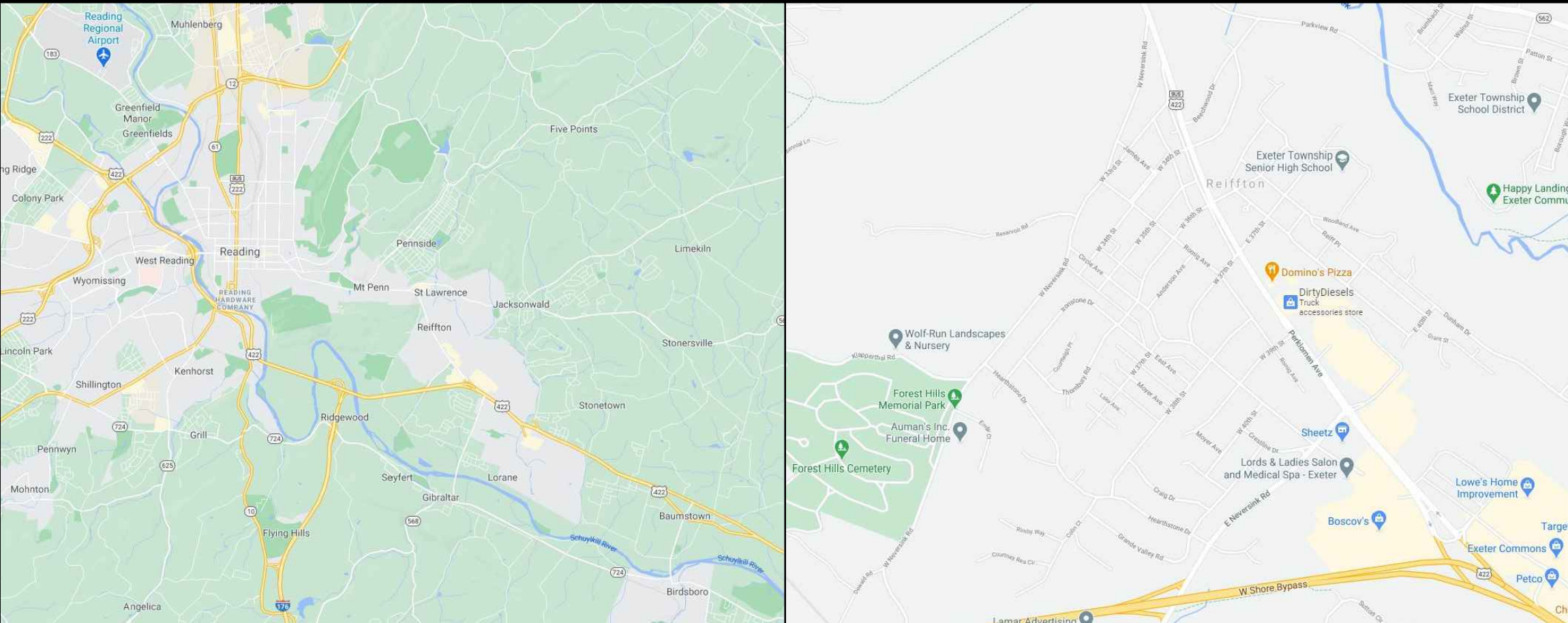
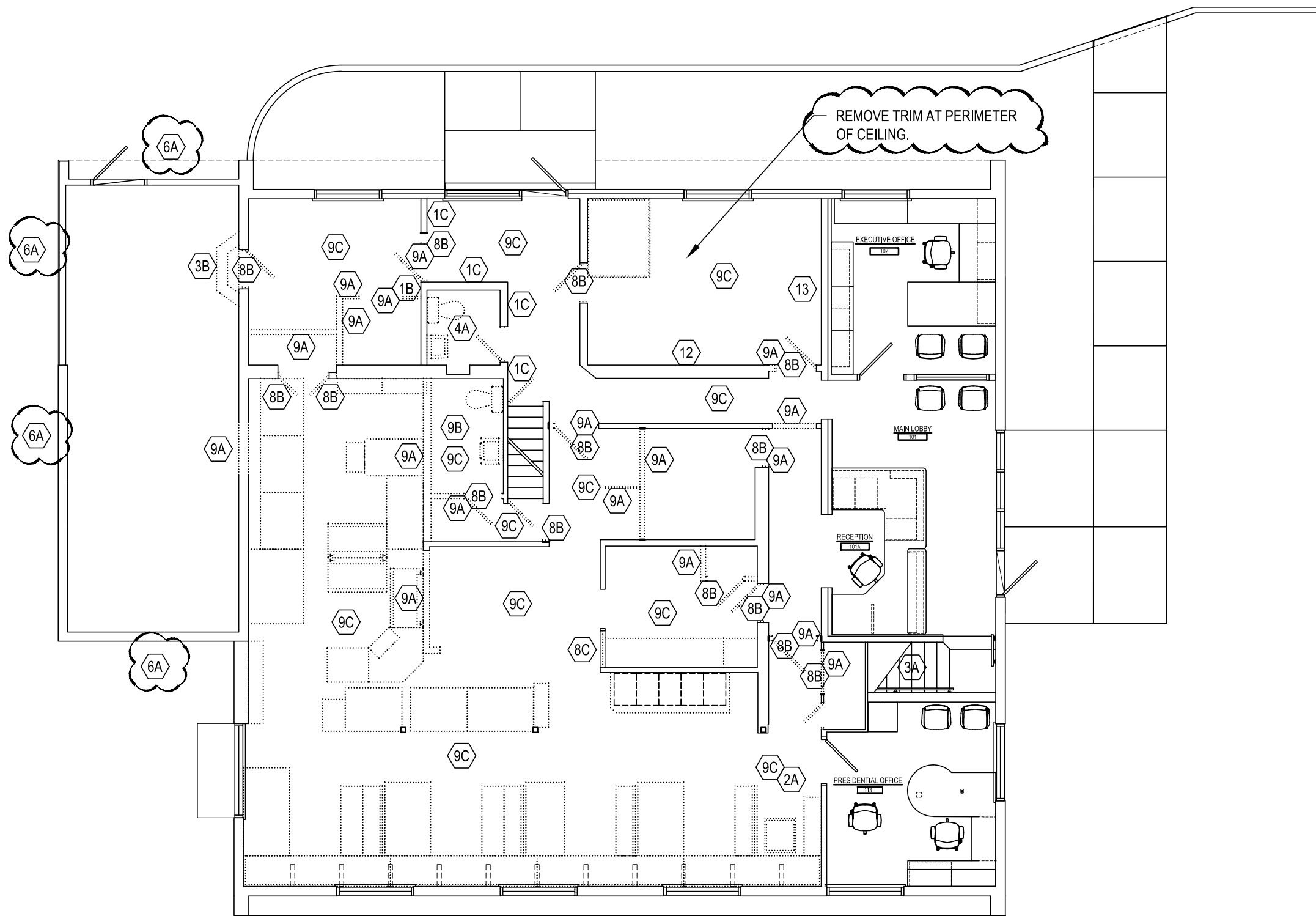


PHASE 2 RENOVATIONS TO
AEM ARCHITECTS OFFICE
AEM ARCHITECTS, INC.
3700 PERKIOMEN AVENUE, EXETER TOWNSHIP, BERKS COUNTY, PA

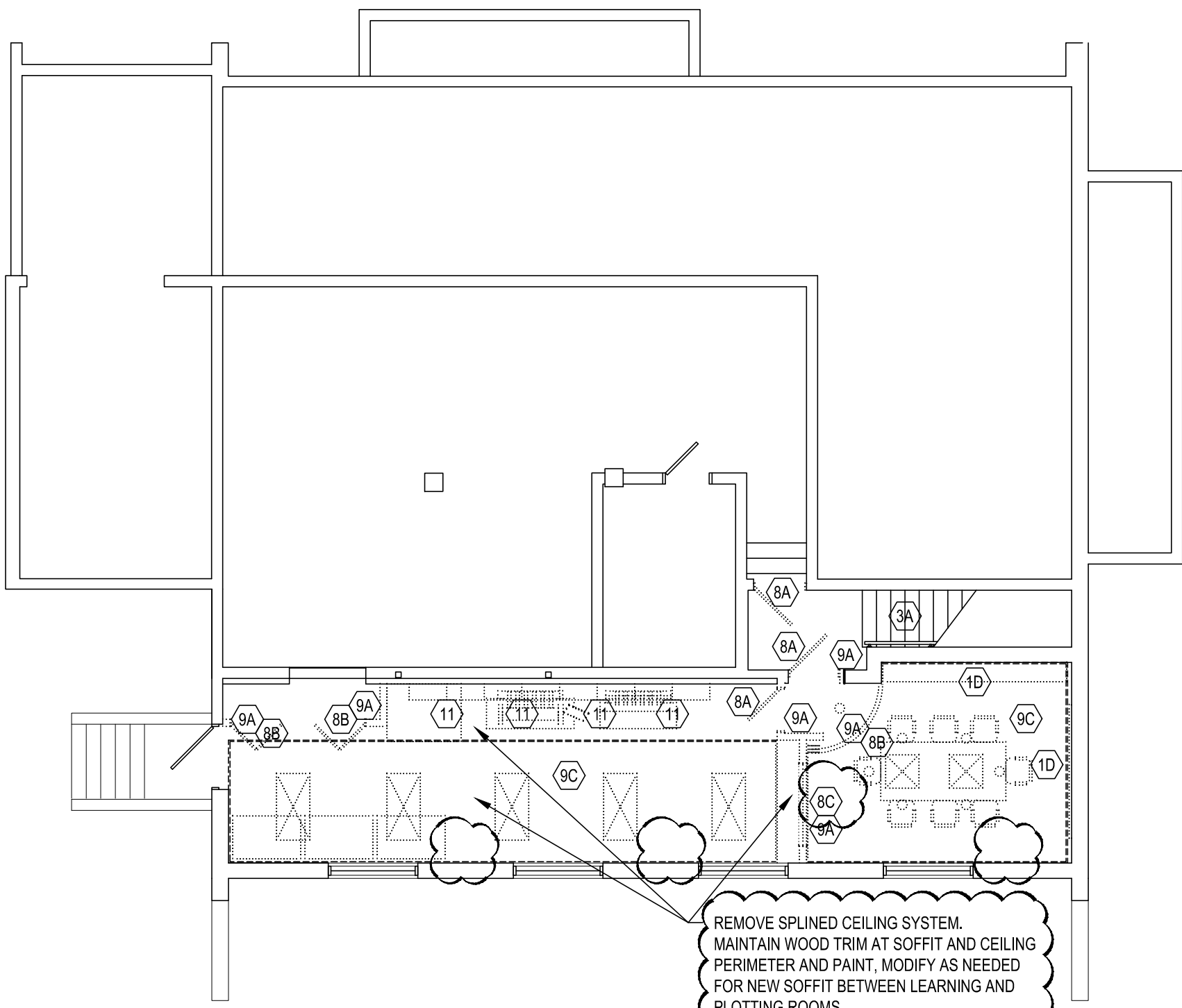


LOCATION MAP
SCALE: N.T.S.

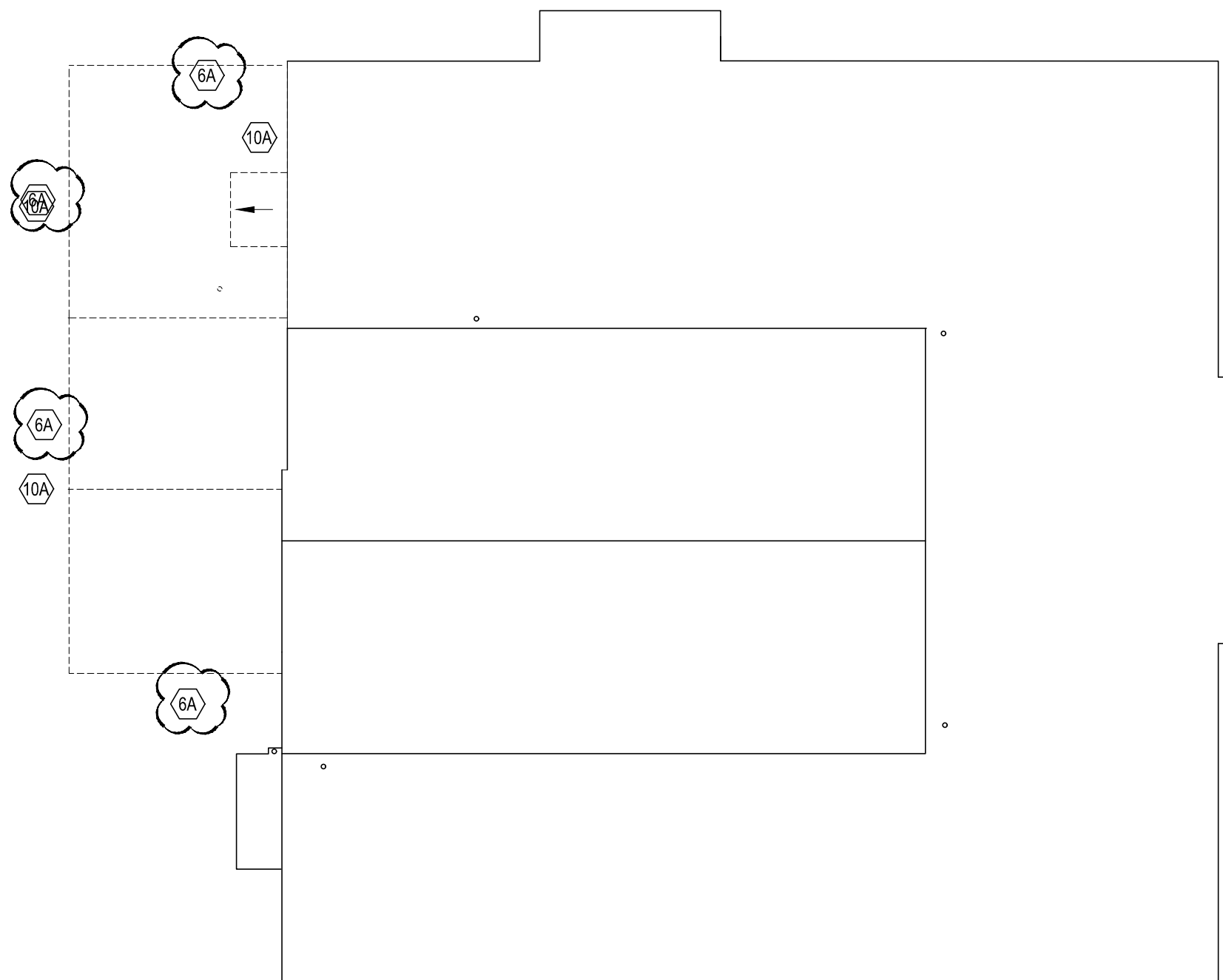
SITE MAP
SCALE: N.T.S.



FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



BASEMENT DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



ROOF DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION NOTES:

** G.C. SHALL COORDINATE DEMOLITION WITH ALL CONTRACTORS **

** ALL DEMOLITION INDICATED ON THIS SHEET SHALL BE PERFORMED BY THE G.C. UNLESS OTHERWISE NOTED **

A) DEMOLITION NOTED IS PROVIDED TO FURNISH AN UNDERSTANDING OF THE SCOPE OF DEMOLITION REQUIRED AND MAY NOT NECESSARILY BE ALL INCLUSIVE OF ALL DEMOLITION REQUIRED FOR THE INCORPORATION OF NEW WORK. ALL DEMOLITION WORK REQUIRED TO ACCOMMODATE NEW CONSTRUCTION SHALL BE INCLUDED AS PART OF THE CONTRACT. CONTRACTOR SHALL REVIEW ALL CONSTRUCTION DOCUMENTS TO UNDERSTAND THE SCOPE OF DEMOLITION REQUIRED FOR NEW WORK. ALL DEMOLITION SHALL BE COORDINATED WITH THE OTHER CONSTRUCTION DOCUMENTS.

B) ALL SURFACES REMAINING TO BE EXPOSED AFTER DEMOLITION SHALL BE PATCHED, REPAIRED AND REFINISHED TO MATCH EXISTING ADJACENT FINISH CONDITIONS. ALL REMAINING SURFACES SHALL BE PREPARED AS REQUIRED FOR NEW WORK IN ALL LOCATIONS WHERE DEMOLITION OCCURS. REFER TO SPECIFICATIONS FOR SPECIFIC CUTTING AND PATCHING REQUIREMENTS FOR DEMOLITION WORK.

C) WHERE EQUIPMENT OR SYSTEMS ARE INDICATED FOR DEMOLITION, ALL PARTS AND ASSEMBLIES OF THE EQUIPMENT AND SYSTEMS SHALL BE REMOVED INCLUDING BLOCKING, SUPPORTS, HANGERS, ETC.

D) CONTRACTORS SHALL REVIEW ALL EXISTING CONDITIONS TO UNDERSTAND THE SCOPE OF THE WORK PRIOR TO SUBMITTING BIDS.

E) ALL DEMOLITION SHALL BE COORDINATED WITH PROJECT PHASING SCHEDULE AND THE PROGRESS OF THE WORK TO ENSURE ALL EXISTING SYSTEMS REMAIN OPERABLE DURING WORK.

F) SALVAGE ALL BRICK FROM EXTERIOR WALL DEMO TO BE USED IN INFILLING LOUVERS. REFER TO ALTERNATIVE.

G) OWNER TO REMOVE ALL EXISTING FREE-STANDING SHELVING, EQUIPMENT, OFFICE FURNITURE...ETC. PRIOR TO COMMENCING CONSTRUCTION.

H) EXISTING HORIZONTAL LOUVER BLINDS TO REMAIN AND ARE TO BE PROTECTED IN PLACE DURING CONSTRUCTION.

J) M.E.P. TRADES IN OFFICE AREAS RESPONSIBLE FOR DEMO. (COORDINATE WITH G.C.)

DEMOLITION NOTES:

** G.C. SHALL COORDINATE DEMOLITION WITH ALL CONTRACTORS **

** ALL DEMOLITION INDICATED ON THIS SHEET SHALL BE PERFORMED BY THE G.C. UNLESS OTHERWISE NOTED **

(1B) DEMO BUILT-IN SHELVING.

