
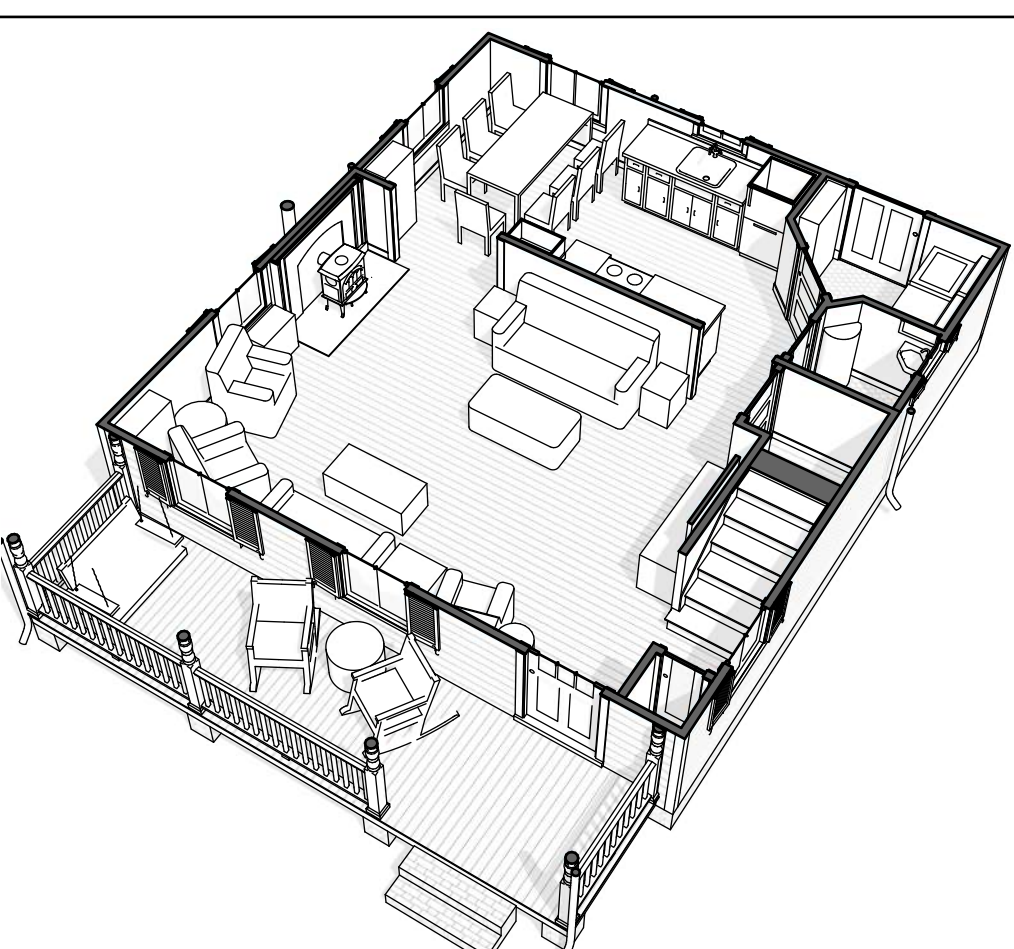
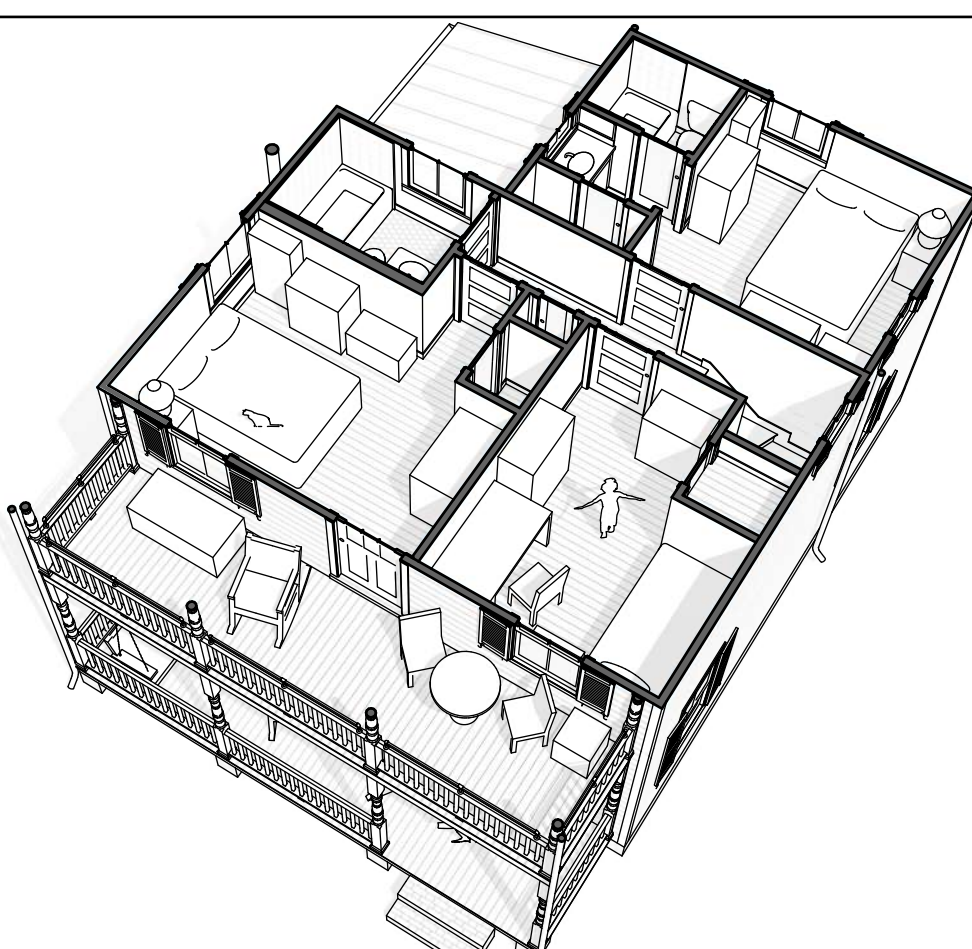


<h3>SYMBOLS LEGEND</h3> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; vertical-align: top;"> <ul style="list-style-type: none"> <li> SECTION MARKER</li> <li> ELEVATION MARKER</li> <li> INTERIOR ELEVATION</li> <li> DETAIL CALLOUT</li> <li> COMPASS (TRUE N)</li> <li> DATUM MARKER</li> <li> WINDOW CALLOUT</li> <li> DOOR CALLOUT</li> <li> FIXTURE CALLOUT</li> <li> FINISH CALLOUT</li> <li> CONTOURS (2')</li> <li> REVISION NUMBER</li> <li> CENTER LINE</li> <li> BATH LIGHT &amp; FAN</li> </ul> </td> <td style="width: 50%; vertical-align: top;"> <ul style="list-style-type: none"> <li> SOIL</li> <li> CONCRETE</li> <li> BRICK</li> <li> INSULATION (ANY)</li> <li> RIGID INSULATION</li> <li> BATT INSULATION</li> <li> WALL OUTLET</li> <li> SPECIAL-USE OUTLET</li> <li> 220V OUTLET</li> <li> ELECTRICAL SWITCH</li> <li> 3-WAY SWITCH</li> <li> LIGHT/FAN SWITCH</li> <li> CEILING LIGHT</li> <li> RECESSED LIGHT</li> <li> WALL-HUNG LIGHT</li> <li> CEILING FAN</li> <li> SMOKE DETECTOR</li> </ul> </td> </tr> </table>	<ul style="list-style-type: none"> <li> SECTION MARKER</li> <li> ELEVATION MARKER</li> <li> INTERIOR ELEVATION</li> <li> DETAIL CALLOUT</li> <li> COMPASS (TRUE N)</li> <li> DATUM MARKER</li> <li> WINDOW CALLOUT</li> <li> DOOR CALLOUT</li> <li> FIXTURE CALLOUT</li> <li> FINISH CALLOUT</li> <li> CONTOURS (2')</li> <li> REVISION NUMBER</li> <li> CENTER LINE</li> <li> BATH LIGHT &amp; FAN</li> </ul>	<ul style="list-style-type: none"> <li> SOIL</li> <li> CONCRETE</li> <li> BRICK</li> <li> INSULATION (ANY)</li> <li> RIGID INSULATION</li> <li> BATT INSULATION</li> <li> WALL OUTLET</li> <li> SPECIAL-USE OUTLET</li> <li> 220V OUTLET</li> <li> ELECTRICAL SWITCH</li> <li> 3-WAY SWITCH</li> <li> LIGHT/FAN SWITCH</li> <li> CEILING LIGHT</li> <li> RECESSED LIGHT</li> <li> WALL-HUNG LIGHT</li> <li> CEILING FAN</li> <li> SMOKE DETECTOR</li> </ul>	<h3>PERSPECTIVE</h3> 	<h3>SHEET INDEX</h3> <ul style="list-style-type: none"> <li><b>A0.0</b> COVER PAGE</li> <li><b>A0.1</b> PROJECT INFO</li> <li><b>A0.2</b> GENERAL NOTES</li> <li><b>A1.0</b> ROOF / FOUNDATION</li> <li><b>A1.1</b> DOWNSTAIRS PLANS</li> <li><b>A1.2</b> UPSTAIRS PLANS</li> <li><b>A2.0</b> FRONT ELEVATIONS</li> <li><b>A2.1</b> REAR ELEVATIONS</li> <li><b>A3.0</b> SECTION VIEWS</li> <li><b>A4.0</b> TYPICAL DETAILS</li> <li><b>A4.1</b> EXTERIOR DETAILS</li> <li><b>A5.0</b> SCHEDULES</li> </ul> <p>These technical plans also include 3D views and explanatory footnotes that help you understand the design's underlying ideas and intentions.</p>
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<h3>1ST FLOOR</h3> 	<h3>2ND FLOOR</h3> 	<h3>IMPORTANT NOTE</h3> <p>These plans are for informational purposes only. This work is provided 'as is,' with no promises about accuracy or reliability. It doesn't represent a legal contract or an architectural service. No person or organization provides any warranty, express or implied, regarding this information. Use this work at your own risk. Buildings are complex, and countless problems can occur. FreeFarmhouse &amp; Jay Osborne disclaim liability from any damages, of any kind, that may result from using these drawings.</p>		



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A DESIGN BY JAY OSBORNE  

# GEORGIA'S FARMHOUSE

  
 THE ORIGINAL STARTER FARMHOUSE PLANS

**3** 2025-08-08 ORIGINAL DESIGN (FINISHED PLANS)  
**2** 2023-06-30 GEORGIA: BLUEPRINTS ON PATREON  
**1** 2023-01-04 STARTER FARMHOUSE SCHEMATICS  
 + See A0.1 for more project history and credits

COVER PAGE

# A0.0

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## PROJECT INFORMATION

### LOCATION

54321 EXAMPLE AVENUE  
KNOWHERE, GA 12345

### PROJECT DESCRIPTION

ADU OR SINGLE-FAMILY HOUSE

### PROJECT NUMBER

APN 0000-0000-000-000

### FLOOR AREA

**1ST FLOOR:** CORE: 384 SQUARE FEET  
"ADDITION" (REAR): 240 SQUARE FEET  
TOTAL FLOOR 1 AREA: 624 SQUARE FEET  
**2ND FLOOR:** CORE: 346 SQUARE FEET  
"ADDITION" (REAR): 160 SQUARE FEET  
TOTAL FLOOR 2 AREA: 506 SQUARE FEET

**TOTAL FLOOR AREA: 1,130 SQUARE FEET**

### CONSTRUCTION TYPE

TYPE V - WOOD FRAME CONSTRUCTION

### PARCEL SIZE

[RECOMMENDED: AT LEAST 40 FEET BY 60 FEET]

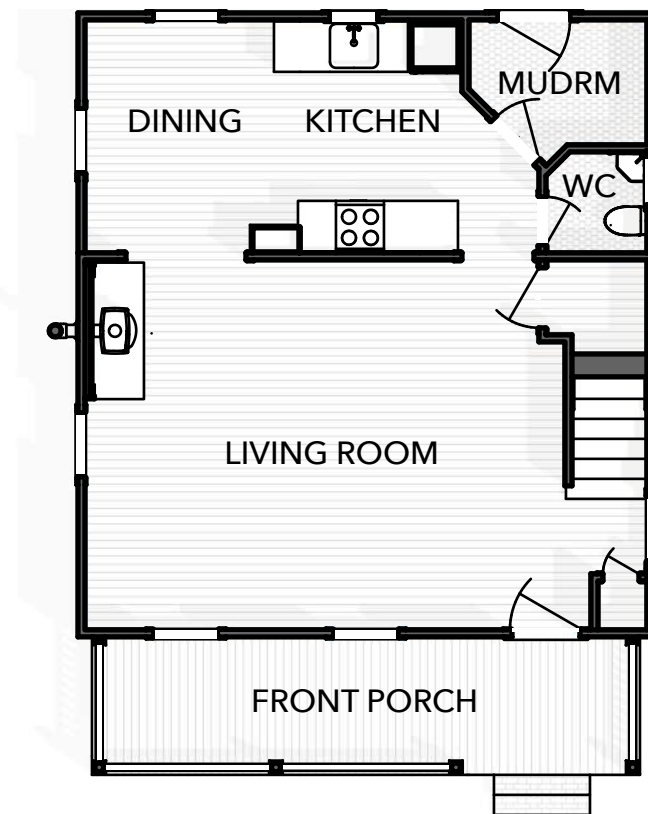
### APPLICABLE CODES

2022 EXAMPLE STATE BUILDING CODE

## PRESENTATION PLANS



## GEORGIA



1ST FLOOR



2ND FLOOR

## PROJECT HISTORY & CREDITS

- 2023-01-04  
**1 STARTER FARMHOUSE SCHEMATIC DESIGNS**  
PRESENT DIGITAL MODELS TESTING THE FIRST FOUR VARIATIONS.
- 2023-06-30  
**2 GEORGIA: 1ST DRAFT OF PLAN DRAWINGS**  
JAY OSBORNE CREATES DETAILED DRAWINGS FOR PATREON.
- 2025-08-08  
**3 GEORGIA: ORIGINAL DESIGN (FINISHED PLANS)**  
ADDED DETAILS PAGES – THANKS TO KICKSTARTER SUPPORTERS

### NOTES:

1. ALL WORK SO FAR IS BY JAY OSBORNE. SEE GENERAL NOTES (SHEET A0.2, SECTION 9) FOR INFORMATION ABOUT ATTRIBUTION AND THE OPEN SOURCE LICENSE.
2. THESE ARCHITECTURAL DRAWINGS ARE ONLY A TEMPLATE. FOR IT TO BE BUILT, THE DESIGN MUST BE ADAPTED TO LOCAL NEEDS & REQUIREMENTS. TO DO THIS, YOU CAN CUSTOMIZE THE SOURCE FILES (WHICH ARE FREE TO DOWNLOAD) AT FREEFARMHOUSE.COM.
3. THIS IS PART OF JAY OSBORNE'S "STARTER FARMHOUSE PROJECT". THE FIRST DESIGNS INCLUDE VIRGINIA, GEORGIA, CAROLINE, AND MARILYN. ON PATREON.COM/FREEFARMHOUSE, YOU CAN ALSO GET EARLY ACCESS TO DELAWARE'S, OREGON'S, AND PENNY & SYLVIA'S FARMHOUSE- AND MANY MORE DESIGNS STILL TO COME.

