NO										
A.07	FLOOR-LEVEL EXIT SIGN (R-10CC.)	IFC 1013.2	NO										
A.11	STAIR	11 0 1010.2	YES	STAIR									
A.12	EGRESS/EXIT STAIR	IFC 1013.4	YES	STAIRW/FIGURE									
A.12		IFC 1013.4	YES	STAR @ EGRESS LEVE									
	EGRESS/EXIT STAIR W/ ID & LEVEL INFORMATION			*******									
A.14L	EGRESS/EXIT STAIR, DIRECTIONAL, LEFT	IFC 1013.4	YES	STAIR, LEFT ARROW									
A.14R	EGRESS/EXIT STAIR, DIRECTIONAL, RIGHT	IFC 1013.4	YES	STAIR, RIGHT ARROW									
A.15	STAIR ID & LEVEL W/ ADDITIONAL INFO	IFC 1023.9	YES	STAIR @ EGRESS LEVE									
A.21	AREA OF REFUGE	IFC 1009.6	YES	ISA									
A.22L	AREA OF REFUGE, DIRECTIONAL, LEFT	IFC 1009.6	YES	ISA, LEFT ARROW									
A.22R	AREA OF REFUGE, DIRECTIONAL RIGHT	IFC 1009.6	YES	ISA, RIGHT ARROW									
A.23	AREA OF REFUGE, INSTRUCTIONS	IFC 1009.11	NO										
A.24	EXTERIOR AREA FOR ASS'D RESCUE	IFC 1009.7	YES	YES									
A.25	RESCUE ASSISTANCE INSTRUCTIONS	IFC 1009.11	NO										
A.31	ELEVATOR	0 100/.11	YES	ELEVATOR									
A.32	ELEVATOR FLOOR LEVEL (JAMB-MOUNTED)		YES	STAIR @ EGRESS LEVE									
A.32 A.33	IN CASE OF FIRE, DO NOT USE ELEVATOR	IBC 3002.3	YES	FIG. ON STAIR, FLAME									
A.41	ACCESSIBLE ENTRANCE	IBC 1111.1	NO	ISA LEET ADDOW									
A.42L	ACC. ENTRANCE, DIRECTIONAL, LEFT	IBC 1111.2	NO	ISA, LEFT ARROW									
A.42R A.43	ACC. ENTRANCE, DIRECTIONAL, RIGHT ACC. ENTRANCE DIRECTIONS	IBC 1111.2 IBC 1111.2	NO NO	ISA, RIGHT ARROW ISA									
7.40	ACC. ENTRANCE DIRECTIONS	100 1111.2	NO	1574									
	DING INFORMATION AND WAYFINDII		NO										
B.01	PREMISE IDENTIFICATION	IFC 505.1	NO										
B.02	BUILDING DIRECTORY		NO										
B.03	FLOOR DIRECTORY		NO										
B.04	FLOOR DIRECTORY, DIRECTIONAL		NO										
B.05	FLOOR PLAN/EVACUATION PLAN	IFC 404.2	NO										
B.06	OCCUPANT LOAD	IBC 1004.3	NO										
B.11	ROOM IDENTIFICATION - ID	ICC A117.1	YES										
B.12	ROOM IDENTIFICATION - ID & NAME	ICC A117.1	YES										
B.13	ROOM IDENTIFICTION - ID & 1XSTRIPINSERT	ICC A117.1	YES										
B.14	ROOM IDENTIFICATION - ID & 2XSTRIPINSERT	ICC A117.1	YES										
B.15	ROOM IDENTIFICATION - ID & 3XSTRIPINSERT	ICC A117.1	YES										
B.16	ROOM IDENTIFICATION - ID & 4XSTRIPINSERT	ICC A117.1	YES										
B.17	ROOM IDENTIFICATION - ID & FULL PAGE INSERT	ICC A117.1	YES										
B.21	ACCESSIBLE TOILET ROOM, UNISEX	IBC 2902.4	YES	ISA, M, F									
B.22	ACCESSIBLE TOILET ROOM, MEN	IBC 2702.4	YES	ISA, M									
B.23	ACCESSIBLE TOILET ROOM, MEIN ACCESSIBLE TOILET ROOM, WOMEN	IBC 2902.4	YES	ISA, W									
B.23 B.24	ACCESSIBLE FOILET ROOM, WOMEN ACCESSIBLE FAMILY TOILET ROOM	IBC 2902.4	YES	ISA, M/F w/ CHILD, BAI									
B.25	ACC. TOILET ROOM W/SHOWER	IBC 2902.4 IBC 2902.4	YES	ISA, M, F, SHOWER									
B.26	ACCESSIBLE LOCKER ROOM, MEN		YES	ISA, M									
B.27	ACCESSIBLE LOCKER ROOM, WOMEN	IBC 2902.4	YES	ISA, W									
B.31	NON-ACC. TOILET ROOM w/SHOWER	IBC 2902.4	YES	M, F									
B.32	NON-ACC. TOILET ROOM, UNISEX	IBC 2902.4	YES	<u>M</u>									
B.33	NON-ACC. TOILET ROOM, MEN	IBC 2902.4	YES	F									
B.34	DIRECTIONS TO ACC. TOILET ROOM	IBC 2902.4.1	YES										
B.41	DRINKING FOUNTAIN		YES	DRINKING FOUNTAIN									
B.42	BABY CHANGING STATION SAFETY		YES	BABY CHANGING									
C - FIRE	FIRE DOOR - KEEP CLOSED	IFC 705.2.2	NO										
C.02	FIRE DOOR - DO NOT BLOCK	IFC 705.2.2	NO										
C.11	FIRE EQUIPMENT CABINET	IFC 905.7	NO										
C.12	FIRE EXTINGUISHER LOCATION	IFC 906.6	NO										
C.21	AUTOMATIC SPRINKLERS	IFC 912.5	NO										
C.22	STANDPIPE(S)	IFC 912.5	NO										
C.23	TEST CONNECTION	IFC 912.5	NO										
C.31	RATED BARRIER	IBC 703.7	NO										
D - MIS	L CELLANEOUS / SITE SIGNAGE												
D.01	INTERNATIONAL SYMBOL OF ACCESSIBILITY	ICC A117.1	NO	ISA									
D.01	INTERN'L SYMBOL OF ACCESS FOR HEARING LOSS	ICC A117.1	NO	ISD									
		ICC A117.1											
D.03	INTERNAT'L SYMBOL OF TTY		NO	ISTTY									
D.11	NO SMOKING	IFC 310.3	NO	NO SMOKING									
	NO SMOKING BEYOND THIS POINT	IFC 310.3	NO	NO SMOKING									
D.12		ı	NO	EYEWASH									
D.21	EMERGENCY EYE WASH												
D.21 D.22	EMERGENCY SHOWER/EYEWASH		NO	EYEWASH/SHOWER									
D.21				EYEWASH/SHOWER AS APPLICABLE									
D.21 D.22	EMERGENCY SHOWER/EYEWASH	ICC A117.1	NO	,									

GENERAL SIGNAGE NOTES

- ALL SIGNS SHALL FOLLOW THE REQUIREMENTS SET FORTH IN THE REFERENCED CODES AND SECTIONS. ALL ACCESSIBLE SIGNAGE TEXT, COLORS, PICTOGRAMS/SYMBOLS, AND BRAILLE SHALL CONFORM TO THE
- REQUIREMENTS OF THE 2017 ICC A117.1.
- GENERAL CONTRACTOR SHALL VERIFY ALL SIGNAGE QUANTITIES AND LOCATIONS. REFER TO THE LIFE SAFETY AND/OR SIGNAGE PLANS FOR SIGN LOCATIONS. GENERAL CONTRACTOR SHALL VERIFY/CONFIRM FINAL LOCATIONS OF ALL SIGNS PER CODE REQUIREMENTS
- AND THE AUTHORITY HAVING JURISDICTION. SIGNAGE FOR RATED BARRIERS SHALL BE LOCATED WITHIN 15 FEET OF THE END OF EACH WALL OR PARTITION, AND SPACED AT INTERVALS NOT EXCEEDING 30 FEET ALONG THE LENGTH OF THE WALL OR PARTITION. THE

LETTERING SHALL NOT BE LESS THAN 3" IN HEIGHT WITH A MINIMUM OF 3/8-INCH STROKE IN A

- CONTRASTING COLOR. 7. ALL SIGNAGE INDICATED FOR INSTALLATION ON GLAZED SURFACES TO BE PROVIDED WITH MATCHING BACK
 - PLATE TO BE INSTALLED ON OPPOSITE SIDE OF GLAZING. ALL TEXT SHALL COMPLY WITH VISUAL CHARACTER REQUIREMENTS OF ICC A117.1 UNLESS EXEMPTED.
- EXIT SIGNS LOCATED IN EXIT ACCESS CORRIDORS OR EXIT PASSAGEWAYS SHALL BE INSTALLED NO FURTHER

ROOM IDs/NUMBERS AND PERMANENT ROOM INFORMATION TEXT SHALL ALWAYS BE RAISED/TACTILE.

THAN 100' FROM NEAREST VISIBLE EXIT SIGN. PICTOGRAMS AND NON-PERMANENT ROOM IDENTIFICATION TEXT ARE NOT REQUIRED TO BE RAISED/TACTILE.

REVISION NOTE

SIGN TYPES C-11 AND C-12 REMOVED. THESE WILL BE INTEGRAL TO THE FIRE EXTINGUISHER CABINETS. SIGNS A.13 & A.15 REMOVED FROM ALL LOCATIONS

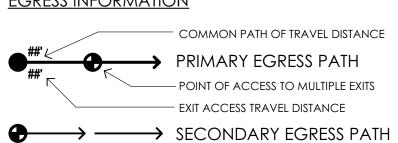
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GENERAL LIFE SAFETY NOTES

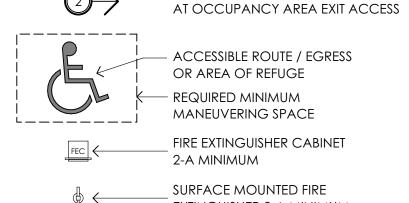
- 1. ALL RATED CONSTRUCTION TO RECEIVE MARKINGS / IDENTIFICATIONS IN CONCEALED AREAS PER IBC 703.7.
- NEW DOOR OPENINGS AND WALL ASSEMBLY FIRE-RESISTANCE RATINGS SHOWN ON PLANS REFLECT ONLY CODE MINIMUMS PER IBC 2018 CH. 7 AND OTHER REFERENCED SECTIONS. EXISTING CONSTRUCTION MAY EXCEED THESE MINIMUMS. EXISTING DOOR RATINGS SHOWN ARE PER FIELD-OBSERVED CONDITIONS AND, IN ALL CASES, MEET OR EXCEED CODE MINIMUMS.
- GENERAL CONTRACTORS SHALL VERIFY CONTINUITY AND COMPLETENESS OF EXISTING CONSTRUCTION INDICATED AS FIRE-RESISTANCE RATED, AND NOTIFY ARCHITECT OF ANY DISCREPANCY OR DISRUPTION TO PROTECT ENVELOPE.
- 4. SEE LIGHTING PLAN FOR ILLUMINATED EXIT SIGNS AND EMERGENCY LIGHTING.

LIFE SAFETY LEGEND

EGRESS INFORMATION



ROOM OR OCCUPANCY NAME — OCCUPANCY GROUP (IBC CH. 3) — OCCUPANCY AREA AREA (sf) PER OCCUPANT (IBC CH. 10) — CALCULATED OCCUPANCY LOAD SCHEDULED EGRESS LOAD



EXTINGUISHER 2-A MINIMUM <LOAD> ← — AGGREGATE EGRESS LOAD AT EXIT 180 — ALLOWABLE EGRESS LOAD 36 — CLEAR EGRESS WIDTH

ASSEMBLY FIRE RESISTANCE RATINGS ------ SMOKE PARTITION 30 MIN. FIRE-RATED

─── 60 MIN. FIRE-RATED

--00---00--- 120 MIN. FIRE-RATED



ARCHITECTURAL DESIGN INTERIOR DESIGN CODE ANALYSIS PLANNING SERVICES

REPORTS AND STUDIES ENGINEERING SERVICES HISTORIC PRESERVATION

1268 PENN AVENUE WYOMISSING, PA 19610 610.376.4927 www.MG-Architects.com

PROJECT #:

CONSTRUCTION DOCUMENTS REVISION HISTORY											
ID	DESCRIPTION	DATE									
B00	ISSUED FOR BID/PERMIT	9/3/2024									
B01	ADDENDUM 4 REVISIONS	9/26/24									

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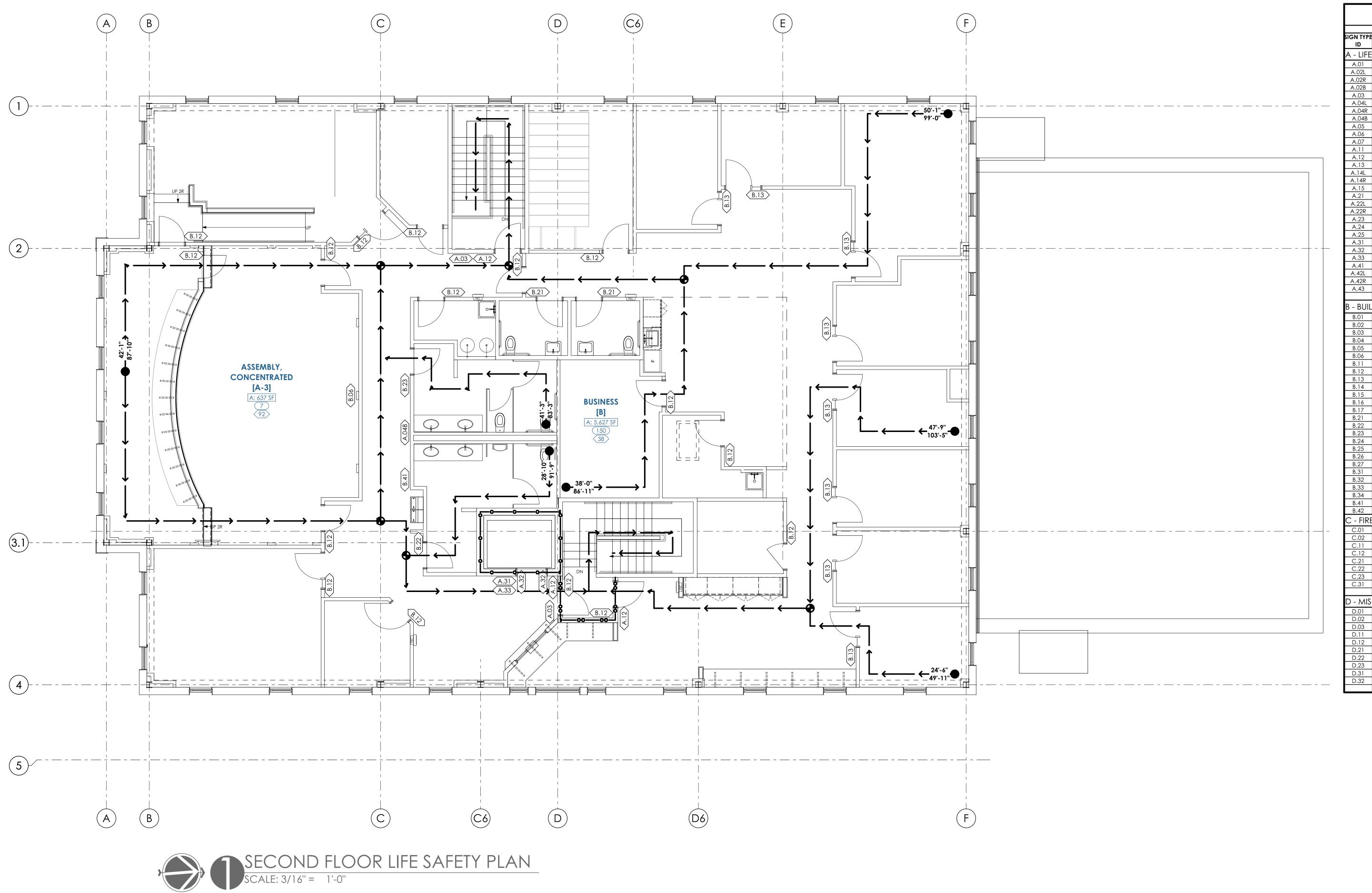
PROJ. MGR.: GRACE CAI, AIA e-MAIL: GRACEC@MG-ARCHITECTS.CO/ DRAWN BY: JNS, JMS CLIENT PROJ #: -