(1C) DEMO MYSTERY PLASTER PANELS ON EXISTING WALLS AND FINISH WITH GYPSUM BOARD.

(1D) REMOVE VERTICAL BLIND SYSTEM.

(2A) REMOVE EXISTING VCT AS REQUIRED FOR NEW INSTALLATION.

(3A) DEMO TREADS AND RISERS.

(3B) DEMO EXISTING CONCRETE STEPS AS INDICATED.

(4A) REMOVE EXISTING CERAMIC FLOOR AND WALL TILE.

(6A) REMOVE EXISTING METALCLAD WOOD FASCIA AND ALL ASSOCIATED COMPONENTS.

(7B) OMITTED.

(8B) REMOVE EXISTING DOOR(S), FRAME(S) AND HARDWARE.

(8C) REMOVE EXISTING WINDOW.

(8A) REMOVE EXISTING WALL CONSTRUCTION AS INDICATED AND AS REQUIRED FOR NEW CONSTRUCTION.

(8B) REMOVE CERAMIC WALL TILE.

(9C) REMOVE EXISTING FLOORING.

(10A) REMOVE ROOF SYSTEM AND ALL ASSOCIATED COMPONENTS.

(11) DEMO EXISTING CASEWORK.

(12) DEMO EXISTING TACKBOARD WALLS.

(13) DEMO CHALK RAIL.

ARCHITECTURAL

A-0 COVER SHEET AND 1/8" DEMOLITION PLANS

A-1 1/4" BASEMENT AND FIRST FLOOR PLANS

A-2 1/4" ROOF PLAN AND DETAILS

A-3 1/4" REFLECTED CEILING PLANS

A-4 1/4" EXTERIOR ELEVATIONS

A-5 1/4" INTERIOR ELEVATIONS

A-6 1/8" FLOOR FINISH PLANS AND DETAILS

A-7 1/2" ENLARGED PLANS AND DETAILS, SCHEDULES

A-8 1/4" BUILDING SECTIONS AND 3/4" WALL SECTIONS

ABBREVIATIONS			
A - AIR	EXIST - EXISTING	MFR - MANUFACTURER	STD - STANDARD
AC - ACOUSTICAL	EXP JT - EXPANSION JOINT	MIN - MINIMUM	STRUCT - STRUCTURAL
ALUM - ALUMINUM	FD - FLOOR DRAIN	MO - MASONRY OPENING	STL - STEEL
AT - ALUMINUM THRESHOLD	FND - FOUNDATION	MTD - MOUNTED	TYP - TYPICAL
CG - CORNER GUARD	G - GAS	MTL - METAL	UNO - UNLESS NOTED OTHERWISE
CJ - CONTROL JOINT	GALV - GALVANIZED	NIC - NOT IN CONTRACT	V - VERTICAL
CMU - CONCRETE MASONRY UNIT	GWB - GYPSUM BOARD	OC - ON CENTER	THRD - THREADED
CONC - CONCRETE	GC - GENERAL CONTRACTOR	OH - OVERHEAD	VER - VERIFY IN FIELD
COORD - COORDINATION	H - HIGH	PC - PLUMBING CONTRACTOR	W - WIDE
CTR - CENTER	HC - HVAC CONTRACTOR	PT - PRESSURE TREATED	WD - WOOD
CW - COLD WATER	HCP - HANDICAP ACCESSIBLE	PTD - PAINTED	
D - DEEP	HORZ - HORIZONTAL	R - RADIUS	
DEMO - DEMOLITION	HLB - HORIZONTAL LOUVER BLINDS	RC - ROOFING CONTRACTOR	
DA - DIAMETER	HM - HOLLOW METAL	REINF - REINFORCING	
DN - DOWN	HW - HOT WATER	RO - ROUGH OPENING	
EC - ELECTRICAL CONTRACTOR	INSUL - INSULATION	RS - ROLLER SHADE	
EPS - EXTERIOR INSULATION AND FINISH SYSTEM	JT - JOINT	RWC - RAIN WATER CONDUCTOR	
ELEV - ELEVATION	L - LONG	SF - SQUARE FEET	
ERS - ELECTRICALLY OPERATED RS	M - MODIFIED	SQ - SQUARE	
EW - EACHWAY	MAX - MAXIMUM	SS - STAINLESS STEEL	

AEM ARCHITECTS INC.

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C E

CONSOLIDATED
ENGINEERS

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Leesport, PA 19533
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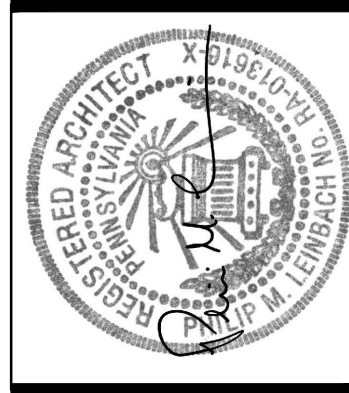
COVER SHEET AND 1/8" DEMOLITION PLANS

PHASE 2 RENOVATIONS TO
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AEM ARCHITECTS, INC.
3700 PERKIOMEN AVENUE, EXETER TOWNSHIP, BERKS COUNTY, PA

ALL DIMENSIONS AND EXISTING CONDITIONS
SHALL BE CHECKED AND VERIFIED
BY THE CONTRACTOR AT THE SITE.

JOB NO.: 23005.01
DRAWN BY: ASP / JOK
DATE: 1.20.25

A-0



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Phone: 610.779.3220 Fax: 610.779.9022 www.aem-arch.com

REVISIONS		DESCRIPTION
DATE		
1	1.20.25	SET CONFORMED TO MEP DRAWINGS

VISUAL DISPLAY BOARD LEGEND

TACKBOARD SYMBOL:

5'-0" X 5'-0" (SEE NOTE 1)

DENOTES EXISTING TACKBOARD TO REMAIN

TYPICAL VISUAL DISPLAY BOARD NOTES:

1. ALL TACKBOARDS SHALL BE 5'-0" HIGH UNLESS OTHERWISE NOTED. (X6 = 6'-0" HIGH)

2. THE NUMBER IN THE SYMBOL DENOTES THE WIDTH OF THE UNIT.

3. IF A TACKBOARD IS ADJACENT TO A MARKERBOARD A CHALK TRAY SHALL BE PROVIDED.

4. ALL TACKBOARD JOINTS TO BE WRAPPED & BUTT JOINTED

TYPICAL ELEVATIONS

CONTINUOUS ALUMINUM TRIM

HEIGHT AS INDICATED

TACKBOARD

WIDTH AS INDICATED

PLASTIC LAMINATE CASEWORK NOTES

UNLESS OTHERWISE NOTED ALL CASEWORK NUMBERS REFER TO THOSE AS MANUFACTURED BY: STEVENS ADVANTAGE FURNISHINGS BY STEVENS INDUSTRIES, INC. SEE SPECIFICATIONS FOR ALTERNATE MANUFACTURERS.

CASEWORK MANUFACTURER SHALL PROVIDE EACH DRAWER AND DOOR OF ALL CASEWORK WITH LOCK. KEYING SHALL BE AS SPECIFIED.

ALL EXPOSED CABINET AND COUNTERTOP SURFACES SHALL BE FINISHED TO MATCH ADJACENT PLASTIC LAMINATE FINISHES.

CASEWORK MANUFACTURER SHALL PROVIDE ALL PLASTIC LAMINATE SUPPORTS, COUNTERTOPS, ETC. IN ALL ROOMS THAT CALL FOR PLASTIC LAMINATE CASEWORK UNLESS OTHERWISE NOTED.

ALL COUNTERTOPS SHALL BE 1-1/4" PLASTIC LAMINATE AS SPECIFIED BY STEVENS INDUSTRIES, INC.

ALL OUTSIDE COUNTERTOP CORNERS SHALL BE ROUNDED TO A 2" RADIUS.

THE "M" AFTER A MFR. NO. INDICATES THE CASEWORK SHALL BE MODIFIED.

FP - PROVIDE FILLER PANEL
FEP - PROVIDE FINISHED END PANEL
FTP - PROVIDE FINISHED TOP PANEL

RENOVATION NOTES

1. REROUTE R.W.C TO TRASH ROOM.

2. FINISH EXISTING INTERIOR WALLS WITH PLASTER.

3. STRIP PAINT, PROPERLY PREPARE AND PAINT COLUMNS.

4. 1-5/8" STUDS AND 5/8" GYPSUM BOARD SHALL BE APPLIED OVER EXISTING WALL.

5. OVERLAY EXISTING INTERIOR WALLS WITH GYPSUM BOARD.

6. REMOVE, PROPERLY PREPARE AND PAINT HANDRAILS (BLACK), RE-INSTALL AS NOTED

7. 36" X 36" ACCESS DOOR @ 30" A.F.F.

GENERAL RENOVATION NOTES:

1. PRIOR TO APPLYING PAINT ALL EXISTING WALLS SHALL BE SPACKLED AND/OR REPAIRED AS REQUIRED IN ACCORDANCE WITH MFI - MAINTENANCE AND REPAIRING MANUAL. ALL EXISTING FASTENERS, ANCHORS, ETC. SHALL BE REMOVED AND HOLES FILLED WITH MORTAR. DO NOT FILL HOLES WITH SEALANT.

WALL TYPE LEGEND

EXISTING CONSTRUCTION TO BE DEMOLISHED

EXISTING WALL TO REMAIN

GYPSUM BOARD WALL

GYPSUM BOARD WALL WITH ACOUSTICAL INSULATION

GYPSUM BOARD WALL WITH MASONRY VENEER

2" MONOLITHIC WALL PANELS - TEKITS

CORNER GUARD

REFER TO PLANS, WALL SECTIONS, DETAILS, ROOM FINISH SCHEDULES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING WALL CONSTRUCTION AND FINISHES.

PLASTIC LAMINATE CASEWORK SCHEDULE						
TAG	MFR. NO.	DESCRIPTION	SIZE	MFR.	NOTES	
(01)	10422	BASE CABINET	24 28 24	SAF	1 DOOR, 1 SHELF	
(02)	10702	OPEN SHELF	36 20 14	SAF	OPEN SHELF	
(03)	10702	BASE OPEN SHELF	27 18 14	SAF	OPEN SHELF	
(04)	10371	BASE OPEN SHELF	48 18 14	SAF	OPEN SHELF	
(05)	10471	ADA SINK VANITY	36 24 24	SAF	SINK VANITY	
(06)	10316	FILE DRAWERS	18 32 29	SAF	2 FULL EXTENSION FILE DRAWERS	
(07)	10120	BASE CABINET	24 30 24	SAF	1 DOOR, FIXED 1 SHELF, 1 ADJUSTABLE SHELF	
(08)	10935	DROP EDGE SHELF	72 1 15	SAF	DROP EDGE SHELF CUT TO EXACT LENGTH ON SITE	
(09)	10935	DROP EDGE SHELF	90 1 12	SAF	DROP EDGE SHELF CUT TO EXACT LENGTH ON SITE	
(10)	10935	DROP EDGE SHELF	90 1 24	SAF	DROP EDGE SHELF TO BE CUT TO LENGTH ON SITE	
(11)	10842	SHELF SUPPORT	1 5 7	SAF	SHELF SUPPORT FOR 12" AND 15" DEEP SHELF	
(12)	10843	SHELF SUPPORT	1 8 11	SAF	SHELF SUPPORT FOR 24" DEEP SHELF	
(13)	10702	OPEN SHELF	30 20 15	SAF	OPEN SHELF	
(14)	10702	OPEN SHELF	30 24 15	SAF	OPEN SHELF	
(20)	15101	WALL OPEN CABINET	24 36 14	SAF	WALL SHELVING	
(21)	15101	WALL OPEN CABINET	33 36 14	SAF	OPEN SHELF, 1 FIXED SHELF, 2 ADJUSTABLE SHELF	
(22)	15101	WALL OPEN CABINET	36 36 14	SAF	OPEN SHELF, 1 FIXED SHELF, 2 ADJUSTABLE SHELF	
(23)	13101	WALL OPEN CABINET	42 25 18	SAF	OPEN SHELF WITH SOFFIT, 1 FIXED SHELF, 1 ADJUSTABLE SHELF	
(24)	15129	WALL CABINET	36 30 14	SAF	2 DOOR, 1 ADJ. SHELF	
(25)	15129	WALL CABINET	36 36 14	SAF	2 DOOR, 1 ADJ. SHELF	
(30)	25129	TALL STORAGE	30 84 24	SAF	2 DOORS, 1 FIXED SHELF, 4 ADJUSTABLE SHELVES	
(31)	25129	TALL STORAGE	33 84 24	SAF	2 DOORS, 1 FIXED SHELF, 4 ADJUSTABLE SHELVES	
(32)	25101	TALL OPEN SHELF	36 84 24	SAF	OPEN SHELF	

TAG	DESCRIPTION	MFR.	MODEL #	NOTES
(F1)	DRAFTING TABLE	SAFCO	7736B	RANGER STEEL 4-POST TABLE
(F2)				OMITTED
(F3)				OMITTED
(F4)	SMART RACK ENCLOSURE	TRIPP LITE	SRW12U	16.5" DEEP ENCLOSED WALL MOUNT SMALL RACK ENCLOSURE SERVER CABINET W/ GLASS FRONT DOOR
(F5)	SERVER RACK	STARTECH	CABSHLF22V	2U SERVER RACK SHELF 19" TRAY FOR EQUIPMENT RACK AND CABINET
(F6)	WALL MOUNT BRACKET	STARTECH	RK219WALL	2U VERTICAL WALL MOUNT BRACKET FOR 19" SERVER AND DATA EQUIPMENT
(F7)	TABLE SET	GLOBAL	BK156F	BUNGEE 13 FOOT TABLE SET SPLIT INTO 6 TABLES
(F8)	LECTERN	NBF	220287	OLYMPUS ADJUSTABLE HEIGHT LECTURN
(F9)	SHELVES	AMQ-TEKITS	T.B.D	15" DEEP TEKITS ADJUSTABLE HEIGHT SHELVES
(F10)	TALL OPEN SHELF	AMQ	25101	36W X 72.888H STORAGE BOOK CASE_EMBANK BUILT-IN
(F11)	BASE OPEN SHELF	SAFCO	10101	36W X 32H X 15" DEEP OPEN SHELF
(F12)	ZBRA TABLES	GLOBAL	Z4896BW	BOW END BOARDROOM TABLE, 96W X 48D X 30H
(P1)	BOTTLE FILLING STATION	ELKAY	LZVSSM	BOTTLE FILLING STATION WALL MOUNT FILTERED NON-REFRIGERATED

TOILET ACCESSORY SCHEDULE					MOUNTING HEIGHT
TAG	SYMBOL	MFR.	MFR. NO.	ITEM DESCRIPTION	
(GH1)	←	BRADLEY	832-001	GRAB BAR - HORIZONTAL LENGTH 36"	2'-11" A.F.F. TO TOP OF GRAB BAR
(GH2)	←	BRADLEY	832-001	GRAB BAR - HORIZONTAL LENGTH 46"	2'-11" A.F.F. TO TOP OF GRAB BAR
(GV1)	▼	BRADLEY	832-001	GRAB BAR - VERTICAL 15" MIN. LENGTH	3'-4" A.F.F. TO BOTTOM OF BAR AND 3'-4" TO THE CENTERLINE OF THE BAR FROM REAR WALL
(TL)	□	BRADLEY	250-15	PAPER TOWEL DISPENSER - SURFACE MOUNTED LARGE	3'-4" A.F.F. TO TOP (OF DISPENSER OPENING)
(M)	—	BRADLEY	790-1036	MIRROR WITH ANGLE FRAME 18" X 36"	3'-4" A.F.F. TO BOTTOM EDGE OF VIEWING SURFACE
(SD1)	▽	BRADLEY	6562	SOAP DISPENSER - SURFACE MOUNTED	3'-6" A.F.F. TO DISPENSING PUMP
(DTT)	□	BRADLEY	5241-50	DOUBLE ROLL TOILET TISSUE DISPENSER - SURFACE MOUNTED	2'-6" A.F.F. TO BOTTOM OF DISPENSER 1'-8" A.F.F. (ADA)
NOTES:					
1. MOUNTING HEIGHTS LISTED IN THIS ACCESSORY SCHEDULE REFER SPECIFICALLY TO THE BRADLEY ACCESSORIES LISTED. IF AN ACCEPTABLE MANUFACTURER'S PRODUCT IS PROVIDED, G.C. SHALL REVIEW MOUNTING HEIGHT WITH MFR. PRIOR TO INSTALLATION.					
2. GC TO PROVIDE BLOCKING AS REQUIRED FOR PROPER INSTALLATION OF ALL TOILET ACCESSORIES INCLUDING THOSE PROVIDED BY THE OWNER AND TO COORDINATE WITH ARCHITECT & OWNER FOR FINAL LOCATIONS.					
3. OWNER TO PROVIDE THE FOLLOWING TOILET ACCESSORIES AND _____ FOR THE CONTRACTOR TO INSTALL.					
4. G.C. SHALL VERIFY THAT ALL MOUNTING HEIGHTS COMPLY WITH THE REQUIREMENTS OF ANSI A117.1 2009, G.C. SHALL COORDINATE WITH OTHER PRIME CONTRACTORS FOR MOUNTING HEIGHTS OF BATHROOM ACCESSORIES AND ALSO MEET ANSI A117.1 2009, PRIOR TO INSTALLATION OF FIXTURES AND ACCESSORIES.					