## CONTACT INFORMATION

### OWNER

NAME	
PHONE NUMBER	STREET ADDRESS
EMAIL ADDRESS	CITY / STATE / ZIP
NOTES	

### ARCHITECT (OR DESIGNER OF RECORD)

CONTACT PERSON	COMPANY NAME
PHONE NUMBER	STREET ADDRESS
EMAIL ADDRESS	CITY / STATE / ZIP
NOTES	

### GENERAL CONTRACTOR

CONTACT PERSON	COMPANY NAME
PHONE NUMBER	STREET ADDRESS
EMAIL ADDRESS	CITY / STATE / ZIP
NOTES	

### SURVEYOR

CONTACT PERSON	COMPANY NAME
PHONE NUMBER	STREET ADDRESS
EMAIL ADDRESS	CITY / STATE / ZIP
NOTES	

### PLUMBING

CONTACT PERSON	COMPANY NAME
PHONE NUMBER	STREET ADDRESS
EMAIL ADDRESS	CITY / STATE / ZIP
NOTES	

### MECHANICAL (AND/OR ELECTRICAL)

CONTACT PERSON	COMPANY NAME
PHONE NUMBER	STREET ADDRESS
EMAIL ADDRESS	CITY / STATE / ZIP
NOTES	

### STRUCTURAL

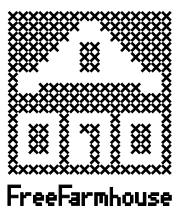
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### LANDSCAPE

CONTACT PERSON	COMPANY NAME
PHONE NUMBER	STREET ADDRESS
EMAIL ADDRESS	CITY / STATE / ZIP
NOTES	

### INTERIORS

CONTACT PERSON	COMPANY NAME
PHONE NUMBER	STREET ADDRESS
EMAIL ADDRESS	CITY / STATE / ZIP
NOTES	



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## PROJECT INFO

# A0.1

## GENERAL NOTES

**1A** – WORK SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES, INCLUDING BUT NOT LIMITED TO BUILDING, PLUMBING, ELECTRICAL, AND MECHANICAL CODES.

**1B** – ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR THEIR REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.

**1C** – IF PRINTING FULL-SIZE DRAWING SET, DO NOT SCALE DRAWINGS.

**1D** – WRITTEN DIMENSIONS TAKE PRECEDENCE OVER MEASUREMENTS.

~~**1E** – METRIC DIMENSIONS DO NOT PRECISELY MATCH IMPERIAL DIMS (AS DRAWN) DUE TO DIFFERING CODES AND MODULAR STANDARDS. IF ACCURACY IS DOUBTED, IMPERIAL DIMENSIONS TAKE PRECEDENCE.~~

**1F** – DIMENSIONS ARE TAKEN FROM FACE OF FRAMING LUMBER, FACE OF CONCRETE/ MASONRY, CENTER/FACE OF COLUMN, AND CENTERLINE OF FIXTURE, UNLESS OTHERWISE NOTED.

**1G** – ALL DIMENSIONS NOTED "VERIFY IN FIELD" (V.I.F.) SHALL BE MEASURED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE OWNER OR THEIR REPRESENTATIVE.

**1H** – ALL NOTES AND DETAILS ARE TYPICAL. SIMILAR NOTES, DETAILS, AND DIMENSIONS APPLY IN SIMILAR SITUATIONS.

**1I** – IN THE CASE OF DISCREPANCIES WITHIN DESCRIPTIONS OF SIMILAR ITEMS, PRECEDENCE SHALL BE GIVEN TO NOTES AND DRAWINGS OF GREATER DETAIL.

**1J** – INSTALL FIXTURES, MATERIALS, AND EQUIPMENT ACCORDING TO MANUFACTURERS' SPECIFICATIONS. SHOULD THOSE SPECS CONFLICT WITH THE DRAWINGS, OR VIOLATE LOCAL REGULATIONS, IMMEDIATELY NOTIFY THE OWNER OR THEIR REPRESENTATIVE.

**1K** – VERIFY CLEARANCES FOR FIXTURES, VENTS, CHASES, ETC. BEFORE ORDERING OR INSTALLING RELATED WORK ITEMS.

**1L** – COORDINATE ALL WORK WITH EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED TO: IRRIGATION PIPES, ELECTRICAL CONDUITS, WATER LINES, GAS LINES, AND DRAINAGE LINES.

**1M** – IT IS BEYOND THE SCOPE OF ARCHITECTURAL DRAWINGS TO ILLUSTRATE THE BUILDING CODE. BUILDERS: READ IT, FOLLOW IT.

### 2 ( SITE / FOUNDATION )

**2A** – ANY SURVEY MARKERS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR.

**2B** – GRADING AND SITEWORK SHALL BE MINIMAL IN ALL AREAS NOT DIRECTLY AFFECTED BY THE NEW CONSTRUCTION. FOLLOW BEST PRACTICES AND LOCAL REQUIREMENTS IN ORDER TO MINIMIZE ENVIRONMENTAL DAMAGE.

**2C** – FINISH GRADE SHALL SLOPE DOWN FROM HOUSE, AT A HEIGHT OF 6 INCHES OVER A 10 FOOT DISTANCE.

**2D** – BEFORE GRADING OPERATIONS, A TEMPORARY PROTECTION FENCE SHALL BE CONSTRUCTED AROUND ANY TREE WITHIN 30 FEET OF THE FOUNDATION. SILT FENCES SHALL BE CONSTRUCTED DOWNSLOPE OF ANY AREA WHERE THE SOIL IS DISTURBED.

**2E** – DEPICTED FOUNDATION IS BASED ON FICTIONAL CONDITIONS. CONDUCT A SOIL TEST AND STRUCTURAL ENGINEERING FOR A SITE-SPECIFIC FOUNDATION. (AND THEN YOU CAN DELETE THIS NOTE)

**2F** – FOOTINGS SHALL EXTEND BELOW THE LOCAL FROST LINE.

**2G** – PERFORATED DRAINAGE PIPES SHALL BE LOCATED WITHIN A GRAVEL PERIMETER AROUND THE FOUNDATION; AND MULTIPLE DRAINAGE OUTLETS LEAD DOWNSLOPE AWAY FROM THE BUILDING.

**2H** – ALL WOOD WITHIN 8 INCHES OF THE GROUND SHALL BE PRESSURE TREATED OR COMPRISE A SUITABLY ROT RESISTANT MATERIAL. METAL CONNECTIONS WHICH TOUCH THIS WOOD SHOULD BE GALVANIZED OR STAINLESS STEEL.

### 3 ( CONSTRUCTION )

**3A** – ALL CONSTRUCTION SHALL BE TRUE, PLUMB, LEVEL, SQUARE, AND IN PROPER ALIGNMENT.

**3B** – THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE FULL-SIZE SET OF DRAWINGS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION. ALL SUBCONTRACTORS SHALL BE PROVIDED WITH A SET OF DRAWINGS.

**3C** – THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS, AS WELL AS INSPECT THE PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR PROBLEMS FREEFARMHOUSE.COM WHICH COULD HAVE BEEN PREVENTED BY A THOROUGH EXAMINATION.

**3A** – PROVIDE TEMPORARY SUPPORT AS NECESSARY TO ENSURE THE STRUCTURAL INTEGRITY OF THE BUILDING UNDER CONSTRUCTION. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION-RELATED ACTIVITIES.

**3D** – THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REGULARLY REMOVING THE WASTE MATERIALS OF ALL SUBCONTRACTORS, AND MAINTAIN STRICT CONTROL OVER JOB CLEANING TO PREVENT DUST AND RUBBISH FROM INTERFERING WITH OPERATIONS.

**3E** – CONSTRUCTION EQUIPMENT NOISE SHALL BE MINIMIZED DURING THE CONSTRUCTION PHASES BY MUFFLING AND SHIELDING IMPACT TOOLS WHENEVER POSSIBLE.

**3F** – IF THE WORK OF ANY CONTRACTOR SIGNIFICANTLY DEVIATES FROM THE CONTRACT DRAWINGS WITHOUT THEM FIRST GETTING PERMISSION FROM THE APPROPRIATE PERSON, THAT CONTRACTOR MAY BE REQUIRED TO FIX THEIR WORK AT THEIR OWN EXPENSE.

### 4 ( UTILITIES )

**4A** – ANY ELECTRICAL, PLUMBING AND/OR HVAC SYSTEMS INCLUDED IN THE WORK SHALL BE INSTALLED ON A DESIGN-BUILD BASIS, AND SHALL NOT SIGNIFICANTLY ALTER THE STRUCTURE OR FINISHES.

### 5 ( WEATHERPROOFING )

**5A** – CHECK LOCAL CODES FOR INSULATION REQUIREMENTS.

**5B** – AVOID USING SPRAY FOAM INSULATION WITHOUT MITIGATING MOISTURE ISSUES & THE POSSIBILITY OF HIDDEN STRUCTURAL ROT.

**5C** – DEPICTED WEATHERPROOFING METHODS (SUCH AS SEALANT, CAULKING, AND FLASHING) ARE NOT COMPREHENSIVE. FOLLOW REQ'TS OF BUILDING CODES, PRODUCT MANUFACTURERS, ETC.

### 6 ( EGRESS / FIRE SAFETY )

**6A** – FIRE BLOCKING AND FIRE-RATED SHEATHING SHALL BE PROVIDED AS REQUIRED AT CEILINGS, FLOORS, AND ENCLOSED USABLE SPACE UNDER STAIRS.

**6B** – SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS SHALL BE INSTALLED PER APPLICABLE CODES.

**6C** – ALL GLASS SHALL CONFORM WITH HUMAN IMPACT AND SAFETY REQUIREMENTS.

**6D** – ALL REQUIRED EXITS SHALL BE OPERABLE FROM THE INSIDE, WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE.

**6E** – THE MINIMUM STAIRCASE TREAD SHALL BE 10" AND MAXIMUM RISER OF 7.75", WITH A MAXIMUM 3/8" VARIATION WITHIN A FLIGHT.

**6F** – HANDRAILS SHALL BE LOCATED 34-38 INCHES [864-965 MM] ABOVE STAIR TREADS AS MEASURED FROM THE NOSINGS.

**6G** – GUARDRAILS MUST BE LOCATED ALONG ANY EDGE WHERE THE FLOOR DROPS 30" [762] OR MORE TO THE FLOOR OR GROUND BELOW.

### 7 ( FINISHES & FIXTURES )

**7A** – PROVIDE ADEQUATE BLOCKING AROUND CABINetry, PLUMBING FIXTURES, AND OTHER APPLICABLE AREAS.

**7B** – CONTRACTOR MUST ENSURE THE INTERIOR SHEATHING IS FLUSH, CLEAN AND FREE OF DUST AND DEFECTS BEFORE THE APPLICATION OF PAINT COATINGS

**7C** – FLOOR MATERIAL TRANSITIONS OCCUR AT THE CENTERLINE OF DOORS OR FRAMED OPENINGS.

**7D** – PROVIDE AT LEAST 1 COAT PRIMER AND 2 FINISH COATS OF PAINT AT INTERIOR AND EXTERIOR SURFACES.

**7E** – DO NOT USE SCREW-ON, NON-OPERABLE WINDOW SHUTTERS. THEY ARE AS TACKY AS CLIP-ON TIES.

**7F** – AN ECONOMICAL ALTERNATIVE TO LOUVERED SHUTTERS: BOARD & BATTEN SHUTTERS. BUT DO NOT USE SCREW-ON, NON-OPERABLE SHUTTERS. (IT WOULD BE BETTER TO USE NONE AT ALL.)

**7G** – DO NOT USE ALUMINUM OR VINYL SIDING. SNAP-ON SIDING MAKES ONCE-BEAUTIFUL HOUSES LOOK LIKE CHEAP PLASTIC TOYS.

**7H** – SCREEN PORCHES MAY BECOME FUTURE ADDITIONS TO THE CONDITIONED SPACE (AS A MUDROOM, BATHROOM TO A BEDROOM SUITE, ETC). BUILD THEM WITH THAT IN MIND.

**7I** – WALL-TO-WALL CARPETING IS FORBIDDEN.

### 9 ( CONDITIONS OF USE )

**9A** – JAY OSBORNE IS THE ORIGINAL DESIGNER OF THIS WORK. INSTEAD OF A CONVENTIONAL COPYRIGHT, HE PROVIDES THESE PLANS UNDER AN OPEN SOURCE LICENSE. SOME RIGHTS RESERVED.

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**9C** – YOU MAY COPY, SHARE, AND MODIFY THIS WORK,

**9D** – IF YOU USE OR SHARE THIS DESIGN, PROVIDE APPROPRIATE CREDIT TO JAY OSBORNE, AND DO NOT COPYRIGHT HIS WORK.

**9E** – THIS WORK SHALL NOT BE CONSIDERED A LEGAL DOCUMENT, OR PROFESSIONAL ADVICE, UNLESS IT IS STAMPED OR SIGNED BY A LICENSED PROFESSIONAL (IN THE RELEVANT JURISDICTION) WHO ASSUMES RESPONSIBILITY FOR IT, INCLUDING ANY NECESSARY CHANGES.

**9F** – ARCHITECTS, BUILDERS, AND OTHER DESIGN PROFESSIONALS MAY PROFIT FROM USING THIS WORK.

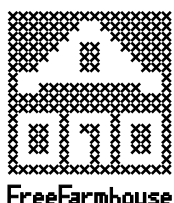
**9G** – IF YOU USE THIS WORK AND/OR CREATE ANY DERIVATIONS, YOU AGREE TO PROVIDE APPROPRIATE CREDIT TO JAY OSBORNE. ATTRIBUTION IS AN ESSENTIAL REQUIREMENT OF THE LICENSE.

**9H** – APPROPRIATE CREDIT INCLUDES MENTIONING JAY OSBORNE IS THE ORIGINAL DESIGNER. SPECIFY THAT WHERE AND WHEN IT WOULD BE IMPORTANT FOR SOMEBODY. (IF THEY WOULD FEEL SCAMMED WHEN LEARNING THE TRUTH, THEN YOU DID IT WRONG.) ALSO MENTION ANY CHANGES YOU MADE, IF APPLICABLE– BUT DON'T IMPLY JAY OSBORNE HAD ENDORSED THEM.

**9I** – THESE DRAWINGS ARE DERIVED FROM SKETCHUP MODELS, WHICH CAN BE DOWNLOADED FOR FREE ONLINE.

**9J** – IT IS IMPOSSIBLE FOR ONE SET OF ARCHITECTURAL DRAWINGS TO FULFILL THE REQUIREMENTS OF EVERY JURISDICTION. THIS IS A TEMPLATE TO START FROM. THE GC OR DESIGNER OF RECORD (OR WHOEVER REMOVES THIS NOTE) SHALL TAKE RESPONSIBILITY FOR ADAPTING THIS DESIGN TO LOCAL REQUIREMENTS.