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pied or used in any form or manner except pursua CONTRACT OR WITH THE SPECIFIC WRITTEN PERMISSION G ARCHITECTS, LTD. THESE PLANS, DESIGNS AND SUBJEC ATTER ARE NOT TO BE REPRODUCED, CHANGED OR COPIED NY MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED ermission and consent of muhlenberg greei RCHITECTS, LTD. THIS DOCUMENT IS AN ARTICLE OF SERVICE AND THE COPYRIGHT AND OTHER PROPERTY RIGHTS A XPRESSLY RESERVED BY MG ARCHITECTS, LTD.

SHEET TITLE:

FIRST FLOOR LIFE



23-0047.0_Lower Pottsgrove Municipal Bldg_DD | BlMcloud: MGA-DATA - BlMcloud Basic for Archicad 27/23-0047.0_Lower Pottsgrove Municipal Bldg_DD | 9/26/2024 | 4:50 PM

	SIGN TYPI			CTD 1010	
GN TYPE	APPLICABLE CODES: IBC 2018, IFC 2018, SIGN DESCRIPTION		TACTILE TEXT &	STD. 1910 PICTOGRAMS	Ψ'
ID		CODE REFERENCE	BRAILLE	FICIOGRAMS	
	SAFETY & EGRESS	IFO 1010 /	\/F0	10.4	
A.01 A.02L	ACCESSIBLE EXIT ACC. EXIT ACCESS, DIRECTIONAL, LEFT	IFC 1013.4 IFC 1013.5	YES YES	ISA ISA, LEFT ARROW	
A.02R	ACC. EXIT ACCESS, DIRECTIONAL, RIGHT	IFC 1013.6	YES	ISA, RIGHT ARROW	
A.02B	ACC. EXIT ACCESS, DIRECTIONAL, BOTH	IFC 1013.7	YES	ISA, R/L ARROW	
A.03 A.04L	NON-ACCESSIBLE EXIT NON-ACC. EXIT, DIRECTIONAL, LEFT	IFC 1009.10 IFC 1009.10	YES YES	NON-ISA NON-ISA, LEFT ARROW	
A.04R	NON-ACC. EXIT, DIRECTIONAL, RIGHT	IFC 1009.10	YES	NON-ISA, RIGHT ARROW	ARCHITECT
A.04B	NON-ACC. EXIT, DIRECTIONAL, BOTH	IFC 1009.10	YES	NON-ISA	AKCIIIILCI
A.05 A.06	NOT AN EXIT DELAYED EMERGENCY EXIT	IBC 1010.1.9.8.1.6	YES NO		ARCHITECTURAL DES
A.07	FLOOR-LEVEL EXIT SIGN (R-10CC.)	IFC 1013.2	NO		INTERIOR DESIGN
A.11	STAIR	JEC 1010 4	YES	STAIR	CODE ANALYSIS
A.12 A.13	EGRESS/EXIT STAIR EGRESS/EXIT STAIR w/ ID & LEVEL INFORMATION	IFC 1013.4 IFC 1013.4	YES YES	STAIRW/FIGURE STAR @ EGRESS LEVEL	PLANNING SERVICE REPORTS AND STUDI
A.14L	EGRESS/EXIT STAIR, DIRECTIONAL, LEFT	IFC 1013.4	YES	STAIR, LEFT ARROW	ENGINEERING SERVIC
A.14R	EGRESS/EXIT STAIR, DIRECTIONAL, RIGHT	IFC 1013.4	YES	STAIR, RIGHT ARROW	HISTORIC PRESERVAT
A.15 A.21	STAIR ID & LEVEL W/ ADDITIONAL INFO AREA OF REFUGE	IFC 1023.9 IFC 1009.6	YES YES	STAIR @ EGRESS LEVEL ISA	10/0 DENIN AVENUE
A.22L	AREA OF REFUGE, DIRECTIONAL, LEFT	IFC 1009.6	YES	ISA, LEFT ARROW	1268 PENN AVENUE WYOMISSING, PA 196
A.22R	AREA OF REFUGE, DIRECTIONAL RIGHT	IFC 1009.6	YES	ISA, RIGHT ARROW	610.376.4927
A.23 A.24	AREA OF REFUGE, INSTRUCTIONS EXTERIOR AREA FOR ASS'D RESCUE	IFC 1009.11 IFC 1009.7	NO YES	YES	www.MG-Architects.c
A.25	RESCUE ASSISTANCE INSTRUCTIONS	IFC 1009.7	NO NO	I LV	
A.31	ELEVATOR		YES	ELEVATOR	PROJECT #:
A.32 A.33	ELEVATOR FLOOR LEVEL (JAMB-MOUNTED) IN CASE OF FIRE, DO NOT USE ELEVATOR	IBC 3002.3	YES YES	STAIR @ EGRESS LEVEL FIG. ON STAIR, FLAME	23-0047.0
A.41	ACCESSIBLE ENTRANCE	IBC 3002.3	NO	ISA	25-00-7.0
A.42L	ACC. ENTRANCE, DIRECTIONAL, LEFT	IBC 1111.2	NO	ISA, LEFT ARROW	Professional seal
4.42R A.43	ACC. ENTRANCE, DIRECTIONAL, RIGHT ACC. ENTRANCE DIRECTIONS	IBC 1111.2 IBC 1111.2	NO NO	ISA, RIGHT ARROW ISA	
A.43	ACC. ENTRAINCE DIRECTIONS	IBC TTTT.2	INO	IЗA	
- BUIL	DING INFORMATION AND WAYFINDII	NG			
B.01	PREMISE IDENTIFICATION	IFC 505.1	NO		
B.02	BUILDING DIRECTORY		NO		/
B.03 B.04	FLOOR DIRECTORY FLOOR DIRECTORY, DIRECTIONAL		NO NO		
B.05	FLOOR PLAN/EVACUATION PLAN	IFC 404.2	NO		/
B.06	OCCUPANT LOAD	IBC 1004.3	NO		
B.11 B.12	ROOM IDENTIFICATION - ID ROOM IDENTIFICATION - ID & NAME	ICC A117.1 ICC A117.1	YES YES		
B.13	ROOM IDENTIFICTION - ID & 1XSTRIPINSERT	ICC A117.1	YES		SCOTT O. GRAHAM AIA, LEED AP
B.14	ROOM IDENTIFICATION - ID & 2XSTRIPINSERT	ICC A117.1	YES		NCARB
B.15 B.16	ROOM IDENTIFICATION - ID & 3XSTRIPINSERT ROOM IDENTIFICATION - ID & 4XSTRIPINSERT	ICC A117.1 ICC A117.1	YES YES		ScottG@MG-Architects.com
B.17	ROOM IDENTIFICATION - ID & FULL PAGE INSERT	ICC A117.1	YES		
B.21	ACCESSIBLE TOILET ROOM, UNISEX	IBC 2902.4	YES	ISA, M, F	LOWER POTTSGROVE
B.22 B.23	ACCESSIBLE TOILET ROOM, MEN ACCESSIBLE TOILET ROOM, WOMEN	IBC 2902.4 IBC 2902.4	YES YES	ISA, M ISA, W	
	ACCESSIBLE FAMILY TOILET ROOM	IBC 2902.4	YES	ISA, M/F w/ CHILD, BABY	contact: CHRISTOPHER CAGGIA 2199 BUCHERT ROAD
B.24	ACC. TOILET ROOM w/SHOWER	IBC 2902.4	YES	ISA, M, F, SHOWER	POTTSTOWN, PA 19646
B.25		100 0000 1			
B.25 B.26	ACCESSIBLE LOCKER ROOM, MEN	IBC 2902.4	YES	ISA, M	610-310-1759
B.25		IBC 2902.4 IBC 2902.4 IBC 2902.4	YES YES YES	ISA, M ISA, W M, F	610-310-1759 ccaggiano1@gmail.com
B.25 B.26 B.27 B.31 B.32	ACCESSIBLE LOCKER ROOM, MEN ACCESSIBLE LOCKER ROOM, WOMEN NON-ACC. TOILET ROOM w/SHOWER NON-ACC. TOILET ROOM, UNISEX	IBC 2902.4 IBC 2902.4 IBC 2902.4	YES YES YES	ISA, W M, F M	
B.25 B.26 B.27 B.31 B.32 B.33	ACCESSIBLE LOCKER ROOM, MEN ACCESSIBLE LOCKER ROOM, WOMEN NON-ACC. TOILET ROOM w/SHOWER NON-ACC. TOILET ROOM, UNISEX NON-ACC. TOILET ROOM, MEN	IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4	YES YES YES YES	ISA, W M, F	
B.25 B.26 B.27 B.31 B.32 B.33 B.34	ACCESSIBLE LOCKER ROOM, MEN ACCESSIBLE LOCKER ROOM, WOMEN NON-ACC. TOILET ROOM w/SHOWER NON-ACC. TOILET ROOM, UNISEX NON-ACC. TOILET ROOM, MEN DIRECTIONS TO ACC. TOILET ROOM	IBC 2902.4 IBC 2902.4 IBC 2902.4	YES YES YES YES YES	ISA, W M, F M F	
B.25 B.26 B.27 B.31 B.32 B.33 B.34 B.41	ACCESSIBLE LOCKER ROOM, MEN ACCESSIBLE LOCKER ROOM, WOMEN NON-ACC. TOILET ROOM w/SHOWER NON-ACC. TOILET ROOM, UNISEX NON-ACC. TOILET ROOM, MEN	IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4	YES YES YES YES	ISA, W M, F M	
B.25 B.26 B.27 B.31 B.32 B.33 B.34 B.41 B.42	ACCESSIBLE LOCKER ROOM, MEN ACCESSIBLE LOCKER ROOM, WOMEN NON-ACC. TOILET ROOM W/SHOWER NON-ACC. TOILET ROOM, UNISEX NON-ACC. TOILET ROOM, MEN DIRECTIONS TO ACC. TOILET ROOM DRINKING FOUNTAIN	IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4	YES YES YES YES YES YES YES YES	ISA, W M, F M F DRINKING FOUNTAIN	
B.25 B.26 B.27 B.31 B.32 B.33 B.34 B.41 B.42 C.01	ACCESSIBLE LOCKER ROOM, MEN ACCESSIBLE LOCKER ROOM, WOMEN NON-ACC. TOILET ROOM W/SHOWER NON-ACC. TOILET ROOM, UNISEX NON-ACC. TOILET ROOM, MEN DIRECTIONS TO ACC. TOILET ROOM DRINKING FOUNTAIN BABY CHANGING STATION SAFETY FIRE DOOR - KEEP CLOSED	IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4.1	YES YES YES YES YES YES YES YES YES NO	ISA, W M, F M F DRINKING FOUNTAIN	
B.25 B.26 B.27 B.31 B.32 B.33 B.34 B.41 B.42 - FIRE C.01 C.02	ACCESSIBLE LOCKER ROOM, MEN ACCESSIBLE LOCKER ROOM, WOMEN NON-ACC. TOILET ROOM W/SHOWER NON-ACC. TOILET ROOM, UNISEX NON-ACC. TOILET ROOM, MEN DIRECTIONS TO ACC. TOILET ROOM DRINKING FOUNTAIN BABY CHANGING STATION E SAFETY FIRE DOOR - KEEP CLOSED FIRE DOOR - DO NOT BLOCK	IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4.1 IBC 2902.4.1	YES YES YES YES YES YES YES YES NO NO	ISA, W M, F M F DRINKING FOUNTAIN	
B.25 B.26 B.27 B.31 B.32 B.33 B.34 B.41 B.42 - FIRE C.01 C.02 C.11	ACCESSIBLE LOCKER ROOM, MEN ACCESSIBLE LOCKER ROOM, WOMEN NON-ACC. TOILET ROOM W/SHOWER NON-ACC. TOILET ROOM, UNISEX NON-ACC. TOILET ROOM, MEN DIRECTIONS TO ACC. TOILET ROOM DRINKING FOUNTAIN BABY CHANGING STATION SAFETY FIRE DOOR - KEEP CLOSED	IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4.1	YES YES YES YES YES YES YES YES YES NO	ISA, W M, F M F DRINKING FOUNTAIN	
B.25 B.26 B.27 B.31 B.32 B.33 B.34 B.41 B.42 - FIRE C.01 C.02 C.11 C.12	ACCESSIBLE LOCKER ROOM, MEN ACCESSIBLE LOCKER ROOM, WOMEN NON-ACC. TOILET ROOM W/SHOWER NON-ACC. TOILET ROOM, UNISEX NON-ACC. TOILET ROOM, MEN DIRECTIONS TO ACC. TOILET ROOM DRINKING FOUNTAIN BABY CHANGING STATION SAFETY FIRE DOOR - KEEP CLOSED FIRE DOOR - DO NOT BLOCK FIRE EQUIPMENT CABINET FIRE EXTINGUISHER LOCATION AUTOMATIC SPRINKLERS	IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4.1 IFC 705.2.2 IFC 705.2.2 IFC 905.7 IFC 906.6 IFC 912.5	YES YES YES YES YES YES YES YES NO NO	ISA, W M, F M F DRINKING FOUNTAIN	
B.25 B.26 B.27 B.31 B.32 B.33 B.34 B.41 B.42 - FIRE C.01 C.02 C.11 C.12 C.21	ACCESSIBLE LOCKER ROOM, MEN ACCESSIBLE LOCKER ROOM, WOMEN NON-ACC. TOILET ROOM W/SHOWER NON-ACC. TOILET ROOM, UNISEX NON-ACC. TOILET ROOM, MEN DIRECTIONS TO ACC. TOILET ROOM DRINKING FOUNTAIN BABY CHANGING STATION SAFETY FIRE DOOR - KEEP CLOSED FIRE DOOR - DO NOT BLOCK FIRE EQUIPMENT CABINET FIRE EXTINGUISHER LOCATION AUTOMATIC SPRINKLERS STANDPIPE(S)	IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4.1 IBC 2905.4 IBC 2905.4 IBC 2905.7 IFC 906.6 IFC 912.5 IFC 912.5	YES YES YES YES YES YES YES YES NO NO NO NO NO NO NO NO	ISA, W M, F M F DRINKING FOUNTAIN	