PLASTIC LAMINATE CASEWORK NOTES

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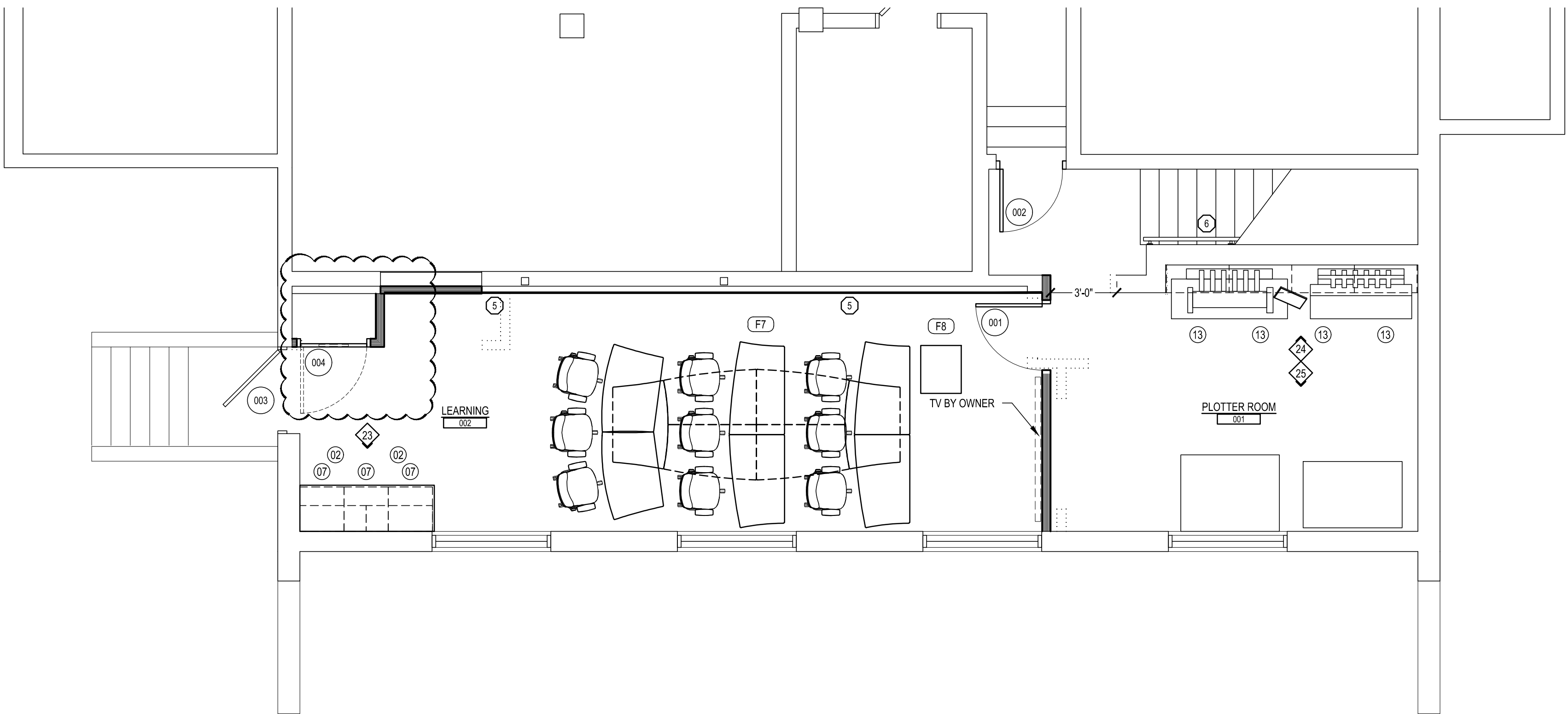
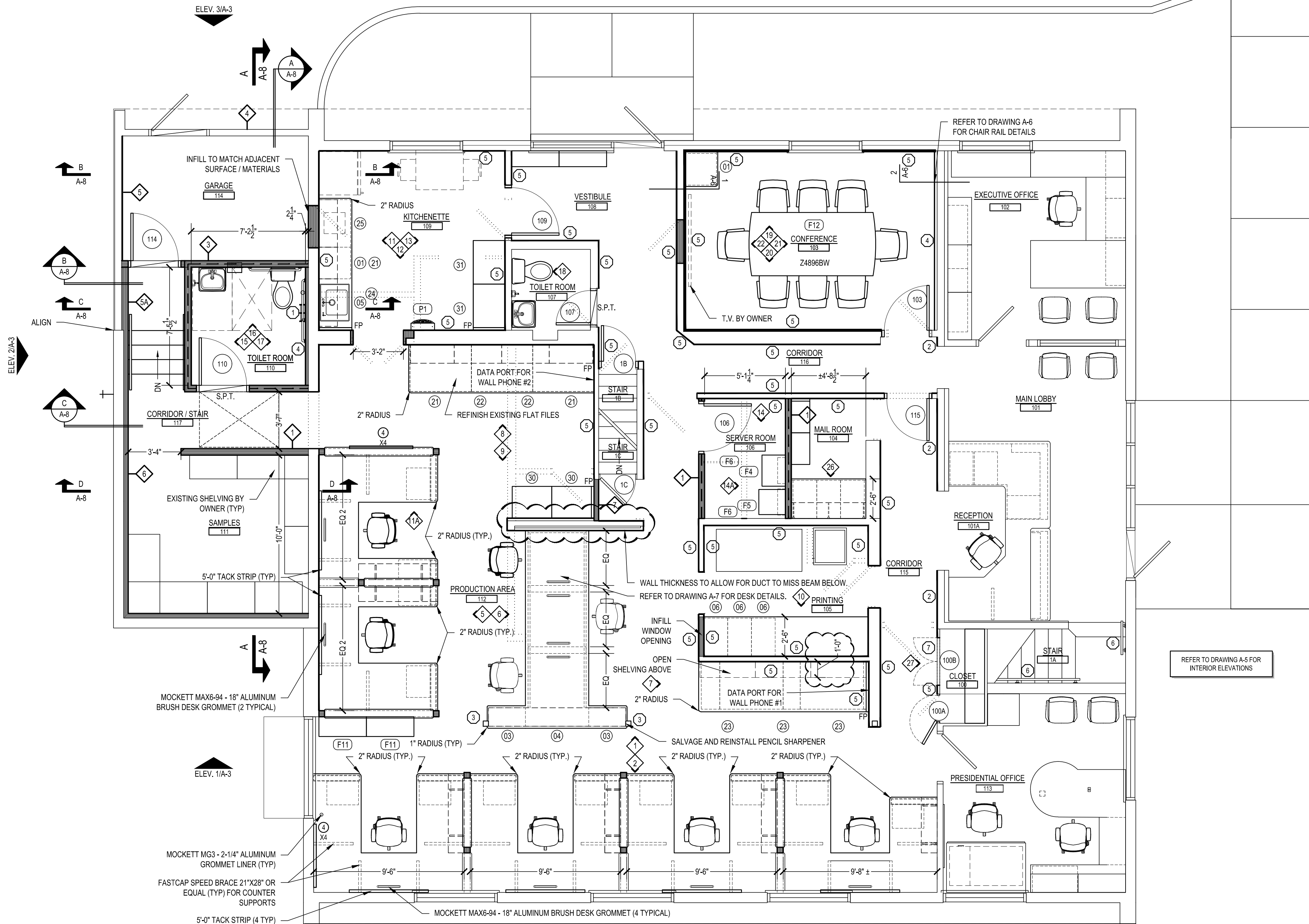
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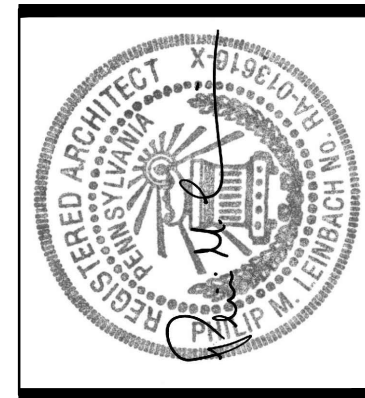
ALL OUTSIDE COUNTERTOP CORNERS SHALL BE ROUNDED TO A 2" RADIUS.

THE "M" AFTER A MFR. NO. INDICATES THE CASEWORK SHALL BE MODIFIED.

FP - PROVIDE FILLER PANEL
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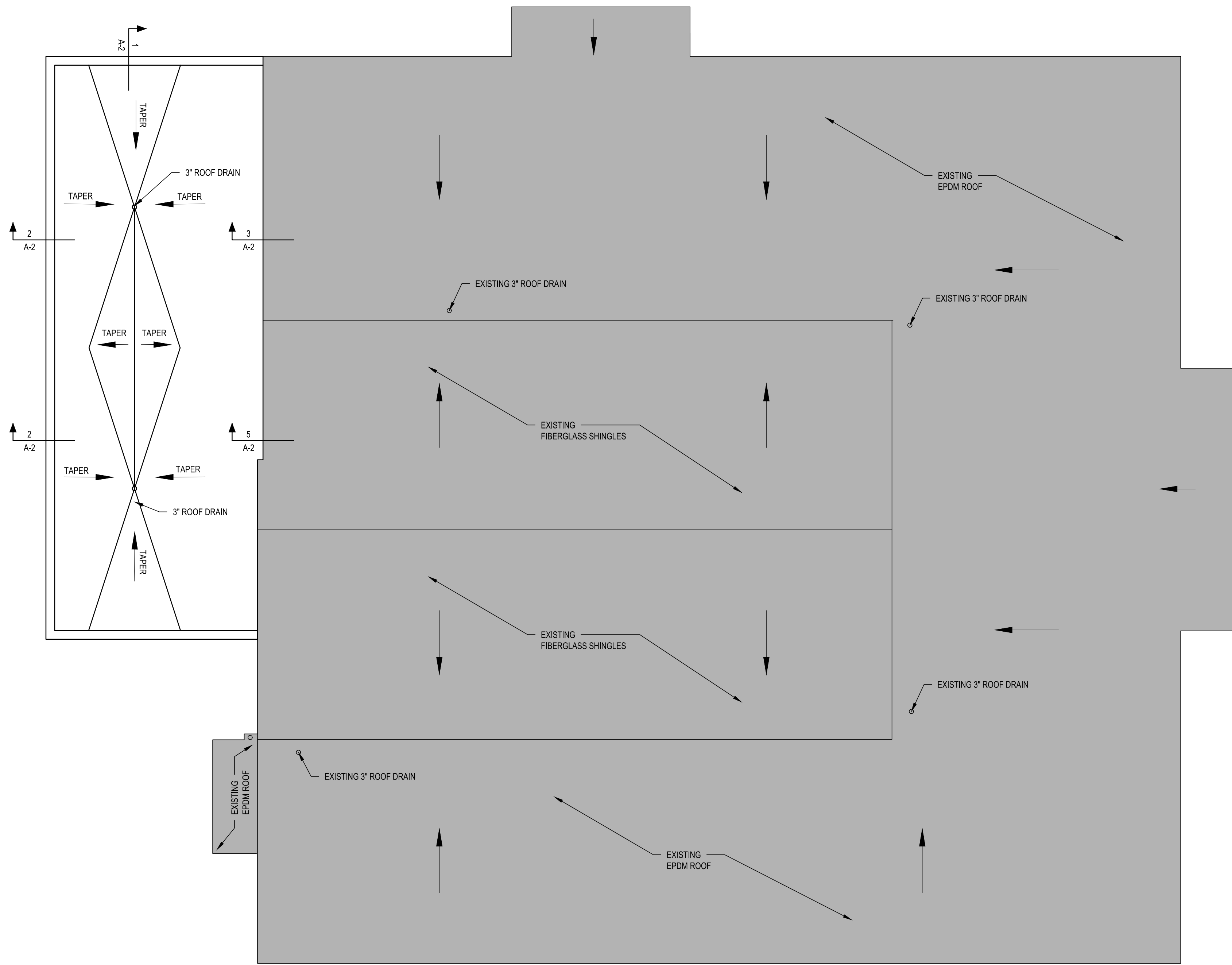
1/4" BASEMENT AND FIRST FLOOR PLAN

PHASE 2 RENOVATIONS TO
AEM ARCHITECTS OFFICE
AEM ARCHITECTS, INC.

3700 PERKIDOMEN AVENUE, EXETER TOWNSHIP, BERKS COUNTY, PA

ALL DIMENSIONS AND EXISTING CONDITIONS
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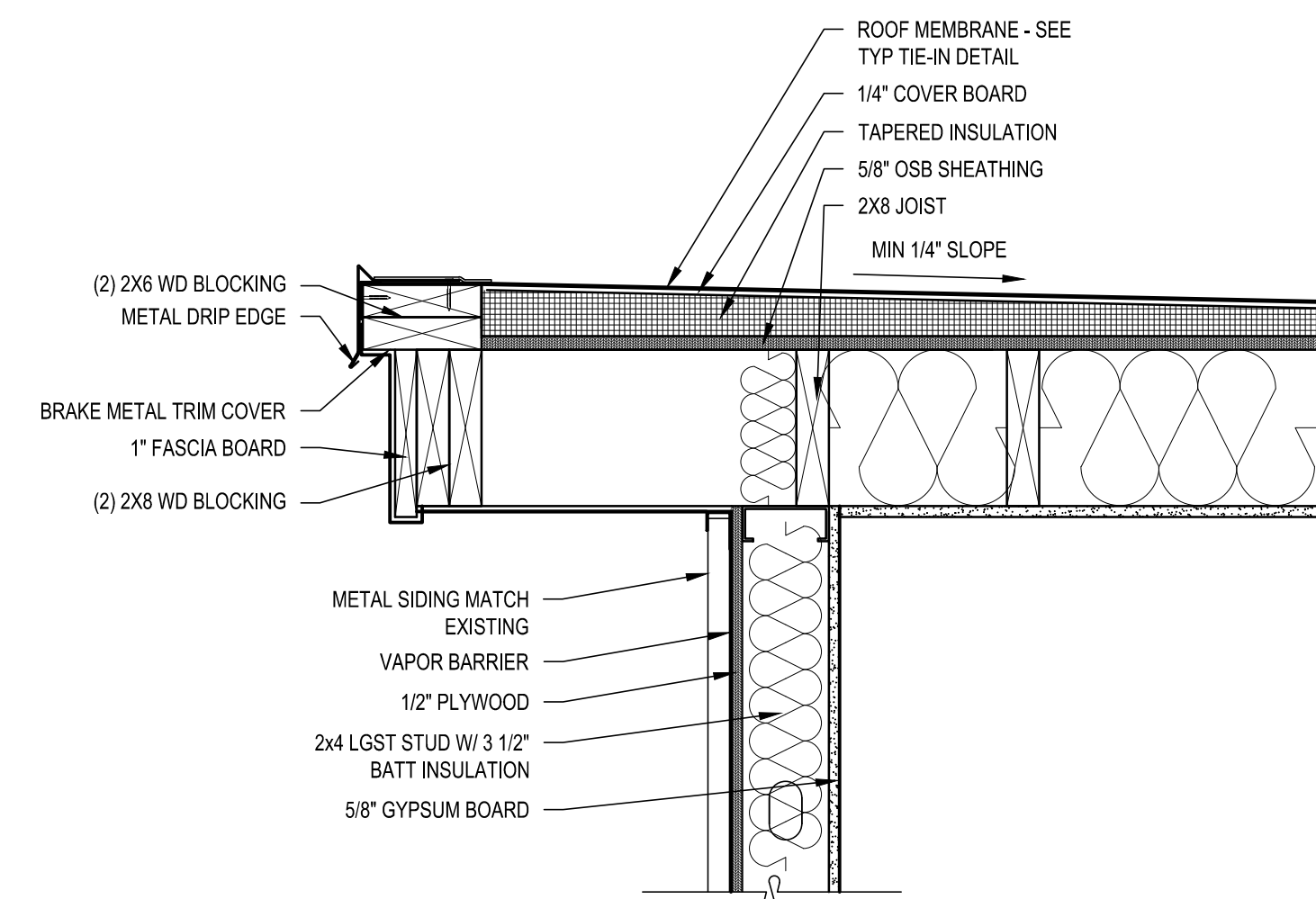
JOB NO.: 23005.01
DRAWN BY: ASP / JOK
DATE: 1.20.25



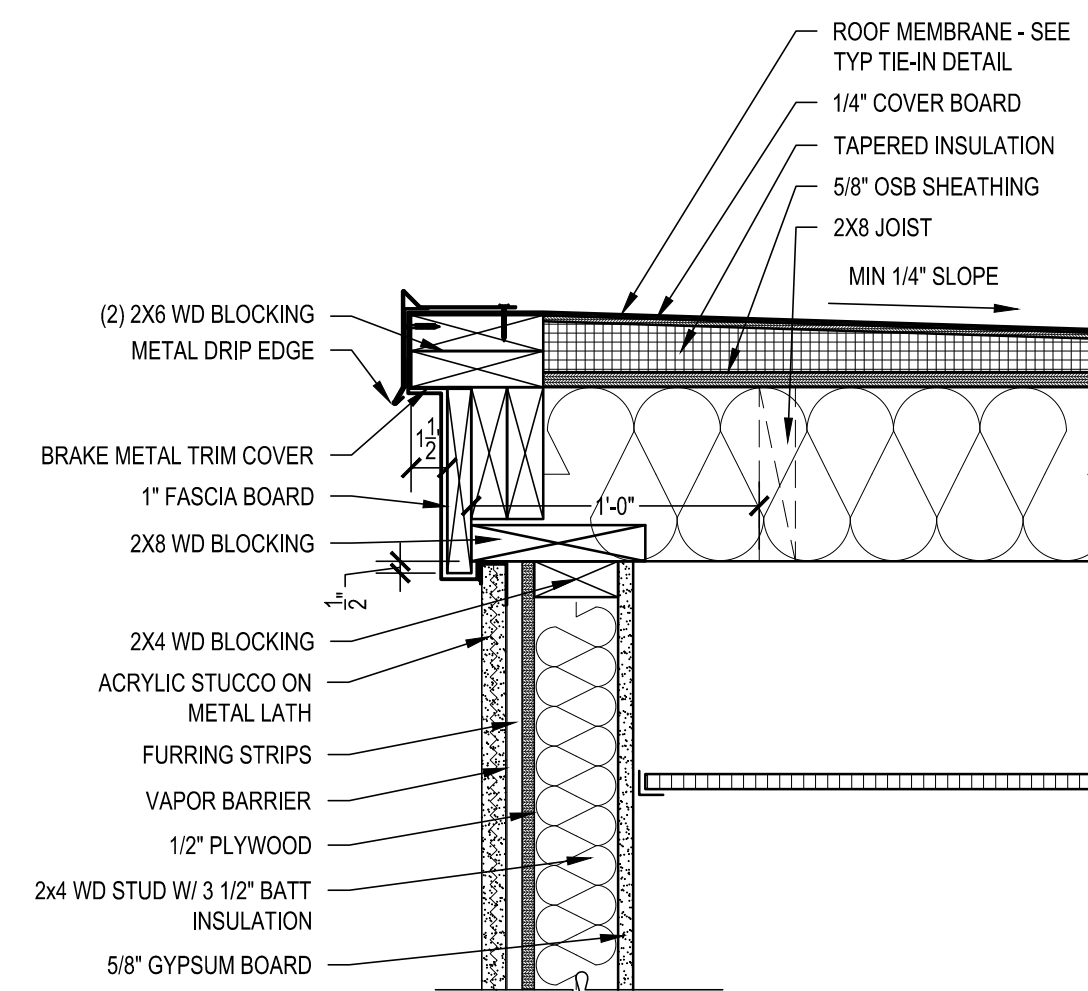
ROOF PLAN
SCALE: 1/4" = 1'-0"