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**GEORGIA'S FARMHOUSE**  
 THE ORIGINAL STARTER FARMHOUSE PLANS

**3** 2025-08-08 ORIGINAL DESIGN (FINISHED PLANS)  
**2** 2023-06-30 GEORGIA: BLUEPRINTS ON PATREON  
**1** 2023-01-04 STARTER FARMHOUSE SCHEMATICS

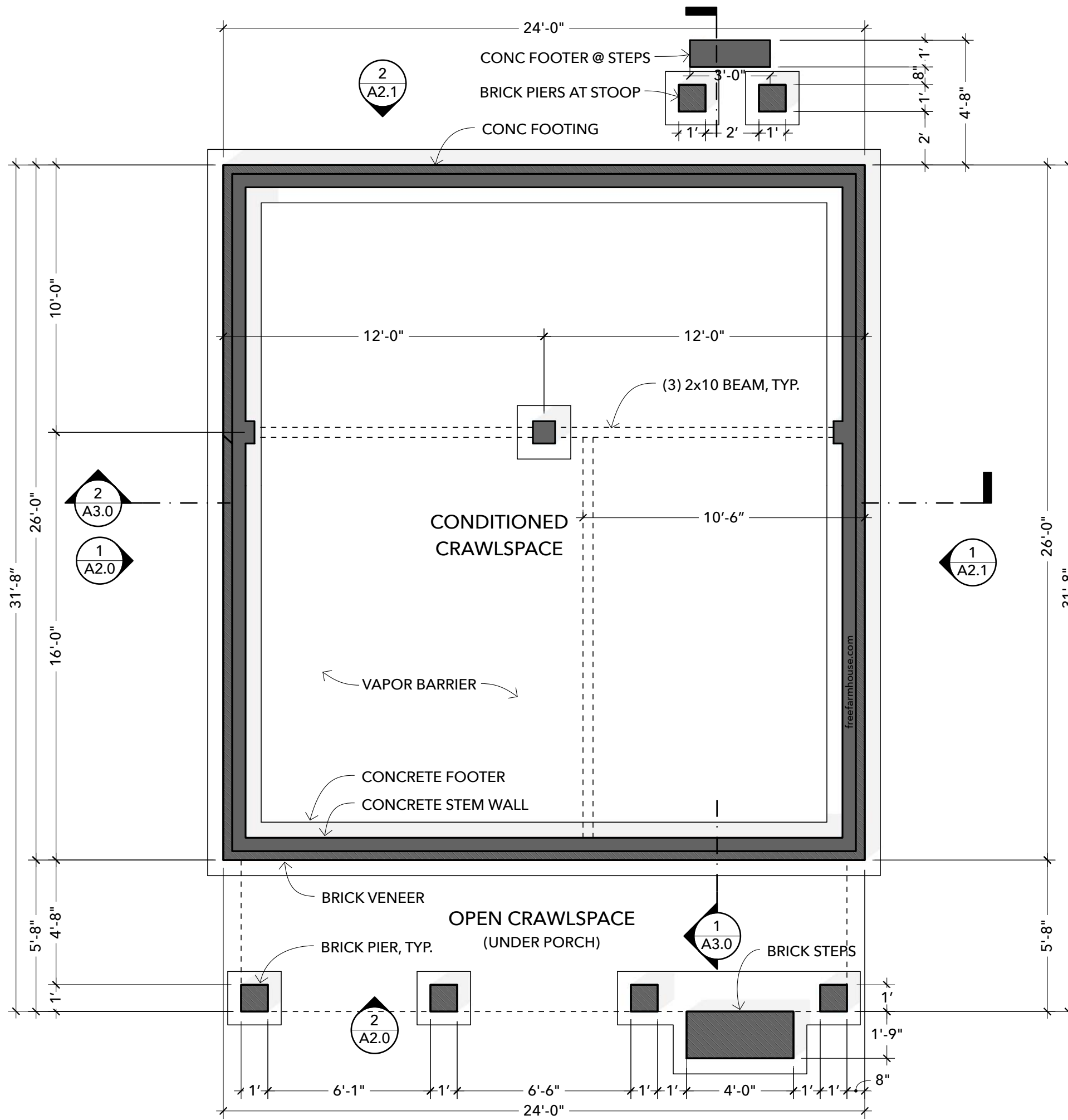
+ See A0.1 for more project history and credits

GENERAL NOTES

**A0.2**

### FOUNDATION PLAN NOTES

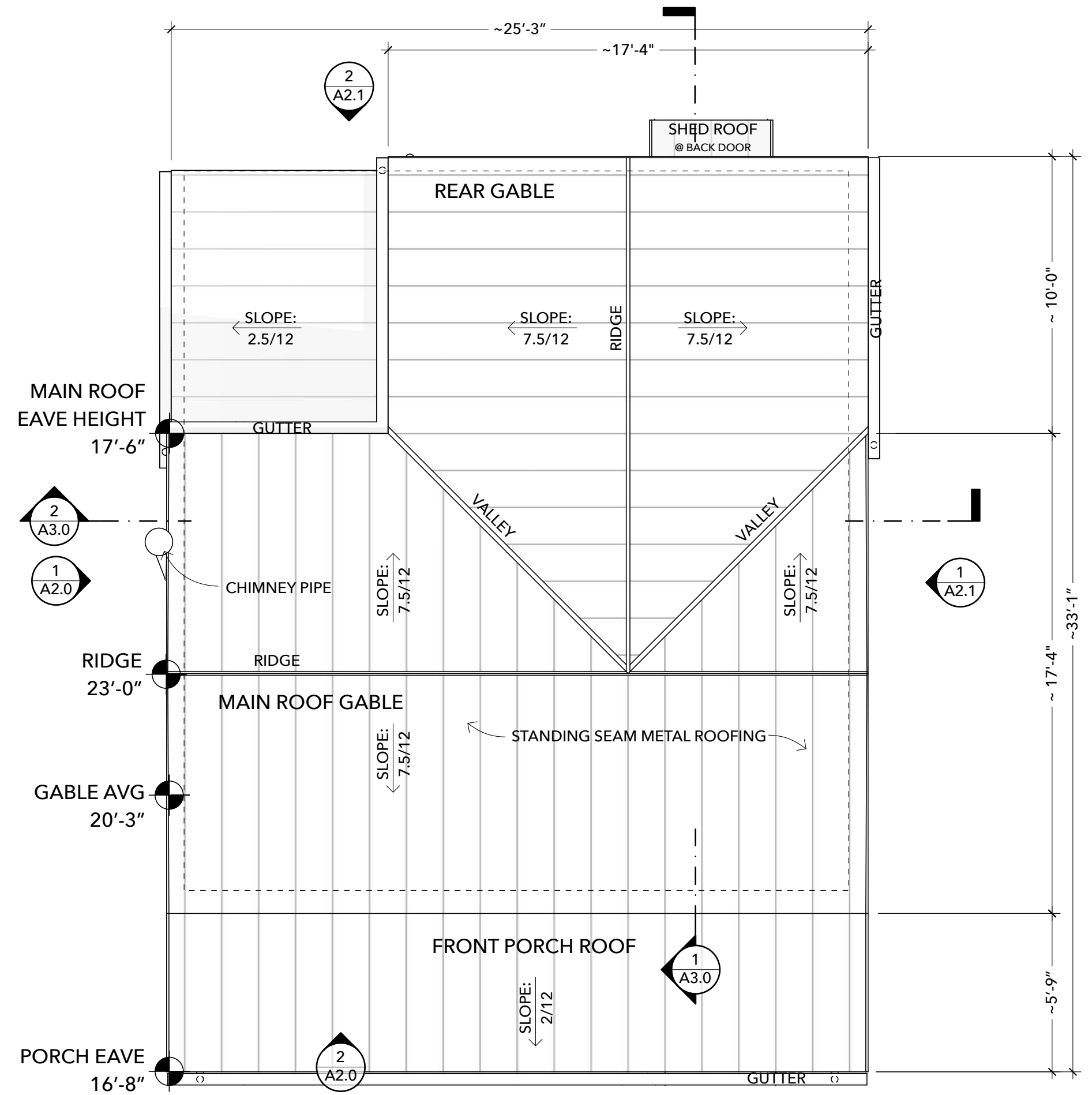
1. ALL FOUNDATION DESIGNS MUST BE ENGINEERED TO LOCAL CONDITIONS. THIS IS ONLY A TEMPLATE. MANY FACTORS MUST BE CONSIDERED FOR A COMPLETE WORK, LIKE SOIL TYPE, SEISMIC ISSUES, SLOPING TERRAIN, FLOODING, AND HEIGHT RESTRICTIONS.
2. OTHER FOUNDATION TYPES CAN BE USED, LIKE A BASEMENT, SLAB, OR PIERS.
3. STRUCTURAL BRICK FACING MAY BE 1" THIN BRICK VENEER INSTEAD, WHICH CAN LOOK BETTER THAN 4-5" BRICK VENEERS. BRICKWORK SHOULDN'T PROTRUDE PAST THE SIDING.
4. DON'T USE CONCRETE WITH FAKE BRICK TEXTURE. PLAIN CONCRETE IS MUCH BETTER.



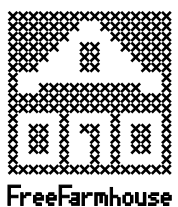
**1 FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

### ROOF PLAN NOTES

1. DATUMS ARE TO FINISH FLOOR OF MAIN LEVEL. HOUSE HEIGHTS ARE MEASURED IN MANY WAYS. THIS DESIGN WORKS WITH MOST 25-FOOT BUILDING HEIGHT LIMITS.
2. TO REDUCE ROOFING COSTS, REPLACE STANDING SEAM WITH 5V METAL PANELS.
3. ROOF DIMENSIONS ARE ROUGH, NOT PRECISE ENOUGH FOR CONSTRUCTION. DIMENSIONS IN BUILDING SECTIONS AND FLOOR PLANS TAKE PRECEDENCE.
4. ROOF HAS MANY APPROPRIATE MATERIAL OPTIONS, BUT WAREHOUSE-LOOKING METAL ROOFING (WITH RECTANGULAR CORRUGATIONS) SHALL BE AVOIDED.



**2 ROOF PLAN**  
SCALE: 1/4" = 1'-0"



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**3** 2025-08-08 ORIGINAL DESIGN (FINISHED PLANS) **FOUNDATION/ ROOF**  
**2** 2023-06-30 GEORGIA: BLUEPRINTS ON PATREON  
**1** 2023-01-04 STARTER FARMHOUSE SCHEMATICS  
+ See A0.1 for more project history and credits

**A1.0**

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**FLOOR PLAN NOTES:**

- IF MORE THAN 3 RISERS ARE NEEDED AT PORCH STEPS, A HANDRAIL SHOULD BE PROVIDED (AS REQ'D BY CODE).
- GUARDRAIL MAY BE REQUIRED AT PORCH IF DROP TO GROUND IS INCREASED TO MORE THAN 24-30" (SEE LOCAL REQ'TS).
- NOTE THAT SOME DIMENSIONS ARE TO THE CENTER OF THE POSTS, OTHERS TO THE EDGES OF POSTS (& BEAMS THEY SIT ON OR HOLD UP).
- STAIR WALL CAN BE AN OPEN RAILING (BUT IT MAY NEED A COLUMN).

**DOORS**

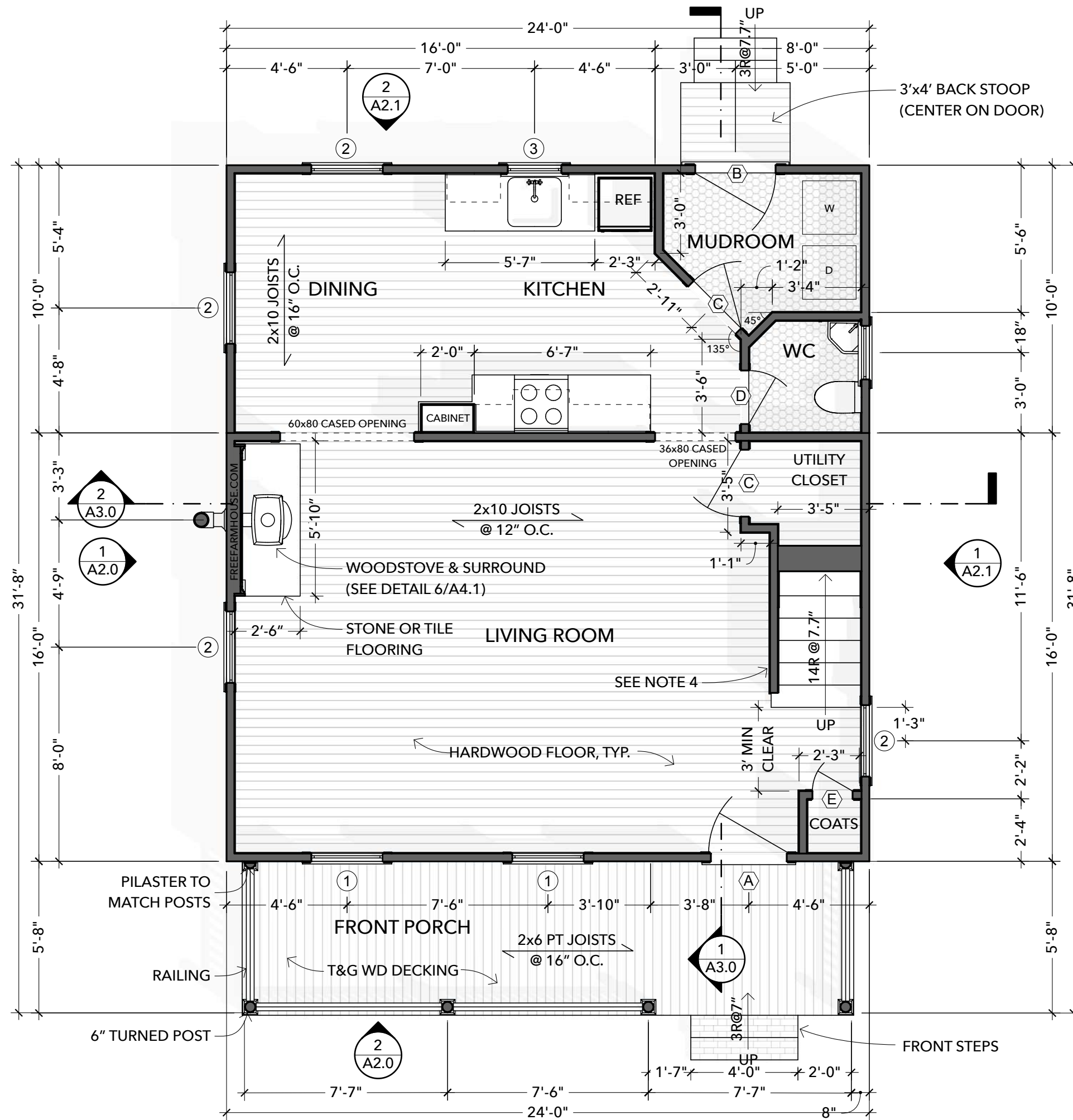
- (A) 36x84 9-LITE FRONT DOOR
- (B) 36x80 4-LITE BACK DOOR
- (C) 30x80 5-PANEL DOOR
- (D) 24x80 1-PANEL DOOR
- (E) 18x80 LOUVERED DOOR