B.25 B.26 B.27 B.31 B.32 B.33 B.34 B.41 B.42 - FIRE C.01 C.02 C.11 C.12 C.21 C.22	ACCESSIBLE LOCKER ROOM, MEN ACCESSIBLE LOCKER ROOM, WOMEN NON-ACC. TOILET ROOM W/SHOWER NON-ACC. TOILET ROOM, UNISEX NON-ACC. TOILET ROOM, MEN DIRECTIONS TO ACC. TOILET ROOM DRINKING FOUNTAIN BABY CHANGING STATION SAFETY FIRE DOOR - KEEP CLOSED FIRE DOOR - DO NOT BLOCK FIRE EQUIPMENT CABINET FIRE EXTINGUISHER LOCATION AUTOMATIC SPRINKLERS	IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4.1 IFC 705.2.2 IFC 705.2.2 IFC 905.7 IFC 906.6 IFC 912.5 IFC 912.5 IFC 912.5	YES YES YES YES YES YES YES YES NO	ISA, W M, F M F DRINKING FOUNTAIN	Ccaggiano1@gmail.com
B.25 B.26 B.27 B.31 B.32 B.33 B.34 B.41 B.42 - FIRE C.01 C.02 C.11 C.12 C.21 C.22 C.23	ACCESSIBLE LOCKER ROOM, MEN ACCESSIBLE LOCKER ROOM, WOMEN NON-ACC. TOILET ROOM W/SHOWER NON-ACC. TOILET ROOM, UNISEX NON-ACC. TOILET ROOM, MEN DIRECTIONS TO ACC. TOILET ROOM DRINKING FOUNTAIN BABY CHANGING STATION SAFETY FIRE DOOR - KEEP CLOSED FIRE DOOR - DO NOT BLOCK FIRE EQUIPMENT CABINET FIRE EXTINGUISHER LOCATION AUTOMATIC SPRINKLERS STANDPIPE(S) TEST CONNECTION	IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4.1 IBC 2905.4 IBC 2905.4 IBC 2905.7 IFC 906.6 IFC 912.5 IFC 912.5	YES YES YES YES YES YES YES YES NO NO NO NO NO NO NO NO	ISA, W M, F M F DRINKING FOUNTAIN	Ccaggiano1@gmail.com
B.25 B.26 B.27 B.31 B.32 B.33 B.34 B.41 B.42 - FIRE C.01 C.02 C.11 C.12 C.21 C.21 C.22 C.23 C.31	ACCESSIBLE LOCKER ROOM, MEN ACCESSIBLE LOCKER ROOM, WOMEN NON-ACC. TOILET ROOM W/SHOWER NON-ACC. TOILET ROOM, UNISEX NON-ACC. TOILET ROOM, MEN DIRECTIONS TO ACC. TOILET ROOM DRINKING FOUNTAIN BABY CHANGING STATION SAFETY FIRE DOOR - KEEP CLOSED FIRE DOOR - DO NOT BLOCK FIRE EQUIPMENT CABINET FIRE EXTINGUISHER LOCATION AUTOMATIC SPRINKLERS STANDPIPE(S) TEST CONNECTION	IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4.1 IFC 705.2.2 IFC 705.2.2 IFC 905.7 IFC 906.6 IFC 912.5 IFC 912.5 IFC 912.5	YES YES YES YES YES YES YES YES NO	ISA, W M, F M F DRINKING FOUNTAIN	
B.25 B.26 B.27 B.31 B.32 B.33 B.34 B.41 B.42 C.01 C.02 C.11 C.12 C.21 C.21 C.21 C.23 C.31 - MIS D.01	ACCESSIBLE LOCKER ROOM, MEN ACCESSIBLE LOCKER ROOM, WOMEN NON-ACC. TOILET ROOM W/SHOWER NON-ACC. TOILET ROOM, UNISEX NON-ACC. TOILET ROOM, MEN DIRECTIONS TO ACC. TOILET ROOM DRINKING FOUNTAIN BABY CHANGING STATION SAFETY FIRE DOOR - KEEP CLOSED FIRE DOOR - DO NOT BLOCK FIRE EQUIPMENT CABINET FIRE EXTINGUISHER LOCATION AUTOMATIC SPRINKLERS STANDPIPE(S) TEST CONNECTION RATED BARRIER CELLANEOUS / SITE SIGNAGE INTERNATIONAL SYMBOL OF ACCESSIBILITY	IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4.1 IFC 705.2.2 IFC 705.2.2 IFC 905.7 IFC 906.6 IFC 912.5 IFC 912.5 IFC 912.5 IFC 913.7	YES YES YES YES YES YES YES YES NO	ISA, W M, F M F DRINKING FOUNTAIN BABY CHANGING	Ccaggiano1@gmail.com
B.25 B.26 B.27 B.31 B.32 B.33 B.34 B.41 B.42 C.01 C.02 C.11 C.12 C.21 C.21 C.22 C.23 C.31 - MIS D.01 D.02	ACCESSIBLE LOCKER ROOM, MEN ACCESSIBLE LOCKER ROOM, WOMEN NON-ACC. TOILET ROOM W/SHOWER NON-ACC. TOILET ROOM, UNISEX NON-ACC. TOILET ROOM, MEN DIRECTIONS TO ACC. TOILET ROOM DRINKING FOUNTAIN BABY CHANGING STATION SAFETY FIRE DOOR - KEEP CLOSED FIRE DOOR - DO NOT BLOCK FIRE EQUIPMENT CABINET FIRE EXTINGUISHER LOCATION AUTOMATIC SPRINKLERS STANDPIPE(S) TEST CONNECTION RATED BARRIER CELLANEOUS / SITE SIGNAGE INTERNATIONAL SYMBOL OF ACCESSIBILITY INTERN'L SYMBOL OF ACCESS FOR HEARING LOSS	IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4.1 IFC 705.2.2 IFC 705.2.2 IFC 905.7 IFC 906.6 IFC 912.5 IFC 912.5 IFC 912.5 IFC 912.5 IFC 912.1	YES YES YES YES YES YES YES YES NO	ISA, W M, F M F DRINKING FOUNTAIN BABY CHANGING ISA ISD	Ccaggiano1@gmail.com
B.25 B.26 B.27 B.31 B.32 B.33 B.34 B.41 B.42 C.01 C.02 C.11 C.02 C.11 C.12 C.21 C.21 C.21 C.22 C.23 C.31 D.01 D.02 D.03	ACCESSIBLE LOCKER ROOM, MEN ACCESSIBLE LOCKER ROOM, WOMEN NON-ACC. TOILET ROOM W/SHOWER NON-ACC. TOILET ROOM, UNISEX NON-ACC. TOILET ROOM, MEN DIRECTIONS TO ACC. TOILET ROOM DRINKING FOUNTAIN BABY CHANGING STATION SAFETY FIRE DOOR - KEEP CLOSED FIRE DOOR - DO NOT BLOCK FIRE EQUIPMENT CABINET FIRE EXTINGUISHER LOCATION AUTOMATIC SPRINKLERS STANDPIPE(S) TEST CONNECTION RATED BARRIER CELLANEOUS / SITE SIGNAGE INTERNATIONAL SYMBOL OF ACCESSIBILITY	IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4.1 IFC 705.2.2 IFC 705.2.2 IFC 905.7 IFC 906.6 IFC 912.5 IFC 912.5 IFC 912.5 IFC 917.5 IFC 918.5 IFC	YES YES YES YES YES YES YES YES NO	ISA, W M, F M F DRINKING FOUNTAIN BABY CHANGING	Ccaggiano1@gmail.com
B.25 B.26 B.27 B.31 B.32 B.33 B.34 B.41 B.42 C.01 C.02 C.11 C.12 C.21 C.22 C.23 C.31 - MIS D.01 D.02 D.03 D.11 D.12	ACCESSIBLE LOCKER ROOM, MEN ACCESSIBLE LOCKER ROOM, WOMEN NON-ACC. TOILET ROOM W/SHOWER NON-ACC. TOILET ROOM, UNISEX NON-ACC. TOILET ROOM, MEN DIRECTIONS TO ACC. TOILET ROOM DRINKING FOUNTAIN BABY CHANGING STATION E SAFETY FIRE DOOR - KEEP CLOSED FIRE DOOR - DO NOT BLOCK FIRE EQUIPMENT CABINET FIRE EXTINGUISHER LOCATION AUTOMATIC SPRINKLERS STANDPIPE(S) TEST CONNECTION RATED BARRIER CELLANEOUS / SITE SIGNAGE INTERNATIONAL SYMBOL OF ACCESSIBILITY INTERN'L SYMBOL OF ACCESS FOR HEARING LOSS INTERNAT'L SYMBOL OF TIY NO SMOKING NO SMOKING BEYOND THIS POINT	IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4.1 IFC 705.2.2 IFC 705.2.2 IFC 905.7 IFC 906.6 IFC 912.5 IFC 912.5 IFC 912.5 IFC 912.5 IFC 912.1	YES	ISA, W M, F M F DRINKING FOUNTAIN BABY CHANGING ISA ISD ISTTY NO SMOKING NO SMOKING	Ccaggiano1@gmail.com
B.25 B.26 B.27 B.31 B.32 B.33 B.34 B.41 B.42 C.01 C.02 C.11 C.12 C.21 C.22 C.23 C.31 - MIS D.01 D.02 D.03 D.11 D.12 D.21	ACCESSIBLE LOCKER ROOM, MEN ACCESSIBLE LOCKER ROOM, WOMEN NON-ACC. TOILET ROOM W/SHOWER NON-ACC. TOILET ROOM, UNISEX NON-ACC. TOILET ROOM, MEN DIRECTIONS TO ACC. TOILET ROOM DRINKING FOUNTAIN BABY CHANGING STATION SAFETY FIRE DOOR - KEEP CLOSED FIRE DOOR - DO NOT BLOCK FIRE EQUIPMENT CABINET FIRE EXTINGUISHER LOCATION AUTOMATIC SPRINKLERS STANDPIPE(S) TEST CONNECTION RATED BARRIER CELLANEOUS / SITE SIGNAGE INTERNATIONAL SYMBOL OF ACCESSIBILITY INTERN'L SYMBOL OF ACCESS FOR HEARING LOSS INTERNAT'L SYMBOL OF TTY NO SMOKING NO SMOKING BEYOND THIS POINT EMERGENCY EYE WASH	IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4.1 IFC 705.2.2 IFC 705.2.2 IFC 905.7 IFC 906.6 IFC 912.5 IFC 912.5 IFC 912.5 IFC 912.5 IFC 911.5 IFC 912.5 IFC 912.5 IFC 912.5 IFC 912.5 IFC 912.5 IFC 913.7	YES	ISA, W M, F M F DRINKING FOUNTAIN BABY CHANGING ISA ISD ISTTY NO SMOKING NO SMOKING EYEWASH	Ccaggiano1@gmail.com
B.25 B.26 B.27 B.31 B.32 B.33 B.34 B.41 B.42 C-FIRE C.01 C.02 C.11 C.12 C.21 C.22 C.23 C.31 - MIS D.01 D.02 D.03 D.11 D.12 D.21 D.21 D.22	ACCESSIBLE LOCKER ROOM, MEN ACCESSIBLE LOCKER ROOM, WOMEN NON-ACC. TOILET ROOM W/SHOWER NON-ACC. TOILET ROOM, UNISEX NON-ACC. TOILET ROOM, MEN DIRECTIONS TO ACC. TOILET ROOM DRINKING FOUNTAIN BABY CHANGING STATION SAFETY FIRE DOOR - KEEP CLOSED FIRE DOOR - DO NOT BLOCK FIRE EQUIPMENT CABINET FIRE EXTINGUISHER LOCATION AUTOMATIC SPRINKLERS STANDPIPE(S) TEST CONNECTION RATED BARRIER CELLANEOUS / SITE SIGNAGE INTERNATIONAL SYMBOL OF ACCESSIBILITY INTERN'L SYMBOL OF ACCESS FOR HEARING LOSS INTERNAT'L SYMBOL OF TTY NO SMOKING NO SMOKING BEYOND THIS POINT EMERGENCY EYE WASH EMERGENCY SHOWER/EYEWASH	IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4.1 IFC 705.2.2 IFC 705.2.2 IFC 905.7 IFC 906.6 IFC 912.5 IFC 912.5 IFC 912.5 IFC 912.5 IFC 911.5 IFC 912.5 IFC 912.5 IFC 912.5 IFC 912.5 IFC 912.5 IFC 913.7	YES	ISA, W M, F M F DRINKING FOUNTAIN BABY CHANGING ISA ISD ISTTY NO SMOKING NO SMOKING EYEWASH EYEWASH/SHOWER	ROVE TWP VE MUNICIPAL ICE STATION OWN, PA 19464
B.25 B.26 B.27 B.31 B.32 B.33 B.34 B.41 B.42 C - FIRE C.01 C.02 C.11 C.12 C.21 C.22 C.23 C.31	ACCESSIBLE LOCKER ROOM, MEN ACCESSIBLE LOCKER ROOM, WOMEN NON-ACC. TOILET ROOM W/SHOWER NON-ACC. TOILET ROOM, UNISEX NON-ACC. TOILET ROOM, MEN DIRECTIONS TO ACC. TOILET ROOM DRINKING FOUNTAIN BABY CHANGING STATION SAFETY FIRE DOOR - KEEP CLOSED FIRE DOOR - DO NOT BLOCK FIRE EQUIPMENT CABINET FIRE EXTINGUISHER LOCATION AUTOMATIC SPRINKLERS STANDPIPE(S) TEST CONNECTION RATED BARRIER CELLANEOUS / SITE SIGNAGE INTERNATIONAL SYMBOL OF ACCESSIBILITY INTERN'L SYMBOL OF ACCESS FOR HEARING LOSS INTERNAT'L SYMBOL OF TTY NO SMOKING NO SMOKING BEYOND THIS POINT EMERGENCY EYE WASH	IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4 IBC 2902.4.1 IFC 705.2.2 IFC 705.2.2 IFC 905.7 IFC 906.6 IFC 912.5 IFC 912.5 IFC 912.5 IFC 912.5 IFC 911.5 IFC 912.5 IFC 912.5 IFC 912.5 IFC 912.5 IFC 912.5 IFC 913.7	YES	ISA, W M, F M F DRINKING FOUNTAIN BABY CHANGING ISA ISD ISTTY NO SMOKING NO SMOKING EYEWASH	Ccaggiano1@gmail.com