OMITTED

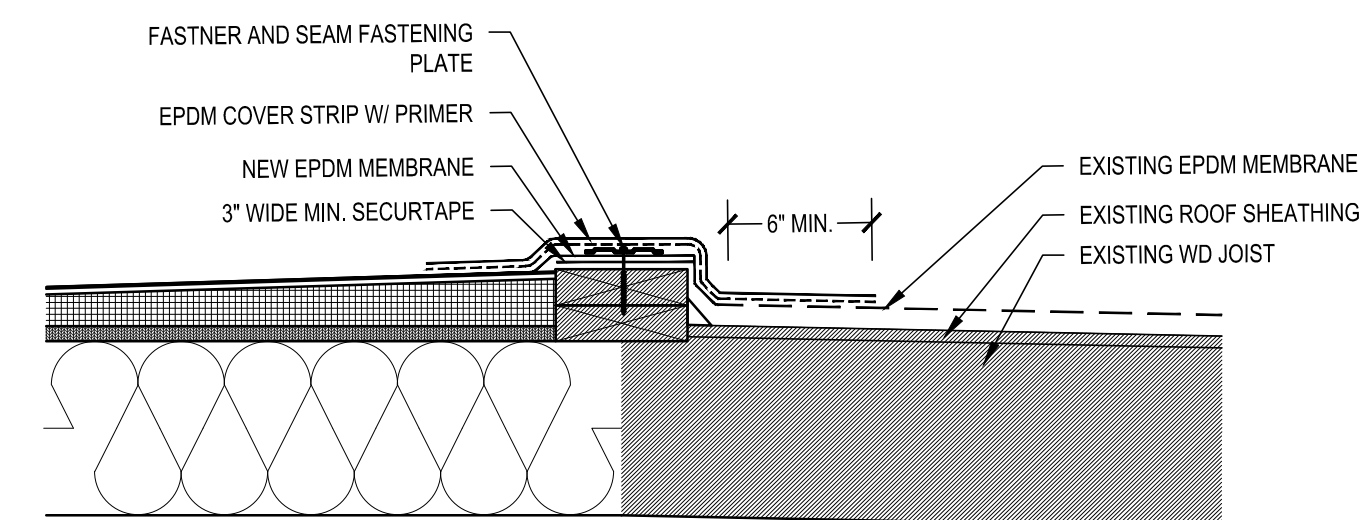
4 ROOF DETAIL
A-2 SCALE: 1 1/2" = 1'-0"



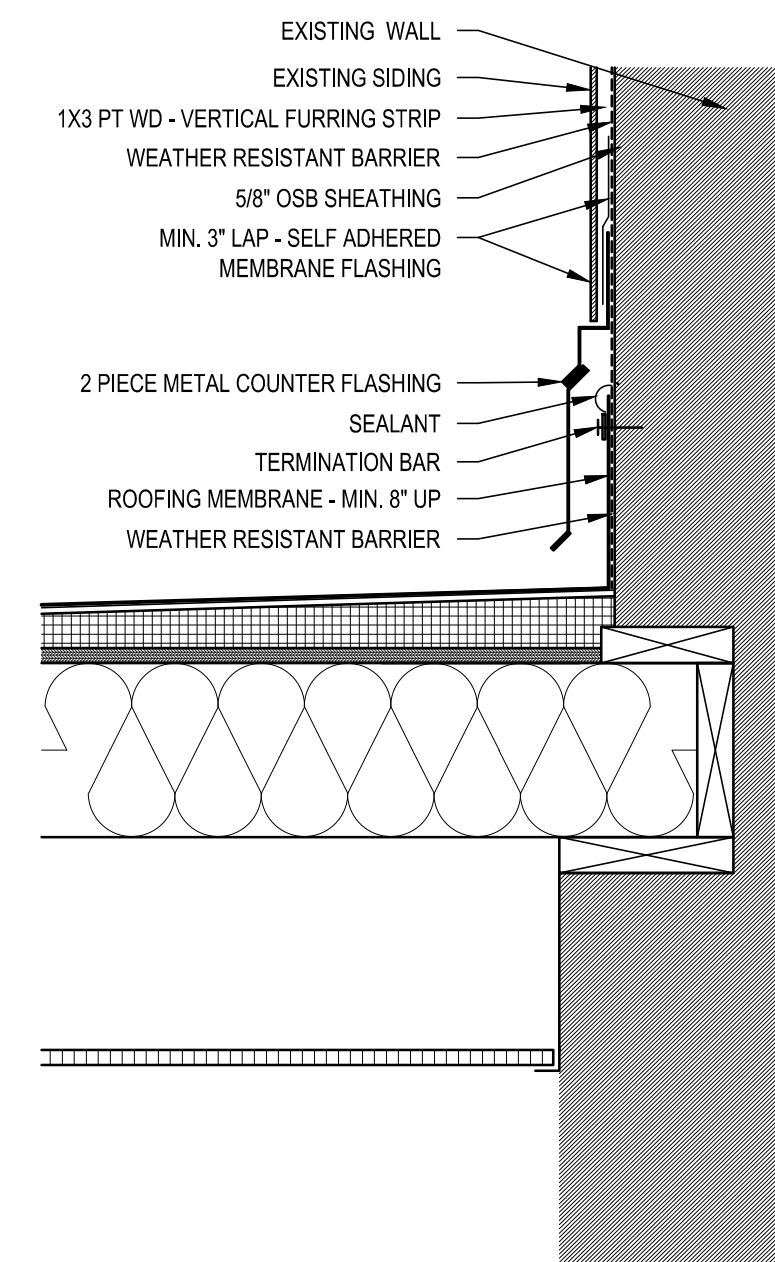
1 ROOF DETAIL
A-2 SCALE: 1 1/2" = 1'-0"



2 ROOF DETAIL
A-2 SCALE: 1 1/2" = 1'-0"

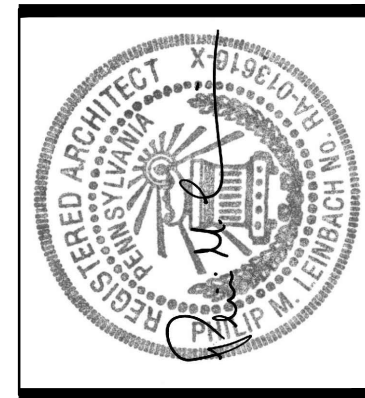


3 TYPICAL TIE-IN TO EXISTING EPDM MEMBRANE
A-2 SCALE: 1-1/2" = 1'-0"



5 ROOF DETAIL
A-2 SCALE: 1 1/2" = 1'-0"

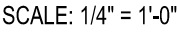
REVISIONS		DESCRIPTION
DATE		SET CONFORMED TO MEP DRAWINGS
1	1.20.25	



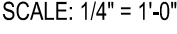
AEM ARCHITECTS, INC.
3700 PERKIDOMEN AVENUE, READING, PA 19606-2795
Phone: 610.795.3220 Fax: 610.795.8022 www.aem-arch.com

1/4" ROOF PLAN AND DETAILS
PHASE 2 RENOVATIONS TO
AEM ARCHITECTS OFFICE
AEM ARCHITECTS, INC.
3700 PERKIDOMEN AVENUE, EXETER TOWNSHIP, BERKS COUNTY, PA

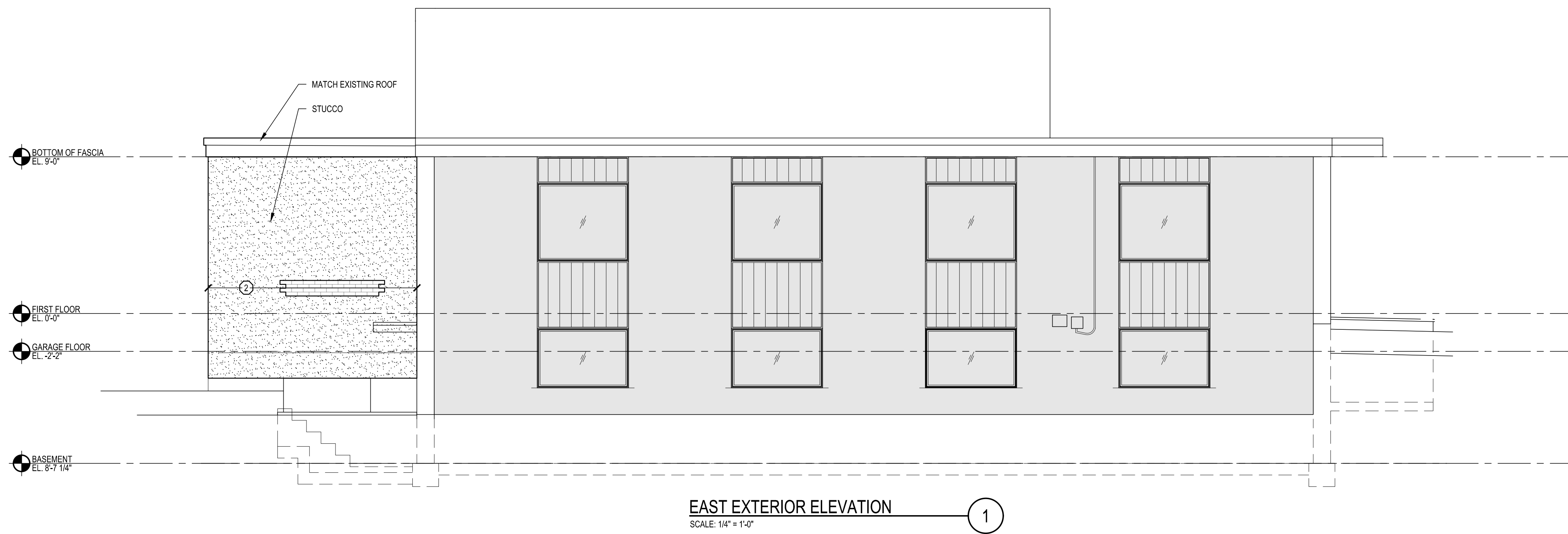
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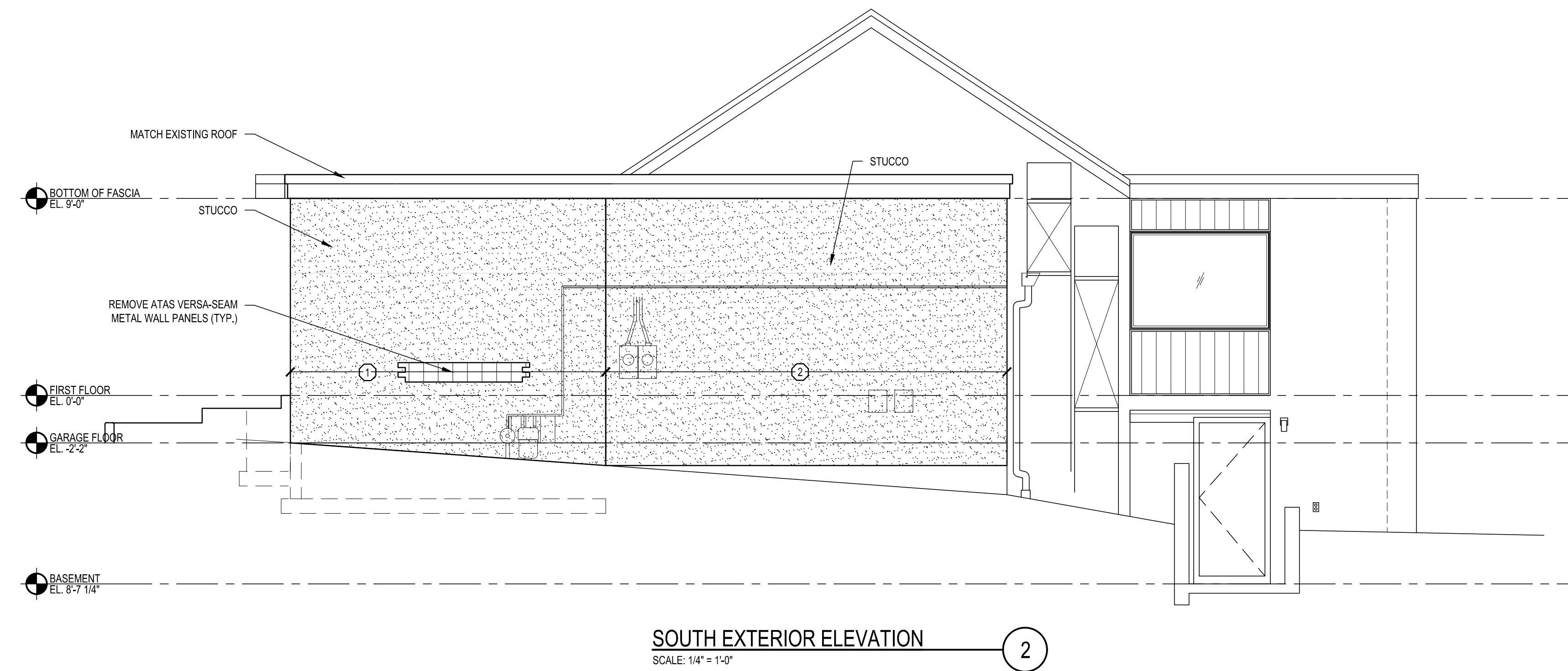
REFER TO ROOM FINISH SCHEDULES FOR CEILING HEIGHTS.



A-3



EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



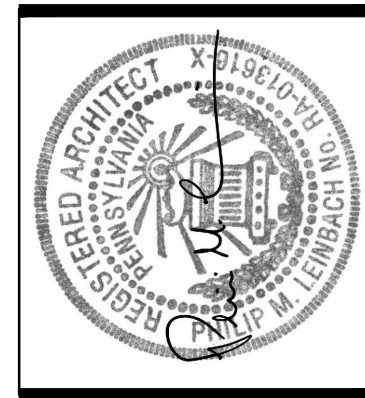
SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

RENOVATION NOTES	
①	REMOVE EXISTING ATAS VERSA-SEAM METAL WALL PANELS (TYP.) FROM ELEVATION 2-A/4 AND USE TO INFILL ON ELEV. 3 /A-4
②	INFILL STUCCO OVER EXISTING BRICK.

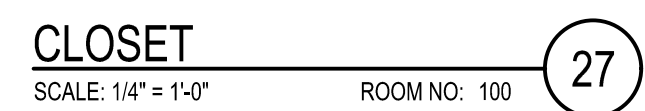
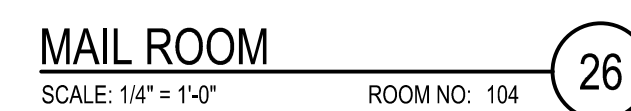
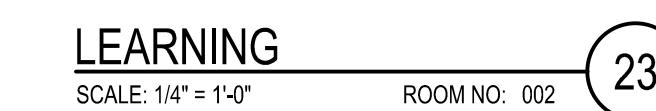
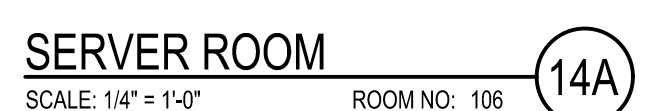
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DATE	DESCRIPTION
1 1.20.25	SET CONFORMED TO MEP DRAWINGS



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3700 PERKIOMEN AVENUE, READING, PA 19606-2795
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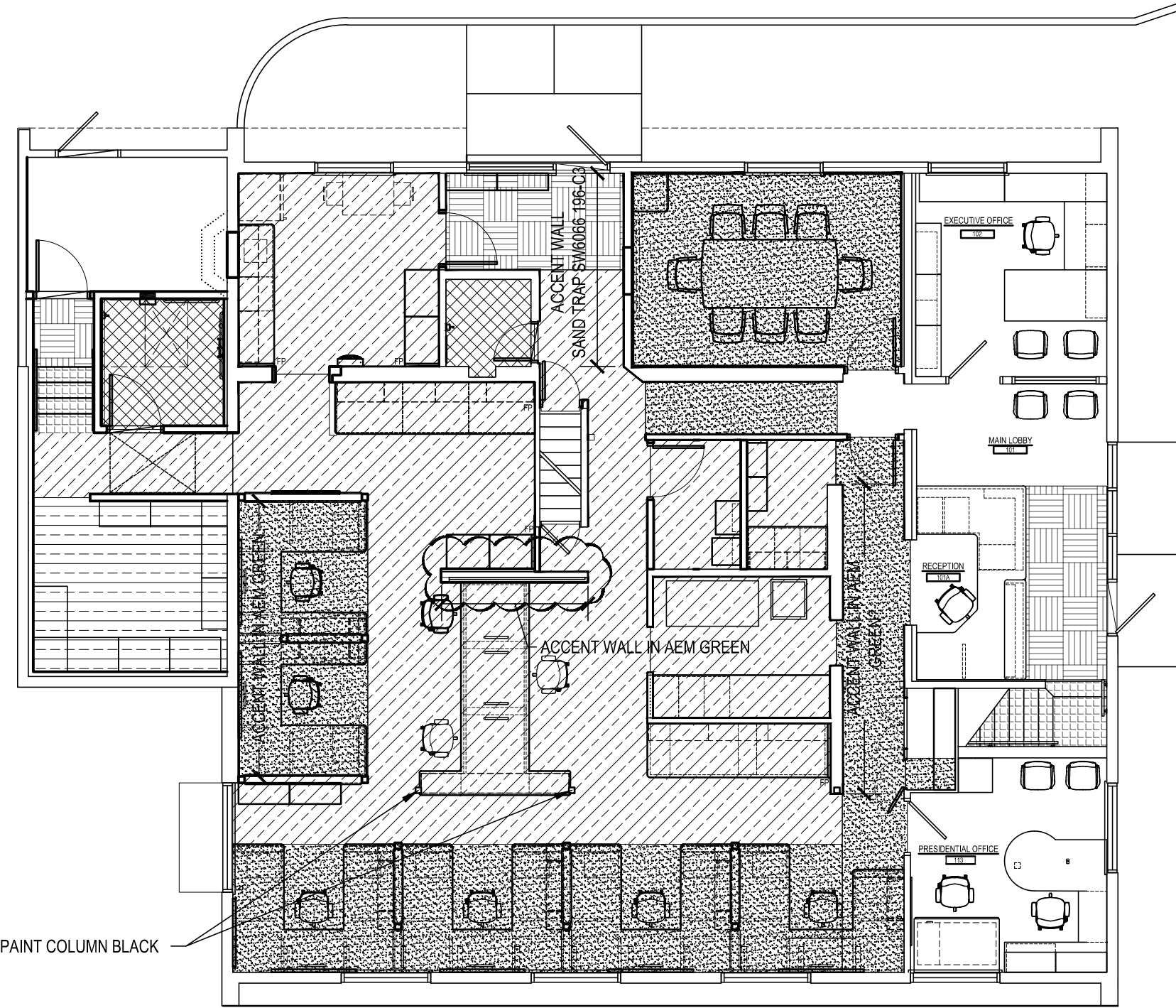
1/4" EXTERIOR ELEVATIONS
PHASE 2 RENOVATIONS TO
AEM ARCHITECTS OFFICE
AEM ARCHITECTS, INC.
3700 PERKIOMEN AVENUE, EXETER TOWNSHIP, BERKS COUNTY, PA