**WINDOWS**

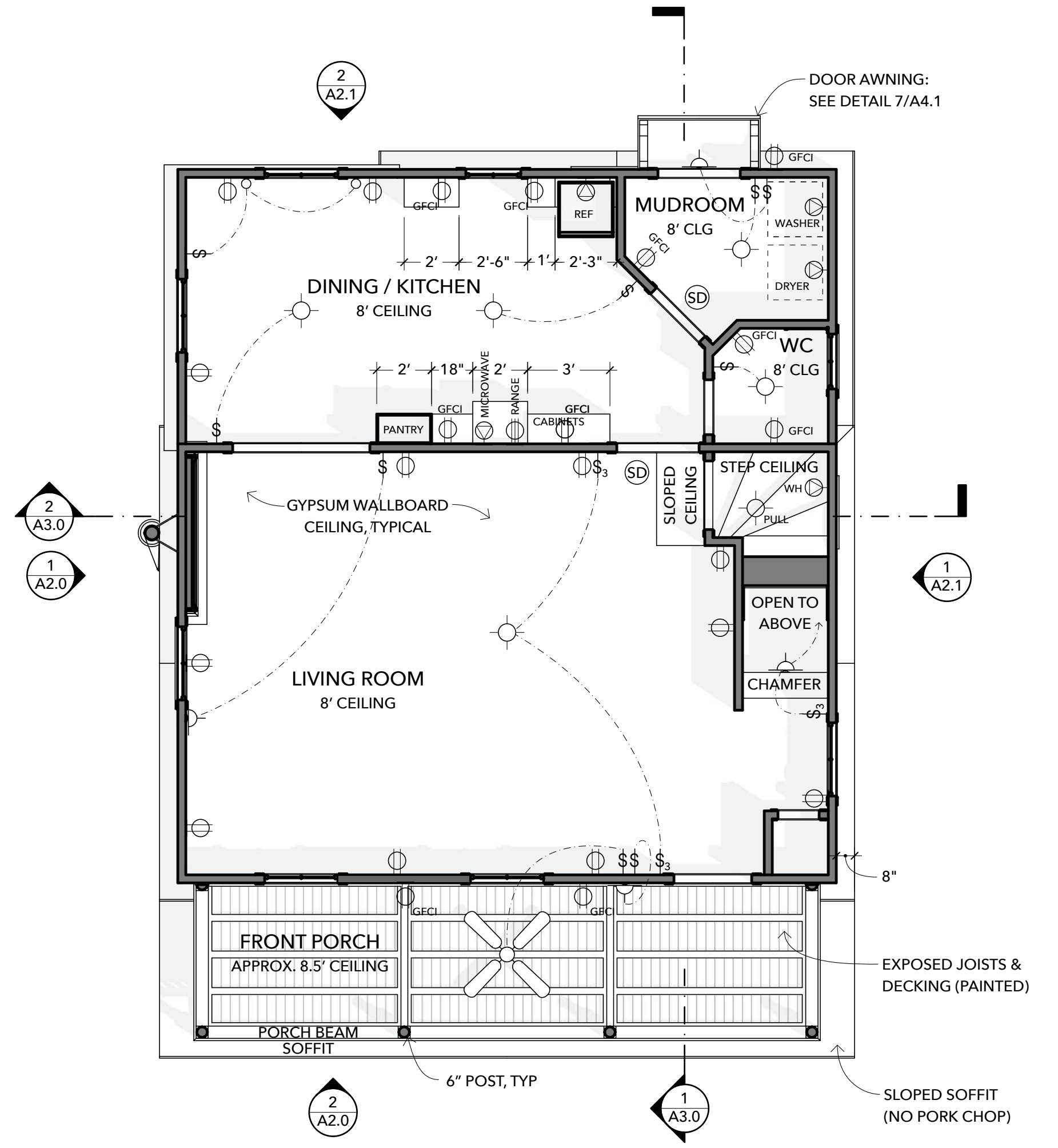
- (1) 32x72 DH 2/2 DIVIDED LITES
- (2) 32x60 DH 2/2 DIVIDED LITES
- (3) 24x42 DH 2/2 DIVIDED LITES

**CEILING/ ELECTRICAL NOTES:**

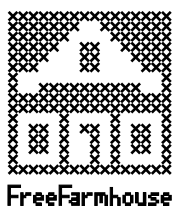
- CEILING HEIGHTS ARE APPROXIMATE (+/- 1")
- UTILITY ROOM CEILING SHALL BE FIRE-RATED WITH GYP BD SHEATHING
- HEAD CLEARANCE AT STAIRCASE TO BE 80" MINIMUM



**1 DOWNSTAIRS FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**2 DOWNSTAIRS CEILING & ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"



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**3** 2025-08-08 ORIGINAL DESIGN (FINISHED PLANS) **DOWNSTAIRS PLANS**  
**2** 2023-06-30 GEORGIA: BLUEPRINTS ON PATREON  
**1** 2023-01-04 STARTER FARMHOUSE SCHEMATICS  
+ See A0.1 for more project history and credits

**A1.1**

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**FLOOR PLAN NOTES:**

1. WINDER STAIRS MUST FOLLOW STRICT CODES. THEY ARE SAFER THAN IN THE PAST, BUT NOW HARDER TO BUILD.
2. BEDROOM CLOSET AT STAIRS (WITH RAISED PLATFORM) MAY BE OMITTED. CONTRARY TO POPULAR BELIEF, BEDROOM CLOSETS ARE USUALLY NOT REQUIRED BY LAW.
3. LINEN CLOSET (AT HALL) MAY INSTEAD BE A CHASE FOR DUCTWORK.
4. BEDROOM CLOSET MAY BE REPLACED BY A WARDROBE.

**DOORS**

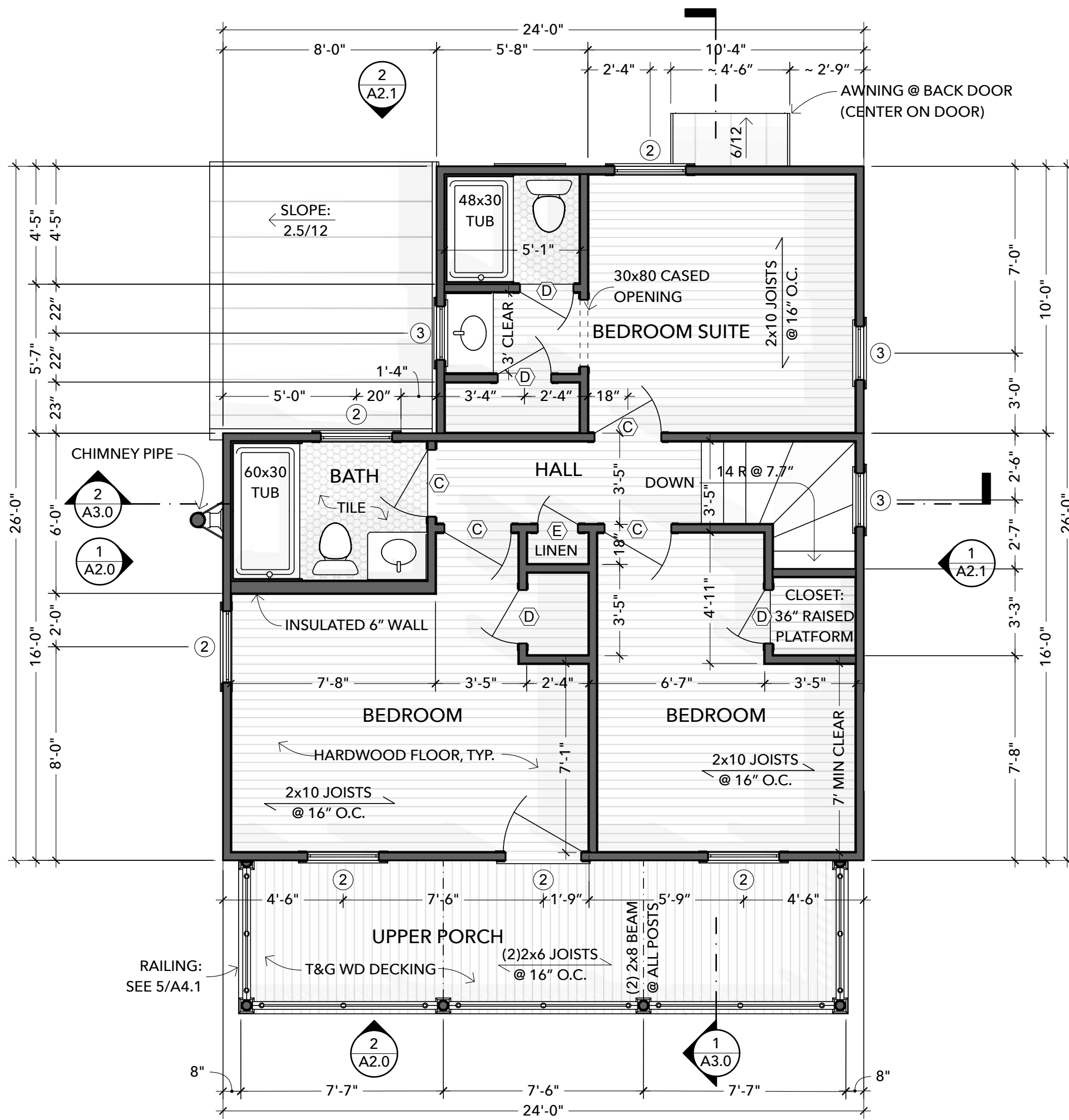
- (A) 36x84 9-LITE FRONT DOOR
- (B) 36x80 4-LITE BACK DOOR
- (C) 30x80 5-PANEL DOOR
- (D) 24x80 1-PANEL DOOR
- (E) 18x80 LOUVERED DOOR

**WINDOWS**

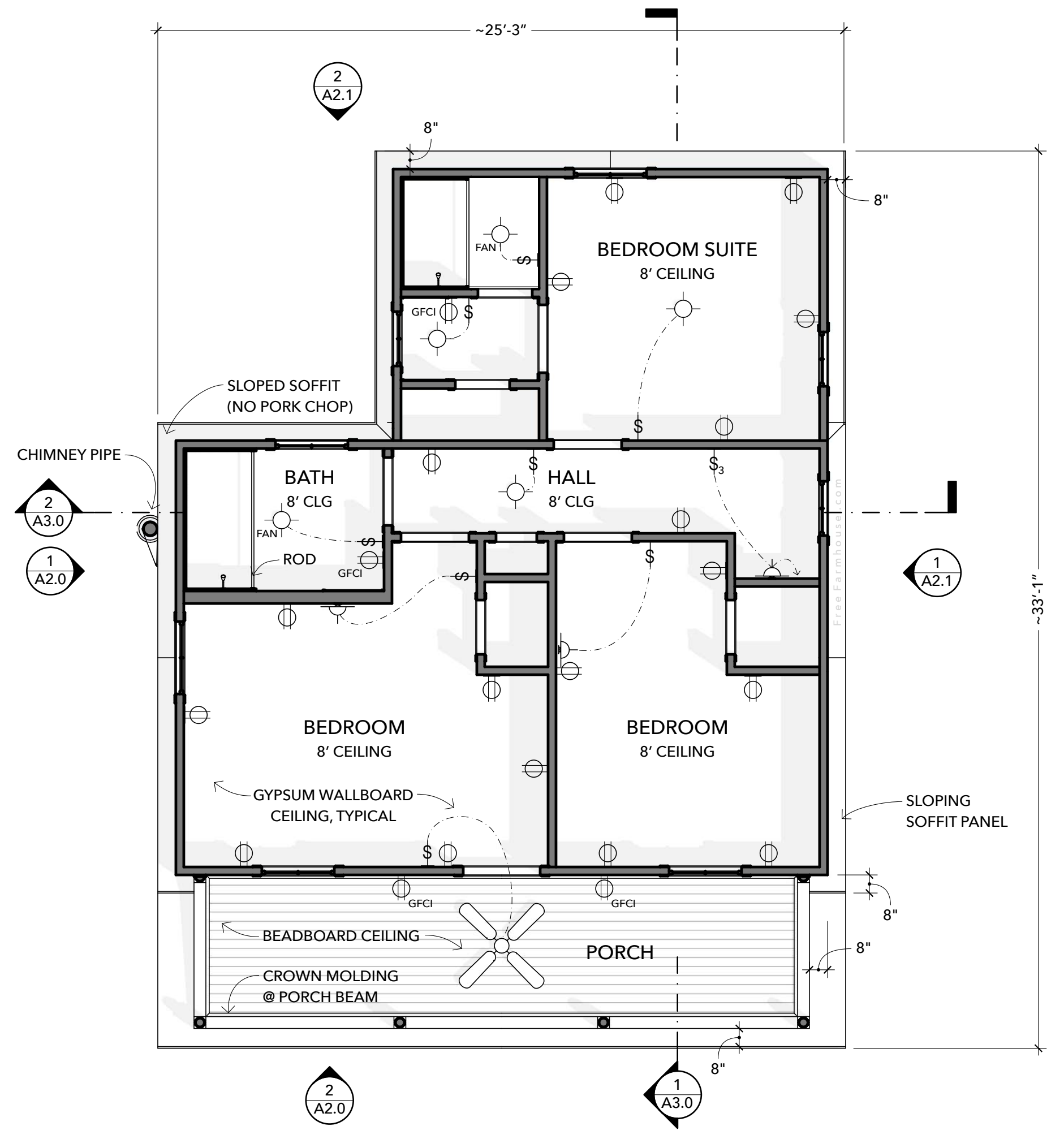
- (1) 32x72 DH 2/2 DIVIDED LITES
- (2) 32x60 DH 2/2 DIVIDED LITES
- (3) 24x48 DH 2/2 DIVIDED LITES

**CEILING PLAN NOTES:**

1. CEILING HEIGHTS ARE APPROXIMATE ( +/- 1" ). PRIORITIZE DIMENSIONS SHOWN IN SECTION DRAWINGS.
2. HEAD CLEARANCE AT STAIRCASE TO BE 80" MINIMUM
3. WALL-MOUNTED LIGHTS ARE PREFERRED WHEREVER EFFICIENCY AND STERILITY ARE NOT VIRTUES.



**1 UPSTAIRS FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**2 UPSTAIRS CEILING & ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"



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**UPSTAIRS PLANS**  
**A1.2**

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### ELEVATION NOTES

- DATUMS ARE TO FINISH FLOOR. HOUSE HEIGHTS ARE MEASURED IN MANY WAYS, BUT THIS DESIGN VARIATION WORKS WITH MOST 25-FOOT BUILDING HEIGHT LIMITS.
- WINDOW SHUTTERS SHALL BE OPERABLE. TACK-ON VINYL SHUTTERS ARE STRICTLY FORBIDDEN, BECAUSE THE HOUSE WOULD LOOK BETTER WITH NO SHUTTERS AT ALL.
- THOU SHALT NOT USE VINYL SIDING. THIS IS A HOUSE, NOT A CHEAP PLASTIC TOY.
- IF HIGH DROP TO GROUND, WINDOW SILLS MAY NEED TO BE >24" ABOVE FLOOR.
- AT THE FOUNDATION, DON'T USE CONCRETE MOLDS WITH A FAKE BRICK TEXTURE.

6. **DOORS:** MARVIN ULTIMATE SERIES. BUT ANTIQUES PREFERRED. TRIM: WOOD OR FIBER CEMENT: 1x4 SIDE, 2x6 UPPER (W/ EXPOSED FLASHING), 3" SILL.