CONSTRUCTION DOCUMENTS REVISION HISTORY

ADDENDUM 4 REVISIONS

PROJ. MGR.: GRACE CAI, AIA

DRAWN BY: JNS, JMS

CLIENT PROJ #: -

-MAIL: GRACEC@MG-ARCHITECTS.CC

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SHEET TITLE:

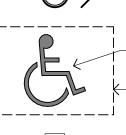
SECOND FLOOR

LIFE SAFETY LEGEND

EGRESS INFORMATION

COMMON PATH OF TRAVEL DISTANCE — POINT OF ACCESS TO MULTIPLE EXITS — EXIT ACCESS TRAVEL DISTANCE ◆ SECONDARY EGRESS PATH

> — OCCUPANCY GROUP (IBC CH. 3) — OCCUPANCY AREA - AREA (sf) PER OCCUPANT (IBC CH. 10) — CALCULATED OCCUPANCY LOAD SCHEDULED EGRESS LOAD AT OCCUPANCY AREA EXIT ACCESS



- ACCESSIBLE ROUTE / EGRESS OR AREA OF REFUGE - REQUIRED MINIMUM MANEUVERING SPACE

FIRE EXTINGUISHER CABINET

2-A MINIMUM SURFACE MOUNTED FIRE

EXTINGUISHER 2-A MINIMUM — AGGREGATE EGRESS LOAD AT EXIT 180 – ALLOWABLE EGRESS LOAD **√** 36 € — CLEAR EGRESS WIDTH

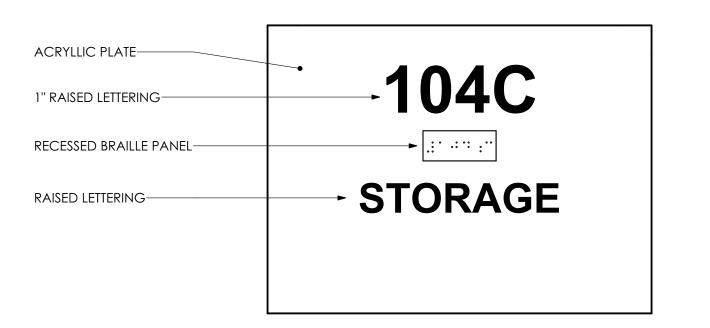
ASSEMBLY FIRE RESISTANCE RATINGS ----- SMOKE PARTITION **—I—I** 30 MIN. FIRE-RATED

-•--• 60 MIN. FIRE-RATED

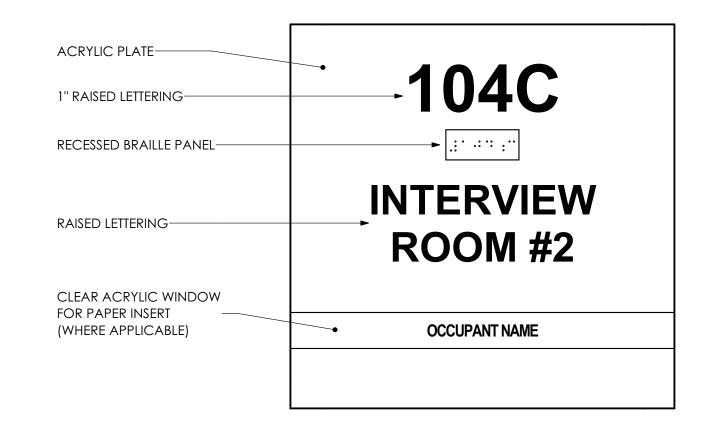
REVISION NOTE

1. SIGN TYPES C-11 AND C-12 REMOVED. THESE WILL BE INTEGRAL TO THE FIRE EXTINGUISHER CABINETS. 2. SIGNS A.13 & A.15 REMOVED FROM ALL LOCATIONS. Luciani de la constitución de la

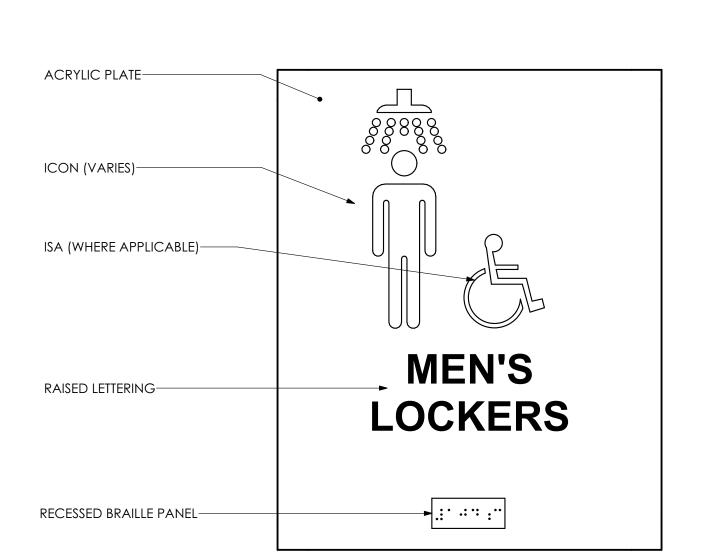
m

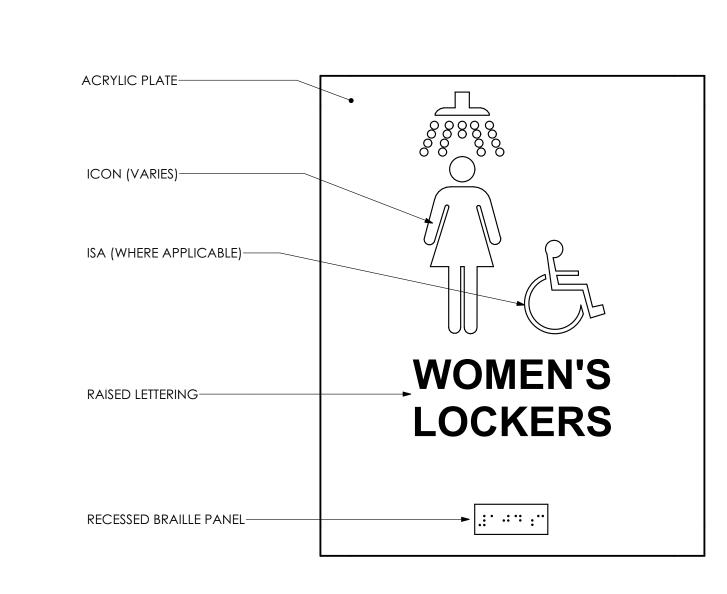


TYPE B.12

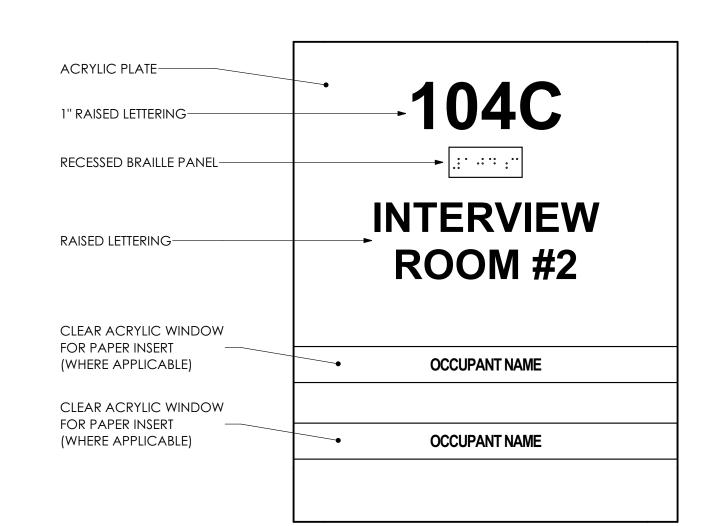


TYPE B.13





 \mathcal{M} **MAXIMUM OCCUPANCY** ### INFO PROVIDED BY ACRYLIC PLATE-**TYPE B.06**

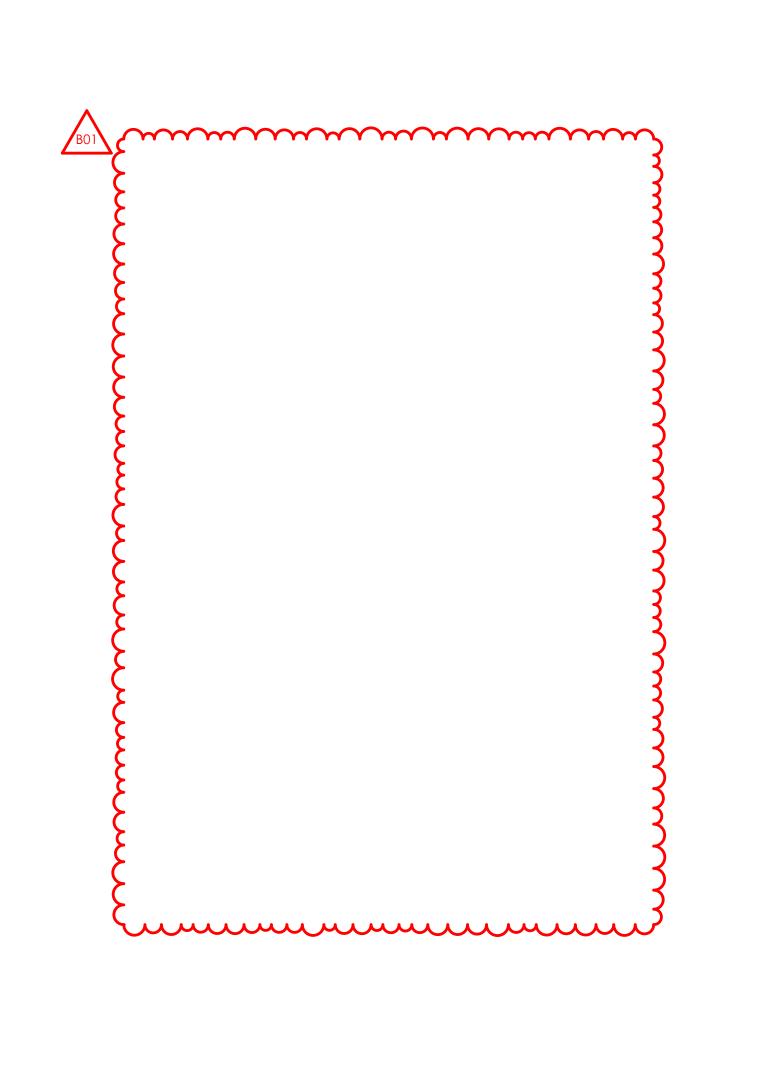


TYPE B.27 TYPE B.26

OWNER'S LOGO TO BE PROVIDED BY ARCHITECT **BUILDING DIRECTORY** FLOOR# OCCUPANT NAME FLOOR# OCCUPANT NAME **OCCUPANT NAME** FLOOR# FLOOR# OCCUPANT NAME OCCUPANT NAME FLOOR#

TYPE B.02

23-0047.0_Lower Pottsgrove Municipal Bldg_DD | BIMcloud: MGA-DATA - BIMcloud Basic for Archicad 27/23-0047.0_Lower Pottsgrove Municipal Bldg_DD | 9/26/2024 | 4:50 PM



TYPE B.14

SIGNAGE NOTES:

- 1. SEE SPECIFICATION SECTIONS 101423 PANEL SIGNAGE & 101423.16 ROOM IDENTIFICATION SIGNAGE.
- COLORS AND FONTS TO BE SELECTED FROM MANUFACTURER'S FULL NON-CUSTOM COLOR SELECTION. SEE SPECIFICATIONS. CHARACTERS AND SYMBOLS TO MEET REQUIREMENTS OF ICC A117.1 AND SHALL BE RAISED.
- 4. VECTOR-BASED GRAPHIC FOR OWNER'S LOGO (IF SPECIFIED) SHALL BE FURNISHED TO SIGN FABRICATOR.
- FINAL DESIGN SHALL BE COORDINATED WITH SIGNAGE FABRICATOR.
- 5. SEE SPECIFICATION 012100 "ALLOWANCES" FOR SIGNAGE TYPES TO BE INCLUDED IN ALLOWANCE.
- ALL SIGNAGE SHALL BE PLACED IN COMPLIANCE WITH DIRECTION OF AUTHORITY HAVING JURISDICTION AND/OR ICC
- 7. SIGN WIDTHS SHALL NOT BE LESS THAN 6 INCHES. SIGN HEIGHT SHALL BE AS REQUIRED TO COMPLY WITH APPLICABLE CODE

STANDARDS FOR LETTERING, CHARACTER AND BRAILLE HEIGHTS. FINAL SIZING TO BE APPROVED BY ARCHITECT. **BUILDING DIRECTORY SIGN (TYPE B.02)**

A. PROVIDE ALUMINUM-FRAMED DIRECTORY SIGN WITH LOGO/TEXT HEADER (TO BE PROVIDED BY ARCHITECT). PROVIDE UP TO EIGHT REMOVABLE, ENGRAVED PANELS WITH DEPARTMENT NAMES & DIRECTIONAL INFORMATION.