ALL DIMENSIONS AND EXISTING CONDITIONS
shall be CHECKED AND VERIFIED
by the CONTRACTOR at the SITE.
JOB NO.: 23005.01
DRAWN BY: ASP
DATE: 1.20.25

A-5

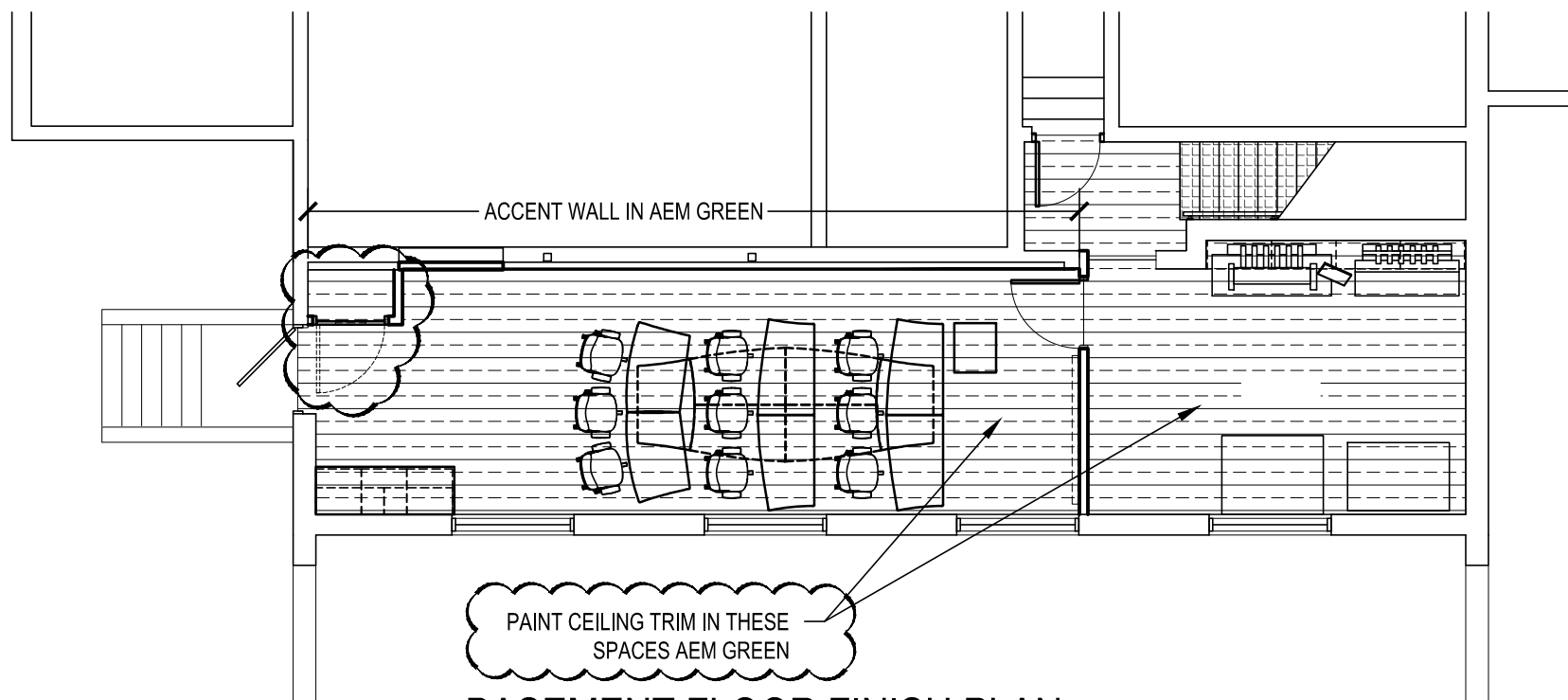
FINISH LEGEND		
SYMBOL	FINISH	
	LVT - SHALL BE INSTALLED IN THE DIRECTION INDICATED ON THE FLOOR FINISH PLANS	
	CARPET TILE	
	WALK-OFF CARPET	
	RUBBER TREADS AND RISERS	
	CERAMIC TILE	

COLOR SCHEDULE		
MATERIAL	MANUFACTURER	COLOR
CARPET	INTERFACE	OPEN AIR 418, 107046 GRANITE
PAINT (WALLS)	SHERWIN WILLIAMS	PROMAR 400 - SW7042 SHOUJI WHITE - LOW GLOSS EGG SHELL
PAINT (WALLS) ACCENT	SHERWIN WILLIAMS	PROMAR 400 - "AEM GREEN" (PANTONE 7494PC) - LOW GLOSS EGG SHELL
PAINT (WALLS)	SHERWIN WILLIAMS	PROMAR 400 - SW7042 SHOUJI WHITE - LOW GLOSS EGG SHELL
PAINT (DOOR FRAMES)	SHERWIN WILLIAMS	PROMAR 400 - SW6891 BLACK MAGIC - SEMI-GLOSS
METAL PANELS	ATAS	GEDAR (54)
PLAM CABINETS	WILSONART	AMBER CHERRY 7919K-78
PLAM COUNTERTOPS	WILSONART	SILVER ALCHEMY 4860 - MATTE FINISH
HINGES	MCKINNEY	BLACK
PULLS	SARGENT	BLACK
EDGE BAND - CABINETS	3MM	BLACK
EDGE BAND - COUNTERS	---	SILVER ALCHEMY 4860 - MATTE FINISH
TACK BOARD	FORBO	2208 - MUSHROOM MEDLEY
LVT	INTERFACE	LEVEL SET
WALK-OFF	INTERFACE	STEP REPEAT
RUBBER TREADS AND RISERS	ROPPE	100 BLACK
CERAMIC FLOOR TILE	DALTILE	REKINDLE TERRACOTTA 12X24 STEPWISE MATTE
CERAMIC WALL TILE	DALTILE	MODERN LINEAR TAUPE ML62 12X24 (STACKED VERTICAL ORIENTATION)
CERAMIC TILE BASE	DALTILE	MODERN LINEAR TAUPE ML62 12X24 (VERTICAL ORIENTATION)
DOORS	PHASE 1 MANF.	RED OAK (PLAIN SLICED) NUTMEG
POWDER COATING	---	RAL7039



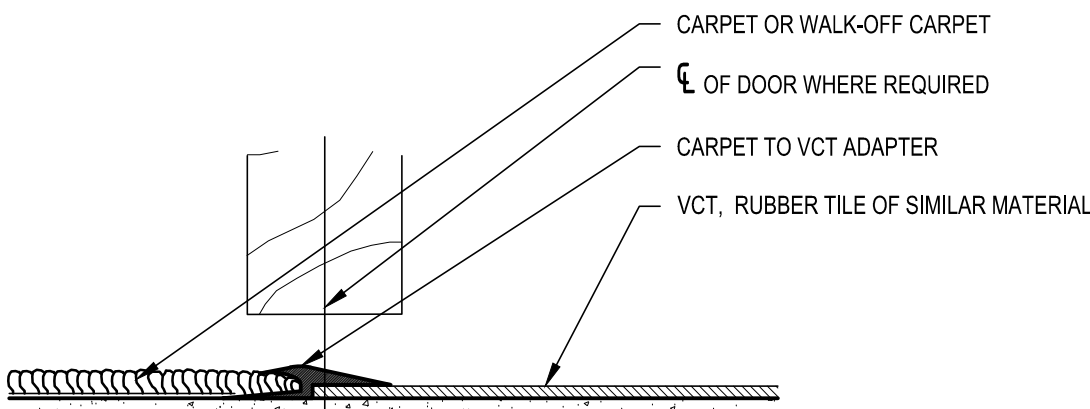
FIRST FLOOR FINISH PLAN

SCALE: 1/8" = 1'-0"



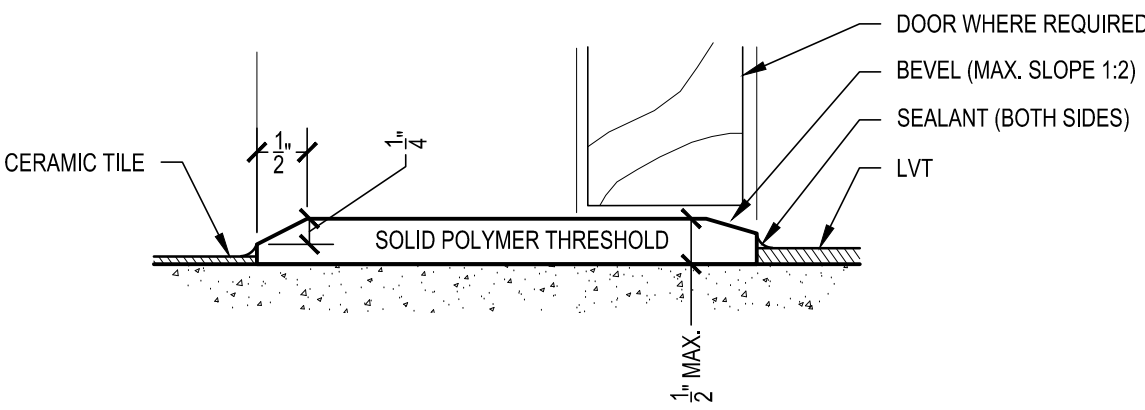
BASEMENT FLOOR FINISH PLAN

SCALE: 1/8" = 1'-0"



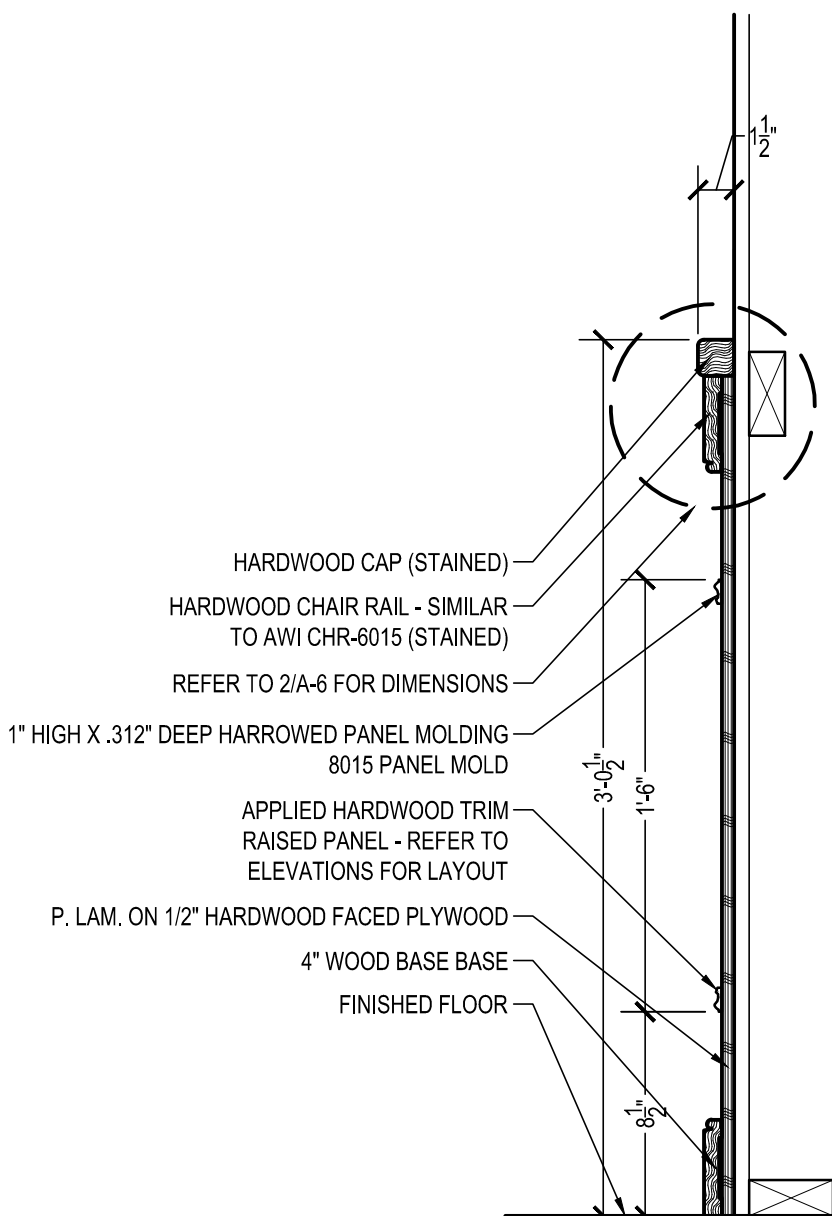
CARPET (OR WALK-OFF) TO LVT TRANSITION DETAIL

SCALE: 6" = 1'-0"



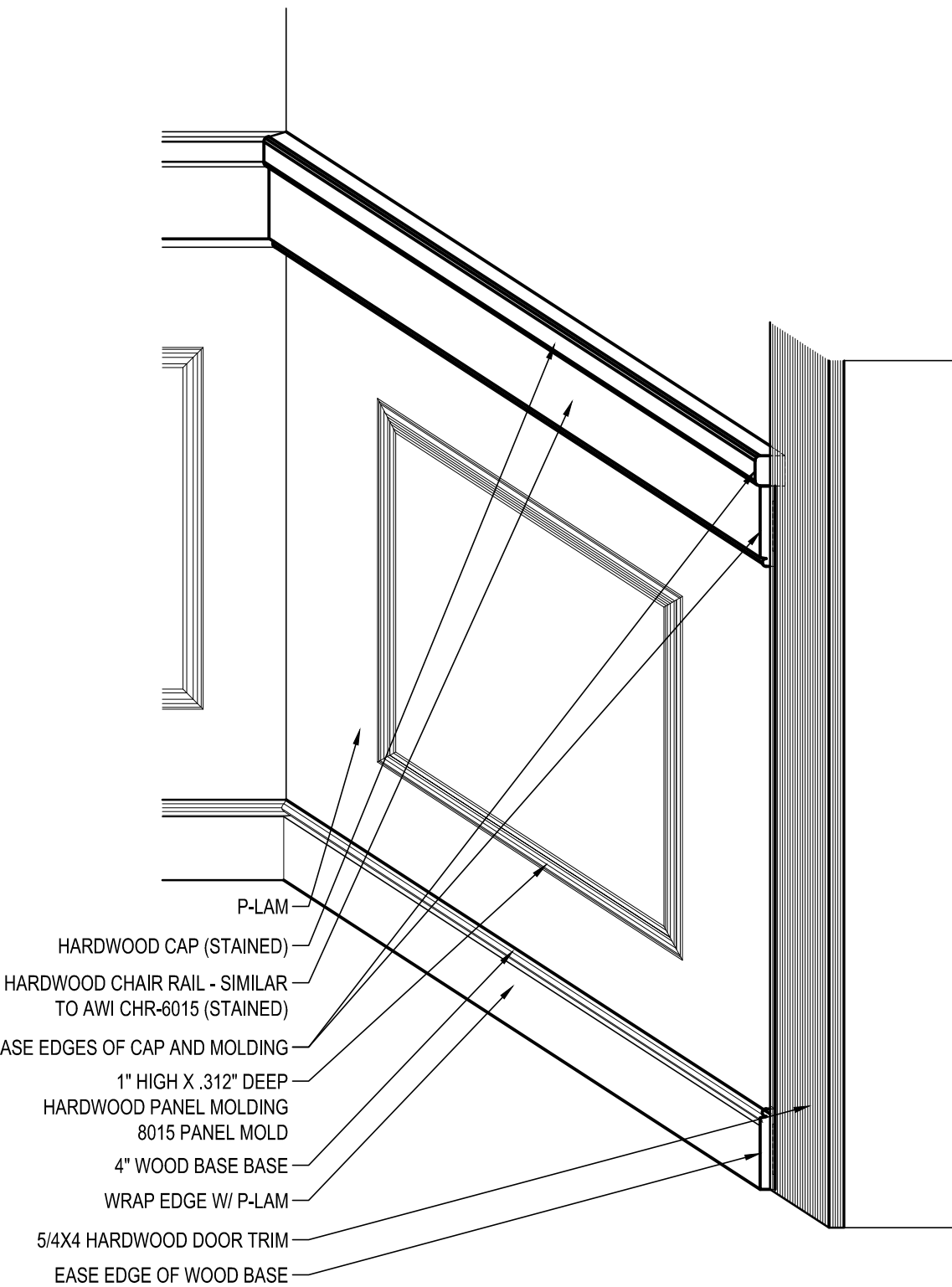
LVT TO TERRAZZO TRANSITION DETAIL

SCALE: 6" = 1'-0"