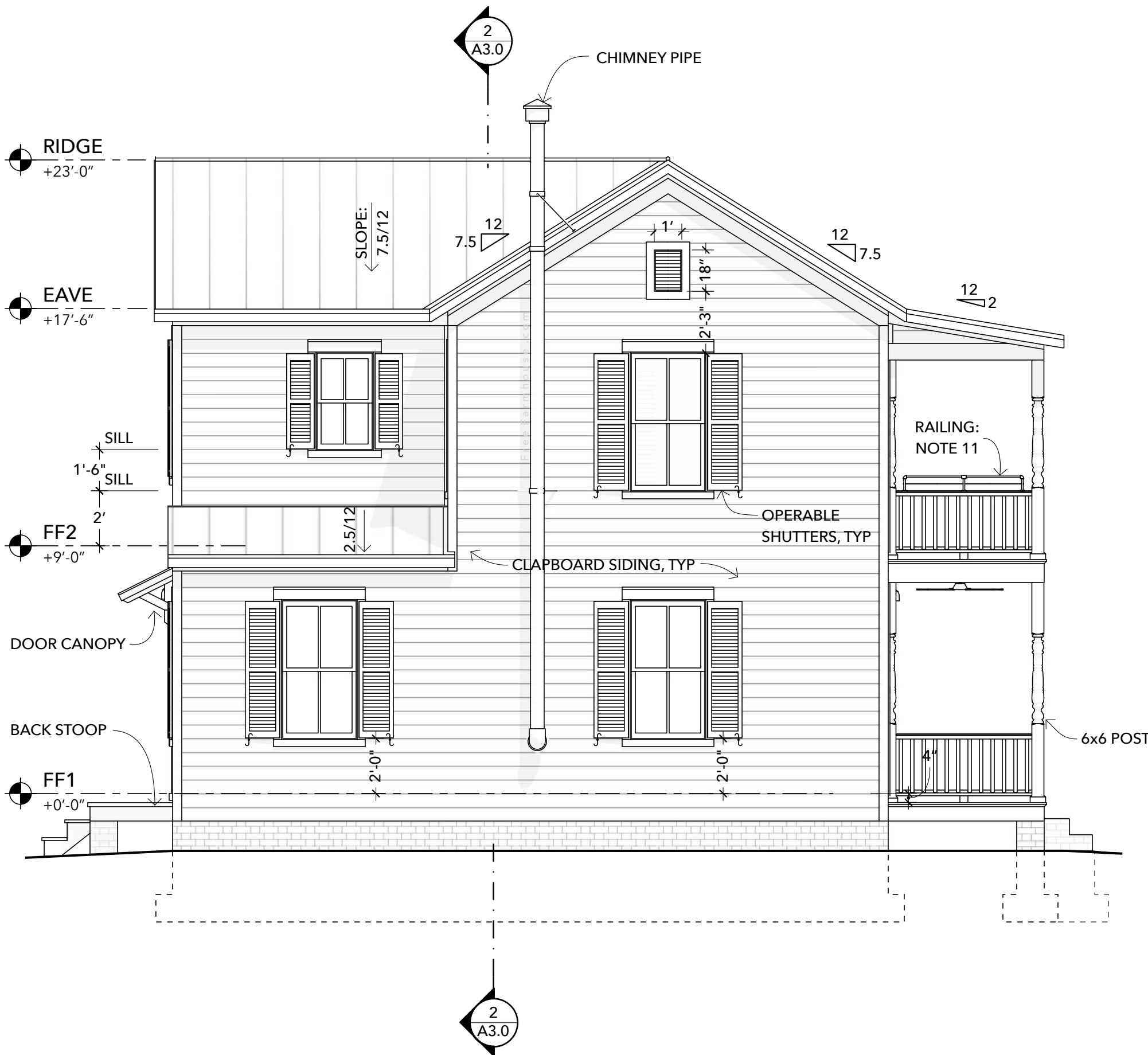
7. **WINDOWS:** DOUBLE HUNG W/ 2/2 DIVIDED LITES, MARVIN ULTIMATE SERIES, OR ANTIQUE. TRIM: SOLID WOOD OR FIBER CEMENT: 1x4 SIDE, 2x6 UPPER, 3" SILL.

8. **SIDING:** 4-6" FIBER CEMENT CLAPBOARD. JAMES HARDIE: ARTISAN SERIES. OTHER OPTIONS: WOOD, SHINGLES, BOARD & BATTEN. BUT VINYL SIDING IS FORBIDDEN.

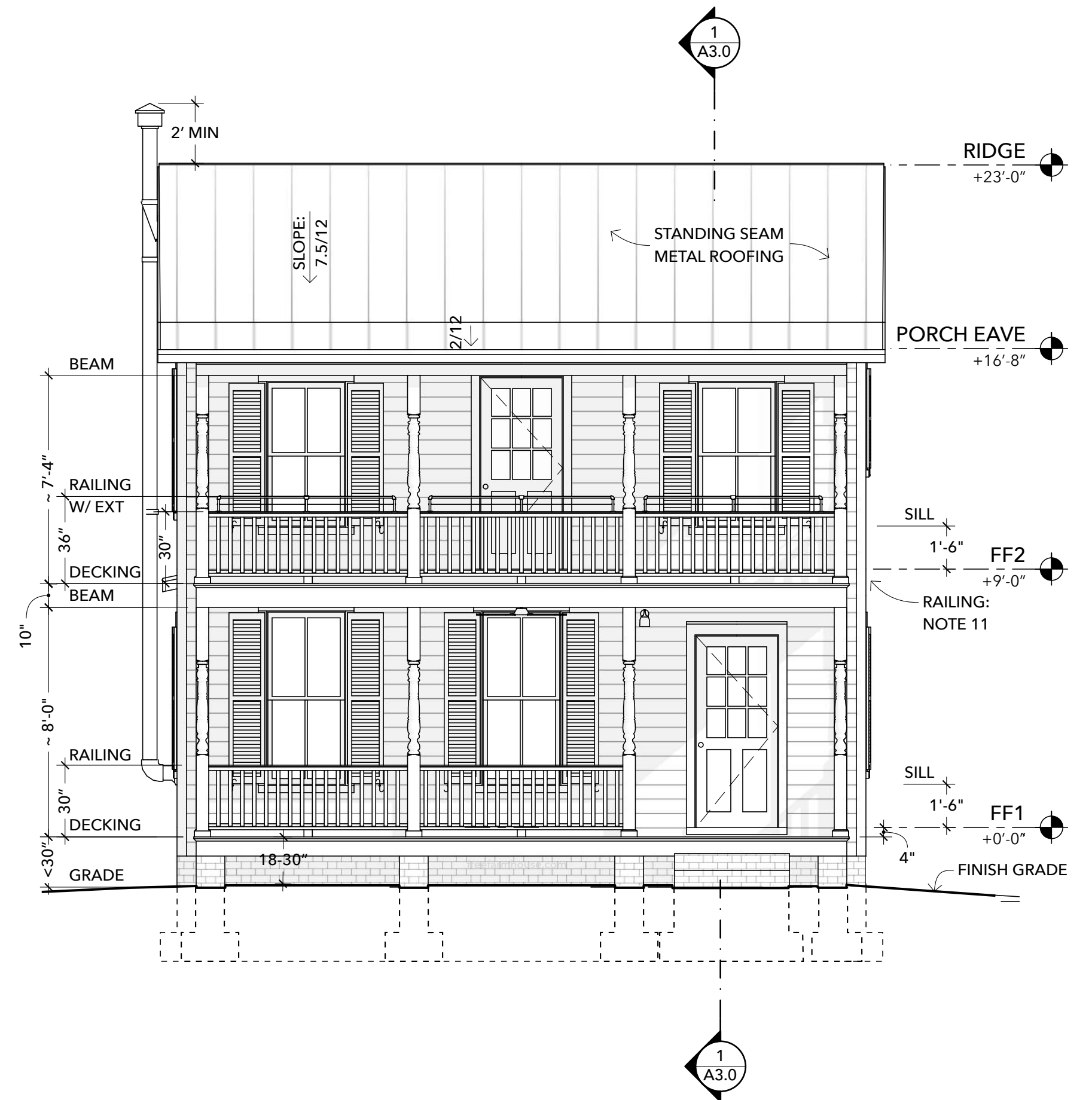
9. **ROOFING:** STANDING SEAM METAL PANELS (16"). IF BUDGET ALLOWS: WOOD SHINGLES OR SLATE. TO SAVE COSTS: USE 5V GALVALUME PANELS OR ROUND CORRUGATED STEEL. DON'T USE METAL PANELS WITH SQUARE-ISH CORRUGATIONS.

10. THESE ELEVATIONS SHOW 30" RAILINGS WITH A 6" EXTENSION (FOR A MINIMUM 3-FOOT PORCH RAILING HEIGHT IF THE FALL IS GREATER THAN 30"). SEE 8/A4.1 FOR DETAILED INFORMATION (AND AN ILLUSTRATION OF A CHEAPER OPTION).

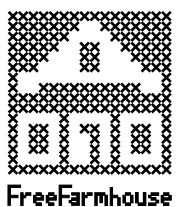
11. TRADITIONAL RAILINGS WERE LOWER THAN WHAT CODES NOW REQUIRE. SO IF THE BUDGET ALLOWS (OR WHERE THEY'RE REQ'D TO BE SO HIGH THEY'RE CAGELIKE), USE RAILING EXTENSIONS WHERE NECESSARY. THIS IS ANOTHER REASON TO KEEP THE LOWER DECKING CLOSE TO THE GROUND. SEE DETAILS 8/A4.0 AND 4-5/A4.1.



① WEST ELEVATION  
SCALE: 1/4" = 1'-0"



② SOUTH ELEVATION (FRONT)  
SCALE: 1/4" = 1'-0"



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FRONT ELEVATIONS

**A2.0**

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### ELEVATION NOTES

1. SECTION DIMENSIONS TAKE PRECEDENCE, WHEREVER PRECISION IS DEMANDED.
2. RAILING AT PORCH MAY NOT BE REQUIRED IF THE DROP TO THE GROUND IS SHORT ENOUGH. BUILDING CODES USUALLY SPECIFY 30", BUT THIS VARIES BY JURISDICTION.
3. IF 3 OR FEWER STEPS FROM PORCH TO GROUND, HANDRAIL MAY NOT BE NEEDED.
4. IF HIGH DROP TO GROUND, WINDOW SILLS MAY NEED TO BE >24" ABOVE FLOOR.
5. SOME DETAILS IN THE REAR ELEVATIONS CAN BE SIMPLIFIED, SINCE THEY ARE LESS FORMAL AND LESS VISIBLE. FOR INSTANCE, WINDOW SHUTTERS MAY BE OMITTED. IT'S BETTER TO HAVE NO SHUTTERS THAN CORNY, USELESS, TACK-ON PLASTIC ONES.
6. IF WITHIN 3' OF PROPERTY LINE, OMIT THE WINDOWS ON THE EAST ELEVATION.

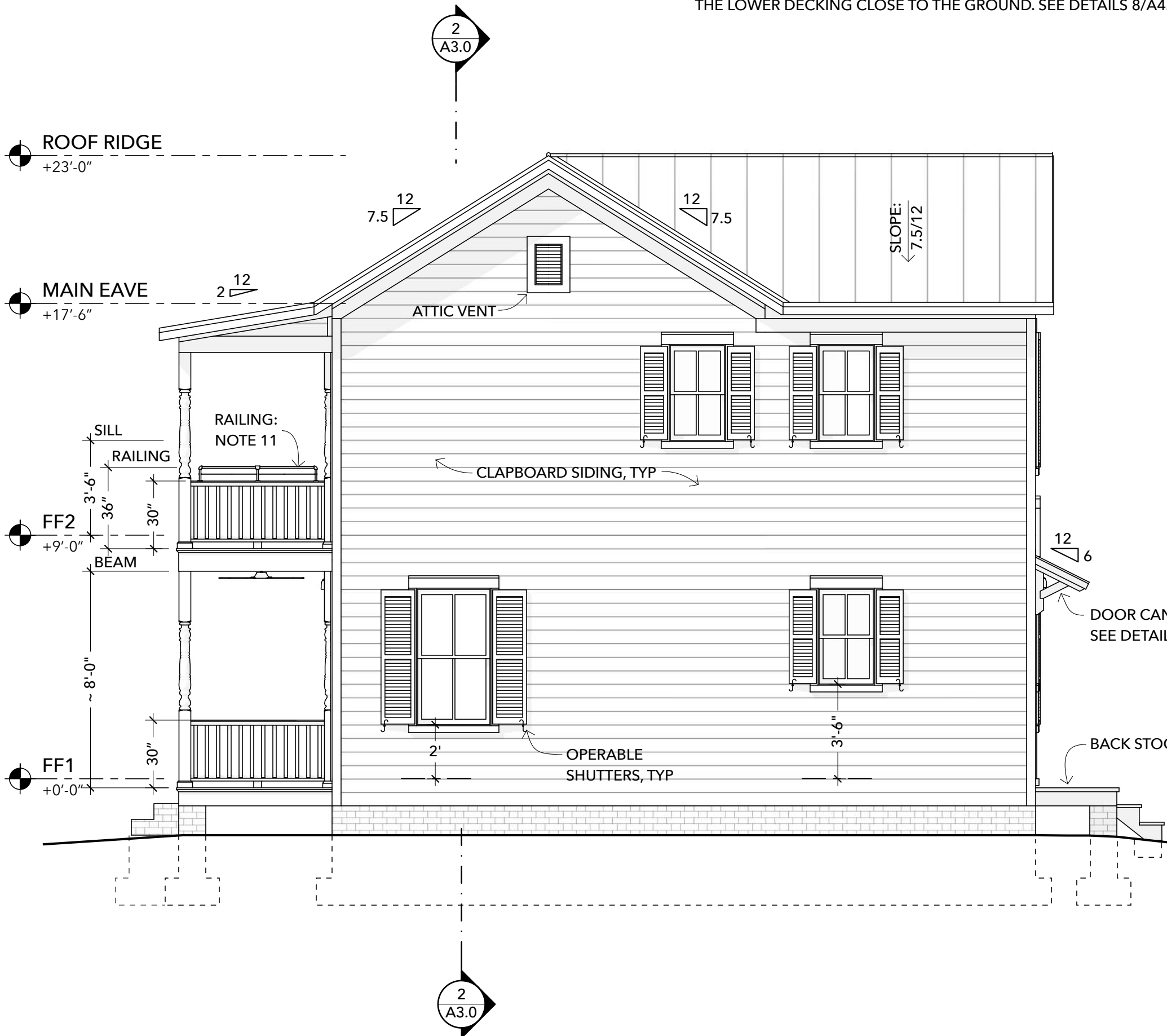
7. **DOORS:** MARVIN ULTIMATE SERIES. BUT ANTIQUES PREFERRED. TRIM: WOOD OR FIBER CEMENT: 1x4 SIDE, 2x6 UPPER (W/ EXPOSED FLASHING), 3" SILL.

8. **WINDOWS:** DOUBLE HUNG W/ 2/2 DIVIDED LITES, MARVIN ULTIMATE SERIES, OR ANTIQUE. TRIM: SOLID WOOD OR FIBER CEMENT: 1x4 SIDE, 2x6 UPPER, 3" SILL.