C. FINAL DESIGN AND COLOR TO BE SELECTED BY ARCHITECT.



PLANNING SERVICES HISTORIC PRESERVATION

WYOMISSING, PA 19610 610.376.4927 www.MG-Architects.com

PROJECT #:

PROFESSIONAL SEAL

SCOTT O. GRAHAM AIA, LEED AP BD+C, NCARB ScottG@MG-Architects.com

LOWER POTTSGROVE TW 2199 BUCHERT ROAD POTTSTOWN, PA 19646 610-310-1759 ccaggiano1@gmail.com

MUNIC

CONSTRUCTION DOCUMENTS

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SIGNAGE DETAILS

							FRAME DATA		R SCHEDULE	DOOR				_ _			_ 	
DOOR NUMBER	ROOM NAME	FIRE-SMOKE RESISTANCE RATING	OPENING WIDTH	OPENING HEIGHT	HANDING	ELEVATION	MATERIAL		ELEVATION			GLAZING	THRESHOLD/ SADDLE	SET NO.	HEAD	JAMB	SILL	REMARKS
			3'-4"	2'-7 25/64"						1 37/64"								DOOR LEAFS TO BE RE-ALIGNED;
100.1	VEST	-	6'-0''	6'-8"	EXIST	EXISTING	EXISTING	-	FG	2 1/4"	ALUM	SG-P	-	E02	-	-	-	REPAINT. REMOVE EXTERIOR PULL HANDLE FROM LEFT LEAF AND PROVID STAINLESS STEEL PLUGS/COVERS DOOR LEAFS TO BE RE-ALIGNED;
100.2	VEST	-	6'-0"	6'-8"	EXIST	existing	EXISTING	-	FG	2 1/4"	ALUM	-	- TDANISITION STRIP.	E01	-	-	-	REPAINT. REMOVE EXTERIOR PULL HANDLE FROM LEFT LEAF AND PROVID STAINLESS STEEL PLUGS/COVERS
102.1	EXIST T.R.	-	3'-0"	7'-0''	RH	F2	НМ	-	F	1 3/4"	WD	-	TRANSITION STRIP; ALUM.	M11	3/A-601	3/A-601	-	UNDERCUT DOOR 3/4"
103.1	RECEPT	-	3'-0"	7'-0''	LH	F2	HM	-	N	1 3/4"	WD-B	B.3	TRANSITION STRIP; ALUM.	M26	2/A-601	2/A-601	-	BALLISTIC-RESISTANT DOOR; UL LVL. 3
105.1	T.R.	-	3'-0"	7'-0"	RH RHR	F2	HM	-	F	1 3/4"	WD	-	TRANSITION STRIP; ALUM.	M21	3/A-601	3/A-601	-	UNDERCUT DOOR 3/4"
106.1	HALL HALL	-	3'-0" 3'-0"	7'-0'' 7'-0''	RHR	F2 EXISTING	HM EXISTING	-	F F	1 3/4"	WD STL-INSUL	-	THRESHOLD;	M01 M14	3/A-601 -	3/A-601 -	-	NEW DOOR IN EXISTING FRAME;
106.3	HALL	-	3'-0"	7'-0''	LHR	-	НМ	-	F	1 3/4"	EXISTING	-	STAINLESS STEEL -	E03	-	-	-	REFURBISH FRAME AS REQ'D. VIF; MODIFY EX. DOOR AS REQ'D.; STAIN TO MATCH TYP.
107.1	SOFT INT	-	3'-0"	7'-0''	LH	F2	НМ	-	N	1 3/4"	WD	T	- TRANSITION STRIP,	M09	3/A-601	3/A-601	-	-
108.1	LIEUT	-	3'-0" 2'-4"	7'-0'' 7'-0''	RH	F4 F2	HM HM	T -	FG F	1 3/4"	WD WD	T -	RUBBER -	M08 S01	3/A-601	3/A-601 3/A-601	-	-
109.1	DETECTIVES	-	3'-0"	7'-0''	LH	F4	НМ	Т	FG	1 3/4"	WD	Т	TRANSITION STRIP, RUBBER	M08	3/A-601	3/A-601	-	-
111.1	DETECTIVE \$GT	-	3'-0"	7'-0''	LH	F4	НМ	Т	FG	1 3/4"	WD	Т	TRANSITION STRIP, RUBBER	M08	3/A-601	3/A-601	-	-
111.2 112.1	DETECTIVE SGT CHIEF	-	3'-0" 3'-0"	7'-0'' 7'-0''	LHR RH	F2 F4	HM HM	-	F FG	1 3/4" 1 3/4"	WD WD	-	- TRANSITION STRIP,	S01 M08	3/A-601 3/A-601	3/A-601 3/A-601	-	-
112.1	CHIEF	-	3'-0"	7'-0"	RHR	F2	HM	-	F	1 3/4"	WD	-	RUBBER -	S01	3/A-601	3/A-601	-	-
113.1	HALL	-	3'-0"	7'-0''	RH	F2	НМ	-	N	1 3/4"	WD	Т	-	M19	3/A-601	3/A-601	-	NEW DOOR AND FRAME IN EXISTING R.O.
114.1 114.2	TRAINING ROOM TRAINING ROOM		3'-0" 3'-0"	7'-0'' 7'-0''	LH LHR	F2 F2	HM HM	-	FG F	1 3/4" 1 3/4"	WD WD		-	M09 S01	3/A-601 3/A-601	3/A-601 3/A-601	-	
114.3	TRAINING ROOM	-	4'-0"	7'-0"	LRA	-	existing	-	-	1 3/4"	existing	-	-	E06	-	-	-	VIF; MODIFY EX. DOOR AS REQ'D.; STAIN TO MATCH TYP.
114.4	TRAINING ROOM	-	4'-0''	7'-0"	LRA	-	EXISTING	-	-	1 3/4"	EXISTING	-	- THRESHOLD;	E06	-	-	-	VIF; MODIFY EX. DOOR AS REQ'D.; STAIN TO MATCH TYP. NEW DOOR IN EXISTING FRAME;
114.5	TRAINING ROOM	-	3'-0"	7'-0''	LHR	EXISTING	EXISTING	-	F	2"	STL-INSUL	-	STAINLESS STEEL	M14	-	-	-	REFURBISH FRAME AS REQ'D. VIF; MODIFY EX. DOOR AS REQ'D.;
117.1	MECH / ELECT. ROOM PATROL SGTS	-	3'-0"	7'-0'' 7'-0''	RH RH	- F2	EXISTING HM	-	- FG	1 3/4"	EXISTING WD	- T	-	E04 M08	- 3/A-601	- 3/A-601	-	STAIN TO MATCH TYP.
118.2	PATROL SGTS	-	3'-0"	7'-0''	LH	F2	HM	-	FG	1 3/4"	WD	T	- TRANSITION STRIP;	M08	3/A-601	3/A-601	-	-
119.1	WOMEN'S LOCKER ROOM WOMEN'S LOCKER ROOM	-	3'-0'' 2'-4''	7'-0'' 7'-0''	LH RHR	F2 -	HM HM	-	F -	1 3/4"	WD WD	-	ALUM.	G02 S01	3/A-601 -	3/A-601	-	-
121.1	MEN'S LOCKER ROOM	-	3'-0"	7'-0''	LH	F2	НМ	-	F	1 3/4"	WD	-	TRANSITION STRIP; ALUM.	G02	3/A-601	3/A-601	-	-
121.2 122.1	MEN'S LOCKER ROOM FILE STORAGE		2'-8" 3'-0"	7'-0'' 7'-0''	RHR RH	F1 F1	HM HM	-	F N	1 3/4" 1 3/4"	WD WD	- T	-	S01 M10	2/A-601 2/A-601	2/A-601 2/A-601	-	-
123.1 125.1	HALL PROCESSING		3'-0" 3'-0"	7'-0'' 7'-0''	LHR RH	F1 F1	HM HM	-	F N	1 3/4" 1 3/4"	WD STL	- T	- 602	M01 M33	2/A-601	2/A-601		-
125.1 125.2	PROCESSING PROCESSING		3'-0" 2'-8"	7'-0'' 7'-0''	RHR RHR	F1 F1	HM HM	-	F F	1 3/4" 1 3/4"	STL STL		- ^	M03 M01	2/A-601 2/A-601	2/A-601 2/A-601	-	-
125.3 125.4	PROCESSING PROCESSING	-	3'-0" 3'-0"	7'-0'' 7'-0''	LH RHR	F1 F1	HM HM	-	F N	1 3/4" 1 3/4"	WD-B STL	- T	- 802	M33 M05	2/A-601	2/A-601	-	BALLISTIC-RESISTANT DOOR; UL LVL. 3
125.5 125.6	PROCESSING PROCESSING		3'-0" 3'-0"	7'-0'' 7'-0''	LHR RHR	F1 F1	HM HM	-	N F	1 3/4" 1 3/4"	STL STL	T -	-	M20 M04	2/A-601 2/A-601	2/A-601 2/A-601	-	- UNDERCUT DOOR 3/4"
125.7	PROCESSING EVIDENCE PROCESSING	-	3'-0" 3'-0"	7'-0'' 7'-0''	LHR RHR	F1	HM HM	-	FG.1	1 3/4"	STL STL	T	TRANSITION STRIP;	M20 M16	2/A-601 2/A-601	2/A-601 2/A-601	-	-
132.2	VEST	-	3'-0"	7'-0''	RHR	F1	HM; INSUL	-	FG.1	2"	STL-INSUL	ISG.1-R	ALUM. THRESHOLD; STAINLESS STEEL	M15	TBD	TBD	4/A-504	-
133.1 134.1	ARMORY EVIDENCE STORAGE	-	3'-0'' 3'-0''	7'-0'' 7'-0''	LH LH	F1 F1	HM HM	-	N N	1 3/4"	STL STL	T	- - - 21AIINLE32 21EEL	M24 M24	2/A-601 2/A-601	2/A-601 2/A-601	-	-
135.1	STORAGE	-	3'-0"	7'-0"	RH	F1	HM	-	N	1 3/4"	STL	T	TRANSITION STRIP;	M29	2/A-601	2/A-601	-	-
137.1	SALLY PORT	-	3'-0"	7'-0''	RHR	F1	НМ	-	N	1 3/4"	STL	Т	TRANSITION STRIP;	M28	2/A-601	2/A-601	-	-
137.2	SALLY PORT	-	3'-0"	7'-0''	RHR	F1	HM; INSUL	-	FG.1	2"	STL-INSUL	ISG.1-R	THRESHOLD; STAINLESS STEEL	M06	TBD	TBD	4/A-504	-
137.3 137.4	SALLY PORT SALLY PORT	-	9'-0'' 9'-0''	9'-0'' 9'-0''	OH-COIL OH-COIL	-	-	-	OH OH	1 3/4" 1 3/4"	STL-INSUL STL-INSUL		-	G01 G01	TBD TBD	TBD TBD	TBD TBD	-
137.5	SALLY PORT	-	5'-0"	7'-0"	RHRA	F1	НМ	-	N.1	1 3/4"	STL	Т	TRANSITION STRIP; ALUM.	M30	2/A-601	2/A-601	-	-
201.1	LOBBY	-	3'-0"	7'-0"	RHR	F6	НМ	Т	FG	1 3/4"	WD	Т	TRANSITION STRIP; ALUM.	M07	4/A-601	4/A-601	-	-
202.1	SMALL MEETING	-	3'-0"	7'-0''	RH	-	existing	-	-	1 3/4"	existing	-	-	M12	-	-	-	VIF; MODIFY EX. DOOR AS REQ'D.; STAIN TO MATCH TYP.
203.1	MEN'S T.R.	-	3'-0"	7'-0''	RH	F2	НМ	-	F	1 3/4"	WD	-	TRANSITION STRIP; ALUM.	M23	3/A-601	3/A-601	-	-
204.1	CONFERENCE ROOM	-	3'-0"	7'-0''	RH	F3	НМ	Т	FG	1 3/4"	WD	Т	TRANSITION STRIP; ALUM.	M07	4/A-601	4/A-601	-	-
205.1	HALL	-	3'-0"	7'-0''	LHR	F6	НМ	Т	FG	1 3/4"	WD	Т	TRANSITION STRIP; ALUM.	M07	4/A-601	4/A-601	-	-
205.1	STORAGE HALL	-	3'-0"	7'-0'' 7'-0''	RH RHR	F2 F3	HM HM	SG-P	N FG	1 3/4"	WD WD	SG-P	TRANSITION STRIP;	M22 M07	3/A-601 4/A-601	3/A-601 4/A-601	-	-
205.3	HALL	-	3'-0''	7'-0''	RH	F2	HM	-	F	1 3/4"	WD	-	ALUM.	M18	3/A-601	3/A-601	-	-
205.4	HALL CAUCUS	-	3'-0"	7'-0'' 6'-8''	RHR RHR	F2 F2	HM HM	-	N WP	1 3/4"	WD WD	SG-P	-	M25 M02	3/A-601 4/A-601	3/A-601 4/A-601	-	WOOD TRIMS ON BOTH SIDES OF DOC
209.1	CUSTODIAL	-	3'-0"	7'-0''	RH	F2	HM	-	F	1 3/4"	WD	-	TRANSITION STRIP;	M22	3/A-601	3/A-601	-	FRAME -
213.1	ADA T.R.	-	3'-0"	7'-0''	LH	F2	HM	_	F	1 3/4"	WD	-	ALUM. TRANSITION STRIP; ALUM.	M21	3/A-601	3/A-601	-	UNDERCUT DOOR 3/4"
214.1	FINANCE DIRECTOR	-	3'-0"	7'-0''	LH	F5	HM	T	FG	1 3/4"	WD	T	TRANSITION STRIP;	M08	3/A-601	3/A-601	-	-
215.1	ADA T.R. ASSISTANT TOWNSHIP MANAGER	-	3'-0"	7'-0'' 7'-0''	RH LH	F2 F4	HM HM	- T	F FG	1 3/4"	WD WD	- T	ALUM.	M21 M08	3/A-601 3/A-601	3/A-601 3/A-601	-	UNDERCUT DOOR 3/4"
218.1 219.1	TOWNSHIP MANAGER STORAGE	-	3'-0" 3'-0"	7'-0'' 7'-0''	RH RH	F4 F2	HM HM	T -	FG F	1 3/4"	WD WD	T -	-	M08 M22	3/A-601 3/A-601	3/A-601 3/A-601	-	-
220.1 221.1	CODE ELEC./MAINT.	-	3'-0" 3'-0"	7'-0'' 7'-0''	RH RH	F4 F2	HM HM		FG F	1 3/4"	WD WD		- BO2	M08 M22	3/A-601 3/A-601	3/A-601 3/A-601	- -	-
222.1	ASSISTANT CODE	-	3'-0''	7'-0''	LH	F4	HM	Т	FG	1 3/4"	WD	Т	TRANSITION STRIP;	M08	3/A-601	3/A-601	-	-
222.1	WOMEN'S T.R. EMERG MANAG COORD	-	3'-0"	7'-0'' 7'-0''	LH RH	F2 F3	HM HM	- T	F FG	1 3/4"	WD	- T	ALUM.	M23 M08	3/A-601	3/A-601 3/A-601	-	-
225.1	IT ROOM	-	3'-0"	7'-0"	LH	-	EXISTING	-	-	1 3/4"	EXISTING	-	-	E05	-		-	VIF; MODIFY EX. DOOR & FRAME AS REQ'D.; STAIN TO MATCH TYP.
226.1 227.1	FIRE MARSHALL OPEN OFFICE	-	3'-0" 3'-0"	7'-0'' 7'-0''	LH LHR	F4 F4	HM HM	T	FG FG	1 3/4" 1 3/4"	WD WD	T	-	M08 M08	3/A-601 3/A-601	3/A-601 3/A-601	-	-
227.1	OPEN OFFICE	90 MIN	3'-0"	7'-0''	LH	F2	НМ	-	N	1 3/4"	STL-B	F.90; B.3	- ^	M27	-	-	-	BALLISTIC-RESISTANT DOOR; UL LVL. 3; FIRE-RATED
ST1-2.1 ST2-1.1	STAIR 1 STAIR 2	90 MIN 90 MIN	3'-0" 3'-0"	7'-0'' 7'-0''	LHR LHR	F2 F2	HM HM		N N	1 3/4" 1 3/4"	STL STL	F.90 F.90	- 802	M32 M17	3/A-601 3/A-601	3/A-601 3/A-601	-	-
	STAIR 2	90 MIN	3'-0''	7'-0"	LHR	F2	HM	-	N	1 3/4"	STL	F.90	-	M31	3/A-601	3/A-601	-	-
ST2-1.2 ST2-1.3	STAIR 2	_	3'-0''	7'-0''	RHR	existing	EXISTING	_	FG.1	2"	STL-INSUL	ISG.1	THRESHOLD;	M06				NEW DOOR IN EXISTING FRAME;