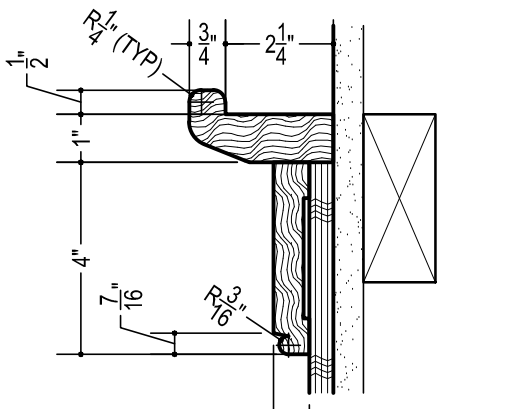
WAINSCOTING DETAIL

SCALE: 1-1/2" = 1'-0"



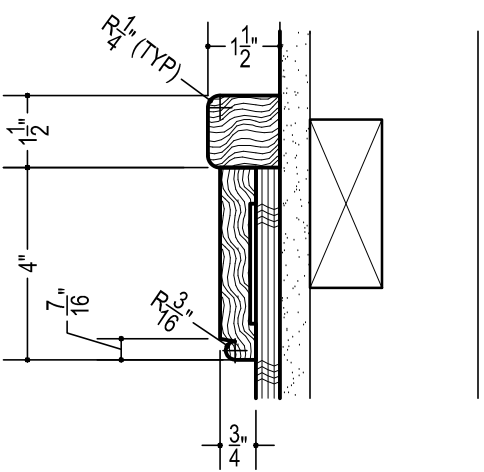
WAINSCOTING @ TRIM AXONOMETRIC

SCALE: 1-1/2" = 1'-0"



CHAIR RAIL DETAIL

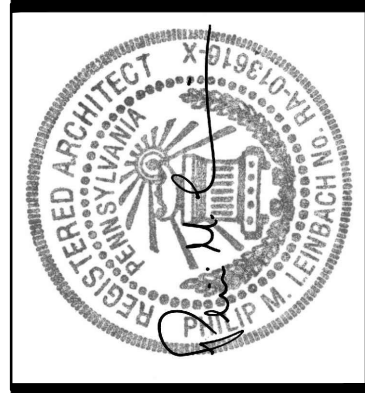
SCALE: 3" = 1'-0"



CHAIR RAIL DETAIL WITHOUT TRAY

SCALE: 3" = 1'-0"

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1/8" FLOOR FINISH PLANS AND DETAILS
PHASE 2 RENOVATIONS TO
AEM ARCHITECTS OFFICE
AEM ARCHITECTS, INC.
3700 PERKIDOMEN AVENUE, EXETER TOWNSHIP, BERKS COUNTY, PA

ALL DIMENSIONS AND EXISTING CONDITIONS
SHALL BE CHECKED AND VERIFIED
BY THE CONTRACTOR AT THE SITE.
JOB NO.: 23005.01
DRAWN BY: ASP / JOK
DATE: 1.20.25

TYPICAL PRODUCTION WORKSPACE (A)
SCALE: 1/2" = 1'-0"


WALL SECTION
 SCALE: 1/2" = 1'-0"

TYPICAL PRODUCTION WORKSPACE (B)
SCALE: 1/2" = 1'-0"

TYPICAL PRODUCTION WORKSPACE (C)
SCALE: 1/2" = 1'-0"

TYPICAL PRODUCTION WORKSPACE PLAN

PRODUCTION WORKSPACE DESK PLAN


WALL SECTION
 SCALE: 1/2" = 1'-0"

D1
A-7

DESK & SUPPORT DETAIL
SCALE: 1" = 1'-0"

D2
A-7

DESK & SUPPORT DETAIL
SCALE: 1" = 1'-0"

ROOM NUMBER	ROOM DESCRIPTION	ROOM FINISH SCHEDULE																				REMARKS	ROOM NUMBER				
		FLOORS		BASES		WALLS				CEILINGS																	
		MATERIALS		MATERIALS		MATERIALS		FINISH		MATERIALS		FINISH															
		CARPET	CERAMIC TILE	WALK OFF CARPET	LUXURY VINYL TILE (LVT)	SEALED CONCRETE	RUBBER TREASIS AND RISERS	RESILIENT BASE	CERAMIC TILE COVE	GYPSUM BOARD	CONCRETE BLOCK	CERAMIC TILE	WAINSCOT	FRP	CORK TACK SURFACE	PAINT	ACOUSTICAL CEILING TILE	GYPSUM BOARD	EXPOSED STRUCTURE	PAINT	PAINT			PAINT	PAINT	HEIGHT	
101	MAIN LOBBY	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	-	REMOVE AREA OF PHASE CARPET FOR INSTALLATION OF WALK-OFF	101	
103	CONFERENCE	1								1		4			P		1								XSTG	103	
104	MAIL ROOM			4		1				1					P		1								XSTG	104	
105	PRINTING				4	1				1					P		1								XSTG	105	
106	SERVER ROOM				4	1				1					P		1								XSTG	106	
107	TOILET ROOM		2					2				3			P		2			P					XSTG	107	
108	VESTIBULE			5			1			1					P		1								XSTG	108	
109	KITCHENETTE				4		1			1					P		1								XSTG	109	
110	TOILET ROOM			2				2		1		3					2			P					XSTG	110	
111	SAMPLES	1			4	1				1	2				P										8'-0"	111	
112	PRODUCTION AREA						1			1			6	P											8'-0"	112	
114	GARAGE					5	-			1			5	-			2			P					11'-2"	NOTE 1 FRP SHALL RUN FULL HEIGHT	114
115	CORRIDOR	1		4	1		1			1					P		1								XSTG	115	
116	CORRIDOR	1		4	1		1			1					P		1								XSTG	116	
117	CORRIDOR / STAIR	1		4	6	1				1	2				P		1								8'-0"	117	
001	PLOTTER ROOM				4		1			1	2				P		1								XSTG	001	
002	LEARNING				4		1			1	2				P		1								XSTG	002	
1A	STAIR				4		6	-		EX					P		1										
GENERAL NOTES:		KEYED ROOM FINISH SCHEDULE NOTES:																									
- THE ROOM FINISH SCHEDULE INDICATES PRIMARY FINISHES, MATERIALS, SUBSTRATES, ETC. IN A SPECIFIC ROOM OR AREA. ALL DRAWINGS (DETAILS, ELEVATIONS, PLANS, ETC.) AND SPECIFICATIONS SHALL BE REVIEWED TO CORRELATE THE COMPLETE EXTENT OF WORK REQUIRED FOR EACH AREA OR ROOM.		NOTE 1: REFER TO FIRST FLOOR FINISH PLAN ON DRAWING A-5A FOR ACCENT WALLS																									
- ALL MATERIALS USED IN PLENUM SPACES SHALL BE RATED FOR SUCH APPLICATIONS OR SHALL BE COMPLETELY COVERED OR ENCAPSULATED WITH AN APPROPRIATE, CODE APPROVED COVERING. EACH CONTRACTOR SHALL VERIFY APPROVAL OF MATERIALS USED IN PLENUMS WITH CURRENT CODES AND LOCAL AUTHORITIES HAVING JURISDICTION.																											
- ALL WALL AND CEILING FINISHES SHALL HAVE A SMOKE DEVELOPED RATING OF 450 OR LESS AND A FLAME SPREAD OF 25 OR LESS IN ACCORDANCE WITH ASTM E84.																											

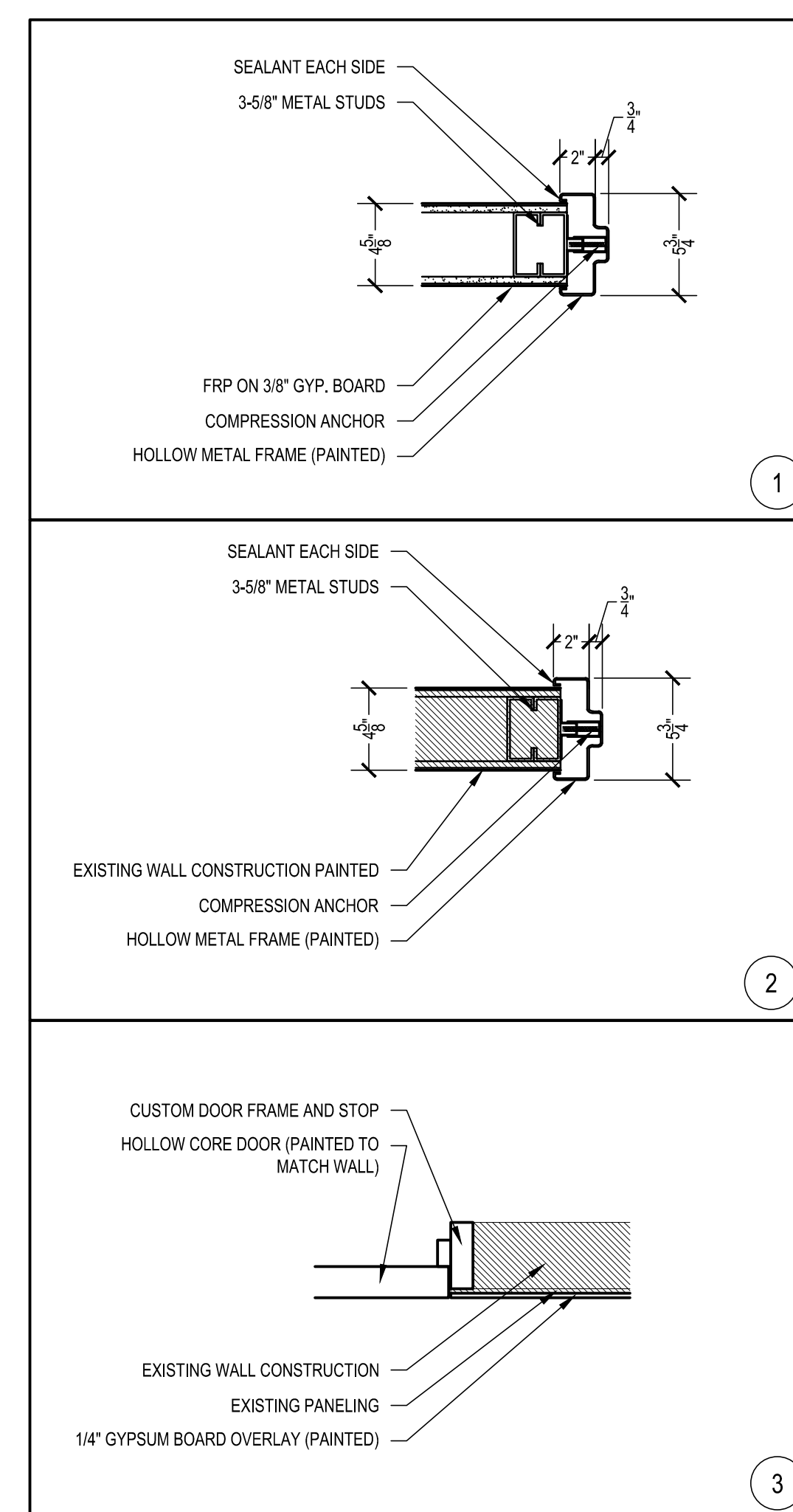
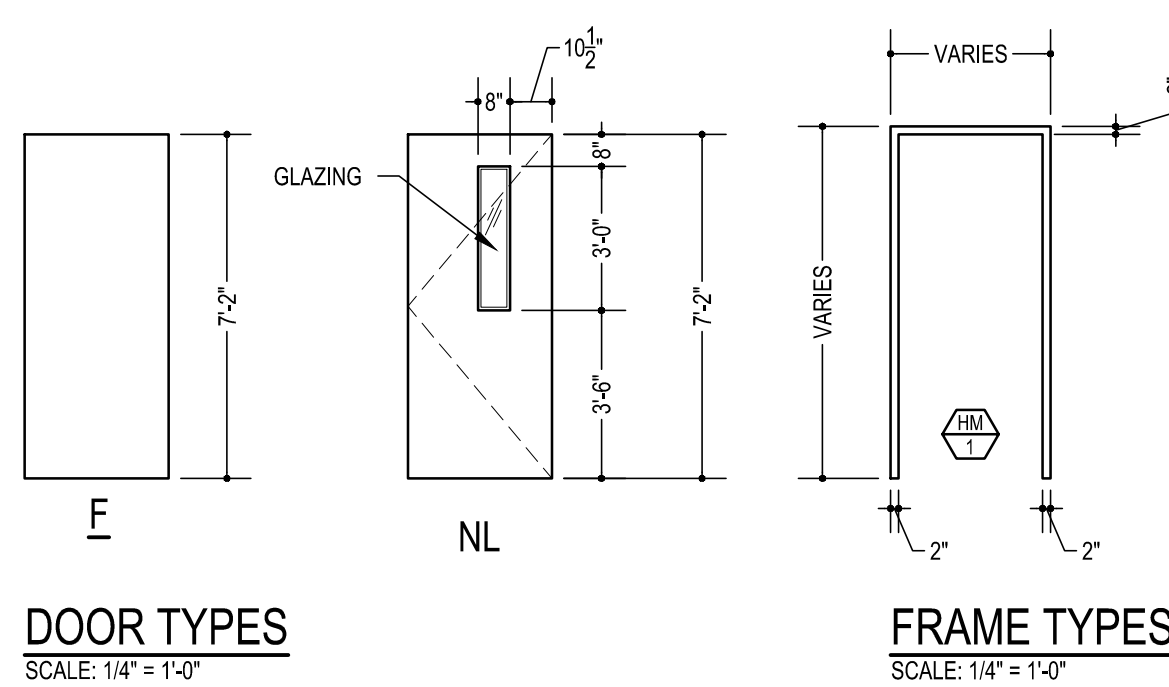
DOOR SCHEDULE																	
DOOR NUMBER	DOOR				SIZE			FRAME				REMARKS				DOOR NUMBER	
	TYPE	MATERIAL	GLASS	FINISH	WIDTH	HEIGHT	THICKNESS	TYPE	MATERIAL	GLASS	FINISH	THRESHOLD (AT SPT /MT)	DOOR UNDERCUT	HARDWARE SET (THIS DRAWING)			
100A	F	HC	--	P	18"	6'-6"	1-3/4"	EX	WD	--	P	--	7	DOOR DETAIL 3	100A		
100B	F	HC	--	P	21'-6"	3'-6"	1-3/4"	WD	WD	--	P	--	3'-8"	2	DOOR DETAIL 3	100B	
103	F	WD	--	FS	2'-10"	6'-6"	1-3/4"	HM	HM	--	P	--	3'	NOTE 3	103		
106	F	WD	--	FS	3'-4"	6'-6"	1-3/4"	HM	HM	--	P	--	3'-8"	4	--	106	
107	F	WD	--	FS	2'-2"	6'-6"	1-3/4"	HM	HM	--	P	SPT	1'-2"	5	--	107	
109	NL	WD	CT	FS	3'-4"	6'-6"	1-3/4"	HM	HM	--	P	--	3'-8"	4	--	109	
110	F	WD	--	FS	3'-4"	6'-6"	1-3/4"	HM	HM	--	P	SPT	1'-2"	5	NOTE 3	110	
114	F	HM	--	FS	3'-4"	6'-6"	1-3/4"	HM	HM	--	P	--	3'-8"	6	--	114	
115	NL	WD	CT	FS	2'-8"	6'-6"	1-3/4"	HM	HM	--	P	--	3'-8"	4	--	115	
1B	F	HC	--	FS	2'-2"	6'-6"	1-3/4"	HM	HM	--	P	--	3'-8"	1	--	1B	
1C	F	HC	--	FS	2'-3"	EX	EX	EX	EX	--	P	--	3'-8"	1	NOTE 2	1C	
001	NL	WD	CT	FS	3'-4"	6'-6"	1-3/4"	HM	HM	--	P	--	3'-8"	4	--	001	
002	F	HC	--	FS	2'-10"	6'-6"	1-3/4"	HM	HM	--	P	--	3'-8"	1	--	002	
003	EX	--	--	P	EX	EX	EX	EX	EX	--	P	--	--	NOTE 1	--	003	
004	F	WD	--	FS	3'-4"	6'-6"	1-3/4"	HM	HM	--	P	--	3'-8"	8	NOTE 4	004	

DOOR SCHEDULE ABBREVIATIONS:
CT CLEAR TEMPERED
EX EXISTING
HC HOLLOW CORE
FS FACTORY STAINED
HM HOLLOW METAL
P PAINT
SPT SOLID POLYMER THRESHOLD
WD WOOD

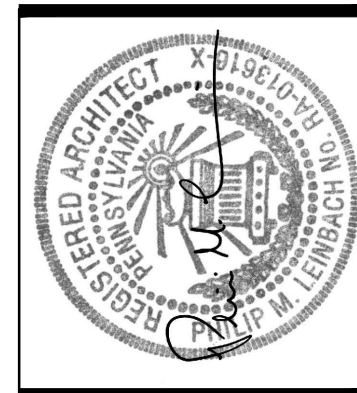
GENERAL NOTES:
• FIELD VERIFY DIMENSIONS OF ALL EXISTING OPENINGS PRIOR TO SUBMITTING SHOP DRAWINGS. INDICATE DIMENSIONS IN OPENING SIZE ON SHOP DRAWINGS.
• REFER TO THIS DRAWING FOR DOOR AND FRAME TYPES AND DOOR DETAILS.
• REFER TO DRAWING A-5A FOR DOOR HARDWARE REQUIREMENTS.