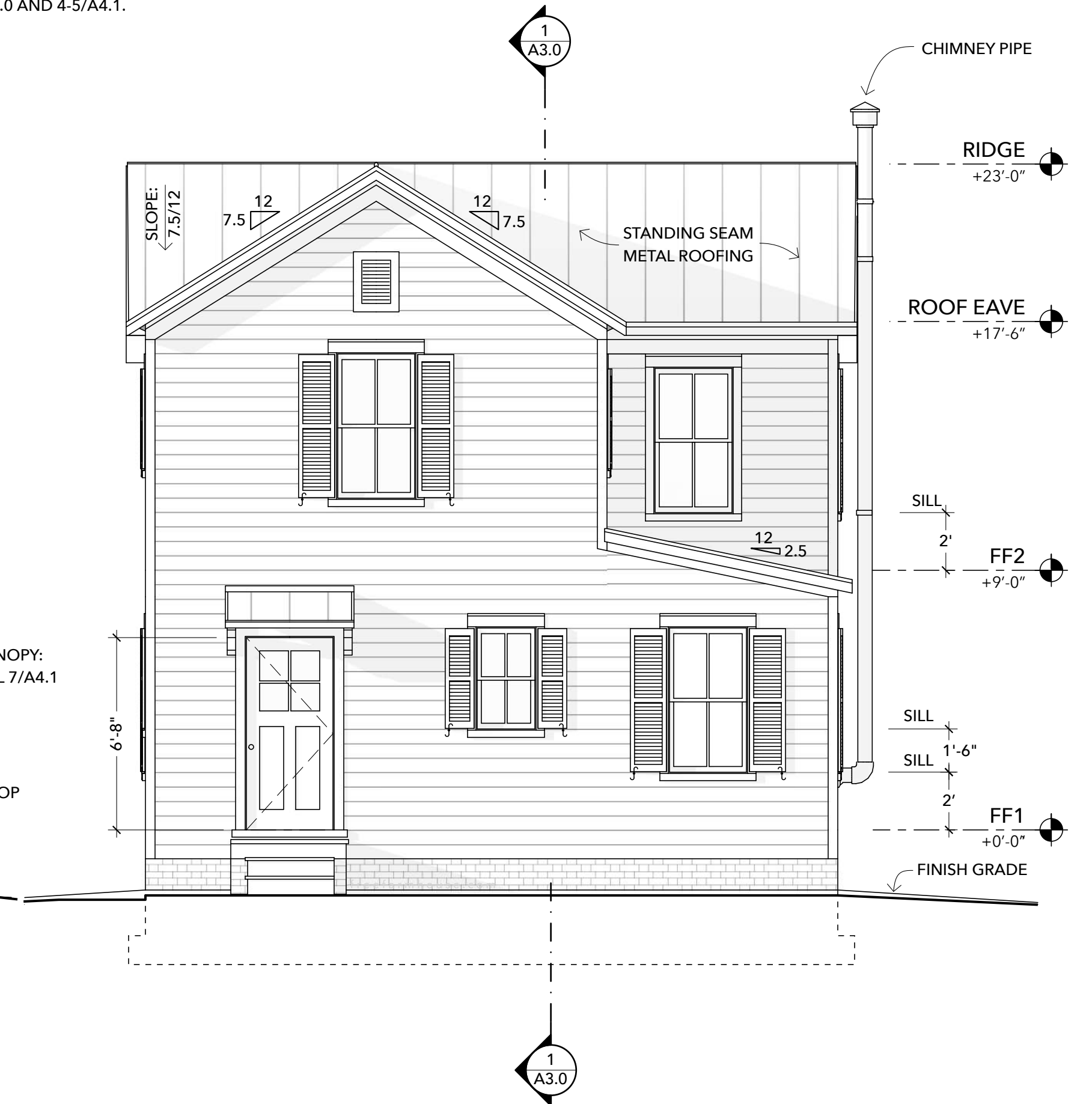
9. **SIDING:** 4-6" FIBER CEMENT CLAPBOARD. JAMES HARDIE: ARTISAN SERIES. OTHER OPTIONS: WOOD, SHINGLES, BOARD & BATTEN. BUT VINYL SIDING IS FORBIDDEN.

10. **ROOFING:** STANDING SEAM METAL PANELS (16"). IF BUDGET ALLOWS: WOOD SHINGLES OR SLATE. TO SAVE COSTS: USE 5V GALVALUME PANELS OR ROUND CORRUGATED STEEL. DON'T USE METAL PANELS WITH SQUARE-ISH CORRUGATIONS.

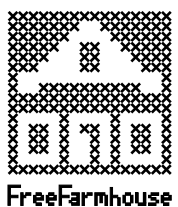
11. TRADITIONAL RAILINGS WERE LOWER THAN WHAT CODES NOW REQUIRE. SO IF THE BUDGET ALLOWS (OR IF THEY'RE REQ'D TO BE SO HIGH THEY'RE CAGELIKE), USE RAILING EXTENSIONS WHERE NECESSARY. THIS IS ANOTHER REASON TO KEEP THE LOWER DECKING CLOSE TO THE GROUND. SEE DETAILS 8/A4.0 AND 4-5/A4.1.



① EAST ELEVATION  
SCALE: 1/4" = 1'-0"



② NORTH ELEVATION (REAR)  
SCALE: 1/4" = 1'-0"



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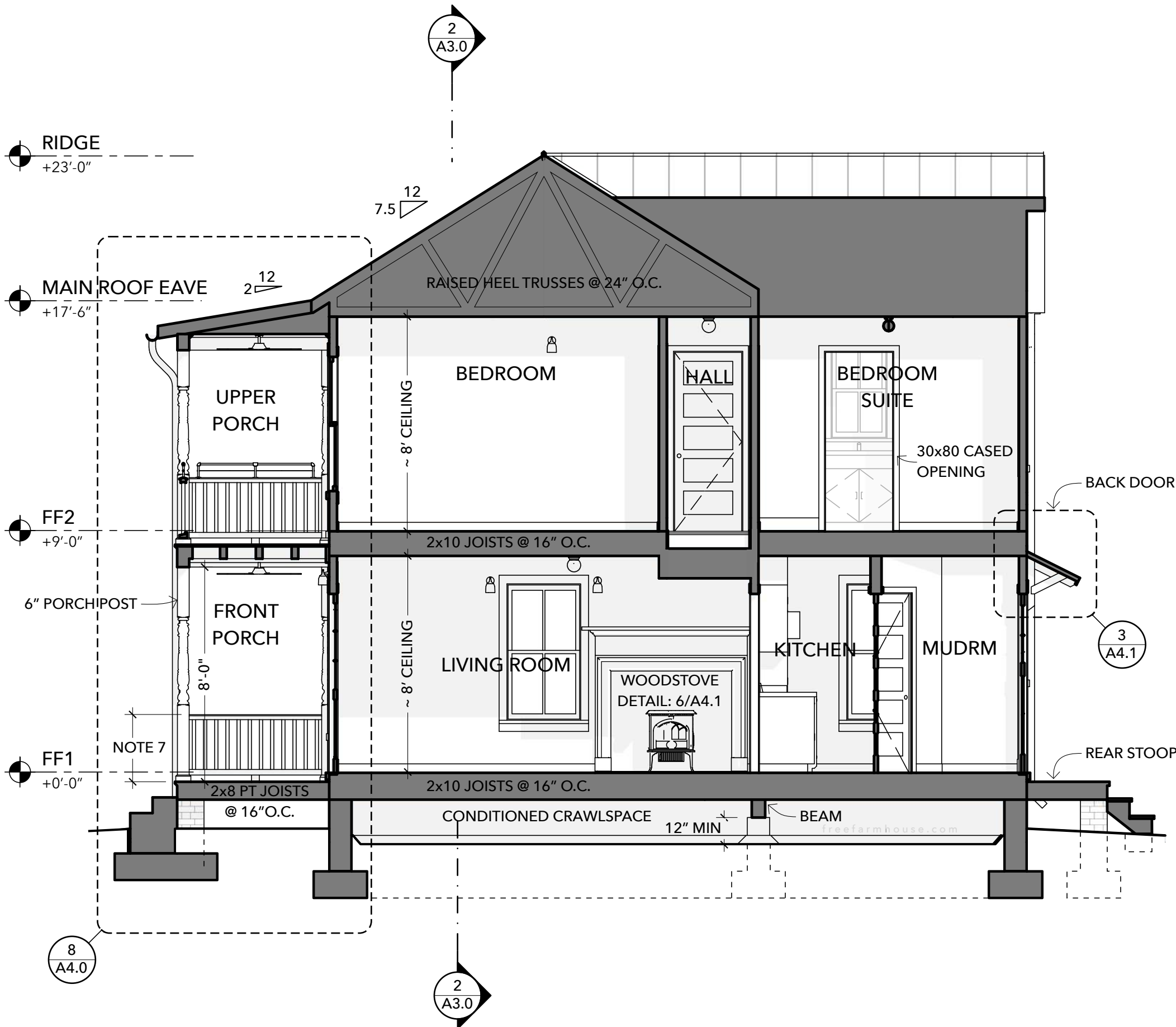
REAR ELEVATIONS

# A2.1

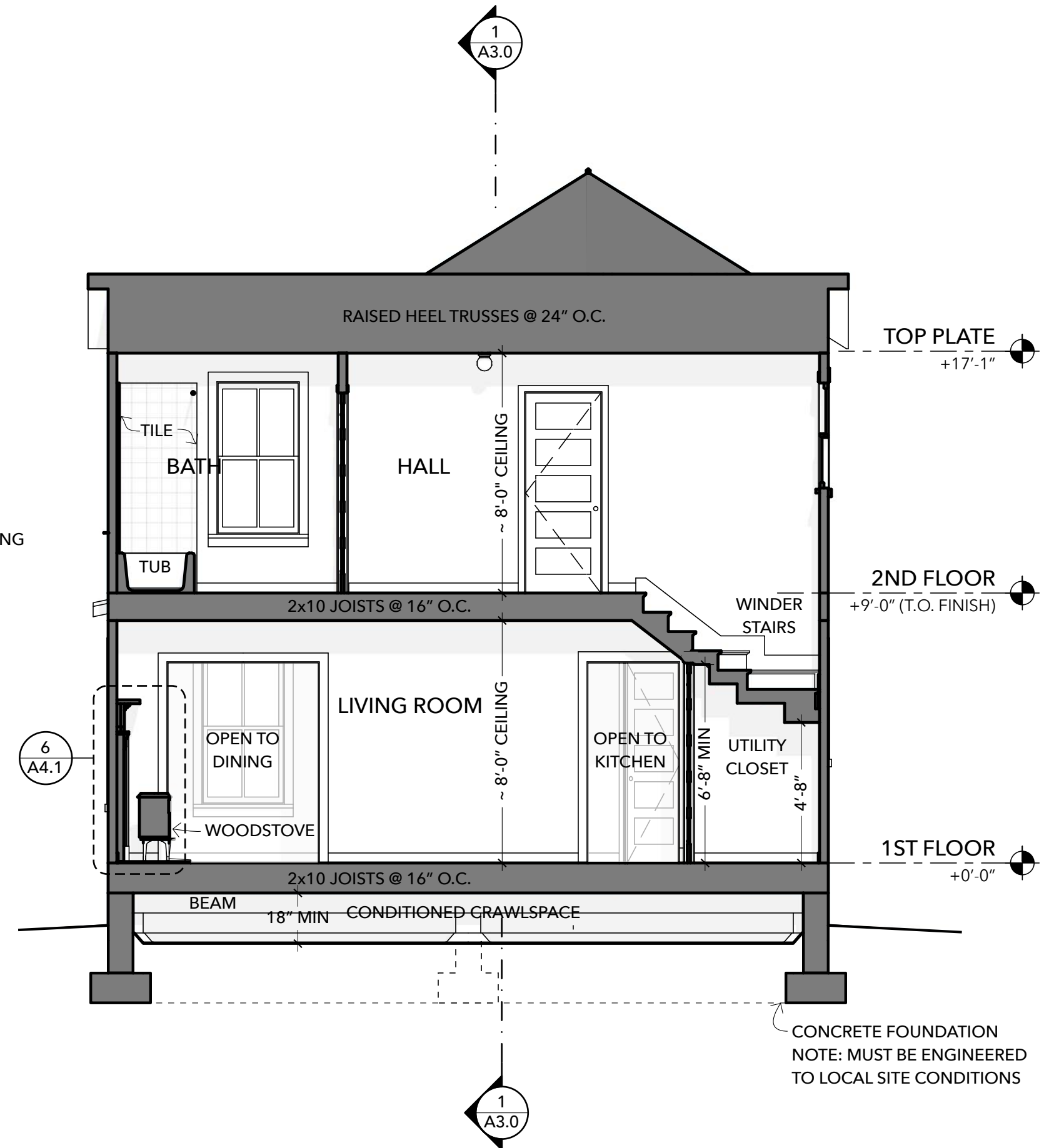
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### SECTION NOTES

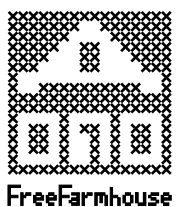
1. CEILING HEIGHTS ARE APPROXIMATE (+/- 1")
2. FOUNDATION TO BE ENGINEERED BASED ON SITE-SPECIFIC REQUIREMENTS
3. WINDER STAIRS HAVE STRICT REQUIREMENTS. CONSULT BUILDING CODE FOR INFO.
4. WINDERS CAN BE BUILT AS A SERIES OF PLATFORMS. MAKE SURE TO USE 1-HR FIRE-RATED GYPSUM WALLBOARD SHEATHING UNDER THE STAIRS IN THE UTILITY CLOSET.
6. MAINTAIN 80" MIN HEAD CLEARANCE AT STAIRCASE.
7. RAILING AT UPPER PORCH HAS EXTENSIONS, TO PRESERVE SEATED SIGHTLINES. LOWER RAILING TO BE BETWEEN 28-32" TALL, UNLESS PORCH LEVEL IS RAISED, REQUIRING RAILING EXTENSIONS HERE AS WELL. SEE 5/A4.1



① **TRANSVERSE SECTION**  
SCALE: 1/4" = 1'-0"



② **LONGITUDINAL SECTION**  
SCALE: 1/4" = 1'-0"



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A DESIGN BY JAY OSBORNE  
**GEORGIA'S FARMHOUSE**  
THE ORIGINAL STARTER FARMHOUSE PLANS

3 2025-08-08 ORIGINAL DESIGN (FINISHED PLANS)  
2 2023-06-30 GEORGIA: BLUEPRINTS ON PATREON  
1 2023-01-04 STARTER FARMHOUSE SCHEMATICS  
+ See A0.1 for more project history and credits