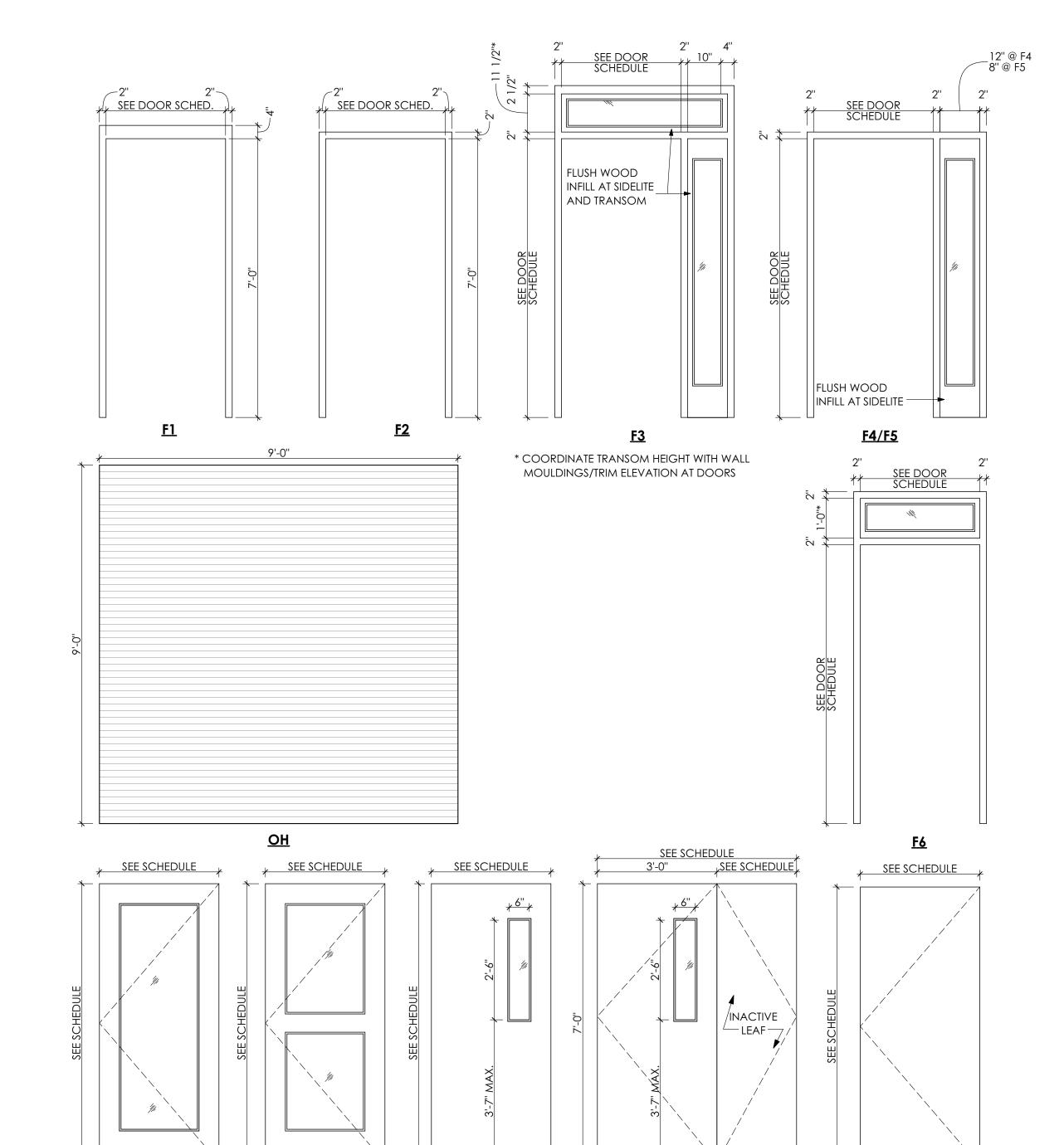
DOOR SCHEDULE

DOOR AND HARDWARE NOTES

- EXISTING DOORS INDICATED TO REMAIN (TYPICALLY DEPICTED SWINGING OPEN TO 45 DEGREES) REQUIRE MODIFICATION OR REFURBISHMENT INCLUDING NEW HARDWARE. SUCH REFURBISHMENT SHALL BE AS FOLLOWS:
- EXISTING FRAMES (INCLUDING THOSE SCHEDULED TO RECEIVE NEW DOORS):
 - CLEAN, PATCH AND RE-PAINT EXISTING FRAMES (2 COATS) PER FINISHES SCHEDULE.
 - INSTALL PATCH PLATES AS REQUIRED TO MODIFY FRAME: WHERE APPLICABLE, INSTALL WIRING FOR NEW ELECTRONIC HARDWARE AND MODIFY FOR POSITION SWITCHES.
- EXISTING FLUSH WOOD DOORS:
 - REMOVE ALL HARDWARE AND ACCESSORIES. SAND, PATCH & STAIN WOOD FINISH TO MATCH NEW TYPICAL STAIN AND CLEAR COAT FINISH.
- MODIFY DOOR AS REQUIRED FOR NEW HARDWARE. INSTALL ALL NEW HARDWARE AND ACCESSORES NOTED IN HARDWARE SCHEDULE.
- 4. ACCESS CONTROL AND ELECTRONIC HARDWARE: SEE ACCESS CONTROL NARRATIVE IN SPEC SECTION 011200 "MULTIPLE CONTRACT SUMMARY" FOR ASSIGNMENT AND COORDINATION OF WORK FOR DOOR ACCESS CONTROLS.
- FAIL-SAFE AND FAIL-SECURE DESIGNATIONS ARE NOTED IN THE HARDWARE SCHEDULE. IN THE EVENT OF A POWER OUTAGE OR EMERGENCY ALARM CONDITION, DOOR HARDWARE DESIGNATED TO "FAIL-SAFE," DOORS SHALL PROVIDE FREE OPERATION IN EITHER DIRECTION; DOOR HARDWARE DESIGNATED TO "FAIL-SECURE" IS INTENDED TO PREVENT INGRESS FURTHER INTO BUILDING INTERIORS OR FREE CIRCULATION BETWEEN FLOORS WHERE NORMALLY RESTRICTED BY ACCESS CONTROL HARDWARE. "FAIL-SECURE" DOORS SHALL NOT PREVENT EGRESS FROM INTERIOR SPACES OUTWARD <u>UNLESS NOTED AS "BOTH SIDES"</u>. IF FURTHER DIRECTION IS REQUIRED, CONSULT THE ARCHITECT FOR DIRECTION.
- DOOR HANDINGS NOTED IN SCHEDULE SHALL BE INTERPRETED IN CONJUNCTION WITH DEPICTIONS OF THE DOOR SWINGS ON THE FLOOR PLAN.
- 7. CONTRACTOR TO VERIFY ALL EXISTING DOOR CONSTRUCTION SCHEDULED TO

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- 8. COAT HOOKS: PROVIDE ONE HOOK AT ALL "OFFICE" DOORS WITH ELEVATION TYPE 'F' OR 'N' OR VARIATIONS THEREOF.
- EXTERIOR HANDLES: ALL DOUBLE-LEAF DOORS OPENING INTO VESTIBULES OR TO THE EXTERIOR OF THE BUILDING TO HAVE EXTERIOR HANDLES ON ONE SIDE ONLY, TYPICALLY THE RIGHT-HAND LEAF ON THE PULL SIDE.



DOOR DETAILS SCALE: 1/2" = 1'-0" **DOOR MATERIAL LEGEND**

HOLLOW METAL (STEEL) DOOR INSULATED CORE, STEEL DOOR BULLET-RESISTANT STEEL DOOR, UL LEVEL 3

FLUSH WOOD DOOR BULLET-RESISTANT WOOD-VENEER DOOR, UL LEVEL 3

ALUMINUM-FRAMED DOOR BY ALUMINUM FRAME MANUFACTURER

THERMALLY-BROKEN, ALUMINUM-FRAMED DOOR

FIBER-REINFORCED POLYMER DOOR PLASTIC-LAMINATE-CLAD WOOD CORE DOOR

EXISTING DOOR TO REMAIN

LEFT HAND REVERSE

RIGHT HAND REVERSE

----- DOUBLE DOORS -----

LEFT/RIGHT ACTIVE

LEFT HAND ACTIVE

RIGHT HAND ACTIVE

LEFT HAND; DOUBLE ACTING

LEFT HAND REVERSE ACTIVE

RIGHT HAND REVERSE ACTIVE

LEFT/RIGHT DOUBLE EGRESS

EXISTING DOOR TO REMAIN

----- OTHER DOORS -----

CASED OPENING

LEFT HAND POCKET

RIGHT HAND POCKET

OH-COIL OVERHEAD COILING

OH-SECT OVERHEAD SECTIONAL

DUAL POCKET

LEFT BIFOLD

RIGHT BIFOLD

DUAL BIFOLD

TWO-LEAF BYPASS

THREE-LEAF BYPASS

SIDE-FOLDING DOOR

SIDE-FOLDING GRILLE

STACKING, MULTI-PANEL

CO

PCKT-R

PCKT-2

SF-GR STACK RIGHT HAND; DOUBLE ACTING

RIGHT HAND

DOOR HANDING LEGEND DOOR FRAME MATERIAL LEGEND

HOLLOW METAL (STEEL) ----- SINGLE DOORS -----

ALUM ALUMINUM BY STOREFRONT/CURTAINWALL MFR. LEFT HAND

DOOR PANEL TYPES I SPEC:

INSULATED/THERMALLY BROKEN AT EXTERIOR LOCATIONS

EXISTING DOOR TO REMAIN

GLAZING LEGEND

HEAT-STRENGTHENED MONOLITHIC GLASS, 1/4" THICK FULLY TEMPERED MONOLITHIC GLASS, 1/4" THICK

VISION-OBSCURING SATIN GLAZING.

LAMINATED SECURITY GLAZING, 3/8" THICK SG-M* LAMINATED SECURITY GLAZING, 3/8" THICK; ONE-WAY MIRRORED

LAMINATED SECURITY GLAZING, 3/8" THICK; VISION-OBSCURING GLAZING

-FLUSH BOLT

IG.1-R INSULATED LOW-e 72 GLAZING; REFLECTIVE SURFACE TREATMENT.

TEMPERED GLASS LITES. ISG.1-P INSULATED LOW-e 72, LAMINATED SECURITY GLAZING OUTDOOR LITE;

IG.1-RT INSULATED LOW-e 72 GLAZING; REFLECTIVE SURFACE TREATMENT w/

ISG.1-R INSULATED LOW-e 72, LAMINATED SECURITY GLAZING OUTDOOR LITE; REFLECTIVE SURFACE TREATMENT.

ISG.2-R INSULATED LOW-e 60, LAMINATED SECURITY GLAZING OUTDOOR LITE; REFLECTIVE SURFACE TREATMENT.

F.90* 90 MINUTE FIRE-RESISTANCE RATED GLAZING (D-H-90); 2-HR HORIZONTAL EXIT DOORS w/ GLAZING \leq 100 sq. in.

GLASS/POLYCARBONATE BALLISTICS-RESISTANT GLAZING; UL752 LVL. 3; IF NOTED AS "F.90", BALLISTIC GLAZING TO MEET ADDITIONAL REQUIREMENTS OF F.90 GLAZING.

NOTE: GLAZING TYPES NOTED WITH ASTERISK (*) ABOVE ARE TO BE FABRICATED TO MEET THE REQUIREMENTS FOR "SAFETY GLAZING" PER IBC SECTION 2406. ALL SAFETY GLAZING PANELS SHALL BE VISUALLY IDENTIFIABLE PER ANSI Z97.1 MARKING GUIDLINES OR OTHER MEANS ACCEPTABLE TO THE A.H.J.