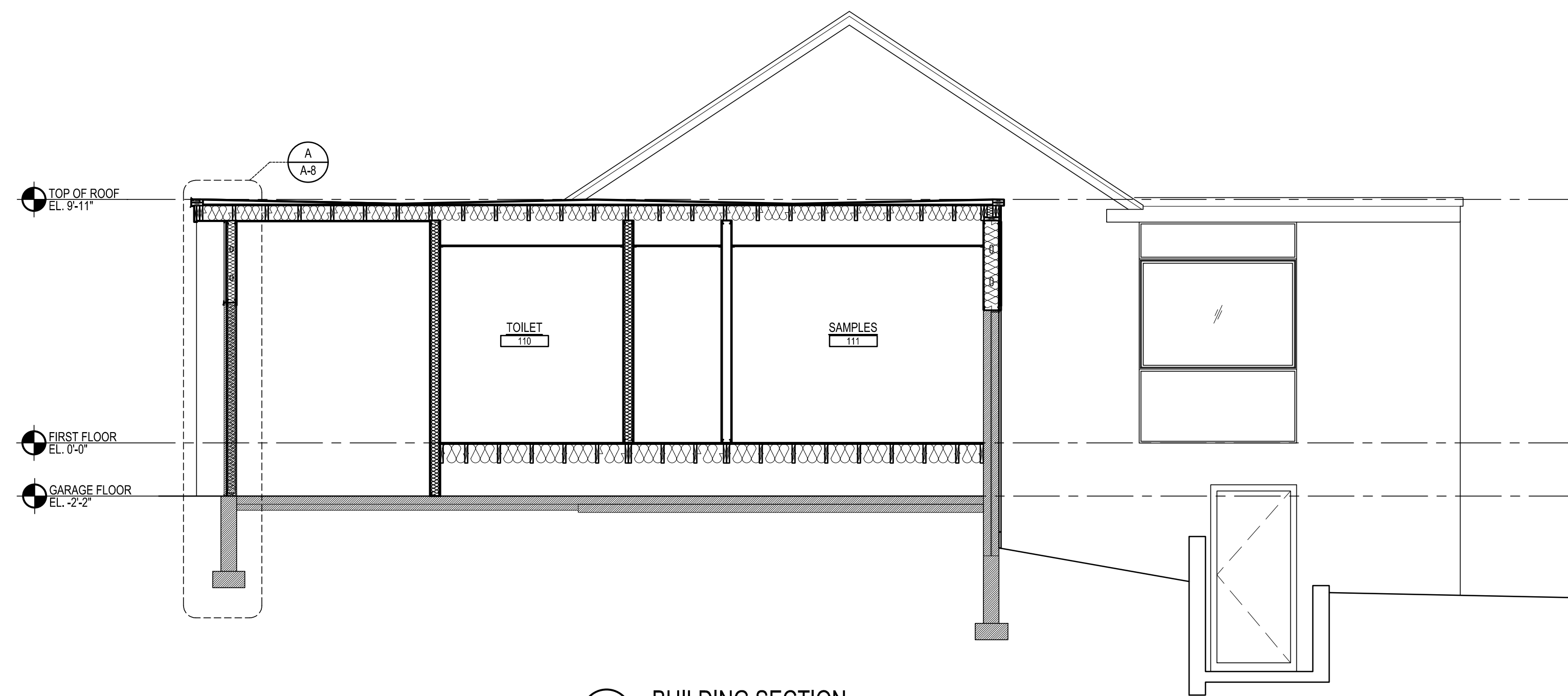
KEYED NOTES:
NOTE 1: EXISTING DOOR SHALL BE PAINTED. EXTERIOR SHALL BE BLACK TO MATCH GARAGE DOOR ON PHASE 1 PROJECT. INTERIOR SHALL MATCH WALL COLOR.
NOTE 2: PAINT EXISTING DOOR TO MATCH WALL COLOR.
NOTE 3: KEY LOCKS TO MATCH EXISTING BLDG. KEY.
NOTE 4: DOOR SHALL BE PROVIDED WITH 16"x16" LOUVER - REFER TO M DRAWINGS

DOOR HARDWARE SCHEDULE						
	QTY	MFR	CAT NO.	FINISH	REMARKS	
MARK 1 - (WD HC DR X WD FR) - DOORS 1B, 1C, 002						
HINGES	3	MCKINNEY	7A2714	US2B2		
LATCHSET	1	SARGENT	10U15-P (DOOR 002 ONLY)	US2B2		
LATCHSET	1	SARGENT	110U15-P	US2B2		
WALLSTOP	1	ROCKWOOD	406 X WALL ANCHOR (EXCEPT 100A)	US2B2		
MARK 2 - (HC DOOR X HC FR) - DOOR 100B						
HINGES	2	MCKINNEY	PI44	US2B2		
PULLS	2	ROCKWOOD	BF97	US32D	ONE PULL EACH LEAF	
ROLLER CATCH	4	ROCKWOOD	911	US2B2	CATCH AT TOP AND BOTTOM OF EACH LEAF	
MARK 3 - (WD DOOR X HM FR) - DOOR 103						
HINGES	3	MCKINNEY	T4A3786	US2B2		
PULLS	1	SARGENT	10G05-P	US2B2		
WALLSTOP	1	ROCKWOOD	409 X WALL ANCHOR	US2B2		
MARK 4 - (WD DOOR X HM FR) - DOORS 106, 109, 111, 001						
HINGES	3	MCKINNEY	T4A3786	US2B2		
PULLS	1	SARGENT	10U15-P	US2B2		
WALLSTOP	1	ROCKWOOD	406 X WALL ANCHOR	US2B2		
MARK 5 - (WD DOOR X HM FR) - DOORS 107, 110						
HINGES	3	MCKINNEY	T4A3786	US32D		
PULLS	1	SARGENT	10U65-P	US2B2		
WALLSTOP	1	ROCKWOOD	409 X WALL ANCHOR	US2B2		
MARK 6 - (WD DOOR X HM FR) - DOOR 114						
HINGES	3	MCKINNEY	T4A3786	US32D		
PULLS	1	SARGENT	8225-P	US2B2		
WALLSTOP	1	ROCKWOOD	406X WALL ANCHOR	US2B2		
MARK 7 - (WD HC DR X WD FR) - DOORS 100A						
HINGES	3	MCKINNEY	PI-44	US32D		
PULLS	1	ROCKWOOD	BF97	US32D		
ROLLER CATCH	1	IVES	CL21A	US2B2		
MARK 7 - (WD HC DR X WD FR) - DOORS 100A						
HINGES	3	MCKINNEY	PI-44	US32D		
PULLS	1	SARGENT	10G15-3	US32D	LATCH ON LEARNING 002 SIDE	

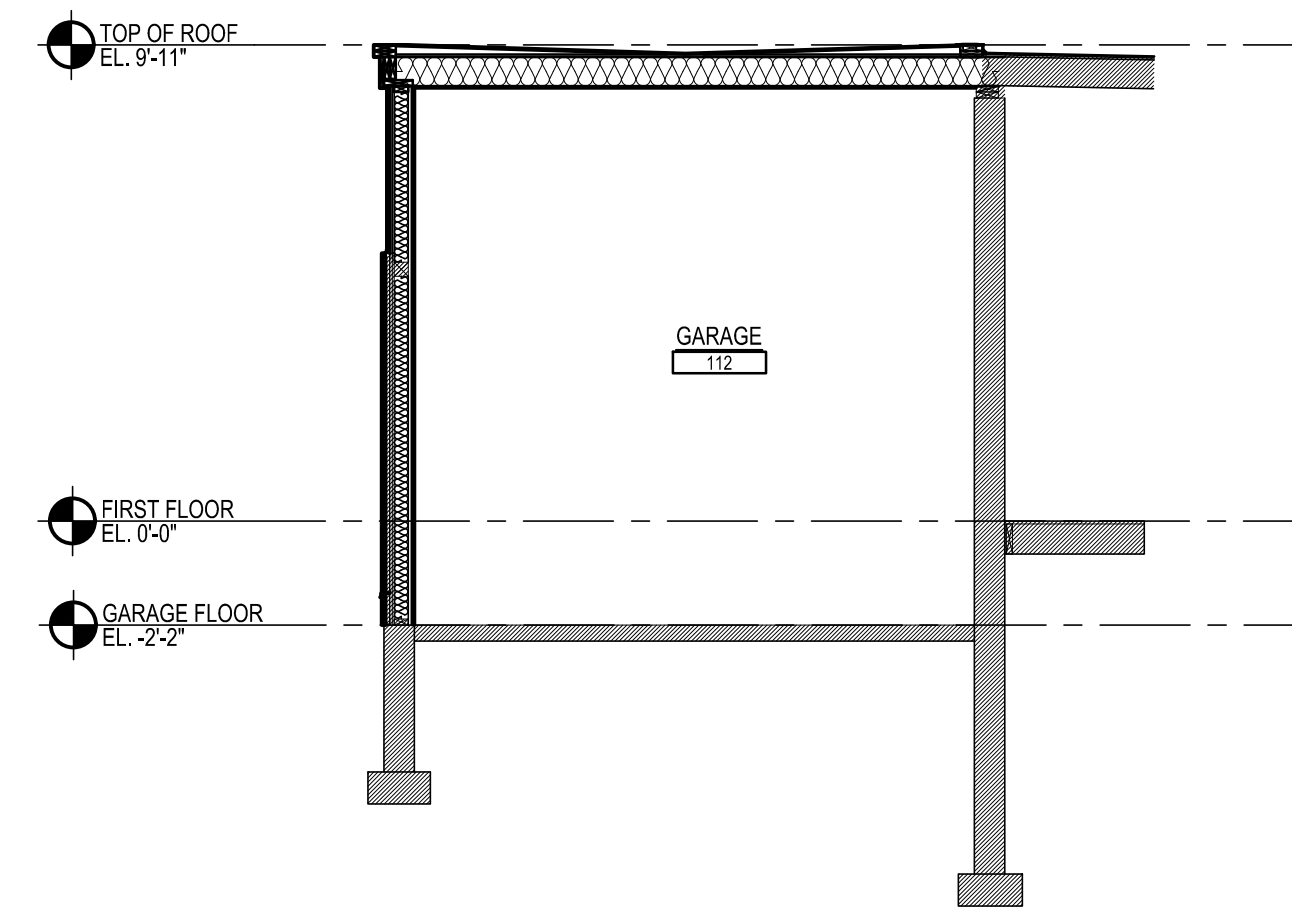


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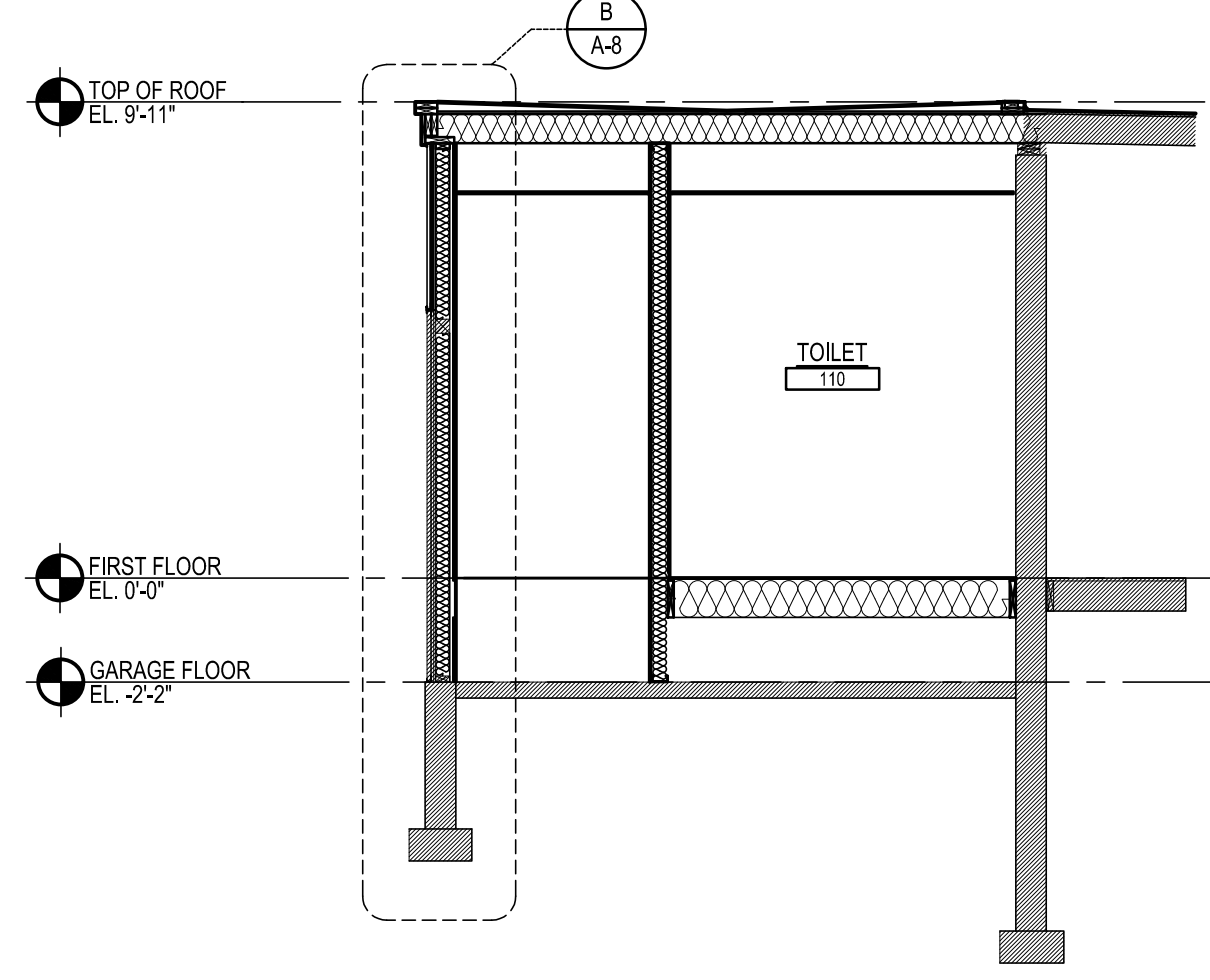




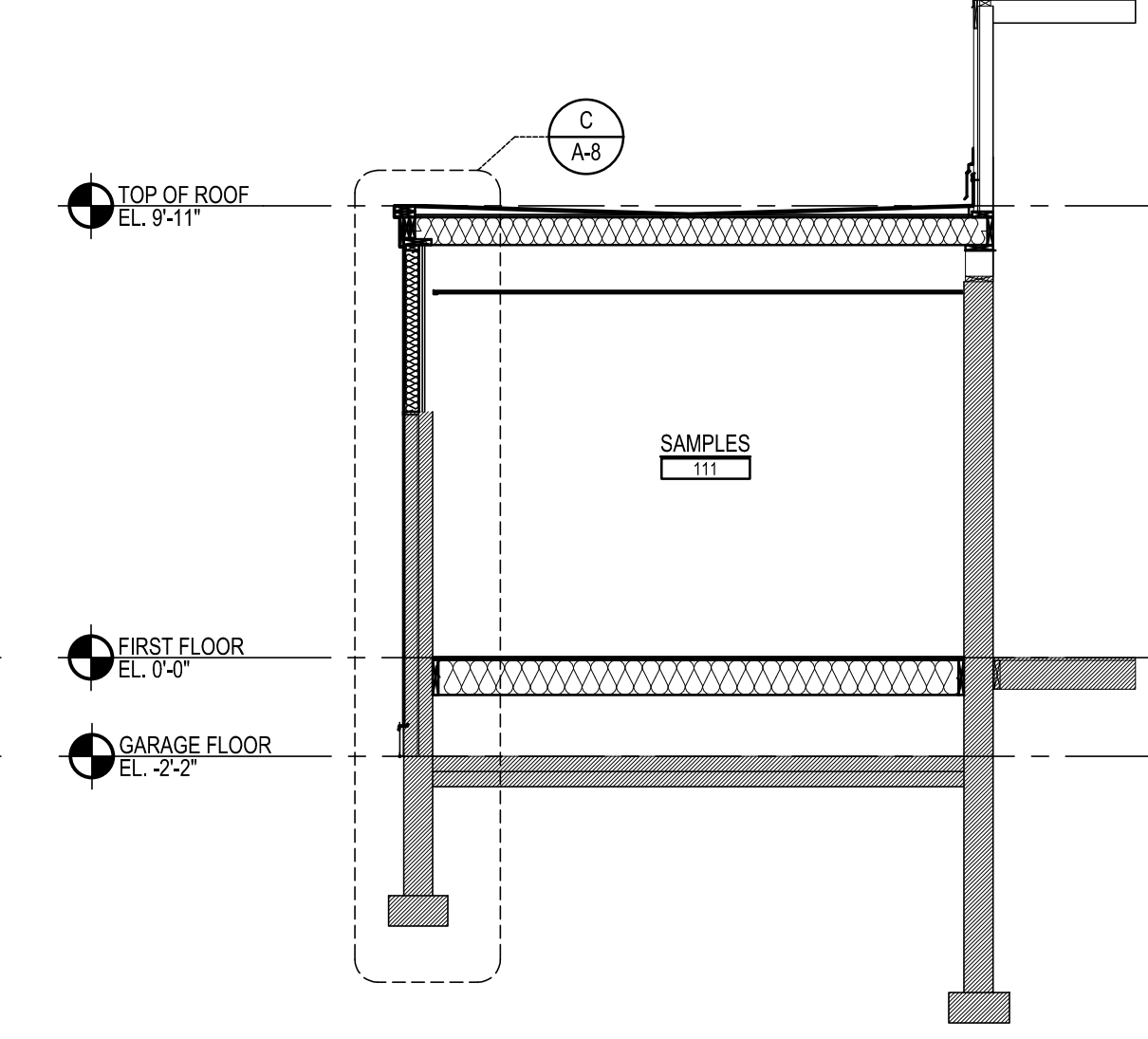
BUILDING SECTION
SCALE: 1/4" = 1'-0"