SECTION VIEWS  
**A3.0**





MARK	ITEM	SIZE	MATERIAL	NOTES	MANUFACTURER / MODEL
F-00	BRICK	-	SMOOTH BRICK	SOLID RED COLOR, SAND-FACED, AVOID WIRE CUT OR "EXTRUDED" LOOK	OLD CAROLINA BRICK COMPANY
F-02	PORCH DECKING	1x4	PAINTED WOOD	TONGUE & GROOVE, UNPAINTED CEDAR PREFERRED, PAINTED WORKS FINE	RECLAIMED PREFERRED
F-04	PORCH COLUMNS	6x6	PAINTED WOOD	TURNED PORCH POSTS (ALTERNATIVELY: 6x6 POSTS WITH CHAMFERED EDGES)	-
F-20	CLAPBOARD SIDING	6"	FIBER CEMENT	VINYL AND ALUMINUM SIDING ARE FORBIDDEN (DETAILS NEVER LOOK RIGHT).	JAMES HARDIE / ARTISAN LAP SIDING
F-22	EXT OPENING CASING	5-6"	FIBER CEMENT	FOR ALL SIDING, WOOD IS STILL AN OPTION. CEDAR PREFERRED.	HARDIPLANK OR 2x LUMBER
F-24	BED MOLDING	2.5", 4"	ROT-RESISTANT	PAINTED. EXTERIOR-GRADE. WOOD PREFERRED.	-
F-26	ASTRAGAL	1"	ROT-RESISTANT	PAINTED. VARIOUS EXTERIOR-GRADE MATERIAL OPTIONS ARE OKAY HERE	-
F-28	CROWN MOLDING	3-6"	ROT-RESISTANT	PAINTED. EXTERIOR-GRADE. WOOD PREFERRED.	-
F-40	STANDING SEAM ROOF	16" O.C.	GALVALUME	METAL. NO CORRUGATIONS. USE 5V PANELS FOR ECONOMICAL OPTION.	-
F-42	HALF-ROUND GUTTER	5" DIA	COPPER	GALV STEEL ALSO AN OPTION. ADJUST SIZE ACCORDING TO CLIMATE.	-
F-44	KITCHEN COUNTERTOP	1.5-2"	-	CHOOSE: QUARTZ, BUTCHER BLOCK, PORCELAIN TILE, GRANITE, SOAPSTONE	CHOICE BY HOMEOWNER.
F-48	BATHROOM COUNTERTOP	1.5-2"	-	CHOOSE: CERAMIC, QUARTZ, PORCELAIN, BUTCHER BLOCK, GRANITE, MARBLE	CHOICE BY HOMEOWNER.
F-50	HARDWOOD FLOOR	2-3" BDS	FINISH WOOD	TONGUE & GROOVE, STAINED. CREATE FLOOR PATTERNS AS DESIRED.	RECLAIMED PREFERRED.
F-52	FLOOR TILE	1-2" HEX	CERAMIC	HEXAGONAL PATTERN. WHITE COLOR, SMALLEST TILES PREFERRED	-
F-60	WALL TILE	4" SQ	CERAMIC	WHITE SUBWAY TILE, OR CHOICE BY HOMEOWNER.	-
F-62	BASE MOLDING	.5"x5"	FINISH WOOD	MAY INCLUDE DECORATIVE BASE CAP MOLDING.	-
F-64	INT OPENING CASING	.5"x5"	WOOD	PAINTED, WITH .1"-THICK PLINTH BLOCK AT BASE	-
F-68	BEADBOARD	1/2"	COMPOSITE PANEL	EXTERIOR GRADE BEADBOARD TO BE USED AT PORCH CEILING.	-
F-74	HANDRAIL	2"	FINISH WOOD	STAINED SAME COLOR AS FLOOR. MAKE SURE TO FOLLOW ALL REGULATIONS.	-
F-76	NEWEL POST (OPT)	4x4	WOOD	PAINTED, MODESTLY DECORATIVE. RECLAIMED/ANTIQUE PREFERRED.	-
F-78	BALUSTERS	2x2	WOOD	PAINTED, MODESTLY DECORATIVE. RECLAIMED/ANTIQUE PREFERRED.	-
F-79	CROWN MOLDING	4-6"	WOOD	PAINT-GRADE	-
F-80	WINDOW SHUTTERS	SEE NOTE	WOOD/COMPOSITE	SHUTTERS SHALL BE OPERABLE, AND SIZED TO EACH WINDOW.	- TIMBERLANE. OR BOARD & BATTEN.

ITEM	MANUFACTURER / MODEL
INTERIOR CEILING LIGHT SCONCE	-
INTERIOR WALL LIGHT SCONCE	-
KIT. WASTE CABINET HARDWARE	-
KIT. SINK HARDWARE	-
SHOWER HARDWARE	-
BATH SINK HARDWARE	-
WINDOW SHUTTER HARDWARE	-
(OPT) PORCH HANGING LIGHT	-
(OPT) KITCHEN FLOORING (IF UNIQUE)	-
<b>GINGERBREAD ORNAMENT OPTIONS: (NOTE: VW = "VINTAGE WOODWORKS")</b>	
PORCH BRACKET	- VW COCKATOO 1194
REPEATING CORNICE BRACKET (PORCH)	- VW: EMMA 1560 (~6"x6")
POST FACE BRACKET	- VW "CUPID'S KEY" MEDIUM
REPEATING CORNICE BRACKET (EAVE)	- VW RILEY 1551
GABLE WING	- VW 4212
CENTER DROP	- 2x2, FINIAL (VW 182015)
BARGEBOARD RUNNING TRIM	- VW MARIPOSA 2229
SAWN BALLUSTERS	- VW SB5 2305
PORCH RAILING	- VW P-2 RAIL & SR2 SUBRAIL
<b>SIMPLER ORNAMENT:</b>	
REPEATING CORNICE BRACKET	- VW: RILEY 1551

**3 ADDITIONAL PRODUCT CHOICES**  
NOTE: MAY BE OMITTED, OR GIVEN MULTIPLE OPTIONS.

**FINAL NOTES & FURTHER READING**

ARCHITECTURAL PLANS NEVER HAVE ALL OF THE INFORMATION A BUILDER COULD NEED. BY PRACTICAL NECESSITY, PLANS ALWAYS OMIT SOME USEFUL IDEAS OR EXPLANATIONS. CODE DIAGRAMS CAN BE PLACED IN THE PLANS, AND SHOP DRAWINGS MAY BE INCLUDED – YET SUCH INFORMATION IS ALWAYS BETTER PRESENTED BY ALTERNATIVE METHODS. SO AS A SUPPLEMENT TO THESE DRAWINGS, HERE IS A LIST OF SOME USEFUL RESOURCES:

- IF THE DESIGN IS BEING MODIFIED, ONE OF THESE (YOUR PICK) IS REQUIRED READING:**
- "GET YOUR HOUSE RIGHT", BY MARIANNE CUSATO & BEN PENTREATH
  - "TRADITIONAL CONSTRUCTION PATTERNS", BY STEPHEN MOUZON & SUSAN HENDERSON

- FOR TECHNICAL INFORMATION AND GUIDANCE:**
- "SKETCHUP & LAYOUT FOR ARCHITECTURE", BY NICK SONDER (THE SOFTWARE USED HERE)
  - "RESIDENTIAL BUILDING CODES ILLUSTRATED", BY FRANCIS CHING AND OTHERS

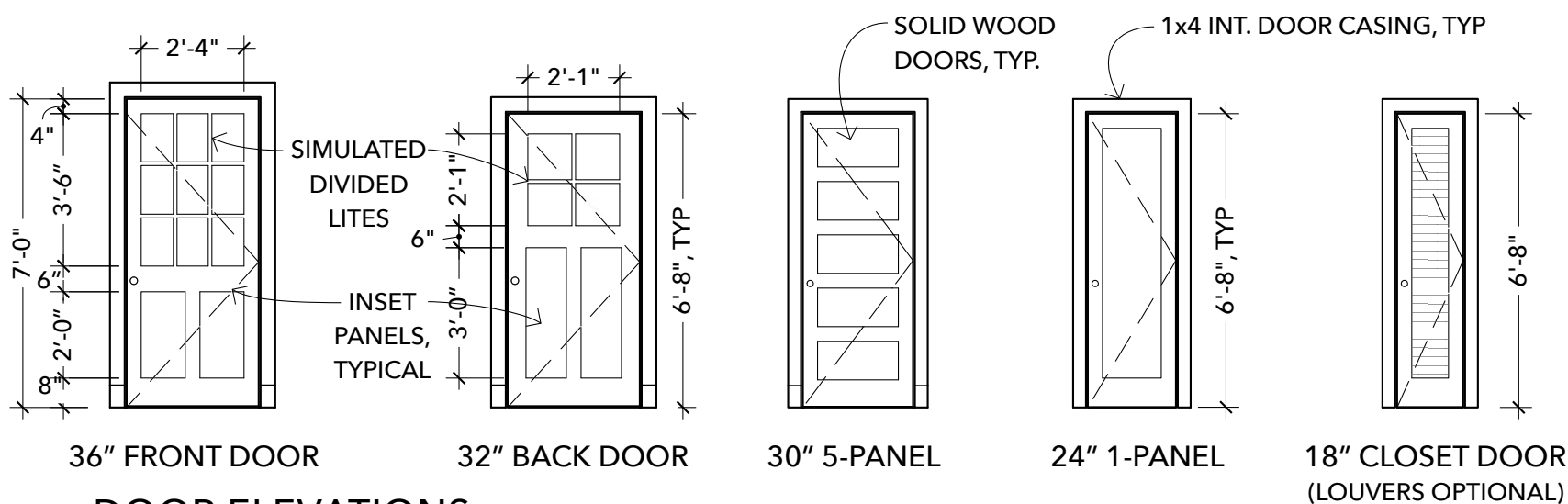
- FOR A BIG PICTURE UNDERSTANDING:**
- "A PATTERN LANGUAGE", BY CHRISTOPHER ALEXANDER (GENERAL DESIGN PRINCIPLES)
  - "HOW BUILDINGS LEARN", BY STEWART BRAND (ADAPTABLE ARCHITECTURE STRATEGIES)

**4 NOTES & ADDITIONAL RESOURCES**  
INCLUDING REQUIRED & RECOMMENDED READING

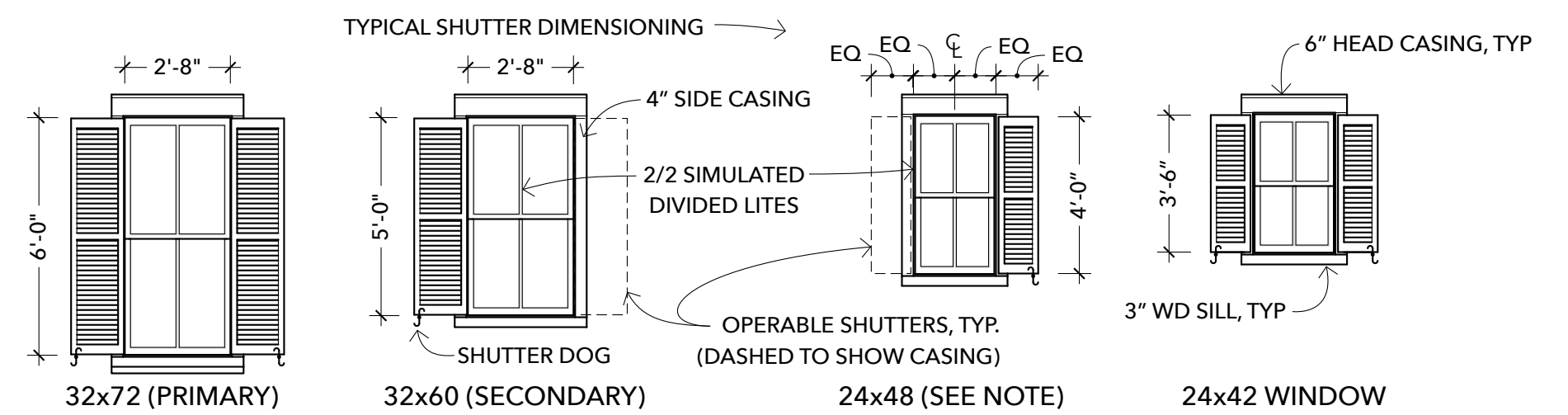
**1 MATERIALS SCHEDULE**  
PRODUCTS ARE RECOMMENDATIONS (ADD "OR SIMILAR" TO EACH), BUT NOTES SHOULD BE HEEDED

MARK	ITEM	SIZE	NOTES	MANUFACTURER / MODEL
X-00	REFRIGERATOR	24" MAX WIDTH	ENERGY STAR, COUNTER DEPTH (24" DEPTH STRONGLY PREFERRED)	BLOMBERG BRFB1042SS
X-02	KITCHEN SINK	24" UNIT WIDTH	DOUBLE OR SINGLE BOWL, VITREOUS CHINA PREFERRED	HIGHPOINT COLLECTION OR SINKOLOGY FIRECLAY
X-04	RANGE / OVEN	24"x24"x36"	-	-
X-06	MICROWAVE/HOOD	24" WIDTH	FOR SIZE FLEXIBILITY, CABINET ABOVE THIS UNIT MAY BE OPEN SHELVING	FRIGIDAIRE UMV1422 US
X-08	WATER FAUCET	-	CHOICE BY HOMEOWNER.	-
X-12	DISHWASHER (OPT)	24" WIDTH	-	-
X-16	FLOOR CABINETS	VARIABLES	FOR AN ECONOMICAL OPTION, USE IKEA UNITS WITH CUSTOM DOORS.	IKEA / SEKTION
X-18	WALL CABINETS	VARIABLES	GLASS DOORS, WITH MANY PANES, PREFERRED. DOORS MAY BE BUILT DIY.	IKEA / SEKTION
X-20	TOILET	26"x18"	SINGLE BOWL, VITREOUS CHINA. STANDARD SIZE.	TOTO / ROWAN CST405MF OR EQUIVALENT
X-26	BATHROOM VANITY	30" (& 36") WIDE	CABINETS AND COUNTERTOP SURFACES TO BE CHOSEN BY HOMEOWNER.	-
X-30	BATHTUB	30x48	WALL TILE. GLASS DOORS OR CURTAIN. SEAT W/ SINGLE SLAB OF STONE	-
X-62	WASHER DRYER COMBO	30x30x72 MAX	VENTLESS, COMPACT (STACKED UNITS ALSO WORK IN JUNE & APRIL ALCOVES)	HAIER / HWD1600BW
X-68	WATER HEATER	17x15x5	WALL-MOUNTED, TANKLESS, INSTANT WATER HEATER.	STIEBEL ELTRON TEMPRA

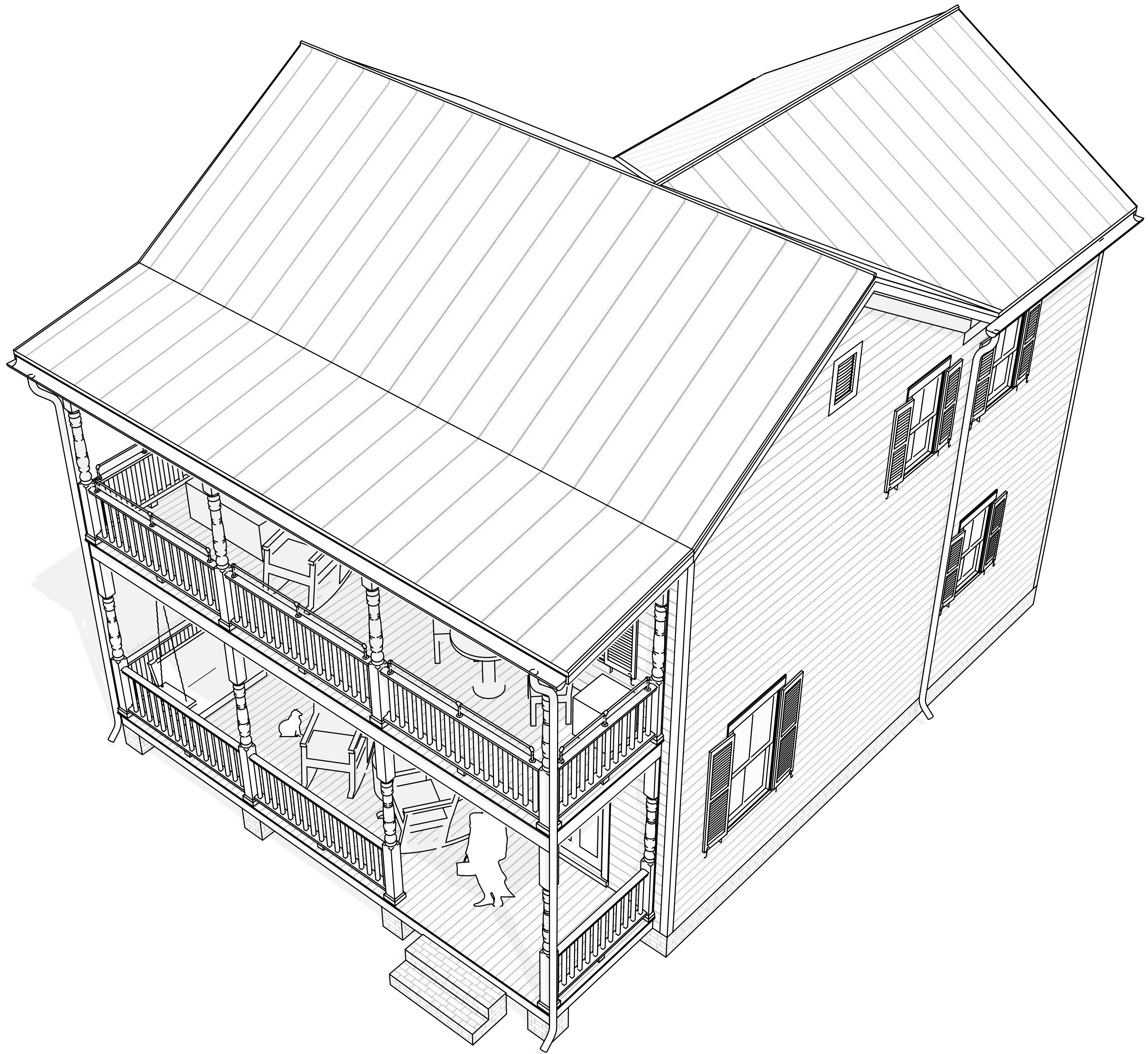
**2 FIXTURES SCHEDULE**  
PRODUCTS ARE RECOMMENDATIONS (FREEFARMHOUSE.COM) ADD "OR SIMILAR" TO EACH.