PROJECT #: Professional seal

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CONSTRUCTION DOCUMENTS REVISION HISTORY

ROJ. MGR.: GRACE CAI, AIA -MAIL: GRACEC@MG-ARCHITECTS.C RAWN BY: JNS, JMS CLIENT PROJ #: -

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DOOR SCHEDULE

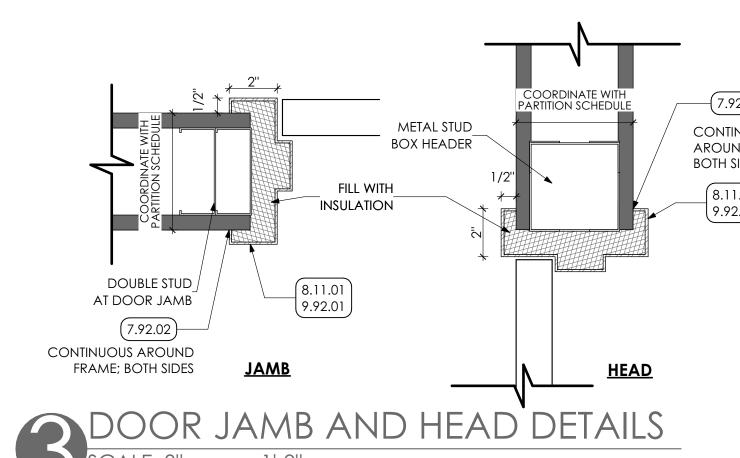
SHEET TITLE:

								DOOR HARDWA	RE SCHEDULE								
SET NO.	DOOR NUMBER	QTY	LOCK/LATCH FUNCTION	PREP	HARDWARE OUTSIDE	HARDWARE INSIDE	HINGE	ELECTRIC LOCK	CARD/KEY FOB READER	POSITION SWITCH	CLOSER	KICK PLATE	GASKET	STOP/ BUMPER	FLOOR SWEEP	ACCESSORY	DOOR HARDWARE NOTES
E01	100.2	1	PASSAGE	-	existing	existing	EXISTING	-	-	-	SURFACE, PARALLEL ARM	8; x 2 LDW	-	OH STOP	X		NEW HARDWARE ON EXISTING DOOR & FRAME
E02	100.1	1	ELECTRIC, FAIL SECURE	-	existing	EXIT DEVICE, CONCEALED VERT. RODS; EXISTING	EXISTING	HARDWIRED w/ XFER	YES	Х	SURFACE, PARALLEL ARM	-	-	OH STOP	Х	DOORBELL	NEW HARDWARE ON EXISTING DOOR & FRAME
E03	106.3	1	STOREROOM	SINGLE BORE	LEVER	LEVER	1.5 PAIR	-	-	-	-	-	-	-	-		NEW LOCKSET IN EXISTING DOOR
E04	117.1	1	STOREROOM	SINGLE BORE	LEVER	LEVER	1.5 PAIR	-	-	-	-	-	-	FLOOR STOP	-		NEW LOCKSET IN EXISTING DOOR
E05	225.1	1	STOREROOM	SINGLE BORE	LEVER	LEVER	1.5 PAIR	-	-	-	-	-	-	WALL STOP	-		NEW LOCKSET IN EXISTING DOOR
E06	114.3, 114.4	2	PASSAGE	SINGLE BORE	LEVER	LEVER	3 PAIR	-	-	-	-	-	-	-	-	REFURB. STRIKES	NEW LATCHSET IN EXISTING DOOR
G01	137.3, 137.4	2	KEYED CYLINDER	-	MFR. STD.	MFR. STD.		-	-	-	-	-	-	-	-		KEYED EXTERIOR CONTROL; NON-KEYED INTERIOR CONTROL; PROVIDE TWELVE (12) TRANSMITTERS; MANUAL DISABLE AND LOCK OPTION.
G02	121.1, 119.1	2	PASSAGE	-	PUSH PLATE	PULL PLATE	1.5 PAIR	-	-	-	-	-	-	WALL STOP	-		
M01 M02	106.1, 123.1, 125.2 208.1	3	STOREROOM STOREROOM	MORTISE MORTISE	LEVER LEVER	LEVER LEVER	1.5 PAIR 1.5 PAIR	-	-	-	-	-	<u>-</u> -	- FLOOR STOP	-		
M03	125.1	1	PASSAGE	MORTISE	LEVER	LEVER	1.5 PAIR	-	-	-	-	-	-	OH STOP	-		
M04	125.6	1	PRIVACY W/ OCC. INDICATOR	MORTISE	LEVER	LEVER	1.5 PAIR	_	_	_	SURFACE,	_	_	OH STOP	_		
		'							_		PARALLEL ARM	-	-		-		ALIV KEVED CVI NIDED CLITCIDE
M05	125.4	1	STOREROOM; KEYED CYLINDER	MORTISE	LEVER	LEVER	1.5 PAIR	- HARDWIRED w/	-	-	- SURFACE,	-	-	OH STOP	-		AUX. KEYED CYLINDER OUTSIDE
M06	ST2-1.3, 137.2	2	STOREROOM; ELECTRIC, FAIL SECURE	MORTISE	LEVER	EXIT DEVICE, MORTISE	1.5 PAIR	XFER	YES	X	PARALLEL ARM	-	-	OH STOP	X		
M07	205.2, 205.1, 204.1, 201.1	4	OFFICE	MORTISE	LEVER	LEVER	1.5 PAIR	HARDWIRED w/ XFER	YES	-	-	-	-	WALL STOP	-		
M08	227.1, 222.1, 220.1, 224.1, 226.1, 218.1, 214.1, 216.1, 112.1, 111.1, 109.1, 108.1, 118.1, 118.2	14	OFFICE	MORTISE	LEVER	LEVER	1.5 PAIR	-	-	-	-	-	-	WALL STOP	-		
M09	114.1, 107.1	2	PASSAGE	MORTISE	1	LEVER	1.5 PAIR	-	-	-	-	-	-	WALL STOP	-		
M10	122.1	1	STOREROOM PRIVACY WAS COLUMN OF A TOP	MORTISE	LEVER	LEVER	1.5 PAIR	-	-	-	-	-	-	WALL STOP	-		
M11 M12	102.1 202.1	1	PRIVACY W/ OCC. INDICATOR PASSAGE	MORTISE MORTISE	LEVER LEVER	LEVER LEVER	1.5 PAIR 1.5 PAIR	-	-	-	-	-	<u>-</u>	WALL STOP WALL STOP	-		VIF; MODIFY EX. DOOR AS REQ'D.
M14	106.2, 114.5	2	STOREROOM	MORTISE	LEVER	EXIT DEVICE, MORTISE	1.5 PAIR	-	-	X	SURFACE, PARALLEL ARM	-	-	WALL STOP	X		VIII, MODII I EX. DOOK AS KEQ D.
M15	132.2	1	STOREROOM; ELECTRIC, FAIL SECURE	MORTISE	LEVER	EXIT DEVICE, MORTISE	1.5 PAIR	HARDWIRED w/ XFER	YES	Х	SURFACE, PARALLEL ARM	-	-	WALL STOP	Х		
M16	131.1	1	PASSAGE	MORTISE	LEVER	LEVER	1.5 PAIR	-	-	-	SURFACE, PARALLEL ARM	-	-	WALL STOP	X		
M17	ST2-1.1	1	PASSAGE	MORTISE	LEVER	LEVER	1.5 PAIR	-	-	Х	SURFACE, PARALLEL ARM	-	X	WALL STOP	-		
M18	205.3	1	STOREROOM	MORTISE	LEVER	LEVER	1.5 PAIR	-	-	-	-	6; x 2 LDW	-	WALL STOP	-		
M19	113.1	1	ELECTRIC, FAIL SECURE	MORTISE	LEVER	LEVER	1.5 PAIR	HARDWIRED w/	YES	INTEGRAL	SURFACE, PARALLEL ARM	8; x 2 LDW	-	OH STOP	-		
M20	125.7, 125.5	2 802	ELECTRIC, FAIL SECURE, BOTH SIDES; STORE LOCK (KEY BOTH SIDES)	MORTISE	LEVER	LEVER	1.5 PAIR	HARDWIRED w/ XFER	YES, BOTH SIDES	INTEGRAL	- SURFACE,	8; x 2 LDW	-	OH STOP	-		
M21	213.1, 215.1, 105.1 221.1, 209.1, 219.1,	3	PRIVACY w/ OCC. INDICATOR	MORTISE	LEVER	LEVER	1.5 PAIR	-	-	-	PARALLEL ARM	8; x 2 LDW	-	WALL STOP	-		
M22	205.1	4	STOREROOM	MORTISE	LEVER	LEVER	1.5 PAIR	-	-	-	- SURFACE,	8; x 2 LDW	-	WALL STOP	-		
M23	222.1, 203.1	2	PASSAGE	MORTISE	LEVER	LEVER	1.5 PAIR	- HARDWIRED w/	-	-	PARALLEL ARM SURFACE,	8; x 2 LDW	-	WALL STOP	-		
M24	134.1, 133.1	2 802	STOREROOM; ELECTRIC, FAIL SECURE	MORTISE	LEVER	LEVER	1.5 PAIR	XFER HARDWIRED W/	YES	INTEGRAL	PARALLEL ARM SURFACE,	8; x 2 LDW	-	WALL STOP	-	DOORBELL, REMOTE UNLOCK	
M25	205.4	1 802	STOREROOM; ELECTRIC, FAIL SECURE	MORTISE	LEVER	LEVER	1.5 PAIR	XFER HARDWIRED w/	YES	INTEGRAL	PARALLEL ARM SURFACE,	8; x 2 LDW	-	WALL STOP	-	FROM ONE LOCATION DOORBELL, REMOTE UNLOCK	
M26	103.1	1	STOREROOM; ELECTRIC, FAIL SECURE	MORTISE	LEVER	LEVER	1.5 PAIR	XFER HARDWIRED w/	YES	INTEGRAL	PARALLEL ARM SURFACE,	8; x 2 LDW	-	WALL STOP	-	FROM UP TO 3 LOCATIONS DOORBELL, REMOTE UNLOCK	
M27	227.1	1	STOREROOM; ELECTRIC, FAIL SECURE ELECTRIC, FAIL SECURE, BOTH SIDES; STORE	MORTISE	LEVER	LEVER	1.5 PAIR	XFER HARDWIRED w/	YES	INTEGRAL	PARALLEL ARM SURFACE,	8; x 2 LDW	X	WALL STOP	-	FROM ONE LOCATION	
M28	137.1	1 602	LOCK (KEY BOTH SIDES)	MORTISE	LEVER	LEVER	1.5 PAIR	XFER HARDWIRED w/	YES	INTEGRAL	PARALLEL ARM SURFACE,	8; x 2 LDW	-	WALL STOP	X		
M29	135.1	1 1	STOREROOM; ELECTRIC, FAIL SECURE ELECTRIC, FAIL SECURE, BOTH SIDES; STORE	MORTISE	LEVER	LEVER	1.5 PAIR	XFER HARDWIRED w/	YES BOTH SIDES	INTEGRAL	PARALLEL ARM SURFACE,	8; x 2 LDW	-	WALL STOP	X	בן וופון פדסוערפ דפס	
M30 M31	137.5 ST2-1.2	1 802	LOCK (KEY BOTH SIDES) STOREROOM; ELECTRIC, FAIL SECURE	MORTISE	LEVER LEVER	LEVER LEVER	1.5 PAIR 1.5 PAIR	XFER HARDWIRED w/	YES, BOTH SIDES YES	INTEGRAL INTEGRAL	PARALLEL ARM SURFACE,	8; x 2 LDW 8; x 2 LDW	- 	WALL STOP	X	FLUSH STRIKES T&B	
M31 M32	\$12-1.2 \$T2-2.1, \$T1-2.1	2	PASSAGE	MORTISE	LEVER	EXIT DEVICE, MORTISE	1.5 PAIR 1.5 PAIR	XFER	-	X	PARALLEL ARM SURFACE,	8; x 2 LDW	^ X	WALL STOP	-		
M33	125.1, 125.3		ELECTRIC, FAIL SECURE, BOTH SIDES; STORE	MORTISE	LEVER	LEVER	1.5 PAIR	HARDWIRED W/	YES	INTEGRAL	PARALLEL ARM SURFACE,	8; x 2 LDW	-	WALL STOP	-		
S01	114.2, 111.2, 121.2,	,	LOCK (KEY BOTH SIDES) PASSAGE	SINGLE BORE	LEVER	LEVER	1.5 PAIR	XFER	_	_	PARALLEL ARM	_		WALL STOP			

OOR HARDWARE SCHEDULE COORDINATE FURRING TYPE AND SIDE WITH PARTITION PLANS -BULLNOSE CORNERS GROUT FRAME SOLID (4.22.05)(7.92.04) (7.92.02)— CONTINUOUS AROUND FRAME; **CONTINUOUS BOTH SIDES** AROUND FRAME; TOOTH NEW CMU INTO **BOTH SIDES** EXISTING PARTITION 9.92.01 DOOR JAMB AND HEAD DETAILS

SCALE: 3" = 1'-0"





BRICK MASONRY | SPEC 042000

CMU MASONRY | SPEC 042000

WOODS, PLASTICS AND COMPOSITES

THERMAL AND MOISTURE PROTECTION

THERMAL INSULATION | SPEC 072100

7.27.01 SELF-HEALING FLUID-APPLIED WATER RESISTANT AIR-BARRIER.

HOLLOW METAL DOORS AND FRAMES | SPEC

9.92.02 PREP AND PAINT 1 PRIMER COAT AND 2 FINISH COATS) ENTIRE WALL, UNLESS SPECIFIC WALLS NOTED OTHERWISE. PAINT ENTIRE

9.92.06 PREP AND PAINT (1 PRIMER COAT AND 2 FINISH COATS) ENTIRE

PREP, PRIME, PAINT (TWO (2) COATS) ENTIRE DOOR FRAME AND

WALL FROM FLOOR TO HARD CEILING 4" ABOVE CEILING GRID OR TO UNDERSIDE OF FLOOR DECK IN AREA OF EXPOSED CEILING.

COORDINATE WITH FINISH PLAN. WORK SHOULD INCLUDE ALL

WOOD TRIM, UNLESS NOTED OTHERWISE. COORDINATÉ WITH

FASTEN PER MANUFACTURER SPECS.

7.27 AIR BARRIERS | SPEC 072700

7.92.02 PROVIDE CONTINUOUS SEALANT.

8.11.01 SCHEDULED DOOR AND FRAME.

OPENINGS

081113

7.92 JOINT SEALANTS | SPEC 079200

7.92.04 CONTINUOUS SEALANT W/ BACKER ROD

9.92 INTERIOR PAINTING | SPEC 099123

METAL DOORS AND FRAMES IN SPACE.

FINISH CARPENTRY AND TRIM | SPEC 062000

2" FOIL-FACED POLYSIO RIGID INSULATION W/ SHIPLAP EDGES.

WITH STRUCTURAL DRAWINGS.