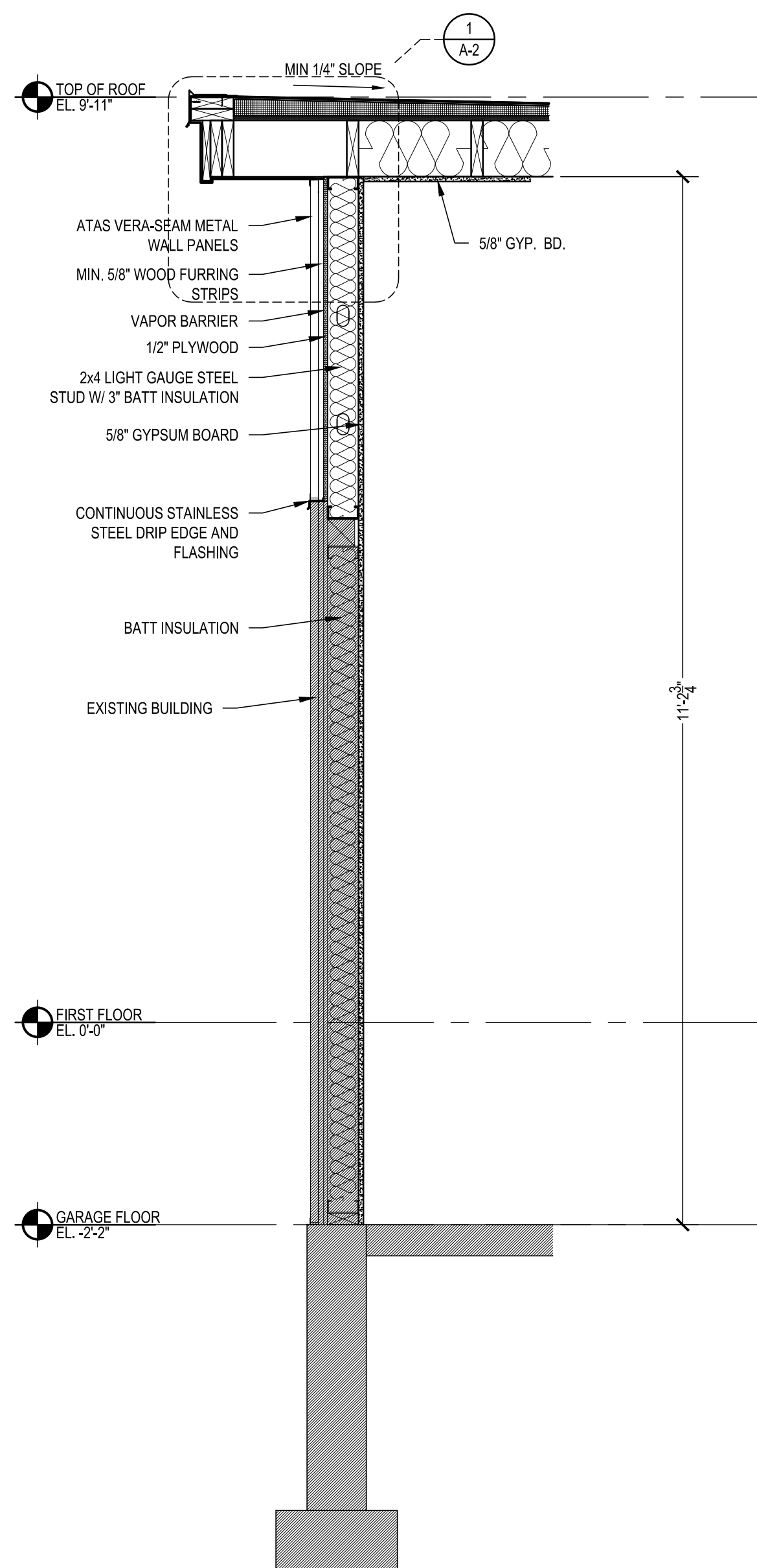
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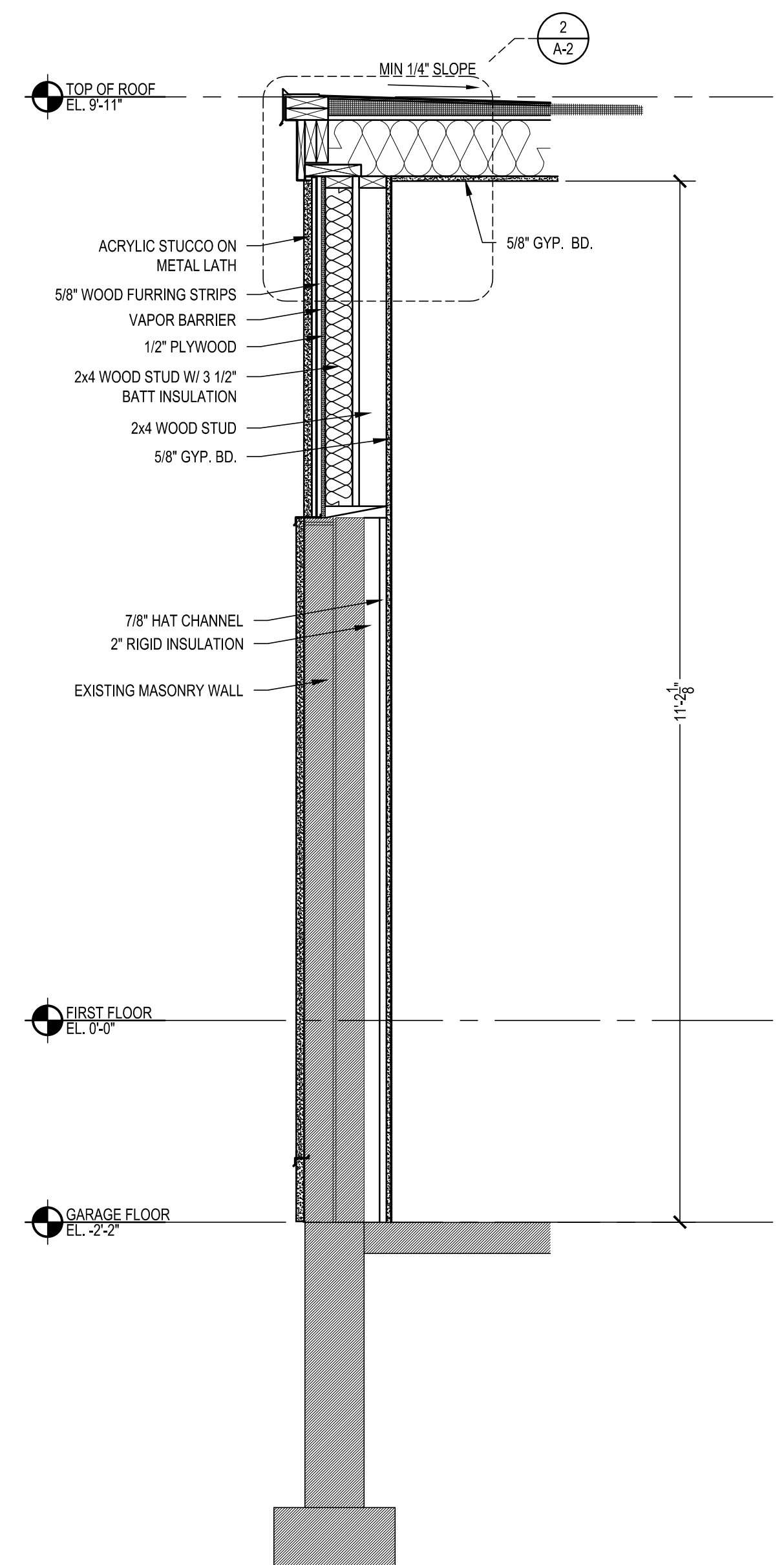
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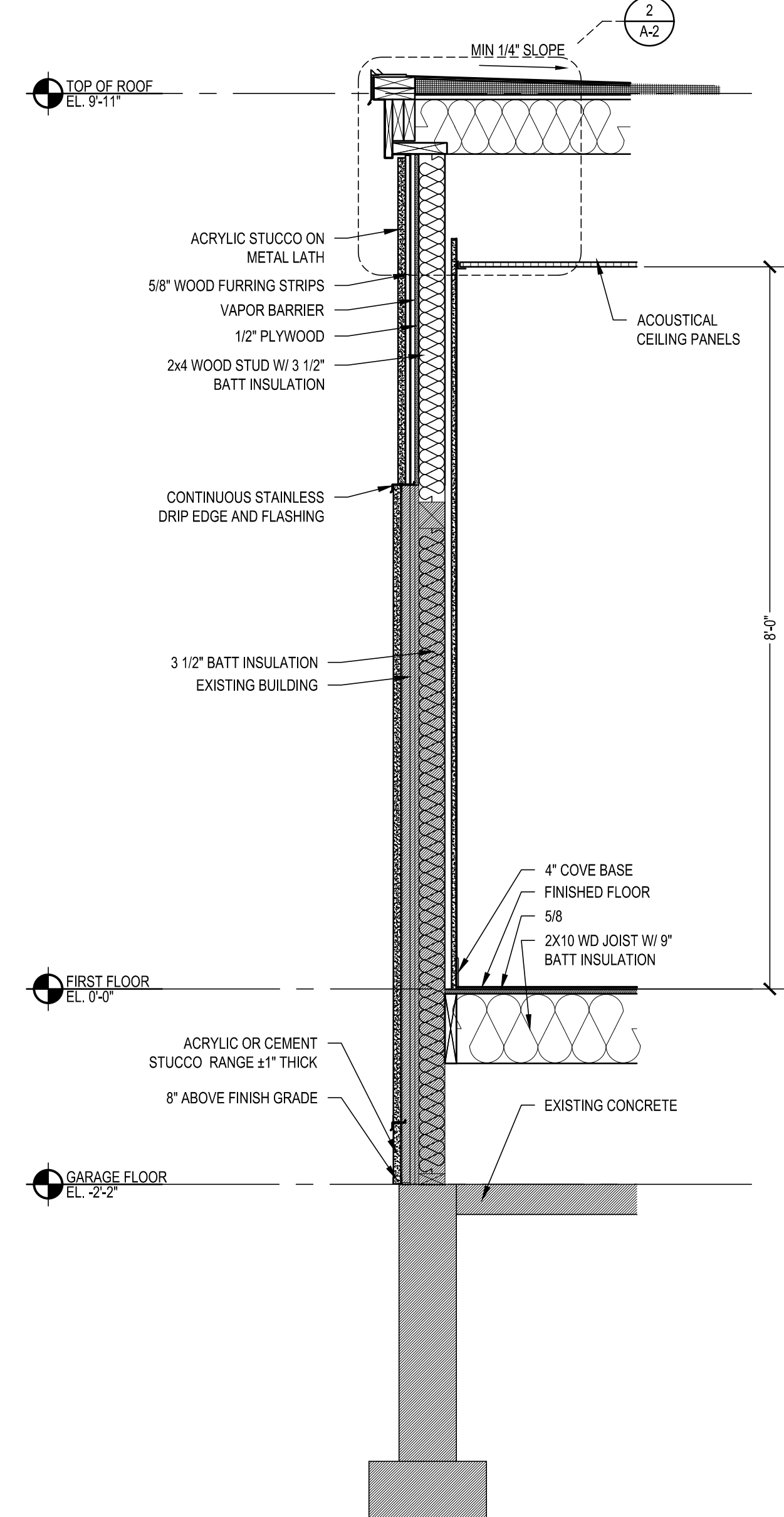
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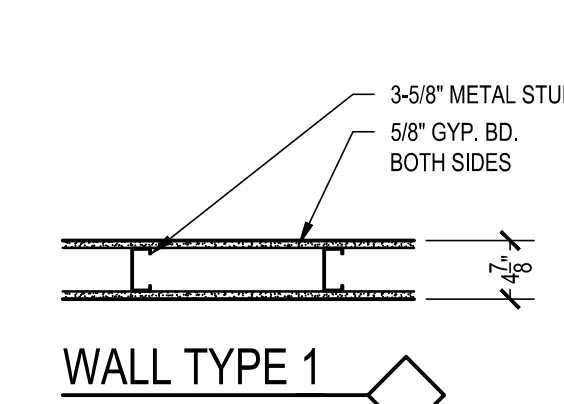
WALL SECTION
SCALE: 3/4" = 1'-0"



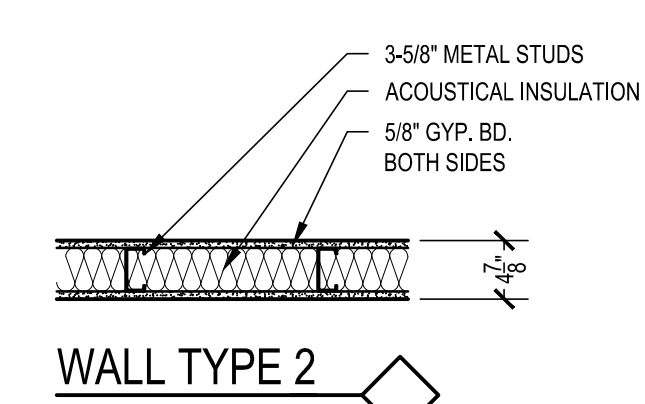
WALL SECTION
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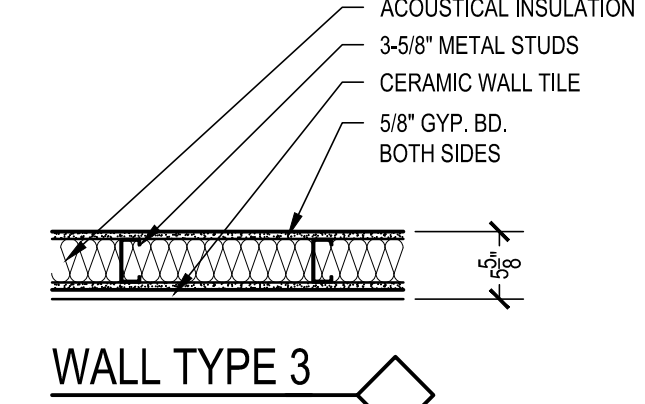
WALL SECTION
SCALE: 3/4" = 1'-0"



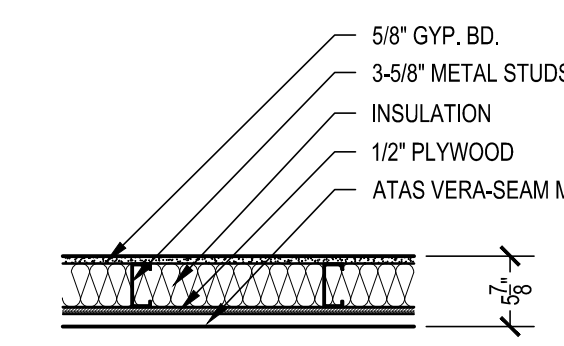
WALL TYPE 1



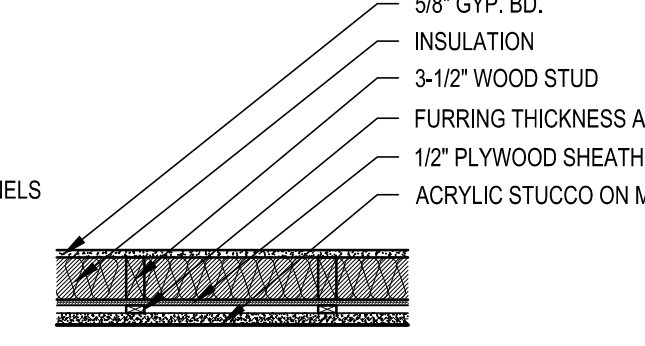
WALL TYPE 2



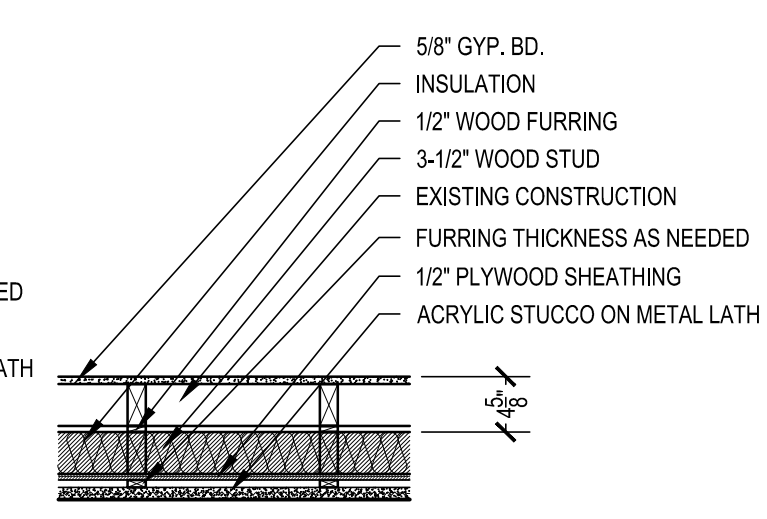
WALL TYPE 3



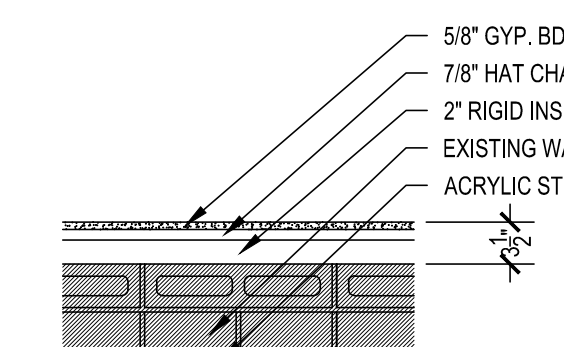
WALL TYPE 4



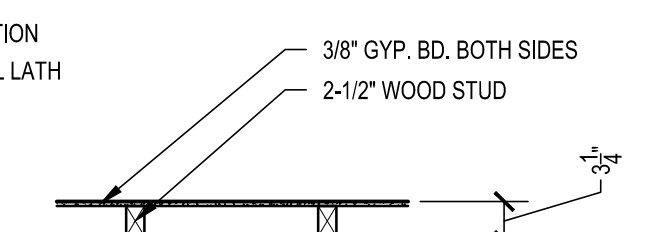
WALL TYPE 5



WALL TYPE 5A



WALL TYPE 6



WALL TYPE 7

REVISIONS	DESCRIPTION
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AEM ARCHITECTS, INC.
3700 PERKINS AVENUE, READING, PA 19606-2795
Phone: 610.79.3320 Fax: 610.79.3322 www.aem-arch.com

1/4" BUILDING SECTIONS AND 3/4" WALL SECTIONS
PHASE 2 RENOVATIONS TO
AEM ARCHITECTS OFFICE
AEM ARCHITECTS, INC.
3700 PERKINS AVENUE, EYETER TOWNSHIP, BERKS COUNTY, PA

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