**5 DOOR ELEVATIONS**  
SCALE: 1/4" = 1'-0" NOTE: 32" CLEAR OPENING REQ'D AT FRONT DOOR (ACCOUNT FOR DOOR THICKNESS & HINGE).



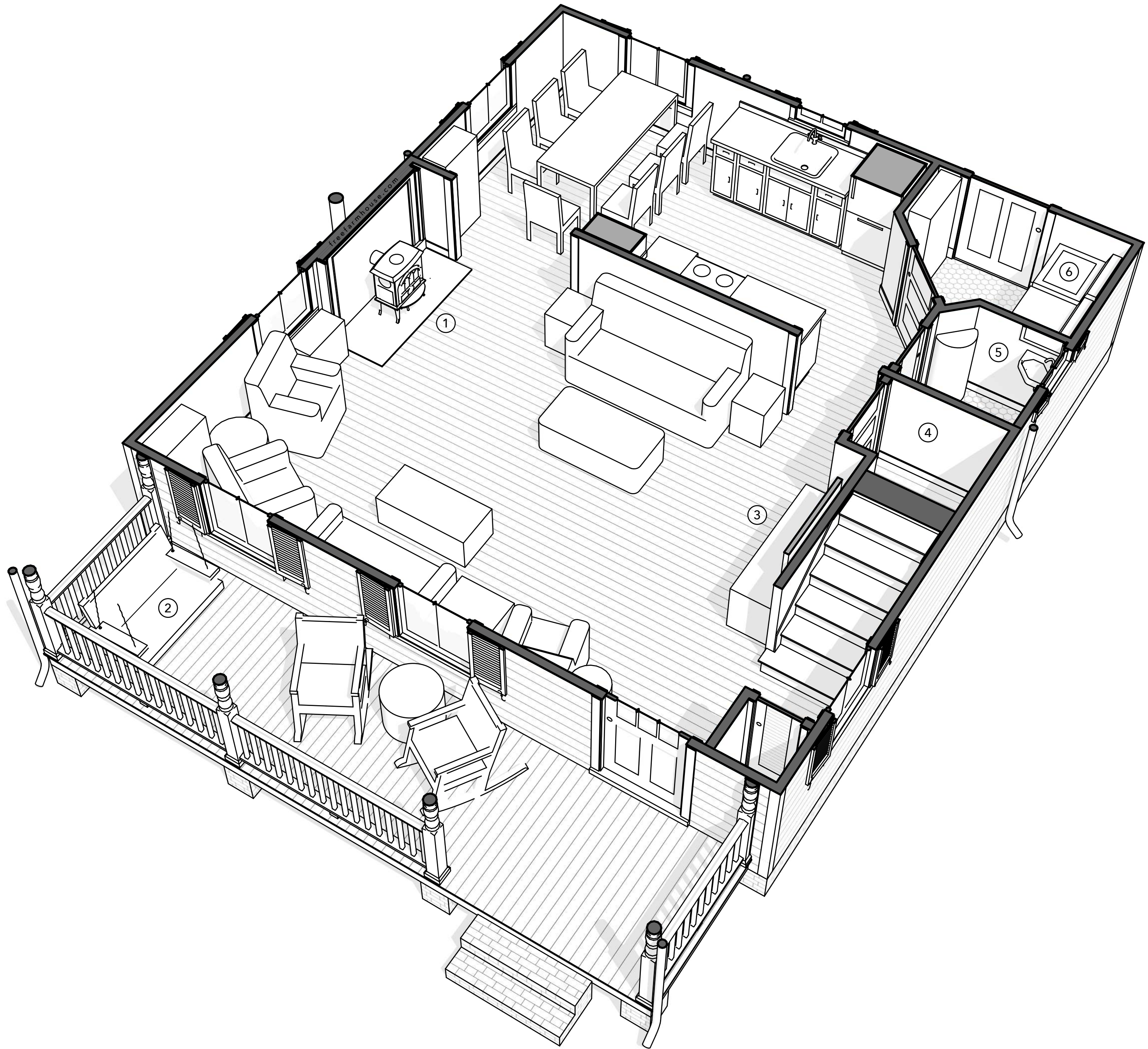
**6 WINDOW ELEVATIONS**  
SCALE: 1/4" = 1'-0" NOTE: 24x48 WINDOW MAY BE REPLACED BY 24x42 WINDOW. MAINTAIN HEADER HEIGHTS.



The Starter Farmhouses are designed to be small and simple, of interchangeable options (like porches, interior layouts, and rear additions). Georgia is a variation with an open plan layout, a 2-story front porch, and a rear addition that has a kitchen/dining area on the first floor, and a small bedroom suite on the second floor. It could start smaller and be added upon over time. Or be built all at once.

GEORGIA'S STARTER FARMHOUSE  
**DESIGN OVERVIEW**  
A DESIGN BY JAY OSBORNE

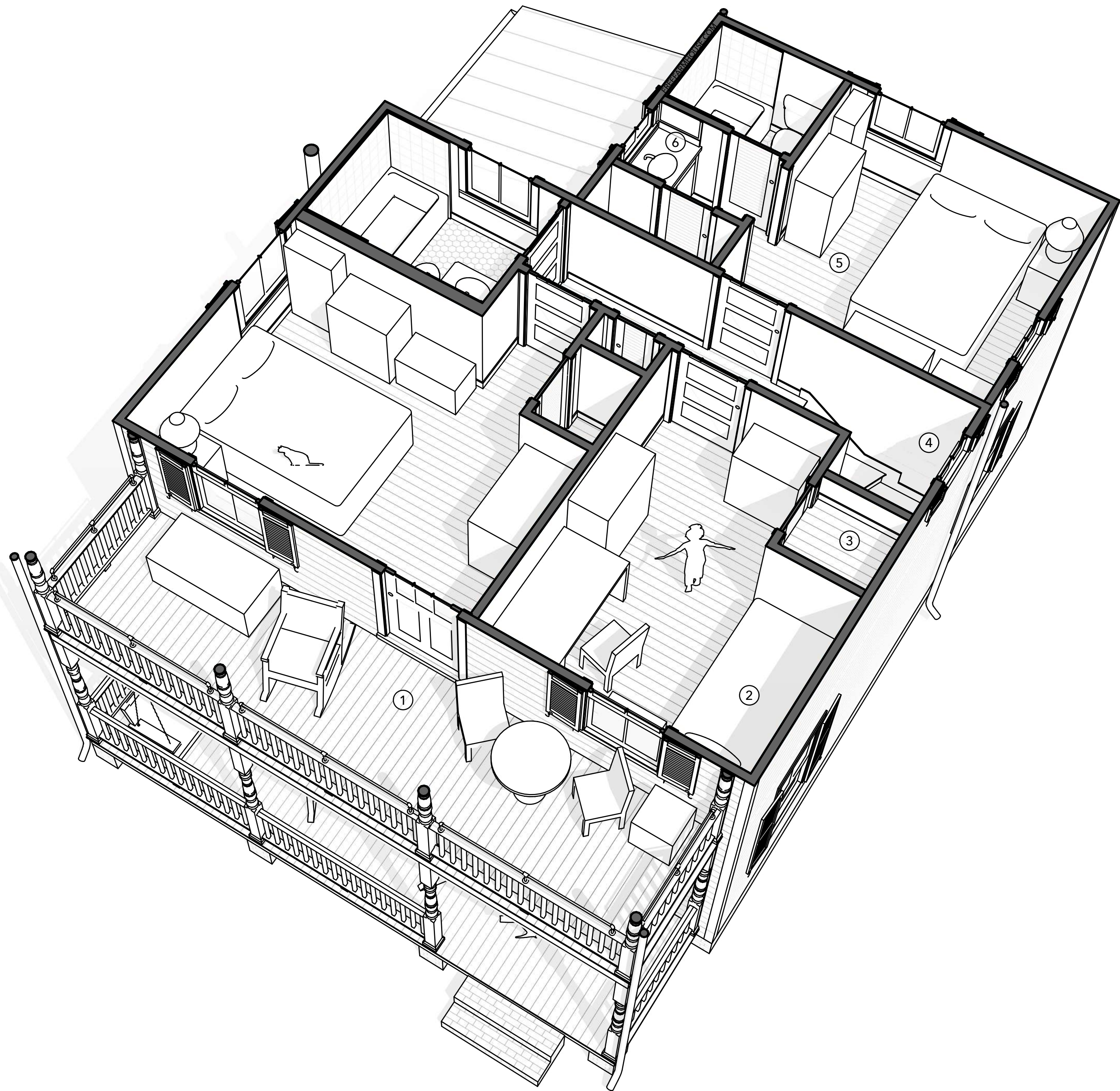
Each of the Starter Farmhouse designs can begin as a 16x24 primary massing – about 750 square feet at the smallest. With its “rear addition” (which can be built in Phase 1), Georgia is 1130 square feet. You’ll be able to enlarge it by choosing from a series of additions. The interchangeable modules will have different room arrangements. Elements of Georgia’s design can be applied to its sister designs.



The lower level of this house is arranged in an open plan, in stark contrast to the room-based plan of Virginia, one of its sister designs. Because of this overall layout, Georgia is appropriate for large gatherings. The living room is expansive. The 16x24 primary massing also corresponds to a very large room size for a residence. If made any larger, rooms can lose any sense of intimacy or coziness.

GEORGIA'S STARTER FARMHOUSE  
**DOWNSTAIRS PLAN**  
 A DESIGN BY JAY OSBORNE

**(1)** The woodstove is optional, but it seems fitting to have one in a room like this. **(2)** The porch is big enough for rocking chairs and a porch swing. **(3)** Another possible location for the woodstove. This spot makes sense for a movie screen. **(4)** The utility closet has a very low ceiling. Want a basement? Put the stairs here. **(5)** A small bathroom hiding in the corner. **(6)** A mudroom contains laundry units.



**(1)** The door to the upper porch comes from the larger bedroom, for access control. You could decide to put it directly above the front door in the smaller bedroom (which could be an office). That way, it could have access from the suite. **(2)** The bedroom alcove needs enough space for a bed (7 feet, which is required by code). Stairway head clearances significantly limit this room's shape.

GEORGIA'S STARTER FARMHOUSE  
**UPSTAIRS PLAN**  
 A DESIGN BY JAY OSBORNE

**(3)** For stairway head clearances (80" min), this closet needs that raised platform. **(4)** A window is added by the winder stairs, since that upper hall is significantly darker because of the rear addition. Corridors are best with windows at the end. **(5)** The bedroom suite addition is about as small as one can be. **(6)** A vanity is placed outside the shower/toilet room. Most hotels do this because it works well.



With a front facade that is only 24 feet wide, Georgia's Farmhouse can fit in many old towns. The design is prioritized around being simple and economical, and to be able to have different options for additions and materials in the drawing set.

**(1)** Window shutters are functional. If cost is the issue, just omit them. No fakes.  
**(2)** The gutter reflects the chimney pipe, and articulates the mass of the addition.

GEORGIA'S STARTER FARMHOUSE  
**FRONT OF THE HOUSE**

A DESIGN BY JAY OSBORNE

**(3)** The chimney pipe was chosen because so many new chimney designs are compromised in strange and ugly ways. A pipe is as inexpensive as it gets. It can still look as charming as a brick stack, but perhaps in a rugged wild west manner.

**(4)** The double porch has a fairly low-sloped roof. The shed roof is easy to build, but makes it harder to take the downspouts back to the wall, as a hip roof allows.



**(1)** Every functional building has a place where the trash bins go. Not every side needs to look pretty. While all the other sides of the house have windows that would be bad to omit, the east side has many small windows that could be removed if necessary. Still, they do dramatically improve the interior daylighting. But if this wall were within 3' of a property line, it couldn't have the windows here.

GEORGIA'S STARTER FARMHOUSE  
**BACK OF THE HOUSE**  
 A DESIGN BY JAY OSBORNE

**(2)** Gutters can be used architecturally to subtly hint at the additional masses, articulating them in a much cheaper way than shifting the walls. **(3)** The attic vent is built much like a louvered shutter. **(4)** The rear wall is about 24 feet long, so it can have a 2-story garage addition. The mudroom is situated well, but a garage would worsen the kitchen's daylighting. The garage roof would be low-pitched.

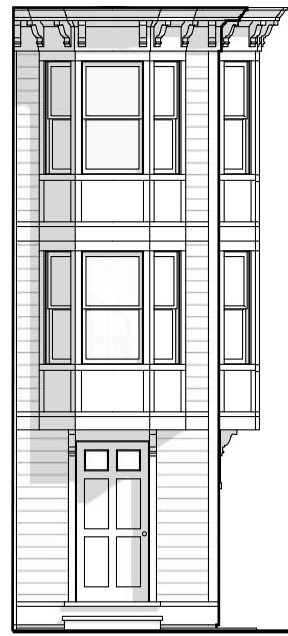


In small houses, staircases take a disproportionately large amount of space, and are relatively expensive to build. However, over the long run, two-story houses do better than one-story houses since they have half as much foundation and roof. Over time, roofs and foundations can be very costly to maintain. **(1)** It might be best to omit the coat closet at the front door, and include a wardrobe instead.

GEORGIA'S STARTER FARMHOUSE  
**SECTION PERSPECTIVE**  
 A DESIGN BY JAY OSBORNE

**(2)** This shows a crawlspace, but if a slab foundation is used, the height can be reduced by a couple feet (which may be necessary where there are overly-strict building height limits). **(3)** Head clearances at the staircase are a key factor in the house's design. The bedroom closet needs a raised platform. **(4)** A utility closet fits underneath the stairs. By stacking staircases, it's possible to have a basement.

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Bicycle  
Townhouse



First Halfstory House



Canadian Farmhouse



Mae's Backyard Farmhouse



Julie's Backyard Farmhouse



Australian Farmhouse



Eastern Farmhouse



April's Backyard Farmhouse



June's Backyard Farmhouse



Southern Farmhouse



Thoreau Cabin



Lone Star Farmhouse



Western Farmhouse



Virginia's Starter Farmhouse



Georgia's Starter Farmhouse



Caroline's Starter Farmhouse



Marilyn's Starter Farmhouse



Carriage House