1" x 3 1/2" CASING

KEYED NOTES

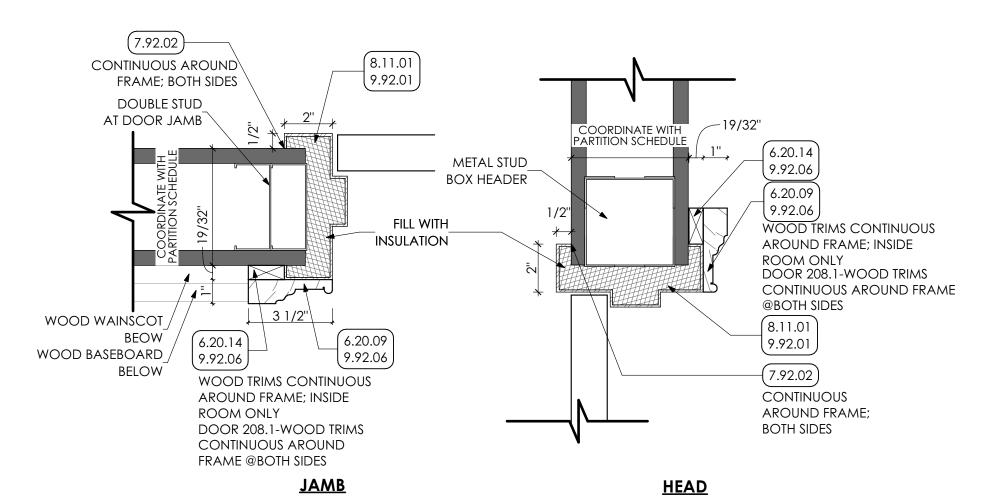
MASONRY

4.21.01 BRICK VENEER.



8" CMU w/ LADDER-TYPE w/ HORIZONTAL REINFORCING @ 16" o.c.

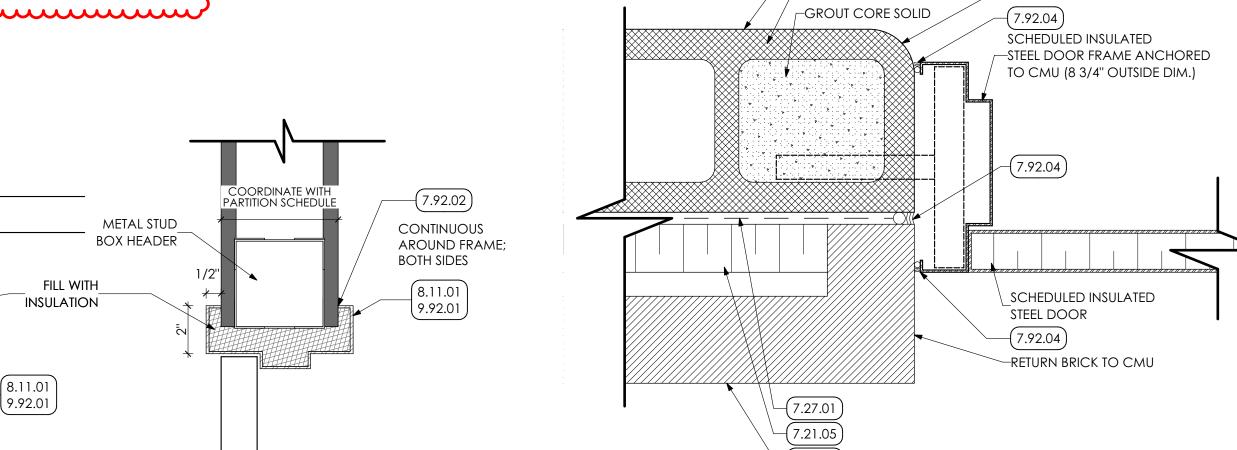
BLOCK GROUT SOLID @ VERTICAL REINFORCING.
NEW MASONRY LINTEL FOR WIFTH OF OPENING. COORDINATE

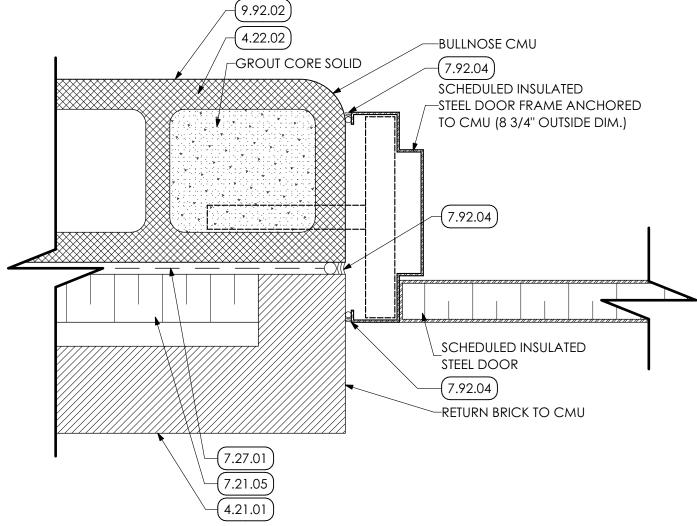


DOOR JAMB AND HEAD DETAILS W/WOOD TRIM

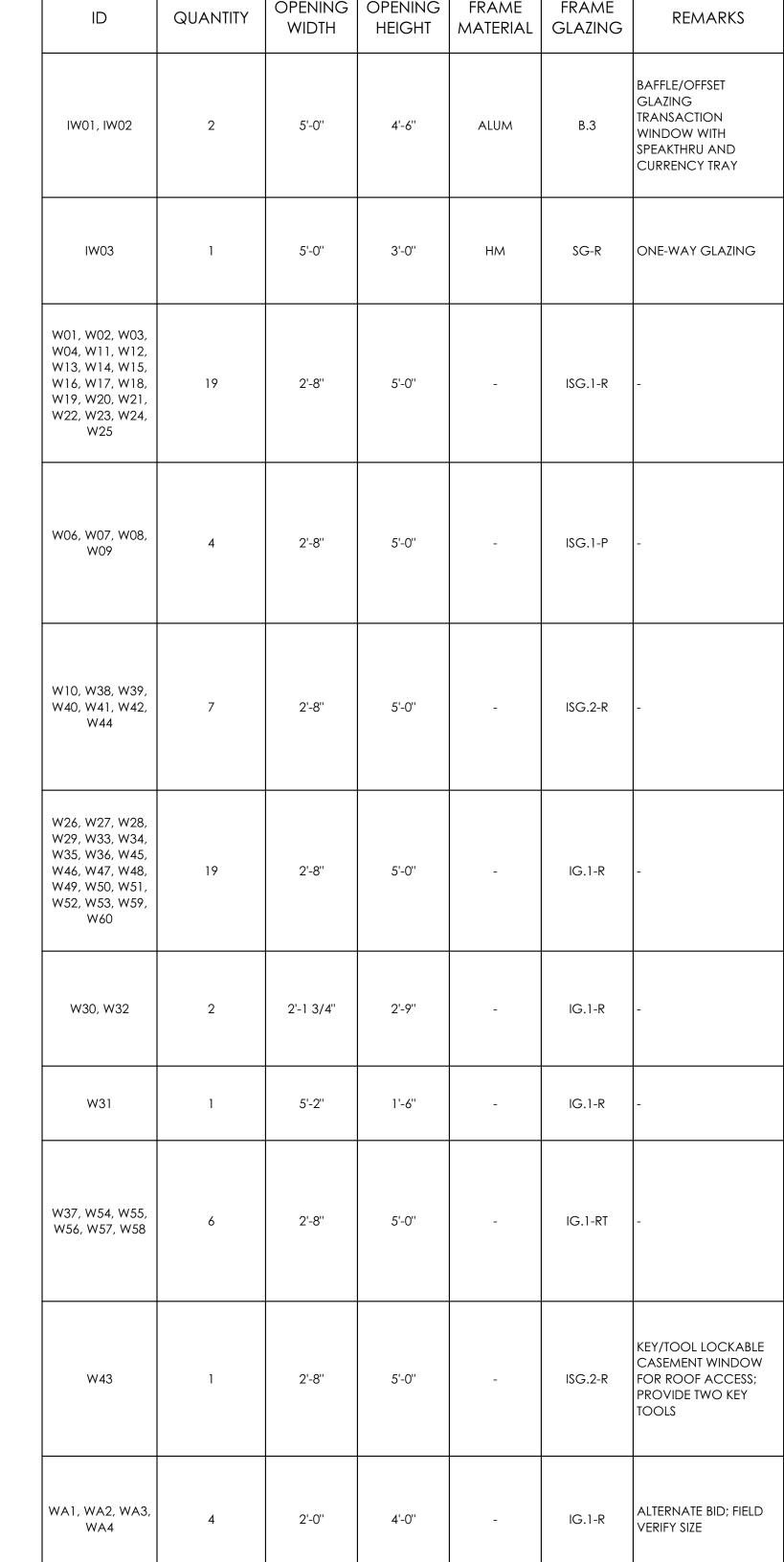
SCALE: 3" = 1' 0"

23-0047.0_Lower Pottsgrove Municipal Bldg_DD | BIMcloud: MGA-DATA - BIMcloud Basic for Archicad 27/23-0047.0_Lower Pottsgrove Municipal Bldg_DD | 9/26/2024 | 4:50 PM





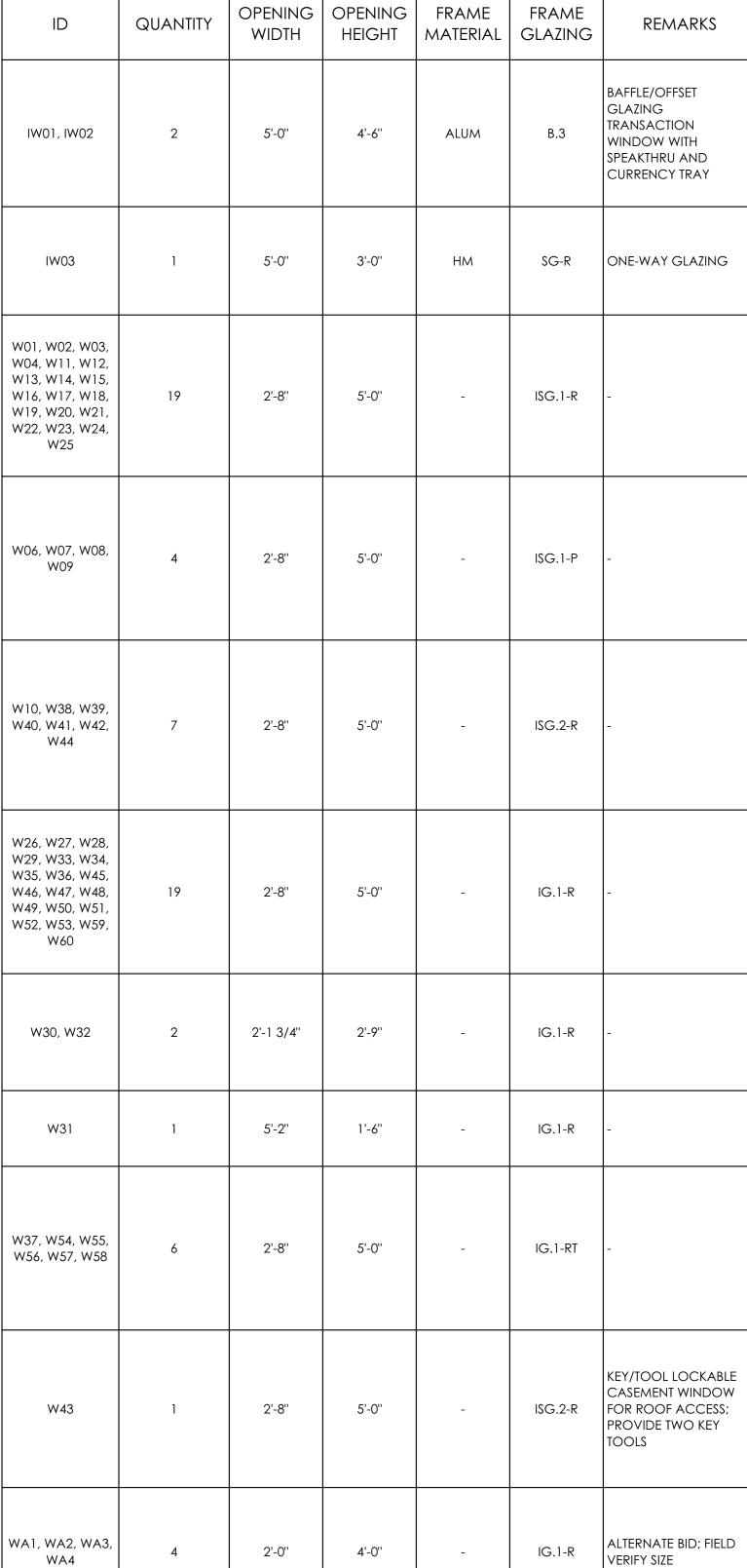




WINDOW SCHEDULE

WINDOW NOTES

- GLAZING UNITS.
- 2. SEE WINDOW SCHEDULE FOR GLAZING AND FRAME TYPES.
- 3. ALL EXTERIOR WINDOWS TO BE FACTORY-FABRICATED AND INSTALLED IN EXISTING OPENINGS.
- 4. GC SHALL FIELD VERIFY R.O./M.O. DIMENSIONS OF ALL WINDOW OPENINGS PRIOR TO SUBMITTING SHOP DRAWINGS FOR REVIEW.
- 5. SAFETY GLAZING: ALL GLAZING PANELS CONTAINING SAFETY GLAZING (WHETHER LAMINATED OR TEMPERED) SHALL BE VISUALLY IDENTIFIABLE PER ANSI Z97.1 MARKING GUIDELINES OR OTHER MEANS ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION.
- WINDOW REPLACEMENT SHALL INCLUDE INSTALLATION OF NEW PAINTED HARDWOOD WINDOW STOOLS; STYLE AS SELECTED BY ARCHITECT.
- 7. GYPSUM WALLBOARD SHALL BE RETURNED TO FRAME AT JAMBS AND HEAD.
- 8. WINDOW REPLACEMENT SHALL INCLUDE EXTERIOR POLYURETHANE BRICK MOLDINGS IF
- REQUIRED.



WINDOW SCHEDULE



- 1. SCOPE OF WORK INCLUDES REPLACEMENT OF ALL EXISTING WINDOWS WITH NEW FIXED
 - A. ONE EXTERIOR UNIT SHALL BE PROVIDED AS A LOCKABLE CASEMENT UNIT WITH CUSTODIAL KEY LOCK. PROVIDE THREE (3) KEYS TO OWNER.



ARCHITECTURAL DESIGN INTERIOR DESIGN CODE ANALYSIS PLANNING SERVICES REPORTS AND STUDIES ENGINEERING SERVICES HISTORIC PRESERVATION

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> PROJECT #: 23-0047.0

Professional seal

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CONSTRUCTION DOCUMENTS REVISION HISTORY ISSUED FOR BID/PERMIT ADDENDUM 3 REVISIONS

PROJ. MGR.: GRACE CAI, AIA e-MAIL: GRACEC@MG-ARCHITECTS.CO DRAWN BY: JNS, JMS CLIENT PROJ #: -

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